

City of San Juan Bautista

The "City of History"

www.san-juan-bautista.ca.us

PLANNING COMMISSION REGULAR MEETING TUESDAY, JUNE 6, 2023, 6:00 P.M.

HYBRID MEETING

City Hall, Council Chambers 311 Second Street, San Juan Bautista, California

AGENDA

ZOOM WEBINAR PARTICIPATION

The meeting can also be accessed by the public in the following methods: Through Zoom (<u>https://zoom.us/join</u>) per the instruction stated below, and on Facebook.

JOIN ZOOM WEBINAR TO PARTICIPATE LIVE

https://us02web.zoom.us/j/86357637623

To participate telephonically: call 1 (669) 900-6833 Webinar ID: 863 5763 7623

1. CALL TO ORDER

- A. Pledge of Allegiance
- B. Roll Call

2. GENERAL PUBLIC COMMENT

Public comments generally are limited to three minutes per speaker on items that are not on the agenda and are under the City's subject matter jurisdiction. The Chair may further limit the time for public comments depending on the agenda schedule.

SUBMISSION OF PUBLIC COMMENTS PROCEDURES

If you wish to make a general public comment and are attending in person, please fill out a speaker card. If you are attending via Zoom, join the Zoom Webinar, and use the "Raise Hand" or if joining by telephone, press *9 on your telephone keypad icon.

Written comments may be submitted via mail to the Deputy City Clerk at City Hall (P.O. Box 1420, San Juan Bautista, CA 95045), or emailed to <u>deputycityclerk@san-juan-bautista.ca.us</u> no later than 4:00 p.m. on the day of the meeting. Written comments will be read into the record provided that the reading does not exceed three (3) minutes.

3. INFORMAL PROJECT REVIEW

Any potential and/or future project applicant may present their project to the Commission during Informal Project Review for the purpose of gaining information as preliminary feedback only. No formal application is required, and no action will be taken by the Commission on any item at this time

4. CONSENT

All matters listed under the Consent Agenda may be enacted by one motion unless a member of the Planning Commission or the public requests discussion or a separate vote.

- A. Approve the Affidavit of Posting Agenda.
- B. Approve the Minutes of May 9, 2023

5. ACTION ITEMS

A. Consider the recommendation of the Historic Resources Board and consider a Site and Design Review Permit to connect an existing 747 sq. ft. residence to an existing 504 sq. ft. Accessory Dwelling Unit with a 47 sq. ft. connection on property known as 701 Third Street (APN 002-330-009). The Applicant is Isaiah Jimenez.

<u>Recommendation:</u> Approve a Site Plan and Design Review Permit subject to conditions, and based on findings contained in the Resolution attached to the staff report dated June 6, 2023.

B. Consider a Site and Design Review Permit for development of a two-story Duplex, each unit 1584 sq.ft. and two attached Accessory Dwelling Units (ADUs) on a 10,534 sq.ft. property known as 45 Washington Street (APN 002-410-024). The project has been determined to be Exempt from CEQA per Guideline Sections 15303; New construction of small structures. The Applicant is James Vocelka on behalf of Tyrone Todd;

<u>Recommendation</u>: Open the Public Hearing and Continue the Hearing Open at the request of the Applicant

C. Consider the Recommendation of the Historic Resources Board to approve a Site and Design Review Permit for a 36"W x 16" high hanging sign in front of property known as 302 Third Street, (APN 002-160-013) The Applicant is Patricia Bains

<u>Recommendation</u>: Approve a Site and Design Review Permit to allow installation of a 36"W x 16"H hanging sign in front of 302 Third Street.

6. INFORMATIONAL AND DISCUSSION ITEMS

- A. Zoning Ordinance Review: workshop schedule and organization (material to be distributed prior to the meeting);
- B. Discussion of alternatives for outdoor uses in commercial and industrial districts: workshop schedule and organization (material to be distributed prior to the meeting);
- C. Comprehensive Economic Development Strategy; Economic Development Citizen Advisory Committee (EDCAC) report; Strategic Plan update and discussion. (material to be distributed prior to the meeting)

7. COMMENTS

- A. Planning Commissioners
- B. Community Development Director
- 8. ADJOURNMENT

AGENDA MATERIAL / ADDENDUM

Any addendums will be posted within 72 hours of regular meetings or 24 hours of special meetings, unless otherwise allowed under the Brown Act. City Council reports may be viewed at the City of San Juan Bautista City Hall at 311 Second Street San Juan Bautista, and are posted on the City website <u>www.san-juan-bautista.ca.us</u> subject to Staff's ability to post the documents before the meeting, or by emailing <u>deputycityclerk@san-juan-bautista.ca.us</u> or calling the Deputy Clerk (831) 623-4661 during normal business hours.

In compliance with the Americans with Disabilities Act, and Govt. Code 54953(e)(1)(A), the City will make reasonable arrangements to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the Deputy City Clerk a minimum of 48 hours prior to the meeting at (831) 623-4661.

PUBLIC NOTIFICATION

This agenda was posted on Friday, June 2, 2023, on the bulletin board at City Hall, 311 Second Street, the bulletin board at the City Library, 801 Second Street, the bulletin board at the entrance to the United States Post Office, 301 The Alameda, and the City's website.

Meetings are streamed live at <u>https://www.facebook.com/cityofsanjuanbautista/</u> and televised live on local Channel 17 on the date of the regularly scheduled meeting.

AFFIDAVIT OF POSTING

I, Elizabeth Soto, Do Now Declare, Under the Penalties of Perjury That I Am the Deputy City Clerk / Administrative Services Manager in The City of San Juan Bautista and That I Posted Three (3) True Copies of the attached Planning Commission Agenda. I Further Declare That I Posted Said Agenda on the 2nd day of June 2023, and in the Following Locations in Said City of San Juan Bautista, County of San Benito, California.

- 1. On the Bulletin Board at City Hall, 311 Second Street.
- 2. On the Bulletin Board at The City Library, 801 Second Street.
- 3. On the Bulletin Board at The Entrance to The United States Post Office, 301 The Alameda

Signed at San Juan Bautista, County of San Benito, California, on the 2nd day of June 2023.

Elizabeth Soto Deputy City Clerk / Administrative Services Manager

CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION UNOFFICIAL MEETING MINUTES MAY 9, 2023

This meeting is a continuation from Tuesday, May 2, 2023. Meeting was rescheduled due to technical difficulties.

1. CALL TO ORDER – Chair Aranda called the meeting to order at 7:14 p.m. in the Council Chambers.

PLEDGE OF ALLEGIANCE

Commissioner Correia led the pledge of allegiance.

ROLL CALL

Present: Commissioner Tony Correia Commissioner Dan DeVries Commissioner David Medeiros Commissioner Mishele Newkirk-Smith Chair Aranda

Absent:

Staff Present: Don Reynolds, City Manager Brian Foucht, ACM/Community Development Director Robert Rathie, City Attorney Elizabeth Soto, CMC, Deputy City Clerk

2. GENERAL PUBLIC COMMENT

Received public comment from the following member of the public: Cara Denney

3. INFORMAL PROJECT REVIEW

No projects.

4. CONSENT

A. Approve the Affidavit of Posting Agenda.

No public comment received.

MOTION:

Upon motion by Commissioner Medeiros, and second by Commissioner Newkirk-Smith, the Affidavit of Posting was approved.

AYES: Commissioners: Correia, DeVries, Medeiros, Newkirk-Smith, and Chair Aranda. NOES: None; ABSTAIN: None; ABSENT: None. Motion Carried.

5. INFORMATIONAL AND DISCUSSION ITEMS

A. City Attorney - the role and responsibilities of Planning Commission members in providing information and assistance to the public regarding planning matters and topics of concern.

City Attorney Bob Rathie provided an overview of the roles and responsibilities of the Planning Commission members in providing information and assistance to the public regarding planning matter and topics of concerns. City Attorney sent out a Memo to the Planning Commissioners with a copy to the City Council. The memo was to help provide some general information and guidance regarding certain matters under the Planning Commission purview. City Attorney Rathie fielded questions from the Commissioners.

The following members of the public commented on the report: Jackie Morris-Lopez Cara Vonk Fran Fitzharris

B. City Manager – presentation and discussion of Citygate program.

City Manager Don Reynolds provided an update on the Strategic Planning Session provided by Citygate. There will be a meeting on June 2, 2023 focusing on the General Plan/Strategic Plan, and on Saturday, June 3, 2023 there will be an innovation and communication training.

Chair Aranda encouraged the Planning Commissioners to attend.

No public comment received.

C. Topics and Schedule for Planning Commission Workshops.

Brian Foucht, Assistant City Manager/Community Development Director, announced that he would like to schedule a workshop of topics that are most important to the Planning Commissioners.

Commissioner Medeiros stated that he would like to see a list of important topics be brought forward for the Commission for review. Commissioner Medeiros asked it would be a good idea to add a link the agenda when referencing a code, rule or guide so that it can be easily accessed.

Chair Aranda and Commissioner Newkirk-Smith requested to see a list come of topics from Staff.

Commissioner DeVries asked what opportunity, if any, will the Planning Commission have, to discuss Municipal Code Section 11-04-030. Mr. Foucht responded that that item can be put on the Planning Commission agenda as a Study Session and as a Workshop. No public comment received.

6. COMMENTS

A. Planning Commissioners

The Planning Commission directed Staff to hold a Special meeting, to recommend to the City Council the suspension of Ordinance 11-04-030.

Chair Aranda requested a report of all of the Ordinances and its legislative intent, in order to make sure the ordinances make sense with the current times and they align with the values and needs of the people of San Juan Bautista. Chair Aranda also requested an interim Third Street solution for after the parklets are to be removed. A report on trash storage around Fourth Street. A report on the sign Ordinance.

City Manager Reynolds explained that Ordinances establish Municipal Code and the Planning Commission could review Zoning Code.

Commissioner Correia requested a status report on projects in the city. Mr. Reynolds announced that there is a 'Status Report' on the city website of all permits issued.

Chair Aranda announced that there will be a customer service training in June>

The following members of the public commented on the report: Fran Fitzharris

B. Community Development Director

No comments.

7. ADJOURNMENT

Motion to adjourned the meeting by Commissioner Medeiros, second by Commissioner Correia. All in favor. There being no further business, Chair Aranda adjourned the meeting at 9:14 p.m.

APPROVED:

Jose Aranda, Chair

ATTEST:

Elizabeth Soto, Deputy City Clerk

Item # Planning Commission June 6, 2023



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

SITE AND DESIGN REVIEW PERMIT 45 Washington Street (APN 002-410-024)
June 6, 2023 Brian Foucht, Community Development Director

Recommended Action:

Staff recommends that the Planning Commission 1) Open the Public Hearing and 2) Continue the Public Hearing Open at the request of the Applicant.



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE: Consider a recommendation of the Historic Resources Board regarding a Site and Design Review Permit for sign permit for 302 Third Street (APN 002-160-130).

Iworq Permit No. 230

MEETING DATE: June 6, 2023

SUBMITTED BY: Brian Foucht, Community Development Director

RECOMMENDED ACTION(S): Staff recommends that:

The Planning Commission Approve a Site Plan and Design Review Permit for a hanging sign subject to conditions specified in the staff report dated June 6, 2023.

PROJECT DESCRIPTION:

The proposed sign is a simple metal sign, as depicted in the attachment within a wood frame, 36" x 16".

The proposed sign is consistent with the attached sign guidelines contained in Chapter 7.0 of the City's design guidelines, with respect to size, scale, appearance (simple and handcrafted, legibility, colors (sandstone background, beige frame, black lettering), materials (metal), and orientation (easily read by pedestrians)

ATTACHMENTS:

Planning Commission Resolution

RESOLUTION 2023-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE PLAN AND DESIGN REVIEW PERMIT FOR A SIGN PERMIT FOR A 36"W x 16"H HANGING SIGN FOR 302 THIRD STREET (APN 002-160-013)

WHEREAS, Patricia Bains (Applicant) applied for Site Plan and Design Permit for a sign permit to install a hanging sign, in front of business located at 302 Third Street; and

WHEREAS, the sign is 36"W x 16" H metal sign within a wood frame, with colors (dark yellow with beige trim) that match the building color and is consistent with Design Guidelines for signs adopted by the City, with respect to size (3.75 sq.ft) (, scale, appearance (simple and handcrafted, legibility, colors (sandstone background, beige frame, black lettering), materials (metal), and orientation (easily read by pedestrians)

WHEREAS, the Historic Resources Board has recommended approval of the proposed sign based on consistency of the proposed sign with Sign Design Guidelines and National Park Service Preservation Brief 25 recommendations for new signs on historic buildings.

WHEREAS, these circumstances enable all findings for Site and Design Review to be made in pursuant to Zoning Ordinance Chapter 11-18, incorporated herein by reference based on evidence in the record of Historic Resources Board and Planning Commission review

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of San Bautista APPROVES a Site Plan and Design Permit for a 36"W x 16" H hanging sign as depicted in Exhibit "A" based on findings and subject to conditions recommended by the Historic Resources Board as referenced herein.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista on this 6th day of June 2023, by the following vote:

AYES: NOES: ABSENT: ABSTAIN:

ATTEST:

Jose Aranda, Chairperson

Elizabeth Soto, Deputy City Clerk

16"

P

Exhibit F

Q



Multi - Services Business Center Sponsored By: San Juan Bautista Association Business

Metal Sign with wood frame Beige color inside both side:



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE:

Consider the recommendation of the Historic Resources Board and consider a Site and Design Review Permit to connect an existing 747 sq. ft. residence to an existing 504 sq. ft. Accessory Dwelling Unit with a 47 sq. ft. connection on property known as 701 Third Street (APN 002-330-009). The Applicant is Isaiah Jimenez.

CEQA: The project applicant has stipulated that the project will be consistent in design and treatment with Secretary of The Interior Standards for the Treatment of Historic Properties (Guidelines) in accordance with CEQA Guideline Section 15064.5. The project is therefore exempt from CEQA in accordance with Section 15311 (Class 31 – Historic Resource Restoration /Rehabilitation) and a common sense exemption pursuant to CEQA Guidelines 15061.

Iworq Permit No. 228

- MEETING DATE: June 6, 2023
- SUBMITTED BY: Brian Foucht, Community Development Director

RECOMMENDED ACTION(S): Staff recommends that:

The Planning Commission Approve a Site Plan and Design Review Permit subject to conditions and based on findings contained in the Resolution attached to the staff report dated June 6, 2023.

BACKGROUND AND PROJECT DESCRIPTION:

The Historic Resources Review Board recommended APPROVAL of the subject application on June 6, 2023 based on the following information:

The project will attach the existing residence, a locally significant historical resource (747 sq. ft) to the existing one-story ADU (504 sq. ft.) with a one -story hyphen connector (47 sq. ft.).

The Bill and Minnie German House was evaluated for historical significance using San Juan Bautista's historic resources criteria and is found eligible for listing as with a Status Code of 5S2 (locally significant) under Criterion C (Architecture) within the historic context theme of Economic Decline and Boom.

As a historical resource, the Bill and Minnie German House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for*

Rehabilitation contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The Phase Two Assessment, prepared by the City's Architectural Historian (attachment provides a more detailed evaluation of the resource in relation to Secretary of the Interior Guidelines and examines how the proposed addition will affect its significance. The proposed project meets Standards One, Two, Four, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Five, Six, Seven, and Eight are not applicable. The proposed project will meet Standard Nine if the connector's horizontal wood siding is differentiated from the siding on the historic house. This single mitigation reduces impacts to a level of insignificance and qualifies the project for a CEQA Exemption (Class 31). Given the minor nature of the addition, the limited application of recommended mitigations, and the applicant's stated agreement with this condition, staff believes that a common-sense exemption from CEQA is also justified.

11-06-120 Site plan and design review permit procedure for historic resources.

(C) Determination of Appropriate Review Application Procedure. The City Planner shall review the application and determine the proper review procedure ...

Subsection C(5) requires the following;

"(5) Applications for major alterations or demolition to properties that are included in the City of San Juan Bautista Register of Historic Resources, including those properties that contribute to a designated historic district with status codes of 1 through 5 or to noncontributing buildings within designated historic districts, shall require the following:

"(a) A historic resource evaluation and impact report shall be prepared by a qualified architectural historian that includes a discussion of the property's historic significance...including "proposed measures to minimize or mitigate significant impacts, if such impacts exist.

(c) Proposed major alterations that comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties shall be considered a Class 31 categorical exemption under CEQA and no further review is required.

ATTACHMENTS:

- 1) Planning Commission Resolution
- 2) Proposed Plans (Site and Design Review/Development Plans)
- 3) Phase 2 Historical Resource Assessment
- 4) Updated Dept of Parks and Recreation (DPR) form

RESOLUTION 2023-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE PLAN AND DESIGN REVIEW PERMIT TO CONNECT AN EXISTING 747 SQ.FT. SINGLE FAMILY HOME DESIGNATED AS A HISTORICAL RESOURCE TO AN EXISTING 504 SQ.FT. ACCESSORY DWELLING UNIT VIA A 47 SQ.FT. ADDITION ON PROPERTY KNOWN AS 701 THIRD STREET (APN 002-330-009). (Jimeniz)

WHEREAS, Isaiah Jimenez (Applicant) applied for Site Plan and Design Permit for Historic Resources to allow construction of approximately 47 sq. ft. addition to the rear of the existing residence thereby connecting the existing residence to an existing ADU located behind the residence; and

WHEREAS, the structure is referenced in the City's Historical Resource Inventory with a Status Code of 7R; requiring an evaluation of the historical significance of the structure prior to any alteration for which a major or minor Site Plan and Design Permit is required; and

WHEREAS, a Phase 2 Evaluation was completed on behalf of the City by Margaret E. (Meg) Clovis, M.A. (May 9, 2023,) in accordance with SJB MC section 11-06-120 (C) (5) regarding consistency with Secretary of the Interior Standards for the Treatment of Historic Properties, and determined that the existing residence on the site is a locally significant Historical Resource (Status Code 5S2) ;and

WHEREAS, on June 6, 2023 the Historic Review Board considered the applicant's proposal and the referenced evaluation and recommended that the Planning Commission find that the referenced evaluation has been conducted and further recommended that the Planning Commission approve the Site Plan and Design Review Permit based on findings and subject to conditions as follows:

- 1. The project applicant has stipulated that the project will be consistent in design and treatment with Secretary of The Interior Standards for the Treatment of Historic Properties (Guidelines) in accordance with CEQA Guideline Section 15064.5. The project is therefore exempt from CEQA in accordance with Section 15311 (Class 31 Historic Resource Restoration /Rehabilitation) and a common sense exemption pursuant to CEQA Guidelines 15061.
- 2. The project meets the standards set forth in SJBMC Section 11-18-040 is required to make for all proposed Site Plan and Design Review Permit applications, as follows:
 - (A) The project is consistent with the standards and requirements of the San Juan Bautista Municipal Code. In particular, the project is consistent with maximum yard, coverage and setback requirements referenced in the staff report. The project is also consistent with relevant provisions of SJB MC Section 11-06 regarding the evaluation of projects by a qualified Architectural Historian as referenced in the staff report dated September 6, 2022.

(B) The project is consistent with the goals and policies of the General Plan and any applicable specific or community plans. In particular the project is consistent with Goals, Policies and Objectives that require review of project plans and development to ensure retention of the historic character of San Juan Bautista.

Evidence: the staff report dated June 6, 2023; Plans dated October, 2022; Historic Resource Evaluation, (Margaret E. (Meg) Clovis May 9, 2023

(C) The project contributes to safeguarding the City's heritage and cultural and historic resources.

Evidence: the project has been evaluated and conditions of approval require that the addition be constructed with exterior siding that is differentiated from that of the Historical Resource. Colors will be uniform for all portions of the body of the combined structure with lighter colors for the body of the residence and slightly darker color for the trim.

(D) The project is compatible with the surrounding character of the environment because the architectural design, materials and colors harmonize with the character of surrounding development, or other improvements on the site and specific design elements.

Evidence: Plans and elevations illustrate that addition will be visually differentiated from the Historical Resource thereby ensuring that character defining features are maintained.

