



City of San Juan Bautista

The "City of History"

www.san-juan-bautista.ca.us

PLANNING COMMISSION REGULAR MEETING TUESDAY, JUNE 6, 2023, 6:00 P.M.

HYBRID MEETING

City Hall, Council Chambers
311 Second Street, San Juan Bautista, California

AGENDA

ZOOM WEBINAR PARTICIPATION

The meeting can also be accessed by the public in the following methods: Through Zoom (<https://zoom.us/join>) per the instruction stated below, and on Facebook.

JOIN ZOOM WEBINAR TO PARTICIPATE LIVE

<https://us02web.zoom.us/j/86357637623>

To participate telephonically:

call 1 (669) 900-6833

Webinar ID: 863 5763 7623

1. CALL TO ORDER

- A. Pledge of Allegiance
- B. Roll Call

2. GENERAL PUBLIC COMMENT

Public comments generally are limited to three minutes per speaker on items that are not on the agenda and are under the City's subject matter jurisdiction. The Chair may further limit the time for public comments depending on the agenda schedule.

SUBMISSION OF PUBLIC COMMENTS PROCEDURES

If you wish to make a general public comment and are attending in person, please fill out a speaker card. If you are attending via Zoom, join the Zoom Webinar, and use the "Raise Hand" or if joining by telephone, press *9 on your telephone keypad icon.

Written comments may be submitted via mail to the Deputy City Clerk at City Hall (P.O. Box 1420, San Juan Bautista, CA 95045), or emailed to deputycityclerk@san-juan-bautista.ca.us no later than 4:00 p.m. on the day of the meeting. Written comments will be read into the record provided that the reading does not exceed three (3) minutes.

3. INFORMAL PROJECT REVIEW

Any potential and/or future project applicant may present their project to the Commission during Informal Project Review for the purpose of gaining information as preliminary feedback only. No formal application is required, and no action will be taken by the Commission on any item at this time

4. CONSENT

All matters listed under the Consent Agenda may be enacted by one motion unless a member of the Planning Commission or the public requests discussion or a separate vote.

- A. Approve the Affidavit of Posting Agenda.
- B. Approve the Minutes of May 9, 2023

5. ACTION ITEMS

- A. Consider the recommendation of the Historic Resources Board and consider a Site and Design Review Permit to connect an existing 747 sq. ft. residence to an existing 504 sq. ft. Accessory Dwelling Unit with a 47 sq. ft. connection on property known as 701 Third Street (APN 002-330-009). The Applicant is Isaiah Jimenez.

Recommendation: Approve a Site Plan and Design Review Permit subject to conditions, and based on findings contained in the Resolution attached to the staff report dated June 6, 2023.

- B. Consider a Site and Design Review Permit for development of a two-story Duplex, each unit 1584 sq.ft. and two attached Accessory Dwelling Units (ADUs) on a 10,534 sq.ft. property known as 45 Washington Street (APN 002-410-024). The project has been determined to be Exempt from CEQA per Guideline Sections 15303; New construction of small structures. The Applicant is James Vocolka on behalf of Tyrone Todd;

Recommendation: Open the Public Hearing and Continue the Hearing Open at the request of the Applicant

- C. Consider the Recommendation of the Historic Resources Board to approve a Site and Design Review Permit for a 36"W x 16" high hanging sign in front of property known as 302 Third Street, (APN 002-160-013) The Applicant is Patricia Bains

Recommendation: Approve a Site and Design Review Permit to allow installation of a 36"W x 16"H hanging sign in front of 302 Third Street.

6. INFORMATIONAL AND DISCUSSION ITEMS

- A. Zoning Ordinance Review: workshop schedule and organization (material to be distributed prior to the meeting);
- B. Discussion of alternatives for outdoor uses in commercial and industrial districts: workshop schedule and organization (material to be distributed prior to the meeting);
- C. Comprehensive Economic Development Strategy; Economic Development Citizen Advisory Committee (EDCAC) report; Strategic Plan update and discussion. (material to be distributed prior to the meeting)

7. COMMENTS

- A. Planning Commissioners
- B. Community Development Director

8. ADJOURNMENT

AGENDA MATERIAL / ADDENDUM

Any addendums will be posted within 72 hours of regular meetings or 24 hours of special meetings, unless otherwise allowed under the Brown Act. City Council reports may be viewed at the City of San Juan Bautista City Hall at 311 Second Street San Juan Bautista, and are posted on the City website www.san-juan-bautista.ca.us subject to Staff's ability to post the documents before the meeting, or by emailing deputycityclerk@san-juan-bautista.ca.us or calling the Deputy Clerk (831) 623-4661 during normal business hours.

In compliance with the Americans with Disabilities Act, and Govt. Code 54953(e)(1)(A), the City will make reasonable arrangements to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the Deputy City Clerk a minimum of 48 hours prior to the meeting at (831) 623-4661.

PUBLIC NOTIFICATION

This agenda was posted on Friday, June 2, 2023, on the bulletin board at City Hall, 311 Second Street, the bulletin board at the City Library, 801 Second Street, the bulletin board at the entrance to the United States Post Office, 301 The Alameda, and the City's website.

Meetings are streamed live at <https://www.facebook.com/cityofsanjuanbautista/> and televised live on local Channel 17 on the date of the regularly scheduled meeting.

AFFIDAVIT OF POSTING

I, Elizabeth Soto, Do Now Declare, Under the Penalties of Perjury That I Am the Deputy City Clerk / Administrative Services Manager in The City of San Juan Bautista and That I Posted Three (3) True Copies of the attached Planning Commission Agenda. I Further Declare That I Posted Said Agenda on the 2nd day of June 2023, and in the Following Locations in Said City of San Juan Bautista, County of San Benito, California.

1. On the Bulletin Board at City Hall, 311 Second Street.
2. On the Bulletin Board at The City Library, 801 Second Street.
3. On the Bulletin Board at The Entrance to The United States Post Office, 301 The Alameda

Signed at San Juan Bautista, County of San Benito, California, on the 2nd day of June 2023.



Elizabeth Soto
Deputy City Clerk / Administrative Services Manager

**CITY OF SAN JUAN BAUTISTA
PLANNING COMMISSION
UNOFFICIAL MEETING MINUTES
MAY 9, 2023**

This meeting is a continuation from Tuesday, May 2, 2023. Meeting was rescheduled due to technical difficulties.

- 1. CALL TO ORDER** – Chair Aranda called the meeting to order at 7:14 p.m. in the Council Chambers.

PLEDGE OF ALLEGIANCE

Commissioner Correia led the pledge of allegiance.

ROLL CALL

Present:

Commissioner Tony Correia
Commissioner Dan DeVries
Commissioner David Medeiros
Commissioner Mishele Newkirk-Smith
Chair Aranda

Absent:

Staff Present:

Don Reynolds, City Manager
Brian Foucht, ACM/Community Development Director
Robert Rathie, City Attorney
Elizabeth Soto, CMC, Deputy City Clerk

2. GENERAL PUBLIC COMMENT

Received public comment from the following member of the public:
Cara Denney

3. INFORMAL PROJECT REVIEW

No projects.

4. CONSENT

A. Approve the Affidavit of Posting Agenda.

No public comment received.

MOTION:

Upon motion by Commissioner Medeiros, and second by Commissioner Newkirk-Smith, the Affidavit of Posting was approved.

AYES: Commissioners: Correia, DeVries, Medeiros, Newkirk-Smith, and Chair Aranda. NOES: None; ABSTAIN: None; ABSENT: None. Motion Carried.

5. INFORMATIONAL AND DISCUSSION ITEMS

A. City Attorney - the role and responsibilities of Planning Commission members in providing information and assistance to the public regarding planning matters and topics of concern.

City Attorney Bob Rathie provided an overview of the roles and responsibilities of the Planning Commission members in providing information and assistance to the public regarding planning matter and topics of concerns. City Attorney sent out a Memo to the Planning Commissioners with a copy to the City Council. The memo was to help provide some general information and guidance regarding certain matters under the Planning Commission purview. City Attorney Rathie fielded questions from the Commissioners.

The following members of the public commented on the report:

Jackie Morris-Lopez

Cara Vonk

Fran Fitzharris

B. City Manager – presentation and discussion of Citygate program.

City Manager Don Reynolds provided an update on the Strategic Planning Session provided by Citygate. There will be a meeting on June 2, 2023 focusing on the General Plan/Strategic Plan, and on Saturday, June 3, 2023 there will be an innovation and communication training.

Chair Aranda encouraged the Planning Commissioners to attend.

No public comment received.

C. Topics and Schedule for Planning Commission Workshops.

Brian Foucht, Assistant City Manager/Community Development Director, announced that he would like to schedule a workshop of topics that are most important to the Planning Commissioners.

Commissioner Medeiros stated that he would like to see a list of important topics be brought forward for the Commission for review. Commissioner Medeiros asked it would be a good idea to add a link the agenda when referencing a code, rule or guide so that it can be easily accessed.

Chair Aranda and Commissioner Newkirk-Smith requested to see a list come of topics from Staff.

Commissioner DeVries asked what opportunity, if any, will the Planning Commission have, to discuss Municipal Code Section 11-04-030. Mr. Foucht responded that that item can be put on the Planning Commission agenda as a Study Session and as a Workshop.

No public comment received.

6. COMMENTS

A. Planning Commissioners

The Planning Commission directed Staff to hold a Special meeting, to recommend to the City Council the suspension of Ordinance 11-04-030.

Chair Aranda requested a report of all of the Ordinances and its legislative intent, in order to make sure the ordinances make sense with the current times and they align with the values and needs of the people of San Juan Bautista. Chair Aranda also requested an interim Third Street solution for after the parklets are to be removed. A report on trash storage around Fourth Street. A report on the sign Ordinance.

City Manager Reynolds explained that Ordinances establish Municipal Code and the Planning Commission could review Zoning Code.

Commissioner Correia requested a status report on projects in the city. Mr. Reynolds announced that there is a ‘Status Report’ on the city website of all permits issued.

Chair Aranda announced that there will be a customer service training in June>

The following members of the public commented on the report:
Fran Fitzharris

B. Community Development Director

No comments.

7. ADJOURNMENT

Motion to adjourned the meeting by Commissioner Medeiros, second by Commissioner Correia. All in favor. There being no further business, Chair Aranda adjourned the meeting at 9:14 p.m.

APPROVED:

Jose Aranda, Chair

ATTEST:

Elizabeth Soto, Deputy City Clerk



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE:

**SITE AND DESIGN REVIEW PERMIT
45 Washington Street (APN 002-410-024)**

MEETING DATE:

June 6, 2023

SUBMITTED BY:

Brian Foucht, Community Development Director

Recommended Action:

Staff recommends that the Planning Commission 1) Open the Public Hearing and 2) Continue the Public Hearing Open at the request of the Applicant.



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE: Consider a recommendation of the Historic Resources Board regarding a Site and Design Review Permit for sign permit for 302 Third Street (APN 002-160-130).

Iworq Permit No. 230

MEETING DATE: June 6, 2023

SUBMITTED BY: Brian Foucht, Community Development Director

RECOMMENDED ACTION(S): Staff recommends that:

The Planning Commission Approve a Site Plan and Design Review Permit for a hanging sign subject to conditions specified in the staff report dated June 6, 2023.

PROJECT DESCRIPTION:

The proposed sign is a simple metal sign, as depicted in the attachment within a wood frame, 36" x 16".

The proposed sign is consistent with the attached sign guidelines contained in Chapter 7.0 of the City's design guidelines, with respect to size, scale, appearance (simple and handcrafted, legibility, colors (sandstone background, beige frame, black lettering), materials (metal), and orientation (easily read by pedestrians)

ATTACHMENTS:

Planning Commission Resolution

RESOLUTION 2023-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE PLAN AND DESIGN REVIEW PERMIT FOR A SIGN PERMIT FOR A 36"W x 16"H HANGING SIGN FOR 302 THIRD STREET (APN 002-160-013)

WHEREAS, Patricia Bains (Applicant) applied for Site Plan and Design Permit for a sign permit to install a hanging sign, in front of business located at 302 Third Street; and

WHEREAS, the sign is 36"W x 16" H metal sign within a wood frame, with colors (dark yellow with beige trim) that match the building color and is consistent with Design Guidelines for signs adopted by the City, with respect to size (3.75 sq.ft) (, scale, appearance (simple and handcrafted, legibility, colors (sandstone background, beige frame, black lettering), materials (metal), and orientation (easily read by pedestrians)

WHEREAS, the Historic Resources Board has recommended approval of the proposed sign based on consistency of the proposed sign with Sign Design Guidelines and National Park Service Preservation Brief 25 recommendations for new signs on historic buildings.

WHEREAS, these circumstances enable all findings for Site and Design Review to be made in pursuant to Zoning Ordinance Chapter 11-18, incorporated herein by reference based on evidence in the record of Historic Resources Board and Planning Commission review

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of San Bautista APPROVES a Site Plan and Design Permit for a 36"W x 16" H hanging sign as depicted in Exhibit "A" based on findings and subject to conditions recommended by the Historic Resources Board as referenced herein.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista on this 6th day of June 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Jose Aranda, Chairperson

ATTEST:

Elizabeth Soto, Deputy City Clerk

36"

16"

Multi - Services Business Center

Sponsored By: San Juan Bautista Association Business

Metal Sign with wood frame Beige color inside both sides



CITY OF SAN JUAN BAUTISTA PLANNING COMMISSION STAFF REPORT

AGENDA TITLE: Consider the recommendation of the Historic Resources Board and consider a Site and Design Review Permit to connect an existing 747 sq. ft. residence to an existing 504 sq. ft. Accessory Dwelling Unit with a 47 sq. ft. connection on property known as 701 Third Street (APN 002-330-009). The Applicant is Isaiah Jimenez.

CEQA: The project applicant has stipulated that the project will be consistent in design and treatment with Secretary of The Interior Standards for the Treatment of Historic Properties (Guidelines) in accordance with CEQA Guideline Section 15064.5. The project is therefore exempt from CEQA in accordance with Section 15311 (Class 31 – Historic Resource Restoration /Rehabilitation) and a common sense exemption pursuant to CEQA Guidelines 15061.

Iworq Permit No. 228

MEETING DATE: June 6, 2023

SUBMITTED BY: Brian Foucht, Community Development Director

RECOMMENDED ACTION(S): Staff recommends that:

The Planning Commission Approve a Site Plan and Design Review Permit subject to conditions and based on findings contained in the Resolution attached to the staff report dated June 6, 2023.

BACKGROUND AND PROJECT DESCRIPTION:

The Historic Resources Review Board recommended APPROVAL of the subject application on June 6, 2023 based on the following information:

The project will attach the existing residence, a locally significant historical resource (747 sq. ft) to the existing one-story ADU (504 sq. ft.) with a one -story hyphen connector (47 sq. ft.).

The Bill and Minnie German House was evaluated for historical significance using San Juan Bautista's historic resources criteria and is found eligible for listing as with a Status Code of 5S2 (locally significant) under Criterion C (Architecture) within the historic context theme of Economic Decline and Boom.

As a historical resource, the Bill and Minnie German House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for*

Rehabilitation contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The Phase Two Assessment, prepared by the City's Architectural Historian (attachment) provides a more detailed evaluation of the resource in relation to Secretary of the Interior Guidelines and examines how the proposed addition will affect its significance. The proposed project meets Standards One, Two, Four, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Five, Six, Seven, and Eight are not applicable. The proposed project will meet Standard Nine if the connector's horizontal wood siding is differentiated from the siding on the historic house. This single mitigation reduces impacts to a level of insignificance and qualifies the project for a CEQA Exemption (Class 31). Given the minor nature of the addition, the limited application of recommended mitigations, and the applicant's stated agreement with this condition, staff believes that a common-sense exemption from CEQA is also justified.

11-06-120 Site plan and design review permit procedure for historic resources.



(C) Determination of Appropriate Review Application Procedure. The City Planner shall review the application and determine the proper review procedure ...

Subsection C(5) requires the following;

“(5) Applications for major alterations or demolition to properties that are included in the City of San Juan Bautista Register of Historic Resources, including those properties that contribute to a designated historic district with status codes of 1 through 5 or to noncontributing buildings within designated historic districts, shall require the following:

“(a) A historic resource evaluation and impact report shall be prepared by a qualified architectural historian that includes a discussion of the property's historic significance...including “proposed measures to minimize or mitigate significant impacts, if such impacts exist.

(c) Proposed major alterations that comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties shall be considered a Class 31 categorical exemption under CEQA and no further review is required.

ATTACHMENTS:

- 1) Planning Commission Resolution
- 2) Proposed Plans (Site and Design Review/Development Plans)
- 3) Phase 2 Historical Resource Assessment
- 4) Updated Dept of Parks and Recreation (DPR) form

RESOLUTION 2023-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN JUAN BAUTISTA APPROVING A SITE PLAN AND DESIGN REVIEW PERMIT TO CONNECT AN EXISTING 747 SQ.FT. SINGLE FAMILY HOME DESIGNATED AS A HISTORICAL RESOURCE TO AN EXISTING 504 SQ.FT. ACCESSORY DWELLING UNIT VIA A 47 SQ.FT. ADDITION ON PROPERTY KNOWN AS 701 THIRD STREET (APN 002-330-009). (Jimenez)

WHEREAS, Isaiah Jimenez (Applicant) applied for Site Plan and Design Permit for Historic Resources to allow construction of approximately 47 sq. ft. addition to the rear of the existing residence thereby connecting the existing residence to an existing ADU located behind the residence; and

WHEREAS, the structure is referenced in the City's Historical Resource Inventory with a Status Code of 7R; requiring an evaluation of the historical significance of the structure prior to any alteration for which a major or minor Site Plan and Design Permit is required; and

WHEREAS, a Phase 2 Evaluation was completed on behalf of the City by Margaret E. (Meg) Clovis, M.A. (May 9, 2023,) in accordance with SJB MC section 11-06-120 (C) (5) regarding consistency with Secretary of the Interior Standards for the Treatment of Historic Properties, and determined that the existing residence on the site is a locally significant Historical Resource (Status Code 5S2) ;and

WHEREAS, on June 6, 2023 the Historic Review Board considered the applicant's proposal and the referenced evaluation and recommended that the Planning Commission find that the referenced evaluation has been conducted and further recommended that the Planning Commission approve the Site Plan and Design Review Permit based on findings and subject to conditions as follows:

1. The project applicant has stipulated that the project will be consistent in design and treatment with Secretary of The Interior Standards for the Treatment of Historic Properties (Guidelines) in accordance with CEQA Guideline Section 15064.5. The project is therefore exempt from CEQA in accordance with Section 15311 (Class 31 – Historic Resource Restoration /Rehabilitation) and a common sense exemption pursuant to CEQA Guidelines 15061.
2. The project meets the standards set forth in SJBMC Section 11-18-040 is required to make for all proposed Site Plan and Design Review Permit applications, as follows:
 - (A) The project is consistent with the standards and requirements of the San Juan Bautista Municipal Code. In particular, the project is consistent with maximum yard, coverage and setback requirements referenced in the staff report. The project is also consistent with relevant provisions of SJB MC Section 11-06 regarding the evaluation of projects by a qualified Architectural Historian as referenced in the staff report dated September 6, 2022.

- (B) The project is consistent with the goals and policies of the General Plan and any applicable specific or community plans. In particular the project is consistent with Goals, Policies and Objectives that require review of project plans and development to ensure retention of the historic character of San Juan Bautista.

Evidence: the staff report dated June 6, 2023; Plans dated October, 2022; Historic Resource Evaluation, (Margaret E. (Meg) Clovis May 9, 2023

- (C) The project contributes to safeguarding the City's heritage and cultural and historic resources.

Evidence: the project has been evaluated and conditions of approval require that the addition be constructed with exterior siding that is differentiated from that of the Historical Resource. Colors will be uniform for all portions of the body of the combined structure with lighter colors for the body of the residence and slightly darker color for the trim.

- (D) The project is compatible with the surrounding character of the environment because the architectural design, materials and colors harmonize with the character of surrounding development, or other improvements on the site and specific design elements.

Evidence: Plans and elevations illustrate that addition will be visually differentiated from the Historical Resource thereby ensuring that character defining features are maintained.

- (E) The location and configuration of the project harmonizes with the site and with surrounding sites or structures. Structures do not dominate their surroundings to an extent inappropriate to their use and do not unnecessarily block significant views or solar access to adjacent properties.

Evidence: Project Plans illustrate that the overall small size and height of the structure to be added will not be a significant factor in the surrounding area and will maintain the historic character of the residence.

- (F) The project effectively uses architectural details to break up mass. Roof planes are varied without being overly complex. Otherwise monotonous long or two-story walls are well-articulated with details such as building off-sets and window features that are compatible with the design and not overly ornate.

Evidence: Building elevations dated October 2022 demonstrate consistency of design with this standard.

- (G) The landscape design, if any, including the location, type, size, color, texture, and coverage of plant materials, provisions for irrigation, and protection of landscape

elements have been considered to create visual relief and complement the structures to provide an attractive and water-conserving environment.

Evidence: Site plan dated October 2022 provides sufficient areas for installation of appropriate landscape improvements and conditions of project approval require submittal of a landscape and irrigation plan.

- (H) The design and layout of the proposed project does not interfere with the use and enjoyment of neighboring existing or future development, does not result in vehicular and/or pedestrian hazards, and promotes public health, safety, and welfare.

Evidence: The proposed addition complies with setbacks, site coverage and building height requirements.

- (I) The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, width and pavement of adjoining streets, etc.) are available to serve the subject site.

Evidence: Utilities and services are existing and proposed to be used to serve the project consistent with the standards and requirements of the San Juan Bautista Municipal Code.

WHEREAS, the Historic Resources Board recommends that the Planning Commission approve the Site Plan and Design Permit for Historic Resources subject to the following Conditions of Approval:

1. Prior to issuance of a Building Permit, applicant shall submit plans showing siding for the addition will be differentiated from the siding of the front historical resource. Paint for the combined residence shall be derived from a historical paint pallet with a lighter color with darker trim to the satisfaction of the Community Development Director.
2. Prior to issuance of a Building Permit, applicant shall submit funds sufficient to cover the cost of review by the City's Architectural Historian, including the Phase 2 evaluation and a revised DPR form, already prepared.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of San Bautista APPROVES a Site Plan and Design Permit for Historic Resources for 701 Third Street based on findings and subject to conditions recommended by the Historic Resources Board as referenced herein.

PASSED AND ADOPTED by the Planning Commission of the City of San Juan Bautista on this 6th day of June 2023, by the following vote:

AYES:

NOES:

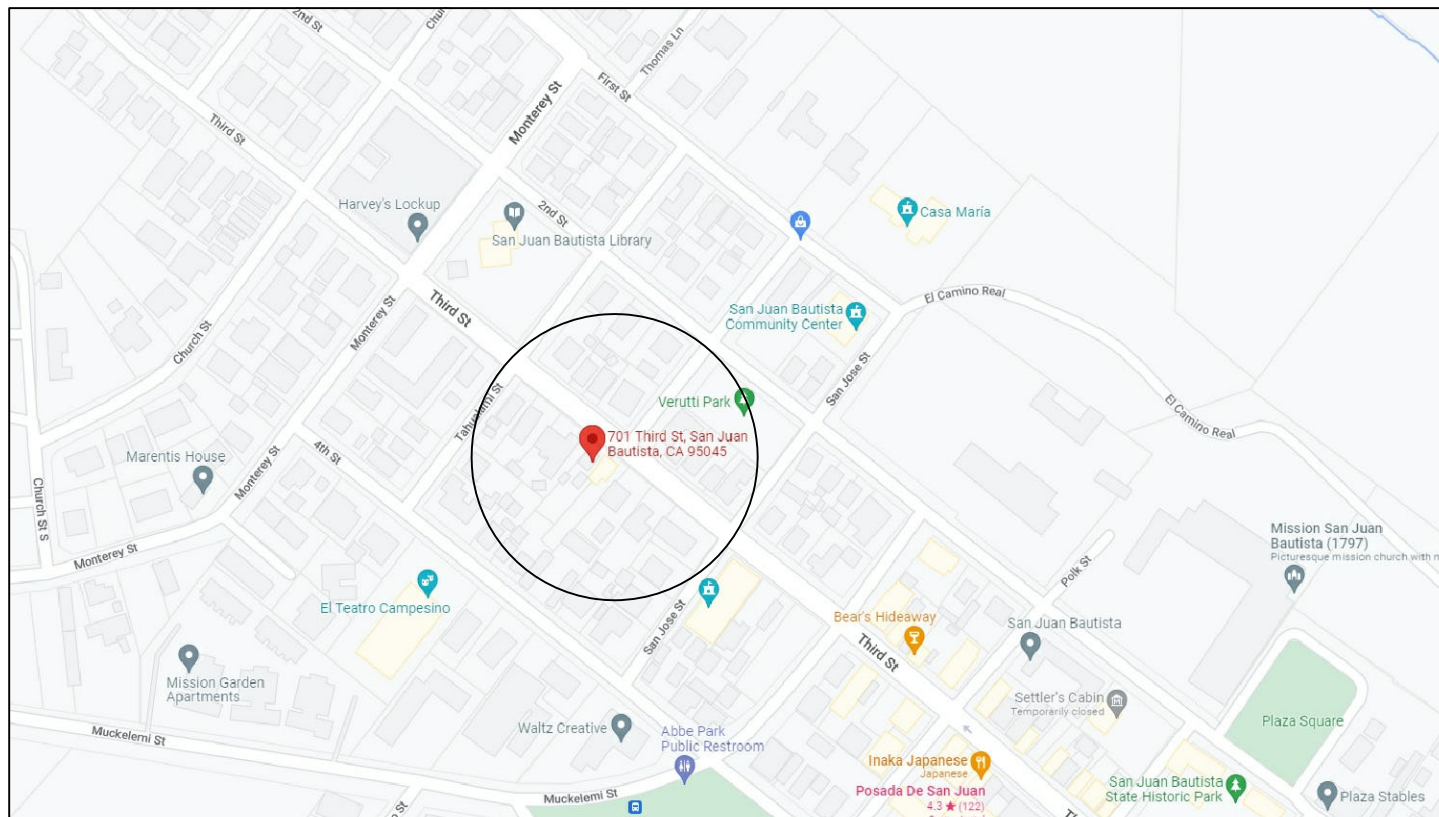
ABSENT:

ABSTAIN:


Jose Aranda, Chairperson

ATTEST:

Elizabeth Soto, Deputy City Clerk

APPLICABLE CODES		DEF. SUBMITTALS/SPECIAL INSPECTIONS		PROJECT INFO		SHEET INDEX		PROJECT DIRECTORY	
CBC CALIFORNIA BUILDING CODE 2022 CRC CALIFORNIA RESIDENTIAL CODE 2022 CEC CALIFORNIA ELECTRICAL CODE 2022 CPC CALIFORNIA PLUMBING CODE 2022 CMC CALIFORNIA MECHANICAL CODE 2022 CENC CALIFORNIA ENERGY CODE 2022 CALGREEN CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 ASCE 7 MINIMUM DESIGN LOADS FOR BUILDINGS AND 2022 SDPWS SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC 2022				PROJECT DATA: APN: 002-100-025-000 ADDRESS: 701 3RD ST. SAN JUAN BAUTISTA, CA 95045 FLOOD ZONE: NO BUILDING OCCUPANCY : R3 CONSTRUCTION TYPE: V8 STORIES: 1 HISTORIC: NO FLOOR AREA SUMMARY: LOT AREA: 7,013 S.F. EX. FRONT HOUSE LIVING: 747 S.F. EX. REAR HOUSE LIVING: 504 S.F. TOTAL LIVING:1,251 S.F. EXISTING PORCHES: 180 S.F. ADDITION:47 S.F. TOTAL PROPOSED LIVING S.F.: 1,298 S.F.		A0) COVER SHEET A1) SITE PLAN A2) EX. / PR. FLOOR PLAN A3) EX. / PR. ELEVATIONS A4) SECTIONS/ELECTRICAL S0-S1) STRUCTURAL SHEETS D1-D2) STRUCTURAL DETAILS NS) NAILING SCHEDULE T) TITLE 24'S MM) MANDATORY MEASURES CG1,2) CALGREENS		OWNER: JIMENEZ FAMILY 701 3RD ST. SAN JUAN BAUTISTA, CA 95045 209-923-2568 DESIGNER: ALEX VALLES SOUTH BAY DESIGN 831-207-9677 P.O. BOX 27 HOLLISTER, CA 95024	
GENERAL PROJECT NOTES		PROJECT CONST. NOTES		SCOPE OF WORK		VICINITY MAP		PROPOSED PROJECT: 701 3RD ST. SAN JUAN BAUTISTA, CA 95045	
1. PROJECT TO BE SUPERVISED BY A LICENSED GENERAL CONTRACTOR. 2. IN CASE OF CONFLICT OR DISCREPANCIES IN THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO PROCEEDING 3. PRIOR TO START OF WORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENSURE ALL WORK IS BUILDABLE AS SHOWN. 4. REDUCE FORMALDEHYDE IN INTERIOR FINISH TO MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD. 5. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE ALARMS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.) REFER TO THE MANUFACTURERS' GUIDELINES FOR PROPER PLACEMENT. 6. EXISTING HOUSE CONTAINS FIRE SPRINKLERS 7. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE REQUIRED WHERE ADDITIONS OR ALTERATIONS ARE MADE TO THE EXISTING BUILDING THAT ALREADY HAS A FIRE SPRINKLER SYSTEM INSTALLED. SPRINKLERS SHALL BE INSTALLED TO PROTECT ALL AREAS OF A DWELLING UNIT. [R313.3.1.2.] EXCEPTIONS: 1. ATTICS, CRAWL SPACES AND NORMALLY UNOCCUPIED CONCEALED SPACES THAT DO NOT CONTAIN FUEL-FIRED APPLIANCES DO NOT REQUIRE SPRINKLERS. IN ATTICS, CRAWL SPACES AND NORMALLY UNOCCUPIED CONCEALED SPACES THAT CONTAIN FUEL-FIRED EQUIPMENT, A SPRINKLER SHALL BE INSTALLED ABOVE THE EQUIPMENT; HOWEVER, SPRINKLERS SHALL NOT BE REQUIRED IN THE REMAINDER OF THE SPACE. 2. CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES NOT EXCEEDING 24 SQUARE FEET IN AREA, WITH THE SMALLEST DIMENSION NOT GREATER THAN 3 FEET AND HAVING WALL AND CEILING SURFACES OF GYPSUM BOARD. 3. BATHROOMS NOT MORE THAN 55 SQUARE FEET IN AREA. 4. DETACHED GARAGES; CARPORTS WITH NO HABITABLE SPACE ABOVE; OPEN ATTACHED PORCHES; UNHEATED ENTRY AREAS, SUCH AS MUD ROOMS, THAT ARE ADJACENT TO AN EXTERIOR DOOR; AND SIMILAR AREAS.		*IF APPLICABLE, ALL FILL MUST REACH 90% COMPACTION MINIMUM *VERIFY LAYOUT OF BUILDING PAD W/OWNER OR DESIGNER PRIOR TO TRENCHING/DRILLING *CONTRACTOR/OWNER ASSUMES RESPONSIBILITY OF LOCATING EXISTING UTILITIES PRIOR TO CONSTRUCTION *VERIFY LAYOUT OF SIDEWALKS, PATIOS, & STEPS W/OWNER/CONTRACTOR PRIOR TO SETTING UP & POURING *ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE MINIMUM FOUROF 4", 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED * CHECK WITH PG&E FOR GAS SERVICE LOCATION * ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINALCOMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT, SEE CIVIL CODE SECTION 1101.1 ET SEQ. FOR THE DEFINITON OF NON COMPLIANT PLUMBING FIXTURE, TYPESOF OTHER RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES SEE 2019 CALIFORNIA GREEN BUILDING CODE 301.1.1 & CIVIL CODE SECTION 1101.3 IN THE SUPPLEMENTAL BOOK		COMBINE EXISTING TWO RESIDENCES (747 & 504 S.F. RESPECTIVELY) AND SMALL ADDITION (47 S.F.) TO CONNECT THEM. NEW LIVING QUARTERS WITH ALL INCLUDED TO BE A 1,298 S.F. SFD					

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**SOUTH BAY
DESIGN**

— DBA —

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COVER SHEET

DRAWN BY
A.V.
CHECKED

DATE
10.14.22

SCALE

JOB NO.

SHEET

AO

ARCHITECTURAL GENERAL NOTES

VENTILATION

1. LOCATION AND SIZE OF FOUNDATION VENTS TO CONFORM TO CRC R408.
2. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA. CRC R806.2.
3. BATHROOMS AND LAUNDRY ROOMS SHALL BE MECHANICALLY VENTILATED (50 CUBIC FT/MIN). THE POINT OF DISCHARGE MUST BE 3' MIN. ABOVE ANY BUILDING OPENINGS WITHIN 10'. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM.CRC.

ACCESS

4. PROVIDE UNOBSTRUCTED 18" MIN. BY 24" MIN. ACCESS TO ALL UNDERFLOOR SPACES WHERE JOISTS OR SUBFLOOR IS UNTREATED. CRC R408.4.
5. PROVIDE 22" MIN. BY 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE. CRC R807. FIRE PROTECTION
6. ALL GARAGE WALLS COMMON WITH LIVING AREA TO BE 1/2" GYPSUM BOARD MINIMUM FROM FOUNDATION TOROOF SHEATHING ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. GARAGE SUPPORTING HABITABLE ROOMS ABOVE TO BE OF 1 HOUR CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD MINIMUM. DOORS FROM GARAGE TO LIVING AREA TO BE 1-3/8" MIN. SOLID WOOD DOOR OR 20-MINUTE FIRE-RATED WITH SELF-CLOSING AND SELF-LATCHING DEVICE AND WEATHER STRIPPING. PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS & STRUCTURES (BEAMS, POSTS, ETC.) AT GARAGE SIDE OF THE WALL SUPPORTING 5/8" TYPE 'X' GYPSUM BOARD.
7. USABLE SPACE UNDER STAIRS AT R2 AND R3 TO BE 1/2" GYPSUM BOARD MIN. AT ALL WALLS AND CEILING PER CRC.
8. PROVIDE 6" MINIMUM CLEARANCE AT BACK OF FURNACE AND 12" TOTAL CLEARANCE ON SIDES OF FURNACE.
9. INSTALL ZERO CLEARANCE PRE-FAB FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION RECOMMENDATIONS AND ITS LISTING PER CRC. VERIFY HEARTH EXTENSION MATERIAL AND THICKNESS MEET MANUFACTURERS SPECIFICATIONS. FIRE STOPS WITH NON-COMBUSTIBLE MATERIALS SHALL BE PROVIDED AROUND THE CHIMNEY IN OPENINGS AT THE CEILING PER CRC.
10. TOP OF FIREPLACE CHIMNEYS TO EXTEND 2 FEET MIN. ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY AND 3 FEET MIN. ABOVE ANY ADJACENT ROOFING MATERIAL. CRC R1003.

GLAZING

11. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS.
12. VERIFY WINDOWS MEET EGRESS REQUIREMENTS (CRC R310). AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND 5.7 SQ. FT. CLEAR OPENING, THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR (CRC).
13. SKYLIGHT DESIGN TO CARRY ALL TRIBUTARY ROOF LOADS AS SPECIFIED IN CRC R301.
14. CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC R308.6.
15. GLASS SHOWER AND TUB ENCLOSURES, AND WINDOWS OVER SHOWERS AND TUBS TO BE SAFETY GLASS. CRC R308.4.5.
16. GLAZING IN ANY DOOR, OR GLAZING WITHIN 24" OF ANY DOOR AND WITHIN 60" OF FLOORS TO BE TEMPERED GLASS CRC R308.4.1 AND R308.4.2. GLAZING WITHIN 18" OF THE FLOOR AS PER CRC R308.4.3 OR AT ENCLOSED WALLS AT STAIRWAYS AS PER CRC R308.4.6 AND R308.4.7 TO BE TEMPERED GLASS.

STAIRS

17. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4", NOR GREATER THAN 7-3/4", THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". CRC R311.7.5. HEADROOM AT STAIRWAYS TO BE 6'-8" MIN., MEASURED VERTICALLY AT ALL POINTS FORMED BY A PLANE TANGENT TO ALL TREAD NOSINGS. CRC R311.7.2. NOSING DIMENSION AND PROFILE PER CRC R311.7.5.3. 18.
18. GUARDRAILS SHALL HAVE MINIMUM OF 42" IN HEIGHT. CRC R312.1.2. OPEN GUARDS SHALL HAVE BALUSTERS SUCH THAT 4" DIAMETER SPHERE CANNOT PASS THROUGH. CRC R312.1.3. FOR R2 AND R3 OCCUPANCY, OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW PASSAGE OF A SPHERE OF 4-3/8" OR MORE IN DIAMETER. CRC R312.1.3 EX. 2.
19. HANDRAILS TO BE 34" TO 38" ABOVE TREAD NOSING, CIRCULAR HANDGRIP TO BE MIN. 1-1/4" TO MAX. 2" IN CROSS SECTION. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF THREADS OF FLIGHT WITH FOUR RISERS OR MORE. CRC R311.7.8.

BATHROOMS

20. TOILETS TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT. INSTALL MAX. 1.28 GALLON PER FLUSH TOILETS.
21. SHOWERS TO HAVE A MINIMUM AREA OF 1024 SQ. IN. AND A MINIMUM CLEAR HORIZONTAL DIMENSION OF 30", MEASURED AT THE TOP OF THE CURB. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET. CRC R307.2. PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL AT EACH SHOWER OR TUB/SHOWER.
22. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO THE CEILING AT SHOWERS AND TUB/SHOWERS.

GENERAL

23. VAULTED CEILINGS SHALL BE PROVIDED WITH A VAPOR BARRIER BENEATH THE INSULATION AND A 1" MIN. AIR SPACE ABOVE THE INSULATION. THE AIR SPACE SHALL BE VENTILATED AS PER CRC R806.
24. FURNACES AND WATER HEATERS IN GARAGES SHALL BE MOUNTED UPON PLATFORMS NOT LESS THAN 18" ABOVE THE GARAGE FLOOR.
25. WATER HEATER SHALL BE STRAPPED FOR SEISMIC LOAD AT POINTS BETWEEN THE UPPER ONE THIRD AND LOWER ONE THIRD OF ITS HEIGHT. THE LOWERS STRAP SHALL BE A MINIMUM OF 4 INCHES ABOVE THE WATER HEATER CONTROLS. SEE CPC.
26. PROVIDE ROOF DRAINS AND OVERFLOW DRAINS AT FLAT ROOFS AS PER CRC R903.4 AND CPC.

PERFORMANCE

27. PROVIDE FABRICATOR'S CERTIFICATE FOR GLU-LAM BEAMS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL AT TIME OF DELIVERY AND PRIOR TO INSTALLATION AS PER CBC.
28. ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NOFMA SPECIFICATIONS AND RECOMMENDATIONS.
29. ALL TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.
30. ALL PLUMBING WORK SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, SAFETY ORDERS OF THE STATE OF CALIFORNIA AND ALL LOCAL CODES AND ORDINANCES.
31. ALL H.V.A.C. WORK SHALL BE IN CONFORMANCE WITH APPLICABLE CODES, THE CALIFORNIA MECHANICAL CODE, AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
32. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. TOXIC MATERIALS REMOVAL

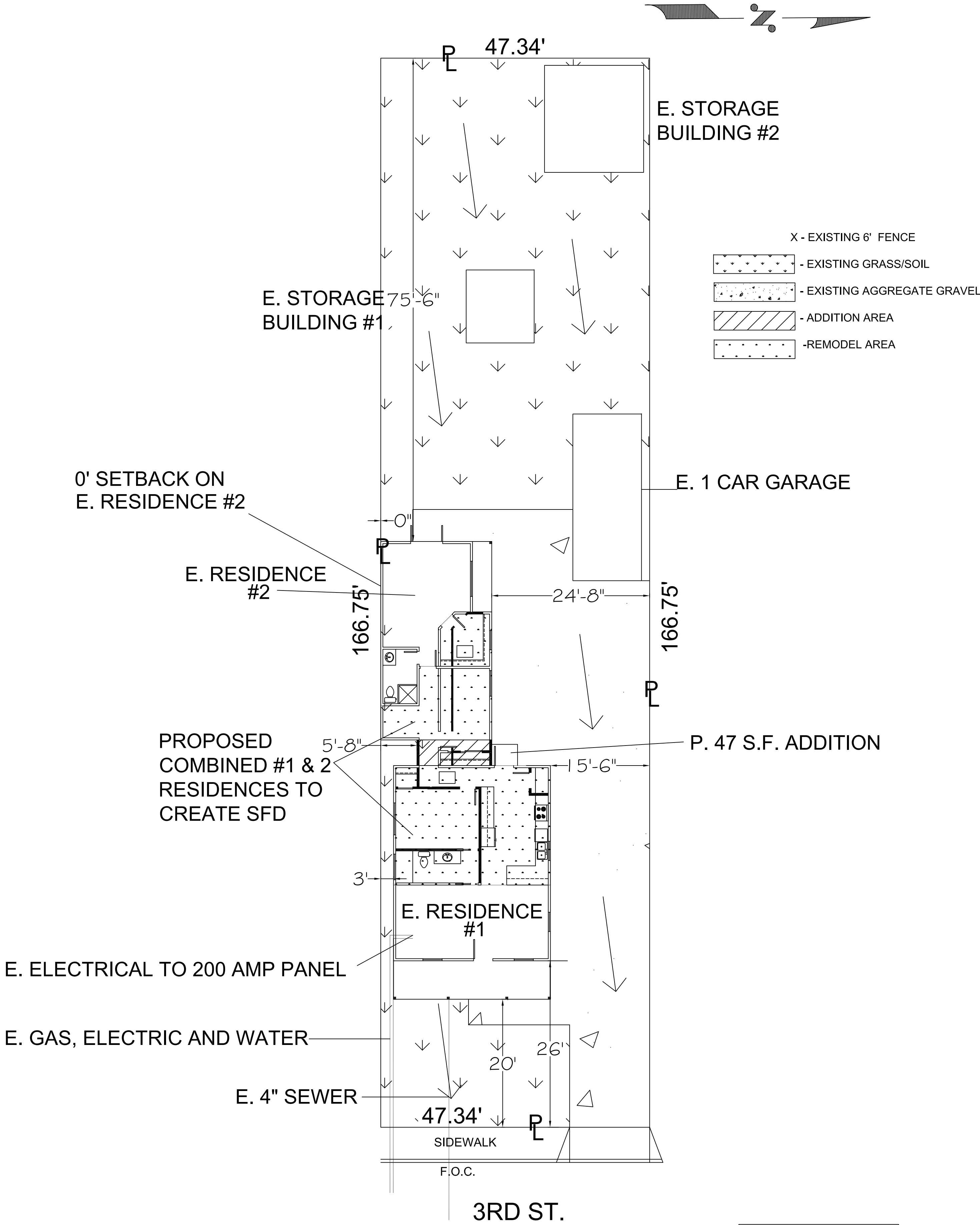
TOXIC MATERIALS REMOVAL

33. ALL HANDLING AND REMOVAL OF TOXIC MATERIALS TO BE DONE BY A CERTIFIED TOXIC WASTE CONTRACTOR. CERTIFICATION TO BE DONE BY THE STATE OF CALIFORNIA AND REGISTERED WITH THE LOCAL BUILDING OFFICIAL.
34. FOR ALL NEW CONSTRUCTION, ALL DWELLINGS SHALL COMPLY WITH THE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE. BUILDINGS SHALL BE DESIGNER TO INCLUDE THE GREEN BUILDING MEASURED SPECIFIED AS MANDATORY IN THIS CODE. FOR SITE DEVELOPMENT PER CGBSC SECTION 4.106, FOR WATER EFFICIENCY AND CONSERVATION PER CGBSC SECTION 4.301, FOR INDOOR AIR QUALITY PER CGBSC SECTION 5.506

CORRECTION NOTES:

** LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS, THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. [R401.3] IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [R401.3, EXCEPTION]

** ALL LANDSCAPING IS EXISTING AND TO REMAIN UNAFFECTED



REVISIONS

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DESIGN

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SITE PLAN




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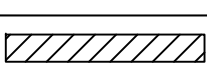
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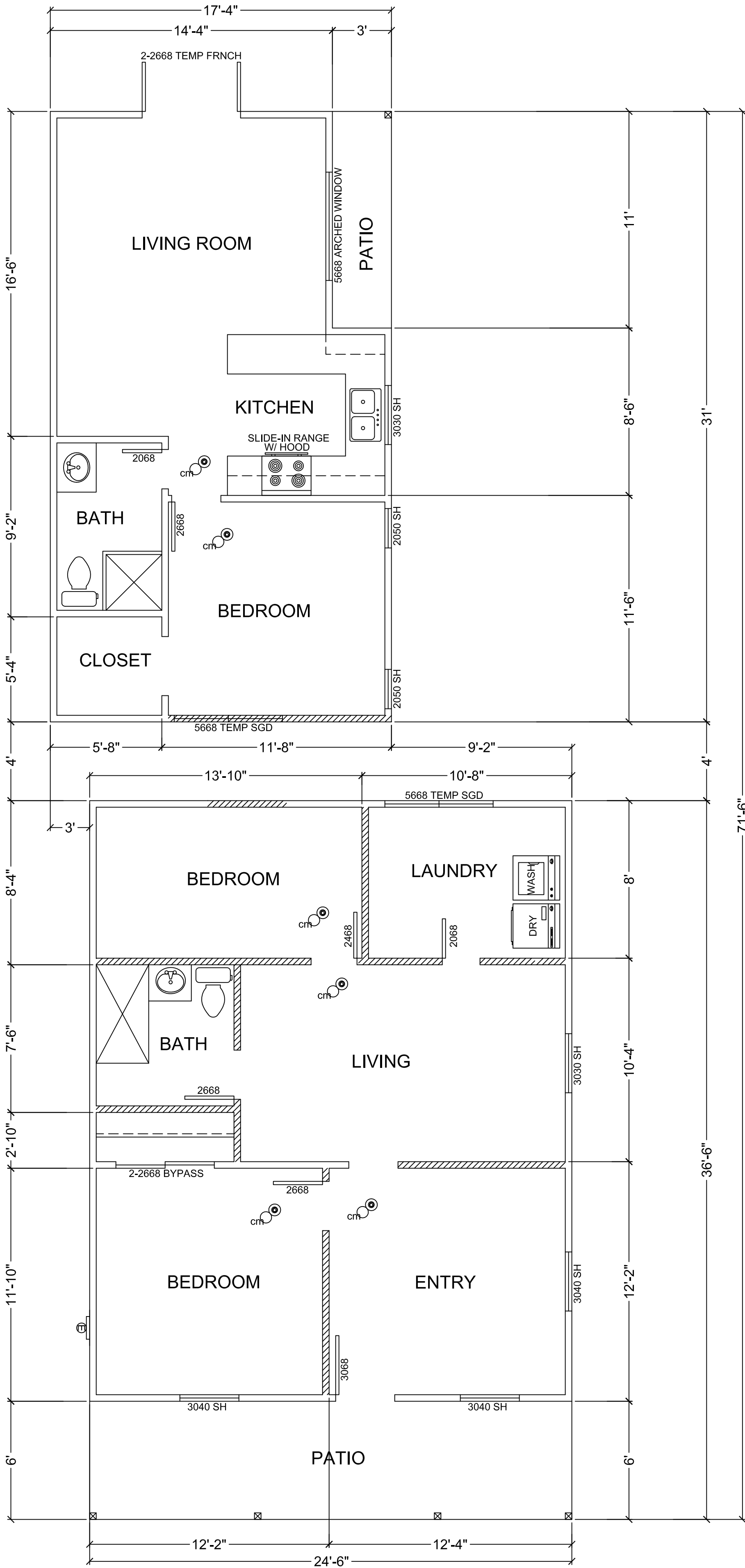
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ELECTRICAL

-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  E. 200 AMP ELECTRICAL PANEL

WALL LEGEND

- (E) EXISTING WALL TO REMAIN - 
- (E) WALL TO BE DEMO'D - 

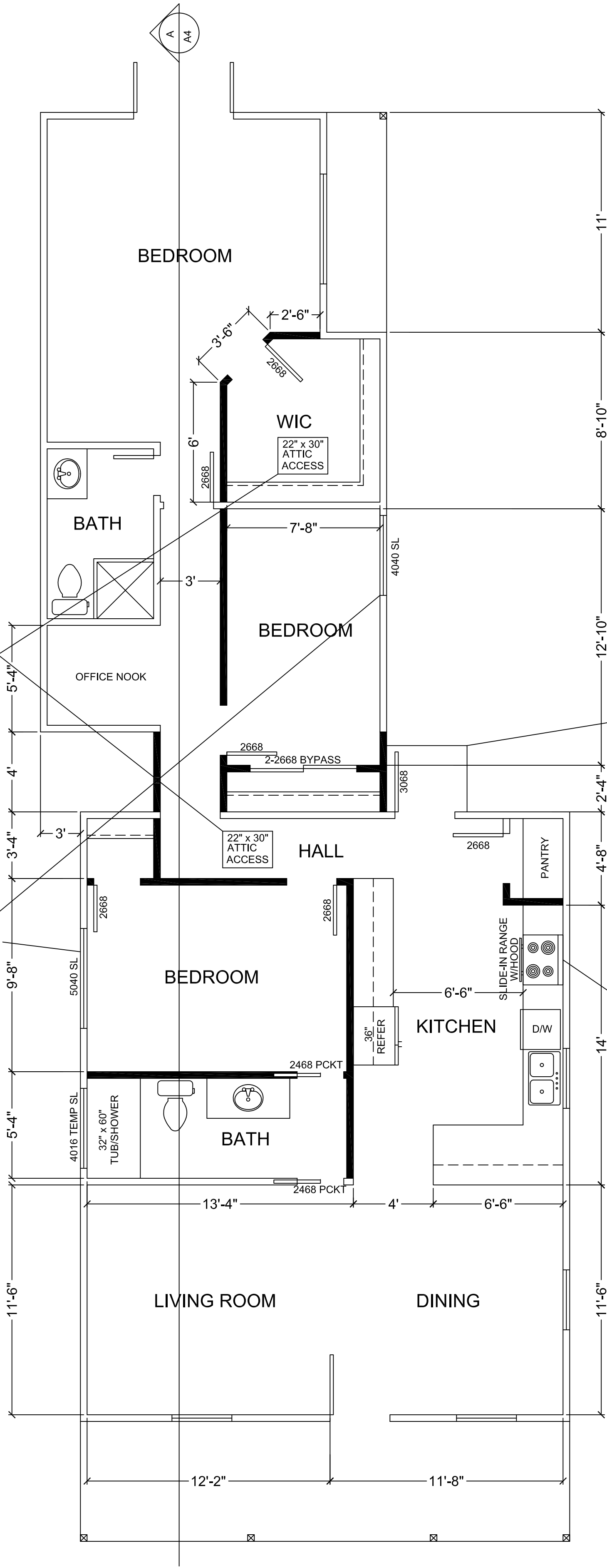


EX. FLOOR PLAN

EX. FRONT HOUSE LIVING: 747 S.F.
EX. REAR HOUSE LIVING: 504 S.F.
TOTAL LIVING: 1,251 S.F.
EXISTING PORCHES: 180 S.F.

EMERGENCY ESCAPE AND RESCUE OPENING FOR THE NEW BEDROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE LOCATED IN THE UNIT, NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20 INCHES. [R3102.2.1]

Attic access shall be provided to all attic areas (in buildings with combustible ceiling or roof construction) that exceed 30 square feet and have a vertical height of 4.5 feet (1.37 m) or greater. [R607.1]

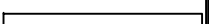



PR. FLOOR PLAN

EX. FRONT HOUSE LIVING: 747 S.F.
EX. REAR HOUSE LIVING: 504 S.F.
TOTAL LIVING: 1,251 S.F.
EXISTING PORCHES: 180 S.F.

ADDITION: 47 S.F.
TOTAL PROPOSED LIVING S.F.: 1,298 S.F.

WALL LEGEND

- (E) EXISTING WALL TO REMAIN - 
- (P) PROPOSED 2x WALL - 

If an exhaust system other than a range hood is installed for local kitchen exhaust compliance, the system must exhaust a minimum of 300 cfm to the outdoors and have a sound rating of no more than 3 sones. If the minimum airflow setting for the exhaust system is greater than 400 cfm, there is no sound requirement. If the kitchen is enclosed, provide five air changes per hour (ACH).

