



City of San Juan Bautista

The "City of History"

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AGENDA

REGULAR PLANNING COMMISSION MEETING

TUESDAY ~ AUGUST 3, 2021 ~ 6:00 P.M.

~ PUBLIC PARTICIPATION BY ZOOM ONLY ~

Join Zoom Meeting <https://zoom.us/j/82959262391>

or call 1 (669) 900-6833

Meeting ID: 829 5926 2391

THIS MEETING WILL BE CONDUCTED PURSUANT TO THE PROVISIONS OF THE GOVERNOR'S EXECUTIVE ORDER N-29-20

In order to minimize the spread of the COVID 19 virus the Planning Commission is conducting this meeting by Zoom conference and will be offering alternative options for public participation. *Please follow the Governor's Shelter in Place Order and the CDC Guidelines regarding preventative measures and do your part to help flatten the curve and prevent further spread of COVID-19.*

PUBLIC COMMENTS WILL BE TAKEN ON AGENDA ITEMS BEFORE ACTION IS TAKEN BY THE PLANNING COMMISSION. DURING THE MEETING: TO PROVIDE VERBAL PUBLIC COMMENTS ON AN AGENDA ITEM DURING THIS MEETING CALL THE PHONE NUMBER LISTED ABOVE OR LOG INTO ZOOM AND ENTER THE MEETING ID NUMBER AS LISTED ABOVE.

When the Chairperson announces public comment is open for the item which you wish to speak, press *9 on your telephone keypad or if joining by Zoom, use the raise your hand icon. When called to speak, please limit your comments to three (3) minutes, or such other time as the Chairperson may decide, consistent with the time limit for all other speakers for the particular agenda item.

Written comments may be mailed to the Deputy City Clerk at City Hall (P.O. Box 1420, San Juan Bautista, CA 95045), or emailed to deputycityclerk@san-juan-bautista.ca.us not later than 5:00 p.m., August 3, 2021, and will be read into the record during public comment on the item.

In compliance with the Americans with Disabilities Act, and Governor's Order N-29-20, the City will make reasonable arrangements to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the Deputy City Clerk a minimum of 48 hours prior to the meeting at (831) 623-4661.

If you challenge any planning or land use decision made at this meeting in court, you may be limited to raising only those issues you or someone else raised at the public hearing held at this meeting, or in written correspondence delivered to the City Council at, or prior to, the public hearing. Please take notice that the time within which to seek judicial review of any final administrative determination reached at this meeting is governed by Section 1094.6 of the California Code of Civil Procedure.

Materials related to all items on this agenda are available in the agenda packet on the City website www.san-juan-bautista.ca.us subject to Staff's ability to post the documents before the meeting, or by emailing deputycityclerk@san-juan-bautista.ca.us or calling the Deputy Clerk (831) 623-4661 during normal business hours.

1. Call to Order

Roll Call

Pledge of Allegiance

2. Public Comment on Items Not on the Agenda but Within the Subject Matter

Jurisdiction of the Planning Commission

This portion of the meeting is reserved for persons desiring to address the Commission on matters not on this agenda. The law does not permit Commission action or extended discussion of any item not on the agenda except under special circumstances. If Commission action is requested, the Commission may place the matter on a future agenda.

3. Consent Items

All matters listed under the Consent Agenda may be enacted by one motion authorizing actions indicated for those items so designated. There will be no separate discussion of these items unless requested by a member of the Planning Commission, a staff member, or a citizen.

A. Approve Affidavit of Posting the Agenda

B. Approve Affidavit of Posting Public Hearing Notice

C. Approve Minutes of the May 4, 2021 Planning Commission Meeting

4. Informal Project Review

Any potential and/or future project applicant may present their project to the Commission during Informal Project Review for the purpose of gaining information as preliminary feedback only. No formal application is required and no action will be taken by the Commission on any item at this time.

5. Action Items

A. Consider a Resolution to Approve the Site & Design Review Permit (Permit No. 126) to allow the development of a new single family residence at APN 002-290-043 (Vacant Lot Between 47 and 51 Monterey Street)

6. Comments

A. Planning Commissioners

B. City Manager

C. Community Development Director

7. Adjournment

AFFIDAVIT OF POSTING

I, CARMEN LUJAN, DO NOW DECLARE, UNDER THE PENALTIES OF PERJURY THAT I AM THE FINANCE AND ADMINISTRATIVE SERVICES CLERK IN THE CITY OF SAN JUAN BAUTISTA AND THAT I POSTED THREE (3) TRUE COPIES OF THE ATTACHED PLANNING COMMISSION AGENDA. I FURTHER DECLARE THAT I POSTED SAID AGENDA ON THE 29th DAY OF JULY 2021, AND I POSTED THEM IN THE FOLLOWING LOCATIONS IN SAID CITY OF SAN JUAN BAUTISTA, COUNTY OF SAN BENITO, CALIFORNIA.

1. ON THE BULLETIN BOARD AT CITY HALL, 311 SECOND STREET.
2. ON THE BULLETIN BOARD AT THE CITY LIBRARY, 801 SECOND STREET.
3. ON THE BULLETIN BOARD AT THE ENTRANCE TO THE UNITED STATES POST OFFICE, 301 THE ALAMEDA

SIGNED AT SAN JUAN BAUTISTA, COUNTY OF SAN BENITO, CALIFORNIA,
ON THE 29th DAY OF JULY 2021.

A handwritten signature in cursive script, appearing to read 'Carmen S.', is written over a horizontal line.

CARMEN LUJAN

FINANCE AND ADMINISTRATIVE SERVICES CLERK

NOTICE OF PUBLIC HEARING CITY OF SAN JUAN BAUTISTA

Pursuant to Government Code Section 65090, the **Planning Commission** of the City of San Juan Bautista gives notice of a public hearing on **August 3, 2021** at 6:00 p.m.

In order to protect public health, the meeting will be held via teleconference and accessible electronically. There will be NO physical location of the meeting for members of the public or the Commission. Members of the public and the Commission may participate virtually. Members of the public are instructed to be on mute during the proceedings and to speak only when public comment is allowed, after requesting and receiving recognition from the Planning Commission Chairperson.

During the public hearing, the following items will be discussed:

- **Consider a Resolution to Approve the Site & Design Review Permit (Permit No. 126) to allow the development of a new single family residence at APN 002-290-043 (Vacant Lot Between 47 and 51 Monterey Street)**

Staff reports and the full text of all items to be discussed will be available for public review at City Hall and on the City website on **July 30, 2021**. All members of the public are encouraged to attend the meeting remotely via Zoom and may address the Planning Commission on the issue during the public hearing. Written comments may be hand delivered or mailed to City Hall (311 Second Street, P.O. Box 1420, San Juan Bautista, CA 95045), or emailed to cityplanning@san-juan-bautista.ca.us, not later than **5:00 p.m., August 3, 2021**.

The Meeting will be virtual via Zoom. You can access the meeting at <https://us02web.zoom.us/j/82959262391>. An agenda will be posted on the City website and distributed not later than July 30.

If a challenge is made on the action of the proposed project, pursuant to Government Code Section 65009 court testimony may be limited to only those issues raised at the public hearing described in this notice or in written correspondence delivered to the City at or prior to the public hearing.

Posted: July 23, 2021

**CITY OF SAN JUAN BAUTISTA
PLANNING COMMISSION REGULAR MEETING**

MAY 4, 2021

DRAFT MINUTES

(Meeting held via Zoom Internet Video/Audio Conference Service)

1. CALL TO ORDER – Chairperson Delgado called the meeting to order at 6:17 p.m.

B. ROLL CALL

Present: Commissioners Delgado, Morris-Lopez, Matchain and Medeiros

Absent: Commissioner Bains

Staff Present: City Manager Reynolds, Sr. Planner Mack and Administrative Services Manager Paetz

2. PUBLIC COMMENT

No public comment was received.

3. CONSENT ITEMS

A. Approve Affidavit of Posting Agenda

B. Approve Affidavit of Posting Public Hearing Notice

C. Approve Minutes of the April 6, 2021 Planning Commission Meeting

A motion was made by Commissioner Medeiros and seconded by Commissioner Matchain to approve all items on the Consent Agenda. The motion passed 4-0-0-1 with Commissioner Bains absent.

It was the consensus of the Commission to move forward with discussion of Item 8A, Accessory Dwelling Unit Ordinance (ADU) at this time.

8.A. Accessory Dwelling Unit Ordinance (ADU)

The presenters from Harris & Associates summarized what was presented to the Historic Resources Board earlier in the evening. No public comment was received.

4. INFORMAL PROJECT REVIEW

A. Combined Development Permit consisting of: 1) Lot line Adjustment to adjust Parcel A (0.163 acres/7,105 SF) and Parcel B (0.137 acres/6,005 SF) to Parcel 1 (0.15 Acres/ 6,550 SF) and Parcel 2 (0.15 acres/6,550 SF); 2) Conditional Use Permit to allow the establishment of a bar on the main floor; 3) Conditional Use Permit to allow on-site alcohol sales/consumption; 4) Site & Design Review Permit to allow the construction of a 3,525 SF mixed use building including two multi-family dwelling units [1-2 bed/1 bath (920 SF) and 1-1 bed/1 bath (707 SF)] totaling 1,627 SF, and a 1,367 SF ground floor restaurant. APN 002-460-002. The applicants are Katherine Cain Zavala and Jesus Zavala.

Contract Planner Alex Barton of Harris & Associates presented. The applicants were not present. Commissioner Morris Lopez was concerned with possible historical significance of the property slated for demolition. During public comment Cara Vonk encouraged the Commissioners to look at buildings before demolition so as not to demolish any character defining structures. The applicants were not present.

5. PRESENTATIONS

A. Luck Park Master Plan by RRM Design Group

City Manager Reynolds introduced Melanie Mills of RRM. Ms. Mills provided a slide presentation and reviewed suggestions and preferences brought up by the City Council, Planning Commission, staff and the public at the March 9, 2021 Town Hall Meeting, and brought forth in a community survey the group conducted. On the suggestion that the project include a basketball court, she explained that it would be located somewhere elsewhere in the city in order to keep with the layout of having a library on this site. Chairperson Delgado commented that the Fire Department bell should not be included on this site, a potential gas tank around the old gas station (currently a museum) needs to be investigated, the diagonal parking on the plan is incorrect, and was concerned with how many mature trees would be removed. During public comment, Deputy City Clerk Paetz read the Historical Society and Library Auxillary's written comments into the record. Cherie Kao wants the park to represent the City as quaint, and historical charm. City Librarian Rochelle Eagen explained Wanda Guibert's written comments.

6. PUBLIC HEARING ITEMS

A. Consider Resolution 2021-05 Approving a Conditional Use Permit (CUP) to allow on-site sales and tasting of alcoholic beverages [Type 23 (duplicate)] for the property located at 507 Third Street, APN 002-130-001. The applicants are Sean and Fran Fitzharris.

Contract City Planner David Mack provided a report stating the applicants require a conditional use permit to allow on-site sales and tasting of alcoholic beverages with a small indoor and larger outdoor tasting area located at 507 Third Street (previously the Mission Hardware site). The proposed project does not involve any structural alterations, additions, or changes to the building. The applicants were present. Chairperson Delgado opened the public hearing. There were no comments received. Chairperson Delgado closed the public hearing. Commissioners were in support of the project, and the applicants were appreciative.

A motion was made by Commissioner Medeiros and seconded by Commissioner Matchain to approve Resolution 2021-05 approving a conditional use permit to allow on-site sales and tasing of alcoholic beverages (Type 23, duplicate) for the property located at 507 Third Street, APN 002-130-001. The motion passed unanimously, 4-0-0-1 with Commissioner Bains absent.

B. Consider Approval of a Combined Development Permit. APN 002-460-002. The applicants are Katherine Cain Zavala and Jesus Zavala.

This item was continued to the June 1, 2021 Meeting.

7. ACTION ITEMS

A. Consider Recommending to the City Council Amendment of an Ordinance to Increase Fence Heights to Minimalize Highway and Nonresidential Use Impacts and Prohibit Location Closer than three feet from a fire hydrant

City Manager Reynolds reported that the Commissioner's recommendations from the April 6 meeting have been integrated into the ordinance presented today. During public comment Cara Vonk commented that neighbors should be given the opportunity to know when a fence permit is being considered as tall fences can be intrusive.

