#### SUGGESTED AGENDA

## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS PERRY, FLORIDA

MONDAY, FEBRUARY 5, 2024 6:00 P.M.

201 E. GREEN STREET
TAYLOR COUNTY ADMINISTRATIVE COMPLEX
OLD POST OFFICE

CONFERENCE LINE: 1-917-900-1022 ACCESS CODE: 32347#

# THIS IS NOT A TOLL-FREE NUMBER AND YOU MAY BE SUBJECT TO LONG DISTANCE CHARGES, ACCORDING TO YOUR LONG-DISTANCE PLAN.

When the chairperson opens the meeting for public comment, please follow the below instructions:

If you wish to speak please dial \*5. The moderator will unmute your line when it is your turn to speak, and notify you by announcing the last 4 digits of your telephone number. Please announce your name and address. You will be allowed to speak for 3 minutes.

NOTICE IS **HEREBY** GIVEN, **PURSUANT** TO FLORIDA **STATUTES** 286.0105, THAT ANY PERSONS DECIDING TO APPEAL ANY MATTER CONSIDERED THIS MEETING RECORD OF AT WILL NEED MEETING AND MAY NEED TO ENSURE THAT A VERBATIM RECORD OF **INCLUDES** THE **PROCEEDINGS** IS MADE, WHICH RECORD THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BEBASED.

ANY PERSON WISHING TO ADDRESS THE BOARD REGARDING AN AGENDAED ITEM WILL BE GIVEN THREE (3) MINUTES FOR COMMENT. A COMMENTER MAY ONLY SPEAK ONE (1) TIME FOR EACH AGENDAED ITEM.

1. Prayer

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- 2. Pledge of Allegiance
- 3. Approval of Agenda

#### AWARDS/RECOGNITIONS:

- 4. THE BOARD TO CONSIDER APPROVAL OF DRAFT PROCLAMATION TO PROCLAIM FEBRUARY 19<sup>TH</sup>-25<sup>TH</sup> AS TAYLOR COUNTY LIVESTOCK SHOW AND SALE WEEK, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
- 5. THE BOARD TO CONSIDER APPROVAL OF DRAFT PROCLAMATION TO PROCLAIM FEBRUARY 19<sup>TH</sup>-25<sup>TH</sup> AS HAZARDOUS MATERIALS WEEK, AS AGENDAED BY LAWANDA PEMBERTON, COUNTY ADMINISTRATOR.
- 6. THE BOARD TO CONSIDER APPROVAL OF DRAFT PROCLAMATION TO PROCLAIM FEBRUARY 12<sup>TH</sup>-18<sup>TH</sup> AS STEINHATCHEE FIDDLER CRAB FESTIVAL, AS AGENDAED BY THE COUNTY ADMINISTRATOR.

#### CONSENT ITEMS:

- 7. APPROVAL OF MINUTES OF JANUARY 16, 2024.
- 8. EXAMINIATION AND APPROVAL OF INVOICES.
- 9. THE BOARD TO CONSIDER APPROVAL OF HUD FORM 2880 FOR THE DEPARTMENT OF ECONOMIC OPPORTUNITY SMALL CITY COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) SUBGRANT AGREEMENT AS AGENDAED BY JAMI EVANS, GRANTS COORDINATOR.
- 10. THE BOARD TO CONSIDER APPROVAL OF DRAFT LETTER OF SUPPORT FOR THE CITY OF PERRY RURAL INFRASTRUCTURE GRANT PROGRAM APPLICATION, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
- 11. THE BOARD TO CONSIDER APPROVAL OF AMENDMENT NUMBER 1
  TO THE 2023-2024 SMALL COUNTY CONSOLIDATED SOLID WASTE
  MANAGEMENT GRANT AGREEMENT SC 428, AS AGENDAED BY THE
  GRANTS COORDINATOR.

- 12. THE BOARD TO CONSIDER APPROVAL OF CHANGE ORDER #2 FOR REHABILITATION WORK THROUGH THE SHIP PROGRAM FOR THE HOME OF JAMES AND IDA CHESTER, AS AGENDAED BY THE GRANTS COORDINATOR.
- 13. THE BOARD TO CONSIDER APPROVAL OF THE INVITATION TO BID AND WORK WRITE UP/BID FORMS FOR THE REHABILITATION OF ONE HOME AND DEMOLITION AND CONSTRUCTION OF FOUR HOMES THROUGH THE CDBG PROGRAM, AS AGENDAED BY THE GRANTS COORDINATOR.
- 14. THE BOARD RATIFY THE CHAIRPERSON'S SIGNATURE OF THE FUNDING APPLICATION TO THE FLORIDA DEPARTMENT OF TRANSPORATION TRANSPORTATION ALTERNATIVES PROGRAM FOR THE CONSTRUCTION OF A SIDEWALK FROM U.S.19 ALONG WEST ASH STREET TO MILLER ROAD, AS AGENDAED BY THE GRANTS WRITER.
- 15. THE BOARD TO CONSIDER APPROVAL OF TIER 2/CEST REVIEWS REQUIRED BY THE DEPARTMENT OF ECONOMIC OPPORTUNITY, AS AGENDAED BY THE GRANTS WRITER.
- 16. THE BOARD TO RATIFY THE SIGNATURE OF THE COUNTY ADMINISTRATOR ON THE FLORIDA DEPARTMENT OF TRANSPORTATION WORK PROGRAM PRIORITY SUBMISSION, AS AGENDAED BY THE COUNTY ENGINEER.
- 17. THE BOARD RATIFY THE CHAIRPERSON'S SIGNATURE OF THE FUNDING APPLICATION SUBMITTED FOR THE 2030 FUNDING CYCLE FOR THE FDOT TAP FOR THE CONSTRUCTION OF A SIDEWALK FROM OLD DIXIE HIGHWAY ALONG PLANTATION ROAD TO US 19, AS AGENDAED BY THE GRANTS WRITER.
- 18. THE BOARD TO RATIFY THE SIGNATURE OF THE COUNTY ADMINISTRATOR ON THE FLORIDA DEPARTMENT OF TRANSPORTATION FIVE-YEAR SCRAP, SCOP, CIGP AND TRIP WORK PROGRAM PRIORITY SUBMISSION, AS AGENDAED BY COUNTY ENGINEER.

#### PUBLIC REQUESTS:

19. THE BOARD TO CONSIDER APPROVAL OF REQUEST TO USE THE MANDALAY BOAT RAMP FOR STAGING OF WARRIOR ADVENTURE RACING EVENT ON FEBRUARY 22, 2024 AS AGENDAED BY ERIK WISE, OFF THE GRID RACING.

- 20. THE BOARD TO CONSIDER APPROVAL OF APPLICATION FOR SOLID WASTE HAULING PERMIT AS AGENDAED BY SLADE HENDRY.
- 21. BISH CLARK TO DISCUSS "FREEING OUR WATERWAYS" INITIATIVE.

#### COUNTY STAFF ITEMS:

- 22. THE BOARD TO CONSIDER APPROVAL OF MODIFICATION NUMBER ONE TO THE SUBGRANT AGREEMENT WITH THE DEPARTMENT OF COMMERCE APPROVING A ONE YEAR EXTENSION TO THE COMMUNITY DEVELOPMENT GRANT IN THE AMOUNT OF \$750,000, AS AGENDEAD BY MELODY COX, GRANTS WRITER.
- 23. THE BOARD TO CONSIDER APPROVAL OF SUPPLEMENTAL AGREEMENT NUMBER TWO FOR THE PROPOSED WIDENING/RESURFACING OF 1<sup>ST</sup> AVENUE SOUTH UNDER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) OUTREACH PROGRAM AND COUNTY INCENTIVE GRANT PROGRAM, AS AGENDAED BY KENNETH DUDLEY, COUNTY ENGINEER.
- 24. THE BOARD TO CONSIDER AWARD OF THE 1<sup>ST</sup> AVENUE SOUTH WIDENING/RESURFACING PROJECT TO ANDERSON COLUMBIA, INC. UNDER THE FLORIDA DEPARTMENT OF TRANSPORTATION SMALL COUNTY OUTREACH AND COUNTY INCENTIVE GRANT PROGRAMS, AS AGENDAED BY KENNETH DUDLEY, COUNTY ENGINEER.
- 25. THE BOARD TO CONSIDER APPROVAL OF RS&H, INC.
  CONSTRUCTION ENGINEERING AND INSPECTION PROPROSAL FOR
  THE 1<sup>ST</sup> AVENUE SOUT WIDENING, RESURFACING PROJECT, AS
  AGENDAED BY THE COUNTY ENGINEER.
- 26. THE BOARD TO APPROVE PROVIDING SHIP ASSISTANCE TO ALL QUALIFIED HOMEOWNERS WHETHER THEY HAVE RECEIVED HOUSING ASSISTANCE IN THE PAST AND NOT BE REQUIRED TO HAVE HOMEOWNERS' INSURANCE PRIOR TO RECEIVING ASSISTANCE, AS AGENDAED BY THE GRANTS WRITER.

#### COUNTY ATTORNEY ITEMS:

27. THE BOARD TO CONSIDER APPROVAL OF DRAFT RESOLUTION SETTING THE BOUNDARIES OF THE COUNTY COMMISSIONERS' DISTRICTS FOR TAYLOR COUNTY, FLORIDA, AS AGENDAED BY THE COUNTY ATTORNEY.

#### COUNTY ADMINISTRATOR ITEMS:

- 28. THE BOARD TO CONSIDER APPROVAL OF REQUEST OF CHANGE TO MEMORANDUM OF UNDERSTANDING WITH THE TAYLOR COUNTY BASEBALL ASSOCIATION, INC. AS AGENDAED BY THE COUNTY ADMINISTRATOR.
- 29. THE COUNTY ADMINISTRATOR TO PRESENT THE ANNUAL STATUS REPORT FOR ECONOMIC AD VALOREM TAX EXEMPTION FOR STEINHATCHEE MARINA AT DEADMAN'S BAY.
- 30. THE COUNTY ADMINISTRATOR TO PRESENT THE ANNUAL STATUS REPORT FOR ECONOMIC AD VALOREM TAX EXEMPTION FOR SUPERPUFFT SNACKS, USA.
- 31. THE COUNTY ADMINISTRATOR TO DISCUSS INFORMATIONAL ITEMS.
- 32. COMMENTS AND CONCERNS FROM THE PUBLIC FOR NON-AGENDAED ITEMS:
- 33. BOARD INFORMATIONAL ITEMS:

Motion to Adjourn

#### FOR YOUR INFORMATION:

• THE AGENDA AND ASSOCIATED DOCUMENTATION, <u>IF APPLICABLE</u>, IS AVAILABLE TO THE PUBLIC ON THE FOLLOWING <u>WEBSITE</u>:

#### www.taylorcountygov.com

- IF YOU ARE A PERSON WITH A DISABILITY WHO NEEDS ANY ACCOMODATION IN ORDER TO PARTICIPATE IN THIS PROCEEDING, YOU ARE ENTITLED, AT NO COST TO YOU, TO THE PROVISION OF CERTAIN ASSISTANCE. PLEASE CONTACT MARSHA DURDEN, ASSISTANT COUNTY ADMINISTRATOR, 201 E. GREEN STREET, PERRY, FLORIDA, 850-838-3500, EXT.7, WITHIN TWO (2) WORKING DAYS OF THIS PROCEEDING.
- BALLOTS USED TO APPOINT CITIZENS TO ADVISORY COMMITTEES AND ADVISORY BOARDS ARE AVAILABLE FOR PUBLIC INSPECTION AFTER THE MEETING AND ARE RETAINED AS PART OF THE PUBLIC RECORD.

County Commission Agenda Item

SUBJECT/TITLE:



THE BOARD TO CONSIDER APPROVAL OF PROCLAMATION TO PROCLAIM FEBRUARY 19-25, 2024 AS LIVESTOCK SHOW AND SALE WEEK

MEETING DATE REQUESTED:

FEBRUARY 5, 2024

Statement of Issue:

TO RECOGNIZE MEMBERS OF THE 4-H AND FFA

LIVESTOCK CLUBS.

Recommended Action: APPROVE

Fiscal Impact:

N/A

Budgeted Expense:

N/A

Submitted By:

LAWANDA PEMBERTON, COUNTY ADMINISTRATOR

Contact:

838-3500 X 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: THE PROCLAMATION RECOGNIZES THAT THE YOUTH OF TAYLOR COUNTY IS ONE OF THE COUNTY'S MOST VALUABLE RESOURCES AND TEACHES YOUTH HOW TO APPLY LEADERSHIP SKILLS, ACQUIRE A POSITIVE SELF-CONCEPT, BUILD CONFIDENCE AND LEARN TO RESPECT OTHERS.

NORTH FLORIDA LIVESTOCK SHOW WEEK SHOWCASE THE INCREDIBLE WAYS THAT 4-H AND FFA YOUTH IN TAYLOR COUNTY, FLORIDA WHO WORK EACH DAY TO LEARN AND VALUE HARD WORK, AGRICULTURAL COMMODITIES AND MAKE A POSITIVE IMPACT ON THOSE AROUND THEM.

THE TAYLOR COUNTY LIVESTOCK CLUB AND TAYLOR COUNTY FFA CURRENTLY HAVE MEMBERS WHO WILL BE EXHIBITING AND SELLING LIVESTOCK FEBRUARY 19-22 IN MADISON, FLORIDA. THE BOARD WISHES TO PROCLAIM FEBRUARY 19-25 AS LIVESTOCK SHOW AND SALE WEEK THROUGHOUT PERRY, TAYLOR COUNTY, FLORIDA.

Options:

APPROVE/NOT APPROVE

Attachments:

**PROCLAMATION** 

### **PROCLAMATION**

## Recognizing the 4-H Livestock Club Members and FFA Livestock Club Members

WHEREAS, the youth of Taylor County is one of the county's most valuable resources. 4-H Livestock Club Members and FFA Livestock Club Members contribute to the agriculture industry through learning how to raise and sell livestock. The 4-H Livestock and FFA Livestock projects teach youth how to apply leadership skills, acquire a positive self-concept, build confidence, and learn to respect and get along with people.

WHEREAS, the 4-H Livestock and the FFA Livestock projects have helped many youth in Perry, Taylor County, Florida to gain confidence in themselves by being responsible for an animal that is solely dependent on them. The projects help youth develop responsible behaviors through the daily care of keeping the animal fed, a clean place for the animal to live and working the animal daily to be prepared for the show ring, decision making skills through learning what feed to use and financial management skills through keeping records of expenses for the project.

WHEREAS, North Florida Livestock Show Week showcases the incredible ways that 4-H and FFA inspires kids to do and highlights the remarkable 4-H and FFA youth in Perry, Taylor County, Florida who work each day to learn and value hard work, agricultural commodities and make a positive impact on those around them; and

Now, therefore, The Taylor County Board of County Commissioners, do hereby proclaim February 19<sup>th</sup> – 25th, 2024 as the North Florida Livestock Show and Sale week throughout Perry, Taylor County, Florida and encourage all of our citizens to recognize 4-H and FFA for the significant impact they have made and continue to make by empowering youth with the skills they need to lead for a lifetime.

Done and ordered this 5th day of February 2024, in Taylor County, Florida

Jamie English Chairperson, Board of County Commissioners Taylor County, Florida

ATTEST:

Gary Knowles, Clerk Taylor County, Florida

County Commission Agenda Item

SUBJECT/TITLE:



THE BOARD TO CONSIDER APPROVAL OF PROCLAMATION TO PROCLAIM FEBRUARY 19-25, 2024 AS HAZARDOUS MATERIALS AWARENESS WEEK.

MEETING DATE REQUESTED:

FEBRUARY 5, 2024

Statement of Issue:

TO INCREASE AWARENESS OF HAZARDOUS MATERIALS

AND TRAINING AVAILABLE.

Recommended Action: APPROVE

Fiscal Impact:

N/A

Budgeted Expense:

N/A

Submitted By:

LAWANDA PEMBERTON, COUNTY ADMINISTRATOR

Contact:

838-3500 X 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: THE NORTH CENTRAL FLORIDA LOCAL EMERGENCY PLANNING COMMITTEE HAS DESIGNATED THE WEEK OF FEBRUARY 19-25, 2024 AS HAZARDOES MATERIALS AWARENESS WEEK IN THE NORTH CENTRAL FLORIDA REGION. COUNTY REPRESENTATIVES SERVE ON THE COMMITTEE AND PLAY AN IMPORTANT ROLE IN FURTHERING PUBLIC SAFETY CONCERNING HAZARDOUS MATERIALS.

Options:

APPROVE/NOT APPROVE

Attachments:

DRAFT PROCLAMATION EMAIL FROM NFRPC

#### **LaWanda Pemberton**

From:

Scott Koons <koons@ncfrpc.org>

Sent:

Friday, January 5, 2024 4:35 PM

To:

LaWanda Pemberton

Cc:

Dan Cassel

Subject:

Hazardous Materials Awareness Week Proclamation

**Attachments:** 

Hazmat Awareness Week Proclamation 2024. Taylor County. docx

LaWanda,

The North Central Florida Local Emergency Planning Committee has designated the week of February 19-25, 2024 as Hazardous Materials Awareness Week in the north central Florida region. County representatives serve on the Committee and play an important role in furthering public safety concerning hazardous materials.