REVISIONS

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SOUTH BAY DESIGN

— DBA —

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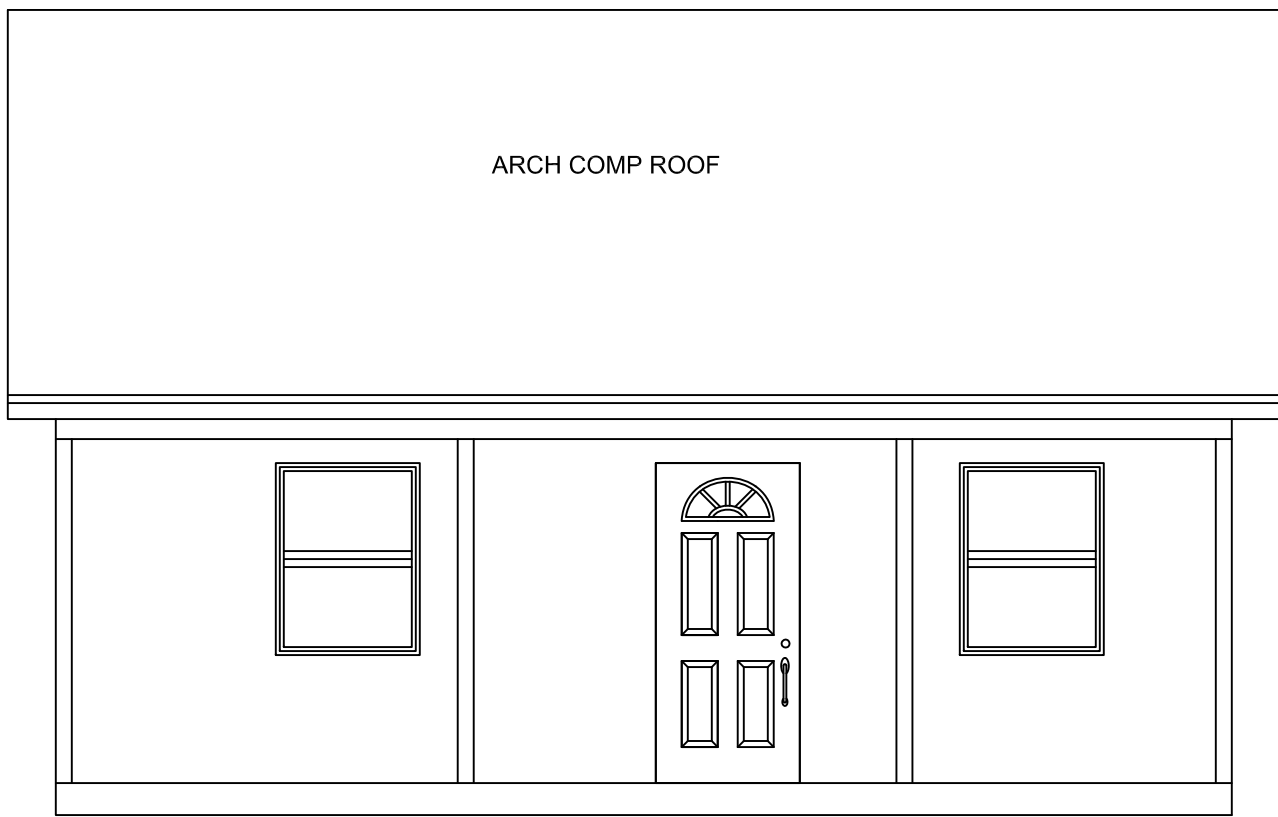
E./P. FLOOR PLAN

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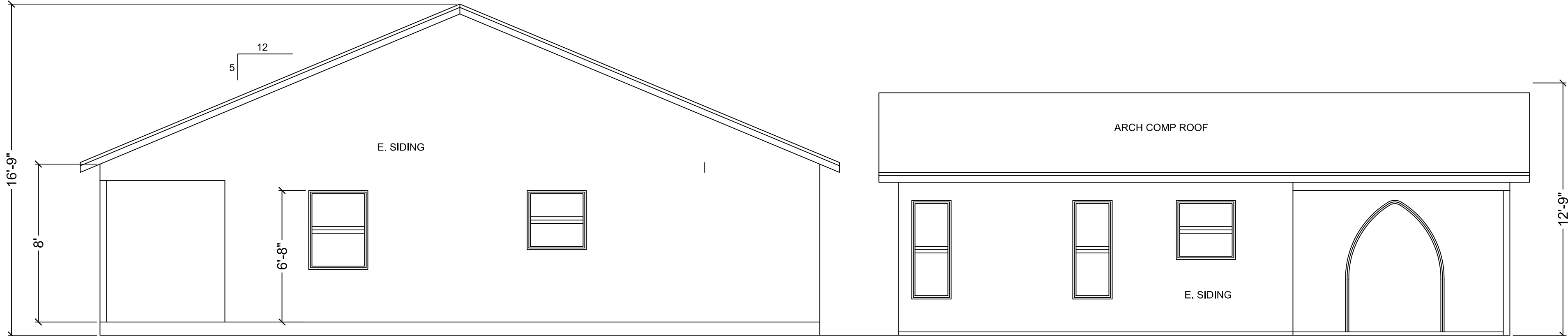
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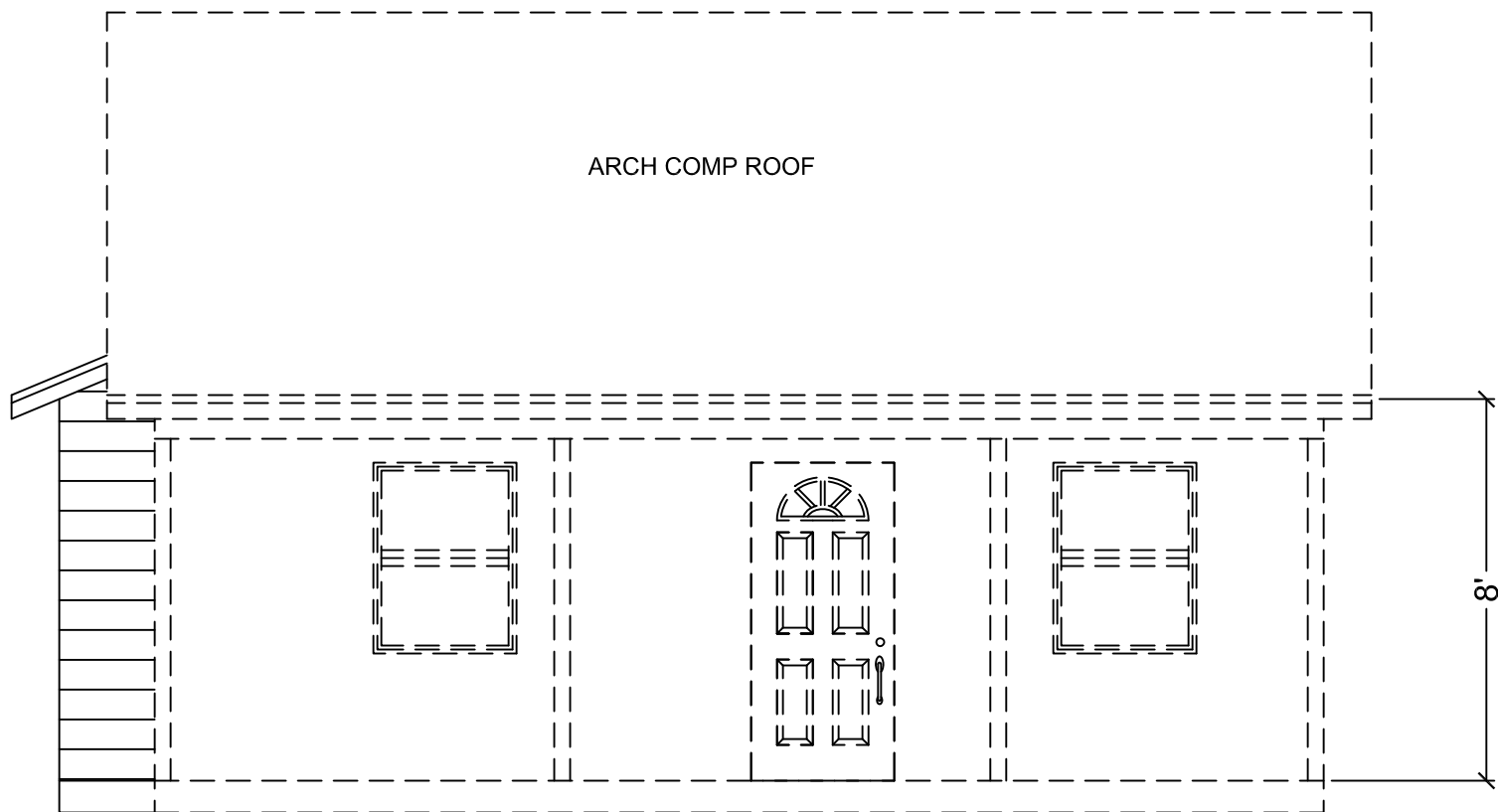
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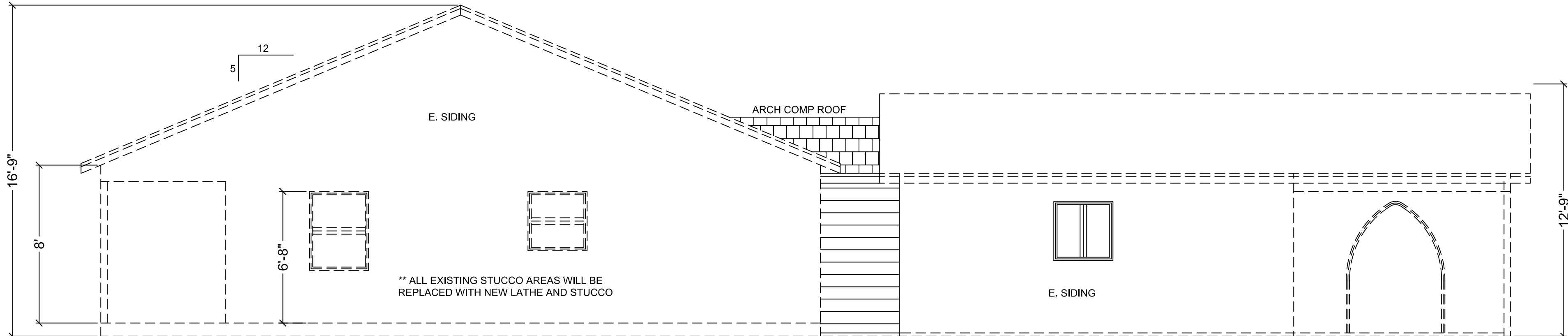
EX. FRONT ELEVATION



EX. RIGHT ELEVATION



PR. FRONT ELEVATION



PR. RIGHT ELEVATION

WALL LEGEND	
(E) WALL/ELEMENT -	
(P) WALL/ELEMENT -	

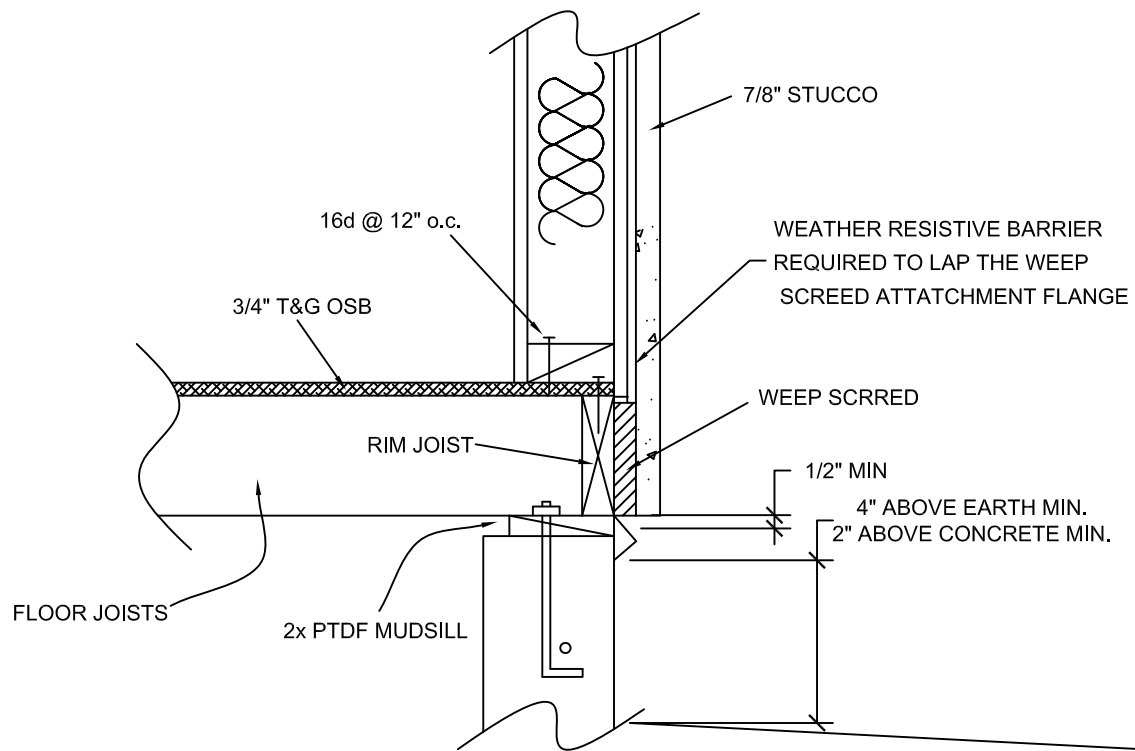
** FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL. [R903.2.1]

** FENESTRATIONS, INCLUDING SKYLIGHT PRODUCTS, MUST HAVE A MAXIMUM LI-FACTOR OF 0.58. [CENC 150.0(Q1)]

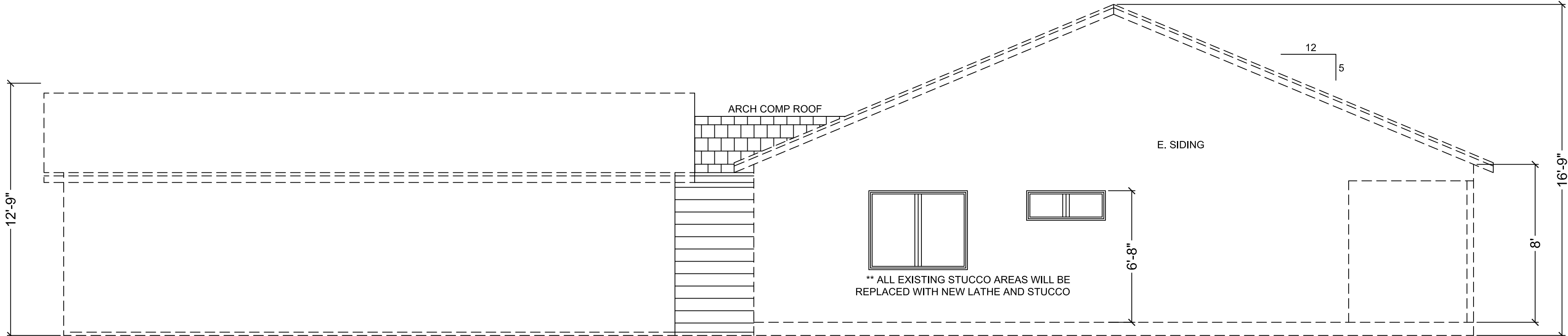
** IN BATHROOMS, CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEADS DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SPRAY. 408.9 (2019 CPC)

** A MINIMUM 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED. [R703.7.2.1]

ATTIC VENT CALCS	
1,251 SQ. FT.	150 = 8.34
8.34 x 144 = 1,201 SQ INCHES OF NET FREE VENTILATION AREA	




WEEP SCREED
RAISED FOUNDATION
NOT TO SCALE



PR. LEFT ELEVATION

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**SOUTH BAY
DESIGN**

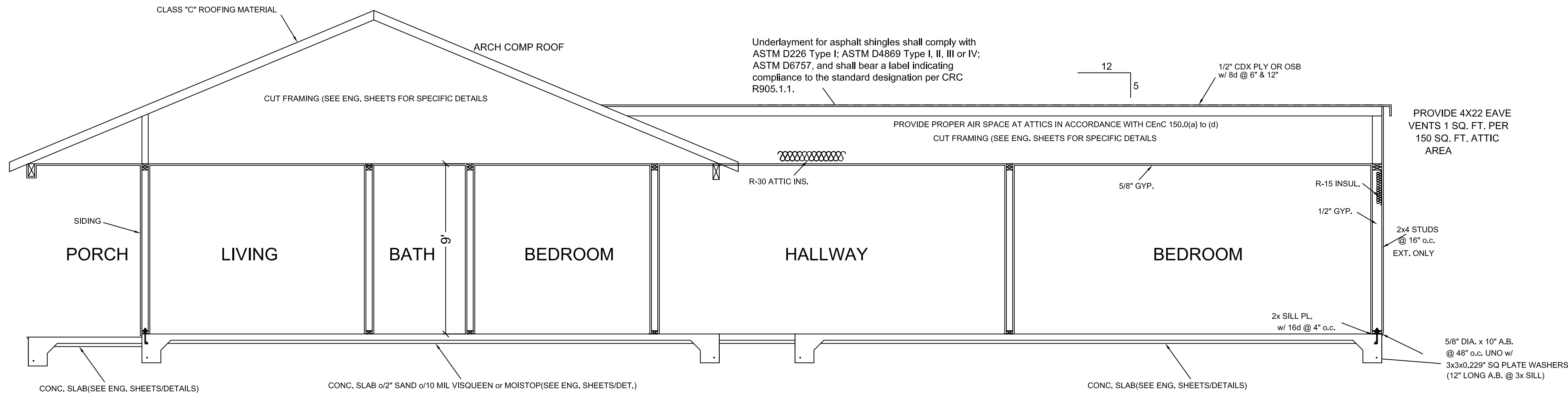
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SECTION A

** ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(A)(1) THROUGH (8) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION FOR PERSONNEL. [CEC 210.8(A)]

(1) BATHROOMS
(2) GARAGES AND ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELOW GRADE LEVEL NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND AREAS OF SIMILAR USE
(3) OUTDOORS
(4) CRAWL SPACES - AT OR BELOW GRADE LEVEL
(5) UNFINISHED BASEMENTS - FOR PURPOSES OF THIS SECTION, UNFINISHED BASEMENTS ARE DEFINED AS PORTIONS OR AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND THE LIKE.
(6) KITCHENS - WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES
(7) SINKS - WHERE RECEPTACLES ARE INSTALLED WITHIN 6-FT OF THE TOP INSIDE EDGE OF THE BOWL OF THE SINK.
(8) BATHTUBS OR SHOWER STALLS - WHERE RECEPTACLES ARE INSTALLED WITHIN 6-FT OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL.
(9) LAUNDRY AREAS.

** GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS LOCATED IN DWELLING UNITS. [CEC 210.8(D)]

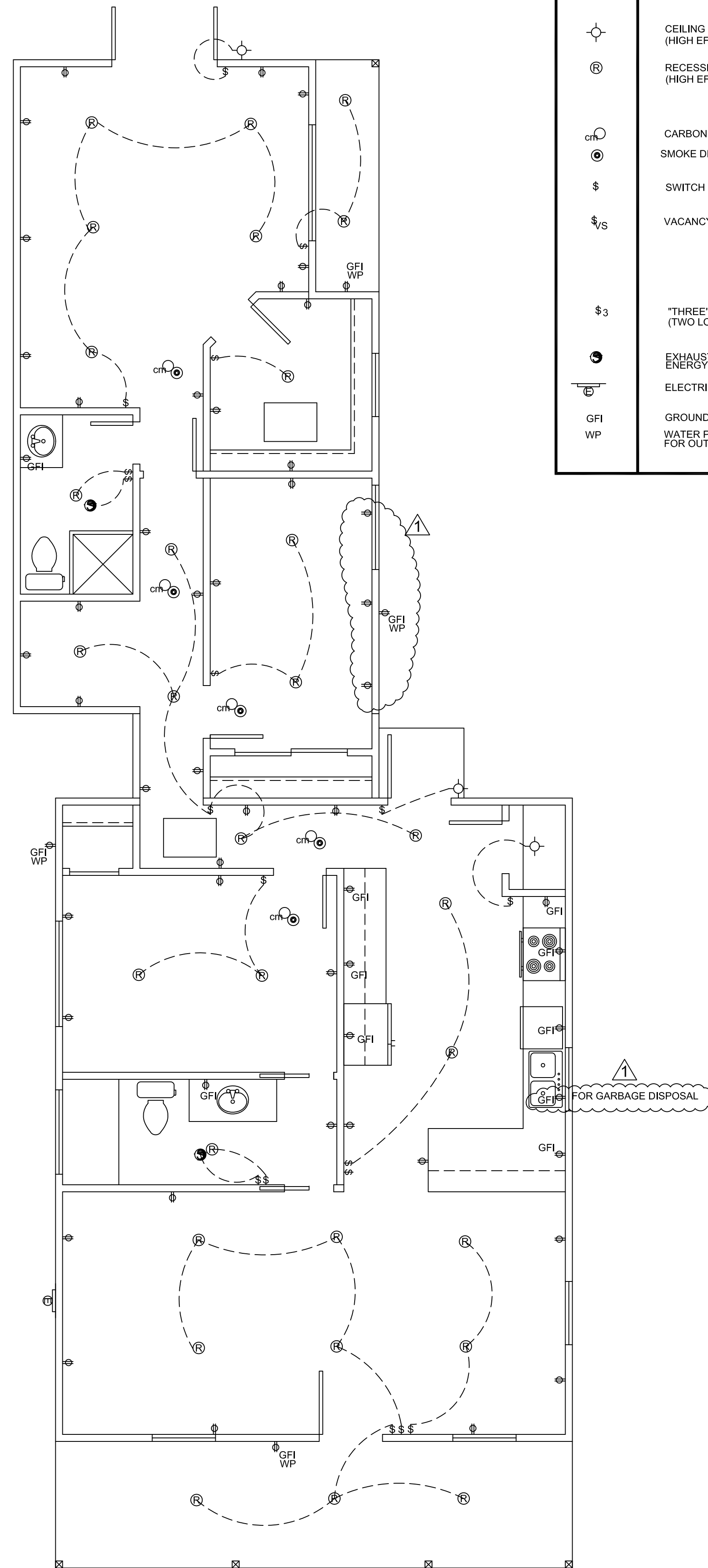
** ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY. [CENC 150.0(K)1A]

** AT LEAST ONE LIGHT FIXTURE IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR. [CENC 150.0(K)2]

** OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTOCCELL. [CENC 150.0(K)3]

** ALL RECESSED LIGHTS MUST BE ON A DIMMER OR VACANCY SENSOR AND COMPLY WITH JAS-2016-E OR JAB-2019-E. [CENC TABLE 150.0-A #7]

** ALL NEW 15- AND 20-AMPERE, 125-AND 250-VOLT NONLOCKING-TYPE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. [CEC 4016.12]
** TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS SPECIFIED BY 210.52(B). [CEC 210.11(C)1]
** AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM(S) RECEPTACLE OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. [CEC 210.11 (C)3]
** NOTE THAT ALL NEWLY INSTALLED LUMINARIES SHALL BE HIGH EFFICIENCY. [CA ENERGY 150.0(K)1.A]



ELECTRICAL PLAN

ELECTRICAL/PLUMBING

⌚	DUPLEX RECEPTACLE (all outlets AFCI unless noted as GFCI)
⊕	CEILING FIXTURE (HIGH EFFICACY)
⊙	RECESSED FIXTURE (HIGH EFFICACY)
CO	CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
SW	SWITCH
VS	VACANCY SENSOR SWITCH
3	"THREE" WAY SWITCH (TWO LOCATIONS)
EF	EXHAUST FAN 75 CFM W/ HUMIDISTAT ENERGY STAR RATED
EP	ELECTRICAL PANEL
GFI	GROUND FAULT INTERRUPTOR
WP	WATER PROOF BUBBLE COVER FOR OUTDOOR RECEPTACLES

REVISIONS

1	3.30.23
2	
3	
4	
5	
6	
7	
8	



SOUTH BAY DESIGN

ALEX VALLES
PRINCIPAL/OWNER
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ADDITION/REMODEL
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

ELECTRICAL PLAN / SECTIONS

DRAWN BY
A.V.
CHECKED

DATE
10.14.22
SCALE
1/4" = 1'-0"
JOB NO.