A motion was made by Commissioner Medeiros and seconded by Commissioner Morris Lopez to recommend the ordinance to the City Council for approval. The motion passed unanimously, 4-0-0-1 with Commissioner Bains absent.

B. Appoint Chairperson Delgado to Represent the Planning Commission on the City Council's Public Safety Subcommittee

City Manager Reynolds had no additional comments from his report presented to the Historic Resources Board. No public comment was received.

A motion was made by Commissioner Morris Lopez and seconded by Commissioner Matchain to approve the appointment of HRB Chairman Medeiros and Chairperson Delgado to the City Council's Public Safety Subcommittee. The motion passed unanimously, 4-0-0-1 with Commissioner Bains absent.

C. Accept the Recommendation from the Historic Resources Board and Approve the Certified Local Government Report of October 1, 2019-September 30, 2020

City Manager Reynolds had no additional comments from the presentation to the Historic Resources Board. There was no public comment.

A motion was made by Commissioner Morris Lopez and seconded by Commissioner Medeiros to approve the CLG Report of October 1, 2019-September 30, 2020. The motion passed unanimously, 4-0-0-1 with Commissioner Bains absent.

8. DISCUSSION ITEMS

A. Accessory Dwelling Unit Ordinance (ADU)

This item was presented earlier in the meeting.

B. Update by City Manager on Status of Parklets and the City Budget

City Manager Reynolds provided an update from slides.

9. COMMENTS & REPORTS

A. Planning Commissioners

Commissioners were very appreciative of staff.

B. City Manager

No comments were received.

C. City Planner

No comments were received.

10. ADJOURNMENT

The meeting adjourned at 10:26 p.m.



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE: Development of New Residence at APN 002-290-043
(Vacant Lot Between 47 and 51 Monterey Street)

MEETING DATE: August 3, 2021

SUBMITTED BY: Alec Barton, Contract Planner (Harris & Associates)

DEPARTMENT HEAD: Brian Foucht, Community Development Director

RECOMMENDED ACTION(S): Staff recommends the following:

1. Approve the Site & Design Review Permit (Permit No. 126) to allow the development of a new single family residence at APN 002-290-043 (Vacant Lot Between 47 and 51 Monterey Street)

BACKGROUND INFORMATION:

Thomas and Waunita Nino propose the construction of a new single family residence on a vacant lot located between 47 and 51 Monterey Street (APN: 002-290-043). The 7,395-square foot (SF) lot is zoned R-2 (Medium Density Residential). The minimum lot size required for development in the R-2 zone is 8,000 SF. As an existing lot, however, the subject parcel may be developed in its existing configuration and size without a variance. Furthermore, the lot is surrounded by residentially-developed parcels with the identical R-2 zoning designation. The proposed development is therefore consistent with similar uses on neighboring parcels in the same zoning district.

PROCESS/ANALYSIS:

The proposed new single family residence is 1,786 SF, with 703 SF on the ground floor and 1,083 SF on the second floor. The residence includes an attached 2-car tandem garage (488 SF) and porch (54 SF). The residence will include three (3) bedrooms and two full and one half (2.5) bathrooms. As shown in Table 1, the proposed residence complies with all setback, lot coverage, and parking requirements in the R-2 zone:

	Required/ Maximum	Proposed	Consistent?
Minimum Lot Area	8,000 SF	7,395 SF	Yes, preexisting lot
Minimum Lot Width	60 feet	71 feet	Yes
Density Range (du/ac)	6 – 10	5.89	Yes
Floor Area Ratio (FAR) (max)	0.60	0.31	Yes
Building Coverage	45%	31%	Yes
Maximum Height	35'	25' 11"	Yes

Setbacks	F: 20 feet S: 5 feet R: 10 feet	F: 20 feet S: 8 feet R: 48 feet	Yes
Parking	1 covered space, 1 uncovered space	2 covered spaces, 2 uncovered spaces	Yes

Site and Design Review

SJBMC Section 11-18-040 details the Findings the Planning Commission is required to make for all proposed Site Plan and Design Review Permit applications.

- A) *The project is consistent with the standards and requirements of the San Juan Bautista Municipal Code.*

Evidence: The proposed use is consistent with the Medium Density Residential (R-2) zoning district.

- B) *The project is consistent with the goals and policies of the General Plan and any applicable specific or community plans.*

Evidence: The proposed use is consistent with the goals of the General Plan, particularly goals related to Housing and Land Use. The development of this site adds housing to the City of San Juan Bautista.

- C) *The project contributes to safeguarding the City's heritage and cultural and historic resources.*

Evidence: The proposed project is consistent with the City's goal to encourage walkable and visually rich neighborhoods. Historic resources will not be impacted by this project, as the subject site is not within the designated historic district and contains no existing structures.

- D) *The project is compatible with the surrounding character of the environment because the architectural design, materials and colors harmonize with the character of surrounding development, or other improvements on the site and specific design elements are incorporated into the project.*

Evidence: The proposed project will be similar in size, design, color and materials to existing residential structures and neighborhood within the immediate vicinity. Colors and materials include earth-toned paint (tan, white, brown), and terracotta roof materials (See Attachment 3).

- E) *The location and configuration of the project harmonizes with the site and with surrounding sites or structures. Structures do not dominate their surroundings to*

an extent inappropriate to their use and do not unnecessarily block significant views or solar access to adjacent properties.

Evidence: The height (two stories) and location of the building (conforms to all setbacks) are typical of similar structures in the Medium Density Residential (R-2) zoning district, including structures in the immediate vicinity of the project. The project is consistent with the development regulations, policies, and standards for the R-2 zoning designation.

- F) *The project effectively uses architectural features to break up mass. Roof planes are varied without being overly complex. Otherwise monotonous long or two-story walls are well-articulated with details such as building off-sets and window features that are compatible with the design and not overly ornate.*

Evidence: The proposed project includes a variety of features that break up mass, including subtle variations in roof planes, articulation in the front building façade, ample fenestration (particularly on the front, rear, and left elevations), and design elements including shutters and window muntins.

- G) *The landscape design, if any, including plant materials, provisions for irrigation, and protection of landscape elements have been considered to create visual relief and complement the structures to provide an attractive and water-conserving environment.*

Evidence: The project incorporates landscaping elements that comply with the Model Water Efficient Landscape Ordinance (MWELo). Trees and shrubs are consistent with the predominant landscaping theme in the City and include multi trunk olive (24-inch), New Zealand flax (5 gal), dwarf Italian cypress (5 gal), white rose (1 gal), fortnight lily (1 gal), pittosporum (1 gal), groundcover rose (1 gal), and groundcover rosemary.

- H) *The design and layout of the proposed project does not interfere with the use and enjoyment of neighboring existing or future development, does not result in vehicular or pedestrian hazards, and promotes public health, safety, and welfare.*

Evidence: The location of the proposed building increases visual interest for pedestrians and fills in a vacant lot in a predominantly residential area. The proposed project includes the development of a 4-foot sidewalk to match adjacent sidewalks, providing connectivity across a site where no sidewalk currently exists. The proposed building/use is compatible with existing and proposed development in the vicinity of the project.

- l) *The existing or proposed public facilities necessary to accommodate the proposed project are available to serve the subject site.*

Evidence: Existing public facilities, including fire protection, public utilities, sewers, sidewalks, storm drains, streets, street lights, and traffic control devices, are adequate and can accommodate the proposed project.

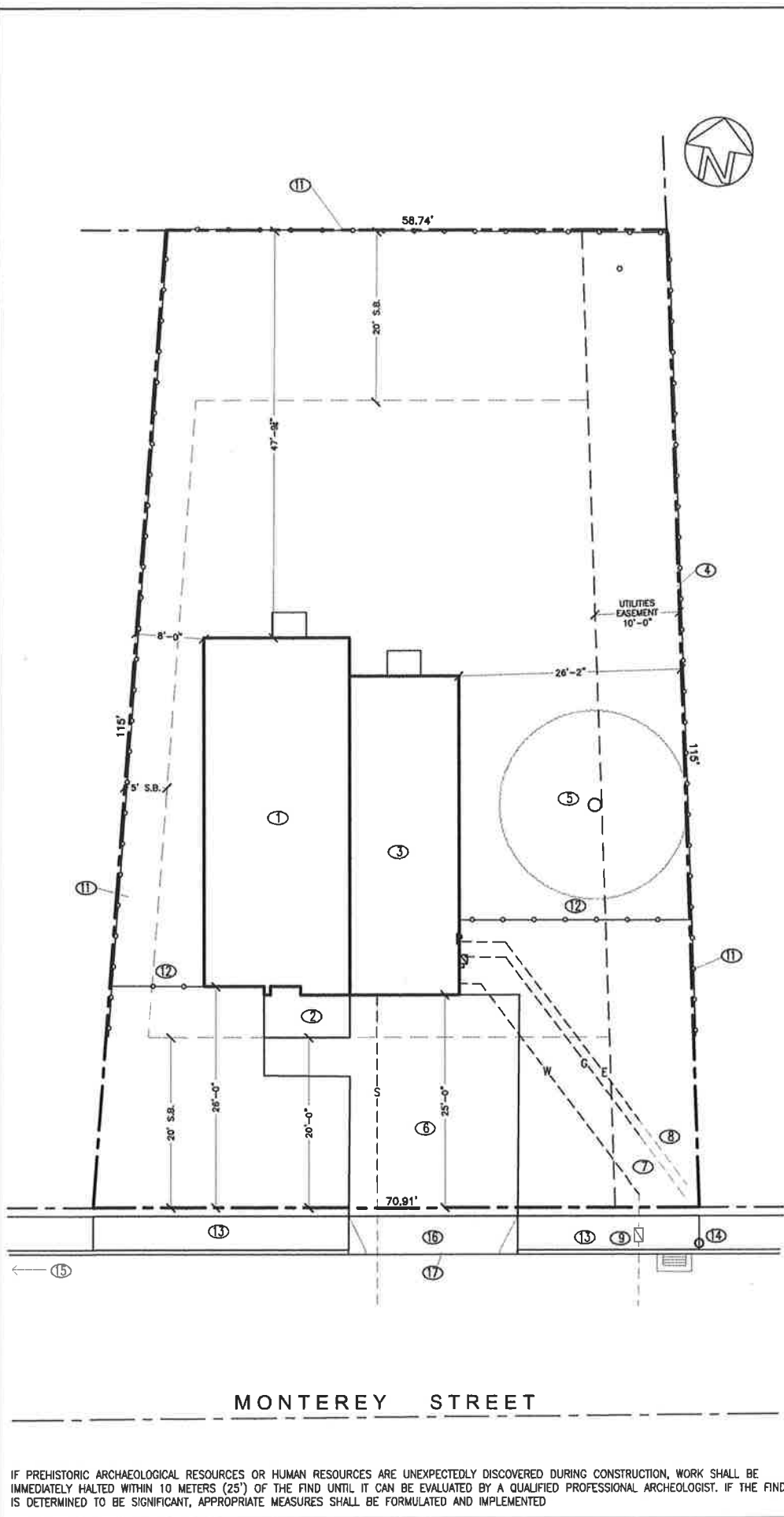
CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

The project is categorically exempt from the California Environmental Quality Act (CEQA) per section 15303(a) (Class 3), New Construction or Conversion of Small Structures, which exempts one single-family residence or a second dwelling unit in a residential zone. Exceptions to the exemption do not apply because the project is not located in an environmentally sensitive area, will not create significant individual or cumulative effects on the environment, is not located adjacent to or near a scenic highway, is not a hazardous waste site, and will not cause a substantial adverse change in the significance of a historical resource.