Please find attached a sample proclamation proclaiming the week of February 19-25, 2024 as Hazardous Materials Awareness Week in the County.

Following the signing of the proclamation, please send a copy of the signed proclamation to me.

Thank you for your attention to this matter!

Scott



Scott R. Koons, AICP
Executive Director
North Central Florida Regional Planning Council
2009 NW 67th Place, Gainesville, FL 32653-1603
Voice: 352.955.2200, ext. 101

Fax: 352.955.2209

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business are public records available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

## PROCLAMATION

### HAZARDOUS MATERIALS AWARENESS WEEK FEBRUARY 19 - 25, 2024

WHEREAS, the safe use of hazardous materials is essential to citizens, business, industry and local governments to maintain economic stability and the public health; and

WHEREAS, Taylor County recognizes the importance of protecting our community from both accidental and deliberate releases of hazardous materials; and WHEREAS, it is essential to increase community preparedness so that both public-sector and private-sector employees know how to safely protect themselves and those for whom they are responsible during an accidental or deliberate release of hazardous materials; and WHEREAS, Taylor County representatives participate on the North Central Florida Local Emergency Planning Committee; WHEREAS, the North Central Florida Local Emergency Planning Committee offers free hazardous materials emergency response training for firefighters, emergency medical, law enforcement and other public safety personnel as well as free Shelter In-Place Train-the-Trainer classes for community groups, businesses, schools and the general public as a means to increase safety in the event of a release; and WHEREAS, citizens need to know that emergency responders, emergency management, all levels of government, schools and businesses are working together to ensure that our community is as prepared as possible to protect all citizens from both accidental and deliberate releases of hazardous materials. NOW, THEREFORE BE IT RESOLVED by the Board of County Commissioners of Taylor County Florida, that: February 19 - 25, 2024 is hereby proclaimed Hazardous Materials Awareness Week in Taylor County. PASSED AND DULY ADOPTED by the Board of County Commissioners of Taylor County, Florida, in regular session on the day of \_\_\_\_\_\_ 2024. **BOARD OF COUNTY COMMISSIONERS** OF TAYLOR COUNTY, FLORIDA ATTEST: Jamie English, Chair Gary Knowles, County Clerk

n:\projects 2024\hazardous materials awareness week\hazmat awareness week proclamation 2024.taylor county.docx

#### Marsha Durden

From:

LaWanda Pemberton

Sent:

Tuesday, January 23, 2024 7:28 AM

To:

Marsha Durden; Agenda

Subject:

Fwd: Hazardous Materials Awareness Week Proclamation

Attachments:

image002.jpg; Hazmat Awareness Week Proclamation 2024.Taylor County.docx

For 1st meeting in February Sent from my iPhone

Begin forwarded message:

From: LaWanda Pemberton < lpemberton@taylorcountygov.com>

Date: January 11, 2024 at 9:05:04 PM EST

To: Agenda <agenda@taylorcountygov.com>, Marsha Durden <mdurden@taylorcountygov.com>

**Subject: Fwd: Hazardous Materials Awareness Week Proclamation** 

For 1st meeting in February Sent from my iPhone

\_\_\_\_\_

Begin forwarded message:

From: Scott Koons <koons@ncfrpc.org>
Date: January 5, 2024 at 4:34:50 PM EST

To: LaWanda Pemberton < Ipemberton@taylorcountygov.com>

Cc: Dan Cassel <ps.director@taylorcountygov.com>

Subject: Hazardous Materials Awareness Week Proclamation

LaWanda,

The North Central Florida Local Emergency Planning Committee has designated the week of February 19-25, 2024 as Hazardous Materials Awareness Week in the north central Florida region. County representatives serve on the Committee and play an important role in furthering public safety concerning hazardous materials.

Please find attached a sample proclamation proclaiming the week of February 19-25, 2024 as Hazardous Materials Awareness Week in the County.

Following the signing of the proclamation, please send a copy of the signed proclamation to me.

Thank you for your attention to this matter!

Scott

Scott R. Koons, AICP Executive Director North Central Florida Regional Planning Council 2009 NW 67th Place, Gainesville, FL 32653-1603 Voice: 352.955.2200, ext. 101

County Commission Agenda Item

SUBJECT/TITLE:



THE BOARD TO CONSIDER APPROVAL OF PROCLAMATION TO PROCLAIM FEBRUARY 12-18, 2024 AS STEINHATCHEE FIDDLER CRAB FESTIVAL WEEK.

MEETING DATE REQUESTED:

FEBRUARY 5, 2024

Statement of Issue:

TO RECOGNIZE THE 16TH ANNIVERSARY OF THE

STEINHATCHEE FIDDLER CRAB FESTIVAL.

Recommended Action: APPROVE

Fiscal Impact:

N/A

**Budgeted Expense:** 

N/A

Submitted By:

LAWANDA PEMBERTON, COUNTY ADMINISTRATOR, ON

BEHALF OF COMMISSIONER MICHAEL NEWMAN

Contact:

838-3500 X 6

## SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: THE PROCLAMATION MARKS THE 16TH ANNIVERSARY OF THE STEINHATCHEE FIDDLER CRAB FESTIVAL AND RECOGNIZES THE ECONOMIC IMPACT TO STEINHATCHEE, FLORIDA.

Options:

APPROVE/NOT APPROVE

Attachments:

DRAFT PROCLAMATION

## **PROCLAMATION**

## 16th Annual Steinhatchee Fiddler Crab Festival

WHEREAS February 2024 marks the 16th Anniversary of the Annual Steinhatchee Fiddler Crab Festival in Taylor County, Florida; and

WHEREAS the festival was conceived to bring tourism to the area at a time when fishing was closed in February and business dried up for most; and

WHEREAS the festival started with about thirty vendors for the first time and with bad weather, brought an estimated 2,500 people to town; and

WHEREAS as the festival grew and in just a few short years, the economic impact exceeded that of the July  $4^{th}$  scallop rush; and

WHEREAS the Steinhatchee Fiddler Crab Festival hosts food, arts and crafts, a car and boat show, a taste of Steinhatchee cook-off, fireworks, live music, a fishing tournament as well as a parade; and

WHEREAS the family friendly festival is an exciting and memorable weekend for residents and tourists; and

Now, therefore be it resolved that the <u>Taylor County Board of County Commissioners</u> does hereby proclaim the week of February 12<sup>th</sup> – 18<sup>th</sup> 2023 as *Steinhatchee Fiddler Crab Festival Week*.

Done and ordered this 5th day of February 2024, in Taylor County, Florida

Jamie English Chairperson, Board of County Commissioners Taylor County, Florida

ATTEST:

Gary Knowles, Clerk Taylor County, Florida

County Commission Agenda Item

SUBJECT/TITLE:



Board to approve HUD Form 2880 for the Department of **Economic Opportunity Small Cities Community Development** Block Grant (CDBG) Subgrant Agreement - FFY 2019, Contract No. 20DB-OP-03-72-01-H05 for housing rehabilitation.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to approve HUD Form 2880 for the Department of

**Economic Opportunity Small Cities Community** 

Development Block Grant (CDBG) Subgrant Agreement -FFY 2019. Contract No. 20DB-OP-03-72-01-H05 for housing

rehabilitation.

Recommended Action: Approve HUD Form 2880.

Fiscal Impact:

The County has been awarded a grant in the amount of

\$750,000 and will provide a match of \$50,000 with SHIP

funds.

Submitted By:

Jami Evans, Grants Coordinator

Contact:

Jami Evans

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The County has been awarded a grant in the amount of

\$750,000 through the CDBG Program which will be used for the rehabilitation of homes in the unincorporated areas

of Taylor County. The funds can be used for the

rehabilitation of existing site built homes, demolition and

new construction of existing site built homes, and demolition and new construction for existing mobile homes. DEO requires and updated HUD Form 2880 be on

file as per the grant agreement.

Attachments:

**HUD Form 2880** 

## Applicant/Recipient Disclosure/Update Report

U.S. Department of Housing and Urban Development

OMB Approval No. 2510-0011 (exp. 11/30/2018)

Instructions. (See Public Reporting Statement	and Privac	y Act Stat	ement and detailed instru	uctions on page 2.)
Applicant/Recipient Information			ther this is an Initial Report	
Applicant/Recipient Name, Address, and Phone (include a Toules County Florida 2015)	rea code):			Social Security Number or
Taylor County Florida 201 E. Green Street, Perry, FL. 32347 (850)838-3500			Employer ID Number:	
			E	59-6000879
HUD Program Name				4. Amount of HUD Assistance
Florida Small Cities CDBG Program Grant # 200	DB-H05		1	Requested/Received \$750,000
<ol><li>State the name and location (street address, City and Stat Taylor County Housing Rehabilitation Services S</li></ol>	e) of the proje cattered Si	ect or activity:		4100,000
Part I Threshold Determinations  1. Are you applying for assistance for a specific project or actitems do not include formula grants, such as public housing subsidy or CDBG block grants. (For further information see 4.3).  Yes   No	g operating e 24 CFR Sec	jurisdi this ap Sep. 3 ✓ Y	ction of the Department (HUD) pplication, in excess of \$200,00 0)? For further information, see  No.	
If you answered "No" to either question 1 or 2, St However, you must sign the certification at the en	nd of the re	port.		*
Part II Other Government Assistance Pro	vided or F	Requeste	d / Expected Sources	and Use of Funds.
Such assistance includes, but is not limited to, any gran Department/State/Local Agency Name and Address	Type of As	sidy, guarar ssistance	Amount	edit, or tax benefit.  Expected Uses of the Funds
Taylor County 201 E. Groop Street Born, El 2004			Requested/Provided	
Taylor County 201 E. Green Street, Perry, FL 3234	Starr time	or tunds	\$50,000	Housing Rehabilitation
(Note: Use Additional pages if necessary.)				
<ul> <li>Part III Interested Parties. You must disclose:</li> <li>1. All developers, contractors, or consultants involved in the approject or activity and</li> <li>2. any other person who has a financial interest in the project assistance (whichever is lower).</li> </ul>				
Alphabetical list of all persons with a reportable financial interests the project or activity (For individuals as in the last of the last	est Social	Security No.	Type of Participation in	Financial Interest in
in the project or activity (For individuals, give the last name firs Guardian CRM, Inc.	13-430	loyee ID No.	Project/Activity	Project/Activity (\$ and %)
	13-430	9232	Administration	\$75,000
(Note: Use Additional pages if necessary.)  Certification  Warning: If you knowingly make a false statement on this form United States Code. In addition, any person who knowingly ard disclosure, is subject to civil money penalty not to exceed \$10, I certify that this information is true and complete.	id materially v	iolates any re	ivil or criminal penalties under S equired disclosures of informati	Section 1001 of Title 18 of the on, including intentional non-
Signature:			Date: (mm/dd/yyyy)	
X		·	02/05/2024	

## (3)

#### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:

The Board to consider approval of draft letter of support for the City of Perry.



MEETING DATE REQUESTED: February 5, 2024

Statement of Issue: To provide letter of support for the Rural Infrastructure

Grant Program.

Recommended Action: Approve

Fiscal Impact: N/A

Budgeted Expense: N/A

Submitted By: LaWanda Pemberton, County Administrator

Contact: 850-838-3500 ext. 6

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: John Hart, City of Perry has requested a letter of support from the Board of County Commissioners to submit with grant application to the Department of Commerce for the Rural Infrastructure Grant Program for a planning grant.

Options:

Attachments: Draft Letter



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3500, extension 7 Phone (850) 838-3501 Fax CONRAD C. BISHOP, JR., County Attorney Post Office Box 167 Perry, Florida 32348 (850) 584-6113 Phone (850) 584-2433 Fax

February 5, 2024

Florida Department of Commerce Rural Infrastructure Program Attn: Pam Portwood, Community Program Manager 107 East Madison Street, MSC 160 Tallahassee, FL 32399

Dear Ms. Portwood,

The Taylor County Board of County Commissioners would like to provide our support to the City of Perry, in their pursuit of funding under the Florida Department of Economic Opportunity, Rural Infrastructure Fund.

The funding will be used to prepare a storm water management plan in order to develop a plan to operate and maintain the City's storm water system to alleviate residents and businesses of the negative impact of storm water.

The Taylor County Board of County Commissioners respectfully asks for your support for the City of Perry's Rural Infrastructure Application for this worthwhile project.

Respectfully,

Jamie English, Chairperson

County Commission Agenda Item

SUBJECT/TITLE:



Board to approve Amendment No. 1 to the 2023-2024 Small County Consolidated Solid Waste Management Grant Agreement SC428 increasing the amount of funding by \$4,105.00.

**MEETING DATE REQUESTED:** 

February 5, 2024

Statement of Issue:

Board to approve Amendment No. 1 to the 2023-2024 Small **County Consolidated Solid Waste Management Grant** Agreement SC428 increasing the amount of funding by

\$4,105.00.

Recommended Action:

Approve Amendment No. 1 to Grant Agreement SC428.

Fiscal Impact:

The County is eligible to receive up to \$97,855 from the

**DEP Solid Waste Management Grant Program with no** 

match required from the County.

**Budgeted Expense:** 

Yes

Submitted By:

Jami Evans, Grants Coordinator

Contact:

Jami Evans, Grants Coordinator

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The original grant agreement in the amount of \$93,750 was approved by the Board on August 22, 2023. The amount of \$4,105.00 was left over from the 22-23 Solid Waste Grant due to the lack of waste tire disposal. County staff was informed that the leftover amount from the 22-23 grant can be moved to the 23-24 grant. The additional funds will be

used toward salaries of the recycling employees.

Attachments:

Amendment No. 1 to Agreement SC428

#### AMENDMENT NO. 1 TO AGREEMENT NO. SC428 BETWEEN

## FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND

#### TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

This Amendment to Agreement No. SC428 (Agreement) is made by and between the Department of Environmental Protection (Department), an agency of the State of Florida, and Taylor County Board of County Commissioners, 201 E. Green Street, Perry, Florida 32347, (Grantee), on the date last signed below.

WHEREAS, the Department entered into the Agreement with the Grantee to perform recycling program operations and waste tire removal effective October 1, 2023;

WHEREAS, the parties wish to amend the Agreement as set forth herein to reflect a \$4,105.00 increase to the budget in the Revised Work Plan (Attachment 3-A) revising the total Work Plan budget to \$97,855.00;

#### NOW THEREFORE, the parties agree as follows:

- 1) Funding for the Taylor County FDEP Grant Agreement SC428 is increased by \$4,105.00 revising the Grant budget to \$97,855.00.
- 2) Attachment 3, Grant Work Plan, is hereby deleted in its entirety and replaced with Attachment 3-A, Revised Work Plan, as attached to this Amendment and hereby incorporated into this agreement. All references in the Agreement to Attachment 3 shall hereinafter refer to Attachment 3-A, Revised Work Plan.
- 3) All other terms and conditions of the Agreement remain in effect. If and to the extent that any inconsistency may appear between the Agreement and this Amendment, the provisions of this Amendment shall control.

The parties agree to the terms and conditions of this Amendment and have duly authorized their respective representatives to sign it on the dates indicated below.

Taylor County Board of County Commissioners	Florida Department of Environmental Protection
By:	Ву:
Title:	Secretary or Designee
Date:	Date:

LIST OF ATTACHMENTS/EXHIBITS INCLUDED AS PART OF THIS AMENDMENT:

Specify TypeLetter/NumberDescriptionAttachment3-ARevised Work Plan (3 pages)

## STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REVISED GRANT WORK PLAN DEP AGREEMENT NO. SC428

#### **ATTACHMENT 3-A**

PROJECT TITLE: Taylor County Small County Consolidated Solid Waste Management Grant

PROJECT AUTHORITY: Taylor County (Grantee) received funding from the Florida Legislature in the amount of \$93,750.00, through Specific Appropriation Line Item No. 1774, Solid Waste Management Trust Fund, Fiscal Year (FY) 2023-24 General Appropriations Act. The Grantee meets the threshold for a small county (population under 110,000) and received this funding under the Small County Consolidated Grants program for the purpose of subsidizing its recycling program and waste tire removal costs. Authority for this Project is specified in Section 403.7095, Florida Statutes (F.S.), and Chapter 62-716, Florida Administrative Code (F.A.C). Monitoring and auditing guidelines, as related to the Florida Single Audit Act, are specified in the Florida Catalog of State Financial Assistance (CSFA), No. 37.012.

PROJECT LOCATION: All collected recyclable materials are brought to a central facility located at 3750 W. US 98, Perry, Florida 32347 for processing. The recyclable material will be collected from the nine (9) drop-off centers and twenty-five (25) businesses located throughout Taylor County and then transported and disposed of at Newark Recycled Fibers in Tallahassee, Florida.

