



City of San Juan Bautista

The "City of History"

www.san-juan-bautista.ca.us

AGENDA

REGULAR PLANNING COMMISSION MEETING

CITY HALL COUNCIL CHAMBERS
311 Second Street
San Juan Bautista, California

TUESDAY ~ MARCH 12, 2019

In compliance with the American with Disabilities Act, if you need special assistance to attend or participate in the meeting, please call the City Clerk's Office at (831) 623-4661, extension 13 at least 48 hours prior to the meeting.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the meeting and in the City Clerk's office located at City Hall, 311 Second Street, San Juan Bautista, California during normal business hours.

**1. Call to Order
Roll Call**

6:00 PM

2. Public Comment

3. Informal Project Review

Any potential and/or future project applicant may present their project to the Commission during Informal Project Review for the purpose of gaining information as preliminary feedback only. No formal application is required and no action will be taken by the Commission on any item at this time.

4. Action Items

- A. Approve Affidavit of Posting Agenda**
- B. Consider the Recommendation of the Historic Resources Board for Placement of E Clampus Vitus Monument on City Hall Grounds at 311 Second Street**
- C. Consider Proposed New Signs at Valero Gas Station located at 63 Muckelemei Street (APN 002-320-002). Application is to install new signs and update the logo on the existing signs. Applicant: Sal Pablo (Continued from February)**
- D. Consider Revised Plans and Updates for a Site and Design Review for new construction for two modular homes and one accessory building located on Lasuen Drive (APN 002-540-010). Approval of the Site and Design Review is exempt from CEQA pursuant to Article 19, Sections 15300.2 and 15303. Applicants: Dave McGovert and Kevin McGovert. (Continued from February)**

5. Discussion Items

- A. Harvey's Lockup Status Report**
- B. Report from Commissioners on the Planning Commissioners Academy**
- C. Report from Planner on Current and Upcoming Projects**

6. Comments

A. Planning Commissioners

B. City Planner

C. City Manager

7. Adjournment

AFFIDAVIT OF POSTING

I, TRISH PAETZ, DO NOW DECLARE, UNDER THE PENALTIES OF PERJURY THAT I AM THE DEPUTY CITY CLERK IN THE CITY OF SAN JUAN BAUTISTA AND THAT I POSTED THREE (3) TRUE COPIES OF THE ATTACHED PLANNING COMMISSION AGENDA. I FURTHER DECLARE THAT I POSTED SAID AGENDA ON THE 8th DAY OF MARCH 2019, AND I POSTED THEM IN THE FOLLOWING LOCATIONS IN SAID CITY OF SAN JUAN BAUTISTA, COUNTY OF SAN BENITO, CALIFORNIA.

1. ON THE BULLETIN BOARD AT CITY HALL, 311 SECOND STREET.
2. ON THE BULLETIN BOARD AT THE CITY LIBRARY, 801 SECOND STREET.
3. ON THE BULLETIN BOARD AT THE ENTRANCE TO THE UNITED STATES POST OFFICE, 301 THE ALAMEDA

SIGNED AT SAN JUAN BAUTISTA, COUNTY OF SAN BENITO, CALIFORNIA,
ON THE 8th DAY OF MARCH 2019.



TRISH PAETZ, DEPUTY CITY CLERK

CITY OF SAN JUAN BAUTISTA

PLANNING COMMISSION/HISTORIC RESOURCES BOARD

STAFF REPORT

Date: March 12, 2019

To: Planning Commission

From: Todd Kennedy, Associate Planner

Subject: **Proposed Plaque/Monument donation to the City of San Juan Bautista**

BACKGROUND:

This item is being forward as a request by the San Juan Bautista Sesquicentennial (150th Anniversary) Committee to place a monument with a plaque on the front lawn at the San Juan Bautista City Hall. The proposed location is next to the lamp post directly behind the sidewalk.

This proposal is being donated by E Clampus Vitus, Monterey Chapter 1846 to the City of San Juan Bautista to commemorate the 150th Anniversary of incorporation.

Staff believes this proposal would be a great addition to the community and a great addition to City Hall.

ACTION:

Staff recommends the Planning Commission approve the proposed Plaque and Monument as proposed on the front lawn of the San Juan Bautista City Hall subject to the following conditions of approval.

1. The proposed monument shall be located where any underground utilities or infrastructure will not be impacted in any way.
2. During and after installation, necessary safety measures and applicable requirements shall be implemented so the monument is securely installed and will not collapse in any way.

ATTACHMENTS:

Draft Resolution
Project Description with images

RESOLUTION 2019 - xxx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE AND DESIGN REVIEW FOR THE PLACEMENT OF ONE STONE MOMUMENT WITH A PLAQUE LOCATED AT SAN JUAN BAUTISTIA CITY HALL LOCATED AT 311 SECOND STREET, SAN JUAN BAUTISTA, CALIFORNIA. APN 002-160-001

WHEREAS, the Historic Resources Board conducted a public hearing on March 12, 2019 to review the proposed monument, and

WHEREAS, the Historic Resources Board received oral comments, written correspondence, electronic communication and public testimony at the public hearing, and

WHEREAS, the Historic Resources Board has reviewed the information provided and forwarded a recommendation to the Planning Commission, and

WHEREAS, the Planning Commission conducted a public hearing on March 12, 2019 to review the proposed Sign Reviewed, and

WHEREAS, the Planning Commission received oral comments, written correspondence, electronic communication and public testimony at the public hearing, and

WHEREAS, the Planning Commission has considered the recommendation from the Historic Resources Board and makes the following finding to approve the Sign Permit and Minor Historic Alteration request.

1. That the proposed Site and Design Review request is compatible with the character of the community and does not have any impacts on the subject site.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of San Juan Bautista hereby approves a Site and Design Review for a proposed monument and plaque to be located on the front lawn of San Juan Bautista City Hall, located at 311 Second Street, San Juan Bautista, California, subject to the following conditions.

1. The proposed monument shall be located where any underground utilities or infrastructure will not be impacted in any way.

2. During and after installation, necessary safety measures and applicable requirements shall be implemented so the monument is securely installed and will not collapse in any way.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista at a regular meeting held on March 12, 2019 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Scott Freels, Chairperson

ATTEST:

Trish Paetz, Deputy City Clerk

Meeting with E Clampus Vitus, Monterey Viejo Chapter 1846 re: their offer of a plaque/monument donation to City of San Juan Bautista to commemorate 150th anniversary of incorporation.

- Clampers John Wrobel and Jeff Ward met with Heidi Balz and me 01/12/2019. City Manager and Mayor had been included in invitation but could not attend.
- Plaque would be brass, set into exposed aggregate concrete (like train monument below right on San Juan Hollister Road) or whatever design we prefer. Low-profile Limekiln monument with a stucco face might be preferable (below left).
- The Clampers have already donated 2 plaques to the City, one on property owned by the City (Jim Jack plaque in Luck Park)
- Wording will be up to City; I volunteered SJB Historical Society to create wording for City's approval
- Verbiage is needed by May.
- Placement to be determined, but we propose a spot on the lawn at City Hall just to the right of the lamppost. Public Works will need to OK location (underground utilities).
- They will officiate at the ceremony/dedication
- 100-150 Clampers generally attend plaque dedications. Camp overnight nearby.
- The train monument they did is 5'6" tall; 3' wide at top; 12" deep.









CITY OF SAN JUAN BAUTISTA

PLANNING COMMISSION

STAFF REPORT

Date: March 12, 2019
To: Planning Commission
From: Todd Kennedy, Associate Planner
Subject: New Signage at Valero Gas Station located at 63 Muckelemei Street

BACKGROUND:

This item is being presented as a Design Review for new updated signage to replace the existing signage located at the Valero Gas Station. This change is taking place because Valero is updating their logo and colors. There are no changes in size taking place and there are no additional signs proposed. These changes are only changes in copy.

This item was brought to Planning Commission at their public hearing held on February 5, 2019. At that hearing, proposed designs that included LED illumination and internal illumination were proposed. It was requested by Commission that those designs be eliminated and not included in this review. Furthermore, it was discussed to include design modifications on the pole sign and the monument sign. The applicant is proposing the sign package as shown in the latest plan set where there are only change of copies taking place and nothing more.

These changes appear to be reasonable and since Valero has been operating at the site for a many years, the sign package is part of the business. The previous sign package was reviewed by the Planning Commission previously.

ACTION:

There are no issues identified by staff with this review. Staff recommends the Planning Commission approve the proposed sign changes, subject to the following conditions of approval.

1. All new signage and work taking place must comply with applicable building codes.
2. Permits must be issued from the City of San Juan Bautista where required before any work can take place.

ATTACHMENTS:

Draft Resolution
Plans
Sign images

RESOLUTION 2019 - xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A DESIGN REVIEW FOR SIGN PERMIT FOR REPLACEMENT OF THE EXISTING SIGN PACKAGE AT THE VALERO GAS STATION LOCATED AT 63 MUCKELEMI STREET IN SAN JUAN BAUTISTA. APN 002-320-002

WHEREAS, the Planning Commission conducted a public hearing on February 5, 2019 to review the proposed sign package and continued the item to a date when the new materials are available for review, and

WHEREAS, the applicant submitted revised plans that meet the standards of the City Sign Ordinance, and

WHEREAS, the Planning Commission conducted a public hearing on March 12, 2019 to review the proposed sign package, and

WHEREAS, the Planning Commission received oral comments, written correspondence, electronic communication and public testimony at the public hearing, and

WHEREAS, the Planning Commission has considered the recommendation from City Staff and makes the following finding to approve the Design Review Sign Permit request.

1. That the proposed Design Review for a Sign Permit request is compatible with the existing gas station and does not have any impacts on the existing property and surrounding properties.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of San Juan Bautista hereby approves a Design Review for sign replacement for the Valero Gas Station located at 63 Muckelemi Street in San Juan Bautista, subject to the following conditions.

1. All new signage and work taking place must comply with applicable building codes.
2. Sign Permits must be issued from the City of San Juan Bautista where required before any work can take place.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista at a regular meeting held on March 12, 2019 by the following vote:

AYES:

NOES:

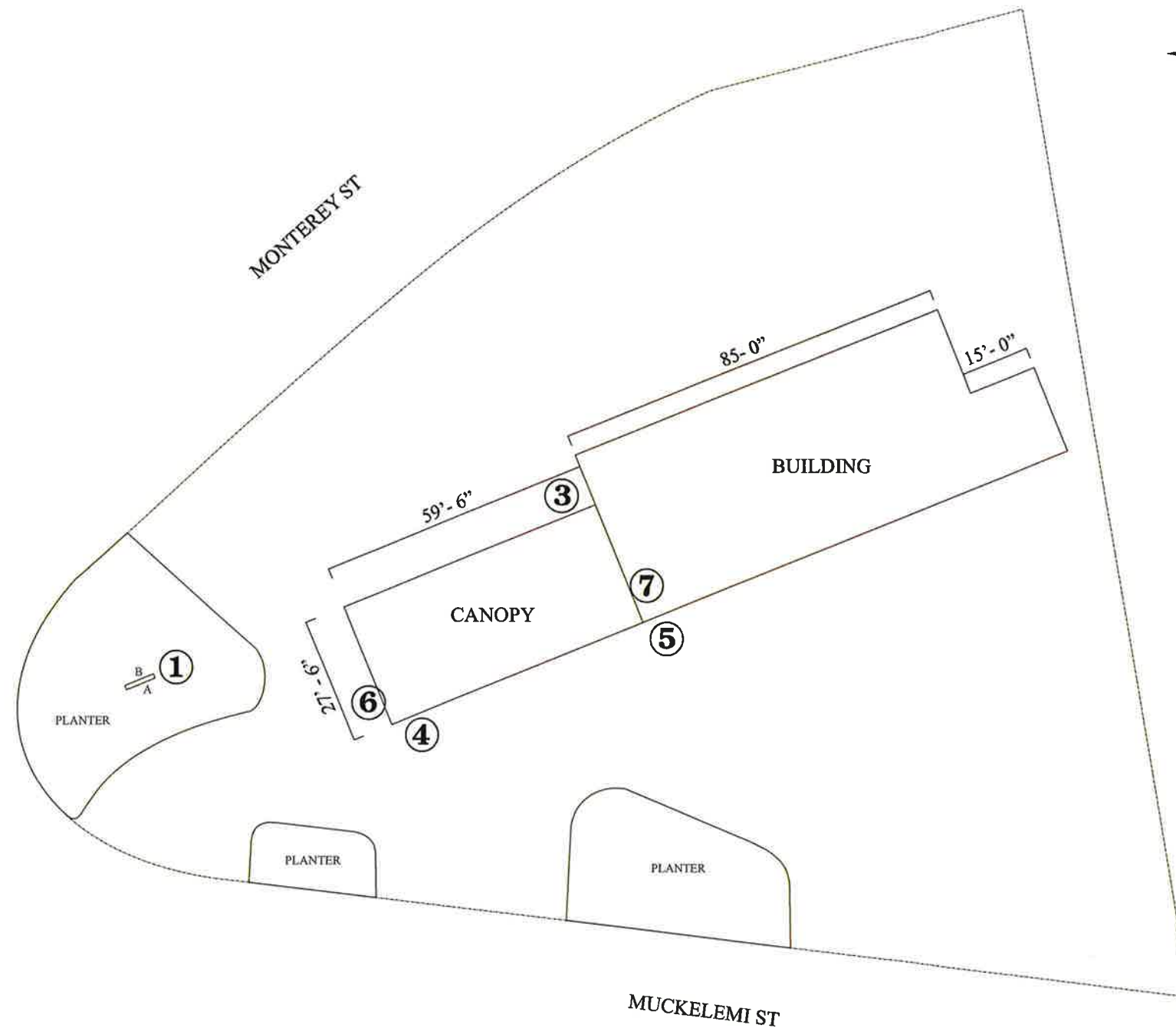
ABSENT:

ABSTAIN:

Scott Freels, Chairperson

ATTEST:

Trish Paetz, Deputy City Clerk



EXISTING SITE

② — HI-RISE POLE SIGN IN
CLOSE PROXIMITY TO
HIGHWAY 156.

SITE PLAN:
SCALE: 1/32" = 1'-0"

NOTE:
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BE THE FINAL COLOR SCHEME
AND APPROVED LAYOUT



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DATE

NO. U5890

PAGE: 1 OF 7

DATE: 12.18.18SM

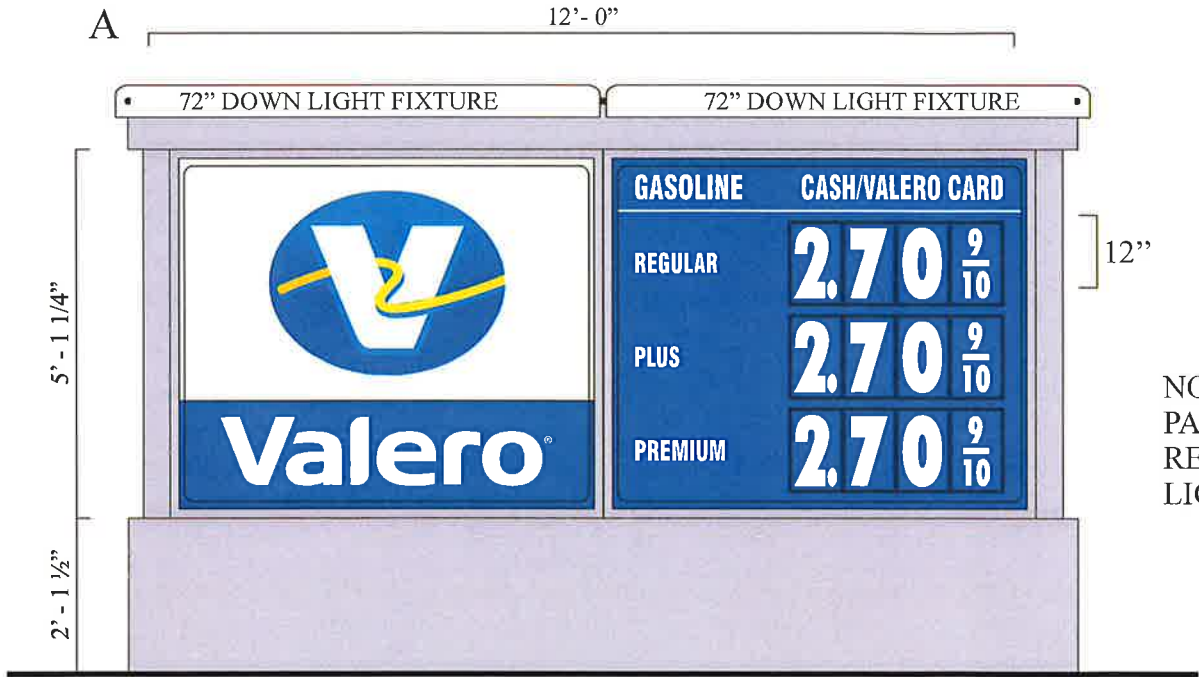
REV:

Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045



EXISTING D/F PRICE/ID SIGN
48"



① REFACE EXISTING D/F PRICE/ID SIGN
71.25 sq. ft.

SCALE: 3/8" = 1'-0"

NOTE:
PAINT EXISTING CABINETS,
RETAINERS, AND BASE VALERO
LIGHT GRAY



PAD SIGN
SCALE: 3/8" = 1'-0"

THERE MUST BE A PAD SIGN CLEARLY POSTING
THE CREDIT/DEBIT PRICE AND LOCATED AT OR NEAR
THE BASE OF THE MAIN ID WHERE IT IS CLEARLY
VISIBLE TO THE CONSUMER

NOTE:
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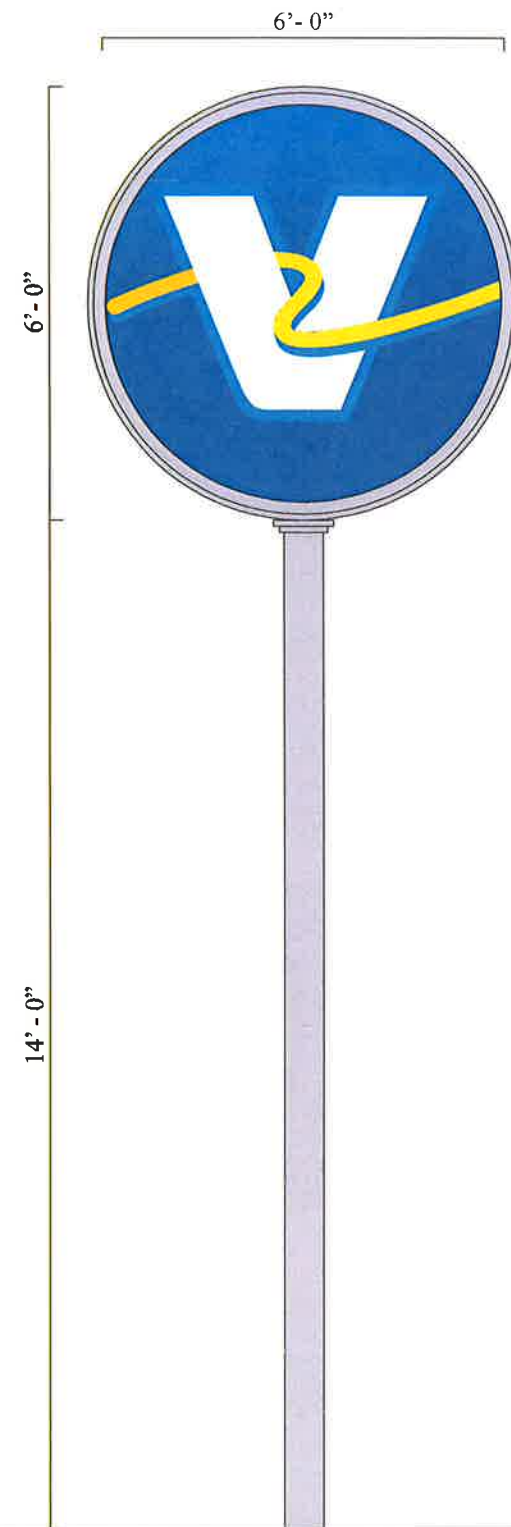
SIGN AND PRINT FULL NAME

DATE

NO. U5890 **PAGE:** 2 OF 7
DATE: 12.18.18SM
REV:



63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045



NOTE:
PAINT EXISTING CABINET,
RETAINERS, AND POLE STRUCTURE
VALERO LIGHT GRAY



EXISTING D/F HI-RISE SIGN

NOTE:
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- ② REFACE EXISTING NON-ILLUMINATED D/F HI-RISE SIGN
71.25 sq. ft. SCALE: 3/8" = 1'-0"