ATTACHMENTS:

- 1) Application
- 2) Plan Set (Site Plan, Floor Plan, Elevations, Landscape Plan, Grading and Drainage Plan, Erosion Control Plan)
- 3) Color/Materials Board

SITE PLAN



ABBREVIATIONS

&	AND	FTG	FOOTING
@	AT	GA	GAUGE
CL	CENTERLINE	GALV	GALVANIZED
#	NUMBER/POUND	GYP	GYP SUM BOARD
PL	PROPERTY LINE	HB	HOSE BIB
(E)	EXISTING	HDR	HEADER
(N)	NEW	HORIZ	HORIZONTAL
(R)	RELOCATED	INSUL	INSULATION
		INT	INTERIOR
		LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATELY	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASPH	ASPHALT	MISC	MISCELLANEOUS
BC	BOTTOM CURB	N	NORTH
BLDG	BUILDING	NOM	NOMINAL
BLK	BLOCK	NTS	NOT TO SCALE
BM	BEAM	OC	ON CENTER
CLG	CEILING	PR	PAIR
CLO	CLOSET	RAD	RADIUS
CLR	CLEAR	REFR	REFRIGERATOR
C.O.	CASED OPENING	REINF	REINFORCED
CONC	CONCRETE	REQ'D	REQUIRED
CONN	CONNECTION	RM	ROOM
CONST	CONSTRUCTION	RWD	REDWOOD
CONT	CONTINUOUS	S	SOUTH
DBL	DOUBLE	SHT	SHEET
DF	DOUGLAS FIR	SPEC	SPECIFICATION
DIA	DIAMETER	SQ	SQUARE
DIM	DIMENSION	SS	STAINLESS STEEL
DN	DOWN	STD	STANDARD
DWG	DRAWING	TC	TOP OF CURB
E	EAST	TP	TELEPHONE POLE
EA	EACH	T&G	TONGUE AND GROOVE
ELEC	ELECTRICAL	TYP	TYPICAL
EXT	EXTERIOR	UON	UNLESS OTHERWISE NOTED
FD	FLOOR DRAIN		
FF	FINISH FLOOR	VERT	VERTICAL
FLR	FLOOR	W	WEST
FLOUR	FLOURESCENT	W/	WITH

GENERAL NOTES

- THE CONTRACT DOCUMENTS INCLUDE THESE DRAWINGS AND THE SPECIFICATIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD TO CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS.
- WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE DESIGNER. FLOOR PLAN BY DESIGNER SUPERCEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
- THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND MUST NOT BE REPRODUCED, ALTERED OR AMENDED WITHOUT PERMISSION.
- CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2.) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3.) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4.) INTERIOR NON-STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.

KEY NOTES

- (N) TWO STORY DWELLING SFR
- (N) COVERED PORCH
- (N) ATTACHED GARAGE
- (E) PROPERTY LINE
- EXISTING 16" OAK TREE TO REMAIN
- (N) CONCRETE DRIVEWAY, OR WALKWAY
- (N) GAS METER & SERVICE EXTENSION
- (N) 200AMP ELECTRICAL METER & MAIN PANEL & SERVICE EXTENSION.
- (N) WATER METER AND (N) SERVICE EXTENSION
- (N) 4" SEWER EXT. LINE, CLEANOUT AND LATERAL CONNECT
- EXISTING 6" RWD SIDE FENCE TO REMAIN
- PROPOSED 6" RWD FENCE
- PROPOSED 4' SIDEWALK TO MATCH ADJACENT SIDEWALKS
- EXISTING POWER POLE TO REMAIN
- EXISTING FIRE HYDRANT ROUGHLY 120' FROM PROPERTY AT CORNER
- PROPOSED CONCRETE APRON CURB CUT
- PROPOSED CONCRETE APRON

LEGEND

---	PROPERTY LINE
→	(E) DIRECTION OF DRAINAGE
---	(N) BUILDING FOOTPRINT (ADDITION)
---	(E) EDGE OF PAVEMENT OR SIDEWALK
---	(E) UNDERGROUND UTILITY- VERIFY
---	(E) OVERHEAD UTILITY

DESIGN CRITERIA

FLOOR LIVE LOAD: 40.0 PSF
ROOF LIVE LOAD: 20.0 PSF
GROUND SNOW & ICE: NONE
BASIC WIND: 110-3SEC-C
EXPOSURE CATEGORY: C
SEISMIC DESIGN CATEGORY: D
SOIL SITE CLASS: D
IMPORTANCE FACTOR: 1
ALLOWABLE BEARING CAPACITY: 1,000 PSF

ADDITIONAL CLEARANCES

SEE SOILS REPORT BY SALEM ENGINEERING GROUP FOR ADDITIONAL REQUIREMENTS

DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN
- SOLAR PV SYSTEM REQUIRED FOR EACH HOME PER 2019 CODE. ROOF MOUNT SYSTEMS REQUIRED. SOLAR INSTALLER TO SUBMIT FOR A SOLAR PV PERMIT.

GREEN BUILDING REQUIREMENTS

- MINIMUM 65% (BY WEIGHT) OF ALL CONSTRUCTION AND DEMOLITION WASTE TO RECYCLING FACILITY OR REUSE.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- ALL SHOWER HEADS SHALL BE HIGH EFFICIENCY 1.8 GALLONS PER MINUTE MAXIMUM AT 80 PSI.
- ALL BATHROOM FAUCETS SHALL BE HIGH EFFICIENCY 1.8 GALLONS PER MINUTE MAXIMUM AT 60 PSI.
- ALL KITCHEN & UTILITY FAUCETS SHALL BE HIGH EFFICIENCY 1.8 GALLONS PER MINUTE MAXIMUM.
- ALL TOILETS SHALL BE HIGH EFFICIENCY- DUAL FLUSH OR 1.28 GPF MAX.
- ALL HVAC SYSTEMS SHALL BE DESIGNED AND INSTALLED TO ACCA MANUAL J, D, & S RECOMMENDATIONS.
- ALL BATHROOM FANS SHALL BE ENERGY STAR AND ON TIMER OR HUMIDISTAT.
- ALL INTERIOR WALL & CEILING PAINT SHALL BE LOW-VOC OR ZERO-VOC.
- ALL COATINGS SHALL BE LOW-VOC AND MEET SCAQMD RULE 1113
- ALL CAULKS, CONSTRUCTION ADHESIVES & SEALANTS SHALL BE LOW-VOC.
- ALL COMPOSITE WOOD SHALL MEET CURRENT CARB ATCM LIMITS FOR FORMALDEHYDE.
- ALL CARPET & 50% MAX. OF RESILIENT FLOORING SHALL BE LOW EMITTING.
- WOOD WALL AND FLOOR FRAMING MATERIALS SHALL NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE (GYP)

RELATED APPROVALS

RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIRED. DEFERRED SUBMITTAL OK THROUGH THE CITY OF HOLLISTER FIRE CHIEF, STATION #1, 110 FIFTH ST HOLLISTER, CA 95023

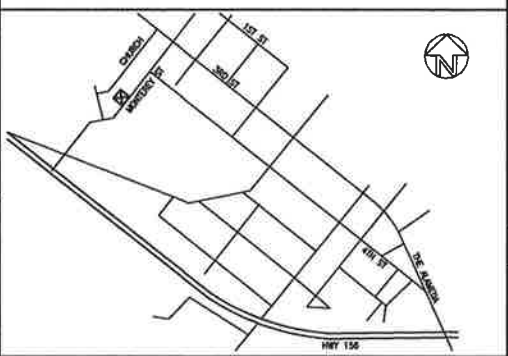
CITY ENCROACHMENT PERMIT REQUIRED FOR ALL CONSTRUCTION IN THE PUBLIC RIGHT OF WAY INCLUDING UTILITIES.

ALL WORK IN R/W AND P.U.E. TO CONFORM WITH CITY OF HOLLISTER ENGINEERING STANDARDS A-1, A-10, B-3-1, B-7, C-2-1, AND ANY OTHER APPLICABLE.

QUALITY INSULATION INSTALLATION

Please note the HERS measure Q11, High Quality Insulation Installation, a HERS rater will need to be hired to perform this multi-step verification: first before any insulation is installed to check the framing construction and envelope sealing and then again after the insulation is installed but before any drywall. VERY IMPORTANT: It is recommended you hire the rater as early as possible in the process to ensure proper coordination of timing and the project passes the first time. The trades involved with installing tubs, showers, stairs and other hard to access building assemblies need to know ahead of time when they are responsible for installing components to meet Q11 air barrier and insulation requirements.

VICINITY MAP



SHEET INDEX

- A-0 SITE PLAN & COVER SHEET
- A-1 ARCHITECTURAL FLOOR PLAN
- A-2 EXTERIOR ELEVATIONS
- L-1 LANDSCAPE PLAN
- C-1 CIVIL SITE PLAN
- C-2 DRAINAGE & EROSION CONTROL PLAN
- C-3 BEST MANAGEMENT PRACTICES

CONTACT INFORMATION

OWNER: THOMAS & WAUNITA NINO
55 BEST ROAD
HOLLISTER, CA. 95023
831-801-4564
tnino@garlic.com

DESIGNER: SYMMETRY DESIGN + BUILD, INC.
330 TRES PINOS RD F8-7
HOLLISTER, CA 95023
CONTACT: JASON GUERRA
831-750-5252
jason@symmetrydb.com

CIVIL ENGINEER: SAN BENITO ENGINEERING
CONTACT: ANNE HALL
831-837-2768
ahall@sanbenitoeng.com

PROJECT DATA

OCCUPANCY CLASSIFICATION:
DWELLING: R-3
GARAGE: U
SINGLE FAMILY RESIDENCE

FIRE SPRINKLERS: REQUIRED FOR NEW DWELLINGS, DEFERRED
FLOOD ZONE: NO

TYPE OF CONSTRUCTION: V-B
ZONING: R1-5, MDR

LOT: 7395 SF

DWELLING 1788 SF
(FLOORS: 1-703 2-1063)
GARAGE 488 SF
PORCH 54 SF
TOTAL 2283 SF

COVERAGE/ F.A.R.: 2283/7395= 30.9% (45% ALLOWED)

PARKING SPACES PROVIDED: 2 COVERED +2 UNCOVERED =4 TOTAL

CODE COMPLIANCE

- ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE, THE 2019 CBC
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA GREEN CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE

SCOPE OF WORK

CONSTRUCTION OF TWO STORY, 3 BEDROOM/ 2.5 BATH SINGLE FAMILY RESIDENCE WITH ATTACHED 2 CAR TANDEM GARAGE AND FRONT PORCH ON EXISTING LOT IN SAN JUAN BAUTISTA.

RESIDENCE AT:
0 Monterey Street
San Juan Bautista,
Ca.

NEW CONSTRUCTION
RESIDENCE

FOR:
THOMAS & WAUNITA
NINO



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CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.

CHECKED BY: J.M.G.

APN: 002-290-043

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
A DESIGN SUBMIT	05.21.21

SCALE:

PROJECT #: 18-43

SITE PLAN & COVER
SHEET

A-0

RESIDENCE AT:
0 Monterey Street
San Juan Bautista,
Ca.