SHEET

A4

FASTENING SCHEDULE CBC 2019 TABLE 2304.10.1		
CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2 ½" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2 - 8d COMMON (2 ½" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	TOENAIL EACH END
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2 ½" x 0.131")	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2 ½" x 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3 ½" x 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3 ½" x 0.135") AT 16" O.C. 3" x 0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3 - 16d (3 ½" x 0.135") AT 16" O.C. 4 - 3" x 0.131" NAILS AT 16" O.C. 4 - 3" x 14 GAGE STAPLES AT 16" O.C.	BRACED WALL PANELS
7. TOP PLATE TO STUD	2 - 16d COMMON (3 ½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4 - 8d COMMON (2½" x 0.131") 4 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3½" x 0.135") AT 24" O.C. 3" x 0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 8" O.C.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3½" x 0.135") AT 16" O.C. 3" x 0.131" NAILS AT 12" O.C. 3" 14 GAGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8 - 16d COMMON (3½" x 0.162") 12 - 3" x 0.131" NAILS 12 - 3" x 14 GAGE STAPLES	LAP SPLICE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2½" x 0.131") 3 - 3" x 0.131" NAILS AT 6" O.C. 3" 14 GAGE STAPLES AT 6" O.C.	TOENAIL
12. RIM JOIST TO TOP PLATE	8d (2½" x 0.131") AT 6" O.C. 3" x 0.131" NAILS AT 6" O.C. 3" 14 GAGE STAPLES AT 6" O.C.	TOENAIL
13. TOP PLATES, LAPS, AND INTERSECTIONS	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3" 14 GAGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3½" x 0.162")	16" O.C. ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 8d COMMON (2½" x 0.131") 5 - 3" x 0.131" NAILS 5 - 3" 14 GAGE STAPLES	FACE NAIL
16. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2½" x 0.131")	TOENAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3½" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3½" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
19. RAFTER TO PLATE (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 8d COMMON (3½" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2½" x 0.131") 2 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL
21. 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2½" x 0.131")	FACE NAIL
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2½" x 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3½" x 0.162") 3" x 0.131" NAILS 3" 14 GAGE STAPLES	24" O.C. 16" O.C. 16" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" x 0.192") AT 32" O.C. 3" x 0.131" NAILS AT 24" O.C. 14 GAGE STAPLES AT 24" O.C.	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	2 - 20d COMMON (4" x 0.192") 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES	FACE NAIL AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	16d COMMON (3½" x 0.162")	AT EACH BEARING
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL

FASTENING SCHEDULE CBC 2019 TABLE 2304.10.1 (CONT.)											
CONNECTION		FASTENING		LOCATION							
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		TOENAIL								
	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" x 14 GAGE STAPLES		FACE NAIL								
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES		TOENAIL								
	2 - 16d COMMON (3½" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES		FACE NAIL								
29. JOIST TO BAND JOIST	3 - 16d COMMON (3½" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		FACE NAIL								
30. LEDGER STRIP	3 - 16d COMMON (3½" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES		FACE NAIL AT EACH JOIST								
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF, AND WALL SHEATHING (TO FRAMING)	½" AND LESS		6d ^{c1} 2½" x 0.113" NAIL ^a 1½" 16 GAGE ^a 8d OR 6d ^a 2½" x 0.113" NAIL ^a 2" 16 GAGE ^a 8d ^a 10d OR 8d ^a								
	19⁄32" TO ¾"										
	¾" TO 1" 1⅞" TO 1½"										
	SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING)		¾" AND LESS ⅞" TO 1" 1½" TO 1½" 6d ^a 8d ^a 10d OR 8d ^a								
32. PANEL SIDING (TO FRAMING)	½" OR LESS ⅞"		6d ^a 8d ^a								
33. FIBERBOARD SHEATHING ^d	½" 25⁄32"		NO. 11 GAGE ROOFING NAIL ^b 6d COMMON NAIL (2" x 0.113") NO. 16 GAGE STAPLE ^b NO. 11 GAGE ROOFING NAIL ^b 8d COMMON NAIL (2½" x 0.113") NO. 16 GAGE STAPLE ^b								
34. INTERIOR PANELING	¼" ⅜"		4d ^d 6d ^d								
FOR SI: 1 INCH = 25.4MM.											
a. COMMON BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.											
b. NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.											
c. COMMON OR DEFORMED SHANK (6d -2" x 0.113"; 8d - 2 ½" x 0.131"; 10d - 3" x 0.148")											
d. COMMON (6d - 2" x 0.113"; 8d - 2½" x 0.131"; 10d - 3" x 0.148").											
e. DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2½" x 0.131"; 10d - 3" x 0.148").											
f. CORROSION-RESISTANT SIDING (6d - 1⅞" x 0.106"; 8d - 2½" x 0.128") OR CASING (6d - 2" x 0.099"; 8d - 2½" x 0.113") NAIL.											
g. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.											
h. CORROSION-RESISTANT ROOFING NAILS WITH ⅞-INCH-DIAMETER HEAD AND 1½-INCH LENGTH FOR ½-INCH SHEATHING AND 1½-INCH LENGTH FOR ⅝-INCH SHEATHING.											
i. CORROSION-RESISTANT STAPLES WITH NOMINAL ⅞-INCH CROWN OR 1-INCH CROWN AND 1½ -INCH LENGTH FOR ½ -INCH SHEATHING AND 1 ½ -INCH LENGTH FOR ⅝-INCH SHEATHING. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).											
j. CASING (1½" x 0.080") OR FINISH (1½" x 0.072") NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.											
k. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.											
l. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2½" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.											
m. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7⁄16 INCH.											
n. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.											
o. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOFING SHEATHING.											
p. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.											
SHEAR WALL SCHEDULE PER CBC 2019											
SHEAR WALL SPECIFICATIONS						FRAMING REQUIREMENTS					
SHEAR PANEL SYMBOL	UNIT SHEAR (PLF)	SHEATHING GRADE AND THICKNESS	NAIL SIZE	TYPICAL EDGE NAILING	TYPICAL FIELD NAILING	MIN STUD SIZE AT EDGES	SILL PLATE ^a		TOP PLATE ^b		
							SILL BOLTS	MIN SILL PLATE	A35	LTP4	
	260 E 392 W	½" CDX	8d	6"	12"	2x	⅝" Ø AT 42" O.C.	2x	24" O.C.	24" O.C.	
	350 E 602 W	½" CDX	8d	4"	12"	2x	⅝" Ø AT 27" O.C.	2x	18" O.C.	18" O.C.	
	490 E 770 W	½" CDX	8d	3"	12"	3x	⅝" Ø AT 21" O.C.	3x	12" O.C.	12" O.C.	
	640 E 1022 W	½" CDX	8d	2"	12"	3x	⅝" Ø AT 16" O.C.	3x	8" O.C.	8" O.C.	
SHEAR WALL NOTES:											
1) ALL SHEAR WALL EDGES SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING PER 2015 NDS 4.3.7.1. REFER TO TABLE 4.3A OF 2015 NDS FOR OTHER REQUIREMENTS.											
2) NAILING SHALL BE LOCATED A MINIMUM OF ⅝" FROM THE PANEL EDGES. MAXIMUM NAIL SPACING AT PANEL EDGES SHALL BE 6" O.C.											
3) CONTRACTOR MAY CHOOSE ONE OF THE TWO TOP PLATE CONNECTOR OPTIONS.											
4) AT WALLS WHICH BEAR TRUSSES; SIMPSON'S H1 CLIP MAY BE USED IN PLACE OF ONE A35 OR LTP4 TOP PLATE CONNECTOR FOR SHEAR TRANSFER.											
5) ANCHOR BOLTS ARE TO BE SPACED PER SHEAR WALL SCHEDULE U.N.O.											
6) ALL SILL BOLTS ARE TO HAVE SIMPSON BP ⅝-3 BEARING PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN ½" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING OR OTHER MATERIAL WITH NOMINAL UNIT SHEAR CAPACITY GREATER THAN 400 PLF PER 2015 NDS 4.3.6.4.3.											
7) STAGGER NAILING AT ALL PANEL EDGES PER 2015 NDS 4.3.7.4.											
8) THE ELECTRICAL PANEL MAY NOT BE LOCATED WITHIN A SHEARWALL. IF THE ELECTRICAL PANEL IS TO BE POSITIONED WITHIN A SHEARWALL, ENGINEERING CALCULATIONS AND DETAILING MUST BE PROVIDED											

ABBREVIATIONS

A.B.

= ANCHOR BOLT

A/C

= AIR CONDITIONER

A/E

= ARCHITECT/ENGINEER

ACST

= ACOUSTIC

AD

= AREA DRAIN

B.A.

= BURGLAR ALARM

BD

= BOARD

BOT

= BOTTOM

CLR

= CLEARANCE

CONC

= CONCRETE

COND

= CONDENSER

CONST.

= CONSTRUCTION

DBL

= DOUBLE

DEG

= DEGREE

DEMO

= DEMOLITION

DIA

= DIAMETER

DIST

= DISTANCE

DJ

= DOUBLE JOIST

DW

= DISH WASHER

DWL

= DOWELS

E

= ENAMEL

EN

= EDGE NAIL

EW

= EACH WAY

EXIST

= EXISTING

EXT

= EXTERIOR

FAU

= FORCED AIR UNIT

FF

= FINISHED FLOOR

FIB

= FIBER

FIN

= FINISH

FLUOR

= FLUORESCENT

GA

= GAGE

GI

= GALVANIZED METAL

GFI

= GROUND FAULT INTERRUPTER

GLZ

= GLAZING

GYP BD.

= GYPSUM BOARD

HE

= HIGH EFFICIENCY

HB

= HOSE BIB

HORIZ

= HORIZONTAL

HT

= HEIGHT

IF

= INSIDE FACE

INFO

= INFORMATION

INSTL

= INSTALL

INSUL

= INSULATION

K

= KIPS

KIP

= THOUSAND POUNDS

KSF

= KIPS PER SQUARE FOOT

LAM

= LAMINATE

LIN

= LINEAR

MCJ

= MASONRY CONTROL JOINT

MIL

= MILLIMETER

MIN

= MINIMUM

OC

= ON CENTER

OH

= OVER HANG

O

= OPEN

OSB

= ORIENTED STRAND BOARD

PCF

= POUNDS PER CUBIC FOOT

PT

= PRESSURE TREATED

PL

= PLATE

PSF

= POUNDS PER SQUARE FOOT

RR

= ROOF RAFTER

REF

= REFRIGERATOR

S AND P

= SHELF AND POLE

SA

= SUPPLY AIR

SD

= SMOKE DETECTOR

SIM

= SIMILAR

STL

= STEEL

SUB

= SUBSTITUTE

TEMP

= TEMPERED

TOC

= TOP OF CONCRETE

TOF

= TOP OF FOOTING

TYP

= TYPICAL

UNO

= UNLESS NOTED OTHERWISE

WH

= WATER HEATER

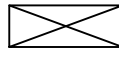
WP

= WEATHER PROOF

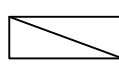
WWM

= WELDED WIREMESH


SYMBOLS



CONTINUOUS MEMBER



BLOCKING




SHEARWALL SYMBOL (SEE SCHEDULE)

4

SHEARWALL TYPE

10'

SHEARWALL LENGTH



NORTH ARROW

2

FOOTING SYMBOL

1

DETAIL NUMBER

D1.0

SHEET NUMBER

MATERIAL PROPERTIES

CONCRETE:

1) ALL CONCRETE SHALL CONFORM TO THE SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 301-10.

2) CONCRETE STRENGTH SHALL BE 2500 PSI AT 28 DAYS.

3) CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE = ¾". CONCRETE SHALL BE MIXED, PLACED, AND CURED IN ACCORDANCE TO CURRENT EDITION OF THE ACI 318.

4) CONCRETE MIX DESIGNS (INCLUDING AIR CONTENT, WATER TO CEMENT RATIOS, AND OTHER CRITERIA) SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN ACI 318 TABLE 19.3.2.1, BASED ON EXPOSURE CATEGORIES AND CLASSES DEFINED IN ACI 318 TABLE 19.3.1.1. USE AIR ENTRAINING ADMIXTURE IN ALL EXTERIOR CONCRETE.

5) HOT WEATHER CONCRETING: WHEN HOT WEATHER CONDITIONS EXIST THAT WOULD IMPAIR THE QUALITY AND STRENGTH OF THE CONCRETE, REDUCE DELIVERY TIME OF READY MIX CONCRETE, LOWER THE TEMPERATURE OF MATERIALS, OR ADD RETARDER TO ENSURE THAT THE CONCRETE IS PLASTIC. RETEMPERING WITH WATER IS NOT ALLOWED. COMPLY WITH ACI 305R.

REINFORCING STEEL:

6) STEEL REINFORCEMENT SHALL CONFORM WITH ASTM A615:

GRADE 40: #4 BARS AND SMALLER

GRADE 60: #5 BARS AND LARGER

7) REINFORCEMENT LAP SPICE SHALL BE IN ACCORDANCE WITH ACI, CHAPTER 12, UNLESS NOTED OTHERWISE.

8) REINFORCING SHALL NOT BE TACK WELDED OR WELDED IN ANY MANNER UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL PLANS.

9) ALL WELDED WIRE FABRIC SHALL BE DEFORMED AND SHALL CONFORM TO ASTM A479. PROVIDE IN FLAT SHEETS ONLY.

10) ALL HORIZONTAL REINFORCING IN FOOTINGS, WALLS, AND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE BENT (CORNER) BARS OF THE SAME SIZE AND SPACING AS THE HORIZONTAL BARS AND LAP 30 BAR DIAMETERS (24" MINIMUM).

11) ANCHOR BOLTS SHALL BE ASTM A307.

12) ALL ADHESIVE (EPOXY) FOR POST-INSTALLED ANCHORS AND/OR REBAR INTO CONCRETE SHALL BE SIMPSON SET-XP EPOXY-TIE ANCHOR SYSTEM.

WOOD:

13) ALL LUMBER SHALL BE IDENTIFIED WITH THE GRADE MARK AND STAMP OF THE GRADING ASSOCIATION INDICATING THE SPECIES.

14) ALL SAWN LUMBER (2"-4" THICK, 2" & WIDER) EXCEPT STUDS SHALL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER.

15) ALL SAWN LUMBER (5"x5" OR LARGER BEAMS AND STRINGERS) SHALL BE DOUGLAS FIR-LARCH NO. 1 OR BETTER.

16) ALL SAWN LUMBER (5"x5" OR LARGER POSTS AND TIMBERS) SHALL BE DOUGLAS FIR-LARCH NO. 1 OR BETTER.

17) ALL STRUCTURAL GLU-LAMINATED BEAMS AND GIRDERS SHALL BE OF DOUGLAS FIR-LARCH W/ ALLOWABLE STRESSES CORRESPONDING TO 24F-V8 AS LISTED IN THE LATEST EDITION OF THE NDS CODE.

18) COORDINATE W/ ARCHITECTURAL DRAWINGS FOR FINISH OF THE SURFACE OF ALL GLU-LAMINATED BEAMS.

19) LAMINATED VENEER LUMBER (MICROLLAM, GANGLAM): ALL BEAMS SHALL HAVE A FLEXURAL STRESS OF FB = 2600 PSI AND MODULUS OF ELASTICITY OF E = 1,900,000 PSI.

20) PARALLEL STRAND LUMBER (PARALLAM): ALL BEAMS SHALL HAVE A FLEXURAL STRESS OF FB = 2900 PSI AND MODULUS OF ELASTICITY OF E = 2,000,000 PSI.

21) JOIST HANGERS SHALL BE SIMPSON STRONG-TIE OR EQUAL W/ CONNECTIONS INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

22) STEEL SIDE PLATES SHALL BE ASTM A36.

23) ALL NEW LUMBER SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBER EXCEEDS 19% MOISTURE CONTENT PER CALGREEN 4.505.3.

24) POWDER DRIVEN PINS AT NON-BEARING INTERIOR WOOD PARTITION SILL PLATES SHALL BE SIMPSON PDPA-300 AT 24" OC OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS.

STEEL:

25) ALL STEEL ANGLES, CHANNELS, PLATES, AND BARS: ASTM A36.

26) ALL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, GRADE 50.

27) ALL HSS STEEL SHAPES SHALL CONFORM TO ASTM A500 GRADE B, FY = 46 KSI.

28) ALL FIELD WELDERS SHALL BE CERTIFIED WITH AWS D1.1 WITHIN THE LAST 12 MONTHS.

29) WELDING ELECTRODES: E 70 SERIES.

30) ALL FIELD WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS.

GENERAL STRUCTURAL NOTES		
CODES AND MANUALS: IBC-18 INTERNATIONAL BUILDING CODE 2018 CBC-19 CALIFORNIA BUILDING CODE 2019 ASCE/SEI 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES NDS 2015 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION 2015 ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AISC MANUAL OF STEEL CONSTRUCTION 15TH EDITION AWS D1.1-04 STRUCTURAL WELDING CODE - STEEL AWS D1.4-11 STRUCTURAL WELDING CODE - REINFORCING STEEL		
GENERAL: WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSON AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. CONTRACTOR SHALL COORDINATE DIMENSIONS OF ALL OPENINGS, DEPRESSIONS, BLOCKOUTS, ETC WITH ARCHITECTURAL DRAWINGS, DRAWINGS FROM OTHER DISCIPLINES, PROJECT SHOP DRAWINGS, AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.		
PROTECTION: PROPER PRECAUTIONS SHALL BE TAKEN AT ALL TIMES TO PROTECT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ANY DAMAGE OR INJURY WHICH MAY BE CAUSED, EITHER DIRECTLY OR INDIRECTLY, BY THE WORK INCLUDED ON THESE DRAWINGS SUCH PRECAUTIONS SHALL INCLUDE THE ERECTION AND MAINTENANCE OF FENCES, BARRICADES, RAILINGS, GUARDS, SIGNS, COVERINGS, LIGHTS, AND OTHER PRECAUTIONS AS MAY BE REQUIRED. SITE CONDITIONS: THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8. DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH R602.6. STRUCTURAL ROOF MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R802.7.		
STRUCTURAL		
DESIGN PARAMETERS		
OCCUPANCY GROUP: CONSTRUCTION TYPE:		R3/U V-B
DESIGNED TO THE ASCE 7-16 STANDARDS		
RISK CATEGORY = ROOF DEAD LOAD = SOLAR PV DEAD LOAD = ROOF LIVE LOAD = FLOOR DEAD LOAD = FLOOR LIVE LOAD = BASIC WIND SPEED = WIND EXPOSURE =		II 15 PSF 2.5 20 PSF 20 PSF 40 PSF 92 MPH C
GROUND SNOW LOAD =		0 PSF
SEISMIC IMPORTANCE FACTOR = LATERAL FORCE RESISTING SYSTEM = WOOD SHEAR WALLS		1.0
RESPONSE MODIFICATIONS FACTOR, R = OVER-STRENGTH FACTOR, OMEGA = DEFLECTION AMPLIFICATION FACTOR, CD = Cswood =		6.5 2.5 4.0 0.275
SEISMIC PARAMETERS		
	VALUE	
SITE CLASS Seismic Design Category, SDC Short period spectral response acceleration, Ss 1-Second spectral response acceleration, S1 Short period site coefficient, Fa 1-Second site coefficient, Fv Adjusted short period spectral response acceleration, Sms Adjusted 1-Second period spectral response acceleration Sm1 Short period design spectral acceleration, SDS 1-Second design spectral acceleration,SD1	D E 2.23 0.928 1.2 1.7 2.679 1.670 1.786 1.114	
SHEET INDEX		
S0.0	=	GENERAL NOTES
S1.0	=	FOUNDATION PLAN / FRAMING PLAN
D1.0	=	DETAILS
D2.0	=	TYPICAL DETAILS
SPECIAL INSPECTION AND TESTING		
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO SECTION 1704 OF THE 2019 CALIFORNIA BUILDING CODE. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK FOR MATERIAL TESTING REQUIREMENTS. SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECT TO THE BUILDING OFFICIAL AND ENGINEER OF RECORD.		
ITEM	REQUIRED	REMARKS

WILLIAMSON

CHAVEZ DESIGN

PO BOX 53054

ALBUQUERQUE, NM 87153

PHONE NO: 661.586.1205

CONTACT: DAVID LARA, PE

12/21/2022

EXP: 09/30/2023

PROPOSED ADDITION/REMODEL FOR:

JIMENEZ FAMILY

701 3RD ST.

SAN JUAN BAUTISTA, CA 95045

NO. DATE

1

2

3

4

JOB NO: 102022-02

DATE: 12/21/2022

DRAWN BY: DAL

SCALE: N.T.S.

SHEET NO:

S0.0



- # FOUNDATION PLAN FRAMING PLAN

PROPOSED ADDITION/REMODEL FOR:

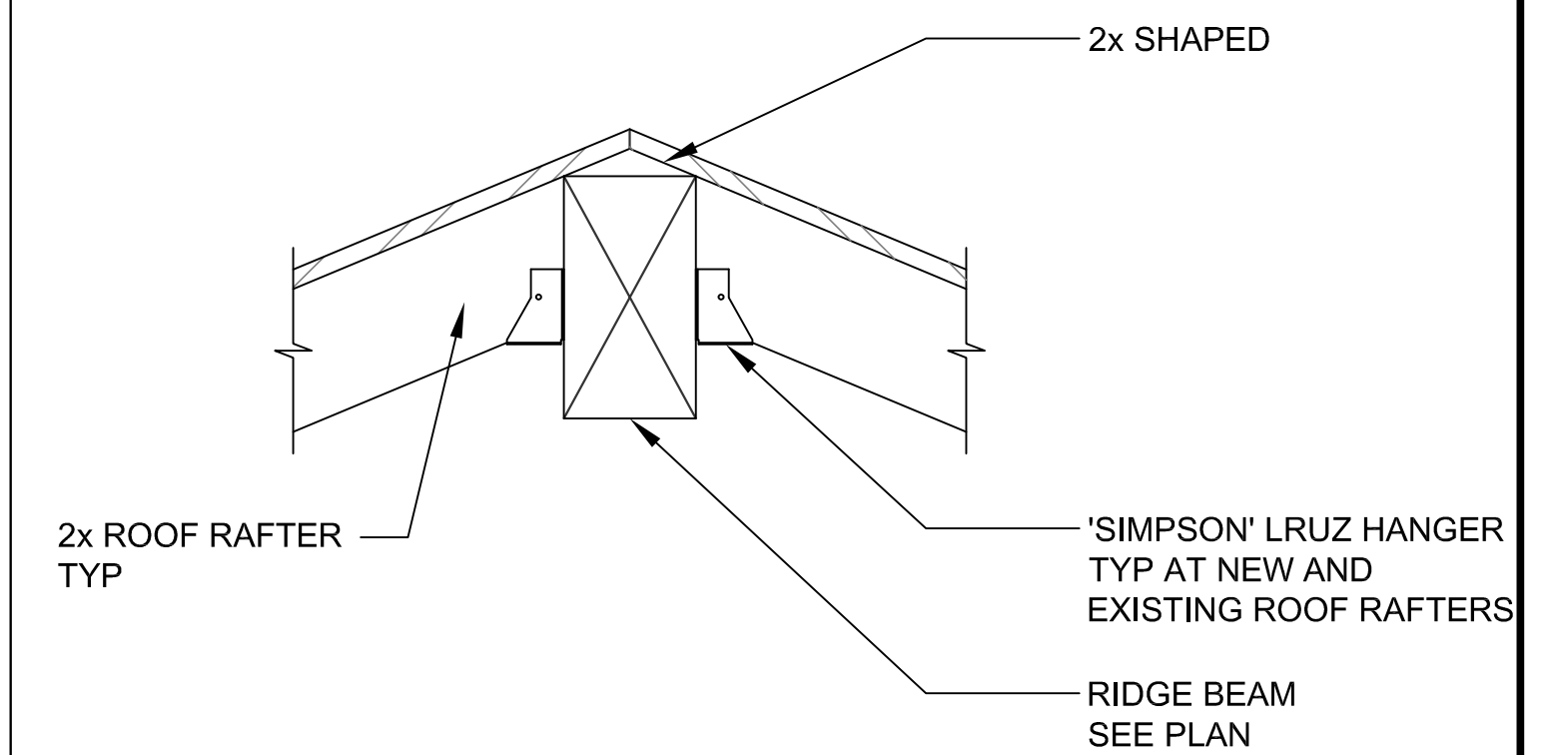
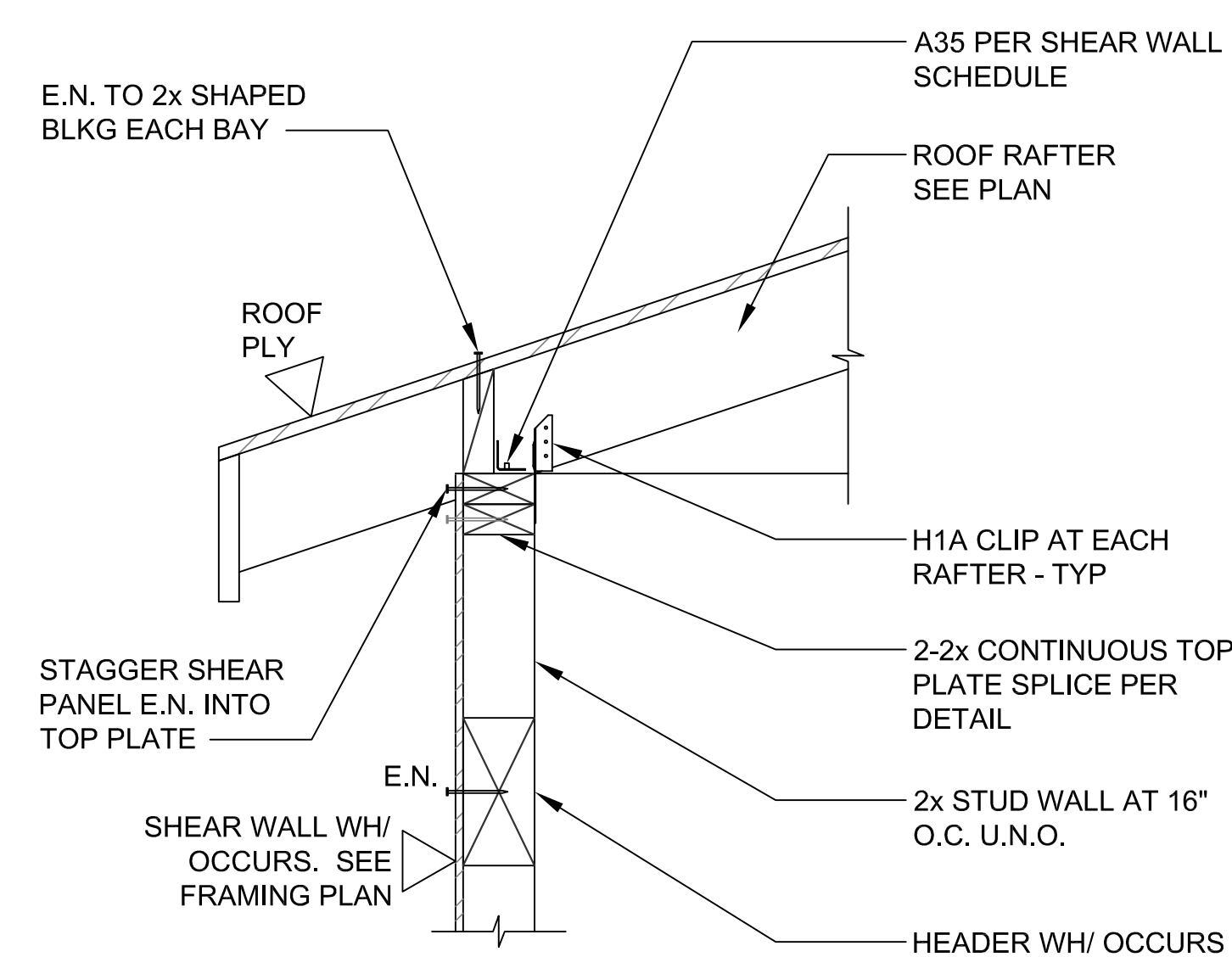
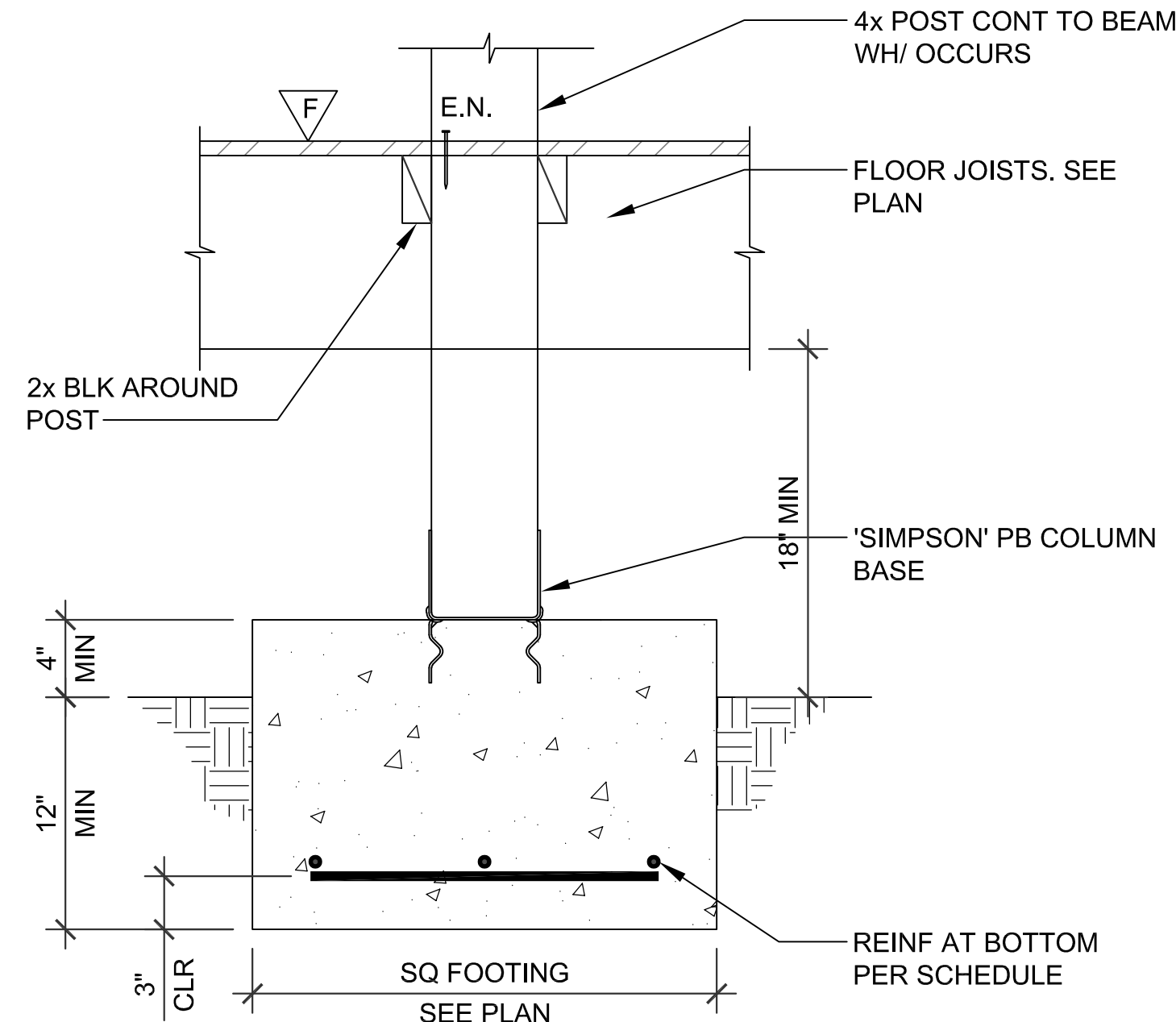
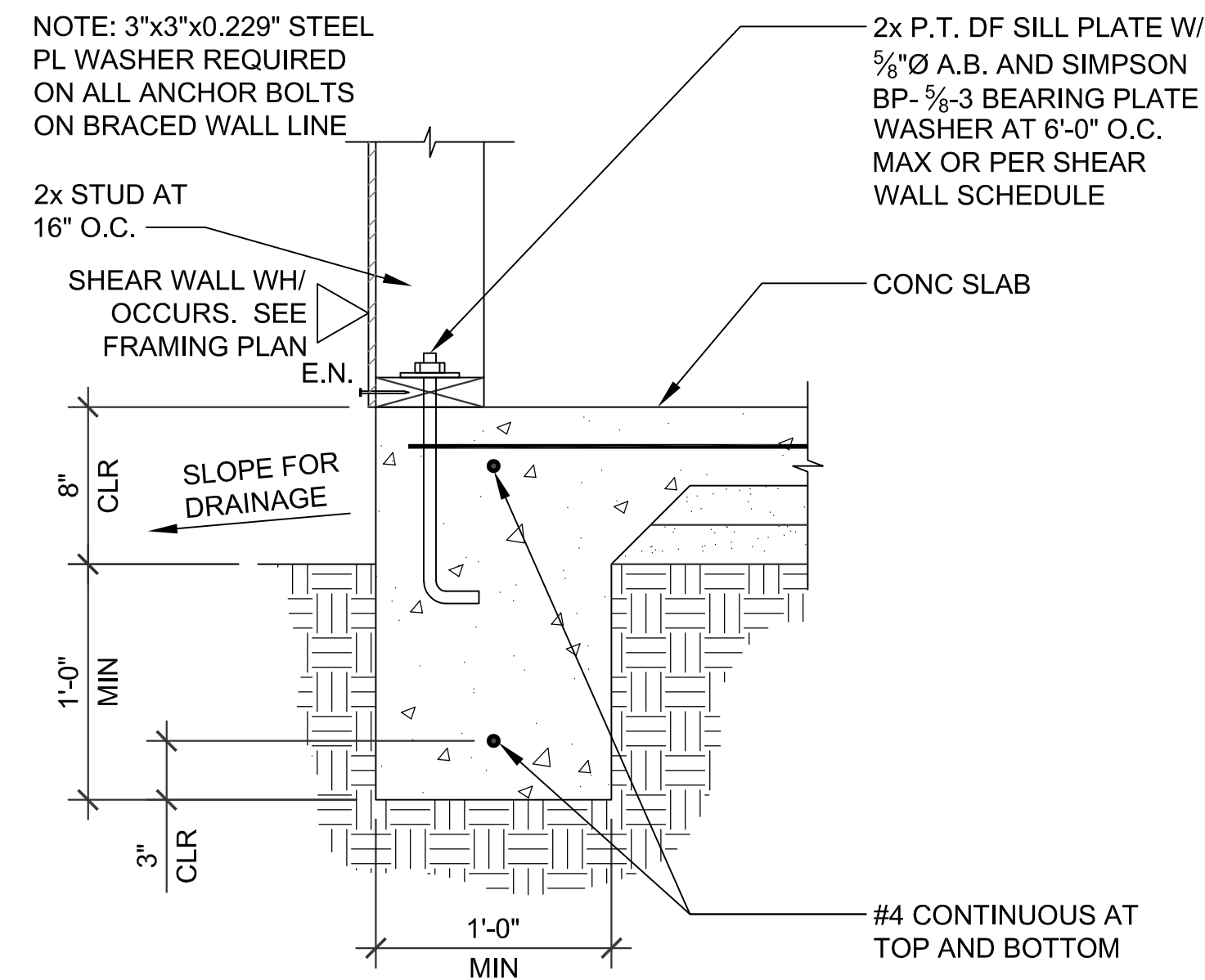
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