PROJECT BACKGROUND: The Grantees' Recycling Program provides recycling services for residents and small businesses located throughout Taylor County. Materials including old newspaper, corrugated cardboard, plastic, aluminum cans and metal (ferrous and non-ferrous) are collected and brought to a central facility for processing. The Recycling Program operates nine (9) drop-off centers and schedules regular cardboard pick-ups from twenty-five (25) small businesses located throughout Taylor County. The Grantee needs this funding to help offset the cost for disposal because of its small population and limited funding resources.

PROJECT DESCRIPTION: The Grantee's Department of Environmental Services employs a Recycling Technician, Recycling Secretary, Utilities Mechanic and Heavy Equipment Operator for the administration of its recycling program. Taylor County residents may bring their eligible recyclable material to the collection sites for drop-off and small businesses that wish to be added to the cardboard pick-up schedule may call the Grantee's Department of Environmental Services. The Grantee's drop-off center schedule is available here: https://www.taylorcountygov.com/rroschedule.jpg. The Grantee currently operates a regular cardboard pick-up schedule for twenty-five (25) small businesses located throughout Taylor County. Grant funds will be used to fully fund three (3) full time positions and partially fund a fourth full time position for the operation of the recycling program. Additionally, grant funds will be used to off-set the costs associated with the Grantee's disposal of waste tires picked up by the Grantee's contractor.

Additional Narrative: The Grantee's recycling program operations and waste tire disposal needs occur on an on-going basis year-round, and as such the Grantee's operations are budgeted on an annual basis. The annual budget prepared by the Grantee exceeds the grant award amount, and it is understood that any project costs exceeding the grant funding awarded for allowable costs under this Agreement remain the sole responsibility of the Grantee.

#### TASKS and DELIVERABLES:

#### **Recycling Program Operations**

Task 1: Recycling Program Salaries/Wages

Task Description: The Grantee will collect, sort and bale the eligible recyclables that are collected from their (9) recycle collection centers and the twenty-five (25) small businesses currently participating in their cardboard pick-up schedule. The collected recyclables are transported to a central processing facility, where they are sorted and

Attachment 3-A
Page 1 of 3

either bulked or baled, and then shipped to Newark Recycled Fibers in Tallahassee, Florida for final disposition. Funds (\$4,105.00) added to this grant will be used for Salaries.

**Deliverables:** Completion of the task as evidenced by submittal of all the following supporting documentation. The Grantee will submit copies of: time cards, payroll reports to support the hours worked and the fringe rate paid for the various included benefits, and proof of payment to the employees. Additionally, the Grantee will provide a summary report for the recyclables collected during the quarter, using the **Recycling Summary Report**, provided by the Department as **Exhibit 1** of this Grant Work Plan. All deliverables may be submitted electronically, unless paper copies are requested by the Department's Grant Manager.

**Performance Standard:** The Department's Grant Manager will review the deliverables to verify that they meet the specifications in the Grant Work Plan and this task description. Upon review and written acceptance by the Department's Grant Manager of all deliverables under this task, the Grantee may proceed with payment request submittal.

#### Waste Tire Disposal

Task 2: Waste Tire Disposal

Task Description: Waste tires are collected at the Grantee's Department of Environmental Services, where they are loaded and removed for proper disposal. The Grantee has an existing contract with D.E. Barnes, Inc. of Marianna, Florida to haul and dispose of waste tires. The Grantee will provide tonnage summaries, using the Tonnage Summary Report, provided by the Department as Exhibit 2 of this Grant Work Plan.

**Deliverables:** The Grantee will submit documentation of its waste tire disposals. This documentation must include: the date of transportation, number of tires, and registration number of the collector. Additionally, the Grantee will provide tonnage summaries, using the **Tonnage Summary Report**, provided by the Department as **Exhibit 2** of this Grant Work Plan. All deliverables may be submitted electronically, unless paper copies are requested by the Department's Grant Manager.

**Performance Standard:** The Department's Grant Manager will review the deliverables to verify that they meet the specifications in the Grant Work Plan and this task description. Upon review and written acceptance by the Department's Grant Manager of all deliverables under this task, the Grantee may proceed with payment request submittal.

Payment Request Schedule: The Grantee may submit a payment request for cost reimbursement quarterly. Payment requests shall be submitted within thirty (30) calendar days following completion of the quarter. The outlined documentation for the Deliverable(s) must have been submitted and accepted in writing by the Department's Grant Manager prior to payment request submittal.

**PROJECT TIMELINE:** The tasks must be completed by the corresponding task end date and all deliverables must be received by the designated due date.

Task/ Deliverable No.	Task or Deliverable Title	Task Start Date	Task End Date	Deliverable Due Date/ Frequency
1	Recycling Program Operations	10/1/2023	9/30/2024	Quarterly, within thirty (30) calendar days of the end of each quarter and prior to each payment request.
2	Waste Tire Removal	10/1/2023	9/30/2024	Quarterly, within thirty (30) calendar days of the end of each quarter and prior to each payment request.

#### **BUDGET DETAIL BY TASK:**

Task No.	Budget Category	Budget Amount
•	Salaries / Wages	\$81.043.00
1	Total for Task:	\$81,043.00
2	Contractual Services (Subcontractor)	\$16,812.00
	Total for Task:	\$16,812.00

SALARY AND FRINGE BENEFITS BY TASK: Cost reimbursable hourly, fringe, and indirect rate(s) by position may not exceed those indicated below.

Task No.	Position Title	Maximum Rate/Hour
1	Recycling Technician	\$12.43
	Utilities Mechanic	\$10.50
	HEO I	\$12.33
	Secretary/Office	\$19.38

<sup>\*</sup>Note: Full-time employee hourly rates determined by minimum and maximum salary/ 2,080 work hours per year.

**PROJECT BUDGET SUMMARY:** Cost reimbursable grant funding must not exceed the category totals for the project as indicated below.

Category Totals	Grant Funding, Not to Exceed, \$97,855.00
Salaries/Wages Total	\$81,043.00
Contractual Services Total	\$16,812.00
Total:	\$97,855.00



County Commission Agenda Item

SUBJECT/TITLE:



Board to approve Change Order #2 in the amount of \$3,270,00 to the contract for rehabilitation work through the SHIP Program for the home of James and Ida Chester.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to approve Change Order #2 in the amount of \$3.270.00 to the contract for rehabilitation work through the SHIP Program for the home of James and Ida Chester.

Recommended Action:

Approve change order.

Fiscal Impact:

N/A. The change order will be 100% funded through the

SHIP Program.

Budgeted Expense:

Not Applicable

Submitted By:

Jami Evans, Grants Coordinator

Contact:

Jami Evans

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The contractor informed GSG that additional damage was exposed when repairing the soft spots in the subfloor near the sliding glass door. Not only does the subfloor and a couple of floor joists need repair, but the actual girder beam under the floor joists is rotted due to the attached deck that was improperly installed against the house. The subfloor can be repaired as outlined in the scope of work: however, the initial cause of the damage would still exist. and it would not correct the problem permanently. A proper repair would be to detach the deck and replace the girder beam and reattach the deck properly to prevent water damage. These additional costs would total \$3,270.

> GSG believes these costs are necessary if the scope already called for replacing the subfloor as well as installing proper flashing and waterproofing near the glass door. It was apparent externally to their inspector of the damage caused by water and only when the contractor

began to make repairs, was more damage discovered that could not be seen.

Change Order #1 was for the replacement of the HVAC system for \$6,254.

Attachments:

**Change Order #2** 

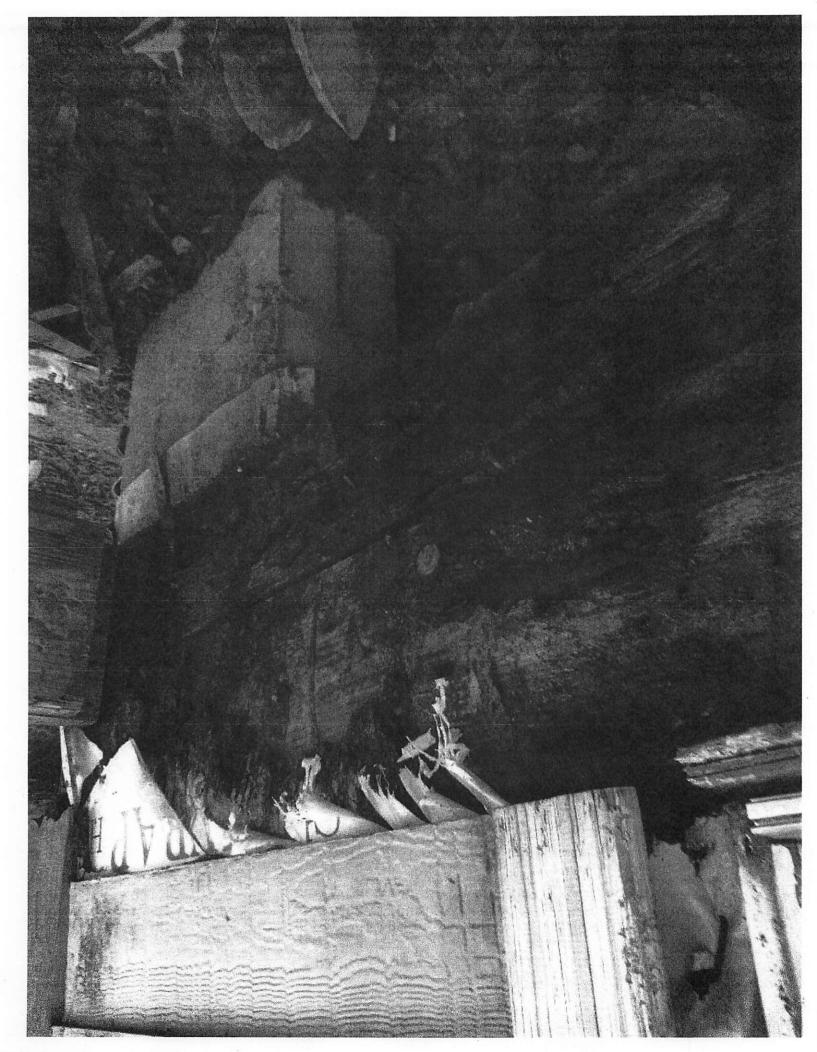
# LATE HOUSING INITIATIVES PARTNERSHIP (SHIP) PROGRAM NTRACT FOR REHABILITATION WORK CHANGE ORDER #2

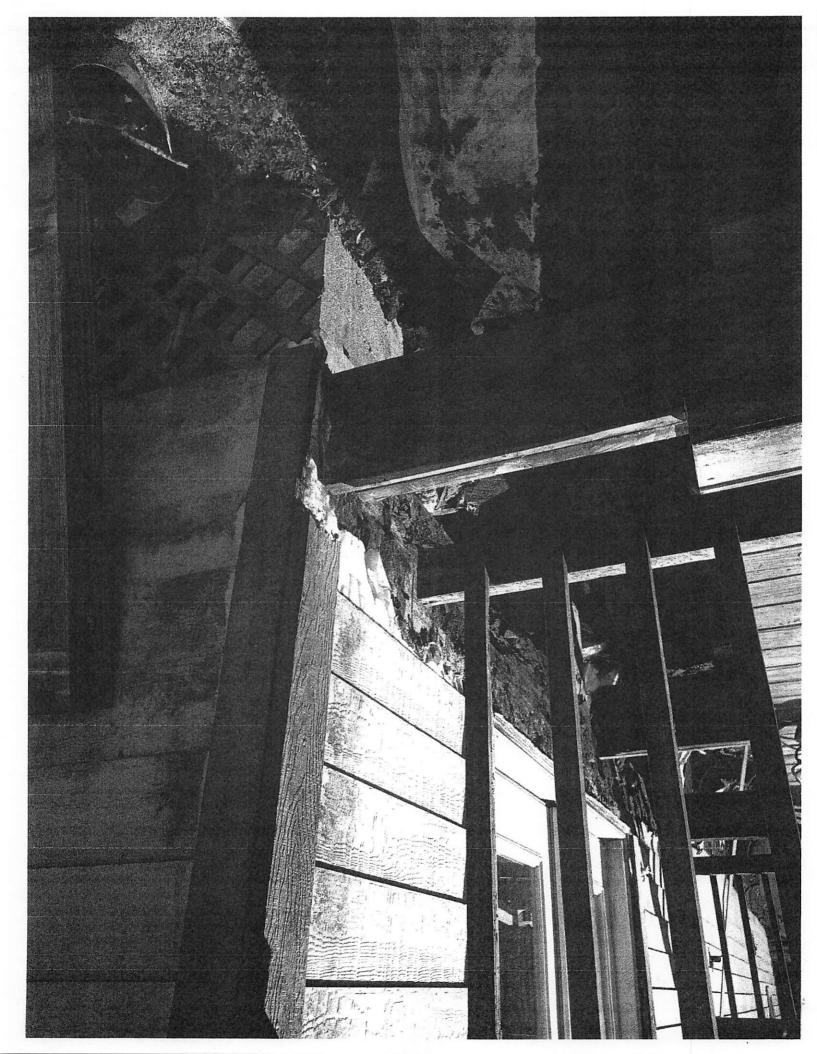
Contracto	r: <u>Jerry Walter</u>	s Construction. Inc.		
Job Addre	ess: <u>1310 S. S</u> pa	arrow Street - Perry. FL 3234		
cictor	and approved t	itation Work entered into on <u>August 1</u> , <u>2023</u> , by and betov the local government, is hereby amended to include the firk (attach additional sheets if needed):		
Item #	Spec #	Description of Work	Location	Price
002	Structural	Repair Foundation + Rean Attorned deckt	Deck/Near	
		Repair Foundation + Rear Attached deckt Repuse Siding introtores	Sliding Glass Door	3270,00
			TOTAL.	3270.0
		becomes an integral part of the Contract, pursuant the Contract, pur	act. The Cor	ntract amount is
	_	•	·	CITID C J.
The addition of the work of the work of the control	onal cost will be completion dead	covered by \$ 0 in private funds and \$ 3,270 lline: X is not extended: is extended to	w	SHIP TUNGS.
X Occur	nancy of the str	ucture will be as originally contracted;		
		vacant for an additional days.		
Contractor	lub Date	1-11-24 Lda Chister 1-10 Owner/Date	1-24	
Jan	R	01/12/2024		
Jousing K	ehab. Spec./Dat	Local Government Represent./Date		