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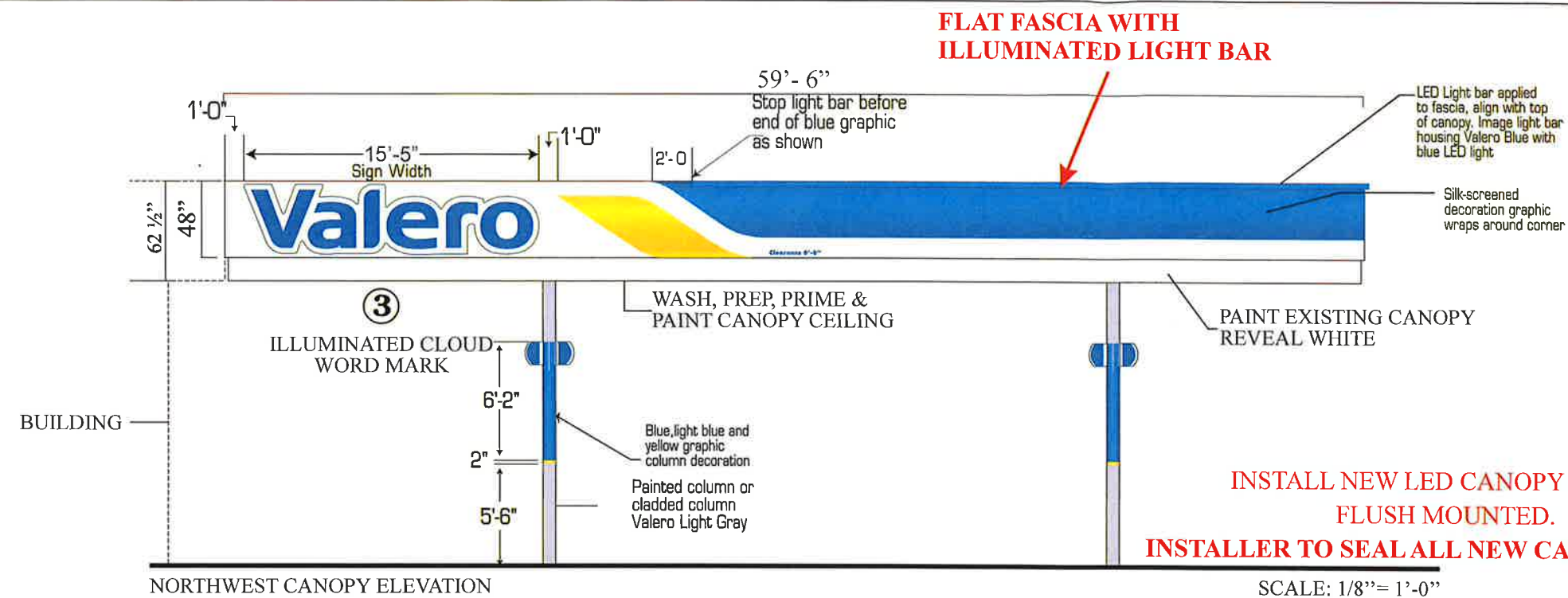
NO. U5890

PAGE: 3 OF 7

DATE: 12.18.18SM

REV:

Valero 63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045



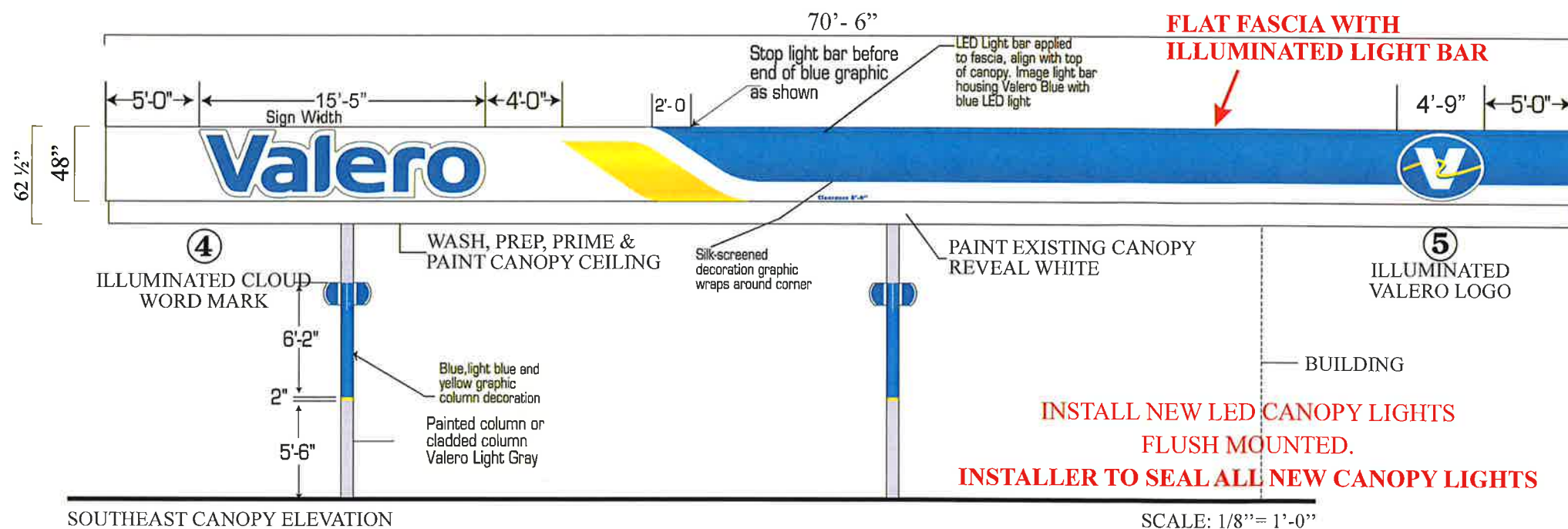
NOTES:
 REMOVE ALL ADS AND AD SIGNS FROM BUMPER POLES AND CANOPY COLUMNS.
 PAINT ALL GUARD HOOPS AND BUMPER POLES VALERO BLUE.
 PAINT CANOPY COLUMNS VALERO LIGHT GRAY.
 INSTALL NEW VALERO TRASH CADDIES.

REMOVE EXISTING ACM FASCIA BEFORE IMAGING



SCALE: 1/4" = 1'-0"

NOTE:
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INSTALL NEW LED CANOPY LIGHTS FLUSH MOUNTED.
INSTALLER TO SEAL ALL NEW CANOPY LIGHTS



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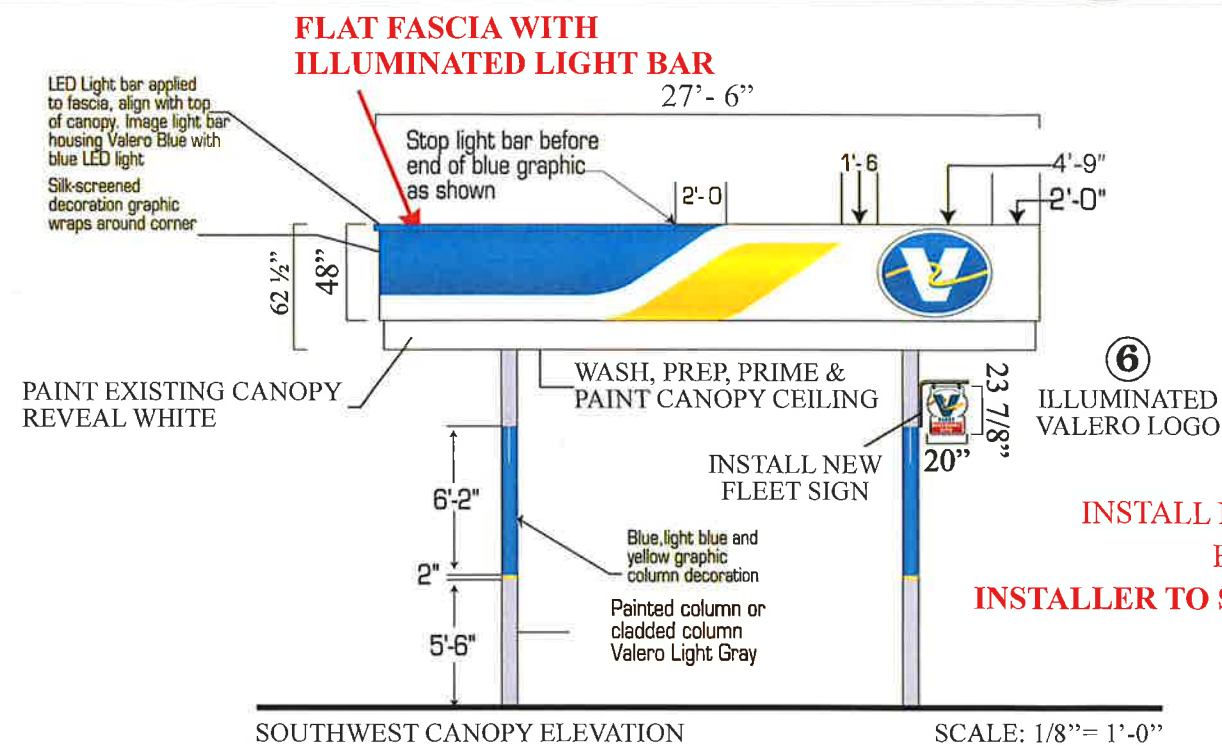
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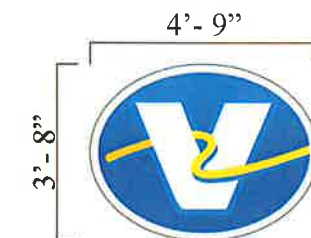
Valero 63 MUCKELEMI ST.
 SAN JUAN BAUTISTA, CA 95045



EXISTING SOUTHWEST CANOPY ELEVATION

NOTES:
 REMOVE ALL ADS AND AD SIGNS FROM BUMPER POLES AND CANOPY COLUMNS.
 PAINT ALL GUARD HOOPS AND BUMPER POLES VALERO BLUE.
 PAINT CANOPY COLUMNS VALERO LIGHT GRAY.
 INSTALL NEW VALERO TRASH CADDIES.

REMOVE EXISTING ACM FASCIA BEFORE IMAGING



ILLUMINATED 44" VALERO LOGO

NOTE:
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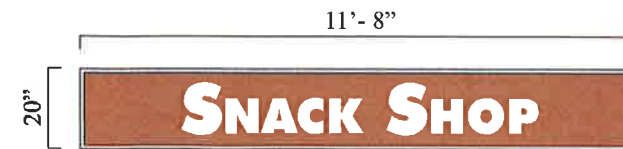
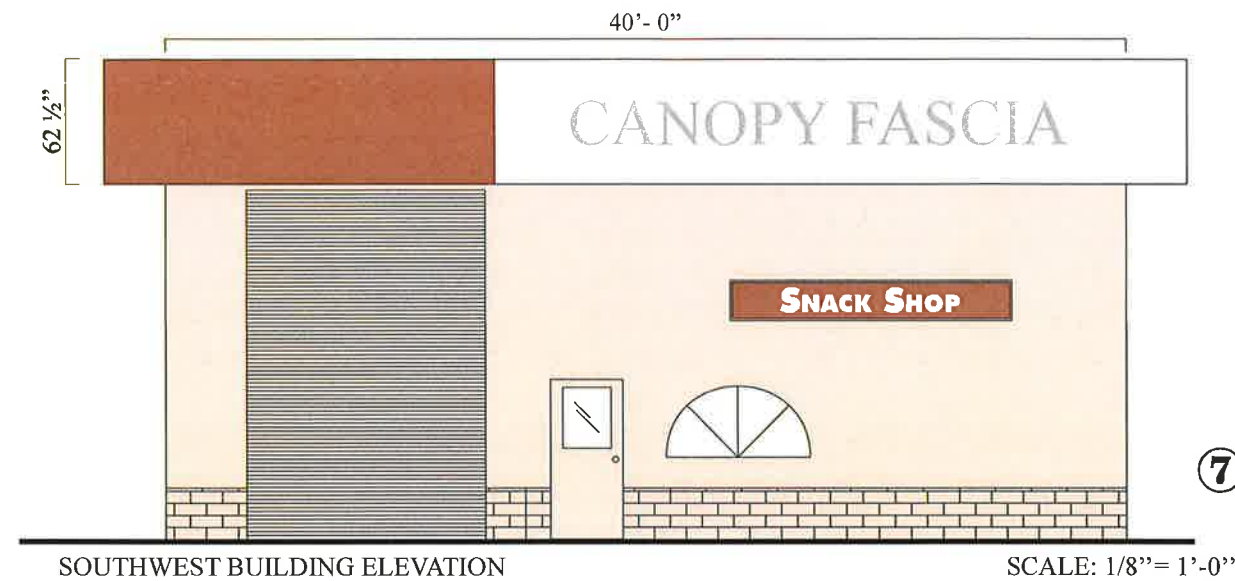
PAGE: 5 OF 7

DATE: 12.18.18SM

REV:

Valero

63 MUCKELEMI ST.
 SAN JUAN BAUTISTA, CA 95045

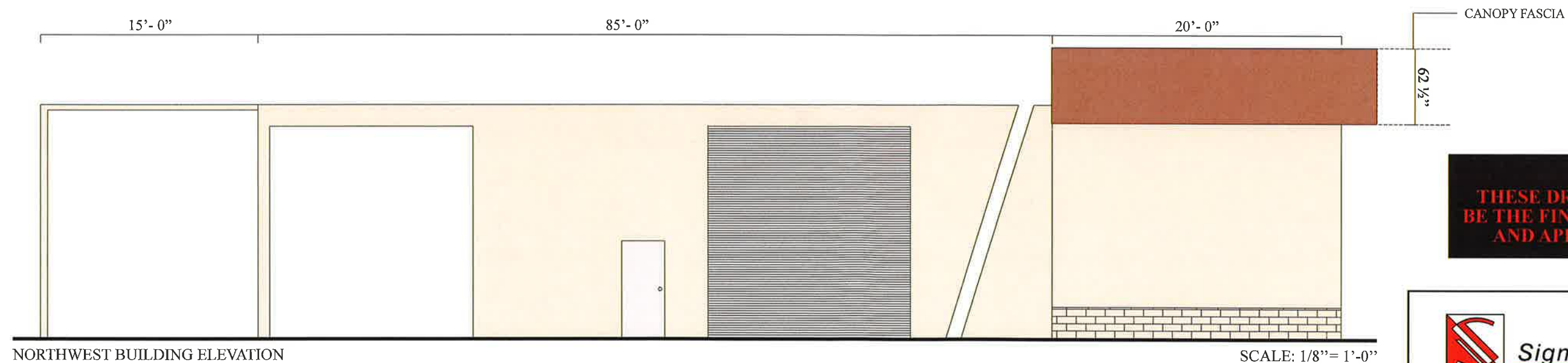


- ⑦ REFACE EXISTING S/F BUILDING SIGN,
FLAT LEXAN FACES, 2nd SURFACE VINYL DECORATION,
3M 3630-137 EUROPEAN BLUE



EXISTING SOUTHWEST BUILDING ELEVATION

NOTES:
REMOVE ALL AD SIGNS AND BANNERS FROM BUILDING AND WINDOWS.
PAINT BUILDING EXTERIOR VALERO SAND.
PAINT EXISTING FASCIA SW 7718 OAK CREEK. **BUILDING PORTION ONLY.**
REFACE EXISTING BUILDING SIGN.
PAINT ALL BUMPER POLES VALERO BLUE.



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PAGE: 6 OF 7

DATE: 12.18.18SM

REV:

Valero 63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045



PAINT ALL BUMPER POLES VALERO BLUE.
NO TOUCH EXISTING PROPANE TANK.



PAINT ALL BUMPER POLES VALERO BLUE.
NO TOUCH EXISTING AIR & WATER MACHINES.



PAINT ALL BUMPER POLES VALERO BLUE.
APPLY WHITE BLOCKOUT VINYL TO COVER
OLD VALERO LOGO.



NO TOUCH EXISTING CAR WASH CENTER.



PAINT PREVIOUSLY PAINTED VENT PIPES VALERO SAND.
NO TOUCH EXISTING TANK.

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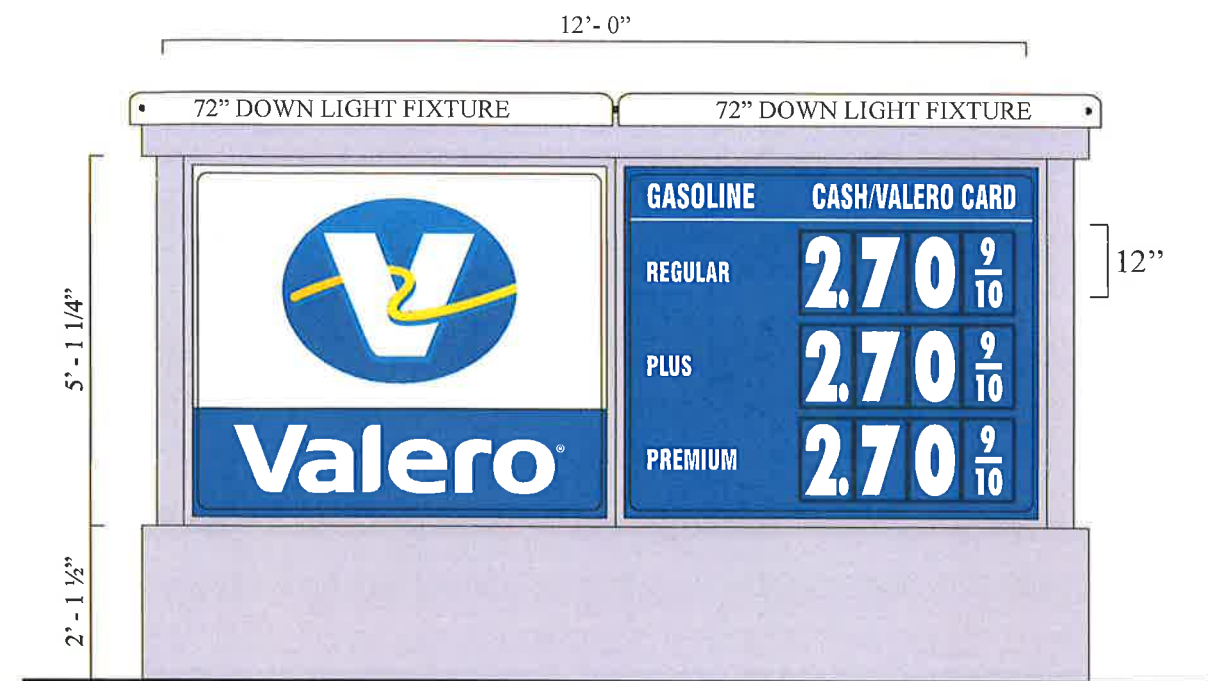
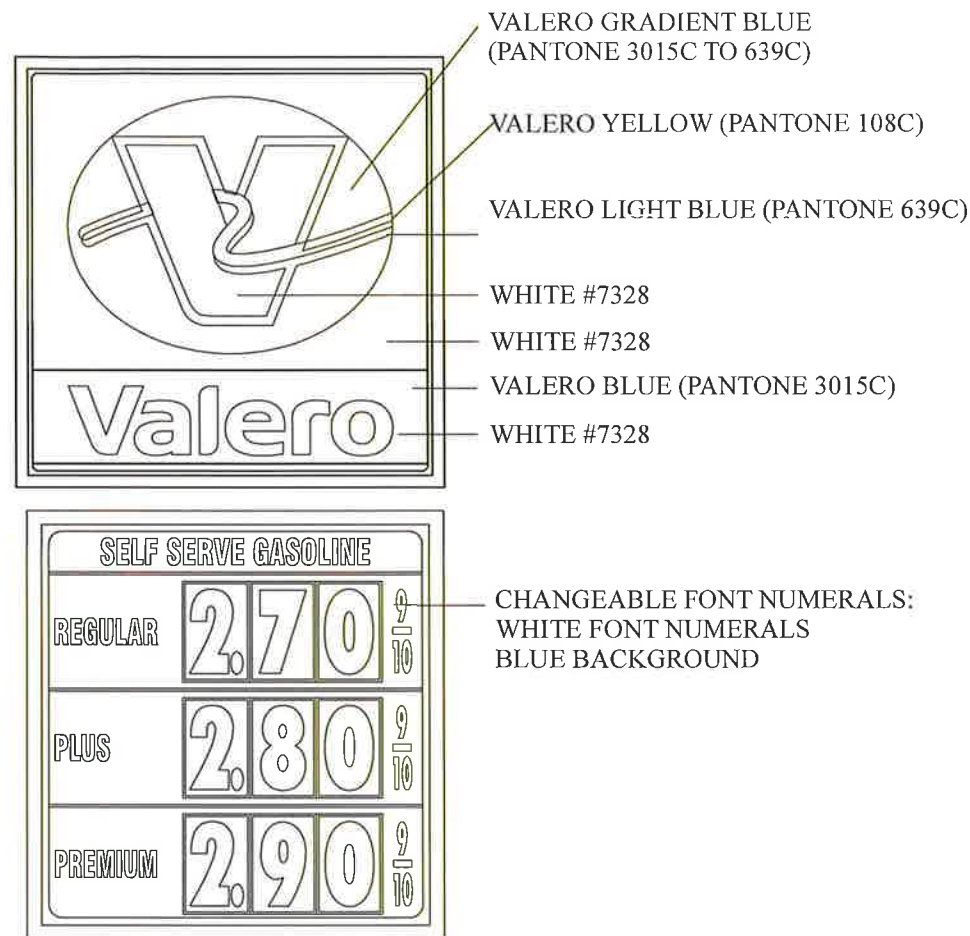
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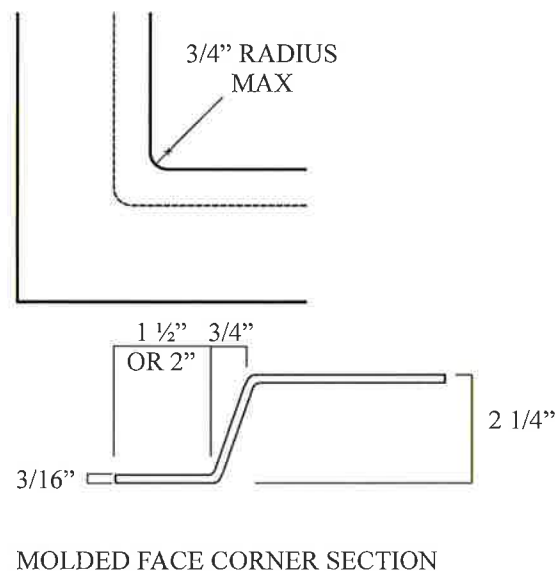
Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045



① REFACE EXISTING D/F PRICE/ID SIGN
71.25 sq. ft.