NEW CONSTRUCTION
RESIDENCE

FOR:
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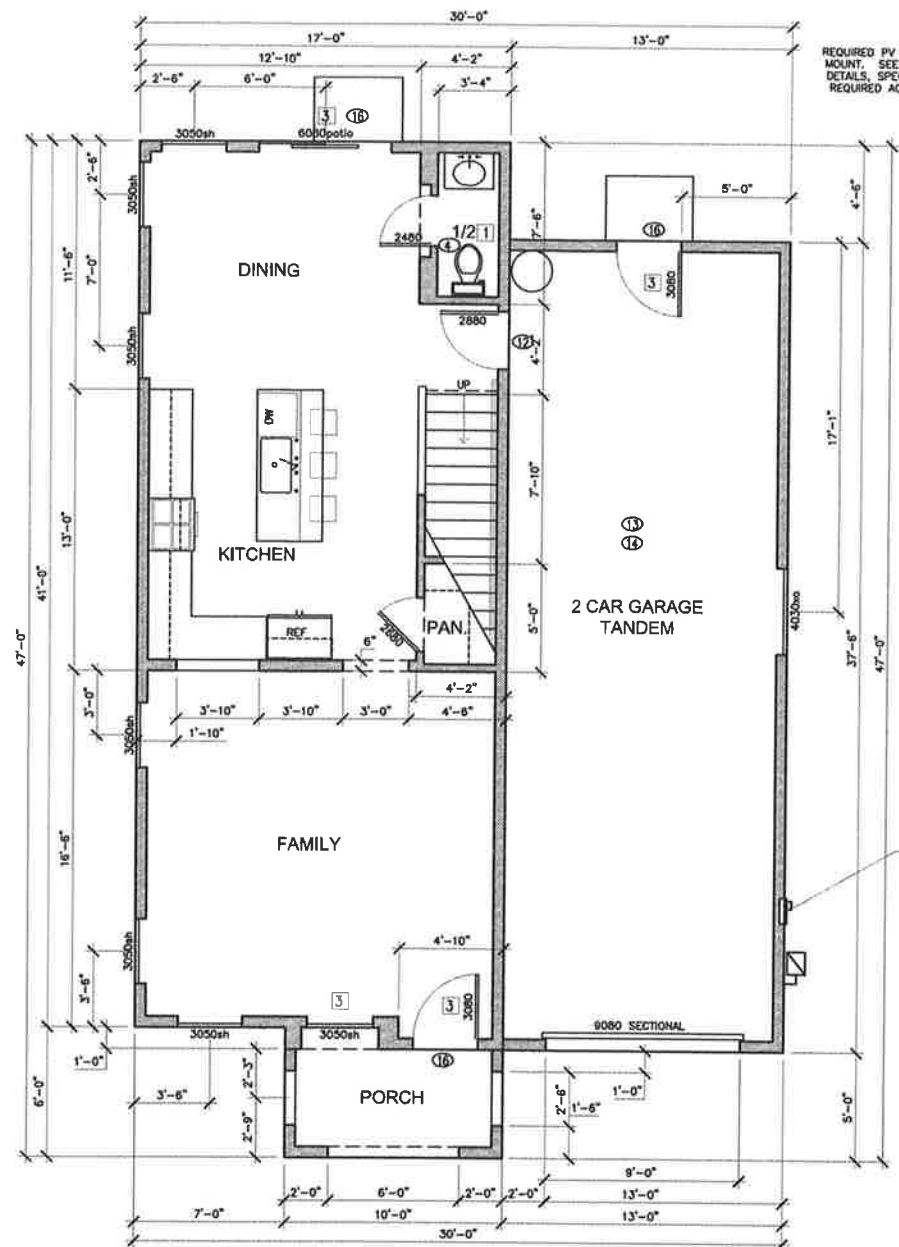
ISSUE DESCRIPTION	DATE
A DESIGN SUBMIT	05.21.21

SCALE: 1/8" = 1'-0"

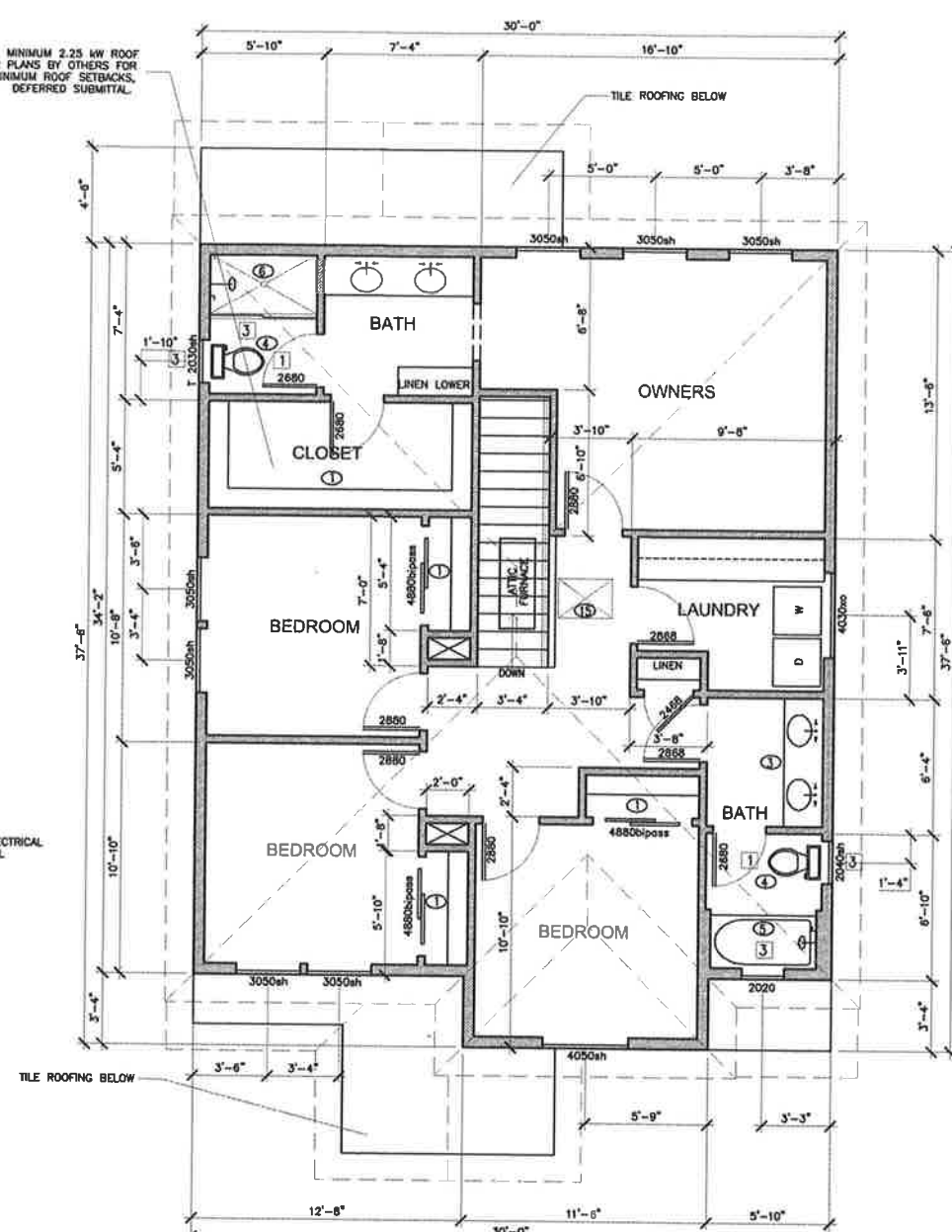
PROJECT #: 20-21

ARCHITECTURAL
FLOOR PLAN

A-1



LOWER LEVEL



UPPER LEVEL

GENERAL NOTES

- ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.
- ALL LUMBER USED IN CONSTRUCTION LOCATED NEARER THAN 6" TO EARCH SHALL BE F.O. RWD OR P.T.
- PROVIDE SOLID BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH
- PROVIDE FIRESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.
- ALL PLUMBING WALLS TO BE 2x4 STUDS UNLESS OTHERWISE NOTED.
- STAIRS TO HAVE 7 1/2" MAXIMUM RISE, 10" MINIMUM RUN, AND 6'-8" MINIMUM HEADROOM. THE GREATEST RISER HEIGHT AND THE GREATEST TREAD RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". MINIMUM CLEAR STAIRWAY WIDTH IS 36". PROVIDE ONE HANDRAIL (MIN.) FOR EACH STAIRWAY, PLACED BETWEEN 34" AND 38" ABOVE LANDING AND THE NOSING OF TREADS, CONTINUOUS FOR THE LENGTH OF THE STAIRS.
- PROVIDE MIN. 22"x30" ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.
- PROVIDE 42" HIGH (MIN.) DECK RAILS @ ALL DECKS MORE THAN 30" FROM THE GROUND; 4" RAIL OPENING (MAX.)
- ALL EXHAUST FANS, ELECTRIC RANGES, & CLOTHES DRYERS TO BE VENTED TO THE OUTSIDE.
- PROVIDE BLOCKING FOR ALL HORIZONTAL SIDING BEHIND Z-BAR FLASHING & ALL ROOF TO WALL FLASHING.
- INSTALL PREFAB FIREPLACES IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS & LOCAL CODES. PROVIDE THE FIREPLACE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS @ THE JOB SITE FOR INSPECTION.
- DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.
- AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL INCLUDE A NET OPENABLE AREA OF 5.7 SQ. FT. OR MORE (MIN. 20" WIDE, 24" HIGH) WITH A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.
- SHOWER AREA WALLS TO BE FINISHED WITH A SMOOTH, NON-ABSORBANT SURFACE TO A MINIMUM OF 72" ABOVE THE DRAIN.
- ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR/ CEILING SHALL HAVE ONE-HOUR FIRE PROTECTION.
- PROVIDE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE AT ALL HOSE BIBBS.
- ALL WATER CLOSETS SHALL BE HIGH EFFICIENCY- DUAL FLUSH OR 1.28 GPF MAX AND SHALL NOT BE SET CLOSER THAN 15" FROM CENTER TO ANY SIDEWALL OR OBSTRUCTION NOR CLOSER THAN 30" CENTER TO CENTER TO ANY SIMILAR FIXTURE.

- INDIVIDUAL CONTROL VALVES OF TRUE PRESSURE BALANCE FOR THE THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATIONS.
- ALL WINDOWS TO BE DUAL PANE U.N.I.O.
- MATERIAL GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.
- P & T RELIEF VALVE TO OUTSIDE OF BUILDING AT WATER HEATER.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 EDITION OF THE CBC, CMC, CPC, AND CFC AND THE NEC AND CEC.
- HEIGHT TO COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGES, 30" (UNPROTECTED), 24" (PROTECTED)- PER STOVE LISTING.
- KITCHEN FAUCETS TO HAVE A MAX. FLOW RATE OF 1.8 GALLONS PER MINUTE, BATHROOM 1.2 GPM.
- PROVIDE WATER HEATER WITH A TEMPERATURE & PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 24" OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD. THE END BEING UNTHREADED TERMINATED INSIDE THE GARAGE IS NOT PERMITTED.
- CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2.) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3.) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4.) INTERIOR NON-STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
- USE FIBER CEMENT BACKING BOARD AS A BASE FOR TUB/SHOWER INSERTS PER CBC.
- FIREBLOCKING WITH NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, FIREPLACES, AND SIMILAR OPENINGS PER CBC.
- PROVIDE SEISMIC STRAP AT WATER HEATER AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION, LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE CONTROLS PER CPC.
- LANDINGS OR FLOORS AT THE REQUIRED EXTERIOR EGRESS DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. (7-3/4", PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR). LANDING OR FLOORS AT OTHER EXTERIOR DOORS SHALL BE PROVIDED WITH LANDING OR FLOORS NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.
- SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ.IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE, TO A POINT OF NOT LESS THAN 72" ABOVE THE SHOWER DRAIN. NO PROTRUSIONS OTHER THAN FIXTURE VALVES, SHOWER HEAD, SOAP DIAHES, SHELVES AND SAFETY GRAB BARS PER CPC 411.7.

KEY NOTES

- SINGLE SHELF & POLE
- 5'-11" DEEP SHELVES
- 72" DOUBLE VANITY
- WHITE ELONGATED TOILET
- PREFAB WHITE TUB/SHOWER 30x60
- PREFAB WHITE 34x60 SHOWER
- 30" SINGLE BASIN WHITE SINK, FAUCET, DISPOSAL
- DISHWASHER, ELECTRIC RANGE, MICROHOOD
- REFRIGERATOR NICHE- 36"
- ELECTRIC WATER HEATER WITH SEISMIC STRAPPING, BOLLARD & 18" PLATFORM
- WASHER & DRYER IN WALL BOXES & VENT
- 1 1/2" SOLID CORE DOOR- 20 MINUTE MIN. ASSEMBLY, SELF-CLOSING, TIGHT FITTING & WEATHER STRIPPED
- PROVIDE 1" GYP. BOARD FROM FOUNDATION TO THE FIRE-RATED CEILING ON GARAGE SIDE OF WALL
- PROVIDE 1" GYP. BOARD AT THE CEILING
- PROVIDE MINIMUM 22"x30" ATTIC ACCESS.
- 36" MIN. LEVEL LANDING

CONDITION OF APPROVAL NOTES

-IF PREHISTORIC ARCHAEOLOGICAL RESOURCES OR HUMAN RESOURCES ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE IMMEDIATELY HALTED WITHIN 10 METERS (25') OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MEASURES SHALL BE FORMULATED AND IMPLEMENTED

-THE ON-SITE LIGHTING SHALL CONFORM TO THE CITY'S "DARK SKY" REGULATIONS AND PROVIDED HOODED SHIELD DEFLECTORS ON ALL LIGHTING FIXTURES. ALL LIGHTING WITHIN THE INNER COURTYARD SHALL BE DIRECTED DOWNWARD OR DEFLECTED IN A DIRECTION/MANNER FROM ADJACENT RESIDENTIAL HOMES. ALL ON-SITE EXTERIOR LIGHTING SHALL EQUIPPED WITH WARM WHITE ILLUMINATION.