wner: James and Ida Chester

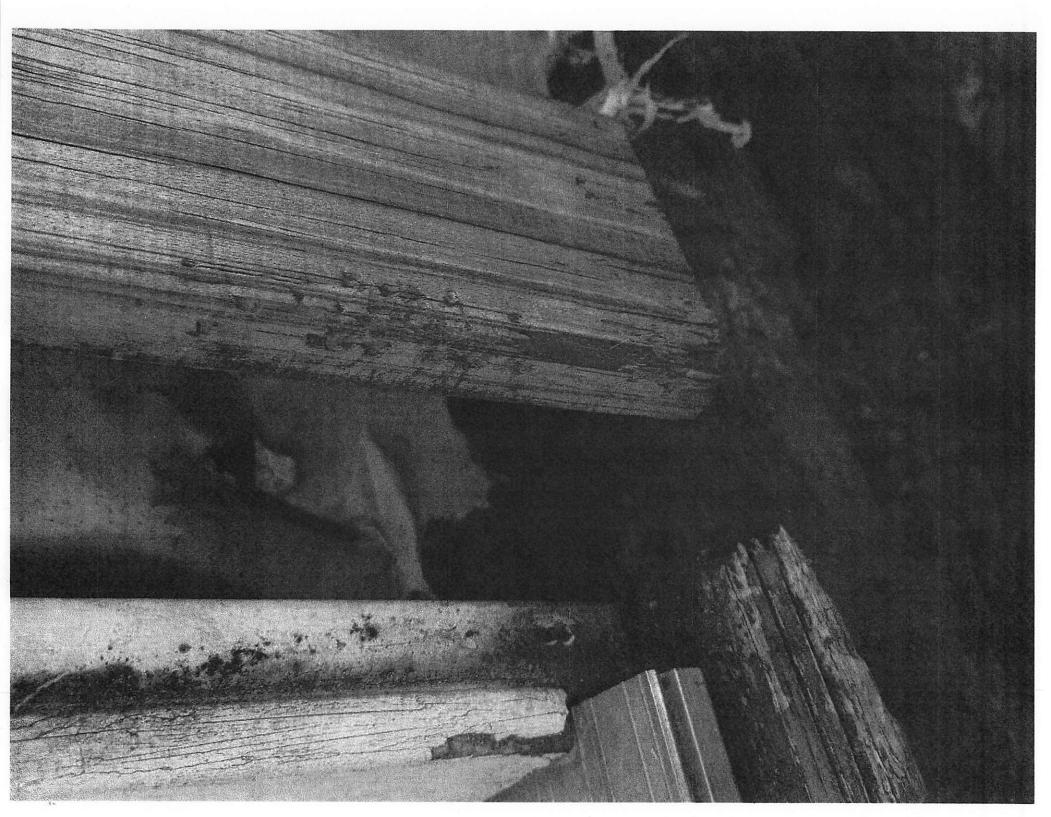




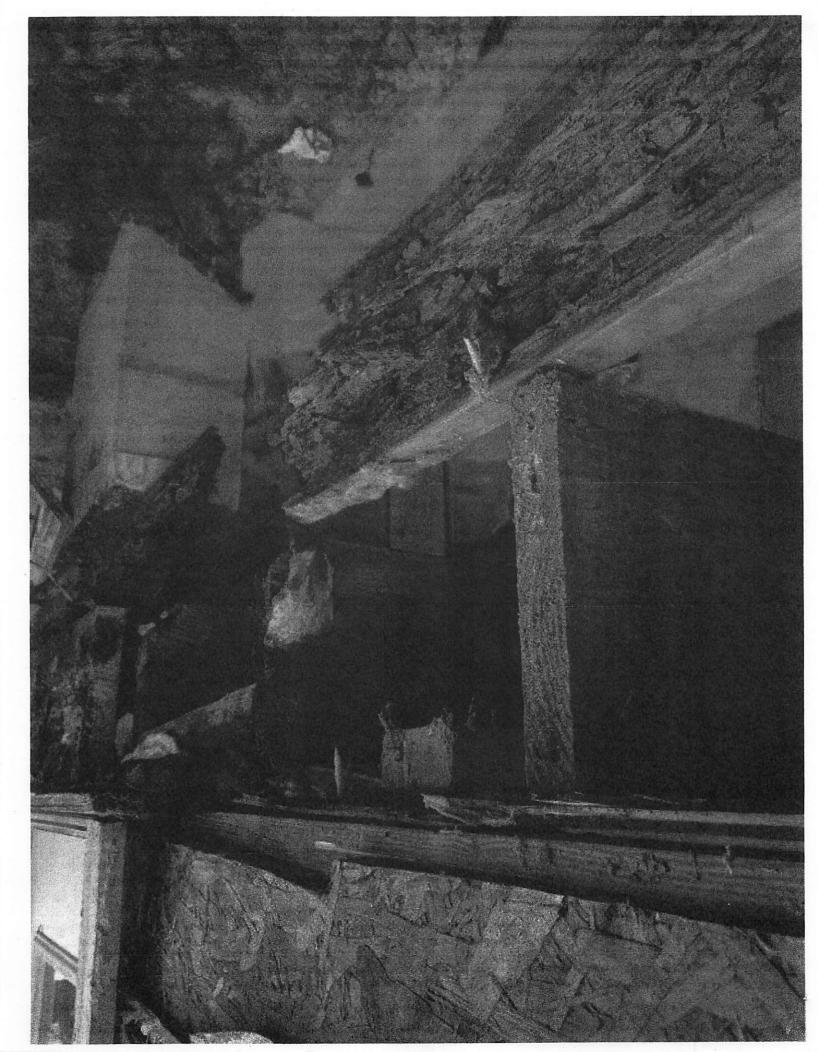














County Commission Agenda Item

SUBJECT/TITLE:



Board to review and approve the Invitation to Bid and the Work Write-Up/Bid Forms for the rehabilitation of one home and demolition and construction of four homes through the CDBG Program.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to review and approve the Invitation to Bid and the Work Write-Up/Bid Forms for the rehabilitation of one home and demolition and construction of four homes through the CDBG Program.

Recommended Action:

Approve the Invitation to Bid and Work Write-Up/Bid

Forms.

Fiscal Impact:

All projects will be 100% grant funded.

Budgeted Expense:

Yes

Submitted By:

Jami Evans, Grant Coordinator

Contact:

Jami Evans

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The following homeowners have been qualified to receive

assistance through the CDBG Housing Program:

#### CDBG REHABILITATION

Dustin Wimberly and Amber Schubert

12939 US 19, Greenville

### CDBG DEMOLITION AND CONSTRUCTION

**Christopher Davis and Kristina Huskins** 

16481 School House Road, Salem 6749 S. Red Padget Road, Perry

Lessie Cruce Land Joy Tuten

2780 Kelly Grade, Perry

Tina McMillan

5600 Smith Road, Perry

The Bids will be received at the March 4, 2024 Board Meeting at 6:10 P.M.

Attachments:

Invitation to Bid and Work Write-Up/Bid Forms



#### **INVITATION TOBID**

Bid CDBG 2023-10

CDBG Project Number: 22DB-OP-03-72-01-H05
Community Development Block Grant
Housing Rehabilitation Program

Due Date: Friday, March 1, 2024 by 4:00 pm

### MANDATORY PRE-BID CONFERENCE Tuesday-February 13, 2024 at 11:00am

Contractor Notification Date 02/06/2024
Notification Method:
Email & Posting at Building Department

TAYLOR COUNTY, FLORIDA
A political subdivision of the State of Florida
Department of Grants Administration
401 Industrial Park Drive
Perry, Florida 32348

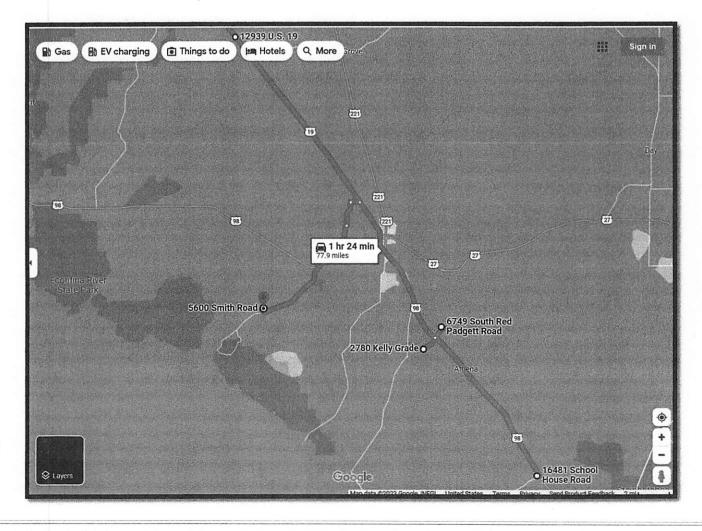
#### **Event Timeline**

Bidders should review and become familiar with the Event Timeline. The dates and times of each activity within the Timeline may be subject to change. It is the responsibility of Bidder to check for any changes. All changes to the Timeline will be made through an addendum to this Invitation to Bid.

EVENT	DATE	TIME
Issue Invitation to Bid	February 6, 2024	N/A
MANDATORY Pre-Bid Conference	February 13, 2024	11:00 AM
Deadline for Questions	February 26, 2024	4:00 PM
Bid Due Date and Time	March 1, 2024	4:00 PM
Public Opening Date and Time	March 4, 2024	6:10 PM

#### **Location of Projects**

12939 N US Hwy 19. Greenville, FL 32331 5600 Smith Rd. Perry, FL 32348 2780 Kelly Grade. Perry, FL 32348 6749 Red Padgett Rd. Perry, FL 32348 16481 School House Rd. Perry, FL 32348



# NOTICE TO BIDDERS

A Mandatory Pre-Bid Conference will be held on February 32, 2024, at 41,000 and starting at 42,000 NUS. This meeting will be followed by a Mandatory Walkthrough at each additional location. (Order of site visits follows the order of listing presented in the Location of Projects heading above).

All bids are due by Friday, March 1, 2024 by 4:00 P.M. Local Time. Bidders will have the option to submit bids physically (in-person) or by mail. In-person or mailed submissions shall provide one-(1) clearly marked original, and two-(2) copies. Bid envelopes are to be identified as CDBG and the ITB number, as well as the bidder's name and address. Late bids shall not be accepted.

# All submissions must be delivered to the following:

Hand Delivery:

Gary Knowles

Fed - X or UPS

Clerk of the Court 108 North Jefferson Street, Suite 102

Perry, FL. 32347

Mail Delivery:

Gary Knowles Clerk of the Court

108 North Jefferson Street, Suite 102

Perry, FL. 32347

A Public Opening of the Bids is scheduled for March 4, 2024 at 6:10 PM, or as soon thereafter as possible, at 201 East Green Street, Perry, Florida, 32347. Bids will be opened during a regularly scheduled Board of County Commissioners meeting.

Copies of the ITB Notification and Bid Documents can be obtained by contacting Guardian CRM, at: 888-482-7393 or at <a href="www.taylorcountygov.com">www.taylorcountygov.com</a>. Please print copies of the ITB documents and Scopes of Work so that you may have them for the pre-bid meeting.

Please do not contact the homeowner(s) or visit the project sites prior to the scheduled mandatory pre-bid meeting and site visit activities.

Persons with disabilities needing assistance to participate in any of the proceedings should contact the Taylor County CDBG Program Consulting Grant Administrator Marina Edwards at: (888) 482-7393 or <a href="Marina.edwards@guardiancrm.com">Marina.edwards@guardiancrm.com</a>. All requests shall be made at least Seventy-two (72) hours in advance.

# METHOD OF AWARD

The County reserves the right to reject low Bids, to waive irregularities and/or inconsistencies in any Bid, and to award project contracts in a manner deemed to be in the County's best interest.

No Contractor or subcontractor may participate in this work if ineligible to receive Federal or State funded contracts.

Sealed bids will be opened at a public bid opening. The Project Manager will generally recommend that the contract be awarded to the lowest responsible bidder within plus or minus fifteen percent (15 %) of the cost estimate. Bids below the fifteen percent (15%) threshold will be reviewed and are notautomatically disgualified.

A minus ten percent (10%) contingency will be assessed for all Section 3 and/or W/MBE firms at the bid opening to provide incentive, opportunity and encourage the participation of such established business types

in accordance with HUD requirements. All bid awards will be made available to the participating Contractors and homeowners.

No contractor will be allowed to have more than two (2) jobs per bid round, with a maximum award of three (3) jobs under construction at one time without the consent of the PA.

The County places significant value on high quality work and performance, timely access and response, scheduling and cost concerns and communication.

Taylor County is an Equal Opportunity Employer and makes all efforts to include Section 3, WMBE, Veteran-Owned, and all other underserved business types in any bid solicitations related to County Grant Programs. A complete statewide and local W/MBE listing can be accessed via the following weblink: <a href="https://vendor.myfloridamarketplace.com/search/vendor">https://vendor.myfloridamarketplace.com/search/vendor</a>. A complete nationwide and local Section 3 listing can be accessed via the following weblink: <a href="https://hudapps.hud.gov/OpportunityPortal/searchBusiness.action">https://hudapps.hud.gov/OpportunityPortal/searchBusiness.action</a>. Contractors shall make all relevant and feasible efforts to seek and employ W/MBE and Section 3 business and individuals. <a href="https://programs.html">Physical or digital copies of the Taylor County WMBE/Section three firm listing can be provided upon request.</a>

# TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

# CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

# PROPERTY INFORMATION:

Property Address:	16481 School House Ro	l. Sa	lem, FL 32356				
Property Owner:		Christopher Davis & Kristina Huskins					
Home Phone:	850-838-6670						
Alt Phone:	850-843-2929						
Year Built:	1995						
LBP/ACM	LBP Action: N/A		ACM Action: N/A				
Building Description:	Number of bedrooms:	_	Number of bathrooms:	1 2			
Parcel ID Number:	09357-000		Tanto de la Sauricomo.				

Note	System	Description of Work	Location	Price	Contracto Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$N/A	
B.	SITEWORK	Rehabilitation of unit shall include: ¶ Re-connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. ② Disconnect and re-connect to community water systems if required by code or specification within this document. ③ Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. ④ Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

# THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

# PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

property. I/We also agree that	inderstand ti at there will I Code Requi	rk Write-Up consisting of <u>all listed</u> item he specifications of the work to be perfor be "NO" changes in the specifications unlinements. Furthermore, I/We authorize Tated in this Work Write-Up.	med on our
x	1 1	<b>X</b>	,
Property Owner's Signature	Date	Property Owner's Signature Date	e
Total contractor bid for request The proposed work shall be contracted by:	sted work: \$	thin <u>120</u> Business/Working Days.	
Company Name:			

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

# Warranty Rehabilitation Scope of Work and Specifications

Client:	Christopher Davis & Kristina Huskins	Date:	October 2023
Address:	16481 School House Rd. Salem, FL 32356		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

# **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all-material and shall be responsible for covering <u>all-homeowner</u> belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE: Signature re	equired for acknowled	Igment of Notice to	o Bidding General Co	ntractors
Constitution of				
Print Name		Signature		Date

The above applies to all line items associated with this Scope of Work:

	Qty.	Location	Amount
1. OPERATIONAL			
1. Operational	Unit	Site	\$
The contractor shall be responsible for and provide all or other required local, state, or federal, documentation etc.).	applications, permits, ı (To include all applic	plans, drawii able Fees, S	ngs, product approvals ite Surveys, A&E,
1a. STORAGE			
1a. Storage	Unit	Site	\$
The contractor shall be responsible for procuring and part 120 calendar days) to be placed on site during exterming homeowner shall be responsible for storing and replacing	ation and interior reha	abilitation pro	cesses. The
Line-item Notes:  NOTE 1: Price to include keyed security lock. The hom responsibility for the key's location.	eowner shall be provi	ded with the	sole key and the
1b. GENERAL REPORTING			
1b. Reporting Requirements	Unit	Site	\$
The contractor shall contact, either by phone or electron least once per week to provide project progress update. Report (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit be program in general. This credit shall be applied at every	s. This shall be docun t the owner and/or pr ack to the owner's as	nented via ar ovide the ME sistance ava	every Monday Email R for two (2) lability or the SHIP
_ine-item Notes:			
NOTE 1: Failure to place a cost for this line item will not	exclude the contract	or from the re	esponsibility and
NOTE 1: Failure to place a cost for this line item will not required stated therein.	exclude the contract	or from the re	esponsibility and
NOTE 1: Failure to place a cost for this line item will not required stated therein.  c. MANUALS & SPECIFICATION DOCUMENTS	exclude the contract	or from the re	esponsibility and
NOTE 1: Failure to place a cost for this line item will not required stated therein.  c. MANUALS & SPECIFICATION DOCUMENTS  c. Manuals & Specifications  The contractor shall supply, at the time of the final CDB specification booklets/packets for all supplied and install	Unit G Program inspection ed products listed with	Site	\$ <u>N/A</u>
Line-item Notes:  NOTE 1: Failure to place a cost for this line item will not required stated therein.  Ic. MANUALS & SPECIFICATION DOCUMENTS  Ic. Manuals & Specifications  The contractor shall supply, at the time of the final CDB specification booklets/packets for all supplied and install so may result in a failed final CDBG Program Inspection  Line-item Notes:	Unit G Program inspection ed products listed with	Site	\$ <u>N/A</u>

# 2. GENERAL SPECIFICATIONS

All

**Project** 

\$

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a

# STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

# **Base Specification Notes:**

Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

The existing septic system was fully functional at the time of inspection. No replacement required...connect back into the existing septic infrastructure/system. The system shall be reviewed for compliance and tested for prior to reconnection.

The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to reconnection.

Site clear and prep shall include the cost for removal and stump grinding of three (4) existing (front, right, & rear elevation)

Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

# **Description: Demo-Replacement**

Qty.

Location

Amount

# 3. ROOFING SPECIFICATIONS

**Dwelling** 

Site

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

#### **Roofing Notes:**

**NOTE 1:** Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

**NOTE 3:** The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.

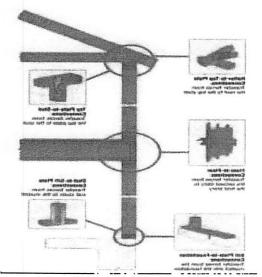


diagram A

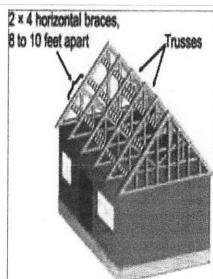


diagram B

Description: Demo-Replacement	Qty.	Location	Amount	
4. PRIMARY E/E DOOR(S)	2-Units	Site	\$	

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality)

;( Schlage lock set Product: or equal in value and quality)

# **E/E Door Notes:**

**NOTE 1:** Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

**NOTE 3:** Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

**NOTE 4:** All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	\$

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

**NOTE 2:** Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

NOTE 4: All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

#### 6. ELECTRICAL SPECIFICATIONS

System

Site

\$

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

#### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

# 6a. LIGHTING SPECIFICATIONS

System

Site

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Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. Exact unit dimensions to be determined by the contracting firm. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

# **Light Fixture Notes:**

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

**NOTE 2**: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

#### 6b. SMOKE/CO2 DETECTORS

As-Listed

Dwelling

Installation of new 110V, hardwired with battery back-up, smoke/carbon monoxide detectors in the listed locations:

Room Locations: Living Room/Hallway; Master Bedroom; Bedroom #2.

# Smoke/CO2 Notes:

**NOTE 1:** Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

1-System

Dwelling

\$\_\_\_\_

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

# **HVAC Notes:**

**NOTE 1:** Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

# 7. PLUMBING SPECIFICATIONS

Dwelling

Site

\$

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

# 7a. HOT WATER HEATER

1-Unit

Dwelling

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product:

#### **Water Heater Notes:**

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

**NOTE 2:** Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

# 7b. EXTERIOR HOSE BIBB

Rheem Performance or equal in value and quality

1-Unit

Exterior

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Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

# 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

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Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by an appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter. Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall. Owners shall be provided a minimum of three (3) Color choice options for tile.