NO.	DATE
1	03/02/2023
2	04/03/2023
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4	

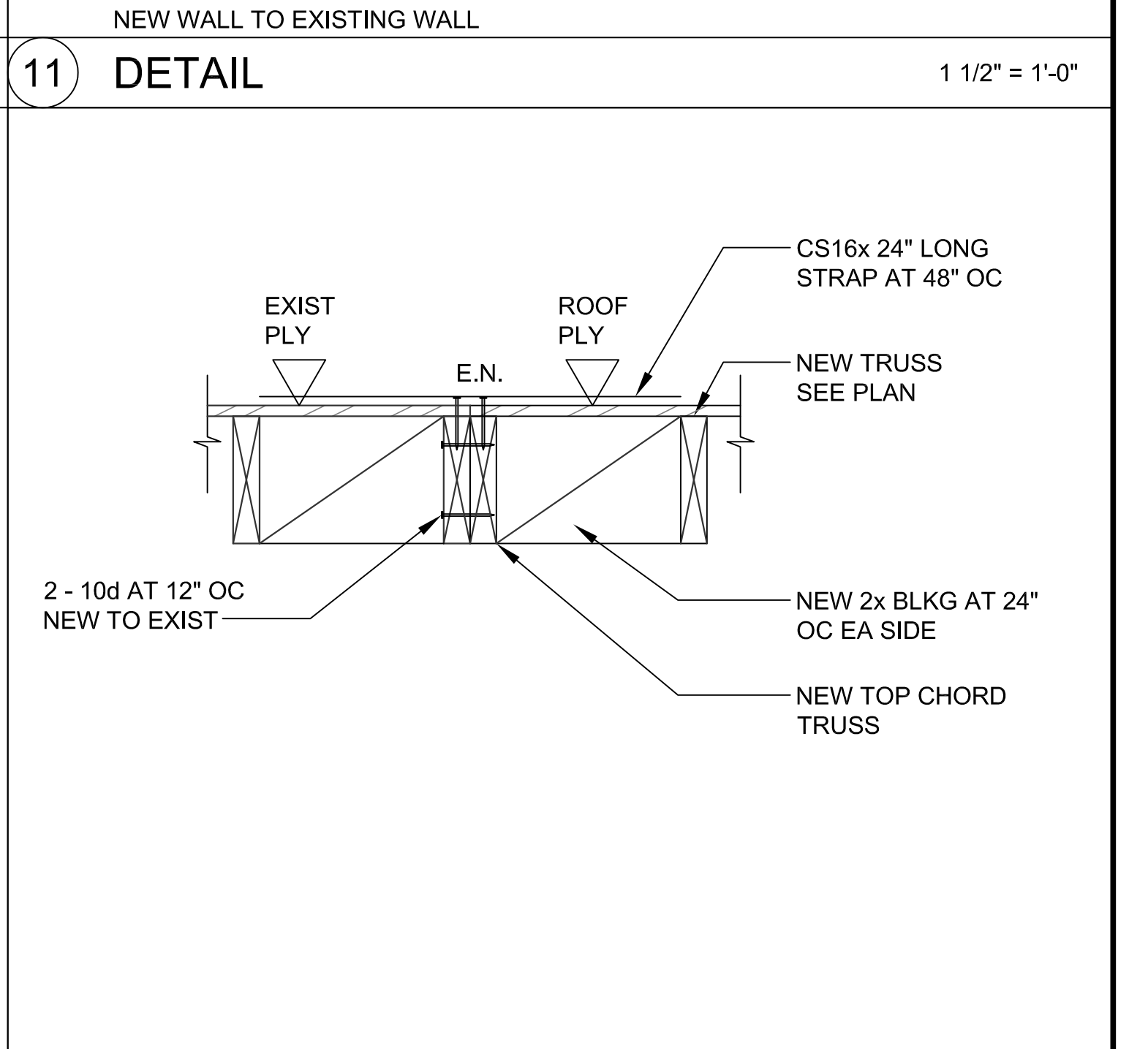
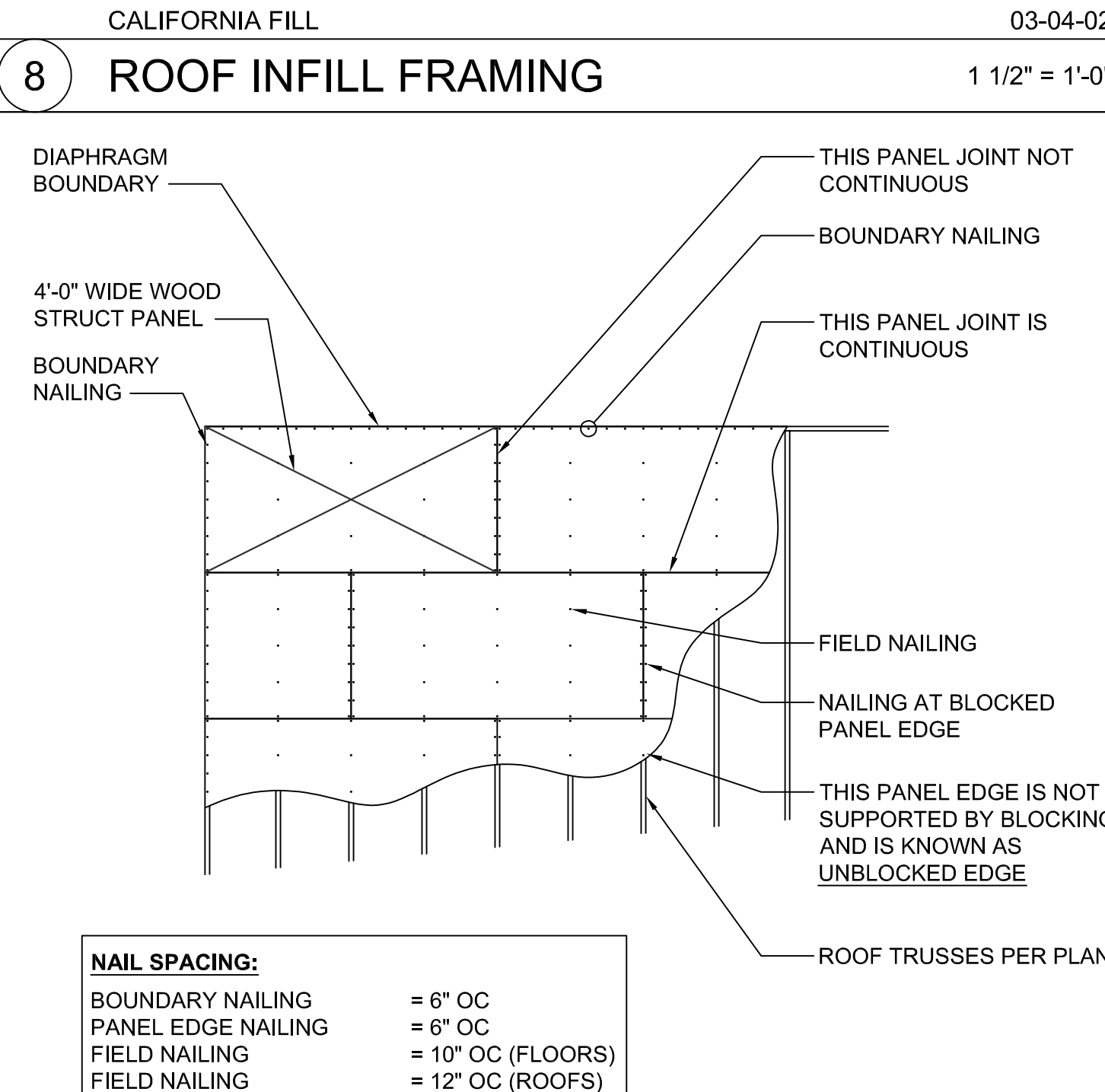
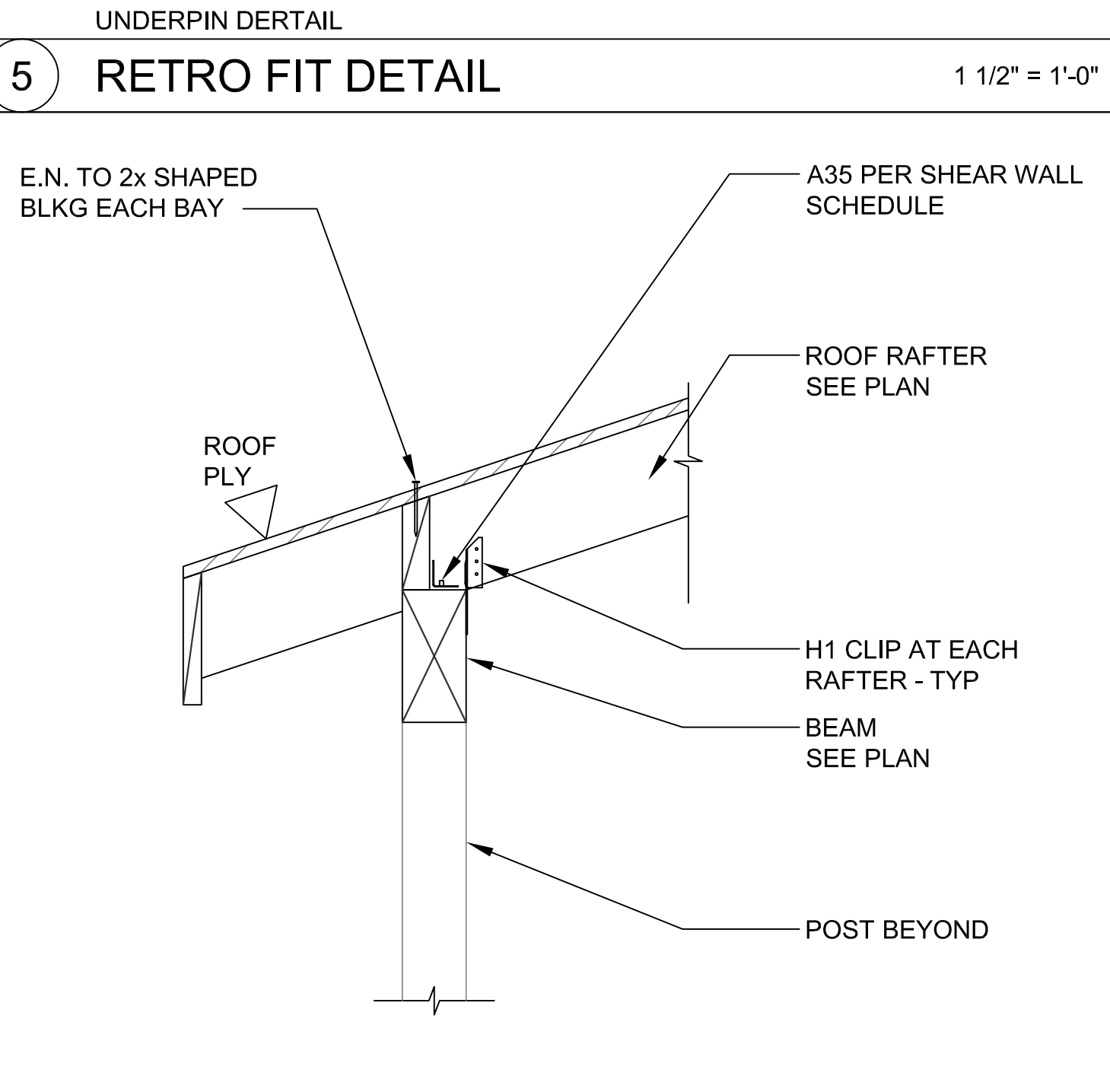
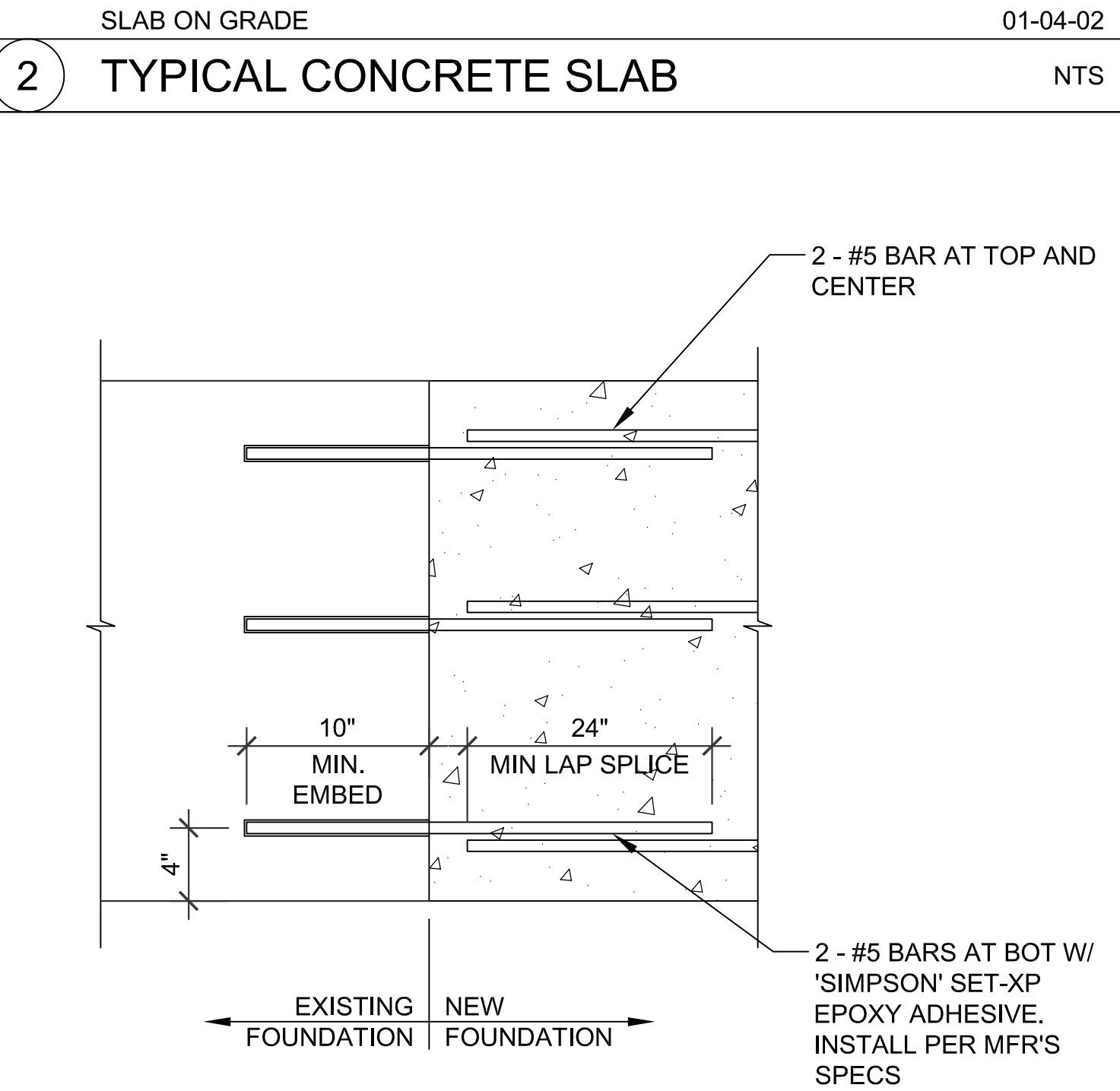
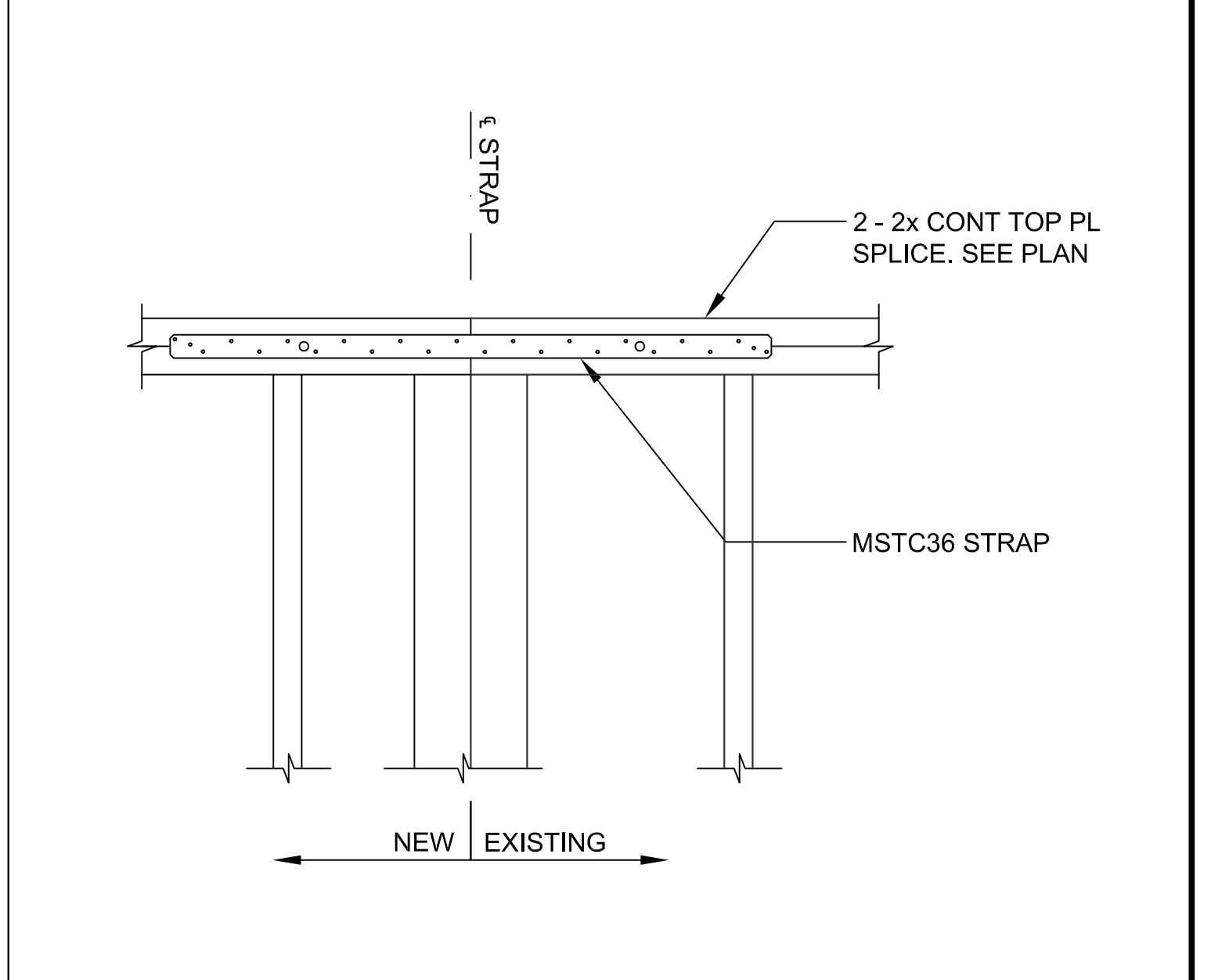
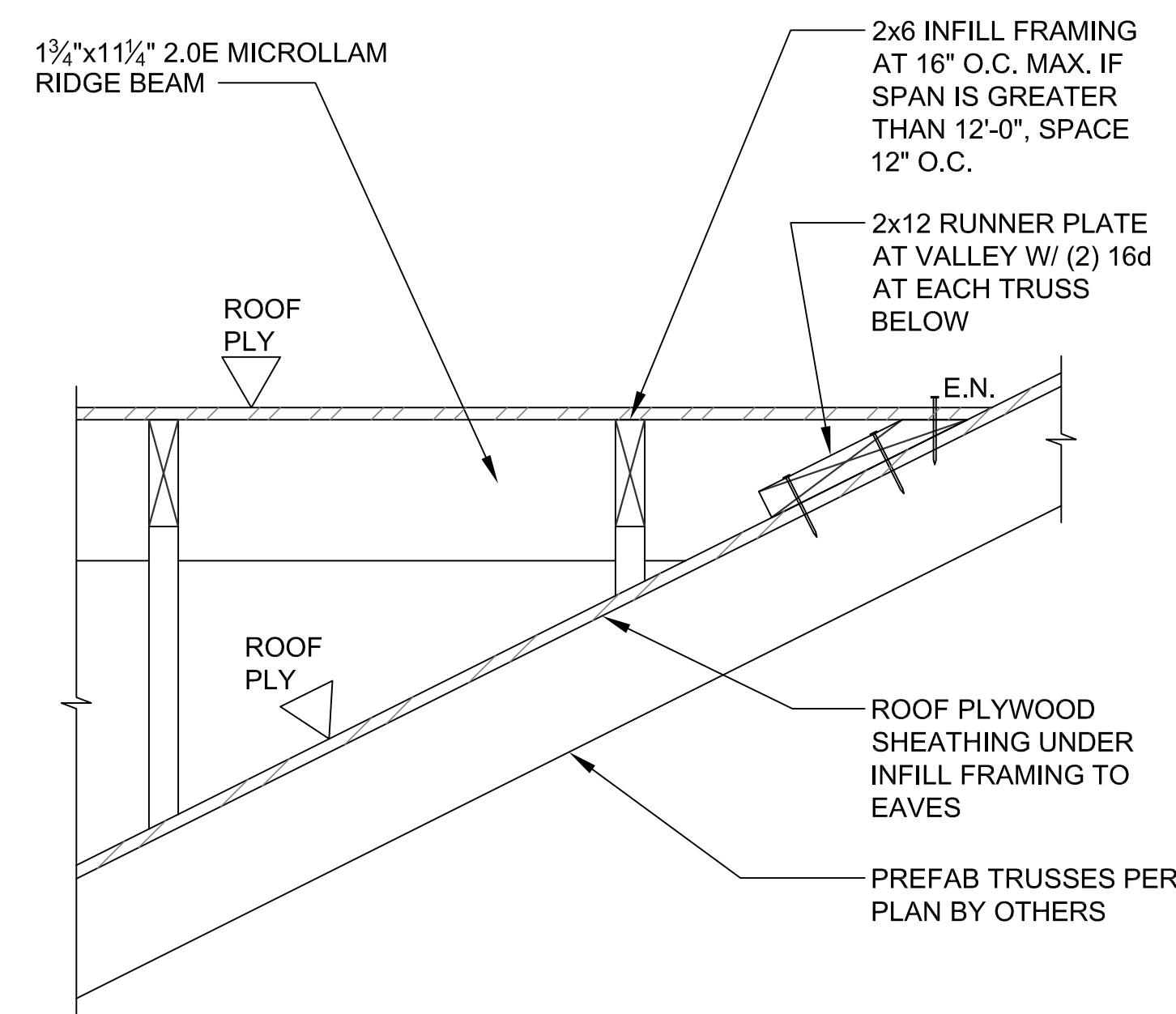
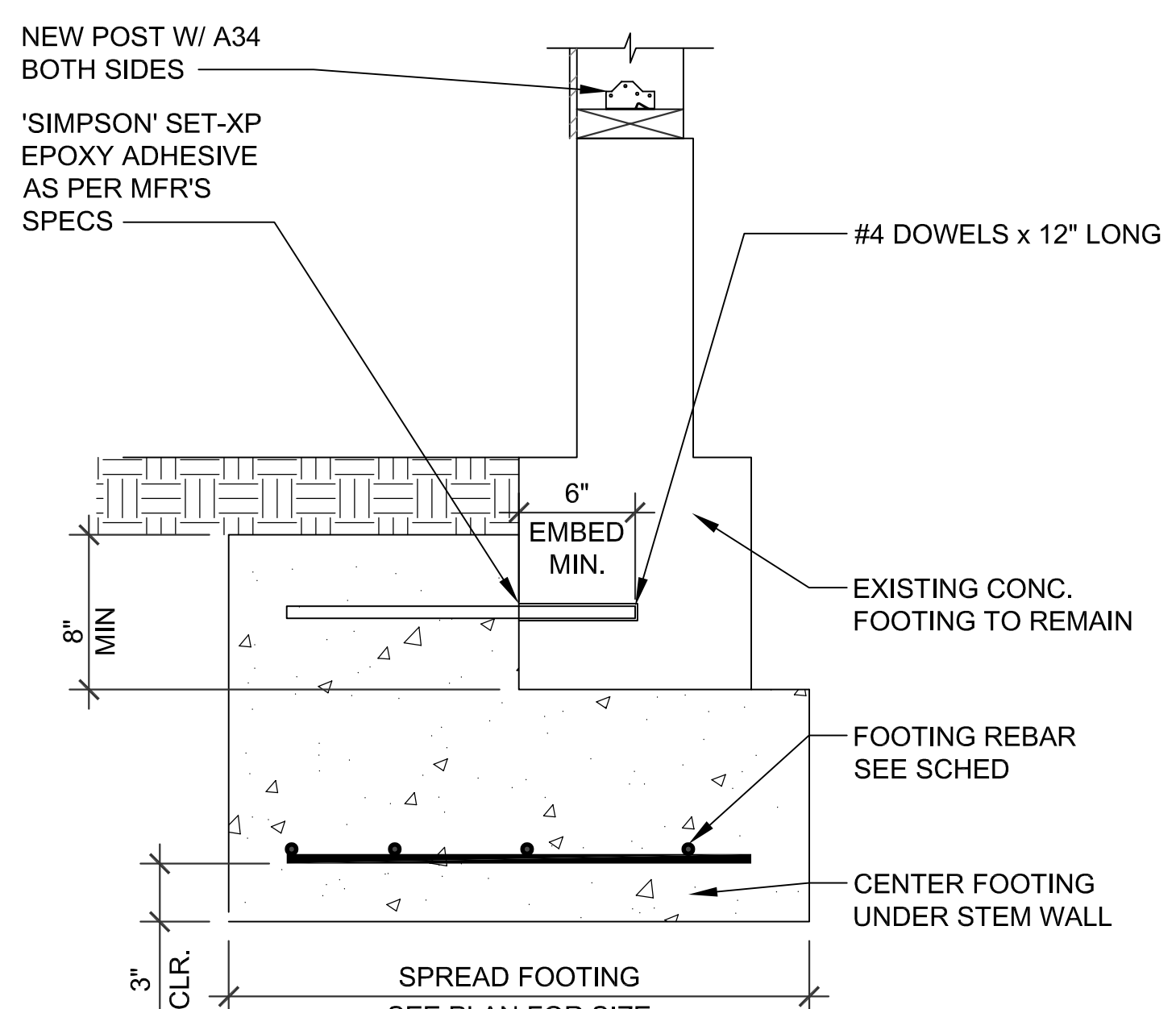
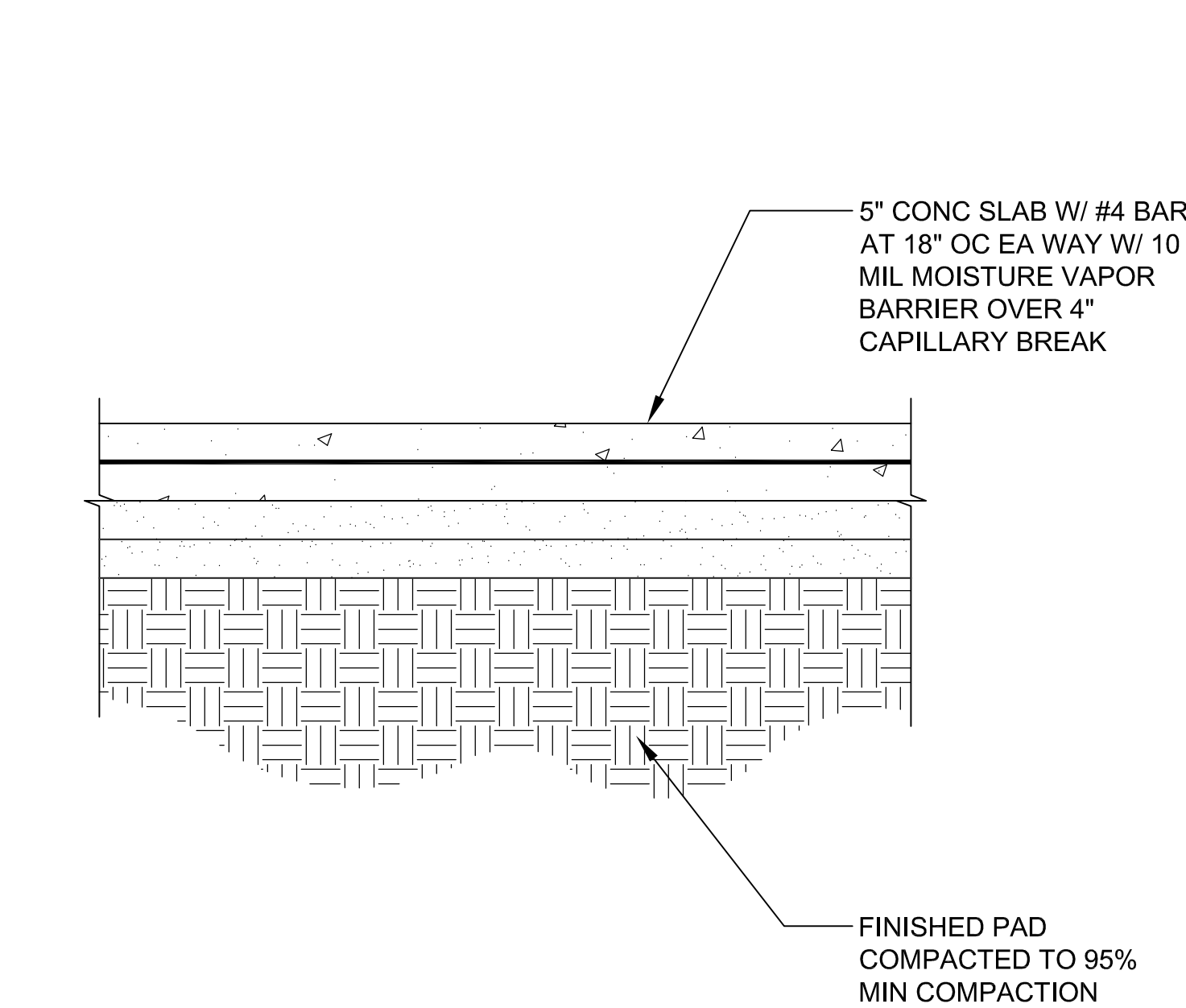
JOB NO:	102022-02
DATE:	12/21/2022
DRAWN BY:	DAL
SCALE:	N.T.S.