(E) The location and configuration of the project harmonizes with the site and with surrounding sites or structures. Structures do not dominate their surroundings to an extent inappropriate to their use and do not unnecessarily block significant views or solar access to adjacent properties.

Evidence: Project Plans illustrate that the overall small size and height of the structure to be added will not be a significant factor in the surrounding area and will maintain the historic character of the residence.

(F) The project effectively uses architectural details to break up mass. Roof planes are varied without being overly complex. Otherwise monotonous long or two-story walls are well-articulated with details such as building off-sets and window features that are compatible with the design and not overly ornate.

Evidence: Building elevations dated October 2022 demonstrate consistency of design with this standard.

(G) The landscape design, if any, including the location, type, size, color, texture, and coverage of plant materials, provisions for irrigation, and protection of landscape

elements have been considered to create visual relief and complement the structures to provide an attractive and water-conserving environment.

Evidence: Site plan dated October 2022 provides sufficient areas for installation of appropriate landscape improvements and conditions of project approval require submittal of a landscape and irrigation plan.

(H) The design and layout of the proposed project does not interfere with the use and enjoyment of neighboring existing or future development, does not result in vehicular and/or pedestrian hazards, and promotes public health, safety, and welfare.

Evidence: The proposed addition complies with setbacks, site coverage and building height requirements.

(I) The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, width and pavement of adjoining streets, etc.) are available to serve the subject site.

Evidence: Utilities and services are existing and proposed to be used to serve the project consistent with the standards and requirements of the San Juan Bautista Municipal Code.

WHEREAS, the Historic Resources Board recommends that the Planning Commission approve the Site Plan and Design Permit for Historic Resources subject to the following Conditions of Approval:

- 1. Prior to issuance of a Building Permit, applicant shall submit plans showing siding for the addition will be differentiated from the siding of the front historical resource. Paint for the combined residence shall be derived from a historical paint pallet with a lighter color with darker trim to the satisfaction of the Community Development Director.
- 2. Prior to issuance of a Building Permit, applicant shall submit funds sufficient to cover the cost of review by the City's Architectural Historian, including the Phase 2 evaluation and a revised DPR form, already prepared.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of San Bautista APPROVES a Site Plan and Design Permit for Historic Resources for 701 Third Street based on findings and subject to conditions recommended by the Historic Resources Board as referenced herein.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista on this 6th day of June 2023, by the following vote:

AYES:

NOES:

ABSENT: ABSTAIN:

ATTEST:

Jose Aranda, Chairperson

Elizabeth Soto, Deputy City Clerk

APPLICABLE CODES	DEF. SUBMITTAL INSPECTI
CBC CALIFORNIA BUILDING CODE 2022	
CRC CALIFORNIA RESIDENTIAL CODE 2022	
CEC CALIFORNIA ELECTRICAL CODE 2022	
CPC CALIFORNIA PLUMBING CODE 2022	
CMC CALIFORNIA MECHANICAL CODE 2022	
CENC CALIFORNIA ENERGY CODE 2022	
CALGREEN CALIFORNIA GREEN BUILDING STANDARDS CODE 2022	
ASCE 7 MINIMUM DESIGN LOADS FOR BUILDINGS AND 2022	
SDPWS SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC 2022	
GENERAL PROJECT NOTES	PROJECT CONS
1. PROJECT TO BE SUPERVISED BY A LICENSED GENERAL CONTRACTOR.	*IF APPLICABLE, ALL FILL MUST REACH 90% COMF *VERIFY LAYOUT OF BUILDING PAD W/OWNER OR
2. IN CASE OF CONFLICT OR DISCREPANCIES IN THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO PROCEEDING	TRENCHING/DRILLING *CONTRACTOR/OWNER ASSUMES RESPONSIBILIT PRIOR TO CONSTRUCTION
3. PRIOR TO START OF WORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENSURE ALL WORK IS BUILDABLE AS SHOWN.	*VERIFY LAYOUT OF SIDEWALKS, PATIOS, & STEP TO SETTING UP & POURING *ADDRESS NUMBERS SHALL BE ARABIC NUMBERS
4. REDUCE FORMALDEHYDE IN INTERIOR FINISH TO MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD.	ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE F FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE MINIMUM FOUROF
5. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE ALARMS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.) REFER TO THE MANUFACTURERS' GUIDELINES FOR PROPER PLACEMENT.	ADDRESS NOMBERS SHALL BE MINIMOM FOOROF AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE F ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE
6. EXISTING HOUSE CONTAINS FIRE SPRINKLERS	* CHECK WITH PG&E FOR GAS SERVICE LOCATION * ON AND AFTER JANUARY 1, 2014, RESIDENTIAL E
7. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE REQUIRED WHERE ADDITIONS OR ALTERATIONS ARE MADE TO THE EXISTING BUILDING THAT ALREADY HAS A FIRE SPRINKLER SYSTEM INSTALLED. SPRINKLERS SHALL BE INSTALLED TO PROTECT ALL AREAS OF A DWELLING UNIT. [R313.3.1.2.] EXCEPTIONS:	PERMITTED ALTERATIONS, ADDITIONS, OR IMPRO NON-COMPLIANT PLUMBING FIXTURES WITH WAT FIXTURES. PLUMBING FIXTURE REPLACEMENT IS A CERTIFICATE OF FINALCOMPLETION, CERTIFICA PERMIT APPROVAL BY THE LOCAL BUILDING DEPA
1. ATTICS, CRAWL SPACES AND NORMALLY UNOCCUPIED CONCEALED SPACES THAT DO NOT CONTAIN FUEL-FIRED APPLIANCES DO NOT REQUIRE SPRINKLERS. IN ATTICS, CRAWL SPACES AND NORMALLY UNOCCUPIED CONCEALED SPACES THAT CONTAIN FUEL-FIRED EQUIPMENT, A SPRINKLER	1101.1 ET SEQ. FOR THE DEFINITON OF NON COM TYPESOF OTHER RESIDENTIAL BUILDINGS AFFEC ENACTMENT DATES SEE 2019 CALIFORNIA GREEN CODE SECTION 1101.3 IN THE SUPPLEMENTAL BO
SHALL BE INSTALLED ABOVE THE EQUIPMENT; HOWEVER, SPRINKLERS SHALL NOT BE REQUIRED IN THE REMAINDER OF THE SPACE. 2. CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES NOT EXCEEDING 24	
 SQUARE FEET IN AREA, WITH THE SMALLEST DIMENSION NOT GREATER THAN 3 FEET AND HAVING WALL AND CEILING SURFACES OF GYPSUM BOARD. 3. BATHROOMS NOT MORE THAN 55 SQUARE FEET IN AREA. 4. DETACHED GARAGES; CARPORTS WITH NO HABITABLE SPACE ABOVE; 	
OPEN ATTACHED PORCHES; UNHEATED ENTRY AREAS, SUCH AS MUD ROOMS, THAT ARE ADJACENT TO AN EXTERIOR DOOR; AND SIMILAR AREAS.	

LS/SPECIAL	PROJECT INFO	S
ST. NOTES MPACTION MINIMUM DR DESIGNER PRIOR TO LITY OF LOCATING EXISTING UTILITIES EPS W/OWNER/CONTRACTOR PRIOR ERS OR ALPHABETICAL LETTERS E FROM THE STREET OR ROAD	PROJECT DATA:APN:002-100-025-000ADDRESS:701 3RD ST. SAN JUAN BAUTISTA, CA 95045FLOOD ZONE:NOBUILDING DECUPANCY:R3CONSTRUCTION TYPE:VBSTORIES:1HISTORIC:NOFLOOR AREA SUMMARY:LOT AREA:7,013 S.F.EX. FRONT HOUSE LIVING:747 S.F.EX. REAR HOUSE LIVING:504 S.F.TOTAL LIVING:1,251 S.F.EXISTING PORCHES:180 S.F.ADDITION:47 S.F.TOTAL PROPOSED LIVING S.F.:1,298 S.F.	A0) A1) A2) A3) A4) S0-S1) D1-D2) NS) T) MM) CG1,2)
OF 4", 1/2 INCH MIN STROKE WIDTH, E FROM THE STREET. WHERE	SCOPE OF WORK	
BE USED ON L BUILDINGS UNDERGOING ROVEMENTS SHALL REPLACE ATER CONSERVING PLUMBING	COMBINE EXISTING TWO RESIDENCES (747 & 504 S.F. RESPECTIVELY) AND SMALL ADDITION (47 S.F.) TO CONNECT THEM. NEW LIVING QUARTERS WITH ALL INCLUDED TO BE A 1,298 S.F. SFD	
IS REQUIRED PRIOR TO ISSUANCE OF CATE OF OCCUPANCY OR FINAL PARTMENT, SEE CIVIL CODE SECTION	PROJECT INFO	
OMPLIANT PLUMBING FIXTURE, ECTED AND OTHER IMPORTANT EN BUILDING CODE 301.1.1 & CIVIL 300K	DESIGNS PRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF SOUTH BAY DESIGN AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THIS DRAWING AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION OF SOUTH BAY DESIGN	F
		SA



ARCHITECTURAL GENERAL NOTES

VENTILATION

- LOCATION AND SIZE OF FOUNDATION VENTS TO CONFORM TO CRC R408. 2. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA. CRC R806.2
- BATHROOMS AND LAUNDRY ROOMS SHALL BE MECHANICALLY VENTILATED (50 CUBIC FT/MIN). THE POINT OF DISCHARGE MUST BE 3' MIN. ABOVE ANY BUILDING OPENINGS WITHIN 10'. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM.CRC.

ACCESS

- 4. PROVIDE UNOBSTRUCTED 18" MIN. BY 24" MIN. ACCESS TO ALL UNDERFLOOR SPACES WHERE JOISTS OR SUBFLOOR IS UNTREATED. CRC R408.4.
- 5. PROVIDE 22" MIN. BY 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE. CRC R807. FIRE PROTECTION
- 6. ALL GARAGE WALLS COMMON WITH LIVING AREA TO BE 1/2" GYPSUM BOARD MINIMUM FROM FOUNDATION TOROOF SHEATHING ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. GARAGE SUPPORTING HABITABLE ROOMS ABOVE TO BE OF 1 HOUR CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD MINIMUM. DOORS FROM GARAGE TO LIVING AREA TO BE 1-3/8" MIN. SOLID WOOD DOOR OR 20-MINUTE FIRE-RATED WITH SELF-CLOSING AND SELF-LATCHING DEVICE AND WEATHER STRIPPING. PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS & STRUCTURES (BEAMS, POSTS, ETC.) AT GARAGE SIDE OF THE WALL SUPPORTING 5/8" TYPE 'X' GYPSUM BOARD.
- 7. USABLE SPACE UNDER STAIRS AT R2 AND R3 TO BE 1/2" GYPSUM BOARD MIN. AT ALL WALLS AND CEILING PER CRC.
- 8. PROVIDE 6" MINIMUM CLEARANCE AT BACK OF FURNACE AND 12" TOTAL CLEARANCE ON SIDES OF FURNACE
- 9. INSTALL ZERO CLEARANCE PRE-FAB FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION RECOMMENDATIONS AND ITS LISTING PER CRC. VERIFY HEARTH EXTENSION MATERIAL AND THICKNESS MEET MANUFACTURERS SPECIFICATIONS. FIRE STOPS WITH NON-COMBUSTIBLE MATERIALS SHALL BE PROVIDED AROUND THE CHIMNEY IN OPENINGS AT THE CEILING PER CRC.
- 10. TOP OF FIREPLACE CHIMNEYS TO EXTEND 2 FEET MIN. ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY AND 3 FEET MIN. ABOVE ANY ADJACENT ROOFING MATERIAL, CRC R1003.

GLAZING

- 11. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR
- ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS. 12. VERIFY WINDOWS MEET EGRESS REQUIREMENTS (CRC R310). AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND 5.7 SQ. FT. CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR (CRC).
- 13. SKYLIGHT DESIGN TO CARRY ALL TRIBUTARY ROOF LOADS AS SPECIFIED IN CRC R301.
- 14. CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC R308.6. 15. GLASS SHOWER AND TUB ENCLOSURES, AND WINDOWS OVER SHOWERS AND TUBS TO BE SAFETY GLASS. CRC R308.4.5.
- 16. GLAZING IN ANY DOOR, OR GLAZING WITHIN 24" OF ANY DOOR AND WITHIN 60" OF FLOORS TO BE TEMPERED GLASS CRC R308.4.1 AND R308.4.2. GLAZING WITHIN 18" OF THE FLOOR AS PER CRC R308.4.3 OR AT ENCLOSED WALLS AT STAIRWAYS AS PER CRC R308.4.6 AND R308.4.7 TO BE TEMPERED GLASS.

STAIRS

- 17. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4", NOR GREATER THAN 7-3/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". CRC R311.7.5. HEADROOM AT STAIRWAYS TO BE 6'-8" MIN., MEASURED VERTICALLY AT ALL POINTS FORMED BY A PLANE TANGENT TO ALL TREAD NOSINGS. CRC R311.7.2. NOSING DIMENSION AND PROFILE PER CRC R311.7.5.3. 18.
- 18. GUARDRAILSSHALL HAVE MINIMUM OF 42" IN HEIGHT. CRC R312.1.2. OPEN GUARDS SHALL HAVE BALUSTERS SUCH THAT 4" DIAMETER SHPERE CANNOT PASS THROUGH. CRC R312.1.3. FOR R2 AND R3 OCCUPANCY, OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW PASSAGE OF A SPHERE OF 4-3/8" OR MORE IN DIAMETER. CRC R312.1.3 EX. 2.
- 19. HANDRAILS TO BE 34" TO 38" ABOVE TREAD NOSING, CIRCULAR HANDGRIP TO BE MIN. 1-1/4" TO MAX. 2" IN CROSS SECTION. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF THREADS OF FLIGHT WITH FOUR RISERS OR MORE. CRC R311.7.8.

BATHROOMS

- 20. TOILETS TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT. INSTALL MAX. 1.28 GALLON PER FLUSH TOILETS.
- 21. SHOWERS TO HAVE A MINIMUM AREA OF 1024 SQ. IN. AND A MINIMUM CLEAR HORIZONTAL DIMENSION OF 30", MEASURED AT THE TOP OF THE CURB. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET. CRC R307.2. PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL AT EACH SHOWER OR TUB/SHOWER.
- 22. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO THE CEILING AT SHOWERS AND TUB/SHOWERS.

GENERAL

- 23. VAULTED CEILINGS SHALL BE PROVIDED WITH A VAPOR BARRIER BENEATH THE INSULATION AND A 1" MIN. AIR SPACE ABOVE THE INSULATION. THE AIR SPACE SHALL BE VENTILATED AS PER CRC R806.
- 24. FURNACES AND WATER HEATERS IN GARAGES SHALL BE MOUNTED UPON PLATFORMS NOT LESS THAN 18" ABOVE THE GARAGE FLOOR.
- 25. WATER HEATER SHALL BE STRAPPED FOR SEISMIC LOAD AT POINTS BETWEEN THE UPPER ONE THIRD AND LOWER ONE THIRD OF ITS HEIGHT. THE LOWERS STRAP SHALL BE A MINIMUM OF 4 INCHES ABOVE THE WATER HEATER CONTROLS. SEE CPC.
- 26. PROVIDE ROOF DRAINS AND OVERFLOW DRAINS AT FLAT ROOFS AS PER CRC R903.4 AND CPC.

PERFORMANCE

- 27. PROVIDE FABRICATOR'S CERTIFICATE FOR GLU-LAM BEAMS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL AT TIME OF DELIVERY AND PRIOR TO INSTALLATION AS PER CBC. 28. ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NOFMA SPECIFICATIONS AND RECOMMENDATIONS
- 29. ALL TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.
- 30. ALL PLUMBING WORK SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, SAFETY ORDERS OF THE STATE OF CALIFORNIA AND ALL LOCAL CODES AND ORDINANCES.
- 31. ALL H.V.A.C. WORK SHALL BE IN CONFORMANCE WITH APPLICABLE CODES, THE CALIFORNIA MECHANICAL CODE, AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA. 32. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. TOXIC MATERIALS REMOVAL

TOXIC MATERIALS REMOVAL

- 33. ALL HANDLING AND REMOVAL OF TOXIC MATERIALS TO BE DONE BY A CERTIFIED TOXIC WASTE CONTRACTOR. CERTIFICATION TO BE DONE BY THE STATE OF CALIFORNIA AND REGISTERED WITH THE LOCAL BUILDING OFFICIAL.
- 34. FOR ALL NEW CONSTRUCTION, ALL DWELLINGS SHALL COMPLY WITH THE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE. BUILDINGS SHALL BE DESIGNER TO INCLUDE THE GREEN BUILDING MEASURED SPECIFIED AS MANDATORY IN THIS CODE. FOR SITE DEVELOPMENT PER CGBSC SECTION 4.106, FOR WATER EFFICIENCY AND CONSERVATION PER CGBSC SECTION 4.301, FOR INDOOR AIR QUALITY PER CGBSC SECTION 5.506



CORRECTION NOTES: ** LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. [R401.3] IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [R401.3, EXCEPTION]













FASTENING SCHEDULE CBC	2019 TABLE 2304.10.1		FASTENING
CONNECTION	FASTENING	LOCATION	C
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2 ½" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL	27. JACK RAFTER T
2. BRIDGING TO JOIST	2 - 8d COMMON (2 ½" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	TOENAIL EACH END	27. JACK KAFTER I
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2 ½" x 0.131")	FACE NAIL	
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2 ½" x 0.131")	FACE NAIL	28. ROOF RAFTER T
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3 ½" x 0.162")	BLIND AND FACE NAIL	
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3 ½" x 0.135") AT 16" O.C. 3" x 0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL	29. JOIST TO BAND
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3 - 16d (3½" x 0.135") AT 16" O.C. 4 - 3" x 0.131" NAILS AT 16" O.C. 4 - 3" x 14 GAGE STAPLES AT 16" O.C.	BRACED WALL PANELS	30. LEDGER STRIP
7. TOP PLATE TO STUD	2 - 16d COMMON (3 ½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL	31. WOOD STRUCTU PARTICLEBOARI WALL SHEATHIN
	4 - 8d COMMON (2½" x 0.131") 4 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL	
8. STUD TO SOLE PLATE	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES	END NAIL	SINGLE FLOOR (SUBFLOOR-UND
9. DOUBLE STUDS	16d (3½" x 0.135") AT 24" O.C. 3" x 0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 8" O.C.	FACE NAIL	32. PANEL SIDING (1
10. DOUBLE TOP PLATES	16d (3½" x 0.135") AT 16" O.C. 3" x 0.131" NAILS AT 12" O.C. 3" 14 GAGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL	33. FIBERBOARD SH
DOUBLE TOP PLATES	8 - 16d COMMON (3½" x 0.162") 12 - 3" x 0.131" NAILS 12 - 3" x 14 GAGE STAPLES	LAP SPLICE	34. INTERIOR PANE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2½" x 0.131") 3 - 3" x 0.131" NAILS AT 6" O.C. 3" 14 GAGE STAPLES AT 6" O.C.	TOENAIL	FOR SI: 1 INCH = 25.4M a. COMMON BOX N/ b. NAILS SPACED A
12. RIM JOIST TO TOP PLATE	8d (2½" x 0.131") AT 6" O.C. 3" x 0.131" NAILS AT 6" O.C. 3" 14 GAGE STAPLES AT 6" O.C.	TOENAIL	SUPPORTS WHEI DIAPHRAGMS AN BOX OR CASING. c. COMMON OR DEI d. COMMON (6d - 2"
13. TOP PLATES, LAPS, AND INTERSECTIONS	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3" 14 GAGE STAPLES	FACE NAIL	e. DEFORMED SHAI f. CORROSION-RES g. FASTENERS SPA WHEN USED AS
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3½" x 0.162")	16" O.C. ALONG EDGE	h. CORROSION-RES AND 1¾-INCH LEI
15. CEILING JOISTS TO PLATE	3 - 8d COMMON (2½" x 0.131") 5 - 3" x 0.131" NAILS 5 - 3" 14 GAGE STAPLES	FACE NAIL	i. CORROSION-RES SHEATHING AND AXIS IN THE LON j. CASING (1½" x 0.
16. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2½" x 0.131")	TOENAIL	. SUPPORTS. k. PANEL SUPPORT INTERMEDIATE S
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3½" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL	I. FOR ROOF SHEA PANELS. m. STAPLES SHALL n. FOR ROOF SHEA SUPPORTS.
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3½" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL	o. FASTENERS SPA SHEATHING AND p. FASTENERS SPA
19. RAFTER TO PLATE (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 8d COMMON (3½" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL	SHEAR WA
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2½" x 0.131") 2 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL	PANEL SHEAR SYMBOL (PLF) 6 260 E 392 W
21. 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2½" x 0.131")	FACE NAIL	350 E
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2½" x 0.131")	FACE NAIL	4 602 W 3 490 E 770 W
23. BUILT-UP CORNER STUDS	16d COMMON (3½" x 0.162") 3" x 0.131" NAILS 3" 14 GAGE STAPLES	24" O.C. 16" O.C. 16" O.C.	2640 E 1022 WSHEAR WALL NOTES:
	20d COMMON (4" x 0.192") AT 32" O.C. 3" x 0.131" NAILS AT 24" O.C. 3" 14 GAGE STAPLES AT 24" O.C.	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES	 ALL SHEAR WAL 4.3.7.1. REFER NAILING SHALL I SHALL BE 6" O.C CONTRACTOR M
24. BUILT-UP GIRDER AND BEAMS	2 - 20d COMMON (4" x 0.192") 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES	FACE NAIL AT ENDS AND AT EACH SPLICE	 4) AT WALLS WHIC CONNECTOR FC 5) ANCHOR BOLTS 6) ALL SILL BOLTS
25. 2" PLANKS	16d COMMON (3½" x 0.162")	AT EACH BEARING	1/2" OF THE EDGE SHEAR CAPACIT
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL	7) STAGGER NAILI 8) THE ELECTRICA WITHIN A SHEAF