DATA

DWELLING	1766 SF
FLOORS:	1-703 2-1063
GARAGE	488 SF
PORCH	54 SF
TOTAL	2308 SF

FLOORING

VINYL PLANK:
FAMILY ROOM, DINING, KITCHEN, ENTRY,
LAUNDRY, PANTRY, BATHROOMS, LAUNDRY

TILE: NONE

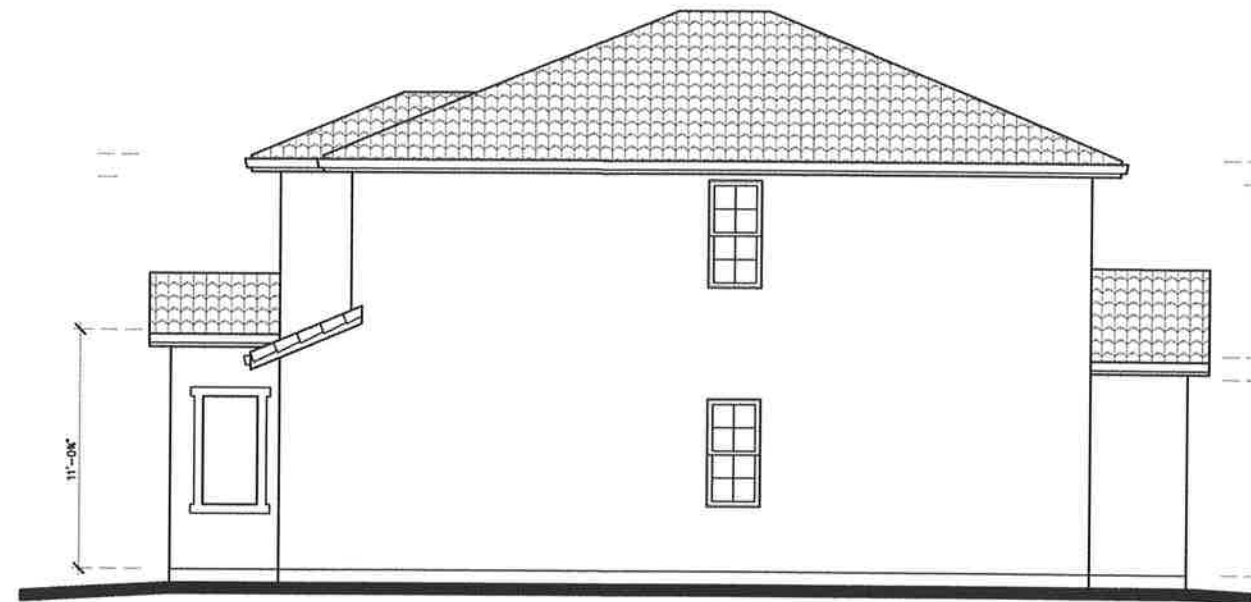
CARPET:
BEDROOMS & CLOSETS

LEGEND

- SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
- DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN
- SOFT WALL ABOVE
- 4" WALL W. 2x4 STUDS @ 16" O.C. GYP. BD. AS SPECIFIED
- 6" WALL W. 2x6 STUDS @ 16" O.C. GYP. BD. AS SPECIFIED

NOTE:
6'-0" PLATE THROUGHOUT U.O.N.
82" INTERIOR DOOR HEADER HT
82" WINDOW HEADER HEIGHT

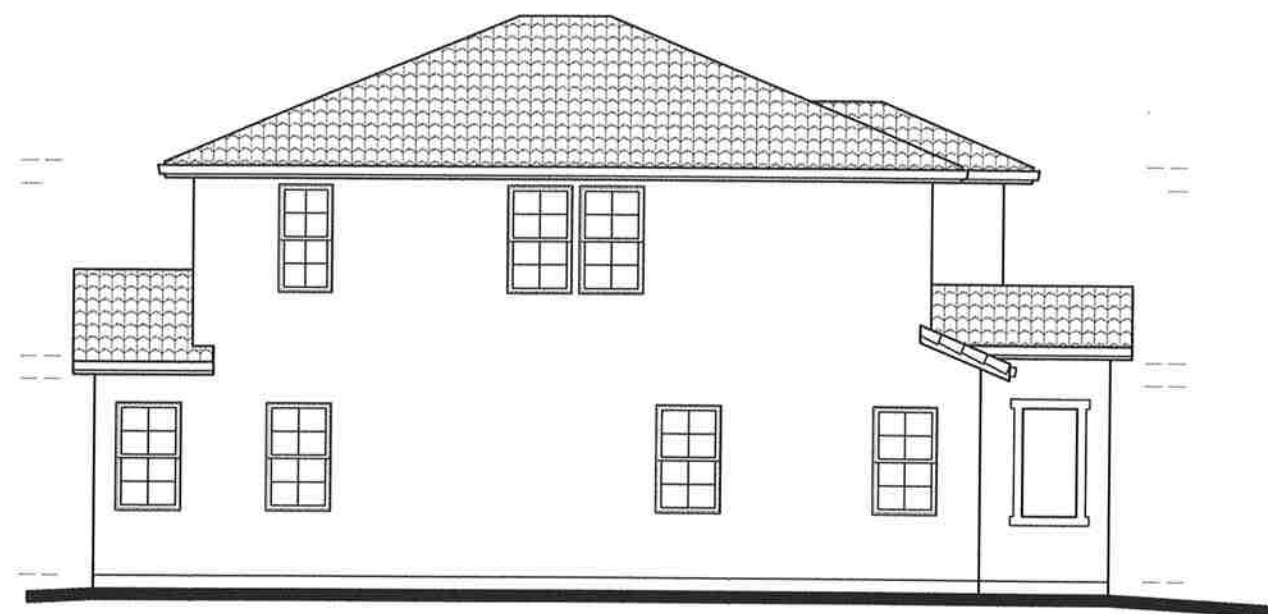
- WATER CLOSET MINIMUM CLEARANCES: 30" WIDE MIN OUT TO 24" MIN IN FRONT
- FUR DOWN TO 82" A.F.F.- V.W.O.
- TEMPERED GLASS REQUIRED



RIGHT



FRONT



LEFT



BACK

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APN: 002-280-043

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
A DESIGN SUBMIT	05.21.21

SCALE: 1/4" = 1'-0"

PROJECT #: 20-21

EXTERIOR
ELEVATIONS

A-2

SHEET NOTES

INSTALL APPROVED CORROSION-RESISTANT FLASHING APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS:

A) EXTERIOR WINDOW AND DOOR OPENINGS (PER MANUFACTURER'S RECOMMENDATIONS)

B) AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

C) UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
D) CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

E) WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.

F) AT WALL AND ROOF INTERSECTIONS.

G) AT BUILT-IN GUTTERS

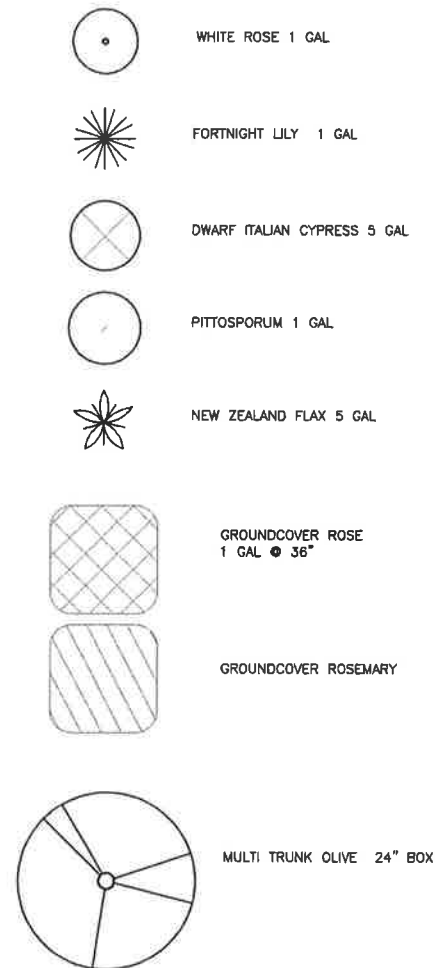
NOTE: USE Z-BAR FLASHING AT WOOD TRIM

KEY NOTES

- 1) 3-COAT (7/8" THICK) CEMENT PLASTER O/ SELF FURRING PAPER BACKED STUCCO NETTING O/ 1 LAYER GRADE 'D' PAPER (TOTAL 2 LAYERS GRADE 'D' PAPER)
- 2) CLASS A OR B S-TILE ROOF OVER TYPE 30 FELT UNDERLAYMENT
- 3) DESERT SAND VINYL SASH WINDOWS
- 4) 5" FOAM TRIM PER ELEVATIONS
- 5) SECTIONAL METAL GARAGE DOOR WITH TRIM SIMILAR TO FRONT
- 6) WEEP SCREED UNDER PAPER AT BOTTOM OF ALL STUCCO PER DETAIL 1/A-5
- 7) 2x SPRUCE SHUTTERS- FIELD BUILD PER ELEVATIONS
- 8) BLACK/BRONZE LIGHT FIXTURES- DARK SKY COMPLIANT
- 9) PROVIDE ADDRESS NUMBERS, MINIMUM 4" HIGH WITH 1/2" STROKE WIDTH PER CRC 319.

NOTES:
ALL LANDSCAPING TO COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
USE HUNTER X-CORE 4 STATION OUTDOOR CONTROLLER WITH PLASTIC CABINET (XC-4)
USE IRRITROL 2700 ANTI-SIPHON VALVE, CLASS 200 PVC LATERAL LINES, 1/2" POLYETHYLENE DRIP TUBING.
USE AGRIPHIM PC PLUS EMITTERS, 1/2 GPH FOR 1 GAL, 1 GPH FOR 5 GAL, 2 GPH FOR 15 GAL.