SCALE: 3/8" = 1'-0"



REFACE/REPAINT EXISTING CABINET.

CABINET CONSTRUCTION: ALUMINUM
EXTERNAL ILLUMINATION

FACE MATERIALS: MOLDED POLYCARBONATE
FACES WITH TRANSLUCENT 3M VINYL
SECOND SURFACE DECORATION

FINISH SPECIFICATIONS: SHERWIN WILLIAMS
PAINTED, RETAINERS, DIVIDER BARS, POLE AND
BASE TO MATCH VALERO MOCKING BIRD DARK GRAY

GENERAL NOTE: ALL SIGNAGE TO BE MANUFACTURED
AND INSTALLED ACCORDING TO LOCAL AND NATIONAL
BUILDING AND ELECTRICAL CODES

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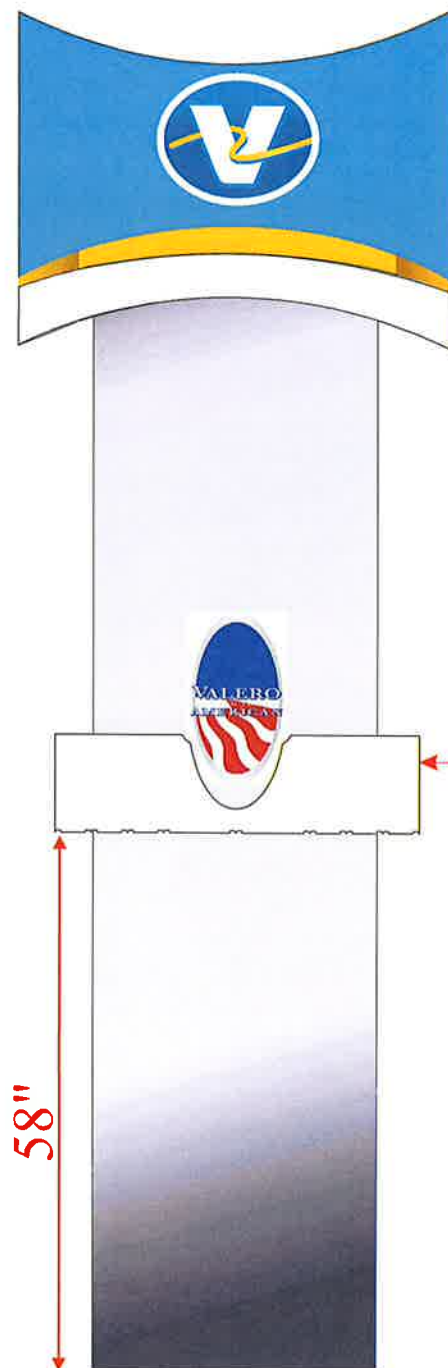
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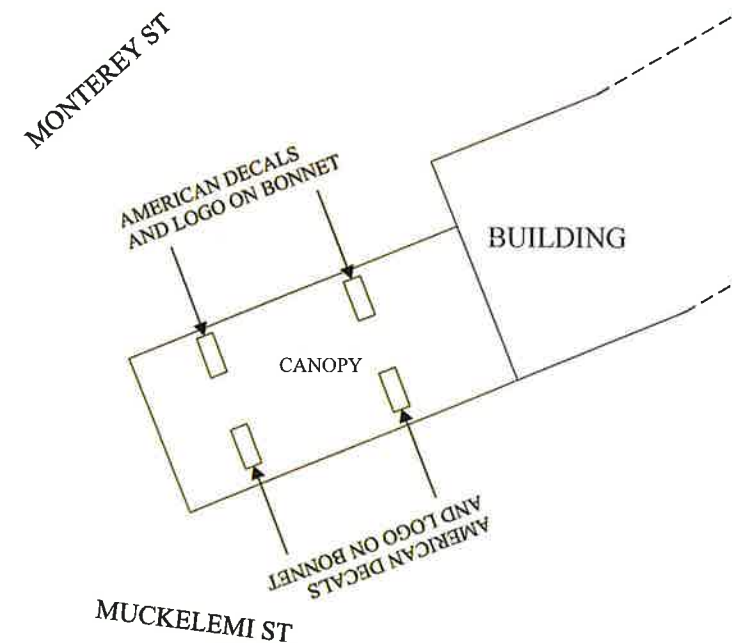
Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045

*****VERY IMPORTANT*****
MUST NOT DRILL INTO DISPENSERS
WHEN INSTALLING VALANCES.
MUST USE EXISTING BOLTS TO
ATTACH BRACKETS AND VALANCES



EXISTING DISPENSER



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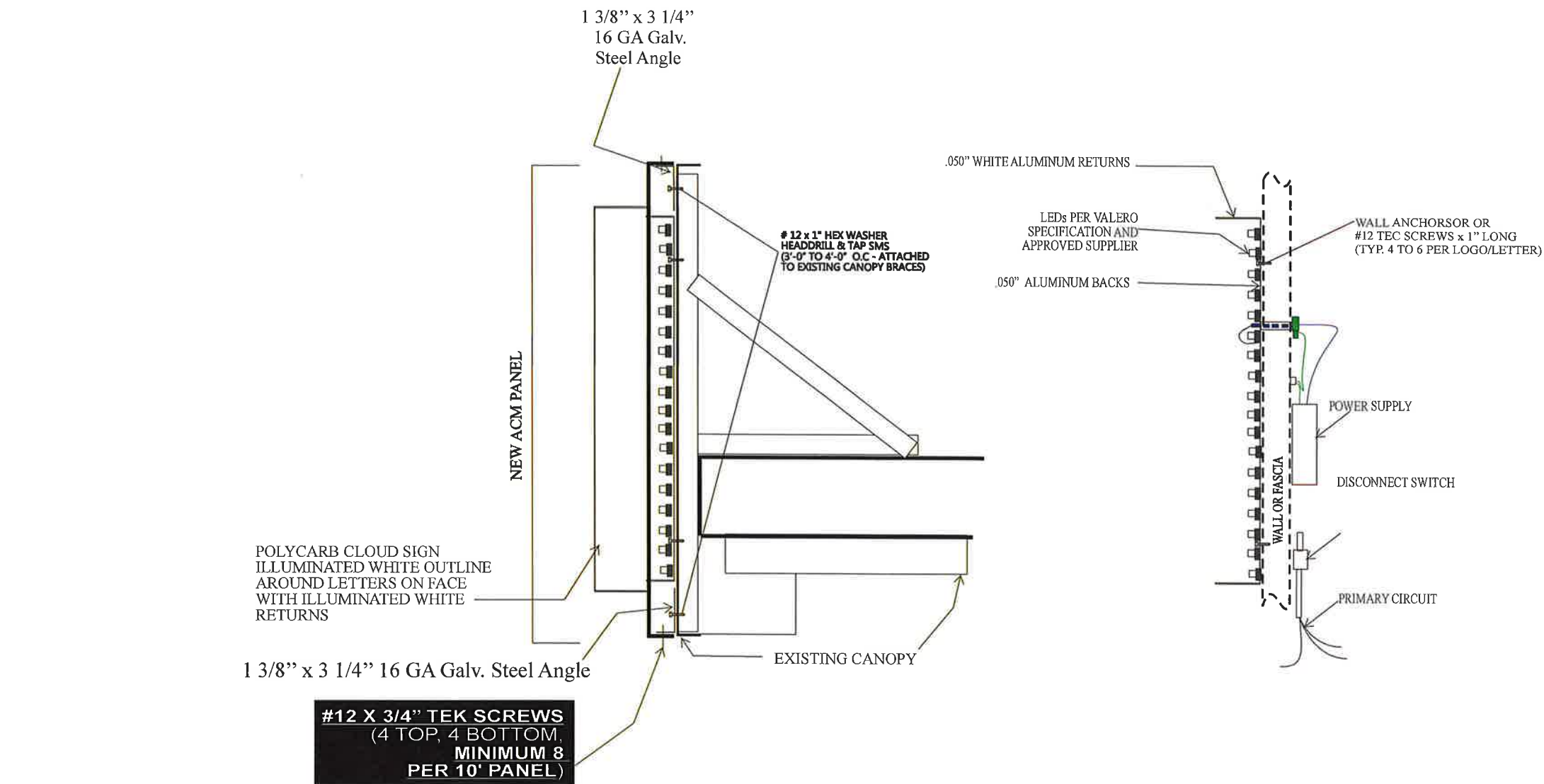
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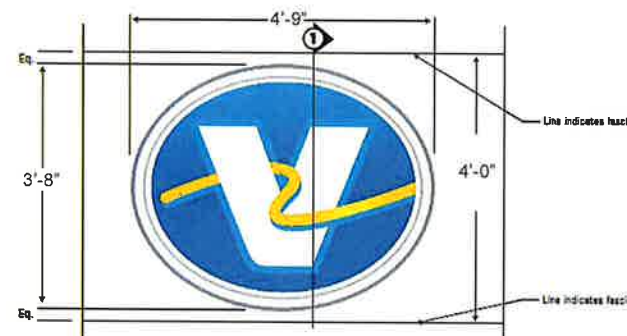
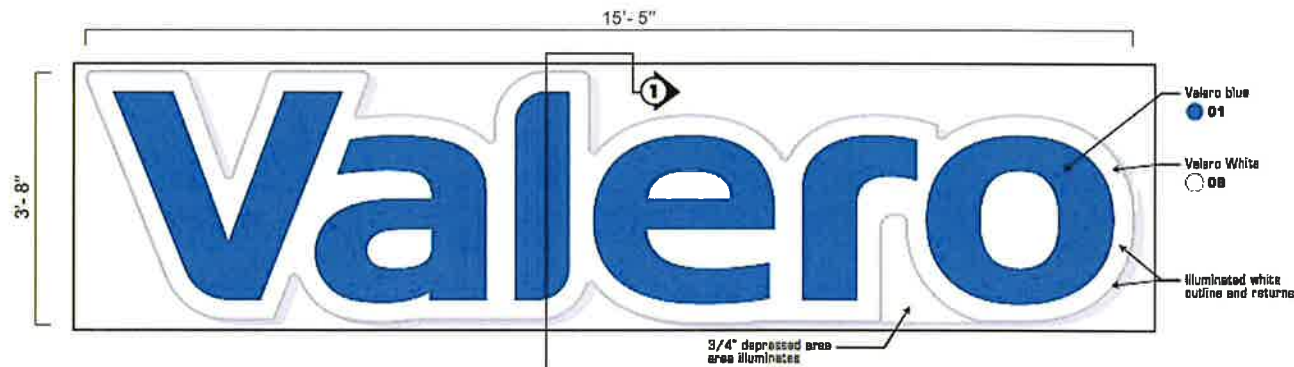
Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045

WORDMARK & LOGO DETAILS LED ILLUMINATION



ACM FASCIA WITH ILLUMINATED COPY



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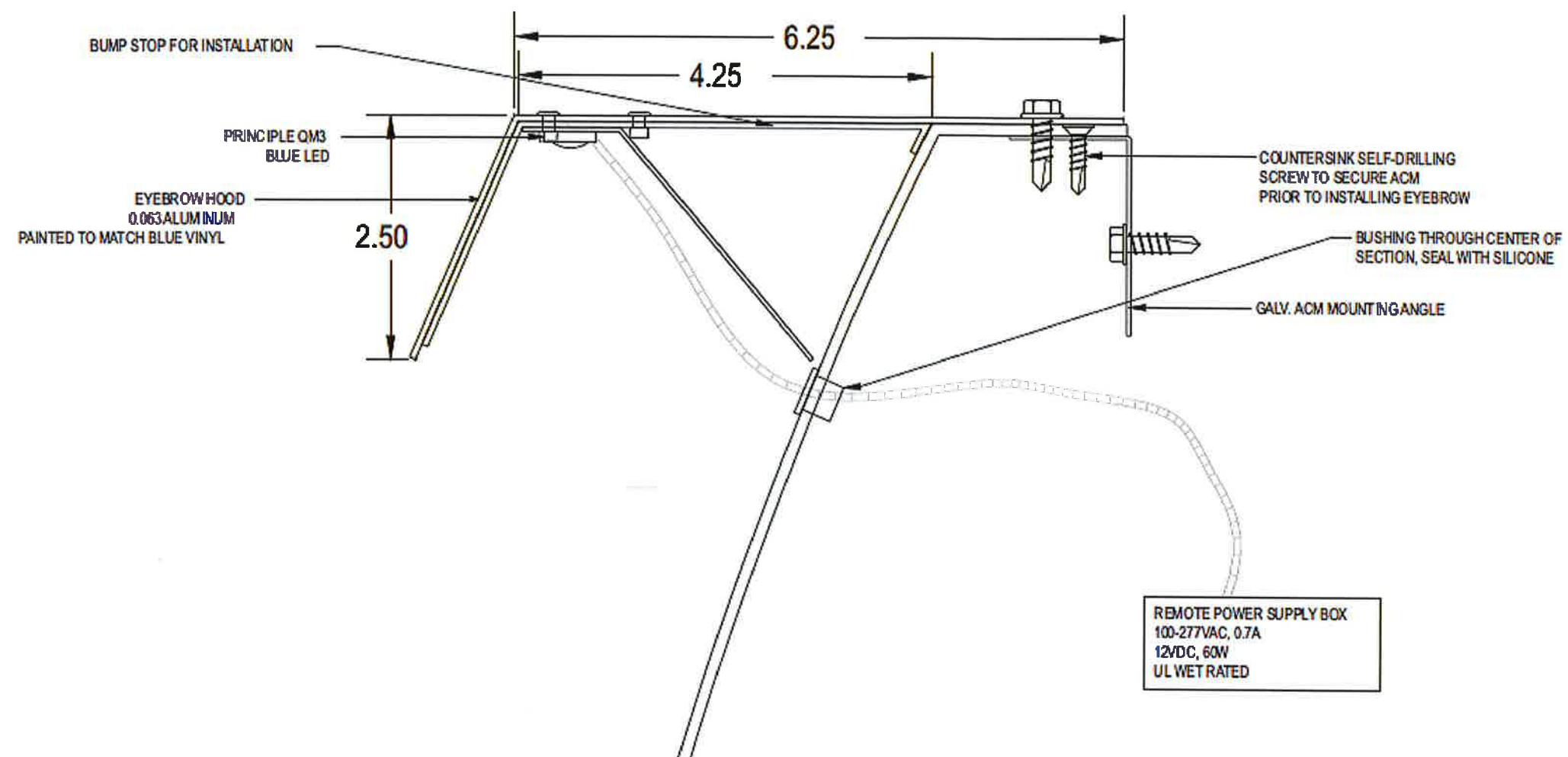
DATE: 12.18.18SM

REV:

Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045

EYEBROW SECTION VIEW DETAILS LED ILLUMINATION



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CUSTOMER APPROVAL

SIGN AND PRINT FULL NAME

DATE

NO. U5890

PAGE:

DATE: 12.18.18SM

REV:

Valero

63 MUCKELEMI ST.
SAN JUAN BAUTISTA, CA 95045

CITY OF SAN JUAN BAUTISTA

PLANNING COMMISSION (PC)

STAFF MEMO

DATE: March 12, 2019

Item xx: Site Design and Review for new construction of two Manufactured Homes and one Accessory Building on a 4 acre parcel.

Location: 498 Lasuen Drive and 480 Lasuen Drive, San Juan Bautista, CA 95045
APN #002-540-010

Proposal: Follow up on final PC requests to proceed and approve site review

DISCUSSION:

This item was heard at the Planning Commission hearing back on February 5, 2019. There were 4 conditions/questions the PC requested of the applicant to come back and close on prior to approval. Below are the conditions and responses from applicant.

1. Flow test of existing sewer line to ensure sufficient capacity for the two new units
 - a. Test completed and City Engineer approved that it has sufficient capacity
2. To move the fence so it is in line with the property line
 - a. Fence has been taken down and will be replace within property once weather permits
3. Storage cargo container
 - a. Container will be immediately removed at completion of construction or within 6 months of building permit issuance, whichever occurs first.
4. In lieu of improving entire frontage(curb, gutter, sidewalk) plant large trees to beautify the hillside and frontage
 - a. Large trees in accordance with species in MC are now on the landscape plans and will be planted no later than March 18, 2019.

Additional improvements the client is proposing given the feedback from PC:
Changing the modular home product to better blend in with the City of SJB style and adjacent neighborhood.

Recommendation:

Staff recommends PC adopt Resolution 2019-xx, approving the Site and Design Review of 498 Lasuen Drive and 480 Lasuen Drive, San Juan Bautista, CA 95045 APN #002-540-010.

ATTACHED:

Draft Resolution
Sewer Analysis
Pictures showing fence removed
Revised Plans
Primary and Secondary resident elevations

RESOLUTION 2019 - xxx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE AND DESIGN REVIEW FOR NEW CONSTRUCTION OF TWO MANUFACTURED HOMES AND ONE ACCESSORY BUILDING ON A FOUR ACRE PARCEL ZONED LOW DENSITY RESIDENTIAL LOCATED ON LASUEN DRIVE, SAN JUAN BAUTISTA, CALIFORNIA. APN 002-540-010

WHEREAS, the Planning Commission conducted a public hearing on February 5, 2019 to review the proposed Site and Design Review, and

WHEREAS, the Planning Commission received oral comments, written correspondence, electronic communication and public testimony at the public hearing, and

WHEREAS, the Planning Commission acknowledges that notices were sent to property owners within 300 feet of the project boundaries as listed on the latest equalized assessment roll, and

WHEREAS, the Planning Commission reviewed the staff report for the project and applicable zoning codes and standards, and

WHEREAS, the Planning Commission continued this item to a future date so required items can be completed, and

WHEREAS, the Planning Commission conducted a public hearing on March 12, 2019 to review the proposed Site and Design Review, and

WHEREAS, the Planning Commission reviewed the staff report for the project together with findings that the proposed Site and Design Review is categorically exempt from CEQA (California Environmental Quality Act) review, and

WHEREAS, the Planning Commission has made all findings and information and makes the following finding to approve the Site Design and Review request.

1. The proposed project is being developed in a hillside setting with an average slope of 24%. The manner and scale of the development will retain and enhance the City's rural atmosphere and protect the natural environment. The scale of the development is small and the

buildings will be located in places where any impacts will be minimal.

2. The project is proposed with landscaping, design, and locations where view sheds of the hillside area from Highway 156 and other rural streets and roads will be protected by having a rustic design and have enhanced landscaping and trees provided onsite. The buildings are also located on locations where they will not block views of neighboring property owners.
3. The proposed buildings on site were reviewed and are placed onsite where impacts will be minimal, scale of the project is small and natural features will be preserved.
4. The proposed project will be constructed on locations onsite according to the findings stated in the geologic report and the engineer's determination where impacts from excavation will kept minimal. Best practices for soil erosion and development will be taking place.
5. This project is being proposed where the scale is small in relation to the size of the entire parcel, constructed on locations where views are not obstructed, minimal environmental impacts, and minimal soil erosion. Therefore, the project will not be detrimental to the public welfare of the City and its residents.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of San Juan Bautista hereby approves the Site and Design Review located on Lasuen Drive, San Juan Bautista, California, subject to the following conditions.

1. The existing white picket fence shall be completed so it is in line with the property line so no encroachment takes place.
2. The proposed scopes of work on the entire site shall be developed as shown on the proposed plans.
3. The proposed scopes of work are subject to applicable Building, Engineering, Planning, and Fire Codes.
4. The existing cargo container onsite may remain until the completion of the new buildings proposed.
5. Mature trees with large sizes in gallons and calipers shall be put in place adjacent to the proposed residential units so there is no visibility from the areas below.