G SCHEDUL	E CBC	2019 7	FABLE 2304	.10.1 (C	ONT.)			ABBREVIATIONS			GENERAL STRUCTURAL NOTES			
CONNECTION			FASTENING	3		LOCATI	ON	A.B. = ANCHOR BOLT A/C = AIR CONDITIONER	HORIZ HT	= HORIZONTAL = HEIGHT	CODES AND MANUALS:			
ΓΟ ΗΙΡ		4 - 3" x 0 4 - 3" 14	OMMON (3" x 0.148") .131" NAILS GAGE STAPLES OMMON (3" x 0.148")		то	ENAIL		A/E= ARCHITECT/ENGINEERACST= ACOUSTICAD= AREA DRAINB.A.= BURGLAR ALARMBD= BOARD	IF INFO INSTL INSUL K	= INSIDE FACE = INFORMATION = INSTALL = INSULATION = KIPS	IBC-18 INTERNATIONAL BUILDING CODE 2018 CBC-19 CALIFORNIA BUILDING CODE 2019 ASCE/SEI 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES NDS 2015 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION 2015 ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE		1500 1500 1505 3054 3054 NM 871 86.1205 16RA, PE	
		4 - 3" x 1	.131" NAILS 4 GAGE STAPLES		FAC	CE NAIL		BOT = BOTTOM CLR = CLEARANCE CONC = CONCRETE COND = CONDENSER	KIP KSF LAM LIN	= THOUSAND POUNDS = KIPS PER SQUARE FOOT = LAMINATE = LINEAR	AISC MANUAL OF STEEL CONSTRUCTION 15TH EDITION AWS D1.1-04 STRUCTURAL WELDING CODE - STEEL AWS D1.4-11 STRUCTURAL WELDING CODE - REINFORCING STEEL		LIAM EZD BOX 53 E NOLE, E NO: 661.56 DAVID L	
TO 2-BY RIDGE BEAM		3 - 3" x 0 3 - 3" 14	OMMON (3½" x 0.162 .131" NAILS GAGE STAPLES		ТО	ENAIL		CONST. = CONSTRUCTION DBL = DOUBLE DEG = DEGREE DEMO = DEMOLITION DIA = DIAMETER	MCJ MIL MIN OC OH	= MASONRY CONTROL JOINT = MILLIMETER = MINIMUM = ON CENTER = OVER HANG	<u>GENERAL:</u> WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS.			
		3 - 3" x 0	OMMON (3½" x 0.162 .131" NAILS 4 GAGE STAPLES)	FAC	CE NAIL		DIA = DIAMETER DIST = DISTANCE DJ = DOUBLE JOIST DW = DISH WASHER DWL = DOWELS	O OSB PCF PT	= OPEN = ORIENTED STRAND BOARD = POUNDS PER CUBIC FOOT = PRESSURE TREATED	CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSON AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND			
JOIST		4 - 3" x 0 4 - 3" 14	OMMON (3½" x 0.162 .131" NAILS GAGE STAPLES		FAC	CE NAIL		E = ENAMEL EN = EDGE NAIL EW = EACH WAY EXIST = EXISTING	PL PSF RR REF	= PLATE = POUNDS PER SQUARE FOO = ROOF RAFTER = REFRIGERATOR	THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER	L	OFESSIONA	
		4 - 3" x 0	OMMON (3½" x 0.162 .131" NAILS GAGE STAPLES	") 6d°.'		CE NAIL AT CH JOIST		EXT = EXTERIOR FAU = FORCED AIR UNIT FF = FINISHED FLOOR FIB = FIBER FIN = FINISH	S AND F SA SD SIM STL	P = SHELF AND POLE = SUPPLY AIR = SMOKE DETECTOR = SIMILAR = STEEL	CONTRACTOR SHALL COORDINATE DIMENSIONS OF ALL OPENINGS, DEPRESSIONS, BLOCKOUTS, ETC WITH ARCHITECTURAL DRAWINGS, DRAWINGS FROM OTHER DISCIPLINES, PROJECT SHOP DRAWINGS, AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.'		David Antonio Lara	
URAL PANELS AND D [®] SUBFLOOR, ROOF, NG (TO FRAMING)	AND	¹⁹ ⁄ ₃₂ " TO	2 1 3⁄4" 8	23⁄8" x 0.113" N 13⁄4" 16 GAGE [°] 3d OR 6d [°] 23⁄8" x 0.113" N				FLUOR= FLUORESCENTGA= GAGEGI= GALVANIZED METALGFI= GROUND FAULT	SUB TEMP TOC TOF	= SUBSTITUTE = TEMPERED = TOP OF CONCRETE = TOP OF FOOTING	CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS.	ć	Civil Engineer	
(COMBINATION		7⁄8" TO 1' 1∕⁄8" TO 1	٤ ۲	2" 16 GAGE [®] 3d ° 10d OR 8d [®]				INTERRUPTER GLZ = GLAZING GYP BD. = GYPSUM BOARD HE = HIGH EFFICIENCY HB = HOSE BIB	TYP UNO W/H WP WWM	= TYPICAL = UNLESS NOTED OTHERWIS = WATER HEATER = WEATHER PROOF = WELDED WIREMESH	E WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO	ſ	EXP: 09/30/2023	
DERLAYMENT TO FRA	MING)	³ ⁄4" AND ⁷ ⁄8" TO 1"	6	ວdຶ ວdຶ				SYMBOLS			SIMILAR WORK ELSEWHERE ON THE PROJECT.		S	
(TO FRAMING)		1½" TO 1 ½" OR LE %"		10d [°] OR 8d [°] 6d [↑] 8d [↑]					BER 1 D1.0	DETAIL NUMBER	THESE DRAWINGS SUCH PRECAUTIONS SHALL INCLUDE THE ERECTION AND		Ц Ц С	
HEATHING [®]		1⁄2" ²⁵ ⁄ ₃₂ "	6d COMMON NO. 16 GAGE NO. 11 GAGE	E ROOFING NA	13") AIL [*]			4 SHEARWALI		. (SEE SCHEDULE)	LIGHTS, AND OTHER PRECAUTIONS AS MAY BE REQUIRED. SITE CONDITIONS: THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.		N V	
ELING		1/4"	NO. 16 GAGE	NAIL (2½" x 0. E STAPLE' 4d ¹	.113)			10' SHEARWALI		7	STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8.		ER/	
		3/8"		6d [~]					ow (2	FOOTING SYMBOL	DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH R602.6.		Z	
/IM. JAILS A RE PERMITTE AT 6 INCHES ON CENT ERE SPANS ARE 48 IN	TER AT ED CHES OR I	GES, 12 INCH MORE. FOR I	HES AT INTERMEDIA NAILING OF WOOD S	TE SUPPORTS	PANEL ANI	D PARTICLE	BOARD	MATERIAL PROPERTI	ES		STRUCTURAL ROOF MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R802.7.		Ш Ю	
ND SHEAR WALLS, RE 3. EFORMED SHANK (6d					RE PERMIT	TED TO BE	COMMON,	1) ALL CONCRETE SHALL CONFORM CONCRETE, ACI 301-10.	TO THE SPE	CIFICATIONS FOR STRUCTURAL	STRUCTURAL DESIGN PARAMETERS	Ľ		
" x 0.113"; 8d - 2½" x 0. NK (6d - 2" x 0.113"; 8d SISTANT SIDING (6d - ACED 3 INCHES ON C	131": 10d - d - 2½" x 0.′ 1⅔" x 0.10	3" x 0.148"). 131": 10d - 3" 6"; 8d - 2¾" x	x 0.148"). 0.128") OR CASING	(6d - 2" x 0.099	9"; 8d - 2½" : 8 AT INTERI	x 0.113") NA MEDIATE SI	IL. JPPORTS.	 CONCRETE STRENGTH SHALL BE 2 CONCRETE SHALL HAVE A MAXIM SHALL BE MIXED, PLACED, AND CU OF THE ACI 318. 	UM AGGREG JRED IN ACC	GATE SIZE = $\frac{3}{4}$ ". CONCRETE CORDANCE TO CURRENT EDITION		ſ	15 15	
STRUCTURAL SHEAT ERMEDIATE SUPPOR SISTANT ROOFING N ENGTH FOR ²⁴ / ₃₂ -INCH	THING. SPA TS FOR NC AILS WITH	ACING SHALL DNSTRUCTUP $\frac{7}{6}$ -INCH-DIA	BE 6 INCHES ON CE RAL APPLICATIONS.	ENTER ON TH	E EDGES A	AND 12 INCH	IES ON	4) CONCRETE MIX DESIGNS (INCLUD RATIOS, AND OTHER CRITERIA) SH FORTH IN ACI 318 TABLE 19.3.2.1, E CLASSES DEFINED IN ACI 318 TABL	IALL CONFO BASED ON EX LE 19.3.1.1. U	ORM TO THE REQUIREMENTS SET XPOSURE CATEGORIES AND	DESIGNED TO THE ASCE 7-16 STANDARDS RISK CATEGORY = II ROOF DEAD LOAD = 15 PSF		950 ²	
SISTANT STAPLES W D 1 ½ -INCH LENGTH F NG DIRECTION OF TH 0.080") OR FINISH (1½"	ITH NOMIN OR ²⁵ ⁄32 -IN E PANEL, U	IAL ⅔6-INCH ICH SHEATH JNLESS OTH	ING. PANEL SUPPOF ERWISE MARKED).	RTS AT 16 INC	HES (20 IN	CHES IF ST	RENGTH	ADMIXTURE IN ALL EXTERIOR CON 5) HOT WEATHER CONCRETING: WHE WOULD IMPAIR THE QUALITY AND DELIVERY TIME OF READY MIX CO MATERIALS, OR ADD RETARDER TO	EN HOT WEA STRENGTH NCRETE, LO	OF THE CONCRETE, REDUCE WER THE TEMPERATURE OF	SOLAR PV DEAD LOAD =0 PSFROOF LIVE LOAD =20 PSFFLOOR DEAD LOAD =20 PSFFLOOR LIVE LOAD =40 PSF		REMODE MILY ST.	
TS AT 24 INCHES. CAS SUPPORTS. ATHING APPLICATION					,		RAL	RETEMPERING WITH WATER IS NO REINFORCING STEEL: 6) STEEL REINFORCEMENT SHALL CO GRADE 40: #4 BARS AN	OT ALLOWED ONFORM WIT	D. COMPLY WITH ACI 305R. TH ASTM A615:	BASIC WIND SPEED =92 MPHWIND EXPOSURE =CGROUND SNOW LOAD =0 PSF		ADDITION/REMODEI ENEZ FAMILY 01 3RD ST. BAUTISTA, CA (
. HAVE A MINIMUM CR ATHING APPLICATION	OWN WID S, FASTEN	TH OF $\frac{7}{16}$ INC	CH. D 4 INCHES ON CEN	TER AT EDGE	S, 8 INCHE	ES AT INTER	RMEDIATE	GRADE 60: #5 BARS AN 7) REINFORCEMENT LAP SPLICE SHA 12, UNLESS NOTED OTHERWISE.		CORDANCE WITH ACI, CHAPTER	SEISMIC IMPORTANCE FACTOR = 1.0 LATERAL FORCE RESISTING SYSTEM = WOOD SHEAR WALLS			
ACED 4 INCHES ON C D 3 INCHES ON CENTE ACED 4 INCHES ON C	ER AT EDG	SES, 6 INCHE	S AT INTERMEDIATE	SUPPORTS F	FOR ROOFI			 8) REINFORCING SHALL NOT BE TACH UNLESS SPECIFICALLY DETAILED 9) ALL WELDED WIRE FABRIC SHALL ASTM A479. PROVIDE IN FLAT SHE 	ON THE STR BE DEFORM ETS ONLY.	RUCTURAL PLANS. MED AND SHALL CONFORM TO	RESPONSE MODIFICATIONS FACTOR, R =6.5OVER-STRENGTH FACTOR, OMEGA =2.5DEFLECTION AMPLIFICATION FACTOR, CD =4.0Cswood =0.275		SED ADI JIMEN 701 JAN B/	
ALL SCHEDU	ILE PE	ER CBC	2019					10) ALL HORIZONTAL REINFORCING IN CONTINUOUS AROUND CORNERS SAME SIZE AND SPACING AS THE F	OR HAVE BE	ENT (CORNER) BARS OF THE	SEISMIC PARAMETERS VALUE			
SHEATHING					EQUIREME PLATE [®]		PLATE ³	DIAMETERS (24" MINIMUM). 11) ANCHOR BOLTS SHALL BE ASTM A 12) ALL ADHESIVE (EPOXY) FOR POST	.307.		SITE CLASS D		PROPC	
GRADE AND THICKNESS		E FIELD		SILL BOLTS	MIN SILL PLATE	- A35	LTP4	CONCRETE SHÀLL BE ŚIMPSON SE <u>WOOD:</u> 13) ALL LUMBER SHALL BE IDENTIFIED	ET-XP EPOXN	Y-TIE ANCHOR SYSTEM. GRADE MARK AND STAMP OF	Seismic Design Category, SDCEShort period spectral response acceleration, Ss2.2331-Second spectral response acceleration, S10.928Short period site coefficient, Fa1.2		PF SA	
½" CDX 8		12"	2x	5%" Ø AT 42" O.C. 5%" Ø AT	2x		24" O.C.	THE GRADING ASSOCIATION INDIC 14) ALL SAWN LUMBER (2"-4" THICK, 2' DOUGLAS FIR-LARCH NO. 2 OR BE	" & WIDER) E TTER.	EXCEPT STUDS SHALL BE	1-Second site coefficient, Fv1.7Adjusted short period spectral response acceleration, Sms2.679Adjusted 1-Second period spectral response acceleration Sm11.6701.6701.670	ſ	NO. DATE	
1/2" CDX 8		12"	2x	27" O.C. 5%" Ø AT	2x	18" O.C.		 15) ALL SAWN LUMBER (5"x5" OR LARG DOUGLAS FIR-LARCH NO. 1 OR BE 16) ALL SAWN LUMBER (5"x5" OR LARG 	TTER. GER POSTS /		Short period design spectral acceleration, SDS1.7861-Second design spectral acceleration, SD11.114			
½" CDX 8	d 3"	12"	3x	21" O.C.	3x	12" O.C.	12" O.C.	DOUGLAS FIR-LARCH NO. 1 OR BE 17) ALL STRUCTURAL GLU-LAMINATED DOUGLAS FIR-LARCH W/ ALLOWAB	D BEAMS ANI		SHEET INDEX S0.0 = GENERAL NOTES	-	2	
½" CDX 8	d 2"		3x ASTENED TO FRAMI	%" Ø AT 16" O.C.	JX	8" O.C.		AS LISTED IN THE LATEST EDITION 18) COORDINATE W/ ARCHITECTURAL OF ALL GLU-LAMINATED BEAMS. 19) LAMINATED VENEER LUMBER (MIC	I OF THE ND DRAWINGS	OS CODE. FOR FINISH OF THE SURFACE	S1.0 = FOUNDATION PLAN / FRAMING PLAN D1.0 = DETAILS D2.0 = TYPICAL DETAILS			
TO TABLE 4.3A OF 20 BE LOCATED A MININ				(IMUM NAIL SF	PACING AT	PANEL ED	GES	HAVE A FLEXURAL STRESS OF FB E = 1,900,000 PSI. 20) PARALLEL STRAND LUMBER (PARA				ſ	JOB NO: 102022-02	
C. MAY CHOOSE ONE OI CH BEAR TRUSSES; S OR SHEAR TRANSFEF	IMPSON'S R.	H1 CLIP MA`	Y BE USED IN PLACE		OR LTP4 1	TOP PLATE		STRESS OF FB = 2900 PSI AND MO 21) JOIST HANGERS SHALL BE SIMPSO INSTALLED ACCORDING TO MANUF	DULUŚ OF E ON STRONG- FACTURER'S	ELASTICITY OF E = 2,000,000 PSI. -TIE OR EQUAL W/ CONNECTION	THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO SECTION 1704 OF THE 2019 CALIFORNIA BUILDING CODE, SPECIAL	[NO: 102022-02 DATE: 12/21/2022 DRAWN	
S ARE TO BE SPACED S ARE TO HAVE SIMPS E OF THE BOTTOM PI TY GREATER THAN 44 ING AT ALL PANEL ED	SON BP 5%- LATE ON T 00 PLF PEF	3 BEARING HE SIDE(S) V R 2015 NDS 4	PLATE WASHERS. PL VITH SHEATHING OF I.3.6.4.3.					 22) STEEL SIDE PLATES SHALL BE AST 23) ALL NEW LUMBER SHALL NOT BE E EXCEEDS 19% MOISTURE CONTEN 24) POWDER DRIVEN PINS AT NON-BE PLATES SHALL BE SIMPSON PDPA- 	ENCLOSED V IT PER CALG ARING INTEF	GREEN 4.505.3. RIOR WOOD PARTITION SILL	INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK FOR MATERIAL TESTING REQUIREMENTS. SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECT TO THE BUILDING OFFICIAL AND ENGINEER OF RECORD.	E	BY: DAL SCALE: N.T.S. SHEET	
AL PANEL MAY NOT B	E LOCATE	D WITHIN A	SHEARWALL. IF THE		PANEL IS 1	TO BE POSI	TIONED	INSTALL PER MANUFACTURER SPE <u>STEEL:</u> 25) ALL STEEL ANGLES, CHANNELS, P 26) ALL WIDE FLANGE SHAPES SHALL	LATES, AND	BARS: ASTM A36.	ITEM REQUIRED REMARKS			
								 20) ALL HSS STEEL SHAPES SHALL CC 28) ALL FIELD WELDERS SHALL BE CE MONTHS. 29) WELDING ELECTRODES: E 70 SERI 	ONFORM TO	ASTM A500 GRADE B, FY = 46 KS			JU.U	
								30) ALL FIELD WELDING SHALL BE PER		ACCORDANCE WITH AWS.				

30) ALL FIELD WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS.