PLANT LEGEND



WATER USAGE CALCS

FRONT 1172 SF LANDSCAPE AREA

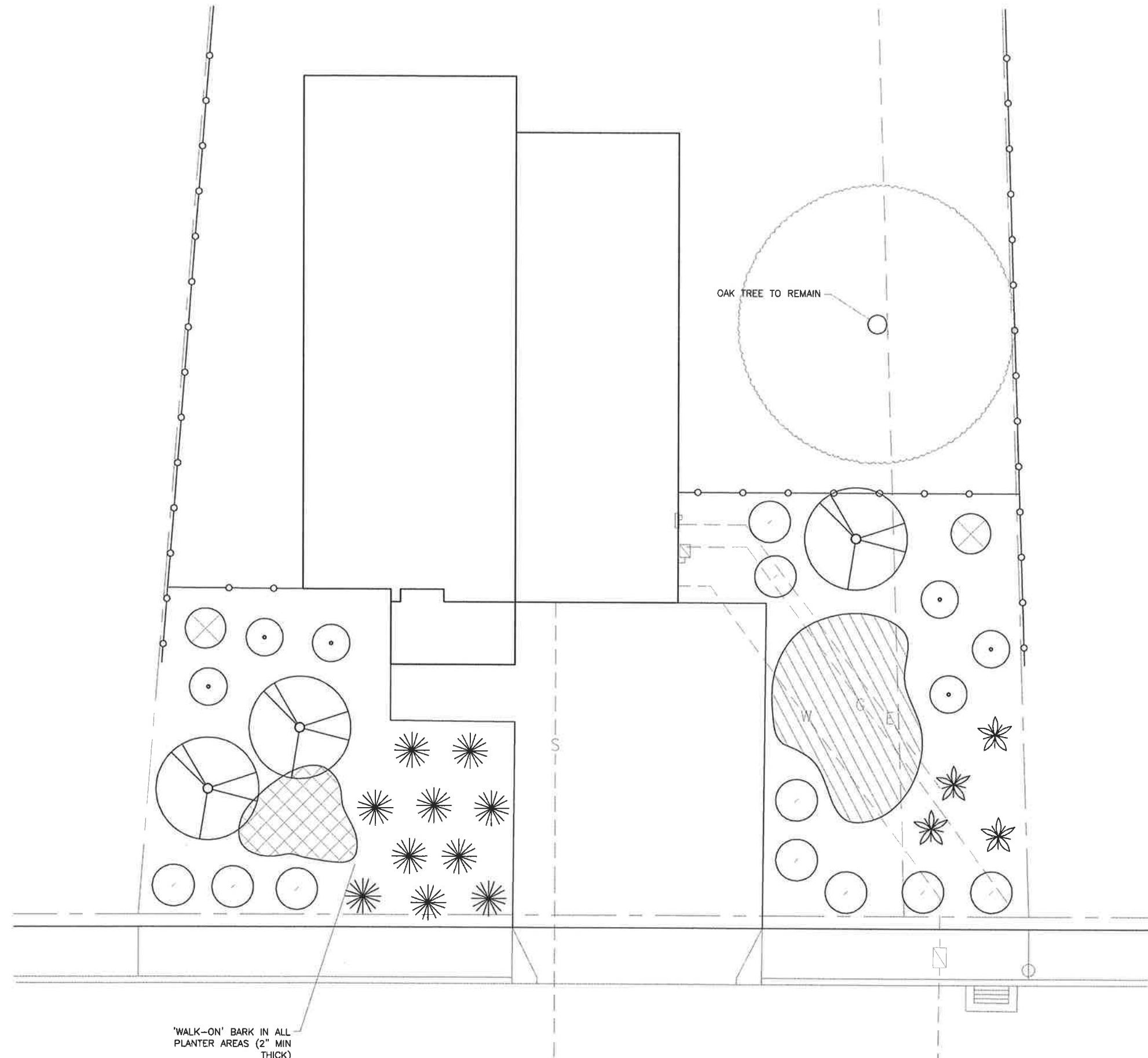
MAXIMUM APPLIED WATER ALLOWANCE CALCULATION (MAWA)
$$MAWA = (ET) \times (0.62) \times [(ETAF \times LA) + ((1-ETAF) \times SLA)]$$
$$= (49.6) \times (0.62) \times [(55 \times 1038) + ((1-0.45) \times 0)]$$

MAWA = 19822.7 GALLONS

ESTIMATED TOTAL WATER USE (ETWU):
$$ETWU = (ET) \times (0.62) \times [(PF \times HA/IE) + SLA]$$
$$= (49.6) \times (0.62) \times [(513) + 0]$$

ETWA = 17798.2 GALLONS

ETWA COMPLIES WITH MAWA



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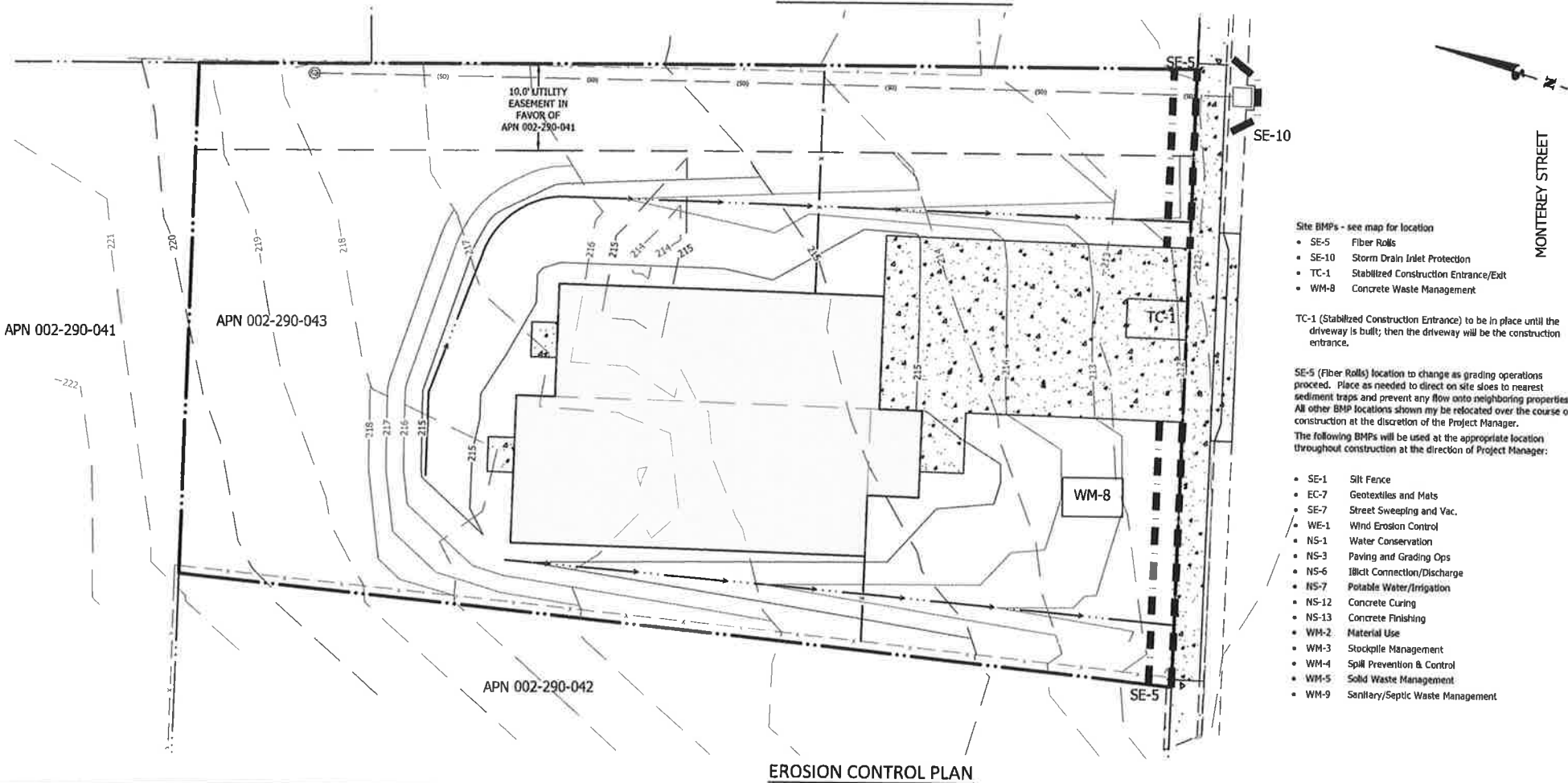
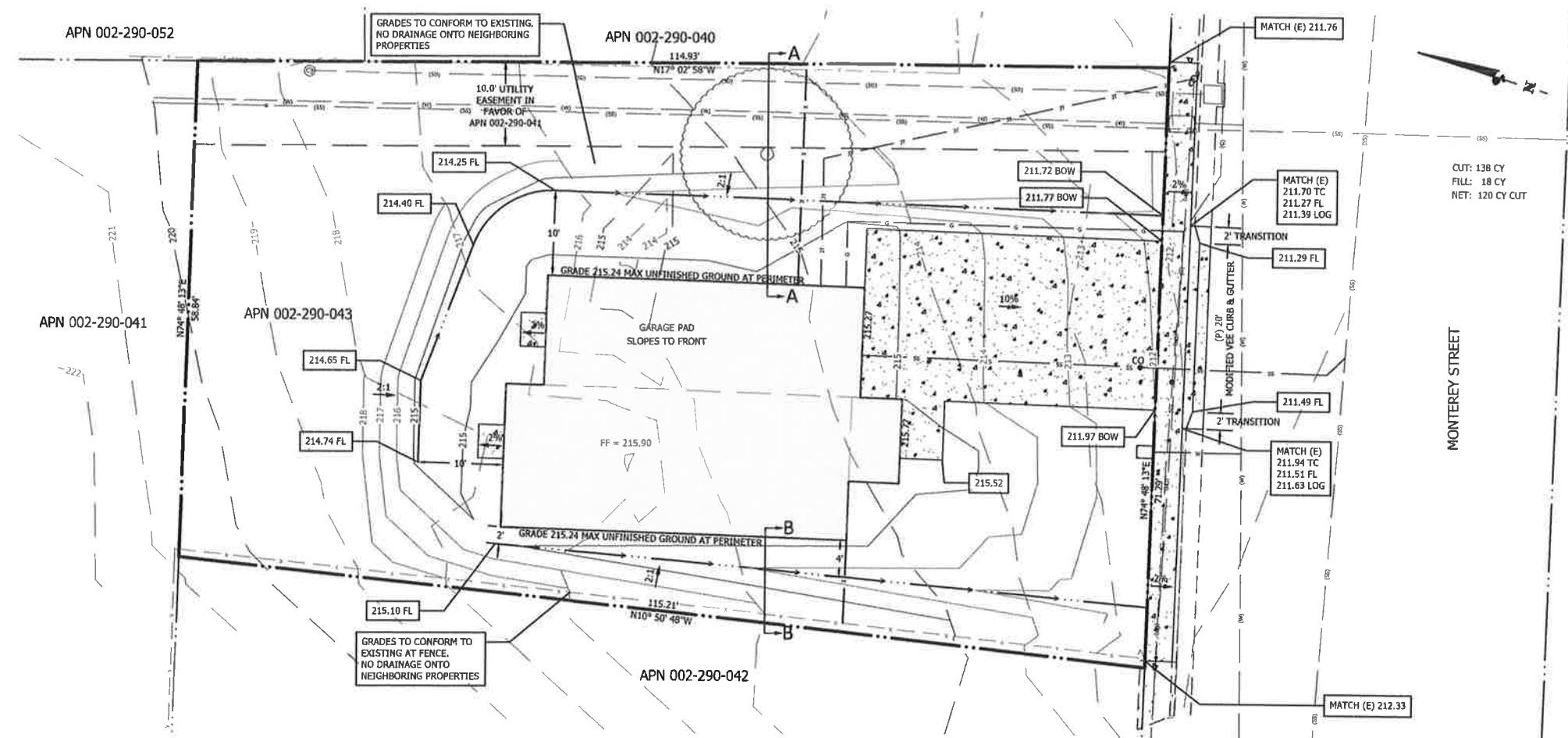
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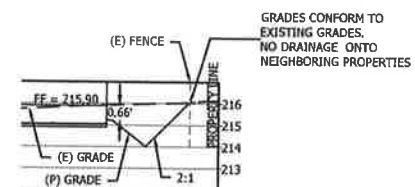
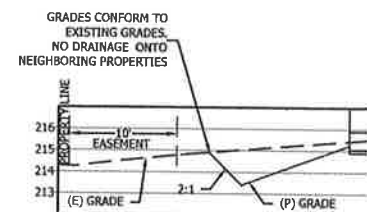
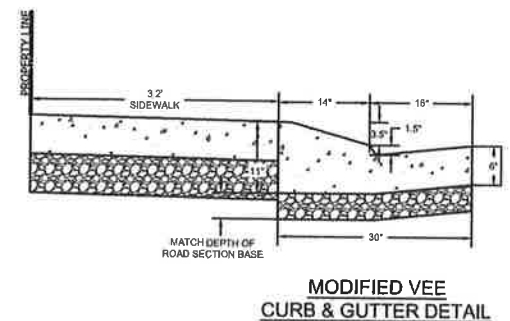
LANDSCAPE PLAN

L-1



SF of Imperious Surface created by the Project	REPLACED	NEW	TOTAL
HOUSE		1,244	1,244
CONCRETE FLATWORK		756	756
CONCRETE & ASPHALT IN R.O.W.	49	234	283
TOTAL	49	2,234	2,283

THIS PROJECT CREATES \leq 2,500 SF OF NEW AND REPLACED IMPERVIOUS SURFACE; IT IS EXEMPT FROM POST-CONSTRUCTION STORMWATER REQUIREMENTS