# **Tub-Shower Notes:**

When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

Line-item to include placement of two (2) 500lb, anchored grab bars (owner to choose location).

# 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

# **Toilet Note:**

If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

# **7e. VANITY**

1-Unit Bath #2

\$

Instail new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves <u>ONLY</u> may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

# Vanity Note:

When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: Bathroom Faucets: Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

#### 8. GENERAL INTERIOR SPECIFICATIONS

**Dwelling** 

Site

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The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

# Interior Specification Notes:

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) *Owner must be given a minimum of 3 color selections where color is not specified:* Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

#### 8a. INTERIOR FLOORING-TILE

As-Listed Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

#### Tile Flooring Notes:

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

#### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed Various

\$\_\_

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

# **Plank Flooring Notes:**

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

# 9. INTERIOR KITCHEN

As-Listed Kitchen

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Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### Cabinet Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

### Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less
   than five-hundredths (.05) of an inch in thickness.

# 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

# Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

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Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. *Exact range dimensions to be determined by contracting firm and should fit existing opening.* (Recommended Product# GE or equal in value and quality) *Owner to determine color.* 

# **Stove Notes:**

Note 1: Instillation to include electrical cord and connector.

### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

# Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

# Description: Demo-Replacement Qty. Location

10. MISC. SPECS-VENTALATION

As-Listed

Bathrooms

\$

Amount

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

Dwelling

\$

The Following items shall also be included with the new home:

- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

- END SOW-



EXISTING DWELLING FOOTPRINT



--- EXISTING DWELLING FOOTPRINT -----

# **ENTER TOTAL BID BELOW**



**TOTAL BID AMOUNT \$** 

# "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five(5) calendar days after the NTP takes effect.

# COLORS AND STYLES TO BE LISTED IN THE GRID BELOW!

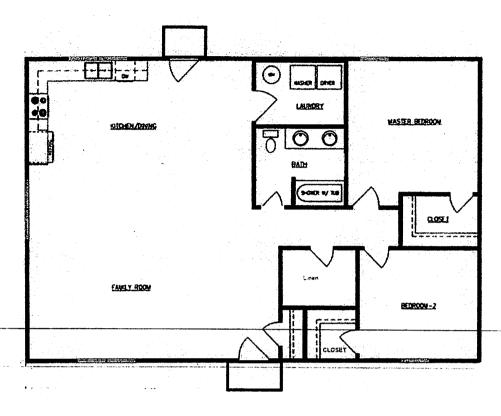
LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:
Contractor Signature:	Date:
Housing Inspector Signature:	Date:

# EXHIBIT "B".



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.

# TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

# CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

### PROPERTY INFORMATION:

Property Address:	6749 S Red Padget Rd.	Per	ry, FL 32348			
Property Owner:	Lessie (Cruce) Land	Lessie (Cruce) Land				
Home Phone:	850-843-8027					
Alt Phone:	850-838-3500			-		
Year Built:	1990					
LBP/ACM	LBP Action: N/A		ACM Action: N/A			
Building Description:	Number of bedrooms:	3	Number of bathrooms:	2		
Parcel ID Number:	08608-350					

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$N/A	
В.	SITEWORK	Rehabilitation of unit shall include: 1. Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2. Disconnect and re-connect to community water systems if required by code or specification within this document. 3. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 4. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

# THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

# PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and uproperty. I/We also agree that	inderstand t at there will Code Requ	ork Write-Up consisting of all lister the specifications of the work to be be "NO" changes in the specification irements. Furthermore, I/We authorized in this Work Write-Up.	performed on our ons unless needed
X	1 1	X	1 1
X_ Property Owner's Signature	Date	Property Owner's Signature	Date
	sted work: \$	s vithin <u>120</u> Business/Working Da	ys.
Bid submitted by:  Company Name:			
Authorized Signature*: X* * Signature of licensee, or signature		erson authorized by licensee whose	authorization

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

# Warranty Rehabilitation Scope of Work and Specifications

Client:	Lessie (Cruce) Land	Date:	October 2023
Address:	6749 S Red Padget Rd. Perry, FL 32348		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

# **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- -5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

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The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	An An	ount
1. OPERATIONAL				
. Operational	Unit	Site	\$	
The contractor shall be responsible for and provide all apport other required local, state, or federal, documentation (Tetc.).	olications, permits, o include all appli	plans, drawir	ngs, produ ite Survey	ct approvals, s, A&E,
la. STORAGE				
a. Storage	Unit	Site	\$	
the contractor shall be responsible for procuring and proved calendar days) to be placed on site during exterminated comeowner shall be responsible for storing and replacing to the storing and replaced and replaced as the storing and replaced and replaced as the storing and replaced and replaced as the storing and provide a storing and provide as the storing and provide as the storing and replaced and replaced as the storing and replaced and replaced as the storing as the stor	on and interior reha nelongings into and	abilitation prod d out of the Po	cesses. Th	e
b. GENERAL REPORTING  D. Reporting Requirements	Unit	Site		
the contractor shall contact, either by phone or electronic least once per week to provide project progress updates. To eport (MER) to the project manager: Failure to contact the prosecutive weeks will result in a \$50 per week credit backgrogram in general. This credit shall be applied at every fail	his shall be docur e owner and/or pr to the owner's as	nented via an ovide the ME sistance avail	every Mo	nday Email
ne-item Notes:				7.
<b>OTE 1:</b> Failure to place a cost for this line item will not ex quired stated therein.	clude the contract	or from the re	sponsibilit	y and
:. MANUALS & SPECIFICATION DOCUMENTS				
. Manuals & Specifications	Unit	Site	\$	N/A
ne contractor shall supply, at the time of the final CDBG P pecification booklets/packets for all supplied and installed may result in a failed final CDBG Program Inspection.	rogram inspection products listed with	, all manufact hin the Scope	urer manu of Work. I	als and Failure to do
ne-item Notes:				
OTE 1: To Include all applicable Plans, Drawings, and Per	mits, & approved	building depar	tment doc	S.

### 2. GENERAL SPECIFICATIONS

AII

Project

\$

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a comparable spot on the existing lot.

# STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,200 sq. ft.; 3 bedrooms/closets; 2 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

# **Base Specification Notes:**

**NOTE 1:** Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was not operational at the time of inspection. Bid to include installation of a new septic system and all required infrastructure (tank, drain-field, etc.), components & hardware needed for intended and compliant operation.

NOTE 5: The existing well/water supply system was not code compliant and only partially operational at the time of inspection. Bid to include installation of new water supply system infrastructure (well, pump, tank, well-to home water supply lines, electrical supply and connections etc), components & hardware needed for intended and compliant operation.

NOTE 6: Site clear and prep does not require the removal of any existing trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

# **Description: Demo-Replacement**

Qty.

Location

\$

**Amount** 

# 3. ROOFING SPECIFICATIONS

Dwelling

Site

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

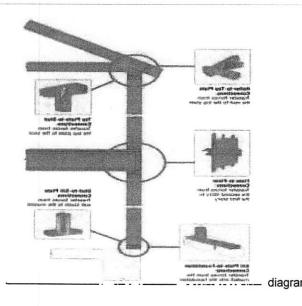
#### **Roofing Notes:**

**NOTE 1:** Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3: The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.



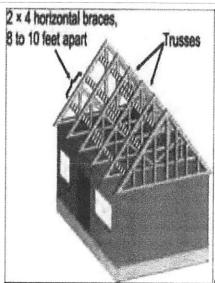


diagram B

Description: Demo-Replacement	Qty. Location Amount
4. PRIMARY E/E DOOR(S)	2-Units Site \$

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality)

;( Schlage lock set Product: or equal in value and quality)

# **E/E Door Notes:**

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

**NOTE 3:** Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	\$

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Bedroom #3; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of six (6) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

#### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

**NOTE 2:** Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

**NOTE 4:** All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

# Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

# **Electrical Notes:**

**NOTE 1:** The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

6a. LIGHTING SPECIFICATIONS	System	Site	\$
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Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas-listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. *Exact unit dimensions to be determined by the contracting firm.* (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2; Bedroom #3

# **Light Fixture Notes:**

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

**NOTE 2**: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

# 6b. SMOKE/CO2 DETECTORS As-Listed Dwelling \$\_\_\_\_\_

Installation of new 110V, hardwired with battery back-up, smoke/carbon monoxide detectors in the listed locations:

Room Locations: Living Room/Hallway; Master Bedroom; Bedroom #2; Bedroom #3

# Smoke/CO2 Notes:

**NOTE 1:** Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

#### 6c. HVAC

# 1-System Dwelling \$

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

# **HVAC Notes:**

NOTE 1: Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

Description: Demo-Replacement	Qty.	Location	Amount

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

# 7a. HOT WATER HEATER

1-Unit

Dwelling

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

# Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

NOTE 2: Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

# 7b. EXTERIOR HOSE BIBB

1-Unit

Exterior

\$\_

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

# 7c. WALK-IN SHOWER

1-Unit Master Bath

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Prepare the bathroom walls for installation of a new ADA accessible, tiled shower assembly (with ½ inch curb or less). Make all accommodations to the wall, framing, furring, and supports as required to ensure the structure is code compliant. Installation shall also include cementitious tile backer per manufacturer's recommendations in the full footprint of the new enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard".

Install new 4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start from top of the tiled shower floor and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the walk-in shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, and (1) wash cloth/towel bar placed in the ceramic wall tile setting and (1) wash cloth/towel bar placed on the outside wall of the shower enclosure. Owner's shall be provided a minimum of three (3) Color choice optionsfor tile.

The walls and floor/subfloor shall be ready to accommodate the installation of a new walk-in shower pan, floor, and assembly to the building code/UPC of the jurisdiction. Installation to include a new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm orless) water saving shower head. Plumbing shall be by an appropriately qualified contractor and include all required hardware, connections, and components to ensure code compliance to UPC.

# Walk-In Shower Notes:

equal in quality and value)

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

# 7d. TOILET

1-Unit Master Bath

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or

\$

#### **Toilet Note:**

NOTE 1: If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

# 7e. VANITY

1-Unit Master Bath

\$\_

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top. Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set,low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

# Vanity Note:

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

#### 7f. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$\_

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall. Owner's shall be provided a minimum of three (3) Color choice options for tile.

# **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

7g. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

#### **Toilet Note:**

**NOTE 1:** If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

#### 7h. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set,low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

# Vanity Note:

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

# **Description: Demo-Replacement**

Qty. Location

Amount

# 8. GENERAL INTERIOR SPECIFICATIONS

**Dwelling** 

Site

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

# Interior Specification Notes:

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) Owner must be given a minimum of 3 color selections where color is not specified: Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

# 8a. INTERIOR FLOORING-TILE

As-Listed Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Master Bath; Bath #2; Utility Room

# **Tile Flooring Notes:**

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

# 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed V

**Various** 

\$\_

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Bedroom #3; Hallway

# **Plank Flooring Notes:**

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

# Description: Demo-Replacement

Qtv.

Location

Amount

# 9. INTERIOR KITCHEN

As-Listed Kitchen

\$

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

# **Cabinet Notes:**

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

# Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

# 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

\$

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

# Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

# 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

\$\_

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. *Exact range dimensions to be determined by contracting firm and should fit existing opening.* (Recommended Product# GE or equal in value and quality) *Owner to determine color.* 

# **Stove Notes:**

Note 1: Instillation to include electrical cord and connector.

# 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

# Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

**Description: Demo-Replacement** 

Otv.

Location

**Amount** 

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

\$\_

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Master Bath; Bath #2

10a. MISC. SPECS-VARIOUS

As-Listed

**Dwelling** 

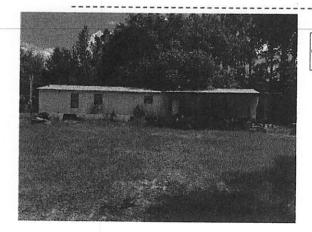
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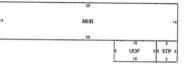
The Following items shall also be included with the new home:

- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

END SOW-

EXISTING DWELLING FOOTPRINT







---- EXISTING DWELLING FOOTPRINT --

# **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

Please Read

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY
1.	RESPONSIBLE FOR PERMIT
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Prin	ame):	
Contractor's Signature:		
Title of signatory:		

## "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

# COLORS AND STYLES TO BE LISTED IN THE GRID BELOW.

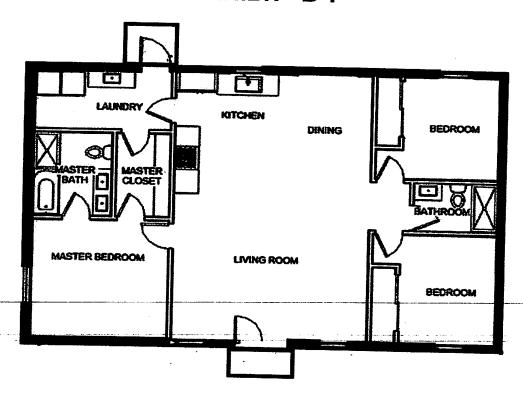
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

# EXHIBIT "B".



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.

# TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

# CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

#### PROPERTY INFORMATION:

Property Address:	5600 Smith Rd. Perry,	5600 Smith Rd. Perry, FL 32348		
Property Owner:	Tina McMillan			
Home Phone:	850-295-0445			
Alt Phone:	850-838-7612	850-838-7612		
Year Built:	1988			
LBP/ACM	LBP Action: N/A		ACM Action: See the attache	ed report
Building Description:	Number of bedrooms:	_	Number of bathrooms:	1 2
Parcel ID Number:	01619-610	-		

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$N/A	
B.	SITEWORK	Rehabilitation of unit shall include: Re-connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. Disconnect and re-connect to community water systems if required by code or specification within this document. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

## THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the TOTAL BID submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

# PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

property. I/We also agree that	inderstand tr at there will i Code Requi	k Write-Up consisting of all list ne specifications of the work to be be "NO" changes in the specificati rements. Furthermore, I/We authored in this Work Write-Up.	e performed on our
x	1 1	x	, ,
Property Owner's Signature	Date	Property Owner's Signature	Date
Total contractor bid for reques The proposed work shall be c	sted work: \$	hin <u>120</u> Business/Working Da	lys.
Bid submitted by:			
Company Name:			
Authorized Signature*: X			

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

## Warranty Rehabilitation Scope of Work and Specifications

Client:	Tina McMillan	Date:	October 2023
Address:	5600 Smith Rd. Perry, FL 32348		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

## **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

Signature requi	ed for acknowl	edament of No	ice to Biddina Ce	neral Contractors
		Ciananira		
		Odliamie		Pare Date
The state of the s				
		Signature required for acknowle		Signature required for acknowledgment of Notice to Bidding Ge

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty,	Location	Amount
1. OPERATIONAL			
1. Operational	Unit	Site	\$
The contractor shall be responsible for and provide all approximation or other required local, state, or federal, documentation (Tetc.).	olications, permits, o include all applic	plans, drawii cable Fees, S	ngs, product approvals, ite Surveys, A&E,
1a. STORAGE			
1a. Storage	Unit	Site	
The contractor shall be responsible for procuring and provided to the procuring and provided to the procuring and provided to the procuring and replacing the procuring and replacing the procuring the procuring and provided to the procuring and provided to the procuring and provided to the procuring and procuring the procuring and procuring the procuring and procuring the procuring and procur	on and interior reha	abilitation pro	cesses. The
NOTE 1: Price to include keyed security lock. The homeoversponsibility for the key's location.	vner shall be provi	ded with the	sole key and the
1b. GENERAL REPORTING  Ib. Reporting Requirements	Unit	Site	•
The contractor shall contact, either by phone or electronic east once per week to provide project progress updates. Report (MER) to the project manager: Failure to contact the consecutive weeks will result in a \$50 per week credit back program in general. This credit shall be applied at every face	communication (te This shall be docur e owner and/or pr k to the owner's as	ext or email), mented via ar rovide the ME ssistance ava	n every Monday Email ER for two (2) ilability or the SHIP
ine-item Notes:			
NOTE 1: Failure to place a cost for this line item will not exequired stated therein.	clude the contract	or from the re	esponsibility and
c. MANUALS & SPECIFICATION DOCUMENTS			
c. Manuals & Specifications	Unit	Site	\$N/A
The contractor shall supply, at the time of the final CDBG F pecification booklets/packets for all supplied and installed o may result in a failed final CDBG Program Inspection.	Program inspection products listed wit	n, all manufacthin the Scope	cturer manuals and e of Work. Failure to do
ine-item Notes:			
IOTE 1: To Include all applicable Plans, Drawings, and Pe	rmits, & approved	building depa	artment docs.

#### 2. GENERAL SPECIFICATIONS

All

**Project** 

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a comparable spot on the existing lot.

## STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

#### **Base Specification Notes:**

NOTE 1: Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was fully functional at the time of inspection. No replacement required... connect back into the existing septic infrastructure/system. The system shall be reviewed for compliance and tested for prior to reconnection.