FRAMING PLAN

CONTRACTOR SHALL NOTIFY WILLIAMSON CHAVEZ DESIGN IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF Ζ PLANS. 53 SIG WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS 87 NOT A PART OF THE APPROVED AND SIGNED PLANS SШ 59 Z CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ш ЭЭ DO NOT SCALE PLANS. NNg FOUNDATION NOTES щŅ 1) SEE SHEET S0.0 FOR SHEAR WALL SCHEDULE. MIC 2) CONCRETE STRENGTH SHALL BE 2500 PSI AT 28 DAYS, EXPOSURE CLASS SO. 3) CONTRACTOR SHALL VERIFY ALL DIMENSIONS. R BU 4) CONCRETE SAWED CONTROL JOINTS SHALL HAVE A MINIMUM DEPTH OF 1" W/ A SPACING OF 15'-0" O.C. EA. WAY. ALL HOLDOWNS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION. \bigcirc PRE-MOISTEN SOIL UNDER SLAB AND FOOTINGS. 7) LAP REINFORCEMENT BARS AS SHOWN PER DETAIL. 8) PRESSURE TREATED WOOD MUST BE USED FOR ALL SILL PLATES OR WOOD IN CONTACT WITH CONCRETE OR MASONRY. 9) TYPICAL ANCHOR BOLT SIZE AND SPACING: 5/8"Ø ANCHOR BOLTS x 12" AT 48" O.C. ALL ANCHOR BOLTS SHALL HAVE 3"x3"x0.229" STEEL BEARING PLATE W/ MIN. 7" ANCHOR BOLT EMBEDMENT U.N.O. 10) ATTACH INTERIOR WOOD POSTS TO BOTTOM P.T.D.F. SILL PLATE W/ 'SIMPSON' 7 David Antonio Lara A34 AT EA. SIDE. 11) 4" CONCRETE PAD AT ALL EXTERIOR DOORS OVER 4" CLEAN COMPACTED FILL SAND, THICKEN AT PERIMETER. 12) PROVIDE 5/8" x 10" ANCHOR BOLTS AT 4'-0" OC MAX AT EXTERIOR WALLS (MIN Civil Engine 2 PER PLATE, BOLTS LOCATED AT END OF PLATE SHALL BE WITHIN 12'-0" OF END). PROVIDE ANCHOR BOLTS AT SHEAR PANELS PER SHEARWALL OFCAL SCHEDULE. USE 3"x3"x0.229 PLATE WASHERS. 12/21/2022 13) ALL ANCHOR BOLTS AND HOLDDOWNS ARE TO BE INSTALLED AND SECURELY EXP: 09/30/2023 HELD IN PLACE PRIOR TO INSPECTIONS. 14) FOR UNDER FLOOR ACCESS DETAIL, SEE DETAIL 7/D1.0. SEE ARCH FOR UNDER FLOOR ACCESS LOCATION. 15) FINISH FLOOR SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISH GRADE. FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10'-0" TO AN APPROVED Ζ WATER DISPOSAL AREA. 16) PLATE ATTACHMENT FOR ALL NON-BEARING PARTITIONS SHALL BE HILTI Ζ DN72.145x2 7/8" LONG, SPACED AT 16" OC (ICBO 1288). 17) 6 INCH HIGH CONCRETE CURB AROUND PERIMETER OF GARAGE REQUIRED 4 Π 18) VAPOR BARRIER TO BE 0.010 MIL POLYETHYLENE UNO. 19) ALL REENTRANT CORNERS SHALL HAVE 2 - #4 x 4'-0" LONG BARS. 20) ALL FOUNDATION ANCHORAGE SHALL BE LOCATED IN THE MIDDLE THIRD OF Ω Ζ THE WIDTH OF THE SILL PLATE PER CRC. \bigcirc **KEYNOTES**: NIN N $4 = \frac{5}{8}$ # Ø ANCHOR BOLTS x 12" SPACED PER SHEARWALL SCHEDULE. ALL ANCHOR BOLTS SHALL HAVE 3"x3"x0.229" STEEL BEARING PLATE W/ MIN. 7" ANCHOR BOLT EMBEDMENT. \square RA HOLDOWN SCHEDULE Ζ \supset HOLDOWN SPECIFICATIONS^{1, 2, 3} FRAMING REQUIRED Ш \bigcirc MINIMUM HOLDOWN SIMPSON HOLDOWN SIMPSON POST SIZE AT FOOTING **SYMBOL** | HOLDOWN | ANCHOR⁴ | STRAP HOLDOWN DEPTH **12" BELOW** HDU4 SSTB16 4x POST GRADE HOLDOWN NOTES: INSTALL ALL HOLDOWNS PER MANUFACTURERS SPECIFICATIONS. 04 Ο HOLDOWN ANCHOR BOLTS ARE TO HAVE A MINIMUM OF $1\frac{3}{4}$ " EDGE DISTANCE S FROM CONCRETE. 0) HOLDOWN ANCHOR BOLTS ARE TO HAVE A MINIMUM OF 5" CLEARANCE FROM END WALLS. 4) PLACE HOLDOWN ANCHORS AT A DIAGONAL IN A CORNER APPLICATION PER \mathbf{O} SIMPSON CATALOG C-2018. AMIL) USE SSTBL MODELS AT 3x P.T. DF SILL PLATES FOR LONGER THREAD LENGTH OF 5¹/₂" ____ S S S FOOTING SCHEDULE , cZ F, 3RD UT' STEEL REINFORCEMENT JIMENE FOOTING FOOTING SIZE LONGITUDINAL TRANSVERSE SYMBOL ~ ∢ BARS BARS O D 4 2'-0" x2'-0" $\langle 2 \rangle$ 3 - #4 AT BOT 3 - #4 AT BOT UAN x 1'-0" DEEP DIAPHRAGM SCHEDULE UNIT UNIT SHEATHING TYPICAL | TYPICAL SHEAR NAIL SHEAR SHEAR PANEL EDGE GRADE AND FIELD AN SIZE (PLF) (PLF) SYMBOL THICKNESS NAILING | NAILING CASE 2 - 6 CASE 1 S ½" CDX OR 12" 6" 240 180 8d /R\ OSB ¾" CDX OR 285 215 10d 6" 12" NO. DATE OSB **DIAPHRAGM NOTES:** 03/02/2023 1) ALL DIAPHRAGM EDGES SHALL BE SUPPORTED BY AND FASTENED TO 2x MIN FRAMING MEMBERS OR BLOCKING PER 2018 NDS. REFER TO 4.2 OF 2018 NDS 04/03/2023 FOR OTHER REQUIREMENTS 2) NAILING SHALL BE LOCATED A MINIMUM OF $\frac{3}{2}$ " FROM THE PANEL EDGES. MAXIMUM NAIL SPACING AT PANEL EDGES SHALL BE 6" O.C. ALL SHEATHING SHALL HAVE A MINIMUM 48/24 SPAN RATING.

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	TABLE 2304.9.1 FASTENING SCHEDULE	
CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2 - 8d COMMON (2-1/2" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	TOENAIL EACH END
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
4. WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3-1/2" x 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" x 0.135") AT 16" o.c. 3" x 0.131" NAILS AT 8" o.c. 3" 14 GAGE STAPLES AT 12" o.c.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3" - 16d (3-1/2" x 0.135" AT 16" 4 - 3" x 0.131" NAILS AT 16" 4 - 3" 14 GAGE STAPLES PER 16"	BRACED WALL PANELS
7. TOP PLATE TO STUD	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4 - 8d COMMON (2-1/2" x 0.131") 4 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3-1/2" x 0.135") AT 24" o.c. 3" x 0.131" NAIL AT 8" o.c. 3" 14 GAGE STAPLE AT 8" o.c.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3-1/2" x 0.135") AT 16" o.c. 3" x 0.131" NAIL AT 12" o.c. 3" 14 GAGE STAPLE AT 12" o.c.	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8 - 16d COMMON (3-1/2" x 0.162") 12 - 3" x 0.131" NAILS 12 - 3" 14 GAGE STAPLES	LAP SPLICE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d (2-1/2" x 0.131") AT 6" o.c. 3" x 0.131" NAIL AT 6" o.c. 3 - 3" 14 GAGE STAPLE AT 6" o.c.	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" x 0.162")	16" o.c. ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 8d COMMON (2-1/2" x 0.131") 5 - 3" x 0.131" NAILS 5 - 3" 14 GAGE STAPLES	TOENAIL
16. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2-1/2" x 0.131")	TOENAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3-1/2" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3-1/2" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
19. RAFTER TO PLATE SEE SECTION 2308.10.1, TABLE 2308.10.1)	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2-1/2" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	FACE NAIL

CONNECTION	FA	STENING	LOCATION
1. 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" x 0.131")		FACE NAIL
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" x 0.131")		FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" x 0.162") 3" x 0.131" NAILS		24" o.c. 16" o.c.
	3" 14 GAGE STAPLE AT 12" o.c.		16" o.c.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" x 0.192") 32" o.c. 3" x 0.131" NAIL AT 24" o.c. 3" 14 GAGE STAPLE AT 24" o.c.		FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	2 - 20d COMMON (4" x 0.192") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES		FACE NAIL AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	16d COMMON (3-1/2" x 0.162")		AT EACH BEARING
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		TOENAIL
	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES		FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES		TOENAIL
	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES		FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3-1/2" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3-1/2" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		FACE NAIL
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	6d ^{c.I} 2-3/8" x 0.113" NAIL ⁿ 1-3/4" 16 GAGE ⁰	
	19/32" TO 3/4"	8d ^d OR 6d ^e 2-3/8" x 0.113" NAIL ^p 2" 16 GAGE ^p	
	7/8" TO 1" 1-1/8" TO 1-1/4"	8d ^C 10d ^d OR 8d ^d	
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT	3/4" AND LESS	6d ^e	
TO FRAMING)	7/8" TO 1" 1-1/8" TO 1-1/4"	8d ^e 10d ^d OR 8d ^e	
2. PANEL SIDING (TO FRAMING)	1/2" AND LESS 5/8"	6d ^f 8d ^f	
33. FIBERBOARD SHEATHING	1/2"	NO. 11 GAGE ROOFING ^N AIL 6d COMMON NAIL (2" x 0.113") NO. 16 GAGE STAPLE	
	1/2"	NO. 11 GAGE ROOFING NAIL 8d COMMON NAIL (2-1/2" x 0.131") NO. 16 GAGE STAPLE	
34. INTERIOR PANELING	1/4"	4d ^j 6d ^k	

a. COMMON OR BOX NAILS ARE PERMITTED TO BE USED WHERE OTHERWISE STATED. b. NAILS SPACED 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD

- STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING. c. COMMON OR DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148")
- d. COMMON (6d 2" x 0.113"; 8d 2-1/2" x 0.131"; 10d 3" x 0.148")
- e. DEFORMED SHANK (6d 2" x 0.113"; 8d 2-1/2" x 0.131"; 10d 3" x 0.148")
- f. CORROSION-RESISTANT SIDING (6d 1-7/8" x 0.106"; 8d 2-3/8" x 0.128") OR CASING (6d 2" x 0.099"; 8d 2-1/2" x 0.113") NAIL. g. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.
- h. CORROSION-RESISTANT ROOFING NAILS WITH 7/16-INCH-DIAMETER HEAD AND 1-1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-3/4-INCH LENGTH FOR 25/32-INCH SHEATHING. i. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16-INCH CROWN AND 1-1/8-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-1/2-INCH LENGTH FOR 25/32-INCH SHEATHING. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- j. CASING (1-1/2" x 0.080") OR FINISH (1-1/2" x 0.072") NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- k. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS. I. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- m. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH. n. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- 0. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- p. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.



Atralls

NAILING SCHEDULE

REVISIONS
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8
SOUTH BAY
SOUTH BAY
DESIGN
ALEX VALLES PRINCIPAL/OWNER P.O. BOX 339
SAN JUAN BAUTISTA, CA 95045 831.207.9677 sbdesign27@yahoo.com
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ADDITION/REMODEL JIMENEZ FAMILY 701 3RD ST. UAN BAUTISTA, CA 9
ADDITION/REMO JIMENEZ FAMI 701 3RD ST. JUAN BAUTISTA,
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NAILING
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DRAWN BY A.V.
CHECKED DATE
10.14.22 SCALE
JOB NO.
SHEET
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: 3rd Street Addition

Calculation Date/Time: 2023-01-16T08:43:10-08:00 Input File Name: 3rd Street Addition (701).ribd22x

(Page 1 of 11)

Calculation	Description: Title 24 Analysis		Input File	Input File Name: 3rd Street Addition (701).ribd22x					
GENERAL IN	FORMATION								
01	Project Name	3rd Street Addition							
02	Run Title	Title 24 Analysis							
03	Project Location	701 3rd Street							
04	City	San Juan Bautista	05	Standards Version	2022				
06	Zip code	95045	07	Software Version	EnergyPro 9.0				
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	45				
10	Building Type	Single family	11	Number of Dwelling Units	1				
12	Project Scope	Addition and/or Alteration	13	Number of Bedrooms	3				
14	Addition Cond. Floor Area (ft ²)	47	15	Number of Stories	1				
16	Existing Cond. Floor Area (ft ²)	1251	17	Fenestration Average U-factor	0.3				
18	Total Cond. Floor Area (ft ²)	1298	19	Glazing Percentage (%)	12.80%				
20	ADU Bedroom Count	n/a							
COMPLIANC	E RESULTS								
01	Building Complies with Computer	Performance							
02	Building does not require field tes	ting or HERS verification							
03	This building incorporates one or	more Special Features shown below							

Registration Number:

Registration Date/Time: Report Version: 2022.0.000 HERS Provider: Report Generated: 2023-01-16 08:43:35

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 3rd Street Addition Calculation Date/Time: 2023-01-16T08:43:10-08:00 (Page 4 of 11) Input File Name: 3rd Street Addition (701).ribd22x Calculation Description: Title 24 Analysis

01	02	03	04	05	06	07	08	3	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2	Tilt (c	leg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Existing Livin Area	R-0 Wall	45	Front	270	44	90)	none	Existing	No
Left Wall	Existing Livin Area	R-0 Wall	135	Left	554	26	90)	none	Existing	No
Rear Wall	Existing Livin Area	R-0 Wall	225	Back	270	53.3	90)	none	Existing	No
Right Wall	Existing Livin Area	R-0 Wall	315	Right	554	82.7	90)	none	Existing	No
Left Wall 2	New Living Ar	a R-15 Wall	135	Left	36	0	90)	none	New	n/a
Right Wall 2	New Living Ar	a R-15 Wall	315	Right	36	0	90)	none	New	n/a
Interior Surface	New Living Area>>Existin Living Area	g R-0 Wall1	n/a	n/a	108	0	n/:	a		New	n/a
Interior Surface 2	New Living Area>>Existin Living Area	g R-0 Wall1	n/a	n/a	108	0	n/a	a		New	n/a
Roof	Existing Livin Area	R-11 Roof Attic	n/a	n/a	1251	n/a	n/a	a		Existing	No
Roof 2	New Living Ar	a R-30 Roof Attic	n/a	n/a	47	n/a	n/:	a		New	n/a
ATTIC											
01		02		03	04	05	06	07	08	09	10
Name		Construction		Туре	Boof Rise	Roof Reflectance	Roof Emittance	Radiar Barrie	L COOL ROOT	Status	Verified Existing Condition
Attic Existing Livi	ng Area	Attic RoofExisting Livi	ng Area	Ventilat	ed 5	0.1	0.85	No	No	Existing	No
Attic New Livin	g Area	Attic RoofNew Livin	g Area	Ventilat	ed 5	0.1	0.85	Yes	No	New	n/a

Registration Date/Time: Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 HERS Provider: Report Generated: 2023-01-16 08:43:35

Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 3rd Street Addition Calculation Date/Time: 2023-01-16T08:43:10-08:00 (Page 7 of 11) Calculation Description: Title 24 Analysis Input File Name: 3rd Street Addition (701).ribd22x OPAQUE SURFACE CONSTRUCTIONS

01	02	2	03	04	05	06	07	08
Construction Name	Surface	е Туре	Construction Type	Framing	Total Cavity R-value	' Continuous		Assembly Layers
Attic RoofExisting Living Area	Attic R	Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofNew Living Area	Attic R	Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-11 Roof Attic	Ceilings (below attic)		Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.081	Over Ceiling Joists: R-1.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-30 Roof Attic	Ceilings (below attic)		Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
BUILDING ENVELOPE - HER	s verificat	ION						
01			02	03		04		05
Quality Insulation Installa	Ilation Installation (QII) High R-value Spray Foam Insulation Building Envelope Air Leakage		CFM50		CFM50		CFM50	
Not Required			Not Required	N/A		n/a		n/a

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Number:

Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901 HERS Provider: Report Generated: 2023-01-16 08:43:35

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD	

Project Name: 3rd Street Addition Calculation Description: Title 24 Analysis Calculation Date/Time: 2023-01-16T08:43:10-08:00 (Page 2 of 11) Input File Name: 3rd Street Addition (701).ribd22x

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2
Space Heating	0	87.17	0	83.6	0	3.57
Space Cooling	0	91.8	0	90.01	0	1.79
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	50.62	0	50.62	0	0
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	229.59	0	224.23	0	5.36
Photovoltaics		Ō		0		
Battery				0		
Flexibility						
Indoor Lighting	0	7.73	0	7.73		
Appl. & Cooking	0	28.02	0	28.02		
Plug Loads	0	43.67	0	43.67		
Outdoor Lighting	0	1.76	0	1.76		
TOTAL COMPLIANCE	0	310.77	0	305.41		

Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: 3rd Street Addition

WATER HEATING SYSTEMS

01

Name

DHW Sys 1

WATER HEATERS

Heating Name Element Type

01

Name

DHW Sys 1 - 1/1

01

DHW

Heater 1

Calculation Description: Title 24 Analysis

02

System Type

Domestic

(DHW)

02

Gas

WATER HEATING - HERS VERIFICATION

Hot Water

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

04

Name

DHW Heater

1

of Tank Vol.