SHEET
NO:

\$1.0



1 EXTERIOR CONTINUOUS FOOTING 1 1/2" = 1'-0"



3 EXTERIOR CONTINUOUS FOOTING 1 1/2" = 1'-0"

6 EXTERIOR BEAM AT EAVE 1 1/2" = 1'-0"

9 DIAPHRAGM DETAIL 1/4" = 1'-0"

12 ROOF DETAIL 1 1/2" = 1'-0"

WILLIAMSON
CHAVEZ DESIGN
PO BOX 53054
ALBUQUERQUE, NM 87153
PHONE NO: 661-586-1205
CONTACT: DAVID LARA, PE



DETAILS

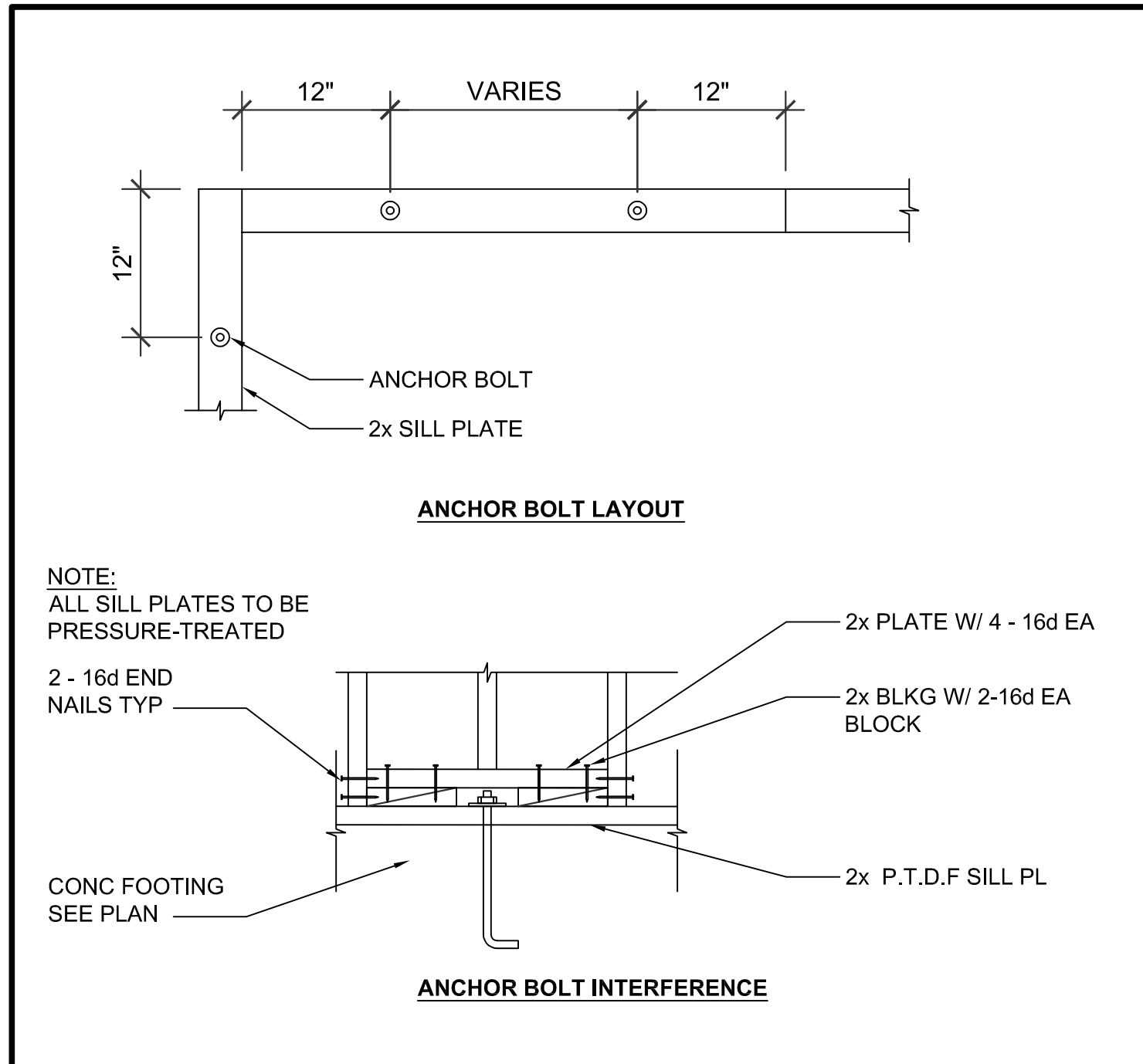
PROPOSED ADDITION/REMODEL FOR:
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

NO.	DATE
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2	
3	
4	

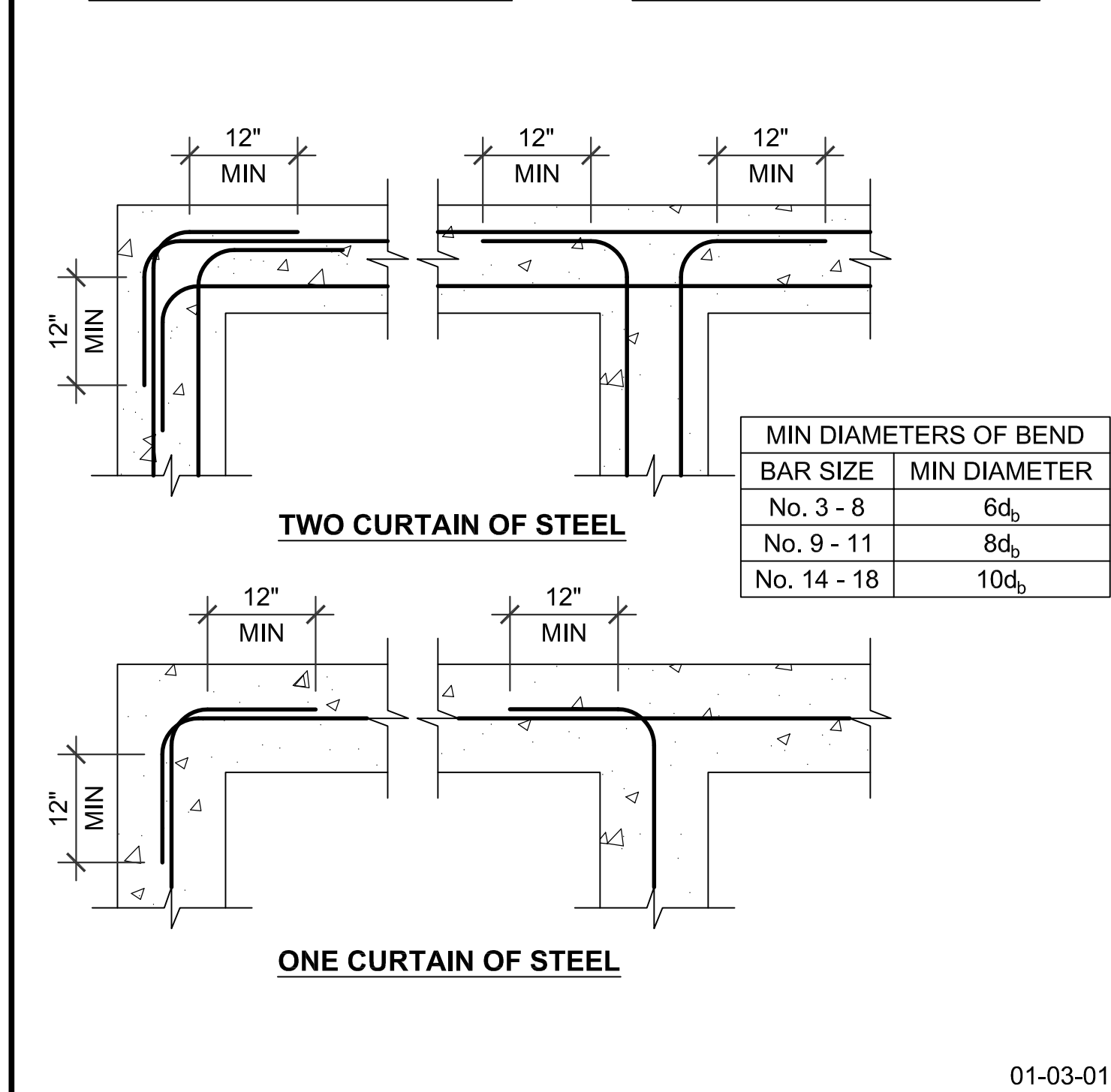
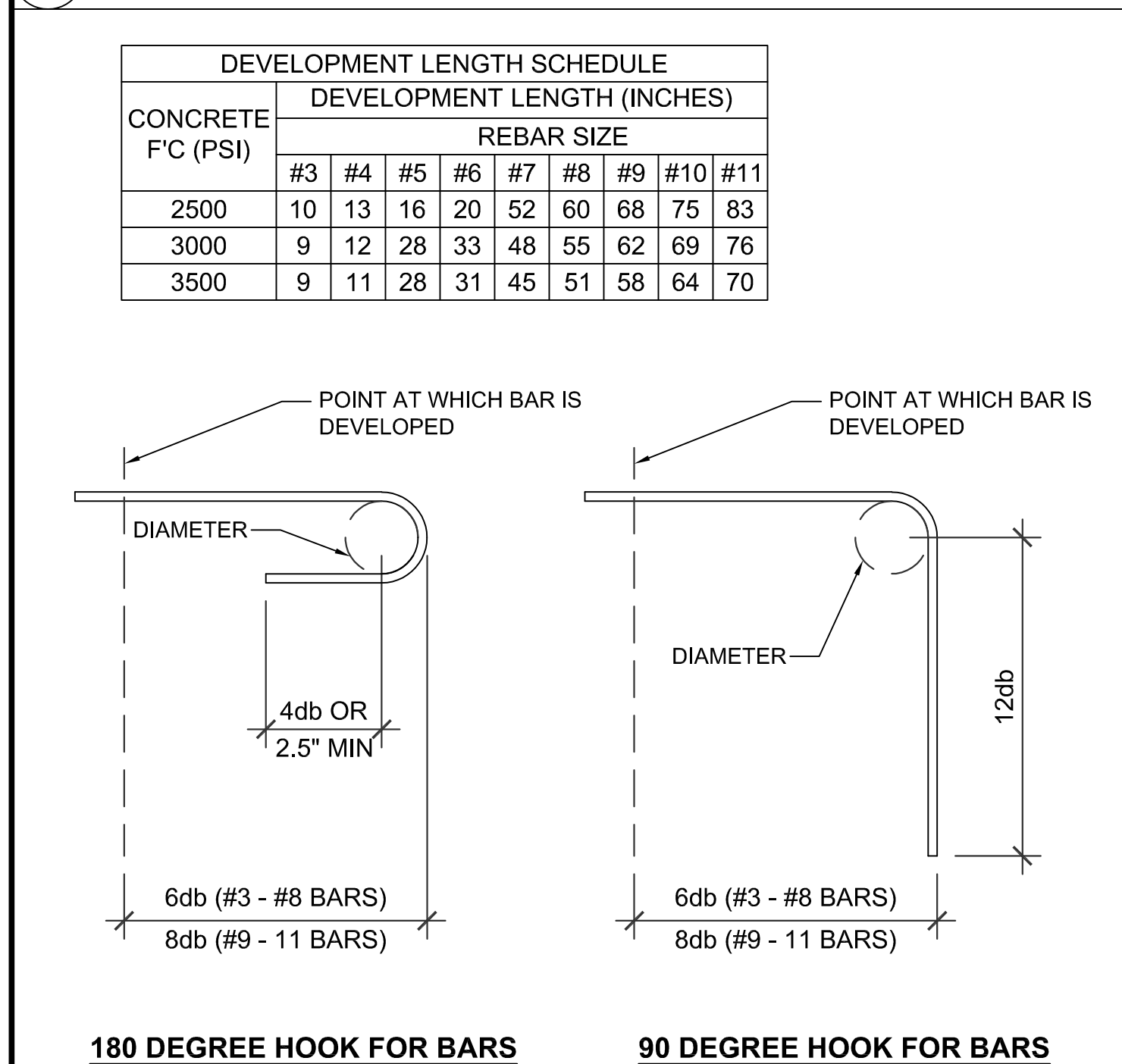
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DATE:	12/21/2022
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Y:	DAL
SCALE:	N.T.S.

SHEET
NO:

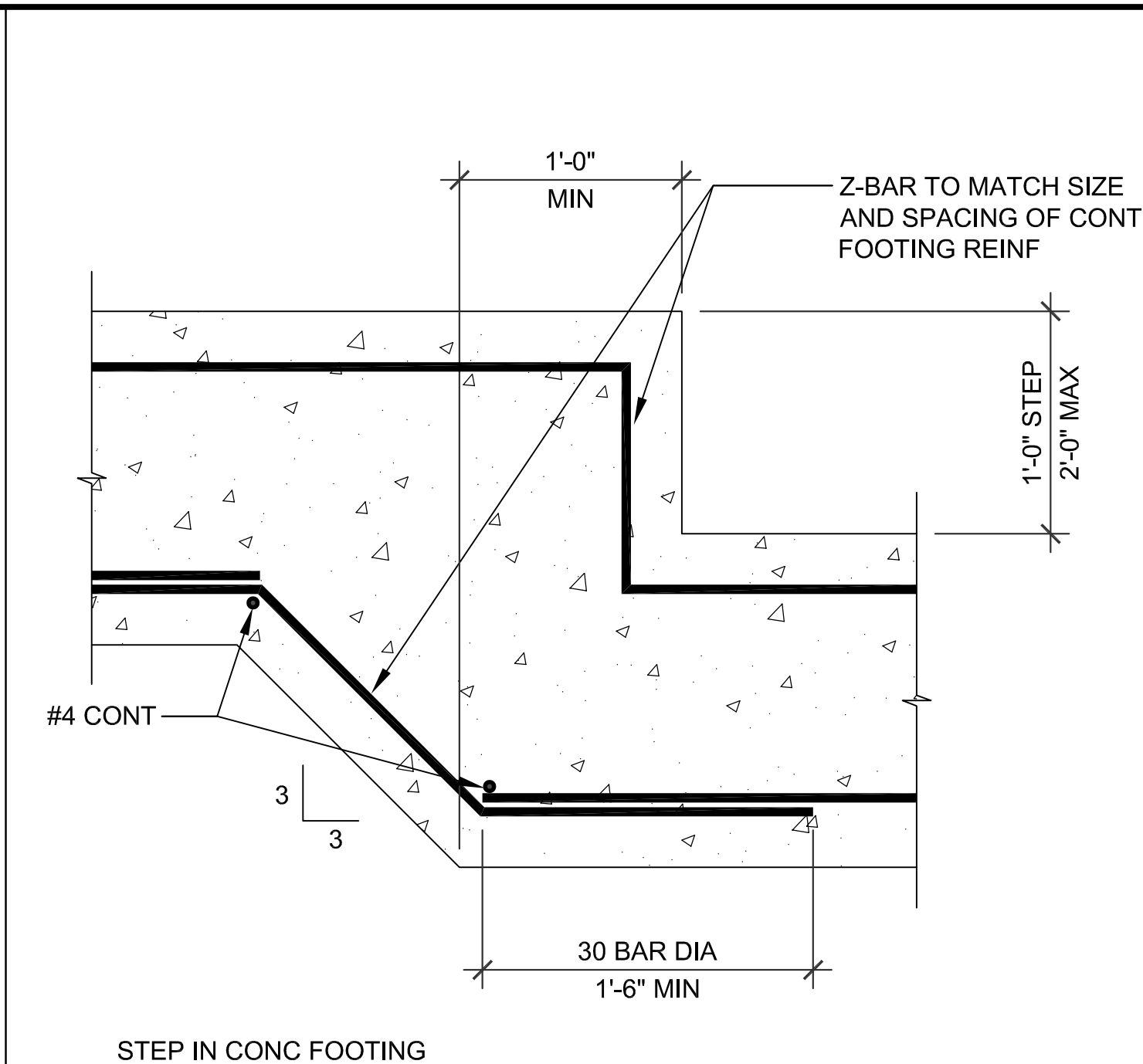
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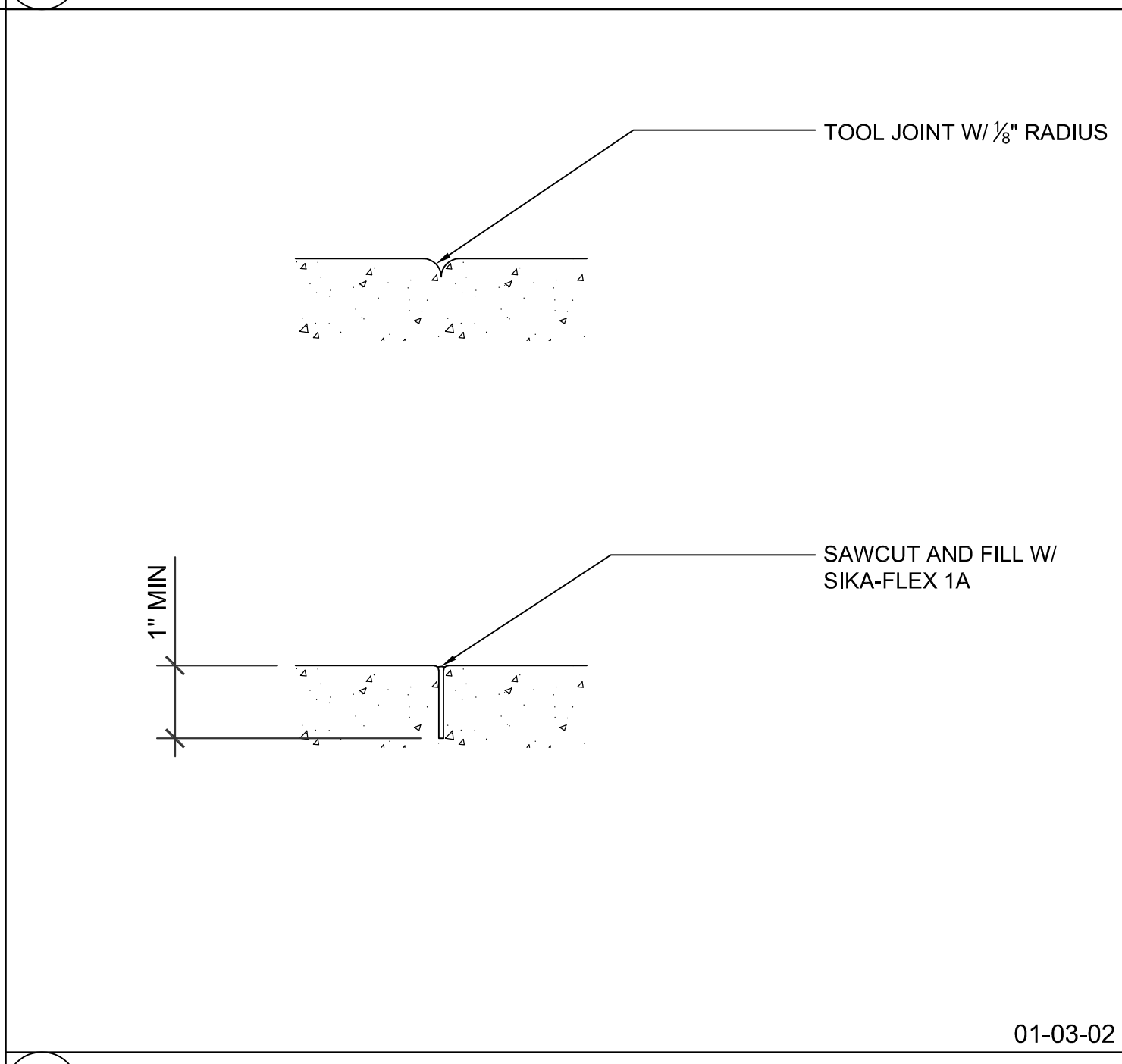
1 TYPICAL ANCHOR BOLT LAYOUT N.T.S.