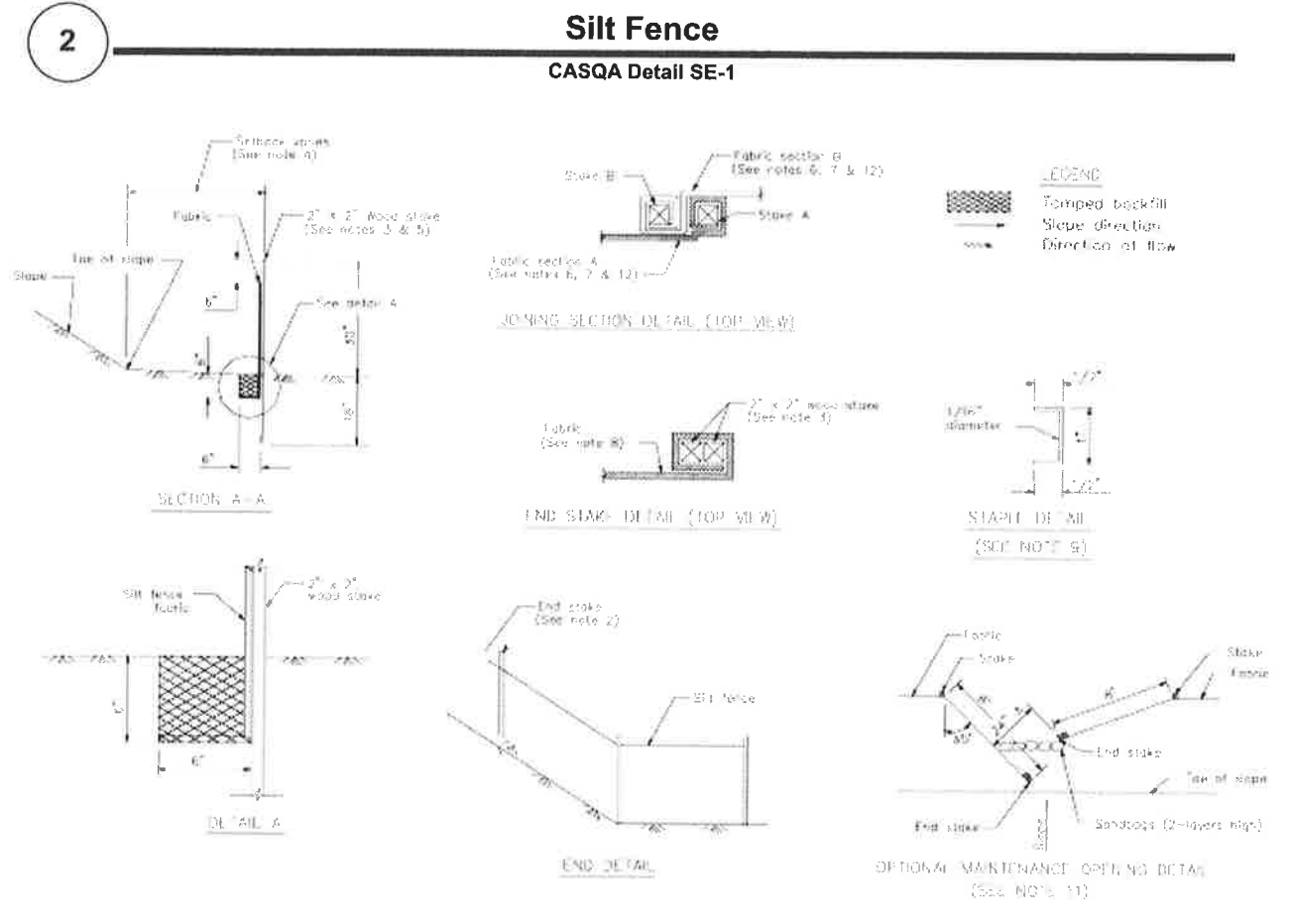
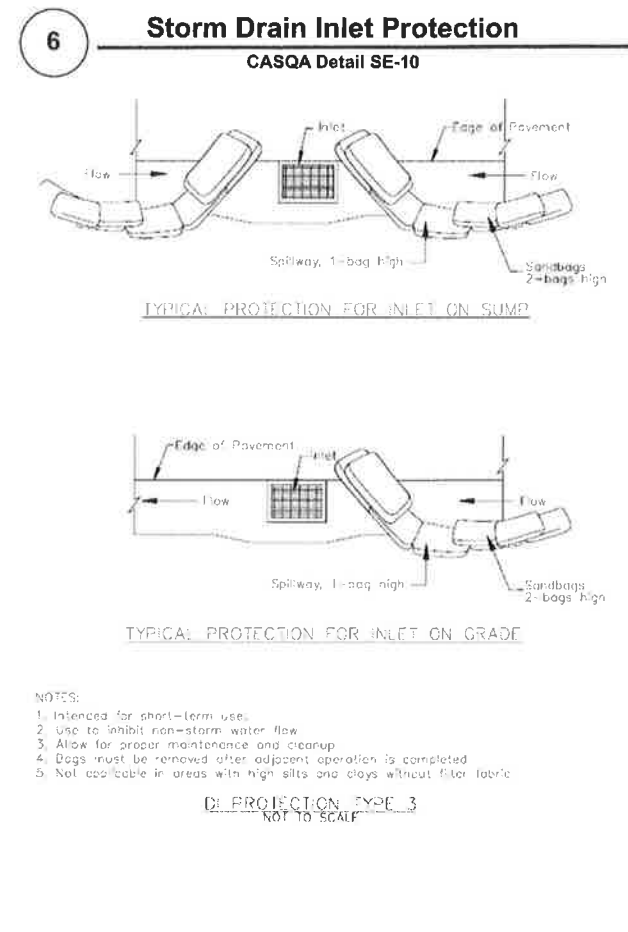
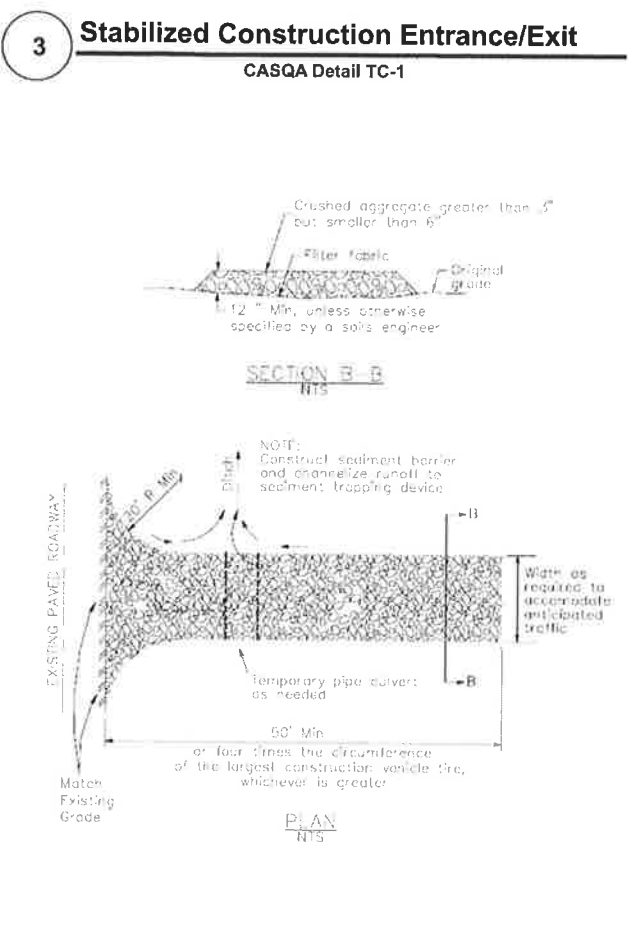
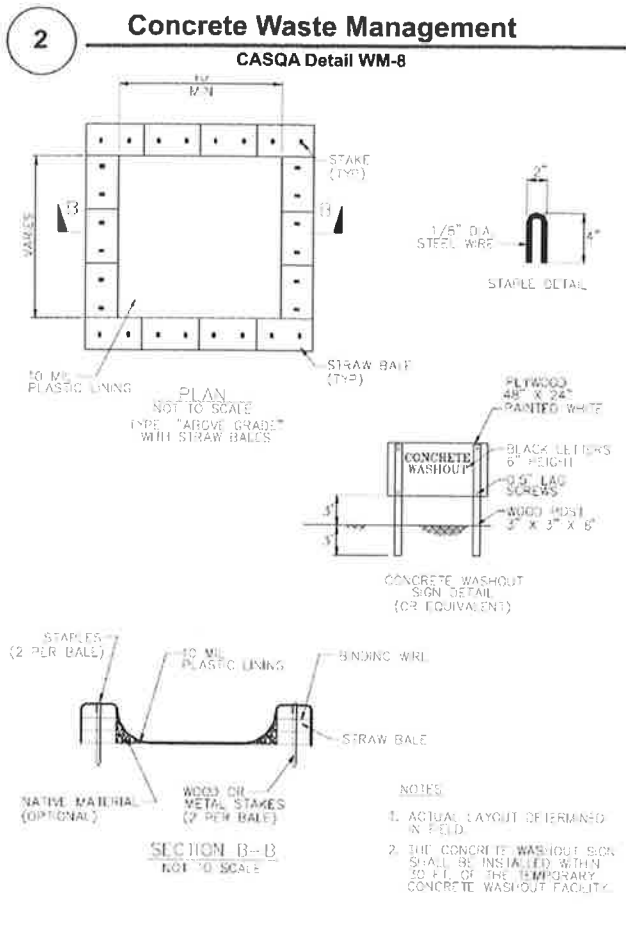
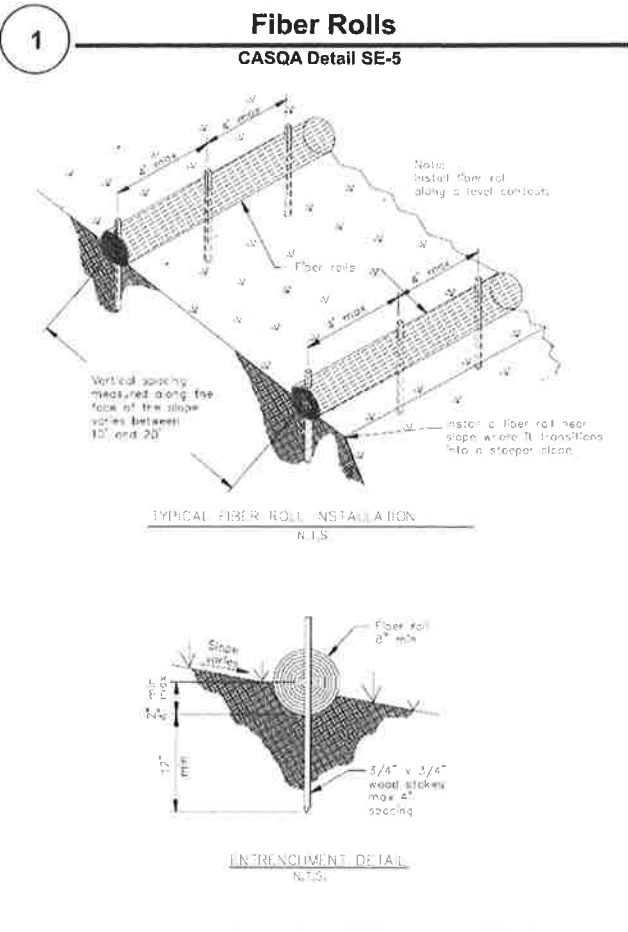
- SE-5 Fiber Rolls
- SE-10 Storm Drain Inlet Protection
- TC-1 Stabilized Construction Entrance/Exit
- WM-8 Concrete Waste Management

TC-1 (Stabilized Construction Entrance) to be in place until the driveway is built; then the driveway will be the construction entrance.

SE-5 (Fiber Rolls) location to change as grading operations proceed. Place as needed to direct on site flows to nearest sediment traps and prevent any flow onto neighboring properties. All other BMP locations shown may be relocated over the course of construction at the discretion of the Project Manager.