Units (gal)

50

Distribution Water Heater Number of Solar Heating

Units

1

EF

03

Parallel Piping

Not Required

05 06

System

n/a

03 04 05 06 07 08 09 10 11 12

0.53 Btu/Hr 75000

04

Compact Distribution

Not Required

03

Туре

Standard

Tank Type

Small Storage

02

Pipe Insulation

Not Required

Registration Date/Time: Report Version: 2022.0.000

Schema Version: rev 20220901

HERS Provider: Report Generated: 2023-01-16 08:43:35

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11

No

13

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12

15

Verified

Existing Condition

No

Verified Existing Water Existing Heating Condition System

14

xisting

07 Shower Drain Water Heat

Recovery

Not Required

roject Name alculation D		Addition Title 24 Analy:	sis									16T08:43:10-08 ion (701).ribd2			(Page 5 of :
ENESTRATION	I / GLAZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientatio n	Azimuth	Width (ft)	Heigh t (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Conditio
Window	Window	Front Wall	Front	45			1	12	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Front Wall	Front	45			1	12	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Left Wall	Left	135			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Window 4	Window	Left Wall	Left	135			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
French Door	Window	Rear Wall	Back	225			1	33.3	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Right Wall	Right	315			1	36.7	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 6	Window	Right Wall	Right	315			1	9	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 7	Window	Right Wall	Right	315			1	16	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Window 8	Window	Right Wall	Right	315			1	9	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 9	Window	Right Wall	Right	315			1	12	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
PAQUE DOOF	RS													-	
	01		02			03				04		05		0	6
Ná	ime	Sid	de of Buildin	g		Area (f	t ²)		U	-factor		Status		Verified Exist	ing Conditio
D	oor		Front Wall			20				0.5		Existing		N	lo

Report Version: 2022.0.000

Schema Version: rev 20220901

07

None

Calculation Date/Time: 2023-01-16T08:43:10-08:00

Input File Name: 3rd Street Addition (701).ribd22x

09

DHW Heater

1(1)

80

HERS Water Heater

10

Status

Existing

06

Recirculation Control

Not Required

08

Compact HERS Water Heater Distribution Verification Name (#)

n/a

Heating Efficiency Type Efficiency Rated Input Type Rated Input Type Pilot Tank Standby Insulation Revalue (Int/Ext) Eff

0

05

Compact Distribution

Туре

None

				Standard	l Design (k	Btu/ft ² - yr	P	roposed Desig	gn (kBtu	ı/ft ² - yr)	Co	omplianc	e Margin I	kBtu/ft ² -	yr)	Margin	Perce	entage
Gi	ross EUI ¹				52.64			51	1.42				1.22			ž	2.32	
N tes	let EUI ²				52.64			51	1.42				1.22				2.32	
Gross EUI Net EUI is																		
UIRED SPEC			oust he ins	talled as	condition (ormeeting	the mode	led energy pe	rforma	nce for thi	comri	Iteranah	veic					
an see a service rate	twork adde		90000000000000000000000000000000000000		Y THE CONTRACT OF CONTRACT	or meeting	the mode	ica chergy pe	norma		scompt		,515.					
	a summary	∕ofth											eled energ	y performa	nce for th	is computer a	inalys	is. Additional
iil is provide	d in the bu	ildng t	tables belo	w. Regist	tered CF2R	s and CF3Rs	are requi	red to be com	pleted	in the HER	S Regist	try						
LDING - FEA C	TURES INFO	ORMA		02			03		04			05			06			07
л. Т	t Name		Conditio	ned Floo 1298	r Area (ft ²)	1	r of Dwell Units 1	ing Numb	er of Be	edrooms	Nur	mber of 2	2ones		r of Ventil ing Syster 0			per of Water ing Systems 1
				1298			1		5			2			0			1
01 Zone Na			02 Zone 1	7	н	03 AC System	Name	(Zone Floo)4 or Area i	(# ²)	Avg. (05 Ceiling He	eight	Water He	06 ating Syst	em 1		07 tatus
Existing Livi			Conditi			HVAC Syste	AL MADES YES		251	(14)	11081	9	Jan	Second Second Aug de La Second	W Sys 1	1001000 463	22	Unchanged
New Living	g Area		Conditi	oned		HVAC Syste	m1		47			9		DH	W Sys 1		d south	New
gistration Nu Building End		ncy Str	andards - 2	2022 Resi	idential Co	mpliance				ate/Time: : 2022.0.0	00				RS Provide	er: rated: 2023-0	1-16	08:43:35
			andards - z			Inpliance				n: rev 202							.1-10	
ject Name:	: 3rd Stree	t Add	lition		PERFORM	ANCE CON	IPLIANCI	METHOD						8:43:10-0				(Page 6 of 1
QUE DOOR	s	Title	24 Analy						Input			Street A	ddition (701).ribd2	2x			
0 Na	1 me		Si	02 de of Bui	Iding		03 Area (f	t ²)		0 U-fa				05 Status	Verifie		06 rified Existing Conditior	
	or 2			Rear Wa	all		20			0.	5			Existing			N	0
01		02		03		04		05		06	Т	07		08		09	Т	10
Name	2	Zone		Area (ft	.²) F	Perimeter (f		dge Insul. -value and Depth	R-N	lge Insul. /alue and Depth	Car	peted Fra	action	Heated		Status	v	erified Existin Condition
Slab		ing Liv Area	/ing	1251		183		none		0		80%		No		Existing	╈	No
Slab 2	New L		Area	47		8		none		0		80%		No		New		n/a
QUE SURFA	CE CONSTR	RUCTI	2.384.0 10.294.0 20.44.0 (2	1				. 1				1			
01	n Name		02 Surface Ty	pe		3 tion Type		04 Framing		05 Total C	avity	Interior)6 / Exterior nuous	07 U-factor		0 Assemb	8 Iv Lav	ers
				•						R-va	lue	R-v	alue		n n	nside Finish: (2004 U.S.
R-0 Wa	ill.	E	Exterior W	alls	Wood Fra	med Wall	2x	4 @ 16 in. O.	с.	R⊣	D	None	/ None	0.361		avity / Frame: xterior Finish		
R-15 W	all	E	Exterior Wa	alls	Wood Fra	med Wall	2x	4 @ 16 in. O.	c.	R-1	.5	None	/ None	0.095		nside Finish: (Cavity / Fram xterior Finish)	e: R-:	l5/2x4
R-0 Wa	1		Interior Wa	alls	Wood Fra	med Wall	2x	4 @ 16 in. O.	с.	R-1	0	None	/ None	0.277		nside Finish: (avity / Frame:		
											-					ner Side Finish		
gistration Nu	ımber:							Registra	ation Da	ate/Time:				HE	RS Provide	er:		
Building En	ergy Efficier	ncy Sta	andards - 2	2022 Resi	idential Co	npliance				: 2022.0.0 n: rev 202				Re	oort Gene	rated: 2023-0	1-16	08:43:35
				ENTIAL I	PERFORM	ANCE CON	1PLIANCI	METHOD										
ect Name: ulation De				sis										8:43:10-0 701).ribd2				(Page 9 of 1
CE CONDITI 01	ONING SYS	TEMS	03		04	0	;	06		07	C	08	09		10	11		12
Name	System T	ype	Heating		Heating Equipment	Coolin	g Unit	Cooling Equipment		Name	Distri	bution ame	Requi Thermo	stat	Status	Verifie Existin	g	Existing HVA
нуас	Heating a	and	Name Heatir		Count	Nai Coo		Count				ame Air	Тур	•		Conditio		System
HVAC System1	cooling system ot	g	Compon 1	-	1	Compo 1	onent	1	HVA	IC Fan 1		bution em 1	n/a		Existing	No		
C - Heating		ES																
	01 Name	,				0) System						03 r of Units	é. G			04 Heating Effi	cienc	/
He	ating Comp	onen	t 1			Central ga	s furnace					1				AFUE-8	0	
C - COOLIN 01	G UNIT TYP	PES 07	2		03		04		05		06		3	07		08		09
Name	s	ystem	n Type	Numb	er of Units	Efficie	ncy Metri		iency R2/CEE	R S	Efficien SEER/SE		Zonally	Controlled		it-speed opressor	HEI	S Verification
Cooling Component	1	No Co	oling		1				n/a		n/a		Not	Zonal		le Speed		n/a
	I																	

Standa Fotal (not including PV) / Total (including PV) / Total (inclu	iotal Building A as condition fo ength uust be field-ve istered CF2Rs por Area (ft ²) B	Iding Area. Area. or meeting the r	ifled HERS required t	51. 51. energy per	.42 formance for a condition fo	r this com	nputer analy	1.22 1.22	«Btu/ft ² - yr)		Margin Pe 2.3 2.3	2
Total (not including tal (including PV) / ' t must be installed less than 40 ft. in li the features that m ag tables below. Reg MATION 02 Conditioned Flo 129 02 Zone Type Conditioned	52.64 52.64 PV) / Total Bui iotal Building / as condition for ength sust be field-ve istered CF2Rs bor Area (ft ²) 8	Iding Area. Area. or meeting the r erified by a certi and CF3Rs are r 03 Number of D Units	ifled HERS required t	51. 51. energy per	42 42 formance for a condition fo	r this com	nputer analy	1.22 1.22			2.3	2
tal (including PV) / t must be installed i less than 40 ft. in li the features that m g tables below. Reg MATION Conditioned Flo 129 02 Zone Type Conditioned	PV) / Total Bui fotal Building / as condition fo ength uust be field-ve istered CF2Rs por Area (ft ²) 8	Area. or meeting the r erified by a certi and CF3Rs are r 03 Number of D Units	ified HERS required t	energy per S Rater as a	formance for	or meetir	ng the mode	rsis.	performance	e for this		2
tal (including PV) / t must be installed i less than 40 ft. in li the features that m g tables below. Reg MATION Conditioned Flo 129 02 Zone Type Conditioned	iotal Building A as condition fo ength uust be field-ve istered CF2Rs por Area (ft ²) B	Area. or meeting the r erified by a certi and CF3Rs are r 03 Number of D Units	ified HERS required t	S Rater as a	a condition fo	or meetir	ng the mode		performance	e for this		
t must be installed i less than 40 ft. in li the features that m g tables below. Reg MATION Conditioned Flo 129 02 Zone Type Conditioned	ength iust be field-ve istered CF2Rs por Area (ft ²) 8	erified by a cert and CF3Rs are r 03 Number of D Units	ified HERS required t	S Rater as a	a condition fo	or meetir	ng the mode		performance	e for this		
less than 40 ft. in less than 40 ft. in less that may be below. Reg MATION 02 Conditioned Flor 02 02 Zone Type Conditioned	ength iust be field-ve istered CF2Rs por Area (ft ²) 8	erified by a cert and CF3Rs are r 03 Number of D Units	ified HERS required t	S Rater as a	a condition fo	or meetir	ng the mode		performance	e for this		
MATION 02 Conditioned Flor 02 Zone Type Conditioned	por Area (ft ²)	and CF3Rs are r 03 Number of D Units	required t					led energy	performance	e for this		
VATION Conditioned Flor 129 02 Zone Type Conditioned	por Area (ft ²) S	03 Number of D Units	welling	to be comp	pleted in the	HERS Reg	gistrv				computer ana	lysis. Additional
Conditioned Fla Conditioned Fla 129 02 Zone Type Conditioned	por Area (ft ²) 8	Number of D Units	-	1								
02 Zone Type Conditioned	8	Units	-		04		05			06		07
02 Zone Type Conditioned		1	i.	Numbe	r of Bedroor	ns N	Number of Z	ones	Number o Cooling	f Ventilat ; Systems		mber of Water eating Systems
Zone Type Conditioned	HV				3		2		00	0		1
Conditioned	HV/4	03		04	4		05		0	6		07
		C System Nam	e z	Zone Floor	^r Area (ft ²) 51	Avį	g. Ceiling He	eight	Water Heati			Status
		IVAC System1		4			9		DHW		Exist	New
Standards - 2022 R				Report V Schema	tion Date/Tin /ersion: 2022 Version: rev	.0.000	1			Provider: t Genera	ted: 2023-01-1	16 08:43:35
ddition de 24 Analysis 02	2		03		Input File N	Name: 3					Verified Ex	(Page 6 of 1 06 isting Condition
Rear	Wall		20			0.5			Existing			No
03		04	0)5	06		07		08		09	10
e Area	(ft ²) Pe	erimeter (ft)		and the second second second		100 CO. 100	Carpeted Fra	ction	Heated		Status	Verified Existing
Living		102		2			20%		Ne	+		Condition
a		8			0		80%		No	<u> </u>	New	n/a
TIONS		-18-5					Augustano)		018-0-81			
02	03			04		05	Interior		07		08	
Surface Type	Constructi	ion Type	Fra	aming			Conti	AND STREET	U-factor		Assembly L	ayers
Exterior Walls	Wood Fran	ned Wall	2x4 @	16 in. O. C		R-0	None	/None	0.361	Cav	ity / Frame: no	o insul. / 2x4
Exterior Walls	Waad Fran	and Wall	 ⊃x4 @	16 in 0 0		D 15	Nono	(Nono	0.095	Ins	ide Finish: Gyp	osum Board
										Exte	erior Finish: 3	Coat Stucco
Interior Walls	Wood Fran	ned Wall	2x4 @	16 in. O. C		R-0	None ,	/ None	0.277	Cav	ity / Frame: no	o insul. / 2x4
I CE - RESIDENTIA ddition :le 24 Analysis			ANCE ME	Report V Schema	Version: 2022 Version: rev Calculation	0.000 2022090: Date/T			Repor	t Genera		16 08:43:35 (Page 9 of 1
vis 03	04	05		06	07		08	09		10	11	12
Heating Unit Name	Heating Equipment	Cooling Uni Name	t Equi	ipment	Fan Name			Thermos		atus	Verified Existing	Existing HVA System
Heating Component 1	1	Cooling Component 1		1	HVAC Fan		the second s	n/a	Exi	sting	No	
		02					03				04	
		System Type				Numl	ber of Units			ŀ	Heating Efficien	ncy
ent 1		Central gas furr	hace									
5500LL 6.0					5		16	0	7	0	8	09
02	03 nber of Units	Central gas furr 04 Efficiency N		O: Efficie EER/EER	ency	Effic	06 iency /SEER2	0 Zonally C	7 ontrolled	Mulit-	18 speed H	09 IERS Verification
	ddition le 24 Analysis 02 Side of B Rear V 03 e Area a 03 e Area a 125 g Area 47 TIONS c Area a 47 TIONS 5 surface Type Exterior Walls Exterior Walls A CE - RESIDENTIAL ddition le 24 Analysis A CE - RESIDENTIAL ddition	Image: Second secon	Iddition Ie 24 Analysis 02 Side of Building Rear Wall Rear Wall Image: Para Para Para Para Para Para Para Par	Idition 02 03 Side of Building Area (ft ²) Rear Wall 20 Rear Wall 20 Image: Side of Building Area (ft ²) Rear Wall 20 Image: Side of Building Area (ft ²) Image: Side of Building O4 0 Image: Side of Building O4 0 Image: Side of Building O4 0 Image: Side of Building Perimeter (ft) Edge Revalue Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Image: Side of Building Standards - 2022 Residential Compliance Side of Framed Wall 2x4 @ Standards - 2022 Residential Compliance Side of Sid	Image: Decision of the state of the st	Calculation Calculation input File 1 O O O O Side of Building Area (ft ²) Imput File 1 O O O O O O O O O O O O O	Calculation Date/T Input File Name: 3 Calculation Date/Tile Name: 3 O O O O O O O O O O O O O O O O O O O O O O O O O O INTER O O INTER O O O O O INTER O INTER O O INTER O O O INTER Construction Type Framing <th< td=""><td>Calculation Date/Time: 2023 Input File Name: 3rd Street A 02 03 04 04 Side of Building Area (ft²) U-factor Rear Wall 20 0.5 03 04 05 06 07 e Area (ft²) Perimeter (ft) Edge Insul. Rear Wall Edge Insul. Reare wall Edge Insul. Reare and Depth Edge Insul. Reare and Depth Carpeted Fra Carpeted Fra iMing 125.1 183 none 0 80% gArea 47 8 none 0 80% Surface Type Construction Type Framing Total Cavity Registration Date/Time: None, Exterior Walls Wood Framed Wall 2x4 @ 16 in. O. C. R-0 None, <!--</td--><td>Idition Calculation Date/Time: 2023-01-16T08 ie 24 Analysis Input File Name: 3rd Street Addition (7 02 03 04 iside of Building Area (ft²) Ufactor Rear Wall 20 0.5 03 04 05 06 07 e Area (ft²) Perimeter (ft) Edge Insul. R-value and Depth Carpeted Fraction juing 1251 183 none 0 80% 1 iong 1251 183 none 0 80% 1 iong 1251 183 none 0 80% 1 forma 47 8 none 0 80% 1 startace Type Construction Type Framing Total Cavity Interior / Esterior Surface Type Construction Type Framing Total Cavity Revalue Exterior Walls Wood Framed Wall 2x4 @ 16 in. 0. C. R-0 None / None Interior Walls Wood Framed Wall 2x4 @ 16 in. 0. C. 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Rear Wall Edge Insul. Reare wall Edge Insul. Reare and Depth Edge Insul. Reare and Depth Carpeted Fra Carpeted Fra iMing 125.1 183 none 0 80% gArea 47 8 none 0 80% Surface Type Construction Type Framing Total Cavity Registration Date/Time: None, Exterior Walls Wood Framed Wall 2x4 @ 16 in. O. C. R-0 None, </td <td>Idition Calculation Date/Time: 2023-01-16T08 ie 24 Analysis Input File Name: 3rd Street Addition (7 02 03 04 iside of Building Area (ft²) Ufactor Rear Wall 20 0.5 03 04 05 06 07 e Area (ft²) Perimeter (ft) Edge Insul. R-value and Depth Carpeted Fraction juing 1251 183 none 0 80% 1 iong 1251 183 none 0 80% 1 iong 1251 183 none 0 80% 1 forma 47 8 none 0 80% 1 startace Type Construction Type Framing Total Cavity Interior / Esterior Surface Type Construction Type Framing Total Cavity Revalue Exterior Walls Wood Framed Wall 2x4 @ 16 in. 0. C. R-0 None / None Interior Walls Wood Framed Wall 2x4 @ 16 in. 0. C. R-0 None / None Eterior Walls Wood</td> <td>dition Calculation Date/Time: 2023-01-16708:43:10-08:C ie 24 Analysis nput File Name: 3rd Street Addition (701),ribd22x 02 03 04 05 Side of Building Area (R²) U-factor Status Rear Wall 20 0.5 Existing a 03 04 05 06 07 08 e Area (R²) Perimeter (R) Revalue and Depth Edge Insul. 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	ENSITY		Standa	rd Design	(kBtu/	/ft ² - yr)	Prop	osed Desig	n (kBtu	/ft ² - yr)	Complia	nce Margin	(kBtu/ft ² -	yr)	Margi	n Perc	entage
Gr	oss EUI ¹			52.6	64			51.	.42			1.22				2.32	
N	et EUI ²			52.6	64			51	.42			1.22				2.32	
otes 1. Gross EUI i 2. Net EUI is																	
QUIRED SPEC			e installed a	as conditic	on for r	neeting the I	modeled	energy per	forman	ice for this c	omputer an	alysis.					
	work added i	s less thai	n 40 ft. in le	ength													
RS FEATURE S e following is tail is provide	a summary o											deled energ	y perform	ance for thi	s computer	analy	sis. Additional
ilding - Fea	TURES INFOR	MATION															
0 Project		Cond	02 litioned Flo		t²)	03 Number of I Unit:	-	Numbe	04 er of Be	drooms	05 Number o			06 er of Ventila bling System			07 ber of Water ting Systems
3rd Street	Addition		129	8		1			3		2			0			1
NE INFORMA 01	TION		02			03		04	-	142	05			06			07
Zone Na Existing Livir	21/207	V(F.B.)	ne Type nditioned			System Nam	ie	Zone Floor		ft²)	Avg. Ceiling 9	Height	Salar kisi diska termini s	eating Syste			Status g Unchanged
New Living	Area	Cor	nditioned		HVA	AC System1		4	7		9		D	HW Sys 1			New
egistration Nu A Building Ene		/ Standarc	is - 2022 R	esidential (Compli	iance		Report V	/ersion:	te/Time: 2022.0.000 n: rev 20220				ERS Provide eport Gener		01-16	08:43:35
RTIFICATE O bject Name: Iculation De	3rd Street A s cription: Ti	Addition		L PERFOR	MAN	CE COMPLI	ANCE M	IETHOD			•/Time: 20 : 3rd Street						(Page 6 of 1
AQUE DOOR: 0	L		02 Side of P	110.810			03			04 U-facte			05 Status		V a sifi a)6
Na Doc			Side of B Rear			A	rea (ft ²) 20			0.5			Status Existing		verifie		ting Condition
AB FLOORS	0	2	03			04		05		06	07	7400	08		09		10
Name	Zo	ne	Area	(ft ²)	Perin	meter (ft)	R-va	e Insul. lue and epth	R-v	ge Insul. alue and Depth	Carpeted	Fraction	Heated	Į I	Status	N	/erified Existin Condition
Slab	Existing		125	51		183	n	one		0	809	6	No		Existing		No
Slab 2	New Livi	ing Area	47	,		8	n	one		0	809	6	No		New		n/a
AQUE SURFA 01	CE CONSTRU	2	2		03			04		05		06	07			08	
Construction	Name	Surfac	e Type	Constr	uction	і Туре	F	raming		Total Cav R-value		or / Exterior ntinuous -value	U-facto	factor Assembly Layers		ye r s	
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R-15 Wa	111	Exterio	r Walls	Wood	Frame	d Wall	2x4 @	9 16 in. O. C	2.	R-15	Nor	ne / None	0.095		nside Finish: Cavity / Fran Aterior Finis	me: R-	15/2x4
R-0 Wal	11	Interio	r Walls	Wood	Frame	d Wall	2x4 @	9 16 in. O. C	2.	R-0	Nor	ne / None	0.277	Ca	iside Finish: wity / Frame	e: no i	
gistration Nu A Building Ene		/ Standarc	ls - 2022 Re	esidential (Compli	iance		Report V	/ersion:	te/Time: 2022.0.000 1: rev 20220				ERS Provide eport Gener	r:		
oject Name: culation De	F COMPLIA 3rd Street A scription: Ti DNING SYSTE	Addition itle 24 Ar		L PERFOR	MAN	CE COMPLI	ANCE M	IETHOD			/Time: 20. : 3rd Street						(Page 9 of 1
01	02		03	04 Heatin		05 Cooling Un		06 Cooling		07	08 Distribution	09 Requi	3. 633	10	11 Verifi	ed	12 Existing HV/A
Name	System Typ Heating and	e N	ing Unit Jame Pating	Equipme Count		Cooling Un Name Cooling	Eq	uipment Count	Fan	Name	Name Air	Thermo Typ		Status	Existi Condit		Existing HVA System
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AC - HEATING	UNIT TYPES	κ.	[02					03				04		
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Name Cooling	Nc	tem Type	Nur	nber of Ur	nts	Efficiency	vietric	EER/EEF	R2/CEEI		n/a		Controllec Zonal	Com	pressor	HE	RS Verification
Component	1 No	Cooling		1				n,	/a		11/6	Not	Zonal		e Speed		n/a