6. Any further development on this site shall require further Planning Review and Environmental Review.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista at a regular meeting held on March 12, 2019 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Scott Freels, Chairperson

ATTEST:

Trish Paetz, Deputy City Clerk

**SANITARY SEWER ANALYSIS
LASUEN DRIVE, SAN JUAN BAUTISTA**

JOB No. 18031
Dave & Kevin McGovert
SAN JUAN BAUTISTA, CA

FEBRUARY 2019



Matthew J. Kelley
2/8/2019

KELLEY
ENGINEERING & SURVEYING
400 PARK CENTER DRIVE SUITE #4, HOLLISTER, CA 95023
OFFICE: (831) 636-1104 FAX (831) 636-1837

NARRATIVE

It is known by recent inspection of the sewer pipe in Lasuen Drive that it is 4" diameter ABS pipe. It is also known by inspection that the 4" ABS connects to a 6" clay pipe somewhere between Lasuen Drive and Polk Street because the pipe into the manhole in Polk Street is a 6" clay pipe. Recent inspections by potholing and recent repair of the 4" ABS pipe and a manhole inspection of the 6" clay pipe reveal that the pipes are in good condition.

Although it is unusual to have a 4" sewer line serving multiple residences it is feasible and even recommended from an engineering perspective for the very low flows that would be encountered with very few connections. The reasoning behind this is the low flow rate from a small number of connections results in a very shallow flow in a conventional pipe size like 6" or 8". These shallow flows can cause a build-up of solids in the pipe. Over time, this can lead to blockages.

The slope of the existing 4" pipe in Lasuen Drive is 22%. We surveyed the invert of the cleanout at the bottom of Lasuen Drive on the south side of the freeway and we surveyed the invert of the 6" clay pipe in the manhole located in the intersection of 7th and Polk Streets on the north side of the freeway. The average slope between these locations is 13.8%. It is possible that the pipe is laid at a flatter slope anywhere in between these locations so this analysis includes calculations using the minimum recommended pipe slopes for the respective pipe sizes.

The minimum recommended slope for a 4" sewer is 0.84% and 0.49% for a 6" sewer. See attachment "Minimum Sanitary Sewer Slopes" by Thomas Gail Haws, P.E.

Per City of Hollister design standard 5.03 A.2. 290 gallons per day per dwelling unit is used for a design flow.

4" PIPE

The calculations show for three homes the project design flow is 0.003 CFS. The pipe capacity is 0.103 CVS at a minimum slope of 0.84% **The pipe capacity far exceeds the project design flow.**

6" PIPE

The calculations show for three homes the project design flow is 0.003 CFS. The pipe capacity is 0.233 CVS at a minimum slope of 0.49% **The pipe capacity far exceeds the project design flow.**

CONCLUSION

The existing pipes in Lasuen Drive and Polk Street have ample capacity for the additional proposed connections.

Sanitary Sewer Design

Calculations and methodology per City of Hollister Design Standards Section 5.03

5.03 A - Design Flow

$$\text{Design Flow} = Q = Q_{\text{avg}} * \text{DU} * \text{PF}$$

Q = design flow in gallons per day

Qavg = waste water coefficients

DU = estimated number of units

PF = peaking factor (2.5)

3 HOMES - LASUEN DR ~ 4 IN. @ MINIMUM PIPE SLOPE

Land Use	unit	Qavg	# of units	PF	Q
Single Family	gpd/DU	290	3	2.5	2,175
Project Design Flow =					2,175 gal./day

5.03 B - Pipe Capacity

$$\text{Pipe Capacity} = Q_{\text{pipe}} = A * (1.49/n) * R^{2/3} * S^{1/2} \quad (\text{Manning's Formula})$$

A = cross sectional area of pipe (ft²)

n = roughness coefficient (use 0.011 for PVC)

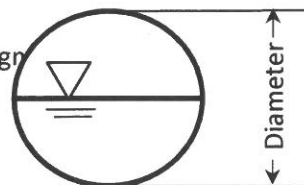
Pw = Wetted Perimeter (ft)

R = hydraulic radius (ft) = A/Pw

S = pipe slope (ft/ft)

Per 5.03 B.2 for pipe 10" or less in diameter the pipe shall be designed so that the Design flow will be carried when pipe is flowing at one-half depth so the following calculations all relate to the design pipe at 1/2 full.

Pipe 1/2 full for sewer design calculations



Pipe Calculations for pipe flowing at 1/2 depth

$$\begin{aligned}
 D &= 4 && (\text{in}) \\
 S &= 0.0084 && (\text{ft/ft}) \text{ minimum pipe} \\
 n &= 0.011 \\
 A_{\text{full}} &= 0.087 && (\text{ft}^2) = \pi * D^2 / 4 = \text{x-sect. area of pipe} \\
 A_{1/2} &= 0.044 && (\text{ft}^2) = \text{x-sect area. for 1/2 depth} \\
 R_{h_{1/2}} &= 0.0833 && (\text{ft}) = D/4 \text{ for circular channels either full or 1/2 full}
 \end{aligned}$$

$$Q_{\text{pipe}} = A_{1/2} * (1.49/n) * R_{h_{1/2}}^{(2/3)} * S^{(1/2)}$$

Q_{pipe} =	0.103	cfs
Velocity =	2.369	fps

Summary

Project Design Flow =	2,175	(gal./day)	or	0.003	cfs
Pipe Capacity =	66,799	(gal./day)	or	0.103	cfs

Sanitary Sewer Design

Calculations and methodology per City of Hollister Design Standards Section 5.03

5.03 A - Design Flow

$$\text{Design Flow} = Q = Q_{\text{avg}} * DU * PF$$

Q = design flow in gallons per day

Qavg = waste water coefficients

DU = estimated number of units

PF = peaking factor (2.5)

3 HOMES - LASUEN DR ~ 6 IN. @ MINIMUM PIPE SLOPE

Land Use	unit	Qavg	# of units	PF	Q
Single Family	gpd/DU	290	3	2.5	2,175
Project Design Flow =					2,175 gal./day

5.03 B - Pipe Capacity

$$\text{Pipe Capacity} = Q_{\text{pipe}} = A * (1.49/n) * R^{2/3} * S^{1/2} \quad (\text{Manning's Formula})$$

A = cross sectional area of pipe (ft²)

n = roughness coefficient (use 0.011 for PVC)

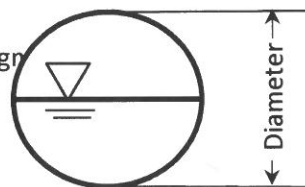
Pw = Wetted Perimeter (ft)

R = hydraulic radius (ft) = A/Pw

S = pipe slope (ft/ft)

Per 5.03 B.2 for pipe 10" or less in diameter the pipe shall be designed so that the Design flow

Pipe 1/2 full for sewer design calculations



Pipe Calculations for pipe flowing at 1/2 depth

$$\begin{aligned}
 D &= 6 && (\text{in}) \\
 S &= 0.0049 && (\text{ft/ft}) \text{ minimum pipe} \\
 n &= 0.011 \\
 A_{\text{full}} &= 0.196 && (\text{ft}^2) = \pi * D^2 / 4 = \text{x-sect. area of pipe} \\
 A_{1/2} &= 0.098 && (\text{ft}^2) = \text{x-sect area. for 1/2 depth} \\
 Rh_{1/2} &= 0.1250 && (\text{ft}) = D/4 \text{ for circular channels either full or 1/2 full}
 \end{aligned}$$

$$Q_{\text{pipe}} = A_{1/2} * (1.49/n) * Rh_{1/2}^{(2/3)} * S^{(1/2)}$$

$Q_{\text{pipe}} =$	0.233	cfs
Velocity =	2.370	fps

Summary

Project Design Flow = 2,175 (gal./day) or 0.003 cfs

Pipe Capacity = 150,420 (gal./day) or 0.233 cfs

Minimum Sanitary Sewer Slopes

>> Drop your fears at the door; love is spoken here. <<

By Thomas Gail Haws, P.E.

New in 2009. Use the FREE pipe flow calculator at hawsedc.com (engcalcs/Manning-Pipe-Flow.php).

INTRODUCTION

Minimum sanitary sewer slopes are established to provide a minimum cleansing velocity (usually 2 or 3 feet per second) at full flow or half-full flow. (The physics of hydraulic flow are such that a sloped pipe will carry flow by gravity half full at the same velocity as full.) Table 1 below gives minimum sewer slopes to provide 2 feet per second velocity assuming a Manning pipe roughness (n) of 0.013. For larger diameter pipes, considerations other than minimum cleansing velocity (such as construction tolerances and potential ground subsidence) may govern the minimum slope selection. Table 2 is a more generalized table with a range of common values:

MINIMUM SANITARY SEWER SLOPE TABLE 1
(Standard Arizona Practice)

Pipe Diameter (inches)	Minimum Slope $S=\{V/[1.486/n*(D/4)^{(2/3)}]\}^2$
4	0.0084
6	0.0049
8	0.0034
10	0.0025
12	0.0019
15	0.0014
18	0.0011
21	0.00092
24	0.00077
30	0.00057
36	0.00045
42	0.00037
48	0.00031
54	0.00026
60	0.00023
66	0.00020
72	0.00018
84	0.00015
96	0.00012

MINIMUM SANITARY SEWER SLOPE TABLE 2

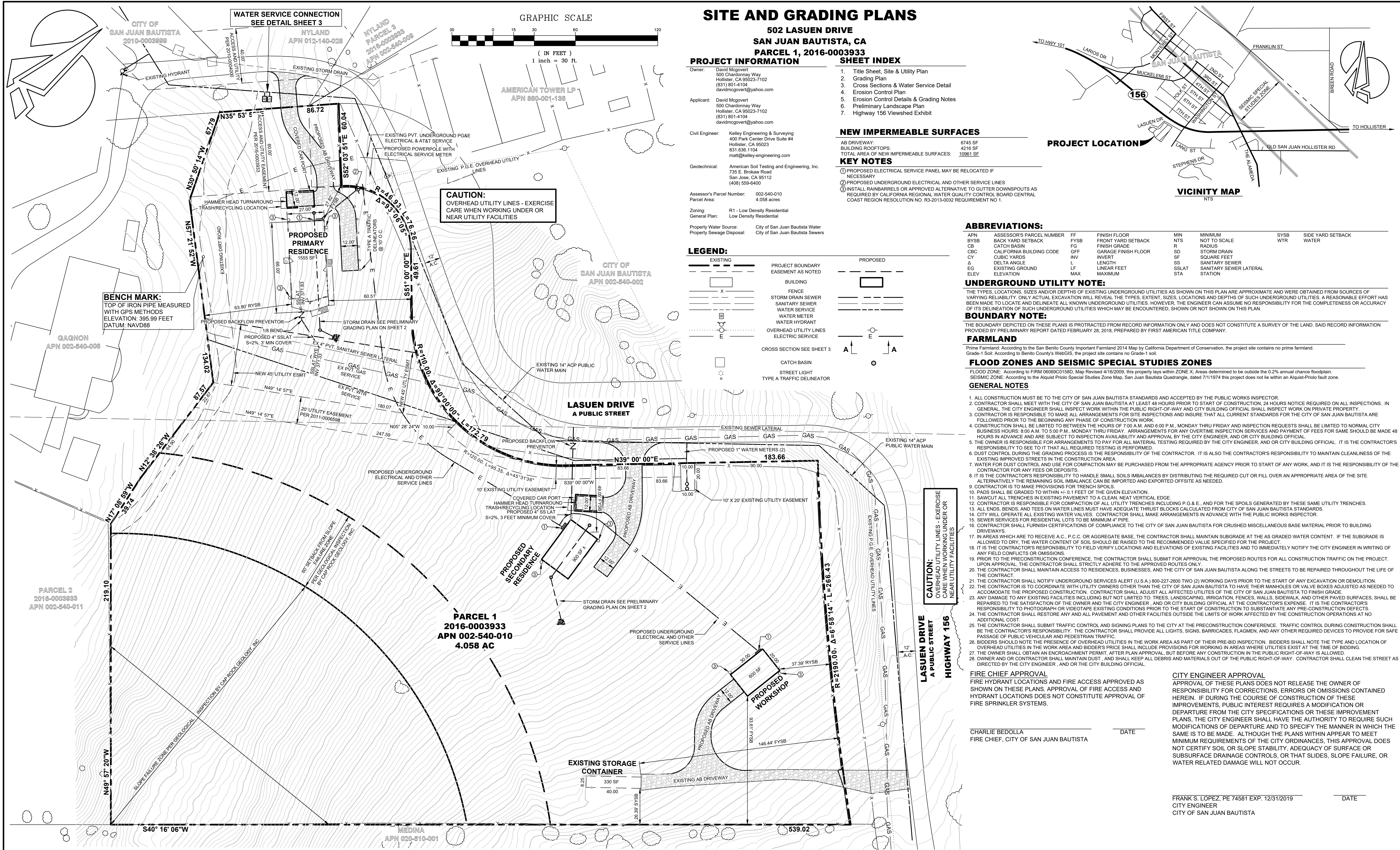
PIPE SIZE		MINIMUM SLOPE					
(in)	(mm)	FOR 2.0 ft/s (0.6 m/s)			FOR 2.5 ft/s (0.75 m/s)		
Manning's n -->		0.010	0.013	0.015	0.010	0.013	0.015
8	200	0.0020	0.0034	0.0045	0.0031	0.0052	0.0070
10	250	0.0015	0.0025	0.0033	0.0023	0.0037	0.0052
12	300	0.0011	0.0019	0.0026	0.0018	0.0030	0.0040
15	380	0.00085	0.0014	0.0019	0.0013	0.0022	0.0030
18	450	0.00067	0.0011	0.0015	0.0010	0.0017	0.0023
24	600	0.00045	0.00077	0.0010	0.00071	0.0012	0.0016
30	760	0.0003	0.00056	0.00074	0.00052	0.00088	0.0012

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 [Blog \(new in 2009\) \(http://tomsthird.blogspot.com/\)](http://tomsthird.blogspot.com/) |
 [Personal essays \(http://www.hawsedc.com/thomas\)](http://www.hawsedc.com/thomas) |
 [Collaborative Family Trees \(http://www.hawsedc.com/famtree.php\)](http://www.hawsedc.com/famtree.php) |
 [Contact \(http://www.hawsedc.com/contact.php\)](http://www.hawsedc.com/contact.php)









SITE AND GRADING PLANS

502 LASUEN DRIVE
SAN JUAN BAUTISTA, CA
PARCEL 1, 2016-0003933

PROJECT INFORMATION

Owner: David McGovern
500 Chardonnay Way
Hollister, CA 95023-7102
(831) 801-4104
davidmcgovert@yahoo.com

Applicant: David McGovern
500 Chardonnay Way
Hollister, CA 95023-7102
(831) 801-4104
davidmcgovert@yahoo.com

Civil Engineer: Kelley Engineering & Surveying
400 Park Center Drive Suite #4
Hollister, CA 95023
831.636.1104
matt@kelley-engineering.com

Geotechnical: American Soil Testing and Engineering, Inc.
735 E. Brokaw Road
San Jose, CA 95112
(408) 559-6400

Assessor's Parcel Number: 002-540-010
Parcel Area: 4.058 acres

Zoning: R1 - Low Density Residential
General Plan: Low Density Residential

Property Water Source: City of San Juan Bautista Water
Property Sewage Disposal: City of San Juan Bautista Sewers

SHEET INDEX

- Title Sheet, Site & Utility Plan
- Grading Plan
- Cross Sections & Water Service Detail
- Erosion Control Plan
- Erosion Control Details & Grading Notes
- Preliminary Landscape Plan
- Highway 156 Viewshed Exhibit

NEW IMPERMEABLE SURFACES

AB DRIVEWAY: 6745 SF
BUILDING ROOFTOPS: 4216 SF
TOTAL AREA OF NEW IMPERMEABLE SURFACES: 10961 SF

KEY NOTES

- PROPOSED ELECTRICAL SERVICE PANEL MAY BE RELOCATED IF NECESSARY
- PROPOSED UNDERGROUND ELECTRICAL AND OTHER SERVICE LINES
- INSTALL RAINBARRELS OR APPROVED ALTERNATIVE TO GUTTER DOWNSPOUTS AS REQUIRED BY CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD CENTRAL COAST REGION RESOLUTION NO. R3-2013-0032 REQUIREMENT NO. 1.

ABBREVIATIONS:

APN	ASSESSOR'S PARCEL NUMBER	FF	FINISH FLOOR	MIN	MINIMUM	SYSB	SIDE YARD SETBACK
BYSB	BACK YARD SETBACK	FYSB	FRONT YARD SETBACK	NTS	NOT TO SCALE	WTR	WATER
CB	CATCH BASIN	FG	FINISH GRADE	R	RADIUS		
CBC	CALIFORNIA BUILDING CODE	GFF	GARAGE FINISH FLOOR	SD	STORM DRAIN		
CY	CUBIC YARDS	INV	INVERT	SF	SQUARE FEET		
A	DELTA ANGLE	LF	LENGTH	SS	SANITARY SEWER		
EG	EXISTING GROUND	LF	LINEAR FEET	SSLAT	SANITARY SEWER LATERAL		
ELEV	ELEVATION	MAX	MAXIMUM	STA	STATION		

UNDERGROUND UTILITY NOTE:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, SHOWN OR NOT SHOWN ON THIS PLAN.

BOUNDARY NOTE:

THE BOUNDARY SHOWN ON THESE PLANS IS PROTRACTED FROM RECORD INFORMATION ONLY AND DOES NOT CONSTITUTE A SURVEY OF THE LAND. SAID RECORD INFORMATION PROVIDED BY PREVIOUS REPORT DATED FEBRUARY 28, 2018, PREPARED BY FIRST AMERICAN TITLE COMPANY.

FARMLAND

Prime Farmland: According to the San Benito County Important Farmland 2014 Map by California Department of Conservation, the project site contains no prime farmland.

FLOOD ZONES AND SEISMIC SPECIAL STUDIES ZONES

FLOOD ZONE: According to FIRM 06089C0158D, Map Revised 4/16/2009, this property lies within ZONE X; Areas determined to be outside the 0.2% annual chance floodplain.

SEISMIC ZONE: According to the Alquist Priolo Special Studies Zone Map, San Juan Bautista Quadrangle, dated 7/11/1974 this project does not lie within an Alquist-Priolo fault zone.