The following BMPs will be used at the appropriate location throughout construction at the direction of Project Manager:

- SE-1 Silt Fence
- EC-7 Geotextiles and Mats
- SE-7 Street Sweeping and Vac.
- WE-1 Wind Erosion Control
- NS-1 Water Conservation
- NS-3 Paving and Grading Ops
- NS-6 Ilicit Connection/Discharge
- NS-7 Potable Water/Irrigation
- NS-12 Concrete Curing
- NS-13 Concrete Finishing
- WM-2 Material Use
- WM-3 Stockpile Management
- WM-4 Spill Prevention & Control
- WM-5 Solid Waste Management
- WM-9 Sanitary/Septic Waste Management



STANDARD BEST MANAGEMENT PRACTICE NOTES

- SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED, REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-3) OR LATEST.
- HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
- SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST.
- VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE: AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUNOFF AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE, FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-9) OR LATEST.
- MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
- HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
- PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
- CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
- SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAMINANT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
- INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST

BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

STANDARD EROSION CONTROL NOTES

- SEDIMENT CONTROL MANAGEMENT: **TRACKING PREVENTION & CLEAN UP:** ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST. **STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION:** ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-48 TO B-51) OR LATEST. **STORM WATER RUNOFF:** NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. **DUST CONTROL:** THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. **STOCKPILING:** EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS, BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
- EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
- INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.

SAN BENITO ENGINEERING
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DATE	
REVISIONS	
NO.	

CITY OF SAN JUAN BAUTISTA
APN 002-290-043-0
0 MONTEREY STREET
SAN BENITO COUNTY, CALIFORNIA

BEST MANAGEMENT PRACTICES
NEW RESIDENCE
TOM & WAUNITA NINO

SCALE: N/A
DATE: 20 May 2021
JOB #: 120071
DWG: 121022BGR.dwg
SHEET: C3
OF SHEETS

0 MONTEREY STREET

EXTERIOR COLORS & MATERIALS

6/28/2021

BODY/SIDING

Benjamin Moore 01-pm-2-white



TRIM

Benjamin Moore—1502 Cheyenne Green



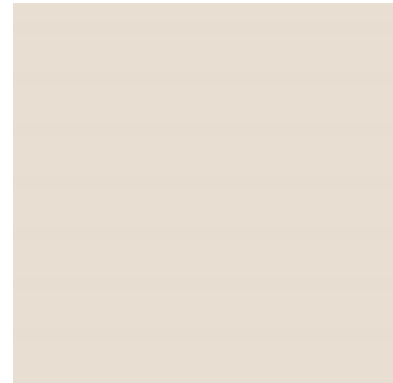
GARAGE DOOR/FRONT DOOR/SHUTTERS

BEHR 833 Coronado



WINDOW SASH

Milgard Tan



ROOFING

3523 Dark Terracotta



LIGHTING

Lamps Plus Style # 5F664



**DRAFT
RESOLUTION 2021-XX**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE AND DESIGN REVIEW APPLICATION (PERMIT 126) FOR A NEW 1,786-SQUARE FOOT SINGLE-FAMILY RESIDENCE, 488-SQUARE FOOT GARAGE, AND 54-SQUARE FOOT PORCH, LOCATED AT APN: 002-290-043 (VACANT LOT BETWEEN 47 AND 51 MONTEREY STREET).

WHEREAS, on May 24, 2021, the City of San Juan Bautista Community Development Department received an application for Site and Design Review (Permit 126) for a new single-family residence located at APN 002-290-043 (vacant lot between 47 and 51 Monterey Street); and

WHEREAS, on June 28, 2021, the Site and Design Review Application was deemed complete by all departments and recommended conditions of approval were developed; and

WHEREAS, City Staff reviewed the application, made the required determination under San Juan Bautista Municipal Code (SBJMC) Section 11-18-040; and

WHEREAS, the Planning Commission timely conducted a public hearing on August 3, 2021 to consider approval of a Site and Design Review Permit (SDR 2019-2) to construct a new 1,786-square foot single-family residence, 488-square foot garage, and 54-square foot porch, located at APN 002-290-043 (vacant lot between 47 and 51 Monterey Street); and

WHEREAS, the Planning Commission, upon reviewing the proposed building plans, site layout of the structures, setbacks, height, exterior elevations, architectural style, density, and design of the overall project in relationship to the surrounding area, determined that the project is Categorically Exempt under Section 15303 of the California Environmental Quality Act. Section 15303(a) (Class 3) of the California Environmental Quality Act exempts the construction of a single family residence in a residential zone. The project site is zoned residential, and is intended for use as a residential site. Furthermore, the project is consistent with all applicable development regulations (setbacks, coverage, floor-area-ratio, and height) for the applicable zoning. None of the exceptions found in Section 15300.2 apply to the project site, in so much as the project is not located in an area of critical concern, will not pose a cumulative impact, is not located on or adjacent to a scenic highway, and is not located on or near a hazardous materials site.

WHEREAS, upon reviewing the proposed building plans, site layout, exterior elevations, architectural style, and design of the overall project in relationship to the surrounding area, the Planning Commission found that the project meets all of the Site and Design Review requirements in Section 11-18-040 of the San Juan Bautista Municipal Code, City of San Juan Bautista Design Guidelines, and 2035 San Juan Bautista General Plan, as detailed below:

SECTION 11-18 - SITE PLAN AND DESIGN REVIEW FINDINGS:

The following findings are required for the approval of a Site Plan and Design Review Application (11-18-040):

1) The project is consistent with the standards and requirements of the San Juan Bautista Municipal Code.

The proposed use is consistent with the Medium Density Residential (R-2) zoning district.

2) The project is consistent with the goals and policies of the General Plan and any applicable specific or community plans.

The proposed use is consistent with the goals of the General Plan, particularly goals related to Housing and Land Use. The development of this site adds housing to the City of San Juan Bautista.

3) The project contributes to safeguarding the City's heritage and cultural and historic resources.

The proposed project is consistent with the City's goal to encourage walkable and visually rich neighborhoods. Historic resources will not be impacted by this project, as the subject site is not within the designated historic district and contains no existing structures.

4) The project is compatible with the surrounding character of the environment because the architectural design, materials and colors harmonize with the character of surrounding development, or other improvements on the site and specific design elements (e.g., balconies, fencing, screening of equipment and utility installations, signs, and lighting) are incorporated into the project.

The proposed project will be similar in size, design, color and materials to existing residential structures and neighborhood within the immediate vicinity.

Colors and materials include earth-toned paint (tan, white, brown), and terracotta roof materials (See Attachment 3).

5) The location and configuration of the project harmonizes with the site and with surrounding sites or structures. Structures do not dominate their surroundings to an extent inappropriate to their use and do not unnecessarily block significant views or solar access to adjacent properties.

The height (two stories) and location of the building (conforms to all setbacks) are typical of similar structures in the Medium Density Residential (R-2) zoning district, including structures in the immediate vicinity of the project. The project is consistent with the development regulations, policies, and standards for the R-2 zoning designation.

6) The project effectively uses architectural details to break up mass. Roof planes are varied without being overly complex. Otherwise monotonous long or two-story walls are well-articulated with details such as building off-sets and window features that are compatible with the design and not overly ornate.

The proposed project includes a variety of features that break up mass, including subtle variations in roof planes, articulation in the front building façade, ample fenestration (particularly on the front, rear, and left elevations), and design elements including shutters and window muntins.

- 7) The landscape design, if any, including the location, type, size, color, texture, and coverage of plant materials, provisions for irrigation, and protection of landscape elements have been considered to create visual relief and complement the structures to provide an attractive and water-conserving environment.**

The project incorporates landscaping elements that comply with the Model Water Efficient Landscape Ordinance (MWELo). Trees and shrubs are consistent with the predominant landscaping theme in the City and include multi trunk olive (24-inch), New Zealand flax (5 gal), dwarf Italian cypress (5 gal), white rose (1 gal), fortnight lily (1 gal), pittosporum (1 gal), groundcover rose (1 gal), and groundcover rosemary.

- 8) The design and layout of the proposed project does not interfere with the use and enjoyment of neighboring existing or future development, does not result in vehicular and/or pedestrian hazards, and promotes public health, safety, and welfare.**

The location of the proposed building increases visual interest for pedestrians and fills in a vacant lot in a predominantly residential area. The proposed project includes the development of a 4-foot sidewalk to match adjacent sidewalks, providing connectivity across a site where no sidewalk currently exists. The proposed building/use is compatible with existing and proposed development in the vicinity of the project.

- 9) The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, width and pavement of adjoining streets, etc.) are available to serve the subject site.**

Existing public facilities, including fire protection, public utilities, sewers, sidewalks, storm drains, streets, street lights, and traffic control devices, are adequate and can accommodate the proposed project.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of San Bautista approves a Site and Design Review Application (Permit 126) for a new 1,786-square foot single-family residence, 488-square foot garage, and 54-square foot porch, located at located at APN 002-290-043 (vacant lot between 47 and 51 Monterey Street), subject to the recommended Conditions of Approval and in substantial conformance to the plans attached.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista on this 3rd day of August, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Yolanda Del Gado, Planning Commission Chair

ATTEST:

Trish Paetz, Deputy City Clerk

EXHIBIT A
CONDITIONS OF APPROVAL

- 1) All Conditions of Approval shall be placed as “Notes” and shown on a separate sheet of all proposed building and/or grading plans.
- 2) Prior to issuance of a building and/or grading permit, the Applicant/Owner shall submit a final landscaping and irrigation plan to the City for review and approval by the City Manager.
- 3) Prior to issuance of building and/or grading permit, the Applicant/Owner shall work with the Public Works/Engineering Department to obtain an address for the subject parcel. The assigned address shall be used on all building and grading permit submitted for review.
- 4) The Applicant/Owner shall submit an on-site lighting plan conforming to the City’s “Dark Sky” regulations and provided hooded shield deflectors on all lighting fixtures. All lighting within the inner courtyard shall be directed downward or deflected in a direction/manner away from adjacent residential homes. All on-site exterior lighting shall be equipped with warm white illumination.
- 5) The Applicant/Owner shall obtain appropriate encroachment permit(s) for all work required within the City of San Juan Bautista public right of way.
- 6) Prior to issuance of construction permits, the Owner/Applicant shall ensure the residence has its own water meter. The meter shall be clearly shown on the proposed plans. All the utilities shall be shown on the Site Plan. This includes gas line, water service and sewer laterals/ Note the size of all services and meters and show where the services connect to the mains.
- 7) Engineering plans shall be prepared and stamped by a registered Civil Engineer.
- 8) The Applicant/Owner shall have the following note placed on all construction drawings and plans:

“If prehistoric archaeological resources or human resources are unexpectedly discovered during construction, work shall be immediately halted within 10 meters (25 feet) of the find until it can be evaluated by a qualified professional archeologist. If the find is determined to be significant, appropriate measures shall be formulated and implemented.”

- 9) Prior to issuance of a building permit, school impact fees shall be paid to the Aromas-San Juan school District, for the residential uses. A copy of such payment shall be submitted to the City.
- 10) The Applicant/Owner shall show undergrounding of all utilities (electrical, water, sewer, gas, telephone/internet, cable) on improvement and construction plans.
- 11) Construction on the site shall be restricted to the hours of 7:00 AM to 6:00 PM (Monday through Friday) and 8:00 AM to 5:00 PM (Saturday). No construction shall be allowed on Sundays or Federal Holidays.
- 12) All grading permits shall reference specific City of Hollister Design Standards for storm drains, water services, sewer laterals and cleanouts, storm drain inlets and other public improvements. (<http://hollister.ca.gov/government/city-departments/engineering/engineering-standards/>). The locations of all downspouts from the roofs shall be shown and directed to drainage inlets.
- 13) Any required erosion control measures (Best Management Practices) including construction entrance and inlet protection along Seventh Street shall be shown on the grading permit(s).
- 14) Prior to issuance of a grading and/or building permit, the Applicant/Owner shall provide detailed cost estimate for all construction within public right-of-way (Utilities, drainage, sidewalk, driveway approach, etc.). Proposed plans shall show replacement of any broken sidewalk(s) along the property frontage(s).
- 15) The rolled driveway approach is acceptable. However, the sidewalk shall be widened from 3.7-feet to 4.0-feet. In addition, the existing utility pole at the north end of the frontage will be located in the sidewalk; therefore the sidewalk shall be widened around the pole to provide and maintain ADA clearance. A sidewalk easement will be needed. These improvements shall be shown on all submitted plans.
- 16) The existing curb and gutter along the frontage is in poor condition and shall be replaced in conjunction with the sidewalk construction. The existing drain inlet shall be replaced and set to the meet the gutter grade.