Registration Number:

Registration Date/Time: Report Version: 2022.0.000

Schema Version: rev 20220901

HERS Provider: Report Generated: 2023-01-16 08:43:35



CA Building Energy Efficiency Standards - 2022 Residential Compliance



Project Name	a: 3rd Street A	ddition							Calculation Date/Time: 2023-01-16T08							
Calculation D	escription: Ti	tle 24 Analysi	5						Input	File Name: 3rd	d Street Addit	ion (70				
hvac - Distri	BUTION SYSTEI	vis														
01	02	03	04	05	06	07	08	09	10	11	12	1				
Name	Туре	Design Type	Duct R-va	t Ins. alue		ict ition	Surfac	e Area	Bypass Duct	Duct Leakage	HERS	Sta				
Name	Туре	Design Type	Suppl Y	Retur n	Suppl y	Retur n	Suppl y	Retur n	bypuss bucc	Duct Leakage	Verification	510				
Air Distribution System 1	Unconditio ned attic	Non- Verified	R-6	R-6	Atti c	Atti c	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hers-dist	Exist Ne				
HVAC - FAN SY	STEMS															
	(01			1			02			03	;				
	Na	ime						Туре			Fan Power (V	Vatts/C				
Name HVAC Fan 1						HVAC Fan					0.58					

Registration Number:

Registration Date/Time: Report Version: 2022.0.000

Schema Version: rev 20220901

2022 Single-Family Residential Mandatory Requirements Summary

CA Building Energy Efficiency Standards - 2022 Residential Compliance

STORE CHEMIN

ference Residential Appendix RA3.3.*

§ 150.0(m) 13:

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air

cooling capacity, and an air-handling unit fan efficacy \leq 0.62 watts per CFM. Field verification testing is required in accordance with

handlers and ≤ 0.58 watts per CFM for all others. Smal duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal

	2022 Single-Family Resident
§ 150.0(m) 13:	Space Conditioning System Airflow Rate and Far a hole for the placement of a static pressure probe, be ≥ 350 CFM per ton of nominal cooling capacity, a handlers and ≤ 0.58 watts per CFM for all others. Sr cooling capacity, and an air-handling unit fan efficac Reference Residential Appendix RA3.3.*

§ 150.0(o) 1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o) 1. *
§ 150.0 (o) 1B:	Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole- dwelling unit ventilation airflow required per §150.0(o) 10. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed andcontrolled per §150.0(o) 1Bii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliarce with §150.0(o) 1C.
§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses . Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 1 50 0 (o) 1G:	Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust, nonenclosed kitchens must have demand- controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Gii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1⊢&I:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o) 1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by § 150.0(o) 1C.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o) 1G
ool and Spa Sys	stems and Equipment:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b) 1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built in or built up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.
_ighting:	
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
§ 150.0(k) 1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting nternal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.
150.0(k)1B:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0 (k) 1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.
§ 150.0(k) 1D:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k) 1E:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.
§ 150.0(k) 1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).

§ 150.0(o) 1:	Requirements for Ventilation and Indoor Air
3	Ventilation and Acceptable Indoor Air Quality in
§ 150.0(o) 1B:	Central Fan Integrated (CFI) Ventilation Sys
0	dwelling unit ventilation airflow required per §1 prevents all airflow through the space condition
	ventilation systems must have controls that tra
	compliance with §150.0(o) 1C.
	Whole-Dwelling Unit Mechanical Ventilation
§ 150.0 (o) 1C:	and attached dwelling units not sharing ceiling:
	spaces must have mechanical ventilation airfic
§ 150.0(o)1G:	Local Mechanical Exhaust. Kitchens and bat
	controlled exhaust system meeting requiremer
	continuous exhaust meeting §150.0(o)1Giii-iv.
	§150.0(o)1Gvi.*
§ 150.0(o)1⊢&I:	Airflow Measurement and Sound Ratings o
	be measured by using a flow hood, flow grid, c
	Residential Appendix RA3.7. Whole-Dwelling u
	minimum airflow rate required by §150.0(o) 1C
	Field Verification and Diagnostic Testing. V
§ 150.0(o)2:	and HRV and ERV fan efficacy must be verifie
	must be verified per Reference Residential Ap
	rates and sound requirements per §150.0(o) 10
ool and Spa Sv	stems and Equipment:
	Certification by Manufacturers. Any pool or s
§ 110.4(a):	with the Appliance Efficiency Regulations and
3 110.1(0).	the heater without adjusting the thermostat set
	use electric resistance heating.*
	Piping. Any pool or spa heating system or equ
§ 110.4(b) 1:	dedicated suction and return lines, or built in o
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a hea
§ 110.4(b)3:	Directional Inlets and Time Switches for Po
8 110.4(b)0.	switch that will allow all pumps to be set or pro
§ 110.5:	Pilot Light. Natural gas pool and spa heaters i
8 150 0 (5)	Pool Systems and Equipment Installation. F
§ 150.0(p):	sizing, flow rate, piping, filters, and valves.
ighting:	
	Lighting Controls and Components. All light
§ 110.9:	requirements of § 110.9.*
§ 150.0(k) 1A:	Luminaire Efficacy. All installed luminaires mu
5 ()	range hoods, bath vanity mirrors, and garage doo
	closets with an efficacy of at least 45 lumens per v
150.0(k)1B:	Screw based luminaires. Screw based lumina
	Recessed Downlight Luminaires in Ceilings
§ 150.0 (k) 1C:	and must be sealed with a gasket or caulk. Cali
	Light Sources in Enclosed or Recessed Lui
§ 150.0(k) 1D:	elevated temperature requirements, including
0.450.000.45	Blank Electrical Boxes. The number of electr
§ 150.0 (k) 1E:	luminaire or other device shall be no more that
	control, low voltage wiring, or fan speed contro
	Lighting Integral to Exhaust Fans. Lighting in
§ 150.0(k) 1F:	 hoods) must meet the applicable requirements

5/6/22

				Building Enve	lope:
				§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and ext less when tested per NFRC-400, ASTM E283, or AAMA/WDMA
				§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a Field fabricated exterior doors and fenestration products mu
				§ 110.6(b):	Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must Air Leakage. All joints, penetrations, and other openings in the b
				<u>§110.7:</u>	caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be
				§ 110.8(a):	Goods and Services (BHGS). Insulation Requirements for Heated Slab Floors. Heated slab
				<u>§1108(g):</u> §1108():	Roofing Products Solar Reflectance and Thermal Emittance
				125. 909	roofing material must meet the requirements of § 110.8(i) and be on the CF1R.
	CERTIFICATE OF COMPLIANCE - RESIDENTIAL	PERFORMANCE COMPLIANCE METHOD		§1108():	Radiant Barrier. When required, radiant barriers must have an Affairs
:43:10-08:00 (Page 10 of 11) 01).ribd22x	Project Name: 3rd Street Addition Calculation Description: Title 24 Analysis		Calculation Date/Time: 2023-01-16T08:43:10-08:00 (Page Input File Name: 3rd Street Addition (701).ribd22x	11 of 11)	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in average U-factor not exceeding U-0.184. Ceiling and rafter roofs m U-factor must not exceed 0.043. Rafter roof alterations minimum
	DOCUMENTATION AUTHOR'S DECLARATION STATE	MENT		§ 150.0(a):	doors must have permanently attached insulation using adhesiv prevent air leakage. Insulation must be nstalled in direct contact
13 14 15 16	 I certify that this Certificate of Compliance docum Documentation Author Name: 	nentation is accurate and complete.	Documentation Author Signature:	§ 150 0(b):	as specified in § 110.7, including but not limited to placing insula Loose-fill Insulation. Loose fill insulation must meet the manufa
Verified Existing New Ducts	Timothy Carstairs, CEA, HERS,	GPR	Nordiste		Wall Insulation. Minimum R-13 insulation in 2x4 inch wood fran framing or have a U-factor of 0.071 or less. Opaque non-framed
atus Existing Distribution 25 ft Condition system	Company: Carstairs Energy Inc.		Signature Date: 1/16/2023	§ 150.0(c):	Masonry walls must meet Tables 150.1-A or B. *
	Address: 2238 Bayview Heights Drive Su	ita E	CEA/ HERS Certification Identification (If applicable): R19-06-2006	<u>§</u> 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised woo Slab Edge Insulation. Slab edge insulation must meet all of the
sting + No No No	City/State/Zip:		Phone:	§ 150.0(f):	without facings, no greater than 0.3 percent; have a water va physical damage and UV light deterioration; and, when installed
	Los Osos, CA 93402 RESPONSIBLE PERSON'S DECLARATION STATEMENT	ſ	805-904-9048	§ 150.0(g)1	Vapor Retarder. In climate zones 1 through 16, the earth floor o vapor retarder. This requirement also applies to control ed ventil
04	I certify the following under penalty of perjury, under the 1. I am eligible under Division 3 of the Business a		e building design identified on this Certificate of Compliance.		§150.0(d). Vapor Retarder. In climate zones 14 and 16, a Class For Class
CFM) Name	3. The building design features or system design	features identified on this Certificate of Compliance	compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regu e are consistent with the information provided on other appicable compliance documents, workshe		all insulation in all exterior walls, vented attics, and unvented att Fenestration Products. Fenestration, including skylights, separa
n/a	Responsible Designer Name:	d to the enforcement agency for approval with this	s building permit application. Responsible Designer Sigrature:	0 18	a maximum U-factor of 0.45; or area-weighted average U-factor corative Gas Appliances, and Gas Log:
	Alex Valles		Date Signed:	§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for
	South Bay Design		Date Jonet.	<u>§ 150.0(e)1</u>	Closable Doors. Masonry or factory-built fireplaces must have a Combustion Intake. Masonry or factory-built fireplaces must ha
	Address: PO Box 339		License:	§ 150.0(e)2: § 150.0(e)3:	area and is equipped with a readily accessible, operable, and tig Flue Damper. Masonry or factory-built fireplaces must have a flu
	City/State/Zip:		Phone:		oning, Water Heating, and Plumbing System:
	San Juan Bautista, CA 95045		831-207-9677	§ 110.0-§ 110	(3) Certification. Heating, ventilation, and air conditioning (HVAC) of regulated appliances must be certified by the manufacturer to the regulated appliances.
				<u>§ 110.2(a):</u>	HVAC Efficiency. Equipment must meet the applicable efficience Controls for Heat Pumps with Supplementary Electric Resis
				§ 110.2(b):	heaters must have controls that prevent supplementary heater o and in which the cut-on temperature for compression heating is
				2 375/23 3	the cut-off temperature for compression heating is higher than the Thermostats. All heating or cooling systems not controlled by a
				§ 110.2(c):	setback Ihermostat. [*] Insulation. Unfired service water heater storage tanks and sola
				_§ 110.3(c)3:	surface heat loss rating. Isolation Valves. Instantaneous water heaters with an input rati
HERS Provider:	Registration Number:	Registr	ation Date/Time: HERS Provider:	§ 110.3(c)6:	hose bibbs or other fittings on both cold and hot water lines to a
Report Generated: 2023-01-16 08:43:35	CA Building Energy Efficiency Standards - 2022 Res	sector sector and the sector sec	Version: 2022.0.000 Report Generated: 2023-01-16 08: a Version: rev 20220901	^{13:35} 5/6/22	
		Schem			
idential Mandatory Requirements Summa	ry 🧑	2022 Single-Family	Residential Mandatory Requirements Summary		2022 Single-Family Residential Man
	§ 150.0 (k) 10	: Screw based luminaires Screw base	ed luminaires must contain lamps that comply with Reference Joint Appendix JA8, *	I PRATAVICAMITETA	Energy Storage System (ESS) Ready. All single-family resident
and Fan Efficacy. Space conditioning systems that use ducts to s probe, or a permanently installed static pressure probe in the sup	supply cooling must have	Light Sources in Enclosed or Reces	seed Luminaires. Lamps and other separable light sources that are not compliant with the cluding marking requirements, must not be installed in enclosed or recessed luminaires.		equipment with backed up capacity of 60 amps or more and four main service to a subpanel that supplies the branch circuits in §
acity, and an air-handling unit fan efficacy≤0.45 watts per OFM f iers. Smal duct high velocity systems must provide an ai∘flow≥2!	for gas furnace air	Source and a set of a	country marking requirements, must not be instance in enclosed or recessed duminances.		source collocated at a single panelboard suitable to be supplied t near the primary exit, and one circuit supplying a sleeping room r
efficacy \leq 0.62 watts per CFM. Field verification testing is require	d in accordance with § 150.0(k) 11	to comply with Table 150.0-A or be co	infolled by vacancy sensors provided that they are rated to consume no more than 5 wat , and are equipped with controls that automatically turn the lighting off when the drawer.	s of	225 amps; sufficient space must be reserved to allow future insta panelboard, with raceways installed between the panelboard and
	§ 150.0(k)2#	linen closet is closed.	orward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.	§ 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propar unobstructed 240V branch circuit wiring installed within 3' of the
	§ 150.0(k)2E		aust fans must be controlled separately from lighting systems. *		identified as "240V ready," and a reserved main electrical service permanently marked as "For Future 240V use."
${\rm ir}$ Quality. All dwelling units must meet the requirements of ASHF in Residential Buildings subject to the amendments specified in §		Accessible Controls. Lighting must h on and off. *	nave readily accessible wall-mounted controls that allow the lighting to be manually turned	§ 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cookto 240V branch circuit wiring installed within 3' of the cook op with c
rstems. Continuous operation of CFI air handlers is not allowed to 150.0(o) 10. A motorized damper(s) must be installed on the vention.	ilation duct(s) that § 150.0(k)2E	Multiple Controls. Controls must not to comply with § 150.0(k).	bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor i	s installed	"240V ready," and a reserved main electrical service panel space marked as "For Future 240V use."
oning duct system when the damper(s) is closed andcontrolled pe ack outdoor air ventilation run time, and either open or close the r			ontrols must comply with the applicable requirements of § 110.9. ns. An energy management control system (EMCS) may be used to comply with dimming	§ 150.0(v)	Electric Clothes Dryer Ready. Clothes dryer locations with gas dedicatec unobstructed 240V branch circuit wiring installed within
on for Single-Family Detached and townhouses . Single-family			it provides the functionality of the specified control per § 110.9 and the physical controls		the blank cover identified as "240V ready;" and a reserved main circuit breaker permanently marked as "For Future 240V use."
gs or floors with other dwelling units, occupiable spaces, public ga low specified in § 150.0(o)1Ci-iii.	§ 150.0(k)28		ooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed lur • vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabine	1 C C C C C C C C C C C C C C C C C C C	nay apply.
athrooms must have local mechanical exhaust; nonenclosed kitche ents of§150.0(o)1Giii,enclosed kitchens and bathrooms can use c	lemand-controlled or	Dimmers. Lighting in habitable spaces	irols that turn the light off when the drawer or door is closed. : (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible		20 11 C
 Airflow must be measured by the installer per §150.0(o)1Gv, and 		sources in these spaces must comply v			
of Whole-Dwelling Unit Ventilation Systems. The airflow requin or other airflow measuring device at the fan's inlet or outlet termin	nals/grilles per Reference	shelves, lighting in display cabinets, and	ting of exhaust fans shall be controlled independently from the fans. Lighting under cabin i switched outlets must be controlled separately from ceiling installed lighting.		
unit ventilation systems must be rated for sound per ASHRAE 62 D	§ 150.0(k)3/	A: other buildings on the same lot, must h	ngle-family residential buildings, outdoor lighting permanently mounted to a residential bu nave a manual on/off switch and either a photocell and motion sensor or automatic time s	witch	
Whole-Dwelling Unit ventilation airflow, vented range hood airflow ed in accordance with Reference Residential Appendix RA3.7. Ve		applicable requirements may be used t			
ppendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to com IG	ply with the airflow § 150.0(k)4:	watts of power.	. Internally illuminated address signs must either comply with § 140.8 or consume no more re Vehicles. Lighting for residential parking garages for eight or more vehicles must com		
spa heating system or equipment must be certified to have all of the	§ 150.0(k)5:	applicable requirements for nonresiden	tial garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.	ny white is	
I listing in MAEDbS; an on-off switch mounted outside of the heat ting; a permanent weatherproof plate or card with operating instr	er that allows shutting off	Single-family Residences. Single-fam	ily residences located in subdivisions with 10 or more single-family residences and wher	e the	
upment must be installed with at least 36 inches of pipe between	3110.10(0)	which do not have a photovoltaic syste	nap for the residences has been deemed complete and approved by the enforcement age in installed, must comply with the requirements of § 110.10(b)-(e).		
or built up connections to allow for future solar heating.		access, pathway, smoke ventilation, an	zone must have a minimum total area as described below. The solar zone must comply id spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any of on. The solar zone total area must be comprised of areas that have no dimension less		
ools. Pools must have directional inlets that adequately mix the programmed to run only during off-peak electric demand periods.	col water, and a time §110.10(b)1	feet and are no less than 80 square fee	et each for buildings with roof areas less than or equal to 10,000 square feet or no less th f areas greater than 10,000 square feet. For single-family residences, the solar zone mu	an 160	
must not have a continuously burning pilot light.		and the product for a state of the second for a second for the sec	building and have a total area no less than 250 square feet.*		
Residential pool systems or equipment must meet the specified re	§ 110.10(b)2		located on steep-sloped roofs must have an azimuth between 90-300° of true north. Iain any obstructions, including but not limited to: vents, chimneys, architectural features,	and roof	
			a n'any obstractions, molading bat not innited to: vents, chinnitelys, alchitectara leatales,		
nting control devices and systems, ballasts, and luminaires must n	neet the applicable	A: mounted equipment.	roof or any other part of the building that projects above a solar zone must be located at least	wice the	
	neet the applicable § 110.10(b)	 A: mounted equipment. Shading. Any obstruction located on the B: horizontal distance of the height difference solar zone, measured in the vertical plane 		nt of the	
nust meet the requirements in Table 150.0-A, except lighting integra	l to exhaust fans, kitchen	 A: mounted equipment. Shading. Any obstruction located on the horizontal distance of the height difference solar zone, measured in the vertical plane Structural Design Loads on Constru- tion for dead load and roof live load must be 	e between the highest point of the obstruction and the horizontal projection of the nearest poi e.* etion Documents. For areas of the roof designated as a solar zone, the structural design be clearly indicated on the construction documents.	t of the	
nust meet the requirements in Table 150.0-A, except lighting integra or openers; navigation lighting less than 5 watts; and lighting internal to watt. naires must contain lamps that comply with Reference Joint Apper	Ito exhaust fans, kitchen § 110.10(b)3 drawers, cabinets, and linen § 110.10(b)4 ndix JA8.* \$ 110.10(c)	 A: mounted equipment. Shading. Any obstruction located on the horizontal distance of the height difference solar zone, measured in the vertical plane Structural Design Loads on Constru- roof dead load and roof live load must be Interconnection Pathways. The cons pathway reserved for routing of conduit 	e between the highest point of the obstruction and the horizontal projection of the nearest poi e. * etion Documents. For areas of the roof designated as a solar zone, the structural design be clearly indicated on the construction documents. truction documents must indicate: a location reserved for inverters and metering equipme from the solar zone to the point of interconnection with the electrical service; and for sing	it of the loads for ent and a le-family	
nust meet the requirements in Table 150.0-A, except lighting integra or openers; navigation lighting less than 5 watts; and lighting internal to watt. naires must contain lamps that comply with Reference Joint Apper s. Luminaires recessed into ceilings must not contain screw based lifornia Electrical Code § 410.116 must also be met.	heet the applicable § 110.10(b)3 I to exhaust fans, kitchen § 110.10(b)3 drawers, cabinets, and linen § 110.10(b)4 ndix JA8.* § 110.10(c): d sockets, must be airtight, § 110.10(c):	A: mounted equipment. Shading. Any obstruction located on the horizontal distance of the height difference solar zone, measured in the vertical plane Structural Design Loads on Constru- roof dead load and roof live load must b Interconnection Pathways. The cons pathway reserved for routing of conduit residences and central water-heating s Documentation. A copy of the constru	e between the highest point of the obstruction and the horizontal projection of the nearest poi e.* etion Documents. For areas of the roof designated as a solar zone, the structural design be clearly indicated on the construction documents. truction documents must indicate: a location reserved for inverters and metering equipme	it of the loads for ent and a le-family system.	
nust meet the requirements in Table 150.0-A, except lighting integra or openers; navigation lighting less than 5 watts; and lighting internal to watt. naires must contain lamps that comply with Reference. Joint Appen s. Luminaires recessed into ceilings must not contain screw based lifornia Electrical Code § 410.116 must also be met. Iminaires. Lamps and other separable light sources that are not c marking requirements, must not be installed in enclosed or reces	neet the applicable § 110.10(b)3 I to exhaust fans, kitchen § 110.10(b)3 drawers, cabinets, and linen § 110.10(b)3 ndix JA8.* § 110.10(c): d sockets, must be airtight, § 110.10(d): sompliant with the JA8 § 110.10(d): seed luminaires. § 110.10(d):	 A: mounted equipment. Shading. Any obstruction located on the horizontal distance of the height difference solar zone, measured in the vertical plane. Structural Design Loads on Construit. Food dead load and roof live load must be interconnection Pathways. The const pathway reserved for routing of conduit residences and central water-heating structures and central water-heating structures of the occupant. 	e between the highest point of the obstruction and the horizontal projection of the nearest poi e. * etion Documents. For areas of the roof designated as a solar zone, the structural design be clearly indicated on the construction documents. truction documents must indicate: a location reserved for inverters and metering equipment from the solar zone to the point of interconnection with the electrical service; and for sing stems, a pathway reserved for routing plumbing from the solar zone to the water-heating	it of the loads for ent and a le-family system.	
nting control devices and systems, ballasts, and luminaires must m nust meet the requirements in Table 150.0-A, except lighting integra or openers; navigation lighting less than 5 watts; and lighting internal to watt. naires must contain lamps that comply with Reference Joint Apper gs. Luminaires recessed into ceilings must not contain screw based lifornia Electrical Code § 410.116 must also be met. uminaires. Lamps and other separable light sources that are not o gmarking requirements, must not be installed in enclosed or reces trical boxes that are more than five feet above the finished floor ar an the number of bedrooms. These boxes must be served by a dii rol	neet the applicable § 110.10(b)3 I to exhaust fans, kitchen § 110.10(b)3 drawers, cabinets, and linen § 110.10(b)3 ndix JA8.* § 110.10(c): d sockets, must be airtight, § 110.10(d): sompliant with the JA8 § 110.10(d): seed luminaires. § 110.10(e):	 A: mounted equipment. Shading. Any obstruction located on the horizontal distance of the height difference solar zone, measured in the vertical plane. Structural Design Loads on Constrution for the dead load and roof live load must be interconnection Pathways. The construction pathway reserved for routing of conduit residences and central water-heating since the occupant. Main Electrical Service Panel. The minimum service is particular and service panel. The minimum service is particular provided to the occupant. 	e between the highest point of the obstruction and the horizontal projection of the nearest poi e." etion Documents. For areas of the roof designated as a solar zone, the structural design be clearly indicated on the construction documents. Irruction documents must indicate: a location reserved for inverters and metering equipment from the solar zone to the point of interconnection with the electrical service; and for sing systems, a pathway reserved for routing plumbing from the solar zone to the water-heating clion documents or a comparable document indicating the information from § 110.10(b)-(it of the loads for ent and a le-family system. c) must be	