GENERAL NOTES

- ALL CONSTRUCTION MUST BE TO THE CITY OF SAN JUAN BAUTISTA STANDARDS AND ACCEPTED BY THE PUBLIC WORKS INSPECTOR.
- CONTRACTOR SHALL MEET WITH THE CITY OF SAN JUAN BAUTISTA AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION, 24 HOURS NOTICE REQUIRED ON ALL INSPECTIONS. IN GENERAL, THE CITY ENGINEER SHALL INSPECT WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND CITY BUILDING OFFICIAL SHALL INSPECT WORK ON PRIVATE PROPERTY.
- CONTRACTOR IS RESPONSIBLE TO MAKE ALL ARRANGEMENTS FOR SITE INSPECTIONS AND INSURE THAT ALL CURRENT STANDARDS FOR THE CITY OF SAN JUAN BAUTISTA ARE FOLLOWED PRIOR TO THE BEGINNING ANY PHASE OF CONSTRUCTION WORK.
- CONSTRUCTION SHALL BE LIMITED TO BETWEEN THE HOURS OF 7:00 A.M. AND 6:00 P.M., MONDAY THRU FRIDAY AND INSPECTION REQUESTS SHALL BE LIMITED TO NORMAL CITY BUSINESS HOURS: 8:00 A.M. TO 5:00 P.M., MONDAY THRU FRIDAY. ARRANGEMENTS FOR ANY OVERTIME INSPECTION SERVICES AND PAYMENT OF FEES FOR SAME SHOULD BE MADE 48 HOURS IN ADVANCE AND ARE SUBJECT TO INSPECTION AVAILABILITY AND APPROVAL BY THE CITY ENGINEER, AND OR CITY BUILDING OFFICIAL.
- THE OWNER IS RESPONSIBLE FOR ARRANGEMENTS TO PAY FOR ALL MATERIAL TESTING REQUIRED BY THE CITY ENGINEER, AND OR CITY BUILDING OFFICIAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE TO IT THAT ALL REQUIRED TESTING IS PERFORMED.
- DUST CONTROL DURING THE GRADING PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CLEANLINESS OF THE EXISTING IMPROVED STREETS IN THE CONSTRUCTION AREA.
- WATER FOR DUST CONTROL AND USE FOR COMPACTION MAY BE PURCHASED FROM THE APPROPRIATE AGENCY PRIOR TO START OF ANY WORK, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY FEES OR DEPOSITS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO HANDLE SMALL SOILS IMBALANCES BY DISTRIBUTING THE REQUIRED CUT OR FILL OVER AN APPROPRIATE AREA OF THE SITE. ALTERNATIVELY THE REMAINING SOIL IMBALANCE CAN BE IMPORTED AND EXPORTED OFFSITE AS NEEDED.
- CONTRACTOR IS TO MAKE PROVISIONS FOR TRENCH SPOILS.
- PAVS SHALL BE GRADED TO WITHIN +/- 0.1 FEET OF THE GIVEN ELEVATION.
- SAWCUT ALL TRENCHES IN EXISTING PAVEMENT TO A CLEAN, NEAT VERTICAL EDGE.
- CONTRACTOR IS RESPONSIBLE FOR COMPACTION OF ALL UTILITY TRENCHES INCLUDING P.G. & E., AND FOR THE SPOILS GENERATED BY THESE SAME UTILITY TRENCHES.
- ALL ENDS, BENDS, AND TEES ON WATER LINES MUST HAVE ADEQUATE THRUST BLOCKS CALCULATED FROM CITY OF SAN JUAN BAUTISTA STANDARDS.
- CITY WILL OPERATE ALL EXISTING WATER VALVES. CONTRACTOR SHALL MAKE ARRANGEMENTS IN ADVANCE WITH THE PUBLIC WORKS INSPECTOR.
- SEWER SERVICES FOR RESIDENTIAL LOTS TO BE MINIMUM 4" PIPE.
- CONTRACTOR SHALL FURNISH CERTIFICATIONS OF COMPLIANCE TO THE CITY OF SAN JUAN BAUTISTA FOR CRUSHED MISCELLANEOUS BASE MATERIAL PRIOR TO BUILDING DRIVEWAYS.
- IN AREAS WHICH ARE TO RECEIVE A.C., P.C.C. OR AGGREGATE BASE, THE CONTRACTOR SHALL MAINTAIN SUBGRADE AT THE AS GRADED WATER CONTENT. IF THE SUBGRADE IS ALLOWED TO DRY, THE WATER CONTENT OF SOIL SHOULD BE RAISED TO THE RECOMMENDED VALUE SPECIFIED FOR THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING FACILITIES AND TO IMMEDIATELY NOTIFY THE CITY ENGINEER IN WRITING OF ANY FIELD CONFLICTS OR OMISSIONS.
- PRIOR TO THE PRECONSTRUCTION CONFERENCE, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL THE PROPOSED ROUTES FOR ALL CONSTRUCTION TRAFFIC ON THE PROJECT. UPON APPROVAL, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED ROUTES ONLY.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO RESIDENCES, BUSINESSES, AND THE CITY OF SAN JUAN BAUTISTA ALONG THE STREETS TO BE REPAIRED THROUGHOUT THE LIFE OF THE CONTRACT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (U.S.A.) 800-227-2600 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION OR DEMOLITION.
- THE CONTRACTOR IS TO COORDINATE WITH UTILITY OWNERS OTHER THAN THE CITY OF SAN JUAN BAUTISTA TO HAVE THEIR MANHOLES OR VALVE BOXES ADJUSTED AS NEEDED TO ACCOMMODATE THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL ADJUST ALL AFFECTED UTILITIES OF THE CITY OF SAN JUAN BAUTISTA TO FINISH GRADE.
- ANY DAMAGE TO ANY EXISTING FACILITIES INCLUDING BUT NOT LIMITED TO: TREES, LANDSCAPING, IRRIGATION, FENCES, WALLS, SIDEWALK, AND OTHER PAVED SURFACES, SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND THE CITY ENGINEER, AND OR CITY BUILDING OFFICIAL, AT THE CONTRACTOR'S EXPENSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PHOTOGRAPH OR VIDEOTAPE EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION TO SUBSTANTIATE ANY PRE-CONSTRUCTION DEFECTS.
- THE CONTRACTOR SHALL RESTORE ANY AND ALL PAVEMENT AND OTHER FACILITIES OUTSIDE THE LIMITS OF WORK AFFECTED BY THE CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL AND SIGNING PLANS TO THE CITY AT THE PRECONSTRUCTION CONFERENCE. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, AND ANY OTHER REQUIRED DEVICES TO PROVIDE FOR SAFE PASSAGE OF PUBLIC VEHICULAR AND PEDESTRIAN TRAFFIC.
- BIDDERS SHOULD NOTE THE PRESENCE OF OVERHEAD UTILITIES IN THE WORK AREA AS PART OF THEIR PRE-BID INSPECTION. BIDDERS SHALL NOTE THE TYPE AND LOCATION OF OVERHEAD UTILITIES IN THE WORK AREA AND BIDDERS PRICE SHALL INCLUDE THE PROVISIONS FOR WORKING IN AREAS WHERE UTILITIES EXIST AT THE TIME OF BIDDING.
- THE OWNER SHALL OBTAIN AN ENCROACHMENT PERMIT, AFTER PLAN APPROVAL, BUT BEFORE ANY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS ALLOWED.
- OWNER AND OR CONTRACTOR SHALL MAINTAIN DUST, AND SHALL KEEP ALL DEBRIS AND MATERIALS OUT OF THE PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL CLEAN THE STREET AS DIRECTED BY THE CITY ENGINEER, AND OR THE CITY BUILDING OFFICIAL.

FIRE CHIEF APPROVAL

FIRE HYDRANT LOCATIONS AND FIRE ACCESS APPROVED AS SHOWN ON THESE PLANS. APPROVAL OF FIRE ACCESS AND HYDRANT LOCATIONS DOES NOT CONSTITUTE APPROVAL OF FIRE SPRINKLER SYSTEMS.

CHARLIE BEDOLLA
FIRE CHIEF, CITY OF SAN JUAN BAUTISTA

CITY ENGINEER APPROVAL

APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER OF RESPONSIBILITY FOR CORRECTIONS, ERRORS OR OMISSIONS CONTAINED HEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THESE IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OR DEPARTURE FROM THE CITY SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATIONS OF DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE. ALTHOUGH THE PLANS WITHIN APPEAR TO MEET MINIMUM REQUIREMENTS OF THE CITY ORDINANCES, THIS APPROVAL DOES NOT CERTIFY SOIL OR SLOPE STABILITY, ADEQUACY OF SURFACE OR SUBSURFACE DRAINAGE CONTROLS, OR THAT SLIDES, SLOPE FAILURE, OR WATER RELATED DAMAGE WILL NOT OCCUR.

FRANK S. LOPEZ, PE 74581 EXP. 12/31/2019
CITY ENGINEER
CITY OF SAN JUAN BAUTISTA

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**KELLEY
ENGINEERING & SURVEYING**

400 PARK CENTER DRIVE, SUITE #4
HOLLISTER, CA 95023
OFFICE (831) 636-1104 FAX (831) 636-1837

DATE: MARCH 2019
SCALE: 1" = 30'
DESIGNED: MJK, TJK
DRAWN: TJK
JOB NO.: 18031

MCGOVERT

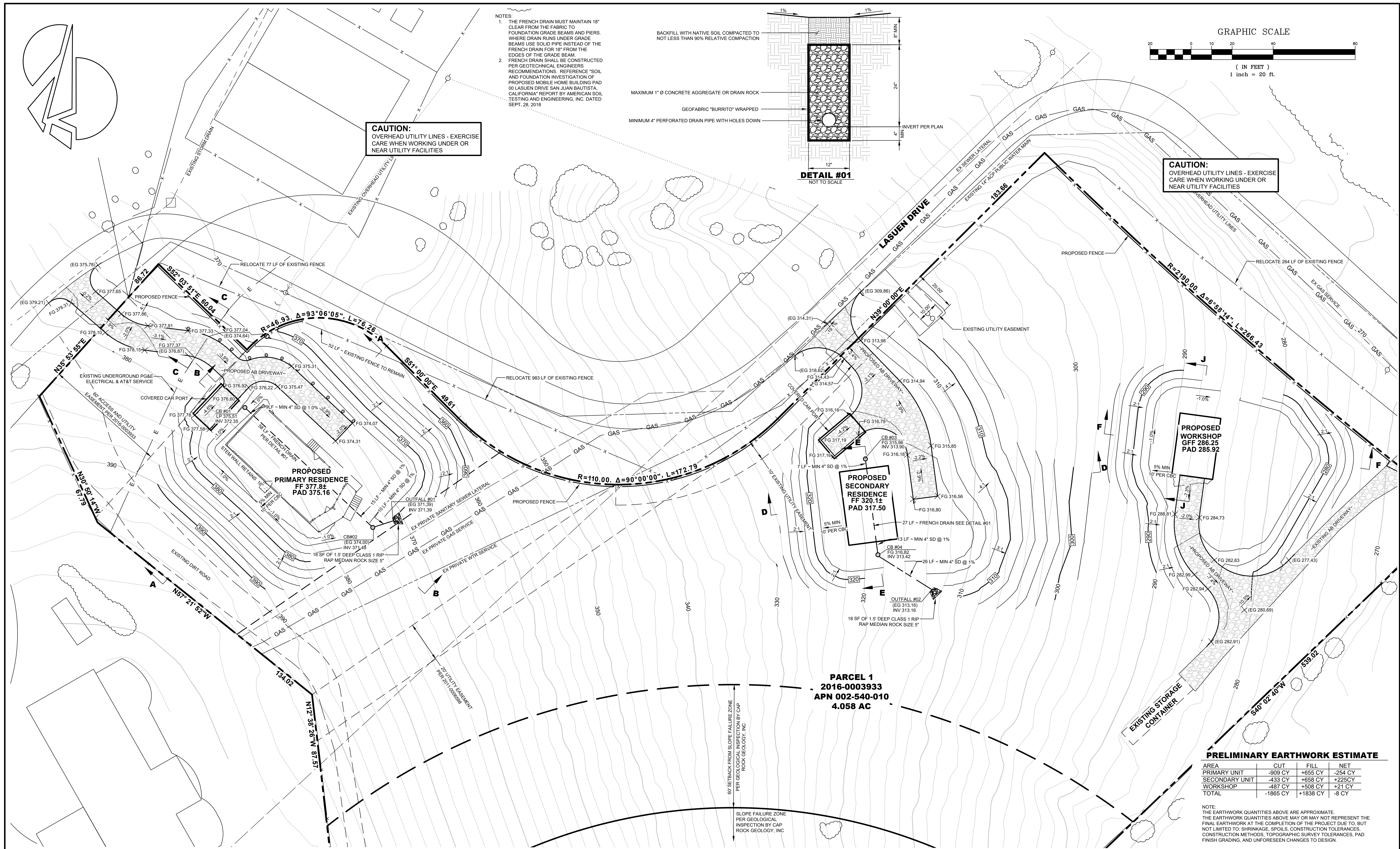
TITLE SHEET, SITE & UTILITY PLAN

480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

SHEET

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OF 7



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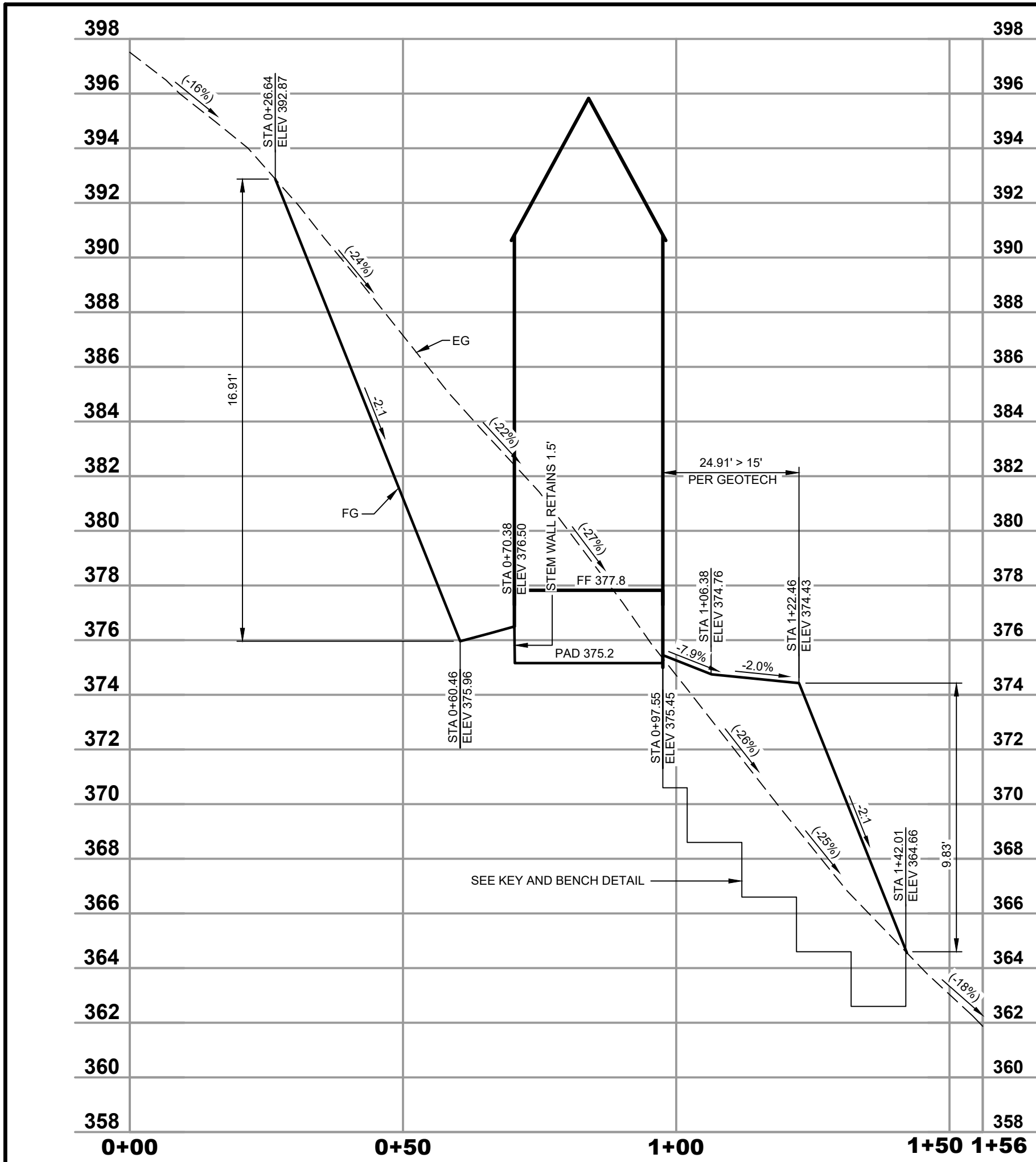
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DRAWN:	MJK, TJK
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**MCGOVERT
GRADING PLAN**
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

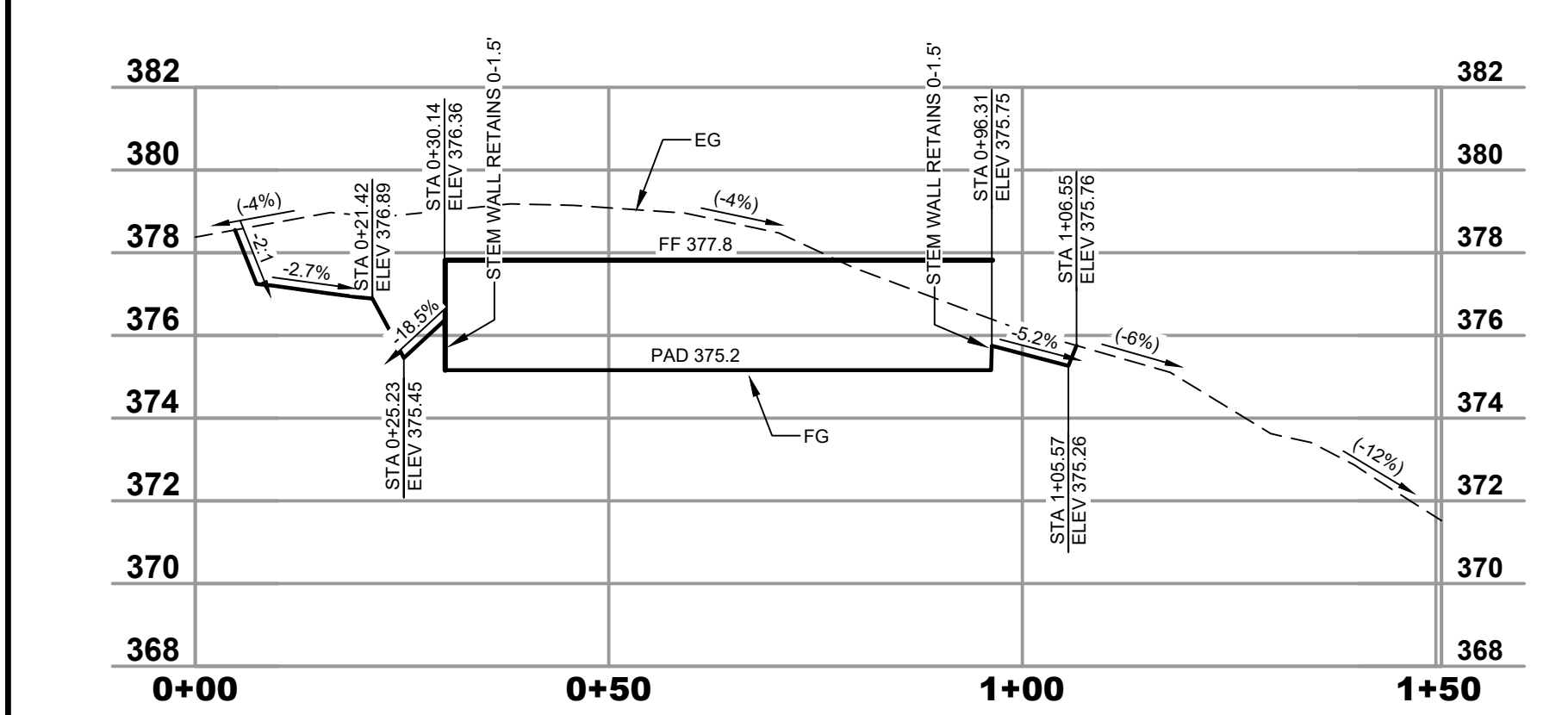
**SHEET
2
OF 7**

PRELIMINARY EARTHWORK ESTIMATE			
AREA	CUT	FILL	NET
PRIMARY UNIT	-809 CY	+655 CY	-254 CY
SECONDARY UNIT	-433 CY	+658 CY	+225 CY
WORKSHOP	-487 CY	+508 CY	+21 CY
TOTAL	-1865 CY	+1838 CY	-8 CY

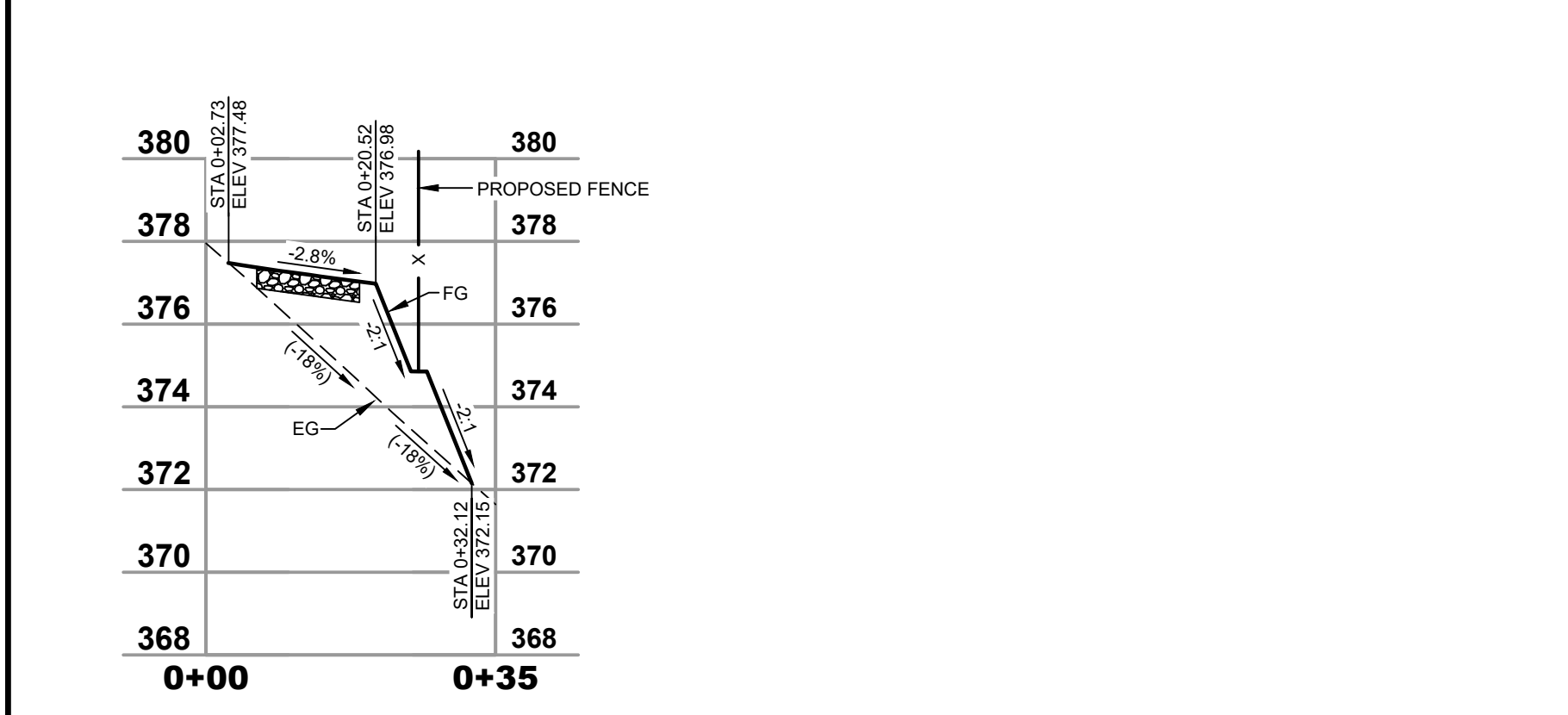
NOTE:
THE EARTHWORK QUANTITIES ABOVE ARE APPROXIMATE.
THE EARTHWORK QUANTITIES ABOVE MAY OR MAY NOT REPRESENT THE
FINAL EARTHWORK AT THE COMPLETION OF THE PROJECT DUE TO, BUT
NOT LIMITED TO: SHRINKAGE, SPOILS, CONSTRUCTION TOLERANCES,
CONSTRUCTION METHODS, TOPOGRAPHIC SURVEY TOLERANCES, PAD
FINISH GRADING, AND UNFORESEEN CHANGES TO DESIGN.