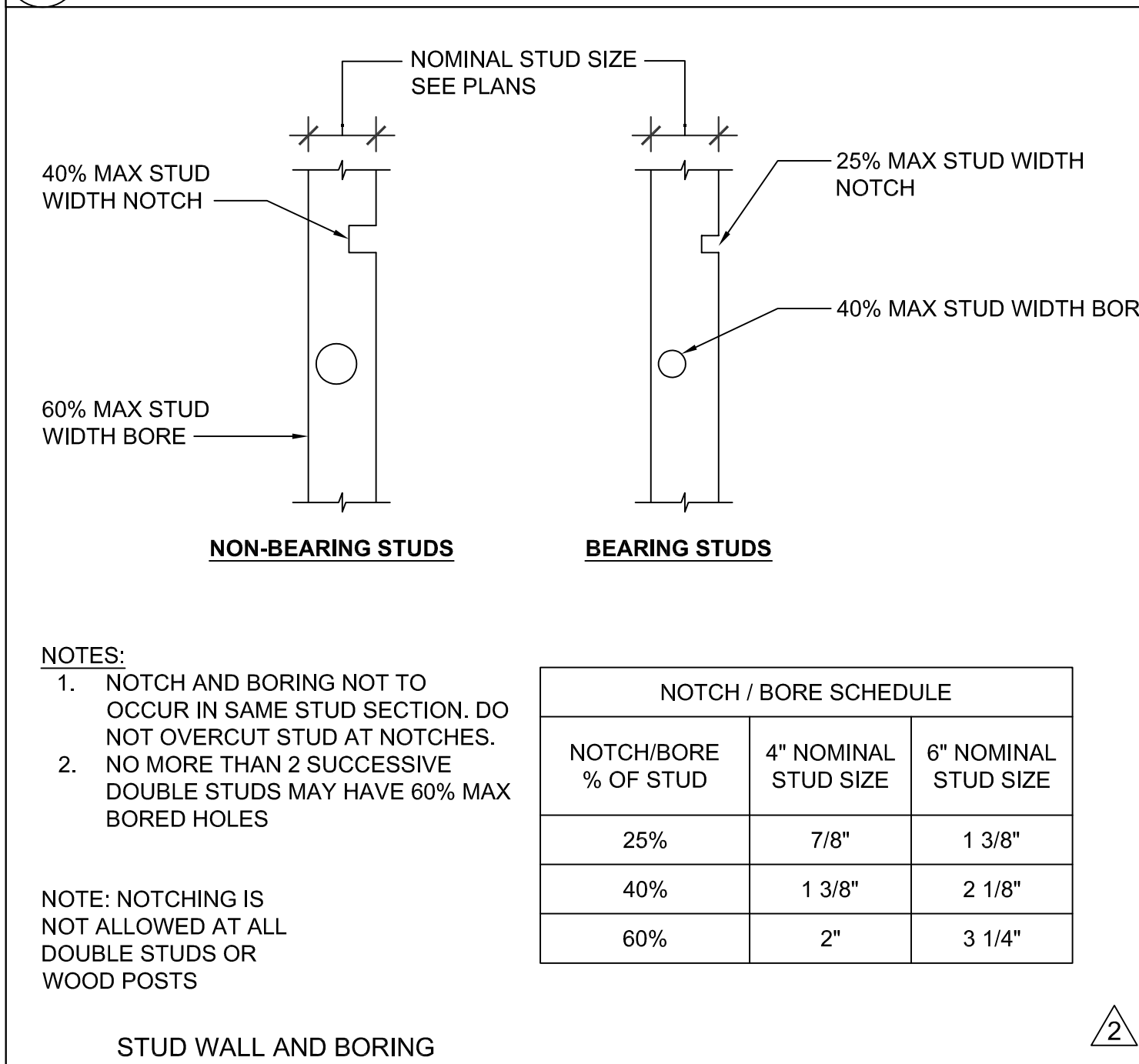
2 HORIZONTAL SPLICE REINFORCING 3/4" = 1'-0"



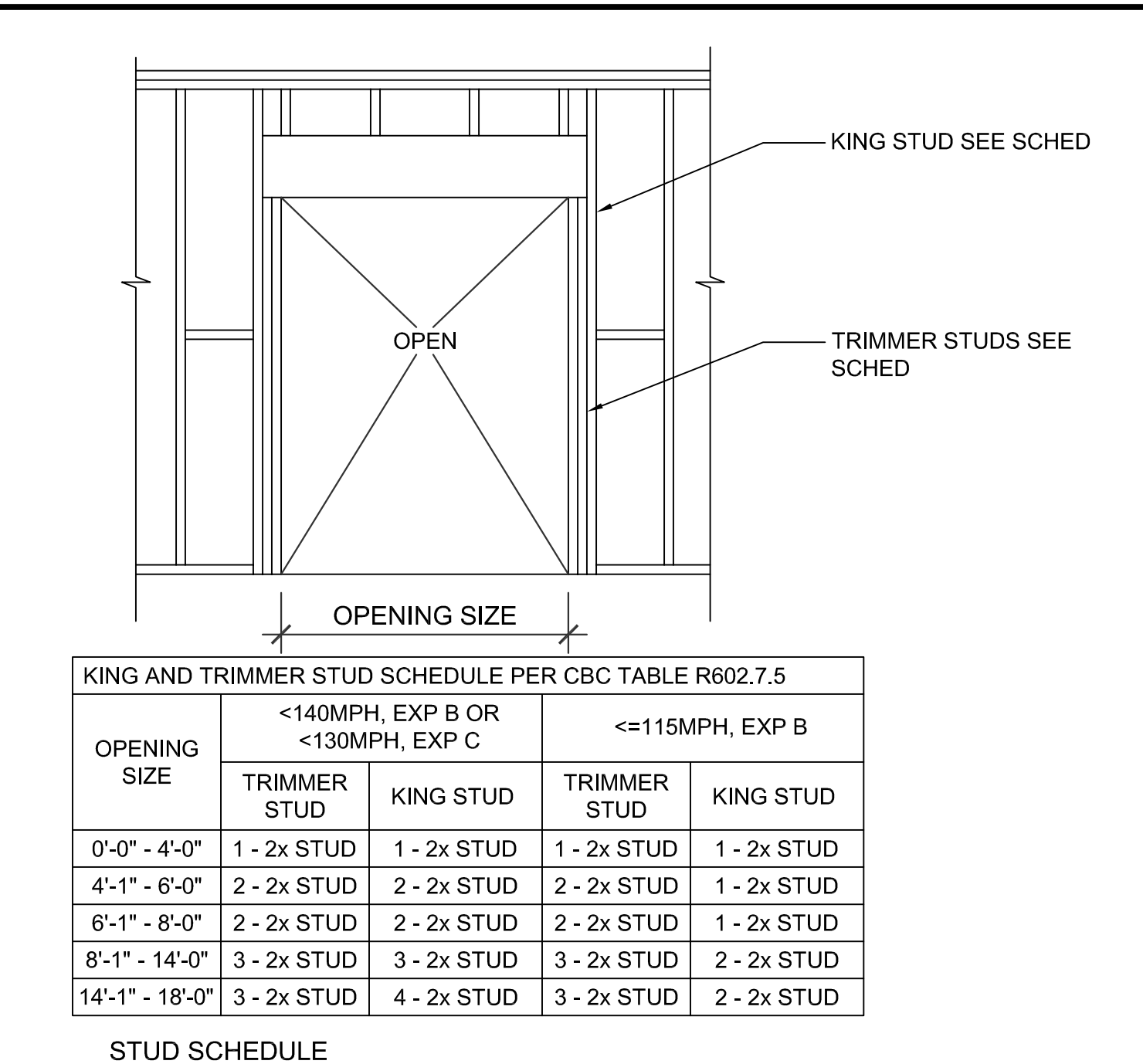
3 EXTERIOR CONTINUOUS FOOTING 1 1/2" = 1'-0"



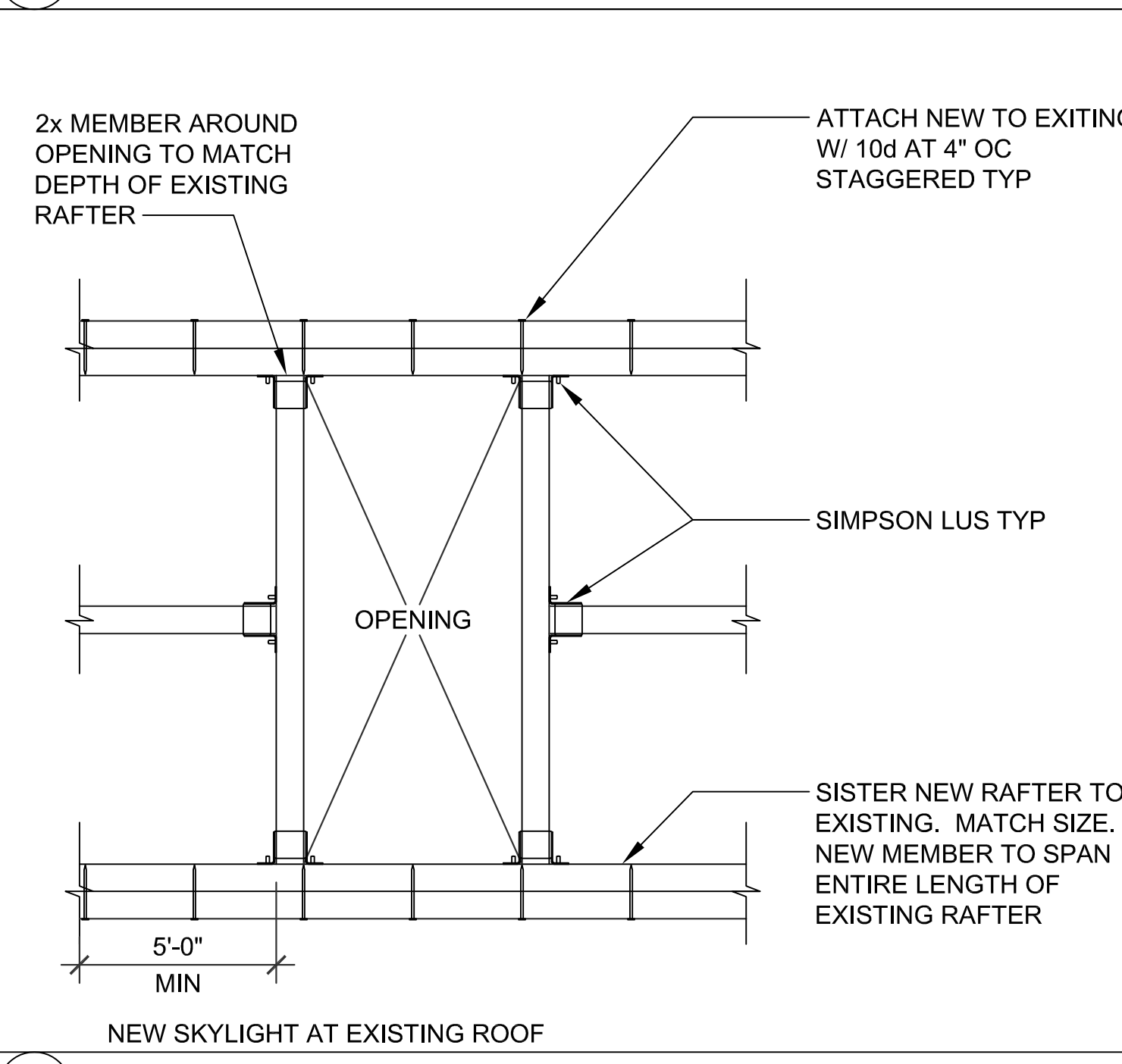
4 CONSTRUCTION JOINT FULL



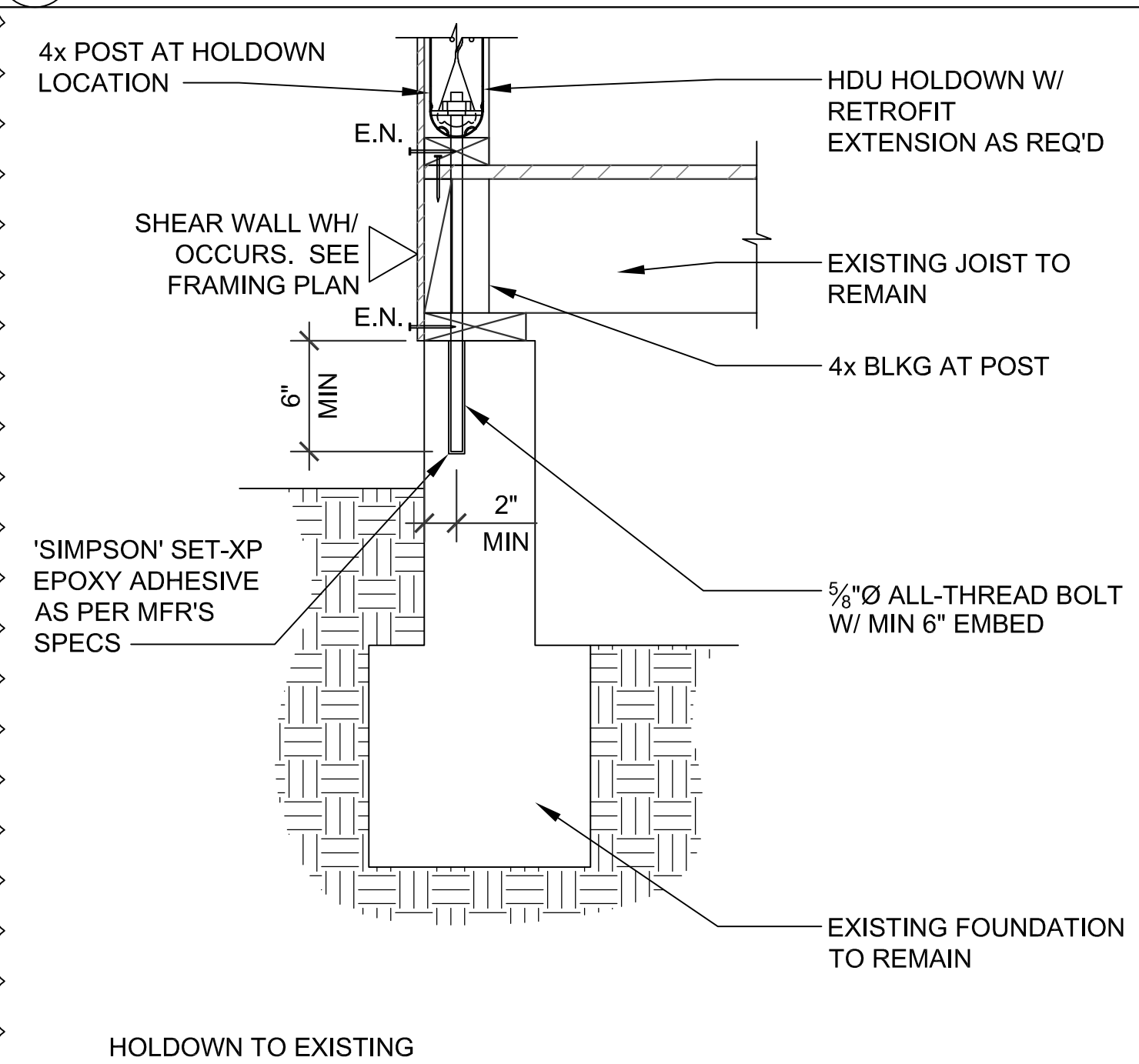
5 TYPICAL NOTCHING DETAIL N.T.S.



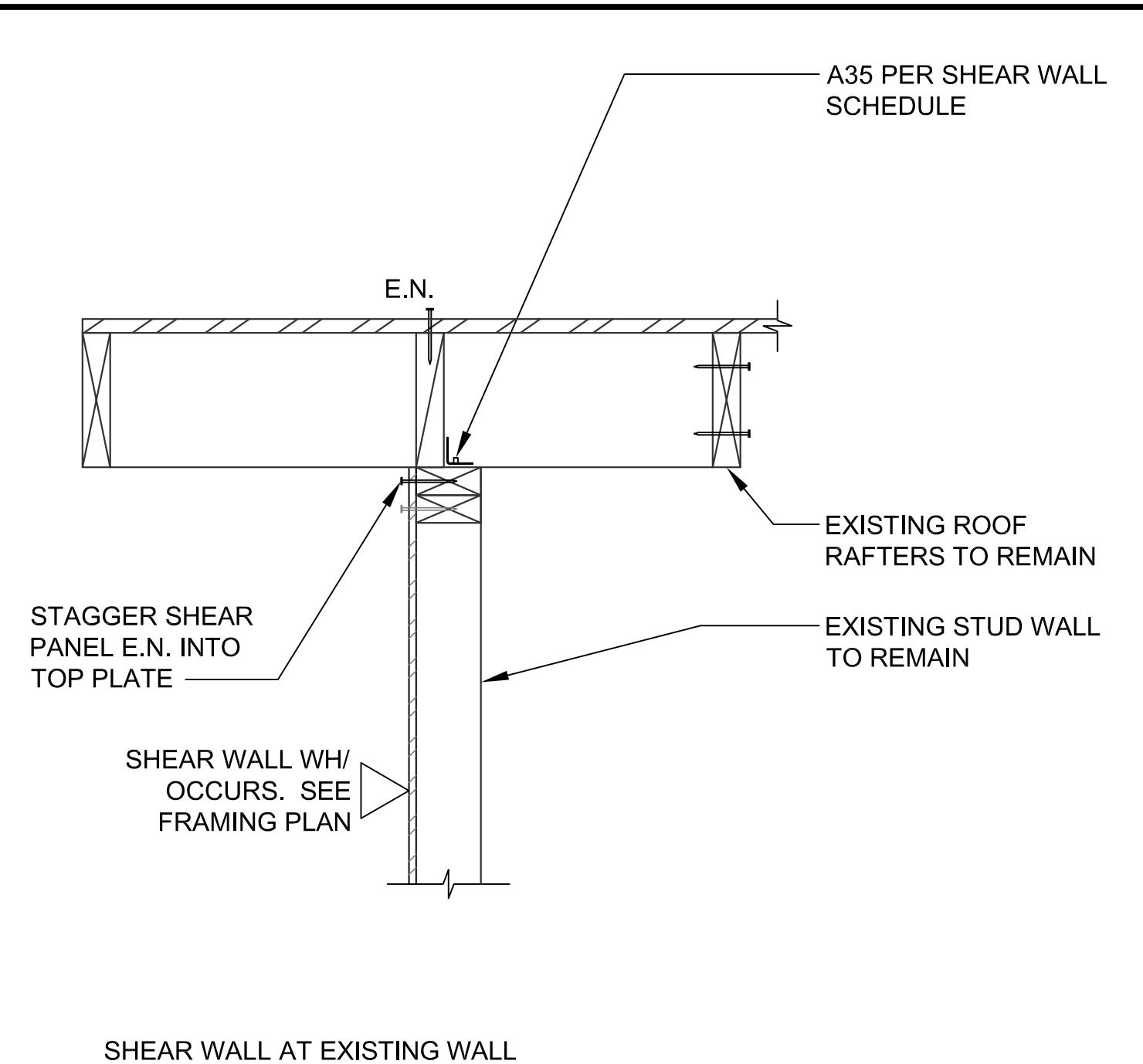
6 TYPICAL OPENING DETAIL 1/2" = 1'-0"



7 ROOF DETAIL 1 1/2" = 1'-0"



8 FOUNDATION DETAIL 1 1/2" = 1'-0"



9 ROOF FRAMING DETAIL 1 1/2" = 1'-0"

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**TYPICAL
DETAILS**

PROPOSED ADDITION/REMODEL FOR:
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

NO.	DATE
1	03/02/2023
2	04/03/2023
3	
4	

JOB NO: 102022-02
DATE: 12/21/2022
DRAWN BY: DAL
SCALE: N.T.S.
SHEET NO:
D2.0

TABLE 2304.9.1
FASTENING SCHEDULE

CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2 - 8d COMMON (2-1/2" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	TOENAIL EACH END
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
4. WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3-1/2" x 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" x 0.135") AT 16" o.c. 3" x 0.131" NAILS AT 8" o.c. 3" 14 GAGE STAPLES AT 12" o.c.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3" - 16d (3-1/2" x 0.135") AT 16" 4 - 3" x 0.131" NAILS AT 16" 4 - 3" 14 GAGE STAPLES PER 16"	BRACED WALL PANELS
7. TOP PLATE TO STUD	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4 - 8d COMMON (2-1/2" x 0.131") 4 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3-1/2" x 0.135") AT 24" o.c. 3" x 0.131" NAIL AT 8" o.c. 3" 14 GAGE STAPLE AT 8" o.c.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3-1/2" x 0.135") AT 16" o.c. 3" x 0.131" NAIL AT 12" o.c. 3" 14 GAGE STAPLE AT 12" o.c.	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8 - 16d COMMON (3-1/2" x 0.162") 12 - 3" x 0.131" NAILS 12 - 3" 14 GAGE STAPLES	LAP SPLICE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d (2-1/2" x 0.131") AT 6" o.c. 3" x 0.131" NAIL AT 6" o.c. 3 - 3" 14 GAGE STAPLE AT 6" o.c.	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" x 0.162")	16" o.c. ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 8d COMMON (2-1/2" x 0.131") 5 - 3" x 0.131" NAILS 5 - 3" 14 GAGE STAPLES	TOENAIL
16. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2-1/2" x 0.131")	TOENAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3-1/2" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON (3-1/2" x 0.162") MINIMUM, TABLE 2308.10.4.1 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
19. RAFTER TO PLATE SEE SECTION 2308.10.1, TABLE 2308.10.1)	3 - 8d COMMON (2-1/2" x 0.131") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2-1/2" x 0.131") 2 - 3" x 0.131" NAILS 2 - 3" 14 GAGE STAPLES	FACE NAIL

TABLE 2304.9.1
FASTENING SCHEDULE

CONNECTION	FASTENING	LOCATION
21. 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" x 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" x 0.162") 3" x 0.131" NAILS 3" 14 GAGE STAPLE AT 12" o.c.	24" o.c. 16" o.c. 16" o.c.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" x 0.192") 32" o.c. 3" x 0.131" NAIL AT 24" o.c. 3" 14 GAGE STAPLE AT 24" o.c. 2 - 20d COMMON (4" x 0.192") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	16d COMMON (3-1/2" x 0.162")	AT EACH BEARING
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" x 0.148") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES 2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES 2 - 16d COMMON (3-1/2" x 0.162") 3 - 3" x 0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOENAIL FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3-1/2" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3-1/2" x 0.162") 4 - 3" x 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 19/32" TO 3/4" 7/8" TO 1" 1-1/8" TO 1-1/4" 3/4" AND LESS 7/8" TO 1" 1-1/8" TO 1-1/4" 6d ^{c,l} 2-3/8" x 0.113" NAIL ⁿ 1-3/4" 16 GAGE ^o 8d ^d OR 6d ^d 2-3/8" x 0.113" NAIL ^p 2" 16 GAGE ^p 8d ^c 10d ^d OR 8d ^d 6d ^e 8d ^e 10d ^d OR 8d ^e	
32. PANEL SIDING (TO FRAMING)	1/2" AND LESS 5/8" 6d ^f 8d ^f	
33. FIBERBOARD SHEATHING	1/2" 1/2" NO. 11 GAGE ROOFING NAIL 6d COMMON NAIL (2" x 0.113") NO. 16 GAGE STAPLE NO. 11 GAGE ROOFING NAIL 8d COMMON NAIL (2-1/2" x 0.131") NO. 16 GAGE STAPLE	
34. INTERIOR PANELING	1/4" 3/8" 4d ^j 6d ^k	

FOR SI: 1 INCH = 25.4 MM.