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMAWDMA/CSA 101/LS2/A440-2011.* Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111 (a). Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA45 for exterior doors. They must be caulked and/or weather-stripped. Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked and/or advelope that are potential sources of air leakage must be caulked and/or weather-stripped. caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS). Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).

Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8() and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R. Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer

Affairs.
Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted
Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted a average U-factor not exceeding U0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102 Masonry walls must meet Tables 150.1-A or B. \degree

Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.
Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g). **Vapor Retarder**. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class I vapor retarder. This requirement also applies to control ed ventilation crawl space for buildings complying with the exception to

 St50.0(d).
 Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
 Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. , Decorative Gas Appliances, and Gas Log:

Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox. Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches area and is equipped with a readily accessible, operable, and light-fitting damper or combustion-air control device. Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.* ditioning, Water Heating, and Plumbing System:

 Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission. HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.* Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut on temperature for compression heating is higher than the cut on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback lhermostat. Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kEtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

2022 Single-Family Residential Mandatory Requirements Summary

Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS suppliec branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system iso alion equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cook top with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicatec unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service pane space to allow for the installation of a double pole

(04/2022)



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON. PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL	Y N/A RESPON. PARTY	4.106.4.2 New multifam When parking is provider requirements of Sections whole number. A parking
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		space shall count as at le applicable minimum park for further details.
	301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		4.106.4.2.1Multifamily d than 20 sleeping units of The number of dwelling u this section.
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		1.EV Capable. Te of parking facilities EVSE. Electrical lo system, including EVs at all required
	Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		The service panel for future EV charg
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		Exceptions: 1.When EV cha of EV capable :
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		2.When EV cha spaces, the EV chargers Notes: a.Construction future EV charg
	SECTION 302 MIXED OCCUPANCY BUILDINGS		b.There is no re EV chargers ar
	 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. Exceptions: [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. [HCD] For proceeding of CAL Creater building building with Spectra 440 of the California. 		2.EV Ready . Twer Level 2 EV chargir dwelling unit when Exception: Areas c
	 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN 		4.106.4.2.2 Multifamily sleeping units or guest The number of dwelling u
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission		this section. 1.EV Capable . Te of parking facilities
	DSA-SSDivision of the State Architect, Structural SafetyOSHPDOffice of Statewide Health Planning and DevelopmentLRLow RiseHRHigh Rise		EVSE. Electrical lo system, including a EVs at all required
	AA Additions and Alterations N New CHAPTER 4		The service panel for future EV charg Exception: Whe parking spaces
	RESIDENTIAL MANDATORY MEASURES		reduced by a n Notes:
	SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)		a.Construction b.There is no re EV chargers ar
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.		2.EV Ready. Twee Level 2 EV chargir
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.		dwelling unit when Exception: Area
	 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 		3.EV Chargers. Fi Where common us area and shall be
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.		When low power L an automatic load capacity to each s shall have sufficier served by the ALN have a capacity of capacity to the req
	 Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 		4.106.4.2.2.1 Electric Electric vehicle chargi
	 Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 		Exception: Electric v shall not be required requirements.
	(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will		4.106.4.2.2.1.1 Locat EVCS shall comply w 1.The charging s
	manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:		the California Bu 2.The charging s
	 Swales Water collection and disposal systems French drains Water retention gardens 		Chapter 2, to the Exception: Electr Building Code, C
	 Other water measures which keep surface water away from buildings and aid in groundwater recharge. 		4.106.4.2.2.1.2, 4.106.4.2.2.1.2 Elect
	 Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply 		The charging space
	equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625. Exceptions:		2.The minimum wid 3.One in every 25 cl
	1. On a case-by-case basis, where the local enforcing agency has determined EV charging and		aisle. A 5-foot (1524) 12 feet (3658 mm).
	infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.		
	1.1 Where there is no local utility power supply or the local utility is unable to supply adequate		percent slope) in an 4.106.4.2.2.1.3 Access In addition to the required comply with the access
<u> </u>	 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit 		 a.Surface slope for the percent slope) in any encoded statement slope slope
	 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 		 percent slope) in any 4.106.4.2.2.1.3 Access In addition to the required comply with the access spaces and EVCS in a 1109A. 4.106.4.2.3 EV space and EVCS in a space spa

AL

			_	J	
u dwallings batals and matals and new residential nerking facilities	Y	N/A	RESPON. PARTY	Exception: A raceway is not required if a minimum installed in close proximity to the location or the pr construction in accordance with the California Elec	oposed location of the EV space at the time of o
y dwellings, hotels and motels and new residential parking facilities. parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest space served by electric vehicle supply equipment or designed as a future EV charging				4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall iden future EV charging purposes as "EV CAPABLE" in accor	
ast one standard automobile parking space only for the purpose of complying with any ng space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2				4.106.4.2.5 Electric Vehicle Ready Space Signage . Electric vehicle ready spaces shall be identified by signate	ge or pavement markings, in compliance with C
evelopment projects with less than 20 dwelling units; and hotels and motels with less r guest rooms. hits, sleeping units or guest rooms shall be based on all buildings on a project site subject to				Traffic Operations Policy Directive 13-01 (Zero Emission successor(s).	
				4.106.4.3 Electric vehicle charging for additions and alte multifamily buildings. When new parking facilities are added, or electrical syste	ems or lighting of existing parking facilities are a
(10) percent of the total number of parking spaces on a building site, provided for all types shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ad calculations shall demonstrate that the electrical panel service capacity and electrical ny on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EV spaces at a minimum of 40 amperes.				altered and the work requires a building permit, ten (10) altered shall be electric vehicle charging spaces (EV spa Notes:	
r subpanel circuit directory shall identify the overcurrent protective device space(s) reserved ng purposes as "EV CAPABLE" in accordance with the California Electrical Code.				1.Construction documents are intended to demonstrate EV charging.2.There is no requirement for EV spaces to be construct	
gers (Level 2 EVSE) are installed in a number equal to or greater than the required number baces.				DIVISION 4.2 ENERGY EFFICIE 4.201 GENERAL	
gers (Level 2 EVSE) are installed in a number less than the required number of EV capable number of EV capable spaces required may be reduced by a number equal to the number of installed.				4.201.1 SCOPE. For the purposes of mandatory energy ef Commission will continue to adopt mandatory standard	S.
				4.303 INDOOR WATER USE	CY AND CONSERVATION
ocuments are intended to demonstrate the project's capability and capacity for facilitating ng.				4.303.1 WATER CONSERVING PLUMBING FIXTURES AN urinals) and fittings (faucets and showerheads) shall o and 4.303.4.4.	
quirement for EV spaces to be constructed or available until receptacles for EV charging or installed for use.				Note: All noncompliant plumbing fixtures in any reside plumbing fixtures. Plumbing fixture replacement	t is required prior to issuance of a certificate of t
y-five (25) percent of the total number of parking spaces shall be equipped with low power g receptacles. For multifamily parking facilities, no more than one receptacle is required per more than one parking space is provided for use by a single dwelling unit.				completion, certificate of occupancy, or final pe Code Section 1101.1, et seq., for the definition buildings affected and other important enactme	of a noncompliant plumbing fixture, types of res
parking facilities served by parking lifts.				4.303.1.1 Water Closets. The effective flush volume flush. Tank-type water closets shall be certified to the Specification for Tank-type Toilets.	
evelopment projects with 20 or more dwelling units, hotels and motels with 20 or more rooms. hits, sleeping units or guest rooms shall be based on all buildings on a project site subject to				Note : The effective flush volume of dual flush to ftwo reduced flushes and one full flush.	toilets is defined as the composite, average flus
(10) percent of the total number of parking spaces on a building site, provided for all types shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2				4.303.1.2 Urinals. The effective flush volume of wal The effective flush volume of all other urinals shall no	
and calculations shall demonstrate that the electrical panel service capacity and electrical ny on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EV spaces at a minimum of 40 amperes.				4.303.1.3 Showerheads.	
r subpanel circuit directory shall identify the overcurrent protective device space(s) reserved ng purposes as "EV CAPABLE" in accordance with the California Electrical Code.				4.303.1.3.1 Single Showerhead. Showerhea gallons per minute at 80 psi. Showerheads sha WaterSense Specification for Showerheads.	
n EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of equired by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be mber equal to the number of EV chargers installed over the five (5) percent required.				4.303.1.3.2 Multiple showerheads serving on showerhead, the combined flow rate of all the s a single valve shall not exceed 1.8 gallons per allow one shower outlet to be in operation at a	showerheads and/or other shower outlets contro minute at 80 psi, or the shower shall be designed
ocuments shall show locations of future EV spaces.				Note : A hand-held shower shall be cons	idered a showerhead.
uirement for EV spaces to be constructed or available until receptacles for EV charging or installed for use.				4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. T	
ty-five (25) percent of the total number of parking spaces shall be equipped with low power g receptacles. For multifamily parking facilities, no more than one receptacle is required per more than one parking space is provided for use by a single dwelling unit.				not exceed 1.2 gallons per minute at 60 psi. The not be less than 0.8 gallons per minute at 20 ps 4.303.1.4.2 Lavatory Faucets in Common ar	si. Ind Public Use Areas. The maximum flow rate
s of parking facilities served by parking lifts.				faucets installed in common and public use are buildings shall not exceed 0.5 gallons per minu	te at 60 psi.
e (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. e parking is provided, at least one EV charger shall be located in the common use parking vailable for use by all residents or guests.				4.303.1.4.3 Metering Faucets. Metering fauc more than 0.2 gallons per cycle.	
evel 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, nanagement system (ALMS) may be used to reduce the maximum required electrical				4.303.1.4.4 Kitchen Faucets. The maximum per minute at 60 psi. Kitchen faucets may temp to exceed 2.2 gallons per minute at 60 psi, and minute at 60 psi.	porarily increase the flow above the maximum ra
ace served by the ALMS. The electrical system and any on-site distribution transformers capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) S. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical ired EV capable spaces.				Note : Where complying faucets are unavailabl reduction.	e, aerators or other means may be used to ach
vehicle charging stations (EVCS). g stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.				4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in Efficiency Regulations), Sections 1605.1 (h)(4)	Table H-2, Section 1605.3 (h)(4)(A), and Section
hicle charging stations serving public accommodations, public housing, motels and hotels to comply with this section. See California Building Code, Chapter 11B, for applicable				(d)(7) and shall be equipped with an integral at FOR REFERENCE ONLY: The following table <i>Code of Regulations</i> , Title 20 (Appliance Efficien 1605.3 (h)(4)(A).	and code section have been reprinted from the
on. h at least one of the following options:				TABLE H-2	
ace shall be located adjacent to an accessible parking space meeting the requirements of ding Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.				STANDARDS FOR COMMERCIA	I PRE-RINSE SPRAY
ace shall be located on an accessible route, as defined in the California Building Code, building.				VALUES MANUFACTURED ON (
vehicle charging stations designed and constructed in compliance with the California apter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section em 3.				PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
c vehicle charging stations (EVCS) dimensions. shall be designed to comply with the following:				Product Class 1 ($\leq 5.0 \text{ ozf}$) Product Class 2 (> 5.0 ozf and $\leq 8.0 \text{ ozf}$)	1.00
h of each EV space shall be 18 feet (5486 mm).				Product Class 3 (> 8.0 ozf)	1.28
of each EV space shall be 9 feet (2743 mm). arging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum				Title 20 Section 1605.3 (h)(4)(A): Commercial p 1, 2006, shall have a minimum spray force of n	ot less than 4.0 ounces-force (ozf)[113 grams-fo
mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is				4.303.2 Submeters for multifamily buildings and dwellin buildings. Submeters shall be installed to measure water usage California Plumbing Code.	-
is EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 direction.				4.303.3 Standards for plumbing fixtures and fittings. Plu accordance with the <i>California Plumbing Code</i> , and shall me	
sible EV spaces. rements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall sibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready nultifamily developments shall comply with California Building Code, Chapter 11A, Section				1701.1 of the <i>California Plumbing Code</i> . NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4	
requirements. Jired. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch				CONVENIENCE FOR THE USER.	
all not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall ervice or subpanel and shall terminate into a listed cabinet, box or enclosure in close or or the proposed location of the EV space. Construction documents shall identify the				FIXTURE TYPE	FLOW RATE
bint, receptacle or charger location, as applicable. The service panel and/ or subpanel shall imum dedicated branch circuit, including branch circuit overcurrent protective device device deserved to permit installation of a branch circuit overcurrent protective device.				SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @
r is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is imity to the location or the proposed location of the EV space, at the time of original				LAVATORY FAUCETS (RESIDENTIAL)	0.5 GPM @ 60 PSI
dance with the California Electrical Code. equired. Construction documents shall indicate the raceway termination point and the				USE AREAS KITCHEN FAUCETS	1.8 GPM @ 60 PSI
future EV spaces, receptacles or EV chargers. Construction documents shall also provide ge of installed or future receptacles or EVSE, raceway method(s), wiring schematics and ons. Plan design shall be based upon a 40-ampere minimum branch circuit. Required				METERING FAUCETS WATER CLOSET	0.2 GAL/CYCLE 1.28 GAL/FLUSH
components that are planned to be installed underground, enclosed, inaccessible or in paces shall be installed at the time of original construction.				URINALS	0.125 GAL/FLUSH