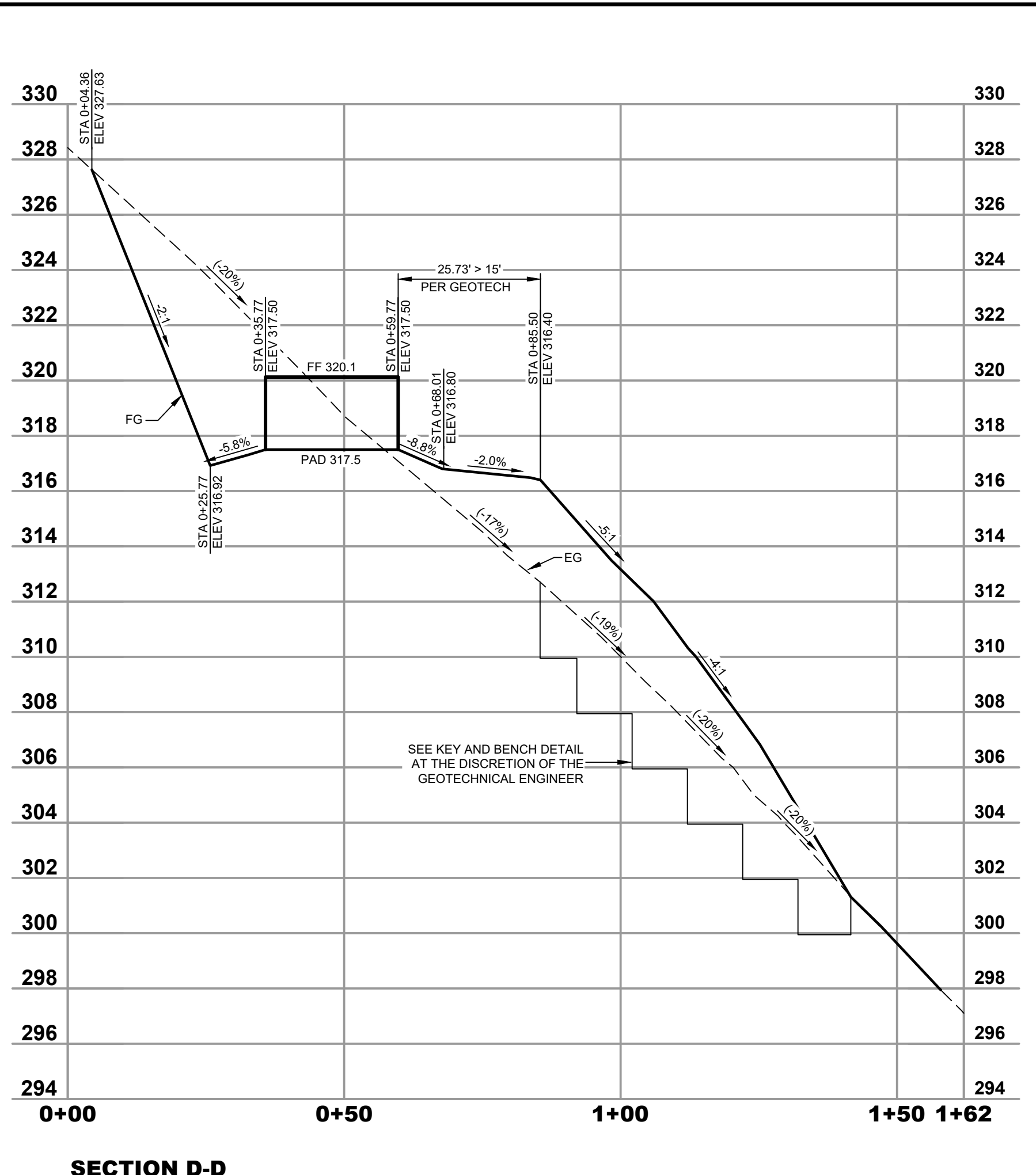
SECTION A-A
SCALE: H: 1" = 20' V: 1" = 4' (5x)



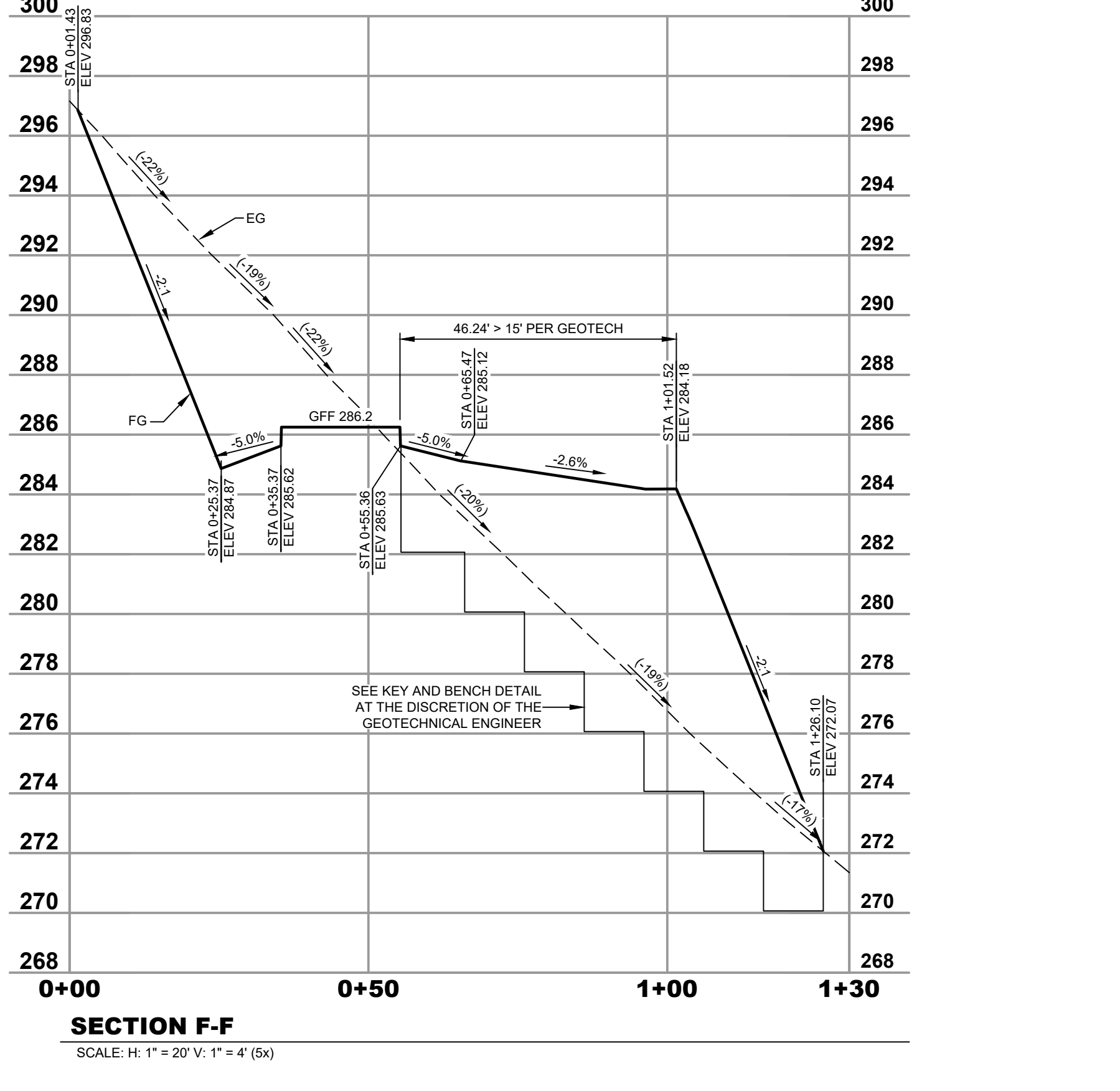
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SCALE: H: 1" = 20' V: 1" = 4' (5x)



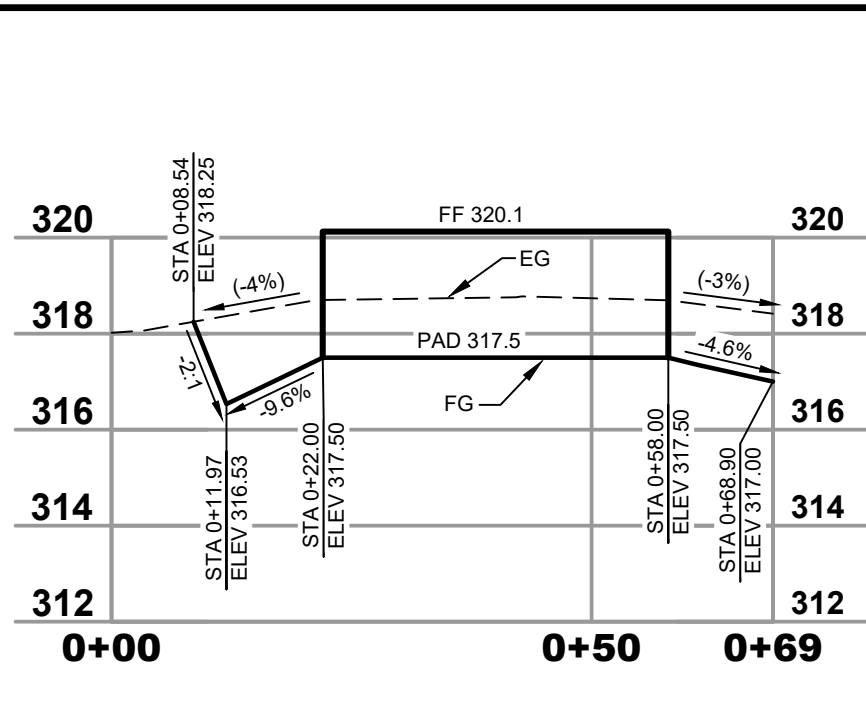
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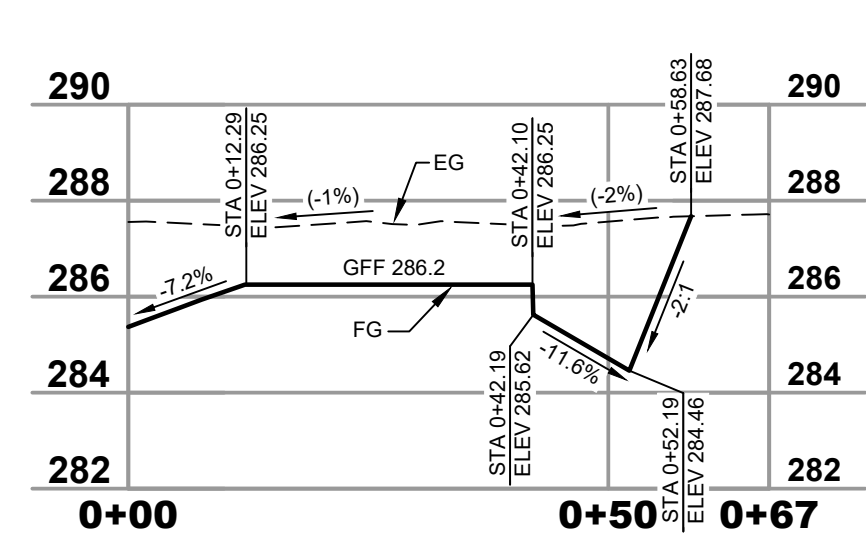
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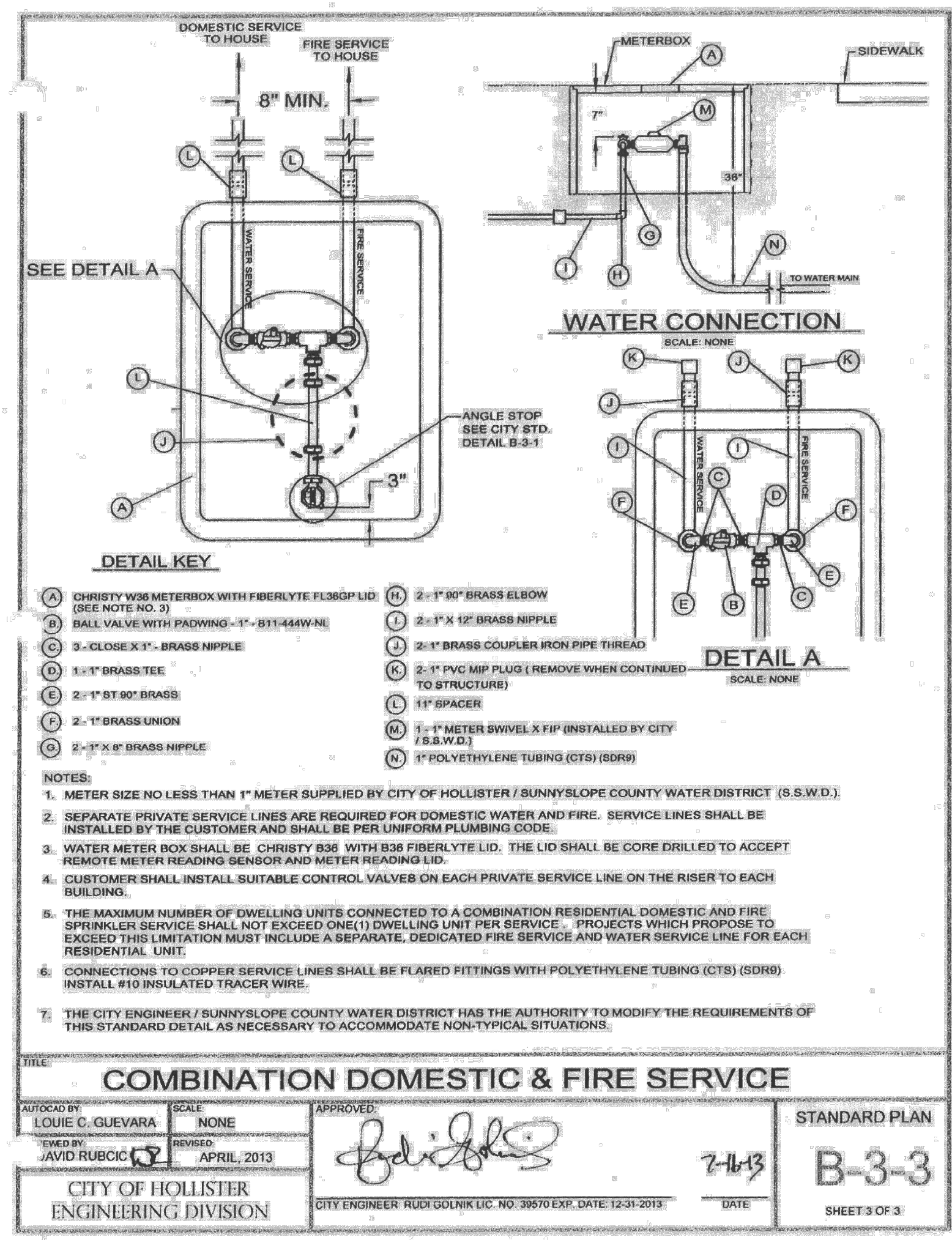
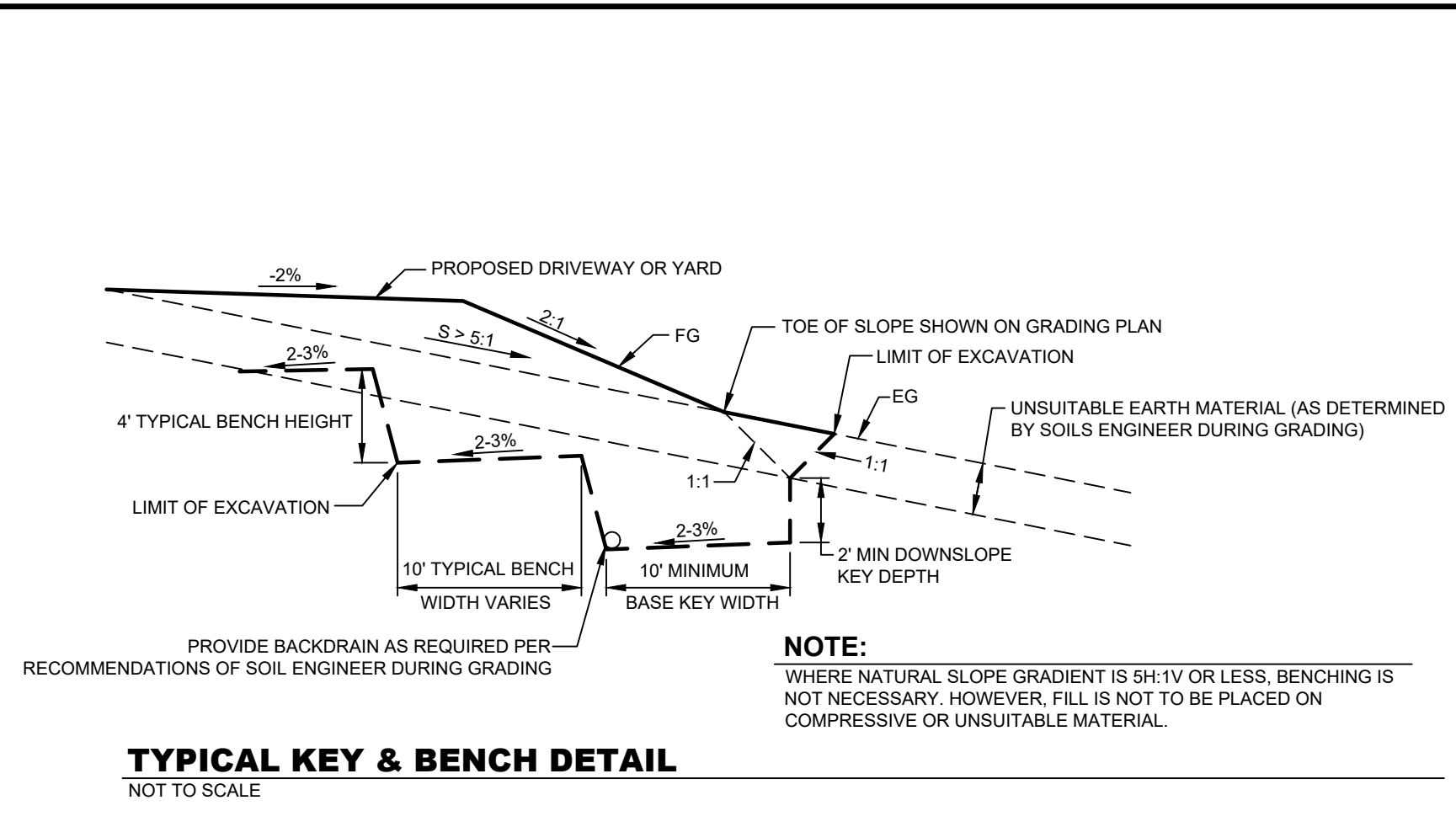
SECTION F-F
SCALE: H: 1" = 20' V: 1" = 4' (5x)



SECTION E-E
SCALE: H: 1" = 20' V: 1" = 4' (5x)



SECTION J-J
SCALE: H: 1" = 20' V: 1" = 4' (5x)