NOTE 5: The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to reconnection.

NOTE 6 Site clear and prep shall include the cost for removal and stump grinding of three (3) existing (front & left elevation) trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

#### **Description: Demo-Replacement**

Qty.

Location

**Amount** 

#### 3. ROOFING SPECIFICATIONS

Dwelling

Site

\$\_\_\_

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

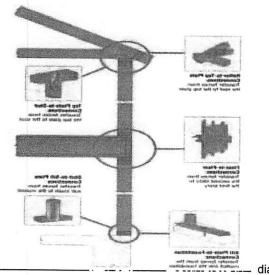
#### **Roofing Notes:**

**NOTE 1:** Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

**NOTE 2:** An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3: The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.





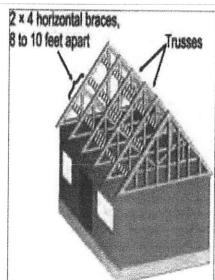


diagram B

Description: Demo-Replacement	Qty.	Location	n Amount	
4. PRIMARY E/E DOOR(S)	2-Units	Site	\$	

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality)
;( Schlage lock set Product: or equal in value and quality)

#### E/E Door Notes:

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

**NOTE 3:** Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

**NOTE 4:** All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	\$

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

#### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

**NOTE 2:** Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

**NOTE 4:** All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

# Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; andall fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

#### **Electrical Notes:**

**NOTE 1:** The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

# 6a. LIGHTING SPECIFICATIONS System Site \$\_\_\_\_\_

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. *Exact unit dimensions to be determined by the contracting firm*. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

#### **Light Fixture Notes**:

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

**NOTE 2**: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

6b. SMOKE/CO2 DETECTORS	As-Listed Dwelling \$
nstallation of new 110V, hardwired with battery back-	-up, smoke/carbon monoxide detectors in the listed locations:
	-dp, smoke/carbon monoxide detectors in the listed locations:

#### Smoke/CO2 Notes:

**NOTE 1:** Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

#### 6c. HVAC

1-System

Dwelling

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

#### **HVAC Notes:**

**NOTE 1:** Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

## Description: Demo-Replacement

Qty.

Location

Amount

## 7. PLUMBING SPECIFICATIONS

Dwelling

Site

\$

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

## 7a. HOT WATER HEATER

1-Unit

Dwelling

•

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

#### Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

**NOTE 2:** Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

## 7b. EXTERIOR HOSE BIBB

1-Unit

Exterior

\$\_

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

### 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by an appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in of three (3) Color choice options for tile.

#### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

### 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

#### **Toilet Note:**

**NOTE 1:** If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

#### 7e. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set,low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

#### Vanity Note:

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

### Description: Demo-Replacement

Qty. Location

Amount

#### 8. GENERAL INTERIOR SPECIFICATIONS

Dwelling

Site

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

#### **Interior Specification Notes:**

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) *Owner must be given a minimum of 3 color selections where color is not specified:* Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

#### 8a. INTERIOR FLOORING-TILE

As-Listed

Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

#### Tile Flooring Notes:

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

#### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed Various

\$

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. Exact dimensions and square footage to be determined by contracting firm. (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

#### **Plank Flooring Notes:**

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

Description: Demo-Replacement	Qty.	Location	Amount
9. INTERIOR KITCHEN	As-Listed	Kitchen	•

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### **Cabinet Notes:**

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

#### Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch-in thickness.

#### 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

#### **Refrigerator Notes:**

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

\$

\$

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. Exact range dimensions to be determined by contracting firm and should fit existing opening. (Recommended Product# GE or equal in value and quality) Owner to determine color.

#### Stove Notes:

Note 1: Instillation to include electrical cord and connector.

#### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

#### Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

#### **Description: Demo-Replacement**

Qty.

Location

Amount

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

\$\_\_

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

Dwelling

\$

The Following items shall also be included with the new home:

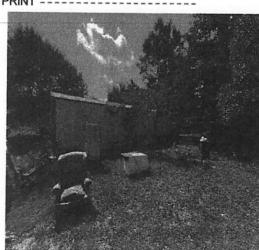
- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- > (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

- END SOW-

----- EXISTING DWELLING FOOTPRINT ----



MHB



----- EXISTING DWELLING FOOTPRINT -----

# **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.	INLOI ONSIBLE FOR PERMIT
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Print Name):	
Contractor's Signature:	
Title of signatory:	

#### "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five(5) calendar days after the NTP takes effect.

## COLORS AND STYLES TO BE LISTED IN THE GRID BELOW!

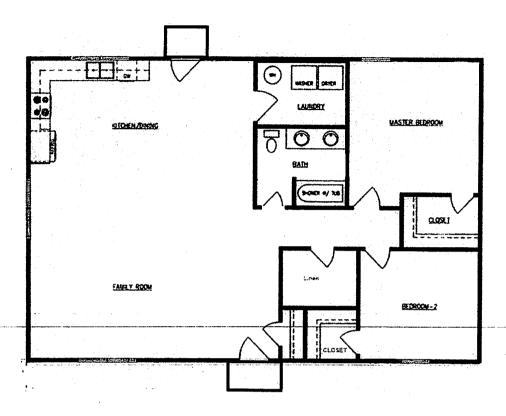
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:_
Contractor Signature:	Date:
Housing Inspector Signature:	Date:

## **EXHIBIT "B".**



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.



# ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

# NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

## FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

# **LOCATION:**

McMillan Residence 5600 Smith Road Perry, Florida 32348

# PERFORMED BY:

ACM Engineering & Environmental Services 5404 Hoover Blvd., Suite 9 Tampa, Florida 33634

> <u>DATE</u>: September 5<sup>th</sup>, 2023



# ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

## NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

#### FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

DATE: September 5th, 2023 STRUCTURE: McMillan Residence LOCATION: 5600 Smith Road CITY, STATE: Perry, Florida 32348

#### PROJECT REVIEW:

ACM Engineering and Environmental Services, Inc. (ACM- Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the McMillan Residence scheduled for demolition located at 5600 Smith Road in Perry, Florida. The site survey was performed by Joshua Baker on August 31st, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

5404 HOOVER BOULEVARD, SUITE 9 • TAMPA, FLORIDA 33634 • PHONE (813) 282-1232 • FAX (813) 885-7967 • www.acmenv.com

NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Sampling and Analysis Report Guardian CRM, Inc. McMillan Residence 5600 Smith Road Parry, Florida 32348

#### EXECUTIVE SUMMARY:

The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 5600 Smith Road in Perry, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-eight (28) suspect asbestos bulk samples from ten (10) homogeneous materials were collected and analyzed for asbestos content.

A summary of the analysis results is as follows:

- A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:
  - None
- B. The following sampled building materials were identified to be nondetectable for asbestos content.
  - Surface Texture
  - Drywall Composite
  - Tile Pattern Vinyl Flooring Bathroom
  - Flooring Adhesive
  - Ceiling Texture
  - Tile Pattern Vinyl Flooring Bedroom
  - Flooring Adhesive
  - Vinyl Floor Tile
  - Floor Tile Adhesive
  - Counter Caulk

P.T.S. 9/5/23

# TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

# CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

#### PROPERTY INFORMATION:

Property Address:	2780 Kelly Gr. Perry, F	_ 32	348	
Property Owner:	Joy Tuten			
Home Phone:	229-672-7497			
Alt Phone:	N/A			- 7
Year Built:	1991			
LBP/ACM	LBP Action: N/A		ACM Action: N/A	
Building Description:	Number of bedrooms:	2	Number of bathrooms:	T 0
Parcel ID Number:	08696-500		realiser of batillooms.	

Note	System	Description of Work	Location	Price	Contractor Initials
Α.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$N/A	
B.	SITEWORK	Rehabilitation of unit shall include: 1 Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. Disconnect and re-connect to community water systems if required by code or specification within this document. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

## THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

# PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.  X	1,,,,,				
X	property. I/We at	also agree that or Building	at there will b	be "NO" changes in the specifical	e performed on our
X	CDBG to obtain	bids for the w	ork containe	d in this Work Write-Up.	rayior county
Total contractor bid for requested work: \$				·	
Total contractor bid for requested work: \$	x		, ,	v	
Total contractor bid for requested work: \$	Property Owner	2 Ciematura	<del></del>	Χ	//
Total contractor bid for requested work: \$	Troperty Owners	s Signature	Date	Property Owner's Signature	Date
Total contractor bid for requested work: \$					
Total contractor bid for requested work: \$					
The proposed work shall be completed within 120 Business/Working Days.  Bid submitted by:  Company Name:  Authorized Signature*: X  * Signature of licensee, or signature of person authorized by licensee whose outhorized.	CONTRACTOR B	ID INFORMA	TION		
The proposed work shall be completed within 120 Business/Working Days.  Bid submitted by:  Company Name:  Authorized Signature*: X  * Signature of licensee, or signature of person authorized by licensee whose outhorized.	Total contractor k	oid for rooms	dod		
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### TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

# Warranty Rehabilitation Scope of Work and Specifications

Client:	Joy Tuten	Detai	LOUIS COOR
Address:	2780 Kelly Grade. Perry, FL 32348	Date:	October 2023
	77 0.10		

This CDBG Scope of Work and Specification Analysis Report shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

# NOTICE TO BIDDING CONTRACTORS:

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE?Signature required for acknowledgment of	Notice to Bidding General Contractors
NOTE: Signature required for acknowledgment of	
PrintiName Signat	
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	ure Date

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Locatio	n Amount
1. OPERATIONAL			
1. Operational	Unit	Site	•
The contractor shall be responsible for and provide al or other required local, state, or federal, documentation etc.).	l applications, permits, on (To include all applic		ngs, product approvals ite Surveys, A&E,
1a. STORAGE			A
1a. Storage	Unit	Site	\$
The contractor shall be responsible for procuring and 120 calendar days) to be placed on site during extermination of the compound of the composition of the composit			
NOTE 1: Price to include keyed security lock. The homesponsibility for the key's location.	neowner shall be provid	ded with the	sole key and the
4h OFNED II			
1b. GENERAL REPORTING			
b. Reporting Requirements	Unit	Site	\$
ho contractor of all and a sure			
eport (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit be	s. This shall be docum t the owner and/or pro	ented via an vide the MEI	every Monday Email
report (MER) to the project manager: Failure to contact onsecutive weeks will result in a \$50 per week credit by rogram in general. This credit shall be applied at every	s. This shall be docum t the owner and/or pro	ented via an vide the MEI	every Monday Email
The contractor shall contact, either by phone or electron east once per week to provide project progress update deport (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit by the program in general. This credit shall be applied at every ine-item Notes:  OTE 1: Failure to place a cost for this line item will not equired stated therein.	s. This shall be docum t the owner and/or pro ack to the owner's ass failure of compliance	ented via an vide the MEI istance avail occurrence.	every Monday Email R for two (2) ability or the SHIP
deport (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit by rogram in general. This credit shall be applied at every ine-item Notes:  OTE 1: Failure to place a cost for this line item will not quired stated therein.	s. This shall be docum t the owner and/or pro ack to the owner's ass failure of compliance	ented via an vide the MEI istance avail occurrence.	every Monday Email R for two (2) ability or the SHIP
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eport (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit by cogram in general. This credit shall be applied at every ne-item Notes:  OTE 1: Failure to place a cost for this line item will not quired stated therein.  MANUALS & SPECIFICATION DOCUMENTS	exclude the contractor  Unit	ented via an vide the MEI istance avail occurrence.  from the res	every Monday Email R for two (2) ability or the SHIP ponsibility and  \$

NOTE 1: To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

# Description- STRCTURE SPECIFICATIONS Qty Location Bid Amount 2. GENERAL SPECIFICATIONS All Project \$\_\_\_\_\_\_

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a

# STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

## Base Specification Notes:

**NOTE 1:** Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

**NOTE 4:** The existing septic system was fully functional at the time of inspection. No replacement required...connect back into the existing septic infrastructure/system. **The system shall be reviewed for compliance and tested for prior to reconnection.** 

NOTE 5: The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to

NOTE 6 Site clear and prep does not require the removal of any existing trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

**NOTE 8:** The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

## **Description: Demo-Replacement**

Qty. Location

Amount

## 3. ROOFING SPECIFICATIONS

**Dwelling** 

Site

\$

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

#### **Roofing Notes:**

**NOTE 1:** Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

**NOTE 3:** The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.

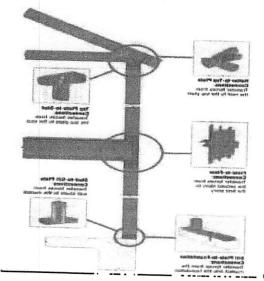


diagram A

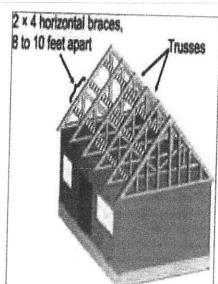


diagram B

Description: Demo-Replacement	Qtv.	Location	Amount
4. PRIMARY E/E DOOR(S)			Amount
law home shall be a first life to	2-Units	Site	\$

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality) ;( Schlage lock set Product: or equal in value and quality)

#### E/E Door Notes:

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

NOTE 3: Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U1-factor </= 0.40 and SHGC2 </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	*

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors

#### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

NOTE 2: Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

NOTE 4: All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U1-factor </= 0.40 and SHGC2 </= 0.25)

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

# Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

#### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

# 6a. LIGHTING SPECIFICATIONS System Site \$\_\_\_\_\_

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. *Exact unit dimensions to be determined by the contracting firm*. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

#### **Light Fixture Notes:**

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

**NOTE 2**: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

## 

#### Smoke/CO2 Notes:

NOTE 1: Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

1-System Dwelling \$

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

#### **HVAC Notes:**

**NOTE 1:** Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): www.acca.org/quality

Description: Demo-Replacement	Qty.	Locatio	n	Amount
7. PLUMBING SPECIFICATIONS	Dwelling	Site	\$	

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

### 7a. HOT WATER HEATER

1-Unit Dwelling

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

#### **Water Heater Notes:**

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

NOTE 2: Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

### 7b. EXTERIOR HOSE BIBB

1-Unit Exterior

\$

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

#### 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$\_

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in three (3) Color choice options for tile.

#### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

NOTE 2: Line-item to include placement of two (2) 500lb, anchored grab bars (owner to choose location).

#### 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

#### Toilet Note:

**NOTE 1:** If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

#### 7e. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

#### Vanity Note:

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

# Description: Demo-Replacement Qty. Location Amount 8. GENERAL INTERIOR SPECIFICATIONS Dwelling Site \$\_\_\_\_\_\_

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

#### **Interior Specification Notes:**

**NOTE 1:** To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) Owner must be given a minimum of 3 color selections where color is not specified: Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

# 8a. INTERIOR FLOORING-TILE As-Listed Various \$\_\_\_\_\_

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

### **Tile Flooring Notes:**

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

#### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed **Various** 

\$

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. Exact dimensions and square footage to be determined by contracting firm. (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

#### Plank Flooring Notes:

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

Description: Demo-Replacement	Qty.	Location	Amount

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### Cabinet Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

#### Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood. Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls. Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

## 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

#### Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

in value and quality) Owner to determine color.

As-Listed Kitchen

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. Exact range dimensions to be determined by contracting firm and should fit existing opening. (Recommended Product# GE or equal

#### Stove Notes:

Note 1: Instillation to include electrical cord and connector.

## 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

#### Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

## Description: Demo-Replacement

Qtv.

Location

Amount

\$

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

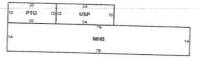
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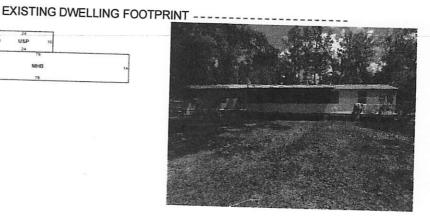
The Following items shall also be included with the new home:

- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

- END SOW--







--- EXISTING DWELLING FOOTPRINT ----

# **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #		
1.	1.		
2.	2.		
3.	3.		
4.	4.		
5.	5.		
6.	6.		
7.	7		
8.	8.		
9.	9.		
10.	10.		

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

Please Read

REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.	RESPONSIBLE FOR PERMIT
2.	
3.	
4.	
5.	
6.	
7.	
3.	
9.	
10.	

Contractor's Name (Print Name):		
Contractor's Signature:		
Title of signatory:		
2011 10 3 10 10 10 10 10 10 10 10 10 10 10 10 10		

#### "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

### COLORS AND STYLES TO BE LISTED IN THE GRID BELOW

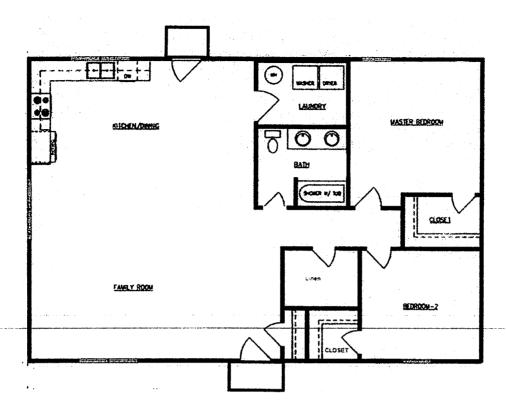
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

# EXHIBIT "B".



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.