URINALS UNCLOSE OF THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

Y	=	YES
N/A	=	NOT APPLICABLE
RESPON. PARTY	=	RESPONSIBLE PARTY (ie: ARCHITE
		OWNER, CONTRACTOR, INSPECTO
		N/A =

	-	RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)
cuit is iginal	Y N/A RESPON. PARTY	
		4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with
served for		a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
ltrans		NOTES:
		 The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are
		available at: https://www.water.ca.gov/
ded or ded or		DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE
		EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
		4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such
ng future		openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
or use.		4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
		4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste
ergy		management ordinance.
		Exceptions:
		 Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably
and 03.1.3,		close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated
opoonling		jobsites are located in areas beyond the haul boundaries of the diversion facility.
onserving nal ee Civil		4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
lential		1. Identify the construction and demolition waste materials to be diverted from disposal by recycling,
s per		reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or
se		bulk mixed (single stream).3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
volume		 Identify construction methods employed to reduce the amount of construction and demolition waste generated.
per flush.		Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
		4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and
nan 1.8		demolition waste material diverted from the landfill complies with Section 4.408.1.
J.S. EPA		Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
nan one ed by		4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4
to only		lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
		4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds
		per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
cets shall ets shall		4.408.5 DOCUMENTATION . Documentation shall be provided to the enforcing agency which demonstrates
f lavatory		compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4 Notes :
dential		1. Sample forms found in "A Guide to the California Green Building Standards Code
ot deliver		(Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
gallons		 Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).
te, but not ns per		4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact
ve		disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
		 Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
liance		 Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems,
1607		photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
California ion		 b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems.
		e. Water reuse systems.3. Information from local utility, water and waste recovery providers on methods to further reduce
		resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent
		 Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve
		water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5
		feet away from the foundation.8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
		 Information about state solar energy and incentive programs available. A copy of all special inspections verifications required by the enforcing agency or this code.
		 Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
		 Information and/or drawings identifying the location of grab bar reinforcements. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a
anuary ce(gf)]		building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper,
		corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
with the		Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of
		this section.
		DIVISION 4.5 ENVIRONMENTAL QUALITY
		SECTION 4.501 GENERAL
		4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous,
		irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS
		5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)
20		AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door
		cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and
		medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated
		wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.
		DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change compound to the "Base Reactive Organic Gas (ROG) Mixture" per weigh hundredths of a gram (g O ³ /g ROC).	ht of compound added, express	ed to		-
	Note: MIR values for individual compounds and hydrocarbon solvents an and 94701.	re specified in CCR, Title 17, Se	ections 94700		
	MOISTURE CONTENT. The weight of the water in wood expressed in page	ercentage of the weight of the	oven-dry wood.		
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for article. The PWMIR is the total product reactivity expressed to hundredth reactivity expressed to hundredth				
	product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 1	7, Section 94521 (a).			
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the ozone formation in the troposphere.	e potential, once emitted, to co	ntribute to		
	VOC. A volatile organic compound (VOC) broadly defined as a chemical with vapor pressures greater than 0.1 millimeters of mercury at room ten				
	hydrogen and may contain oxygen, nitrogen and other elements. See CO				
	4.503 FIREPLACES 4.503.1 GENERAL . Any installed gas fireplace shall be a direct-vent set woodstove or pellet stove shall comply with U.S. EPA New Source Performance Perfo				
	applicable, and shall have a permanent label indicating they are certified pellet stoves and fireplaces shall also comply with applicable local ordina	to meet the emission limits. V			
	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECH		G		
	CONSTRUCTION. At the time of rough installation, during storage on the startup of the heating, cooling and ventilating equipment, all duct and other startup of the heating.	ne construction site and until fin	al		
	openings shall be covered with tape, plastic, sheet metal or other method reduce the amount of water, dust or debris which may enter the system.		agency to		
	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials	shall comply with this section.			
	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant requirements of the following standards unless more stringent local monogeneant district rules entry.				
	management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers	s, sealants, sealant nrimers and	caulks		
	shall comply with local or regional air pollution control o applicable or SCAQMD Rule 1168 VOC limits, as show	r air quality management distri n in Table 4.504.1 or 4.504.2, a	t rules where as applicable.		
	Such products also shall comply with the Rule 1168 pro compounds (chloroform, ethylene dichloride, methylene tricloroethylene), except for aerosol products, as specifi	phibition on the use of certain to e chloride, perchloroethylene ar	xic		
	2. Aerosol adhesives, and smaller unit sizes of adhesives,	, and sealant or caulking compo			
	units of product, less packaging, which do not weigh mo than 16 fluid ounces) shall comply with statewide VOC	ore than 1 pound and do not co standards and other requireme	nsist of more nts, including		
	prohibitions on use of certain toxic compounds, of <i>Califo</i> commencing with section 94507.	ornia Code of Regulations, Title	: 17,		
	4.504.2.2 Paints and Coatings. Architectural paints and coatings the ARB Architectural Suggested Control Measure, as shown in T	able 4.504.3, unless more strin	gent local limits		
	apply. The VOC content limit for coatings that do not meet the de listed in Table 4.504.3 shall be determined by classifying the coati coating, based on its gloss, as defined in subsections 4.21, 4.36, a	ing as a Flat, Nonflat or Nonflat	-High Gloss		
	Board, Suggested Control Measure, and the corresponding Flat, N Table 4.504.3 shall apply.				
	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coating for POC in Section 94522(a)(2) and other requirements inc				
	Limits for ROC in Section 94522(a)(2) and other requirements, inc compounds and ozone depleting substances, in Sections 94522(e <i>Regulations</i> , Title 17, commencing with Section 94520; and in are	e)(1) and (f)(1) of California Cod	le of		
	Quality Management District additionally comply with the percent				
	8, Rule 49.	VOC by weight of product limits	of Regulation		
	4.504.2.4 Verification. Verification of compliance with this section	n shall be provided at the requ	-		
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023)

E 4.504.2 - SEALANT VOC LIMIT			
ater and Less Exempt Compounds in Grams per Liter)			
NTS	VOC LIMIT		
ECTURAL	250		
DECK	760		
MBRANE ROOF	300		
ΙΑΥ	250		
-PLY ROOF MEMBRANE	450		
	420		
NT PRIMERS			
ECTURAL			
-POROUS	250		
OUS	775		
ED BITUMINOUS	500		
DECK	760		
	750		

ARCHITECTURAL COATINGS2,3 GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEM				
COMPOUNDS				
COATING CATEGORY VOC LIMIT				
FLAT COATINGS	50			
NON-FLAT COATINGS	100			
NONFLAT-HIGH GLOSS COATINGS	150			
SPECIALTY COATINGS				
ALUMINUM ROOF COATINGS	400			
BASEMENT SPECIALTY COATINGS	400			
BITUMINOUS ROOF COATINGS	50			
BITUMINOUS ROOF PRIMERS	350			
BOND BREAKERS	350			
CONCRETE CURING COMPOUNDS	350			
CONCRETE/MASONRY SEALERS	100			
DRIVEWAY SEALERS	50			
DRY FOG COATINGS	150			
FAUX FINISHING COATINGS	350			
FIRE RESISTIVE COATINGS	350			
FLOOR COATINGS	100			
FORM-RELEASE COMPOUNDS	250			
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500			
	420			
INDUSTRIAL MAINTENANCE COATINGS	250			
LOW SOLIDS COATINGS1	120			
MAGNESITE CEMENT COATINGS	450			
MASTIC TEXTURE COATINGS	100			
METALLIC PIGMENTED COATINGS	500			
MULTICOLOR COATINGS	250			
PRETREATMENT WASH PRIMERS	420			
PRIMERS, SEALERS, & UNDERCOATERS	100			
REACTIVE PENETRATING SEALERS	350			
	250			
	50			
RUST PREVENTATIVE COATINGS	250			
SHELLACS				
CLEAR	730			
	550			
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100			
STAINS	250			
STONE CONSOLIDANTS	450			
SWIMMING POOL COATINGS	340			
TRAFFIC MARKING COATINGS	100			
TUB & TILE REFINISH COATINGS	420			
WATERPROOFING MEMBRANES	250			
WOOD COATINGS	275			
WOOD PRESERVATIVES	350			
ZINC-RICH PRIMERS	340			

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Y N/A RESPON		Y N/A RESPON.	RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEED OWNER, CONTRACTOR, INSPECTOR ETC.)
PARTY		PARTY	
	TABLE 4.504.5 - FORMALDEHYDE LIMITS		CHAPTER 7
	MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS
	PRODUCTCURRENT LIMITHARDWOOD PLYWOOD VENEER CORE0.05		702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or
	HARDWOOD PLYWOOD COMPOSITE CORE 0.05		certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC system
	PARTICLE BOARD0.09MEDIUM DENSITY FIBERBOARD0.11		Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs.
	THIN MEDIUM DENSITY FIBERBOARD ₂ 0.13		 Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
	1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL		 Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
	MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.		702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition the enforcing agency for the particular type of inspection or task to be performed.
	2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).		other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may considered by the enforcing agency when evaluating the qualifications of a special inspector:
	DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for		 Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade. Other programs acceptable to the enforcing agency.
	California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.		 Notes: 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate
	https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the		[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent sha
	California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)		employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance we this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from recognized state, national or international association, as determined by the local agency. The area of certification
	See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the
	 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 		project they are inspecting for compliance with this code.
	4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)		703 VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is n limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other
	See California Department of Public Health's website for certification programs and testing labs. hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified the appropriate section or identified applicable checklist.
	4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5		
	4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:		
	 Product certifications and specifications. Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 		
	4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i> .		
	4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.		
	 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following: 		
	 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. 		
	 3. A slab design specified by a licensed design professional. 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent shall be warfind in exempliance with the following: 		
	 moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 		
	 Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. 		
	Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.		
	4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:		
	 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. 		
	 a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) 		
	 Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>. 		
	 4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: 		
	 The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential 		
	Equipment Selection), or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.		

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE FULL CODE.

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	-

Y	=	YES
N/A	=	NOT A
RESPON. PARTY	=	RESPO

May 9, 2023

Phase Two Report for the Bill & Minnie German House (APN 002-100-025), San Juan Bautista, CA.

Executive Summary

The Bill and Minnie German House is located at 701 Third Street. In 2023 the property was evaluated for historical significance using San Juan Bautista's historic resources criteria and was found eligible for listing under Criterion C (Architecture) within the historic context theme of Economic Decline and Boom. The house was built circa 1907 by Rueben Lopez for his daughter Minnie. The historical evaluation (recorded on DPR523 A & B survey forms) states that, "The house at 701 Third Street is a good example of an early 20th century Folk style house that was built when San Juan Bautista was beginning to transition from a sleepy village to a wide-awake town with new residents and a new cement plant. It clearly contains the stylistic characteristics of the Folk style and has had few alterations since its construction, therefore retaining its integrity."

The survey form notes the following additions to the house and site:

- A one-bedroom extension was added across the rear elevation of the original house about 1935.
- An ADU was constructed in the backyard about 2005, replacing the former "casita" used by Rueben Lopez.



Figure 1: Front elevation of 701 Third Street.

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Bill and Minnie German House is 1907 (the approximate date of construction).

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Bill and Minnie German House is a good example of the Folk style. Its character-defining features include:

- Rectangular plan
- Side gable roof with extension
- Symmetrical facade
- Wood sash, double-hung windows
- Full width porch with simple supports

Proposed Project Description

The project will attach the existing residence (747 sq. ft) to the existing ADU (504 sq. ft.) with a hyphen connector (47 sq. ft.).

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Bill and Minnie German House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the proposed work on the Bill and Minnie German House is reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Bill and Minnie German House has been a single-family residence since it was constructed in 1907. The proposed project does not change the historic use of the house. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The hyphen connector will be located on the rear elevation of the historic house and will not impact any of the character-defining features of the house. Since the connector is located on the rear elevation spatial relationships will not be impacted. The proposed work is consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The rear extension was added to the historic house by Bill German about 1935. As stated in the initial evaluation, this type of extension was a very common addition to Folk style houses and created the distinctive saltbox profile. The extension has acquired significance in its own right and will be retained and preserved. The proposed work is consistent with Standard Four.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No work is planned for the historical section of the house therefore all distinctive materials and features will be preserved. This Standard is not applicable.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The project does not focus on repairing the historic house. This Standard is not applicable.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

No archeological resources have been located on the site. This Standard is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

A 47 sq. ft. hyphen connector will attach the historic building to the non-historic ADU. Preservation Brief 14¹ states, "One way to reduce the overall material loss when constructing a new addition is simply to keep the addition smaller in proportion to the size of the historic building. An often-successful way to accomplish this is by means of a hyphen or connector." The proposed connecting passageway between the historic structure and existing ADU will remove only a small portion of the historic wall.

The hyphen will be slightly visible from the public right-of-way (see Plan Sheet A3) however the connector will not compete in size, scale, or design with the historic structure.

Horizontal wood siding will be used for the connector's exterior walls. Per Standard Nine, the connector's exterior siding should be differentiated from the historic siding, which is also horizontal wood siding. This can be accomplished by using a siding that is slightly wider or narrower than the existing siding. If this differentiation is noted on the project plans, then the proposed work will be consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Since the connecting addition is relatively small, its future removal will not impair the essential form and integrity of the historic house. The proposed work is consistent with Standard Ten.

¹ Preservation Brief 14. *New Exterior Additions to Historic Buildings: Preservation Concerns*. National Park Service, August 2010.

Conclusion

The proposed project meets Standards One, Two, Four, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Five, Six, Seven, and Eight are not applicable. The proposed project will meet Standard Nine if the connector's horizontal wood siding is differentiated from the siding on the historic house.

Respectfully Submitted,

Margaret Clovis

Margaret Clovis

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HRI #		
PRIMARY RECO	JRD			tus Code	
	Other Listings Review Code			C	Date
Page 1 of 6	*Resource Name	e or #: (Assigned	d by record	er) Bill and N	/linnie German House
P1. Other Identifier: 701	Third Street				
*P2. Location: 🗌 Not for	Publication 🛛 Unrestr	icted	*a. Coui	n <mark>ty</mark> San Ber	nito
and (P2b and P2c or P2c	I. Attach a Location Map as	necessary)			
*b. USGS 7.5' Quad	Monterey Date 2012 T	;R ;	1⁄4 of	1/4 of Sec	; Mount Diablo B.M .
c. Address 701 Third	Street St. City San	Juan Bautista	Zip 95	5045	
d. UTM: (Give more th	an one for large and/or line	ar resources) Zo	ne ;	mE/	mN
e. Other Locational Da	ita: (e.g., parcel #, directio	ns to resource, e	evation, et	c., as appropria	ate)

APN 002-100-025

***P3a. Description**: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries) Built about 1907, the one-story, wood framed Folk style house located at 701 Third Street (APN 002-100-025) has a rectangular plan and horizontal wood siding. The side gabled roof with a back extension creates a saltbox profile. Composition shingles cover the roof. A full-width front porch with an extended roof is located on the front elevation. Four simple square posts support the porch roof. The porch itself is a raised concrete slab. The symmetrical façade has a central door with a multi-paned window in the upper half. It does not appear to be original. Single pane double-hung windows are located on either side of the door. Each window has faux louvred shutters as do the windows on the west elevation. The front yard has pavers surrounded by a Victorian style metal fence. A one-car garage with a non-original door is located in the backyard. An ADU was built in the backyard about 2005. It replaced a "casita" that was the home of Rueben Lopez and was built by his son-in-law about 1935. (cont. p. 3)

*P3b. Resource Attributes: (List attributes and codes) HP2, Single family residence

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Front Elevation, 04/2023 *P6. Date Constructed/Age and Sources: c. 1907 Historic Prehistoric Both Oral History *P7. Owner and Address: Jimenez 701 Third St. San Juan Bautista, CA 95045 *P8. Recorded by: (Name, affiliation, and address) Meg Clovis 14024 Reservation Rd. Salinas, CA 93908 *P9. Date Recorded: 04/2023 *P10. Survey Type: (Describe) Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") Galvan Reconnaissance Survey, 2006

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Other (List)

Page 2 of 6	*NRHP Status Code 5S2
*Resource N	ame or # (Assigned by recorder) Japanese School/Velasco House
31. Historic Name: Bill and Minnie Germa	an House
32. Common Name: Bill and Minnie Germ	nan House
B3. Original Use: Residence	B4. Present Use: Residence
B5. Architectural Style: Folk	
B6. Construction History: (Construction date, a Date of alterations unknown	Iteration, and date of alterations) Constructed c. 1907; rear bedroom addition;
B7. Moved? ⊠No □Yes □Unknown D	ate: Original Location:
B8. Related Features: ADU, detached garage	-
	b. Builder: Unknown
Bya. Architect: N/A	
	& Boom Area San Juan Bautista
B9a. Architect: N/A B10. Significance: Theme: Economic Decline Period of Significance: 1907 P	& Boom Area San Juan Bautista Property Type Building Applicable Criteria: SJB C

Primary #

Per local historians and Art Jones, the great grandson of Rueben Lopez, Rueben Lopez built both houses located at 609 and 701 Third Street for his daughters, Dena Marie (who lived at 609) and Minnie (who lived at 701). Both homes are visible on the 1908 Sanborn Map for San Juan Bautista. When constructed they were next door to the large Independent Lumber Company.

Rueben Lopez (1866-1957) was born in Aromas and worked as a farmer in San Benito County. He married Juanita Alvarado, and they had eight children, including Dena Marie and Minnie. Minnie married Bill German and they lived in the house at 701. Dena lived next door with her husband. After his wife's death in 1934, Rueben split his time between both houses but eventually moved into the "casita" that Bill built for him in their backyard. Bill made improvements to 701 including the one-bedroom addition at the rear.

The house at 701 was built during the same period of time that the cement plant opened (1906) which triggered a building boom in the town. It took its stylistic cues from earlier buildings while the newer Third Street residential neighborhoods adopted the Bungalow style.

B11. Additional Resource Attributes (List attributes and codes):
*B12. References:
HP Zoning Ordinance
Art Jones Remembrances
Cara Vonk Remembrances
National Register Bulletin 15
Galvan Assoc., 2006 SJB Context Statement & Survey
U.S. Census & Voter Registration Records
McAlester, Virginia. A Field Guide to American Houses. 2019
Lopez, Juanita. Obit. Gustine Standard, 7/5/1934.
B13. Remarks
*B14. Evaluator: Meg Clovis
*Date of Evaluation: 04/2023

State of California -- The Resources Agency

(This space reserved for official comments.)



P3a. Description (continued):

701 Third Street is a good example of the extended Hall-and-Parlor sub-style of the Folk style house. Character defining features include:

- Rectangular plan
- Side gable roof with extension
- Symmetrical façade
- Wood sash, double-hung windows
- Full width porch with simple supports



Figure 1: Front elevation



Figure 2: West elevation DPR 523L (1/95)

B10. Significance (continued):



Figure 3: Rueben Lopez sitting on the porch with his grandsons.

Evaluation for Significance

Historians use *National Register Bulletin 15*¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether or not a property is significant, it must be evaluated within its historic context and the City of San Juan Bautista's Historic Context Statement² provides this context. The City of San Juan Bautista's Historic Preservation Ordinance (Chapter 11-06) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources. Adopted eligibility criteria are modeled on the California Register's four criteria.

SJB Criterion A: the historic resource is associated with events that have made a significant contribution to the broad patterns of Federal, State, or local history and cultural heritage.

701 Third Street is not eligible under this criterion as no specific event led to the construction of this residence and no important event took place in the building.

SJB Criterion B: the historic resource is associated with lives of persons significant in our past.

Neither Rueben Lopez or Bill and Minnie German are listed as prominent people in San Juan Bautista's Historic Context Statement, and they did not make significant contributions within any theme in the Context Statement. The subject building is not eligible under Criterion B.

¹ *How to Apply the National Register Criteria for Evaluation.* National Park Service. 1998.

² Galvan Preservation Assoc. *Historic Context Statement: San Juan Bautista.* 2006. DPR 523L (1/95)

SJB Criterion C: the historic resource embodies the distinctive characteristics of a type, period, region, or method of construction, or that represents the work of an important creative individual, or that possesses high artistic values.

701 Third Street exhibits the distinctive characteristics of the Folk style of architecture. It was not constructed or designed by a master builder or architect. It does not possess high artistic values as the house does not express aesthetic ideals or design concepts. 701 Third Street is eligible for listing under the first part of Criterion C.

SJB Criterion D: the historic resource has yielded or may be likely to yield information important to prehistory and history.

This criterion is generally reserved for archeological sites. There is no evidence in the historical record that the building at 701 Third Street meets the eligibility requirements for Criterion D.



Figure 4: 1908 Sanborn Map showing 609 & 701 Third Street

Integrity

San Juan Bautista's Historic Preservation Ordinance defines **Integrity** as the authenticity of a historical resource's physical identity evidenced by the survival of characteristic's that existed during the resource's period of significance. Historical resources eligible for listing in the City of San Juan Bautista's Register of Historical Resources must retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association.

The house at

- Location: 701 Third Street is in the same location as its period of significance (1907).
- Design: the building was extended c. 1935 giving it a saltbox roof profile. Per McAlester, extensions on the Hall-and-Parlor subtype of Folk houses were very common and do not affect integrity. The residence still conveys the reason for its significance.

- **Setting**: 701 Third Street is still located in a residential setting.
- **Materials**: the majority of 701 Third Street's materials are intact such as the horizontal wood siding, porch posts, and window frames.
- Workmanship: 701 Third Street still reflects its original workmanship associated with a Folk style house.
- Feeling: the physical features that convey 701 Third Street's historic character are extant.
- Association: association is reserved for property's eligible for listing under criteria A or B.

<u>Summary</u>

To be eligible for listing in the San Juan Bautista Register of Historic Resources an individual resource must exemplify or reflect special elements of the City of San Juan Bautista's architectural, artistic, cultural, engineering, aesthetic, historical, archaeological, natural, geological, scientific, educational, political, social, military, and other cultural heritage and possesses integrity of location, design, setting, materials, workmanship, feeling and association; and must meet at least one of the aforementioned criteria (A – D).

The house at 701 Third Street is a good example of an early 20th century Folk style house that was built when San Juan Bautista was beginning to transition from a sleepy village to a wide-awake town with new residents and a new cement plant. It clearly contains the stylistic characteristics of the Folk style and has had few alterations since its construction, therefore retaining its integrity. 701 Third Street meets the eligibility requirements of Criterion C. In summary, *Bulletin 15,* the San Juan Bautista Context Statement, the San Juan Bautista Historic Preservation Ordinance, and the historical record support the conclusion that the house located at 701 Third Street is eligible for listing in the San Juan Bautista Register of Historic Resources.