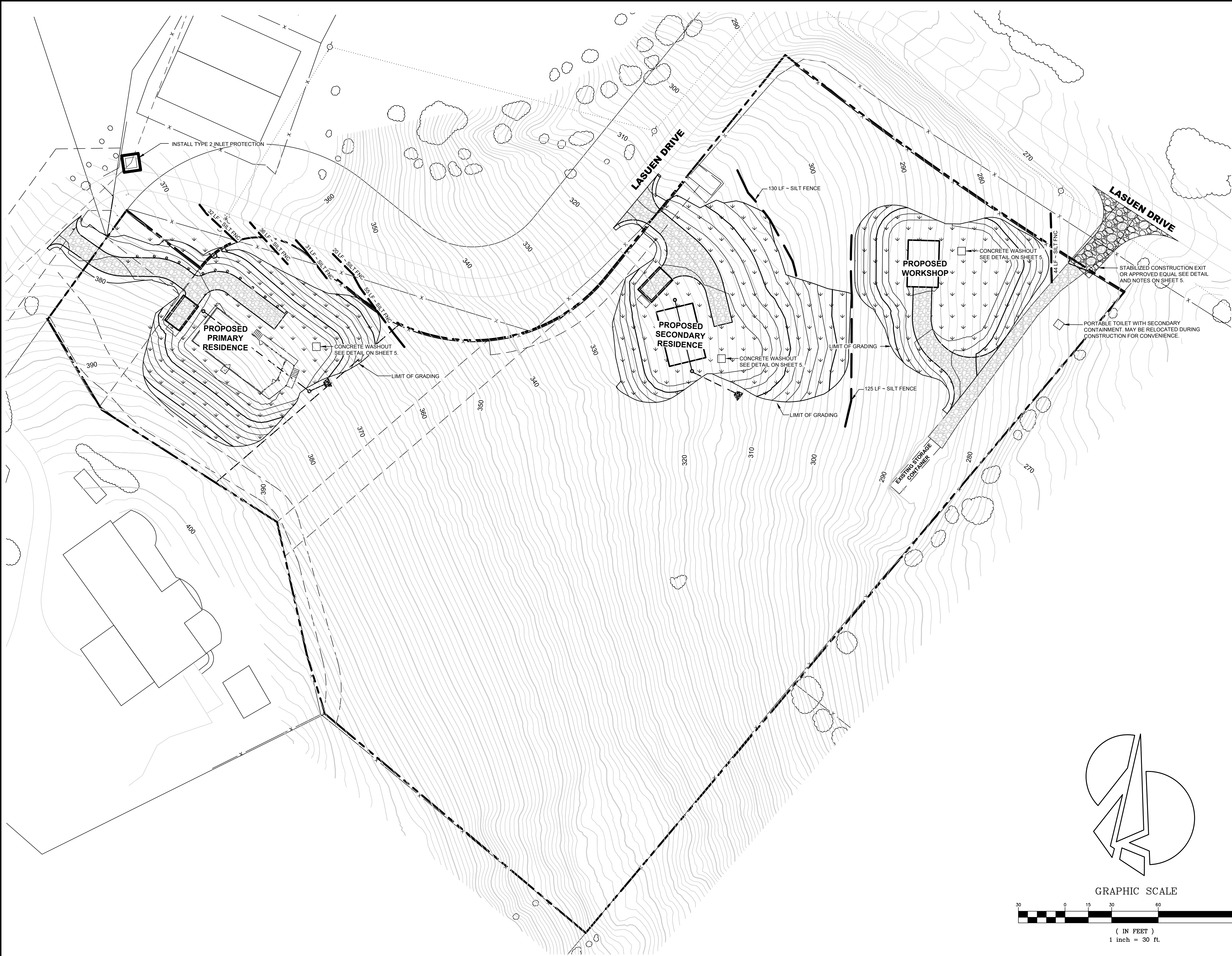
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MCGOVERT
CROSS SECTIONS AND DETAILS
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

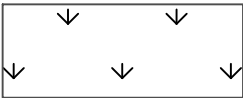
SHEET
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OF 7



EROSION CONTROL LEGEND

SILT FENCE

INSTALL SILT FENCE PROTECTION PER SE-1 AS SHOWN ON SHEET 5 TO PREVENT SEDIMENT FROM EXITING THE SITE TO REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED.



Revegetation
on any disturbed areas that are not pavement or aggregate base



TYPE 2 STORM DRAIN INLET PROTECTION
INSTALL TYPE 2 STORM DRAIN INLET PROTECTION PER SE-10 ON SHEET 5 AT ALL EXISTING STORM DRAIN INLETS RECEIVING SURFACE RUNOFF FROM THE PROJECT SITE. TO REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED.

REVEGETATION:

All disturbed areas are to be re-seeded according to the revegetation plan.

REVEGETATION PLAN:
The work shall consist of hydro-seeding erosion control material consisting of a mixture of stabilizing emulsion, fiber, seed, commercial fertilizer, and water to embankment slopes and excavation slopes including obliterated roadway areas. Seed shall consist of the following:

Botanical Name (common name)	Percentage (minimum)	Pounds (minimum) Germination	Pounds per acre
Vulpia myuros (Zorro annual fescue)	80	90	10
Bromus rubens (Pancho red brom)	95	85	10
Eriogonum fasciculatum (Duro Calif Buckwheat)	90	85	10

Seed shall be mixed on the project site in the presence of the engineer. Seed shall be applied at the rate of 30 pounds per acre (slope measurement) and fertilizer shall be applied at the rate of 300 pounds per acre (slope measurement). If hydro-seeding equipment is used to apply seed, the mixture shall be applied within 60 minutes after the seed has been added the mixture.

BMP NOTES

- PORTABLE SANITARY FACILITIES SHALL HAVE SECONDARY CONTAINMENT, AND BE LOCATED ON RELATIVELY LEVEL GROUND AWAY FROM TRAFFIC AREAS AND STORM DRAIN INLETS.
- THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION TO REQUEST INSPECTION OF STORMWATER BMP'S. ALL STORMWATER BMP'S SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION, AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- THE INTERIM BMP PLAN IS CONSIDERED A "LIVING DOCUMENT" WHICH MAY BE SUBJECT TO CHANGE FROM TIME TO TIME IN ORDER TO FACILITATE CONSTRUCTION. ALL REQUESTED CHANGES MUST BE APPROVED BY THE CITY OF SAN JUAN BAUTISTA PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSPECT ALL STORMWATER BMP'S REGULARLY TO ASSURE THAT THEY ARE FUNCTIONING PROPERLY. IF A BMP FAILS, THE CONTRACTOR SHALL MAKE REPAIRS IMMEDIATELY AND CLEAN ALL PORTIONS OF STORM DRAIN SYSTEMS THAT MAY HAVE BEEN CONTAMINATED BY THE FAILURE OF THE BMP TO THE SATISFACTION OF THE CITY OF SAN JUAN BAUTISTA.

AREA OF DISTURBANCE:

PRIMARY RESIDENCE:	0.342 ACRES
SECONDARY RESIDENCE:	0.347 ACRES
WORKSHOP:	0.233 ACRES
TOTAL:	0.922 ACRES

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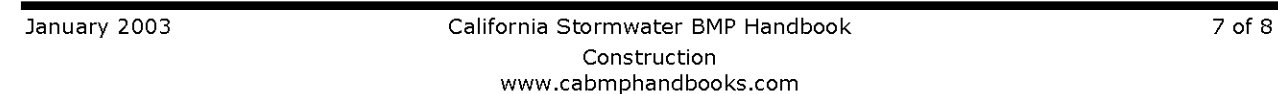
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MCGOVERT
EROSION CONTROL PLAN
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

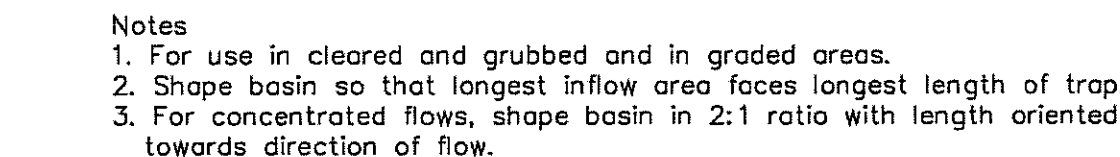
SHEET
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SE-1



1. SPLIT FENCE FABRIC SHOULD BE WOVEN POLYPROPYLENE WITH A MINIMUM WIDTH OF 36 IN. AND A MINIMUM TENSILE STRENGTH OF 100 LB. FORCE. THE FABRIC SHOULD CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 1555-1. THE FABRIC SHOULD BE PROVIDED WITH AN OVERLAP OF 12 IN. AND A MINIMUM LAYER. THE REINFORCEMENT LAYER SHOULD BE A POLYPROPYLENE, OR EQUIVALENT, NET PROVIDED BY THE MANUFACTURER. THE PERMITTIVITY OF THE FABRIC SHOULD BE BETWEEN 0.15EC-1 AND 0.15EC-2 IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D 1555-1.
2. WOOD STAKES SHOULD BE COMMERCIAL QUALITY LUMBER OF SIZE AND SHAPE SHOWN ON THE PLANS. EACH STAKE SHOULD BE FREE FROM DECAY, SPLITS, OR CRACKS LONGER THAN THE STAKE. STAKES SHOULD BE PROVIDED WITH AN OVERLAP OF 12 IN. THAT WOULD WEAKEN THE STAKES AND CAUSE THE STAKES TO BE STRUCTURALLY UNSUITABLE.
3. STAPLES SHOULD BE USED TO FASTEN THE FENCE FABRIC TO THE STAKES SHOULD BE TWO (2) STAPLES PER STAKE AND EXPOSED TO THE WEATHER. THE STAPLES SHOULD BE 1/4" DIA. GALV. STEEL WIRE USED TO FASTEN THE TOPS OF THE STAKES TOGETHER WHEN JOINING JOINTS SHOULD NOT BE FENCE SHOULD BE 3 GAUGE OR HEAVIER WIRE. GALVANIZING OF THE FASTENING WIRE WILL BE REQUIRED.
4. THERE ARE NEW PRODUCTS THAT MAY USE PREFABRICATED PLASTIC HOLDERS FOR THE SPLIT FENCE AND USE BAR REINFORCEMENT INSTEAD OF WOOD STAKES. IF BAR REINFORCEMENT IS USED IN LIEU OF WOOD STAKES, USE NUMBER FOUR OR GREATER BAR. PROVIDE END

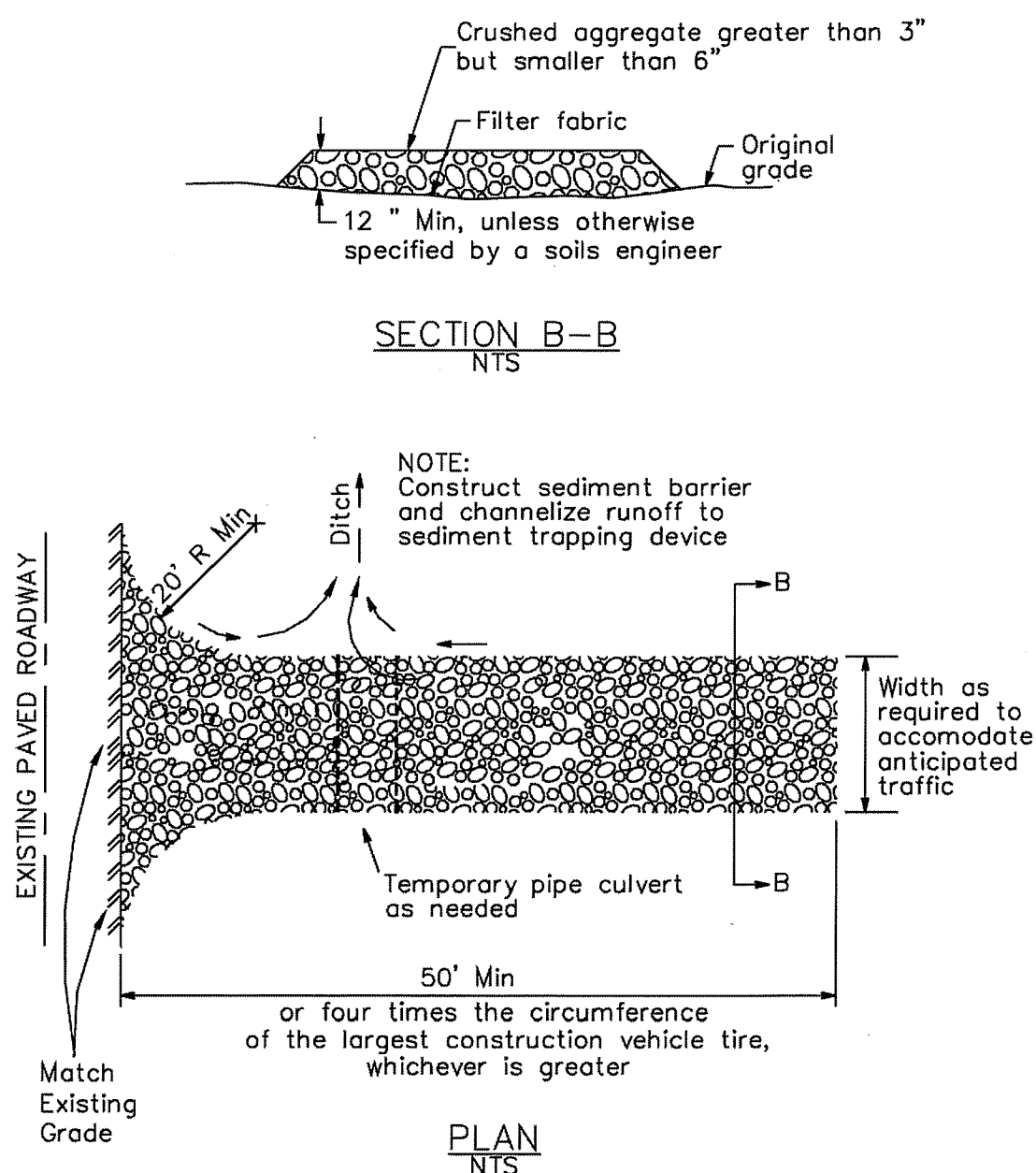
1. SILT FENCES ARE TO BE CONSTRUCTED ON A LEVEL CONTOUR. SUFFICIENT AREA SHOULD EXIST BEHIND THE FENCE FOR PONDING TO OCCUR WITHOUT FLOODING OR OVERTOPPING THE FENCE
2. A TRENCH SHOULD BE EXCAVATED APPROXIMATELY 6 IN. WIDE AND 6 IN. DEEP ALONG THE LINE OF THE PROPOSED SILT FENCE BOTTOM OF THE SILT FENCE SHOULD BE KEPT IN A MINIMUM OF 1 IN.
3. POSTS SHOULD BE SPACED A MAXIMUM OF 6 FT. APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 18 IN. OR 12 IN. BELOW THE BOTTOM OF THE TRENCH.
4. THE TRENCH SHOULD BE FILLED WITH SILT. THE SILT SHOULD BE COMPACTED TO A MINIMUM OF 95% AND SHOULD BE FASTENED SECURELY TO THE UPSLOPE SIDE OF POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 IN. LONG. THE MESH SHOULD EXTEND INTO THE TRENCH, WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE MESH SHOULD EXTEND INTO THE TRENCH TO THE POINT OF THE TRENCH WHERE THE MESH IS TO BE TIED TO THE LENGTH OF THE BARRIER. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHOULD BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 IN. OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
5. THE TRENCH SHOULD BE BACKFILLED WITH COMPACT NATIVE MATERIAL.
6. CONSTRUCT SILT FENCES WITH A SETBACK OF AT LEAST 3 FT. FROM THE TOE OF THE SLOPE. WHERE A SILT FENCE IS DETERMINED TO BE NOT PRACTICABLE DUE TO SPECIFIC SITE CONDITIONS, THE SILT FENCE MAY BE CONSTRUCTED AT THE TOE OF THE SLOPE, BUT SHOULD BE SETBACK AND STABILIZED FROM THE TOE OF THE SLOPE TO THE TOE OF THE SLOPE. THE SILT FENCE SHOULD BE CONSTRUCTED TO THE TOE OF THE SLOPE WILL BE LESS EFFECTIVE AND DIFFICULT TO MAINTAIN.
7. CONSTRUCT THE LENGTH OF EACH REACH SO THAT THE CHANGE IN BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/3 THE HEIGHT OF THE BARRIER, IN NO CASE SHOULD THE REACH EXCEED 500 FT.



1. BAGS SHALL BE MADE OF WOVEN POLYPROPYLENE OR POLYIMIDE FABRIC OR BURLAP, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH ASTM D3786, AND ULTRAVIOLET STABILITY EXCEEDING 100 HOURS.
2. EACH GRAVEL BAG SHALL HAVE AN EQUAL LENGTH OF 18 INCHES, A WIDTH OF 12 INCHES, A THICKNESS OF 3 INCHES, AND A WEIGHT OF APPROXIMATELY 33 LBS. BAG WEIGHTS ARE TO BE VARYING TO ACCOMMODATE LOCALLY AVAILABLE GRAVEL.
3. FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CLASS 2 AGGREGATE BASE, CLEAN AND FREE FROM CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN GRADED, NON-COHESIVE, POROUS GRAVEL.
4. BAGS SHALL BE LAYED OUT PRIOR TO RAINFALL DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, WEEKLY DURING THE RAINY SEASON, AND AT TWO-WEEK INTERVALS DURING THE NON-RAINY SEASON.
5. GRAVEL BAGS EXPOSED TO SUNLIGHT SHALL BE REPLACED EVERY TWO TO THREE MONTHS.
6. RESHAPE OR REPLACE GRAVEL BAGS AS NEEDED.
7. REPAIR WASHOUTS OR OTHER DAMAGE AS NEEDED.
8. SEDIMENT THAT ACCUMULATES SHALL BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT ACCUMULATION REACHES ONE-THIRD OF THE BARRIER HEIGHT. SEDIMENT SHALL BE DISPOSED OF AT AN APPROPRIATE LOCATION.
9. REMOVE GRAVEL BAGS WHEN UPSTREAM CONDITIONS ARE STABILIZED.

1. SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDINGS AT 5% FOR A MINIMUM OF 10 FEET OR 2% FOR 10 FEET IF THE SURFACE IS IMPERVIOUS.
2. ALL GRADING SHALL STRICTLY CONFORM TO THE RECOMMENDATIONS FOUND IN THE "SOIL AND FOUNDATION INVESTIGATION OF PROPOSED MOBILE HOME BUILDING PAD", FILE NO. 18-60035-S, PREPARED BY AMERICAN SOIL TESTING AND ENGINEERING, INC. ON SEPTEMBER 28, 2018.
3. EARTHWORK CALCULATIONS WERE PERFORMED BY USING DIGITAL SURFACE MODELING UNDER CIVIL 3D 2018.
4. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
5. ALL EXISTING MATERIALS, INCLUDING MATERIALS GREATER THAN 4 INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE AREAS IN WHICH GRADING IS TO BE DONE. SUCH MATERIALS NOT SUITABLE FOR REUSE SHALL BE DISPOSED OF AS DIRECTED.
6. ALL EARTH MOVING AND WORK OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS. ALL SUCH WATER SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO SEEP DOWN.
7. WORK SHALL CONSIST OF ALL CLEARING AND GRUBBING, PREPARATION OF LAND TO BE FILLED, EXCAVATION AND FILL OF LAND, SPREADING, COMPACTION AND CONTROL OF THE FILL AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADED AREA TO CONFORM WITH THE LINES, GRADES, AND SLOPES AS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK AS SPECIFIED HEREIN, AS SHOWN ON THE APPROVED PLANS AND AS STATED IN THESE SPECIFICATIONS.
8. **SEASONAL LIMITS**
 1. IF EARTHWORKS IS INTERRUPTED BY RAIN, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TESTS BY THE SOIL ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL IS AS PREVIOUSLY SPECIFIED AND SOILS TO BE PLACED ARE IN SUITABLE CONDITION.
9. **UNUSUAL CONDITIONS**
 1. IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOILS INVESTIGATION OR THESE SPECIFICATIONS, THE SOIL ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.
10. **WINTER GRADING NOTES**
 1. IF EARTHWORKS IS INTERRUPTED BY WEATHER, GRADING OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TESTS BY THE SOIL ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL IS AS PREVIOUSLY SPECIFIED AND SOILS TO BE PLACED ARE IN SUITABLE CONDITION.
11. **VEGETATION REMOVAL**
 1. BETWEEN OCTOBER 15 AND APRIL 15, SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
12. **VEGETATION PROTECTION**
 1. BETWEEN OCTOBER 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR EFFECTIVE MEANS OF EROSION CONTROL.
13. **RUN-OFF FROM THE SITE** SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
14. **EROSION AND SEDIMENT CONTROL MEASURES** SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
15. **THE CITY OF SAN JUAN BAUTISTA INSPECTOR** MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WHETHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED.