- a. COMMON OR BOX NAILS ARE PERMITTED TO BE USED WHERE OTHERWISE STATED.
b. NAILS SPACED 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
c. COMMON OR DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148")
d. COMMON (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148")
e. DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148")
f. CORROSION-RESISTANT SIDING (6d - 1-7/8" x 0.106"; 8d - 2-3/8" x 0.128") OR CASING (6d - 2" x 0.099"; 8d - 2-1/2" x 0.113") NAIL.
g. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. WHEN USED AS STRUCTURAL SHEATHING, SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.
h. CORROSION-RESISTANT ROOFING NAILS WITH 7/16-INCH-DIAMETER HEAD AND 1-1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-3/4-INCH LENGTH FOR 25/32-INCH SHEATHING.
i. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16-INCH CROWN AND 1-1/8-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-1/2-INCH LENGTH FOR 25/32-INCH SHEATHING. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
j. CASING (1-1/2" x 0.080") OR FINISH (1-1/2" x 0.072") NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
k. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
l. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
m. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH.
n. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
o. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
p. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.

REVISIONS

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8	



SOUTH BAY
DESIGN
— DBA —
ALEX VALLES
PRINCIPAL/OWNER
P.O. BOX 339
SAN JUAN BAUTISTA, CA 95045
831.207.9677
sbdesign27@yahoo.com

ADDITION/REMODEL
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

NAILING SCHEDULE

DRAWN BY
A.V.
CHECKED

DATE
10.14.22
SCALE

JOB NO.

SHEET

25

NAILING SCHEDULE

[Handwritten signature]

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD				Calculation Date/Time: 2023-01-16T08:43:10-08:00		(Page 1 of 11)	
Project Name: 3rd Street Addition				Input File Name: 3rd Street Addition (701).rbd22x			
Calculation Description: Title 24 Analysis							

GENERAL INFORMATION							
01		Project Name	3rd Street Addition				
02		Run Title	Title 24 Analysis				
03		Project Location	701 3rd Street				
04		City	San Juan Bautista			06	Standard Version 2022
06		Zip code	95045			07	Software Version EnergyPro 9.0
08		Climate Zone	4			09	Front Orientation (deg/ Cardinal) 45
10		Building Type	Single family			11	Number of Dwelling Units 1
12		Project Scope	Addition and/or Alteration			13	Number of Bedrooms 3
14		Addition Cond. Floor Area (ft ²)	47			15	Number of Stories 1
16		Existing Cond. Floor Area (ft ²)	1251			17	Fenestration Average U-factor 0.3
18		Total Cond. Floor Area (ft ²)	1298			19	Glazing Percentage (%) 12.80%
20		ADU Bedroom Count	n/a				

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	Building does not require field testing or HERS verification
03	This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 3rd Street Addition

Calculation Description: Title 24 Analysis

Validation Date/Time: 2023-01-16T08:43:10-08:00

Input File Name: 3rd Street Addition (701).rbd22x

(Page 4 of 11)

OPaque Surfaces											
01	02	03	04	05	06	07	08	09	10	11	
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition	
Front Wall	Existing Living Area	R-0 Wall	45	Front	270	44	90	none	Existing	No	
Left Wall	Existing Living Area	R-0 Wall	135	Left	554	26	90	none	Existing	No	
Rear Wall	Existing Living Area	R-0 Wall	225	Back	270	53.3	90	none	Existing	No	
Right Wall	Existing Living Area	R-0 Wall	315	Right	554	82.7	90	none	Existing	No	
Left Wall 2	New Living Area	R-15 Wall	135	Left	36	0	90	none	New	n/a	
Right Wall 2	New Living Area	R-15 Wall	315	Right	36	0	90	none	New	n/a	
Interior Surface	New Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	108	0	n/a		New	n/a	
Interior Surface 2	New Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	108	0	n/a		n/a	n/a	
Roof	Existing Living Area	R-11 Roof Attic	n/a	n/a	1251	n/a	n/a		Existing	No	
Roof 2	New Living Area	R-30 Roof Attic	n/a	n/a	47	n/a	n/a		New	n/a	

ATTIC										
01	02	03	04	05	06	07	08	09	10	
Name	Construction	Type	Roof Tiles (4 in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition	
Attic Existing Living Area	Attic Roof/Existing Living Area	Ventilated	5	0.1	0.85	No	No	Existing	No	
Attic New Living Area	Attic Roof/New Living Area	Ventilated	5	0.1	0.85	Yes	No	New	n/a	

Registration Number:

Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Version: 2022.0.000
Schema Version: rev 20220901

Report Generated: 2023-01-16 08:43:05

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: 3rd Street Addition Calculation Description: Title 24 Analysis								Calculation Date/Time: 2023-01-16T08:43:10-08:00 Input File Name: 3rd Street Addition (701).ribd22x	(Page 7 of 11)
OPAQUE SURFACE CONSTRUCTIONS									
01	02	03	04	05	06	07	08		
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuity R-value	U-factor	Assembly Layers		
Attic Roof/Existing Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4		
Attic Roof/New Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4		
R-11 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.081	Over Ceiling Joists: R-11 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board		
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board		
BUILDING ENVELOPE - HERS VERIFICATION									
01	02	03	04	05					
Quality Insulation Installation (QI0)	High R-value Spray Foam Insulation	Building Envelope Air Leakage		CFM50	CFM50				
Not Required	Not Required	N/A		n/a					

Registration Number:

 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time:

 Report Version: 2022.0.000
 Schema Version: rev 20220601

HERS Provider:

 Report Generated: 2023-01-16 08:43:05

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD				Calculation Date/Time: 2023-01-16T08:43:10-0800		(Page 2 of 11)			
Project Name: 3rd Street Addition				Input File Name: 3rd Street Addition (701).rbd22x					
Calculation Description: Title 24 Analysis									
ENERGY USE SUMMARY									
Energy Use	Standard Design Source Energy (EDR1) (kBtu/N ² -yr)	Standard Design TDV Energy (EDR2) (kWh/N ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/N ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/N ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)			
Space Heating	0	87.17	0	83.6	0	3.57			
Space Cooling	0	91.8	0	90.01	0	1.79			
IAQ Ventilation	0	0	0	0	0	0			
Water Heating	0	50.62	0	50.62	0	0			
Self Utilization/Feasibility Credit									
Efficiency Compliance Total	0	229.59	0	224.23	0	5.36			
Photovoltaics		0		0					
Battery				0					
Flexibility									
Indoor Lighting	0	7.73	0	7.73					
Appl. & Cooking	0	28.02	0	28.02					
Plug Loads	0	43.67	0	43.67					
Outdoor Lighting	0	1.76	0	1.76					
TOTAL COMPLIANCE	0	310.77	0	305.41					

Registration Number:	Registration Date/Time:	HERS Provider:
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022 0.000 Schema Version: rev20220601	Report Generated: 2023-01-16 08:43:35

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD																
Project Name: 3rd Street Addition										Calculation Date/Time: 2023-01-16T08:43:10-0800				(Page 5 of 11)		
Calculation Description: Title 24 Analysis										Input File Name: 3rd Street Addition (701).rbd22x						
PENETRATION / GLAZING																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Surface	Orientation	Altitude	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
Window	Window	Front Wall	Front	45			1	12	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 2	Window	Front Wall	Front	45			2	12	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 3	Window	Left Wall	Left	135			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No	
Window 4	Window	Left Wall	Left	135			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No	
French Door	Window	Rear Wall	Back	225			1	33.3	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 5	Window	Right Wall	Right	315			1	36.7	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 6	Window	Right Wall	Right	315			1	9	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 7	Window	Right Wall	Right	315			1	16	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No	
Window 8	Window	Right Wall	Right	315			1	9	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
Window 9	Window	Right Wall	Right	315			1	12	1.19	Table 110-6-A	0.83	Table 110-6-B	Bug Screen	Existing	No	
OPAQUE DOORS																
01	02	03	04	05	06											
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition											
Door	Front Wall	20	0.5	Existing	No											

Registration Number:

Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD														
Project Name: 3rd Street Addition						Calculation Date/Time: 2023-01-16T08:43:10-08:00			(Page 8 of 11)					
Calculation Description: Title 24 Analysis						Input File Name: 3rd Street Addition (701).rbd22x								
WATER HEATING SYSTEMS														
01	02	03	04	05	06	07	08	09	10	11	12			
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System			
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Existing	No				
WATER HEATERS														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (per FET)	Standby Loss or Recovery Eff	1st Hc Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	EF	0.53	Btu/Hr	75000	0	80			Existing	No
WATER HEATING - HERS VERIFICATION														
01		02		03		04		05		06		07		
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery								
DHW Sys 2 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required								

Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time:

Report Version: 2022.0.000
Schema Version: rev 2022.09.01

HERS Provider:

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD					Calculation Date/Time: 2023-01-16T08:43:10-08:00		(Page 3 of 11)	
Project Name: 3rd Street Addition								
Calculation Description: Title 24 Analysis					Input File Name: 3rd Street Addition (701).rbd2xk			

ENERGY USE INTENSITY				
	Standard Design (kBtu/t ² · yr)	Proposed Design (kBtu/t ² · yr)	Compliance Margin (kBtu/t ² · yr)	Margin Percentage
Gross EUt ¹	52.64	51.42	1.22	2.32
Net EUt ²	52.64	51.42	1.22	2.32

Notes

- 1. Gross EUt is Energy Use Total (not including PV) / Total Building Area.
- 2. Net EUt is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
• New ductwork added is less than 40 ft. in length	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
3rd Street Addition	1208	1	3	2	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
Existing Living Area	Conditioned	HVAC System 1	1251	9	DHW Sys 1	Existing Unchanged
New Living Area	Conditioned	HVAC System 1	47	9	DHW Sys 1	New

Registration Number:	Registration Date/Time:	HERS Provider:
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220601	Report Generated: 2023-01-16 08:43:35

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 3rd Street Addition
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-01-16T08:43:10-08:00
Input File Name: 3rd Street Addition (701)/rbd22x

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OPAQUE DOORS							
01	02		03	04	05	06	
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition		
Door 2	Rear Wall	20	0.5	Existing	No		

SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	Existing Living Area	1251	183	none	0	80%	No	Existing	No
Slab 2	New Living Area	47	8	none	0	80%	No	New	n/a

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Wall2	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 3rd Street Addition
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-01-16T08:43:10-08:00
Input File Name: 3rd Street Addition (701).rbd22x

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SPACE CONDITIONING SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
HVAC System1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-80

HVAC - COOLING UNIT TYPES									
01	02	03	04	05	06	07	08	09	
Name	System Type	Number of Units	Efficiency Metric	Efficiency EER/IER2/CEER	Efficiency SEER/SEER2	Zonally Controlled	Multi-speed Compressor	HERS Verification	
Cooling Component 1	No Cooling	1		n/a	n/z	Not Zonal	Single Speed	n/a	

Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time:

Report Version: 2022.0.000
Schema Version: rev 20220901

HERS Provider:

Report Generated: 2023-01-16 08:43:35

REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	


**SOUTH BAY
DESIGN**

— DBA —

ALEX VALLES
PRINCIPAL/OWNER
P.O. BOX 339
SAN JUAN BAUTISTA, CA 95045
831.207.9677
sbdesign27@yahoo.com

ADDITION/REMODEL
JIMENEZ FAMILY
701 3RD ST.
SAN JUAN BAUTISTA, CA 95045

TITLE 24'S

DRAWN BY
A.V.
CHECKED
DATE
10.14.22
SCALE
JOB NO.
SHEET
T



SOUTH BAY
DESIGN

ALEX VALLES
PRINCIPAL/OWNER
P.O. BOX 339
SAN JUAN BAUTISTA, CA 95045
831.207.9677
sbdesign27@yahoo.com

MANDATORY MEASURES

MM

[illegible]5/6/25/6/225/6/2:

CT rolls

[illegible]



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

[illegible]

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

May 9, 2023

Phase Two Report for the Bill & Minnie German House (APN 002-100-025), San Juan Bautista, CA.

Executive Summary

The Bill and Minnie German House is located at 701 Third Street. In 2023 the property was evaluated for historical significance using San Juan Bautista's historic resources criteria and was found eligible for listing under Criterion C (Architecture) within the historic context theme of Economic Decline and Boom. The house was built circa 1907 by Rueben Lopez for his daughter Minnie. The historical evaluation (recorded on DPR523 A & B survey forms) states that, "The house at 701 Third Street is a good example of an early 20th century Folk style house that was built when San Juan Bautista was beginning to transition from a sleepy village to a wide-awake town with new residents and a new cement plant. It clearly contains the stylistic characteristics of the Folk style and has had few alterations since its construction, therefore retaining its integrity."

The survey form notes the following additions to the house and site:

- A one-bedroom extension was added across the rear elevation of the original house about 1935.
- An ADU was constructed in the backyard about 2005, replacing the former "casita" used by Rueben Lopez.



Figure 1: Front elevation of 701 Third Street.

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Bill and Minnie German House is 1907 (the approximate date of construction).

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Bill and Minnie German House is a good example of the Folk style. Its character-defining features include:

- Rectangular plan
- Side gable roof with extension
- Symmetrical facade
- Wood sash, double-hung windows
- Full width porch with simple supports

Proposed Project Description

The project will attach the existing residence (747 sq. ft) to the existing ADU (504 sq. ft.) with a hyphen connector (47 sq. ft.).

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Bill and Minnie German House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the proposed work on the Bill and Minnie German House is reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Bill and Minnie German House has been a single-family residence since it was constructed in 1907. The proposed project does not change the historic use of the house. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The hyphen connector will be located on the rear elevation of the historic house and will not impact any of the character-defining features of the house. Since the connector is located on the rear elevation spatial relationships will not be impacted. The proposed work is consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The rear extension was added to the historic house by Bill German about 1935. As stated in the initial evaluation, this type of extension was a very common addition to Folk style houses and created the distinctive saltbox profile. The extension has acquired significance in its own right and will be retained and preserved. The proposed work is consistent with Standard Four.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No work is planned for the historical section of the house therefore all distinctive materials and features will be preserved. This Standard is not applicable.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The project does not focus on repairing the historic house. This Standard is not applicable.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

No archeological resources have been located on the site. This Standard is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

A 47 sq. ft. hyphen connector will attach the historic building to the non-historic ADU. Preservation Brief 14¹ states, "One way to reduce the overall material loss when constructing a new addition is simply to keep the addition smaller in proportion to the size of the historic building. An often-successful way to accomplish this is by means of a hyphen or connector." The proposed connecting passageway between the historic structure and existing ADU will remove only a small portion of the historic wall.

The hyphen will be slightly visible from the public right-of-way (see Plan Sheet A3) however the connector will not compete in size, scale, or design with the historic structure.

Horizontal wood siding will be used for the connector's exterior walls. Per Standard Nine, the connector's exterior siding should be differentiated from the historic siding, which is also horizontal wood siding. This can be accomplished by using a siding that is slightly wider or narrower than the existing siding. If this differentiation is noted on the project plans, then the proposed work will be consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Since the connecting addition is relatively small, its future removal will not impair the essential form and integrity of the historic house. The proposed work is consistent with Standard Ten.

¹ Preservation Brief 14. *New Exterior Additions to Historic Buildings: Preservation Concerns*. National Park Service, August 2010.

Conclusion

The proposed project meets Standards One, Two, Four, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Five, Six, Seven, and Eight are not applicable. The proposed project will meet Standard Nine if the connector's horizontal wood siding is differentiated from the siding on the historic house.

Respectfully Submitted,

A handwritten signature in black ink that reads "Margaret E. Clovis". The script is cursive and elegant, with a large initial 'M' and a distinct 'E'.

Margaret Clovis

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____ Reviewer _____ Date _____

Page 1 of 6

*Resource Name or #: (Assigned by recorder) Bill and Minnie German House

P1. Other Identifier: 701 Third Street

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County San Benito

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 T ; R ; ¼ of ¼ of Sec ; Mount Diablo B.M.

c. Address 701 Third Street St. City San Juan Bautista Zip 95045

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN 002-100-025

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Built about 1907, the one-story, wood framed Folk style house located at 701 Third Street (APN 002-100-025) has a rectangular plan and horizontal wood siding. The side gabled roof with a back extension creates a saltbox profile. Composition shingles cover the roof. A full-width front porch with an extended roof is located on the front elevation. Four simple square posts support the porch roof. The porch itself is a raised concrete slab. The symmetrical façade has a central door with a multi-paned window in the upper half. It does not appear to be original. Single pane double-hung windows are located on either side of the door. Each window has faux louvred shutters as do the windows on the west elevation. The front yard has pavers surrounded by a Victorian style metal fence. A one-car garage with a non-original door is located in the backyard. An ADU was built in the backyard about 2005. It replaced a "casita" that was the home of Rueben Lopez and was built by his son-in-law about 1935. (cont. p. 3)

*P3b. Resource Attributes: (List attributes and codes) HP2, Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Front Elevation, 04/2023

*P6. Date Constructed/Age and

Sources: c. 1907 Historic

☐ Prehistoric ☐ Both

Oral History

*P7. Owner and Address:

Jimenez

701 Third St.

San Juan Bautista, CA 95045

*P8. Recorded by: (Name, affiliation, and address)

Meg Clovis

14024 Reservation Rd.

Salinas, CA 93908

*P9. Date Recorded: 04/2023

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") Galvan Reconnaissance Survey, 2006

*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 6

*NRHP Status Code 5S2

*Resource Name or # (Assigned by recorder) Japanese School/Velasco House

B1. Historic Name: Bill and Minnie German House

B2. Common Name: Bill and Minnie German House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Folk

*B6. Construction History: (Construction date, alteration, and date of alterations) Constructed c. 1907; rear bedroom addition; Date of alterations unknown

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features: ADU, detached garage

B9a. Architect: N/A

b. Builder: Unknown

*B10. Significance: Theme: Economic Decline & Boom

Area San Juan Bautista

Period of Significance: 1907

Property Type Building

Applicable Criteria: SJB C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

Per local historians and Art Jones, the great grandson of Rueben Lopez, Rueben Lopez built both houses located at 609 and 701 Third Street for his daughters, Dena Marie (who lived at 609) and Minnie (who lived at 701). Both homes are visible on the 1908 Sanborn Map for San Juan Bautista. When constructed they were next door to the large Independent Lumber Company.

Rueben Lopez (1866-1957) was born in Aromas and worked as a farmer in San Benito County. He married Juanita Alvarado, and they had eight children, including Dena Marie and Minnie. Minnie married Bill German and they lived in the house at 701. Dena lived next door with her husband. After his wife's death in 1934, Rueben split his time between both houses but eventually moved into the "casita" that Bill built for him in their backyard. Bill made improvements to 701 including the one-bedroom addition at the rear.

The house at 701 was built during the same period of time that the cement plant opened (1906) which triggered a building boom in the town. It took its stylistic cues from earlier buildings while the newer Third Street residential neighborhoods adopted the Bungalow style.

B11. Additional Resource Attributes (List attributes and codes):

*B12. References:

HP Zoning Ordinance

Art Jones Remembrances

Cara Vonk Remembrances

National Register Bulletin 15

Galvan Assoc., 2006 SJB Context Statement & Survey

U.S. Census & Voter Registration Records

McAlester, Virginia. *A Field Guide to American Houses*. 2019

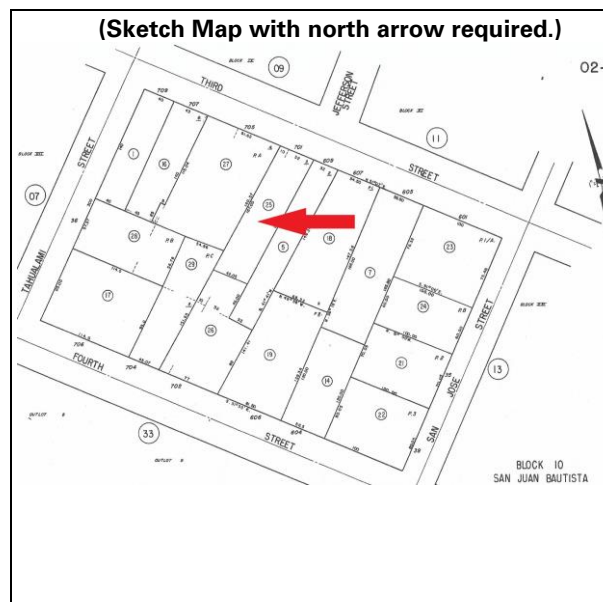
Lopez, Juanita. Obit. *Gustine Standard*, 7/5/1934.

B13. Remarks

*B14. Evaluator: Meg Clovis

*Date of Evaluation: 04/2023

(This space reserved for official comments.)



P3a. Description (continued):

701 Third Street is a good example of the extended Hall-and-Parlor sub-style of the Folk style house.

Character defining features include:

- Rectangular plan
- Side gable roof with extension
- Symmetrical façade
- Wood sash, double-hung windows
- Full width porch with simple supports



Figure 1: Front elevation



Figure 2: West elevation

B10. Significance (continued):



Figure 3: Rueben Lopez sitting on the porch with his grandsons.

Evaluation for Significance

Historians use *National Register Bulletin 15*¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether or not a property is significant, it must be evaluated within its historic context and the City of San Juan Bautista's Historic Context Statement² provides this context. The City of San Juan Bautista's Historic Preservation Ordinance (Chapter 11-06) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources. Adopted eligibility criteria are modeled on the California Register's four criteria.

SJB Criterion A: the historic resource is associated with events that have made a significant contribution to the broad patterns of Federal, State, or local history and cultural heritage.

701 Third Street is not eligible under this criterion as no specific event led to the construction of this residence and no important event took place in the building.

SJB Criterion B: the historic resource is associated with lives of persons significant in our past.

Neither Rueben Lopez or Bill and Minnie German are listed as prominent people in San Juan Bautista's Historic Context Statement, and they did not make significant contributions within any theme in the Context Statement. The subject building is not eligible under Criterion B.

¹ *How to Apply the National Register Criteria for Evaluation*. National Park Service. 1998.

² Galvan Preservation Assoc. *Historic Context Statement: San Juan Bautista*. 2006.

SJB Criterion C: the historic resource embodies the distinctive characteristics of a type, period, region, or method of construction, or that represents the work of an important creative individual, or that possesses high artistic values.

701 Third Street exhibits the distinctive characteristics of the Folk style of architecture. It was not constructed or designed by a master builder or architect. It does not possess high artistic values as the house does not express aesthetic ideals or design concepts. 701 Third Street is eligible for listing under the first part of Criterion C.

SJB Criterion D: the historic resource has yielded or may be likely to yield information important to prehistory and history.

This criterion is generally reserved for archeological sites. There is no evidence in the historical record that the building at 701 Third Street meets the eligibility requirements for Criterion D.

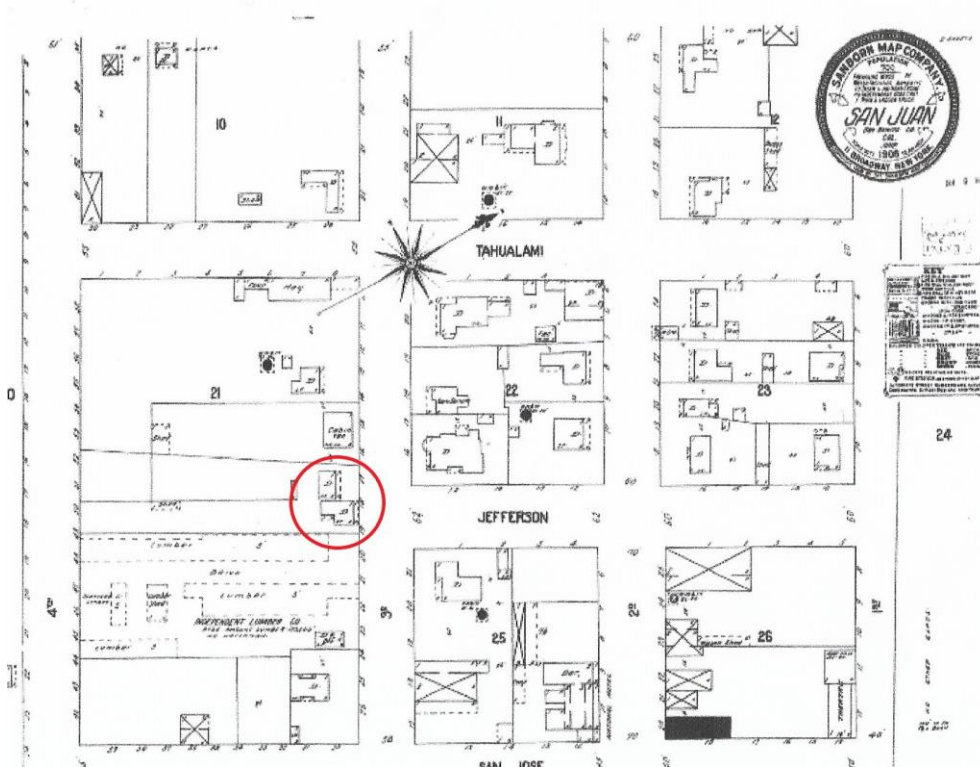


Figure 4: 1908 Sanborn Map showing 609 & 701 Third Street

Integrity

San Juan Bautista's Historic Preservation Ordinance defines **Integrity** as the authenticity of a historical resource's physical identity evidenced by the survival of characteristic's that existed during the resource's period of significance. Historical resources eligible for listing in the City of San Juan Bautista's Register of Historical Resources must retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association.

The house at

- **Location:** 701 Third Street is in the same location as its period of significance (1907).
- **Design:** the building was extended c. 1935 giving it a saltbox roof profile. Per McAlester, extensions on the Hall-and-Parlor subtype of Folk houses were very common and do not affect integrity. The residence still conveys the reason for its significance.

- **Setting:** 701 Third Street is still located in a residential setting.
- **Materials:** the majority of 701 Third Street's materials are intact such as the horizontal wood siding, porch posts, and window frames.
- **Workmanship:** 701 Third Street still reflects its original workmanship associated with a Folk style house.
- **Feeling:** the physical features that convey 701 Third Street's historic character are extant.
- **Association:** association is reserved for property's eligible for listing under criteria A or B.

Summary

To be eligible for listing in the San Juan Bautista Register of Historic Resources an individual resource must exemplify or reflect special elements of the City of San Juan Bautista's architectural, artistic, cultural, engineering, aesthetic, historical, archaeological, natural, geological, scientific, educational, political, social, military, and other cultural heritage and possesses integrity of location, design, setting, materials, workmanship, feeling and association; and must meet at least one of the aforementioned criteria (A – D).

The house at 701 Third Street is a good example of an early 20th century Folk style house that was built when San Juan Bautista was beginning to transition from a sleepy village to a wide-awake town with new residents and a new cement plant. It clearly contains the stylistic characteristics of the Folk style and has had few alterations since its construction, therefore retaining its integrity. 701 Third Street meets the eligibility requirements of Criterion C. In summary, *Bulletin 15*, the San Juan Bautista Context Statement, the San Juan Bautista Historic Preservation Ordinance, and the historical record support the conclusion that the house located at 701 Third Street is eligible for listing in the San Juan Bautista Register of Historic Resources.