# TAYLOR COUNTY HOUSING REHABILATATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

# CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

# PROPERTY INFORMATION:

Property Address:	12939 US Highway 19 N	12939 US Highway 19 N. Greenville, FL 32331				
Property Owner:		Dustin Wimberly & Amber Schubert				
Home Phone:	478-456-6816					
Alt Phone:	850-404-4454	850-404-4454				
Year Built:	1950	1950				
LBP/ACM	LBP Action: See Report		ACM Action: See report			
Building Description:	Number of bedrooms:					
Parcel ID Number:	01377-000	01377-000				

Note	System	Description of Work	Location	Price	Contractor Initials
Α.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.		\$ <u>N/A</u>	
B.	SITEWORK	Rehabilitation of unit shall include: 1 Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2 Disconnect and re-connect to community water systems if required by code or specification within this document. 3 Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 2 Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

# THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/property-state-new-color: blue times-control of the specifications as listed in this Scope of formaterials/equipment/fixtures and dark times removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/property-state-new-color: blue times-control of times-control

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

# PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and u property. I/We also agree that	nderstand th at there will b Code Requir	k Write-Up consisting of all lister specifications of the work to be "NO" changes in the specification rements. Furthermore, I/We author in this Work Write-Up.	performed on our
x	1 1	x	. , .
Property Owner's Signature	Date	Property Owner's Signature	Date
CONTRACTOR BID INFORMA			
Total contractor bid for reques The proposed work shall be co	sted work: \$_ ompleted wit	hin <u>120</u> Business/Working Da	ys.
Bid submitted by:			
Company Name:			
Authorized Signature*: X			
* Signature of licensee, or sigr must be on file	nature of pers	son authorized by licensee whose a	authorization

# TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM

# Warranty Rehabilitation Scope of Work and Specifications

Client:	Dustin Wimberly & Amber Schubert	Date:	October 2023
Address:	12939 US Highway 19 N. Greenville, FL 32331		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

# **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE: Slan	ature required for ackno	Wedgment of Notice to B	dding General Contra	tions -
Print Name		Signature		Date

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	Amount				
1. OPERATIONAL							
1. Operational	Unit	Site	\$				
The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).							
1a. STORAGE							
1a. Storage	Unit	Site	\$				
The contractor shall be responsible for procuring and providing 120 calendar days) to be placed on site during extermination and shall be responsible for storing and replacing belongings into and	interior reh	abilitation prod	cimum of four months- cesses. The homeowner				
<u>Line-item Notes:</u>							
<b>NOTE 1:</b> Price to include keyed security lock. The homeowner stresponsibility for the key's location.	nall be prov	ided with the	sole key and the				
1b. GENERAL REPORTING	200 300 300 200 200						
1b. Reporting Requirements	Unit	Site	\$				
The contractor shall contact, either by phone or electronic commonce per week to provide project progress updates. This shall be (MER) to the project manager: Failure to contact the owner and/weeks will result in a \$50 per week credit back to the owner's assegeneral. This credit shall be applied at every failure of compliance.	documente or provide to sistance ava	ed via an ever ne MER for tw illability or the	y Monday Email Report				
Line-item Notes:							
NOTE 1: Failure to place a cost for this line item will not exclude required stated therein.	the contract	or from the re	sponsibility and				
c. MANUALS & SPECIFICATION DOCUMENTS							
1c. Manuals & Specifications	Unit	Site	\$N/A				
The contractor shall supply, at the time of the final CDBG Program specification booklets/packets for all supplied and installed product so may result in a failed final CDBG Program Inspection.	n inspectior cts listed wit	i, all manufact hin the Scope	turer manuals and of Work. Failure to do				
Line-item Notes:							
NOTE 1: To Include all applicable Plans, Drawings, and Permits, 8	& approved	building depa	rtment docs.				

# 2. SYSTEM DISCIPLINE INSPECTION-Electrical

### 2. Electrical Inspection

Unit

Site

\$

Due to reported electrical shorts, and non-operational outlets: Inspect and test the housing unit electrical systems and wiring network in its entirety to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC.

A licensed electrician must complete inspection and the electrical report must be submitted to Guardian Project Manager. A 3<sup>rd</sup> party report showing the findings at the time of inspection must be provided prior to any change order approval or payment being made.

# **Line-item Notes:**

**NOTE 1:** Based on the inspection report: All subsequent non-listed electrical repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.

# 2a. SYSTEM DISCIPLINE INSPECTION-Plumbing & Water Supply

# 2a. Plumbing & Water Supply Inspection

Unit

Site

\$\_\_\_\_\_

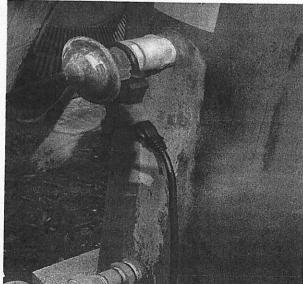
Due to reported plumbing and possible well deficiencies: Inspect and test the housing Units plumbing lines (taking care to locate the master shut off valve) system(s) to ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code.

Inspection to be performed by a certified licensed and or registered plumbing firm and the plumbing report must be submitted to Avon Park CDBG Housing SHIP administration: A 3<sup>rd</sup> party report showing the findings at the time of inspection shall be provided to the County before any payment is made or change order granted.

# Line-item Notes:

NOTE 1: Based on the inspection report: All subsequent non-listed plumbing repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.





# 3. FENCING

### 3. Fencing & Gate

Unit

Site

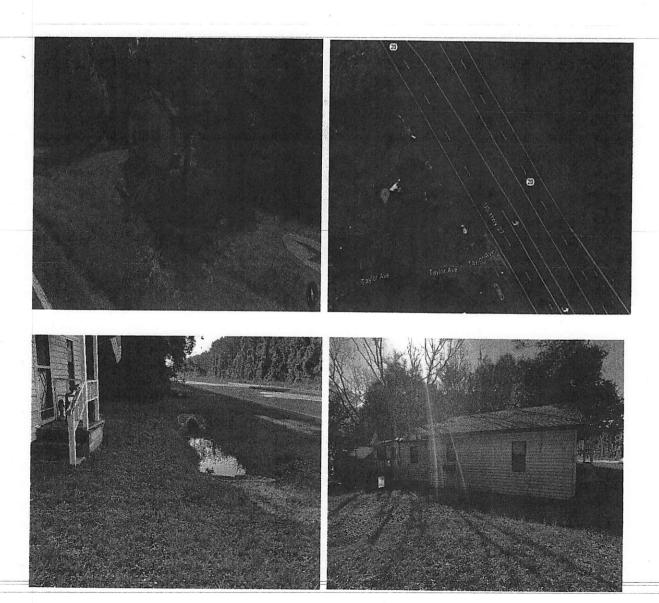
\$

Due to the dwelling's proximity to US Highway 19 the following shall occur to ensure site safety and provide a noise barrier: Contractor shall prepare the site and within the legal property boundaries, construct a 6' high, PT (shadowbox styled), wooden safety/privacy fence.

Facing the home from the road, the fence shall be constructed along the front and left elevations of the property (see photo #2 below marked with X's). Within the property boundaries the homeowner and contractor shall determine the final location of the fencing within the following parameters: (1) Starting at the North end of the property, the new fence shall span the front elevation of the home, extending approx. 1-full 8' (in length) panel beyond the front edge of the actual home; (2) The left elevation (south side) fence span shall connect to the front elevation span and extend approx. 10' along the left (south side) elevation of the home.

# **Line-item Notes:**

NOTE 1: fence location shall, by all best efforts, not require tree or shrubbery removal.



### 4. ROOFING & COMPONETS

### 4. Re-Roof

Unit

Site

Remove existing roof covering (All Sloped-Sections-including dormer) and all deteriorated surface material. Strip the roof down to the sheathing/decking. Replace sheathing and/or decking not to exceed (15%): any replacement above 15% will be addressed by change order with appropriate back-up. Where sheathing needs to be re-nailed: The entire roof is tobe re-fastened using faster type and spacing distances that are in accordance with the current Florida Building Code requirements.

One 36" layer of self-adhering synthetic underlayment shall be utilized over the entire roof deck and per note 2 below. The entire new roof system shall conform to building code and jurisdictional requirements. No fasteners shall penetrate exposed surface areas, fascia or drip edge.

Replace existing roof covering with new, 30-year asphalt, dimensional, architectural shingles. Additionally, all drip edge, boots and vent/stacks shall be replaced with like code compliant products and material. The new boots and vent/stacks flashed per the most stringent requirements of the manufacturer's specifications or FBC (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality).

### Line-item Notes:

**NOTE 1:** Prior to submitting this bid...all bidding contractors shall ensure with the building department and note the slope of the roof to ensure that metal roof installation can be utilized per this scope of work.

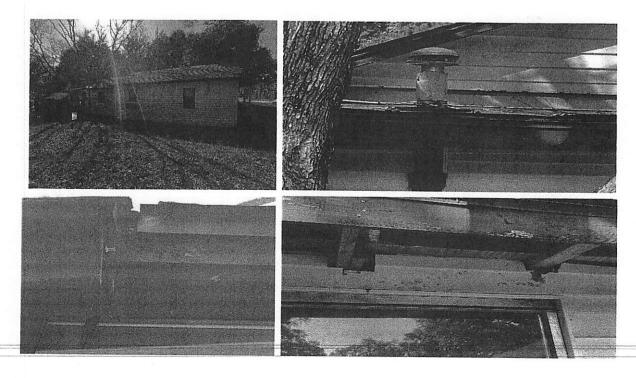
NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in all valleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3 Rear Low-sloped span of the roof may require cap-sheet waterproofing and modified bitumen covering. The contractor shall account for this within the total line-item cost.

Roof repair to include removal of all existing fascia and soffit. The replacement shall be with new, white aluminum wrapped fascia and new, white vented vinyl soffit in the footprint of the removed material (excludes gable sections). Installation shall be to code and manufacturers specifications.

NOTE 5: As applicable, the bid shall include the cost of replacing the mast and head.

**NOTE 6:** Contractor shall submit an affidavit to the inspector to the effect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehab inspector.



### 5. WINDOWS

### 5. Windows

As-Listed

Site

\$

Remove Thirteen (13) existing windows and trim (Front-2; Right-4; Rear-2; Left-5). Replace windows with new Miami Dade NOA approved Hurricane rated Impact dual pane, single hung energy efficient rated windows with aluminum framed screens. Bathrooms shall have obscure glass.

Bid to include all code required modifications to openings (anchor framing, buck, sealing, etc...) necessary to accommodate the new windows. Windows must be energy efficiency rating for the Southern Region (Florida) of the United States: (Exact window size & dimensions to be determined by contracting firm).

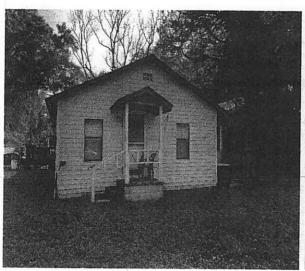
Installation to include all required permits, additional anchor framing, trim, hardware, components, and tap cons (TAP CONS MUST BE WHITE) to ensure proper and complete installation to current Florida Building Code. (Recommended Product: PGT Win-Guard or equal in value and quality).

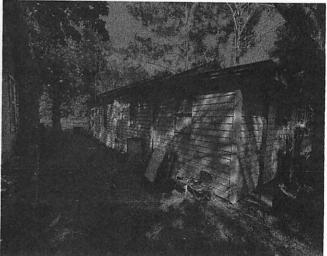
## **Line-item Notes:**

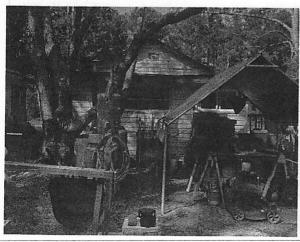
NOTE 1: Window installation to include new, white, wood windowsills.

NOTE 2: All window removal/installations shall account for potential repairs or replacement of damaged exterior window trim.

**NOTE 3:** Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package.









5a.	D	0	0	R	S
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### 5a. Doors

As-Listed Site

\$

Remove the existing primary entry/exit doors (1-1/2 light unit (with internal blinds) at the front elevation and 1-1/4 light unit at the left elevation) and install new, hurricane impact rated, energy efficient (for the southern region) door in the listed location(s). The new doors shall match existing "swing" and be painted white.

The installation shall include jambs, preparation a sufficient door buck to accommodate the new door, wood casing, and install a new white pre-hung fiberglass Hurricane Impact rated, energy efficient door. Patch to match any damaged walls/areas caused by installation. (Door size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) to ensure properand complete installation to current Florida Building Code.

Door installation shall include keyed (alike) entry lockset with lever handle (both sides): "Schlage", Flair F51 and matching deadbolt or approved equal, deadbolt keyed one side to the lock set, vinyl bubble weather-stripping, and aluminum threshold.

# Line-item Notes:

**NOTE 1:** Where a landing is required according to code. In absence of a landing, Contractor shall construct a concrete landing in front of the door as required by code, (or where a landing exists, contractor shall re-construct/modify the existing landing in order to meet code).

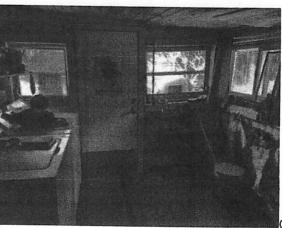
NOTE 2: Front storm/screen door shall be documented for condition, removed and reinstalled.

**NOTE 3:** Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Door assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.









Go Dawgs!

# 6. HEATING/AIR & COMPONETS

### 6. HVAC System

Unit

Site

\$

Remove the existing HVAC system and all associated components (including duct network). Install new complete HVAC unit and duct network (tonnage to be calculated based on required energy calcs), minimum 16 SEER central heating and air conditioning system. Rheem (RA16) Classic Series or approved equal in value and quality.

The system is to include infrastructure to ensure service to all habitable rooms, including new vents covers/return grills. Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other infrastructure and components necessary for a complete working system. At final installation of the duct network, they shall be adjusted the to ensure maximum air flow:

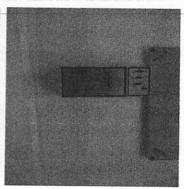
Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad. The contractor must provide a written statement from the HVAC firm performing the duct/plenum cleaning that the ducts have been cleaned in accordance with all governing regulations.

# Line-item Notes:

NOTE 1: Contractor shall provide drawings, manual J calculations, and documents as required to perform the SOW.







# 6a. WATER HEATER

# 6a. Water Heater

Unit

Site

Remove existing hot water heater and replace with new, electric, 40 Gallon hot water heater with dual 250volt, 4500-watt heating elements, water supply valves, pressure relief valve with 3/4" copper piped to the exterior, drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with the current code/UPC. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Whirlpool or equal in value and quality).

### Line-item Notes:

NOTE 1: Bid to include expansion tank and all associated components.





Location Bid Amount

# 7. KITCHEN

# 7. Cabinets-Tops & Components

Unit

Site

Remove all existing wall-base cabinets and countertops. Replace them with new kitchen cabinets and seamless laminate countertops. New cabinets should match the existing footprint and include additions listed in the notes

Installation shall\_include a new stainless-steel single bowl sink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing lines, connects, valves, and all other components and hardware to ensure

The owner must be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality). Installation to include (at homeowner request) space for dishwasher (with electrical and plumbing connections.

# Line-item Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware.

# Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood. Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls. Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

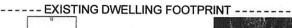
















-- EXISTING DWELLING FOOTPRINT -----

# **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# "EXHIBIT A"

# TAYLOR COUNTYSHIP HOUSING REHABILATATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
3.	6.
7.	7.
	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

	REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.		1 Mar (1111)
2.		
3.		
4.	9	
5.		
6.		
7.		
8.		
9.		
10.		

Contractor's Name (Print Name	d):			
•				
Contractor's Signature:				
Title of signatory:				

# "EXHIBIT B" TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM COLOR/STYLE SELECTION

- 1. The Contractor must provide at least three (3) color choices for each eligible item. NOTE: See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

# COLORS AND STYLES TO BE LISTED IN THE GRID BELOW

ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:_

# LEAD-BASED PAINT INSPECTION REPORT

REPORT NUMBER:

10/03/23

14:30

INSPECTION LOCATION:

**Dustin Wimberly** 

12939 N US-19

Greenville, Florida 32331

**INSPECTION FOR:** 

The Taylor County CDBG Program

c/o Guardian CRM, Inc.

ITQ-CDBG-LBP

INSPECTION DATE:

10/03/23

INSTRUMENT TYPE:

RMD MODEL LPA-1

XRF TYPE ANALYZER/ SERIAL #1121

**ACTION LEVEL:** 

1.0 MG/CM\*\*2

**OPERATOR LICENSE:** 

U.S. Environmental Protection Agency /

No. FL-R-4850-2

I hereby certify that to the best of my knowledge; the following report reflects the true lead content of the painted surfaces as tested by XRF at the above address.