1. CONSTRUCT IN LEVEL GROUND WHERE POSSIBLE.
2. SELECT 3 TO 6 IN. DIAMETER STONES.
3. SET THE MINIMUM DEPTH OF STONES OF 12 IN. OR AS RECOMMENDED BY SOILS ENGINEER.
4. CONSTRUCT LENGTH OF 50 FT MINIMUM AND 30 FT MINIMUM WIDTH.
5. PROVIDE AMPLE TURNING RADIUS AS PART OF THE ENTRANCE.
6. LIMIT THE POINTS OF ENTRANCE/EXIT TO ONE CONSTRUCTION SITE.
7. LIMIT SPEED OF VEHICLES TO CONTROL DUST.
8. PROPERLY GRADE EACH CONSTRUCTION ENTRANCE/EXIT TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
9. ROUTE RUNOFF FROM STABILIZED ENTRANCE/EXITS THROUGH A SEDIMENT TRAPPING DEVICE BEFORE THE CONSTRUCTION SITE.
10. DESIGN STABILIZED ENTRANCE/EXIT TO SUPPORT HEAVIEST VEHICLES AND EQUIPMENT THAT WILL USE IT. SELECT CONSTRUCTION ACCESS STABILIZATION (AGGREGATE, ASPHALTIC CONCRETE, CONCRETE) BASED ON THE HEAVIEST VEHICLE TO BE USED. IF HEAVY TRUCKS WILL NOT BE USED, DO NOT USE ASPHALTIC CONCRETE (AC) GRINDINGS FOR STABILIZED CONSTRUCTION ACCESS/ROADWAY.
11. IF AGGREGATE IS SELECTED, PLAIN CRUSHED AGGREGATE OVER GEOTEXTILE FABRIC TO AT LEAST A 12 IN. DEPTH IS REQUIRED. IF ASPHALTIC CONCRETE OR CONCRETE IS USED, A GEOTECHNICAL ENGINEER MUST AGGREGATE GREATER THAN 3 IN. BUT SMALLER THAN 6 IN. SHOULD BE USED.
12. DESIGNATE COMBINATION OR SINGLE PURPOSE ENTRANCES AND EXITS TO THE CONSTRUCTION SITE.
13. REMOVE TRUCKS, SUBCOMPONENTS, AND SUPPLIES UTILIZING THE STABILIZED CONSTRUCTION ACCESS.
14. IMPLEMENT 360° STREET SWEEPING AND VACUUMING, AS NEEDED.
15. TEMPORARY BMPs ARE REQUIRED TO BE USED FOR MORE THAN A TWO-WEEK PERIOD SHOULD HAVE STABILIZED CONSTRUCTION ACCESS BMPs.
16. INSPECT TEMPORARY THAT ARE BMP-TYPE-BASED BMPs ARE IN PLACE PRIOR TO THE COMMENCEMENT OF THE RAINY SEASON AND WHILE ACTIVITIES ASSOCIATED WITH THE BMPs ARE UNDER WAY. INSPECT WEEKLY DURING THE RAINY SEASON AND OF TWO-WEEK INTERVALS IN THE NON-RAINY SEASON TO VERIFY THE BMP IS MAINTAINED.
17. INSPECT LOCAL ROADS ADJACENT TO THE SITE DAILY. SWEEP OR VACUUM TO REMOVE VISIBLY ACCUMULATED SEDIMENT.
18. REMOVE AGGREGATE, SEPARATE AND DISPOSE OF SEDIMENT IF CONSTRUCTION ENTRANCE/EXIT IS CLOGGED WITH SEDIMENT.
19. KEEP ALL TEMPORARY ROADWAY DITCHES CLEAR.
20. CHECK FOR DAMAGE AND REPAIR AS NEEDED.
21. REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE VISIBLE.
22. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS. REMOVE GRAVEL AND FILTER.



PLAN
NOT TO SCALE
TYPE "BELOW GRADE"

SECTION A-A
NOT TO SCALE

PLAN
NOT TO SCALE
TYPE "ABOVE GRADE" WITH STRAW BALES

SECTION B-B
NOT TO SCALE

NOTES

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

NOTES

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

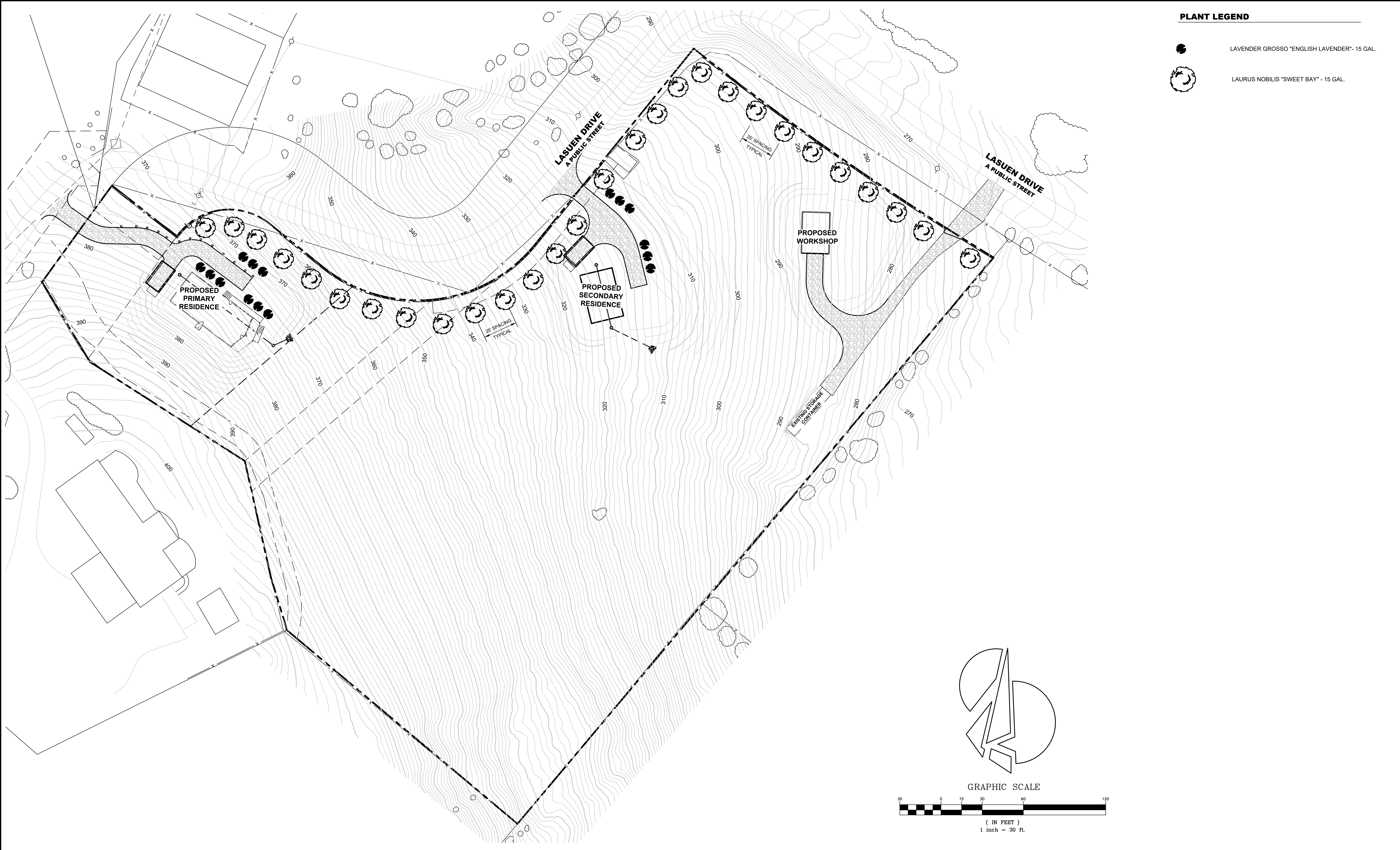
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MCGOVERT
EROSION CONTROL DETAILS & GRADING NOTES
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

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MCGOVERT
PRELIMINARY LANDSCAPE PLAN
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

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400 PARK CENTER DRIVE, SUITE #4
HOLLISTER, CA 95023
OFFICE (831) 636-1104 FAX (831) 636-1837

DATE: MARCH 2019
SCALE: 1" = 30'
DESIGNED: MJK, TJK
DRAWN: TJK
JOB NO.: 18031

MCGOVERT
HIGHWAY 156 VIEWSHED EXHIBIT
480 & 498 LASUEN DRIVE, SAN JUAN BAUTISTA

SHEET
7
OF 7

NOTE:
FINISH MATERIAL AND COLOR ARE
PRELIMINARY AND SUBJECT TO
CHANGE BASED ON OWNER
PREFERENCE AND PRODUCT
AVAILABILITY.



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BY _____
In accordance with section 6735 (e) of the Professional Engineer's Act these plans are
PRELIMINARY
and therefore do not bear the signature and seal of a registered civil engineer.

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MCGOVERT
PRIMARY RESIDENCE PHOTO ELEVATIONS
502 LASUEN DRIVE, SAN JUAN BAUTISTA

Job No.: 18031
Designed: PHH
Scale: NTS
Date: March 2019
Sheet: 1
of 1

NOTE:

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BY

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MCGOVERT
SECONDARY RESIDENCE PHOTO ELEV
502 LASUEN DRIVE, SAN JUAN BAUTISTA

Job No.: 18031
Designed: PHH
Scale: NTS
Date: March 2019
Sheet: 1
of 1

NOTE:

1. FINISH MATERIAL AND COLOR ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON OWNER PREFERENCE AND PRODUCT AVAILABILITY.
2. IMAGES MAY BE SUBJECT TO COPYRIGHT
3. LENGTH OF PRODUCT SHOWN MAY NOT REFLECT PROPOSED BUILDING LENGTH. SEE SITE PLAN.
4. IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY.



<div><div>△</div><div>△</div><div>△</div></div> <div>BY</div>	<div>In accordance with section 6735 (a) of the Professional Engineer's Act these plans are PRELIMINARY and therefore do not bear the signature and seal of a registered civil engineer.</div>	<div>KELLEY ENGINEERING & SURVEYING 400 PARK CENTER DRIVE, SUITE #4, HOLLISTER, CA 95023 OFFICE (831) 636-1104 FAX (831) 636-1837</div>		<div>MCGOVERT SHOP BUILDING PHOTO ELEVATION LAUSEN STREET, SAN JUAN BAUTISTA</div>	<div>Job No.: 18031 Prepared: TJK Scale: NTS Date: March 2019 Sheet: 1 of 1</div>
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CITY OF SAN JUAN BAUTISTA

PLANNING COMMISSION MEETING

STAFF REPORT

DATE: March 12, 2018

Subject: Report on Harvey's Lockup

Location: 27 Monterey Street, APN #002-004-001

DISCUSSION:

This item is a report from staff on the status of Harvey's Lockup.

Harvey's Lockup has made progress in completing their requirements for compliance. A Fire Inspection was made on March 6, 2019. All of the commitments made for the Fire Alarm System and Detection at this time, have all been met and passed inspection.

ACTION:

Staff has no recommendation

ATTACHED:

Table for Harvey's Lockup Compliance

Harvey's Lockup Compliance

Steps	Committed Date	Actual Completion Date
1 Section 1 has a full monitored sprinkler system and monitored alarm system that detects heat and smoke.	December 2018	December 21, 2018 ☺
2 Monitoring Alarm System to detect heat and smoke for Section 2	December 2018	December 21, 2018 ☺
3 Monitoring Alarm System to detect heat and smoke for Section 3 and apartments	January 2019	March 6, 2019 – Fire Inspection took place. Step 3 passed. ☺
4 Full monitored sprinkler system for Section 2	December 2019	Owner anticipates this to be completed. Still is preparing. ☺
5 Full monitored sprinkler system for Section 3	December 2020 Finalizing system to complete temp	Owner anticipates this to be completed. Still is preparing. ☺

	Project Name - Current City/Development Projects - Upgrades, Changes, Fixes	Issues/Notes/general info	Status	Permit Issuance	Violations	Comments/Complaints Questions	Likelihood of Completion (Red or Green)
	Building/Planning						
1	Casa Rosa	Casa Rosa was approved by City Council in April of 2017. Building Permits were never issued and demolition began before aprval was given. The property has since been left in a state of disrepair to the current date. The city hired a structural engineer to make recommendation on fixes to the building. City Council heard the case on 2/25/19 Special Meeting. Passed the proposal as an Abatement. Recommendations are being gathered from contractors. Historic Resources Board to discuss possible alterations at their hearing 3/12/19.	Project was approved by HRB as minor alteration (4/4/17). Scope of work indicates major alteration. Work took place without building permits.	Site Design and Review performed by HRB and Planning Commission approved in April of 2017. No building permits applied for or approved. Evidence suggests the City Staff was aware of the work being done at the time.	Building has been tagged as an unsafe structure. Violations of the Municipal Code include Section 5-8-110 and Section 5-8-190.	Staff has been reporting as developments have continued, including meeting with the owner and hiring a Structural Engineer consultant. Results of the Structural Engineer report address 3 issues present that must be addressed in order to reopen the public right-of-way. City is beginning the abatement process. Possible alterations for safety purposes will be discussed at the Historic Resources Board will be discussed at their hearing on 3/12/19.	Abatement process to begin shortly. After repairs are completed, the right-of-way will eb reopened. Estimated ETA is 3 months till repairs are completed.
2	Fault Line Restaurant	Garage was damaged by a tree fall in 2/17. Project was approved by Commission on 10/2/18 with conditions. Council Approved the zone change for Faultline site and residence at 17 Franklin on 12/18/18. Lot Merge Recording has already taken place. Awaiting revised plans from applicant that meet the last round of comments from City Staff (3/5/19).	Zoning classification onsite is Mixed-Use. Awating revised plans that meet building, engineering, and planning comments.	Permits are required for the garage reconstruction. Permits have been filed, but need more information per building, engineering, and planning before issuance can take place.	demolition was done without permit issuance	Staff is working with the applicant to finish the accessory building and ultimately reopen the restaurant. Awating revised plans. (3/5/19)	Revised permit plans
3	10 Franklin existing contruction, alteration, and demolition	Approved per permit issuance by Permit Number 2017149 in 2015. Construction has been ongoing. Building Offical reviewed the plans and permit material. Determined it as valid and may continue as approved. Zone change is still pending. Awating CEQA quote from consultant (3/5/19).	phase 1 for the multi-unit building construction is currently underway.	yes	none	It is anticipated to demolish at least one of the other buildings onsite. The property owner has given the ok to include his property in that change. The second reading of the zone change did not happen because the Native American Tribes need to be included. They expressed concern about burials in or around the site. Awaiting a quote for CEQA review, then further steps will be taken. (3/5/19)	Property owner is still working on the site. He wants to finish, but a time frame is still undetermined.
4	Harvey's Lockup	progress is being made on the frontage & right-of-way improvements. Interior sprinklers have been installed in one area of the building, but need to cover the entire building per Fire Code. Fire Alarm and smoke dectectors have been installed.	Frontage work is in progress. Fire sprinkler work and prevention system to be completed in all phases. Applicant is ahead of schedule.	No active building permits. Encroachment permit to be pulled as needed.	n/a	Requirments of conditions of approval are in progress. After checking in, the applicants are working towards inspections. A final inspection for the fire alarm system has been scheduled for 3/6/19. The inspection took place on the 6th. The Fire Marshall is requiring several things including fire extinguishers, knox boxes, curb to be painted red, and install ceiling tiles.	Owner is working with his contractor to install heat and smoke detection systems.
5	Rancho Vista Subdivision	42 active permits. 1 application is on hold because of design.	Under Construction	42 active permits. 1 application is on hold because of design.	none	Construction on issued permits is slowly wrapping up. It is expected that we will see more permit applications toward the end of the rainy season. (3/5/19)	To be Determined - Permit issuance has slowed down

	Project Name - Current City/Development Projects - Upgrades, Changes, Fixes	Issues/Notes/general info	Status	Permit Issuance	Violations	Comments/Complaints Questions	Likelihood of Completion (Red or Green)
6	Copperleaf Subdivision	20 permits issued as of 3/5/19.	Under Construction	Permits have been issued	n/a	Traffic and Park development fee held until approved agreement or Final Inspection on each project. Several permit applications have been submitted to the City for review. (3/5/19)	To be Determined - Estimate of Winter 2019
7	Building Department activity.	Work continues on both subdivisions while smaller projects take place inside the city. Notable Projects include Midnight Express Warehouse undergoing plan check and Hillside Vista (D'Ambrosia) Model homes are undergoing plan check. (10/26/2018)	n/a	n/a	none	Code Enforcement is making regular rounds to check for work being done without permits and violations of the Municipal Code.	n/a
8	Well 3 and 6 exchange/Minor subdivision on Mission Vineyard and Old San Juan Road	Well 6 NOE has been finalized. Water moritorium has been lifted by the State Waterboards.	Well 6 work is moving forward	Well 6 Permit has been issued	none	Work is moving forward. (3/5/19)	Water moritorium has been lifted.
9	70 Muckelemi	Applicant wishes to either demolish or alter the Chalmers House onsite that is in bad condition. He wishes to develop the site with a mix of uses and housing units.	Staff has reviewed past documents onsite from 2006. It was determined the applicant should start with brand new documents because of the age and how the circumstances have changed.	no	No violations. There was a notice of nusiance because of the condition of the old chalmers house.	Property owner presented an informal project review to Planning Commission on 2/5/19. General response was positive and are looking forward to reviewing plans. Applicant followed up with staff. Asked about the process and applications. (3/5/19)	No-ETA yet.
10	Brewery	Project is showing activity towards deed to perfect and continuation of project towards to completion. Staff met with them and provided a follow up letter to them in December 2018.	no applications yet, working with owner for submittal.	No permits issued	none	Staff is working with the property owner. Met with the property owner on 12/5/18. Staff followed up and as of 2/19/19, the applicatns are creating the plans and preparing for submittal. (3/5/19)	no-ETA yet
11	Building Department activity.	Larger Projects: D'Ambrosia Project has it's first 3 Models approved by the Building Plan Check. No permits issued for project. Rancho Vista Subdivision has been Issued multiple Occupancies since the Water Moratorium was lifted. Copperleaf has recied Temporary Occupancy on their Sales office. (2/12/19	n/a	n/a	none	None at this time. (2/12/19)	n/a
12	Code Enforcement Activity	Code Enforcement is making regular rounds of the city, looking for work taking place without permits, parking violations, and other nuisances. (2/12/19)	n/a	n/a	none	None at this time. (2/12/19)	n/a

	Project Name - Current City/Development Projects - Upgrades, Changes, Fixes	Issues/Notes/general info	Status	Permit Issuance	Violations	Comments/Complaints Questions	Likelihood of Completion (Red or Green)
13	General Plan Timeline	General Plan was updated and adopted in 2/16. The housing element is being reviewed. We need to do so per State requirement. Staff has signed the contract with EMC. Housing Element Workshop has taken place. Got feedback from the public.	n/a	n/a	n/a	Staff is working on getting the Housing Element squared away for the State. Staff has signed the EMC contract. Workshop has taken place. Working towards the first part of the 5th cycle requirements (3/5/19).	end of 2019
	New Development						
1	Hillside Vistas	First Phase Approved for first 8 lots. Master set is under review for design. No construction has started. Phase 2 is anticipated. Higher density residential development may be done on phase 2.	Phase 1 completed and anticipated to be built out. Phase 2 to come.	No permits have been issued.	none	Staff has received revised master plan set on 10/26/18. That has been reviewed. Staff has followed up with them and met with them on 2/7/19. Plan revisions are taking place. Phase 2 may be redone with a higher density residential development. The applicanted stated that in 3 months or so, applications will be turned in.	The developer has met with staff. Eager to continue with the project
2	Loazza (957 First Street - 4 Parcel Minor Subdivision)	Review has started. Waiting for application payment.	CEQA review completed. Staff is starting review.	No permits issued	none	Awating the \$5,000 payment at this time. Roundabout adjacent to Rancho Vista was discussed. Information was gathered from City records about First Street classification. This was for information in the roundabout study. (3/5/19)	unknown
3	Gas Station to be located along The Alameda and Hwy 156	Staff is working with the applicant to help move the project forward.	can move forward.	no permits have been issued	none	Applicant is revising plans. A decelartion lane would need to be installed along Hwy 156.	Court ruled in favor of the project
6	404 and 406 Third Street - Proposed Vietnamese Bistro and residential unit expansion	The property owners wish to open a new Bistro inside an existing building downtown. They also wish to relocate permanently to town and expand an existing residential unit in the rear of 406 third Street	Minor Alteration approved by Commission	A health permit has been issued previously. Awaiting plan updates to accommodate fire and building requirments.	n/a	S taff met with the applicants and went through the requirments. Fire requirments are currently being worked out between City Staff, applicants, and the fire marshall (3/5/19)	Case was approved by Planning Commission
7	Midnight Express	Approved by Commission Resolution. Plan set has been submitted for permit review. Applicant reduced the size of their project and would like to do it in phases.	Awaiting applicant response.	No permits have been issued.	n/a	Discussion about the development took place and phasing in parts of the development were discussed. They would like to reduce the intensity of the project scope by reducing the size of the building from 15,000 sqaure feet to 5,000 square feet and do the project in phases. They submitted a letter to City Staff making that formal request. City Staff signed that letter. A temporary project is taking place right now. Further review from City Staff is taking place. (3/5/18).	staff has issued first round of comments after review.
	Infrastructure						
	Traffic Circle	Roundabout is under review. Meritage has been commissioned to do a traffic study. Street classifications for the First Street Segment has been determined (3/5/19)	under review	n/a	n/a	Street classification for First Street has been determined. A traffic study has been commissioned. Further information is anticipated to follow (3/5/19).	progress can continue, but final product needs to be determined
	Parking						
	Signage	Monument signs have been discussed. There is an interest in putting in monument signs in gateway locations. More review and planning needs to be discussed (3/5/19).	further consideration is needed	n/a	n/a	Staff and San Juan Committee Member met with a sign contractor to discuss possible signs and monument signs. Locations, designs, and logo will need to be reviewed with Planning Commission (3/5/19).	No ETA at this time