SIGNED\_

DATE \_\_\_\_/6

Anthony C. Penna - President

Associated Consulting Professionals, Inc.

1759 Bayhill Drive

Oldsmar, Florida 34677

Phone 727.773.9200

# INSPECTION REPORT CONTENTS: Dustin Wimberly - 12939 N US-19, Greenville, Florida

**COVER PAGE** 

**SUMMARY** 

**XRF INSPECTION NOTES** 

XRF COMPUTER GENERATED DETAILED REPORT

# **SUMMARY**

A copy of this summary must be provided to new lessees (tenants) and purchasers of this property under Federal law (24 CRF part 35 and 40 CRF part 745) before they become obligated under a lease or sales contract. The complete report must also be provided to new purchasers, and it must be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards. (See Section IV of Chapter 7 of the HUD Guidelines for further details).

# **XRF INSPECTION NOTES**

Anthony Penna of Associated Consulting Professionals, Inc. performed at lead-based paint inspection on this property utilizing XRF technology. This inspection did not include such items as water sampling, soil analysis, mini blind testing, lead dust analysis, furniture, bathroom and or floor/window tile-except as noted below. Non-painted items such as tile windowsills and vinyl base were not tested unless they have been painted over with conventional house paints.

When identifying a testing location with a Wall A, B, C or D designation, this is used to determine where a test was taken in correlation to the numbered front entry to the home. Wall A is the front wall, B, C and D walls follow in a clockwise direction around the house or room. For this home wall A is the <u>East</u> wall in all rooms.

When an item is listed as positive it includes all like items in the identified area (room or exterior) unless otherwise noted.

Please Note: A property is exempt from having a Lead Risk Assessment performed if it has been tested by XRF by an EPA certified Lead Risk Assessor and found to not have lead-based paint covered components.

POSITIVE LEAD-BASED PAINT LOCATIONS:

Exterior - None

Interior - None

# ENGINEERING & ENVIRONMENTAL SERVICES

# ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

# NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

# **FOR:**

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

# **LOCATION:**

Schubert Residence 12939 US 19 Greenville, Florida 32331

# **PERFORMED BY:**

ACM Engineering & Environmental Services 5404 Hoover Blvd., Suite 9 Tampa, Florida 33634

> <u>DATE</u>: September 5<sup>th</sup>, 2023



# ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

# NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

# FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

DATE: September 5th, 2023

STRUCTURE: Schubert Residence

**LOCATION: 12939 US 19** 

CITY, STATE: Greenville, Florida 32331

### PROJECT REVIEW:

ACM Engineering and Environmental Services, Inc. (ACM-Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the Schubert Residence scheduled for demolition located at 12939 US 19 in Greenville, Florida. The site survey was performed by Joshua Baker on August 31st, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

5404 HOOVER BOULEVARD, SUITE 9 • TAMPA, FLORIDA 33634 • PHONE (813) 282-1232 • FAX (813) 885-7967 • www.acmenv.com

NESHAP Pre-Demoition Suspect Asbestos Containing Building Material Sampling and Analysis Report Schubert Residence 12939 US 19 Greenville, Florida 32331

# EXECUTIVE SUMMARY:

The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 12939 US 19 in Greenville, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-nine (29) suspect asbestos bulk samples from eleven (11) homogeneous materials were collected and analyzed for asbestos content.

A summary of the analysis results is as follows:

- A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:
  - None
- B. The following sampled building materials were identified to be nondetectable for asbestos content.
  - Wood Pattern Vinyl Flooring
  - Flooring Adhesive
  - Green Vinyl Flooring
  - Flooring Adhesive
  - Surface Texture
  - **Drywall Composite**
  - Window Caulk
  - Vapor Barrier
  - Counter Caulk
  - Roof Shingle
  - Black Roofing Tar

P.T. 2 9/5/23

# TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



Board to ratify the Chairman's signature on the funding application to the Florida Department of Transportation (FDOT) Transportation Alternatives Program (TAP) for the construction of a sidewalk from US 19 along West Ash Street to Miller Road. The Board previously approved submitting the application December 4, 2023.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to ratify the Chairman's signature on the funding application submitted for the 2030 funding cycle for the FDOT TAP for the construction of a sidewalk from US 19

along West Ash Street to Miller Road.

Recommended Action:

Ratify the Chairman's signature.

Fiscal Impact:

The funding request is in the amount of \$753,680. The

County will not be required to provide a match.

**Budgeted Expense:** 

Not applicable.

Submitted By:

Melody Cox, Grants Writer

Contact:

**Melody Cox** 

# SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The Board approved the submission of the application on December 4, 2023. Two applications were submitted. In addition to the West Ash Street sidewalk project, an application was submitted for the construction of a sidewalk along Plantation Road from Old Dixie Highway to US 19. The FDOT Transportation Alternatives applications are submitted a minimum of five years in advance. Transportation Alternatives funds can be used for numerous pedestrian and bicycle projects including but not limited to the construction of sidewalks: bicycle infrastructure; pedestrian and bicycle signals; safety related infrastructure: ADA compliance measures: turn outs; overlooks and viewing areas.

Attachments:

Funding application.



# TRANSPORTATION ALTERNATIVES SET-ASIDE PROGRAM (TA) FUNDING APPLICATION

A continuation of the Surface Transportation Block Grant, TA funding is by contract authority from the Highway Trust Fund, subject to the overall federal-aid obligation limitation determined by the Federal Highway Administration (FHWA). Projects must support surface transportation, be competitively solicited, and comply with the provisions of the FDOT Work Program Instructions and the Bipartisan Infrastructure Law (BIL), enacted as the Infrastructure Investment and Jobs Act (IIJA) [§ 11109; 23 United States Code (U.S.C.) 133(h)]. District representatives may be contacted for guidance.

# PART 1 - APPLICANT INFORMATION

Applicant Agency Sponsor Type. Select the box indicating the agency of the person who can answer questions
about this project proposal. Then complete applicable text fields. Note: State-recognized non-profit agencies may
partner with an eligible governmental entity but are not eligible as a direct grant recipient.

Checkbox next to each of the following types of agencies that do not indicate text field. Document allows one selection.

Local government (e.g., county, city, village, town, etc.).

Regional transportation authority or transit agency.

Natural resource or public land agency.

School district, local education agency, or school (may include any public or nonprofit private school). Projects should benefit the public and not just a private entity.

Recognized Tribal Government.

Other local or regional governmental entity with oversight responsibility for transportation or recreational trails, consistent with the goals of 23 U.S.C. 133(h).

Metropolitan / Transportation Planning Organization / Agency (collectively MPO) (only for urbanized areas with less than 200,000 population).

FDOT (only by request of another eligible entity, then enter the requesting entity). If "checked", enter the requesting entity in the space provided. (Word limit 5)

Agency name of the applicant. (Word limit 5).

**Taylor County Board of County Commissioners** 

3. Agency contact person's name and title. (Word limit 5).

LaWanda Pemberton, County Administrator

4. Agency contact person's telephone number and email address. (Word limit 5).

850-843-5381 - Lpemberton@taylorcountygov.com



# PART 2 - LOCAL AGENCY PROGRAM (LAP) CERTIFICATION

LAP is FDOT's primary mechanism to provide governmental subrecipients with federal funds to develop transportation infrastructure facilities through cost-reimbursement (grant) agreements. This legal instrument (the grant agreement) will describe intergovernmental tasks to be accomplished and the funds to be reimbursed for selected projects. The FDOT Local Programs Manual and FDOT Procedure 525-010-300 provides details for local agencies to complete a certification process that is a risk-based assessment evaluating whether they have sufficient qualifications and abilities "to undertake and satisfactorily complete the work" for infrastructure projects. Non-profit organizations are not eligible for LAP certification, local agencies are not eligible for certification of Project Development and Environment (PD&E) or Right-of-Way (ROW) acquisition phases. FDOT is required to provide 0 a

ıg	ersight on f reements, p	ee-simple and less-th perpetual easements,	an-fee ROW acquisition p temporary construction ea	hases, including licer asements, and donat	ise agreements, encroachment ons.
)	LAP Full Provide:	Certification			
	Approv	val Date: June 9, 2021	l ar	d Expiration Date: Ju	ne 6, 2024
	Respo	nsible Charge Name:		Charles de la company de la co	
		ect Specific Certifica	tion		
	Provide:				
	Approv	/al Date:	Project FM(s) N	lumber:	
	Respo	nsible Charge Name:			
	Not LAP (	Certified – A LAP Cer Sponsoring Agency Name:	tified Agency will delive	r the project on beh Contact Name:	alf of the uncertified Agency.
	Addres	ss:		Р	none:
	Not LAP Co	ertified - FDOT Distri	ct will administer the pro	oject.	
		Contact Name:		Phone:	
ı	Not LAP Ce	ertified — the Agency	will become I AP certific	ed 1 year prior to the	delivery of the LAP project

Not Applicable – this is a Non – Infrastructure Project.

# PART 3 - PROJECT INFORMATION



1. Project Name / Title: (Word limit 15).

West Ash Street Sidewalk

Priority #2

2. Is this a resubmittal of a previously unfunded project? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the year(s) of submittal(s) and include project title(s), if different, in the space provided. (Word limit 5).

Yes No N/A

3. Does this project connect a previously funded project(s)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the Financial Management (FM) number(s) and provide a brief description of the other related FDOT-funded phases that are complete, underway, or in the FDOT 5-year Work Program. (Word limit 5).

Yes No N/A

4. Is funding requested for this same project from another source administered by FDOT? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate funding source(s) / application(s) submitted. NOTE: Contact your district representative to discuss if this same project is partially funded in the 5-year Work Program or if FDOT has received another application for funding it. (Word limit 5).

Yes No N/A

5. What are you proposing in this application? In 200 words or less, provide a description of the project and what it will accomplish. The description should allow a person without prior knowledge of the project to clearly understand it. Summarize the purpose, need, project attributes, the relationship to surface transportation, how the project improves safety, and expected benefits.

The County is proposing the construction of a 2,320 LF paved sidewalk from US 19/Byron Butler Parkway along West Ash Street to Miller Road on County owned ROW. West Ash Street is heavily traveled with several residential neighborhoods, businesses, and a medical plaza being located on the proposed sidewalk route. The residential communities along the route have a substantial number of children who currently walk along the side of the road and the sidewalk will greatly improve safety in the area.

REQUIRED UPLOAD: PROJECT INFORMATION SUPPORTING DOCUMENTATION including 1) Scope of Work clearly describing the purpose and need for this project and the desired outcome; detailed description of the existing conditions; and detailed description of the proposed project and major work item improvements (e.g., project limits (begin / end), width of sidewalks or trails and other components, materials, drainage, lighting, signing and pavement markings, etc.). 2) Intent to enter into a cost reimbursement agreement for delivering the project. 3) Signed PROJECT CERTIFICATION from the maintaining agency confirming the applicant is authorized to submit the proposal, the information is accurate, intent to enter into a Memorandum of Understanding or Interagency Agreement for ongoing operations and maintenance of the improved facility, and compliance with all federal and state requirements.



# PART 4 - PROJECT LOCATION

1. Indicate the municipality(ies) of the project location. (Word limit 5).

Perry, Florida

2. Indicate the county(ies) of the project location. (Word limit 5).

Taylor County, Florida

- 3. Roadway Classification
  - Yes No State roadway (on-system)
  - Yes No Federal roadway
  - Yes
     No
     Local roadway (off-system)
- 4. Indicate the roadway name(s) [including applicable state, federal, county road number(s), local roadway name, and roadway identification number (e.g., SR 5 / US 1 / CR 904 / Overseas Highway / ID number: 90040000)]. (Word limit 10).

West Ash Street / US 19/Byron Butler Parkway/ Miller Road

5. Indicate the roadway beginning project limits (south or west termini), mile points, and crossroads at each end of each listed segment. (Word limit 10).

Miller Road

6. Indicate the roadway ending project limits (north or east termini), mile points, and crossroads at each end of each listed segment. (Word limit 10).

West Ash Street / US 19/Byron Butler Parkway

7. Indicate the total project length, in miles and linear feet. (Word limit 10).

2,320 LF

8. Does the project involve the Florida Shared-Use Nonmotorized (SUN) Trail network? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the trailway identification number, beginning and ending mile points. (Word limit 5).

Yes No N/A

 Within the next five years, are non-FDOT funds being expended within the limits or adjacent to the proposed project? If not, select "no" and indicate N/A in the space provided. If so, select "yes", and briefly explain. (Word limit 50).

Yes No N/A



# PART 5 - PROJECT TYPE

NOTE: Certain areas may not be prioritizing Non-infrastructure (NI) proposals or all eligible infrastructure activities (or may recommend bundling activities together). Contact your district representative for guidance.

- PROJECT CATEGORY Select one box that best represents the project proposal. Then, complete either the "Infrastructure" or "NI" selections.
  - A. Infrastructure. If so, select "yes", then select the most appropriate "infrastructure" eligible activity from listing below. (Pages range 5-6)
- **B. Non-infrastructure (NI).** If so, select "yes", then select the most appropriate NI eligible activity from the listing following the Infrastructure activities. (Page range 7)

# 5-A. INFRASTRUCTURE ELIGIBLE ACTIVITY

Select one box that best represents the project proposal). As applicable, complete infrastructure eligible text fields.

- Pedestrian and / or Bicycle facilities (Select this box for construction, planning, and design of off-road trail facilities or on-road facilities for pedestrians, bicyclists, and other nonmotorized forms of transportation).
  - Safe Routes for Non-Drivers (Select this box for construction, planning, and design of infrastructure related projects and systems that provide safe routes for non-drivers, including children, older adults, and individuals with disabilities to access daily needs).
  - Conversion of Abandoned Railway Corridors to Trails (Select this box for conversion and use of abandoned railroad corridors into trails for pedestrians, bicyclists, or other nonmotorized transportation users).
  - **Scenic Turnouts and Overlooks** (Select this box for construction of turnouts, overlooks, and viewing areas). If "yes", list any Florida Scenic Byways visible from the project or indicate N/A in text field. (Word limit 5).
  - Outdoor Advertising Management (Select this box for inventory, control, or removal of outdoor advertising). If "yes", list any Florida Scenic Byways within the project limits or indicate N/A in text field. (Word limit 5).
  - **Historic Preservation and Rehabilitation of Historic Transportation Facilities** (Select this box for historic preservation or rehabilitation of historic transportation facilities). If "yes", list any locally designated or National Register of Historic Places listed or eligible resources or indicate N/A in the text field. (Word limit 5).
  - **Vegetation Management** (Select this box for vegetation management in public transportation ROW to improve roadway safety, prevent invasive species, and erosion control). If "yes", list any Florida Scenic Byways within the project limits, or indicate N/A in text field. (Word limit 5).



**Archaeological Activities** (Select this box for archaeological activities related to impacts from transportation projects funded by FHWA). If "yes", list the State Site Number (aka Site File Number) for the archaeological site, or indicate N/A in the text field. (Word limit 5).

N/A

**Stormwater Mitigation** (Select this box for environmental mitigation activities addressing stormwater management, control, and water pollution prevention or abatement related to transportation projects).

Wildlife Management (Select this box for wildlife mitigation and reduction of wildlife mortality, or to restore and maintain connectivity among terrestrial or aquatic habitats).

Boulevards (Select this box for boulevards, defined as a walkable, low speed (35 mph or less) divided arterial thoroughfares in urban environments designed to carry both through and local traffic, pedestrians, and bicyclists. These may be high ridership transit corridors; serve as primary goods movement and emergency response routes; and use vehicular and pedestrian access management techniques that promote economic revitalization and follow complete street principles]. If "yes", list any Florida Main Street communities or Florida Trail Towns within the project limits, or indicate N/A in text field. (Word limit 5).

N/A

Recreational Trails Program [Select this box for recreational trails compliant with 62-S-2, Florida Administrative Code, and 23 U.S.C. 104 (b)]. If "yes", list the parks / recreational areas within the project limits, or indicate N/A in the text field. (Word limit 5).

N/A

Safe Routes to Schools (SRTS) [Select this box for SRTS projects, codified as 23 U.S.C. 208, that substantially improves the ability of kindergarten through 12th grade students (vulnerable road users) to walk and / or bicycle to school]. Traditionally includes sidewalks, traffic calming and speed reduction, traffic diversion improvements, pedestrian and bicycle crossings, on-street bicycle facilities, off-street bicycle facilities, and bicycle parking facilities at public schools. If "yes", list the benefiting schools that are within two miles of the project limits; total student enrollment; approximate number of students living along the route; and the percentage of students eligible for reduced meal programs, or indicate N/A in the space provided. (Word limit 10).

N/A

Other surface transportation eligible purpose (Only if within urbanized areas with a population greater than 200,000). If "yes", list the eligible activity or indicate N/A in the space provided. (Word limit 5).

N/A



# 5-B. NI ELIGIBLE ACTIVITY \*\*\* Note: For Infrastructure projects, skip this page.\*\*\*

Select one box that represents the project proposal. Checkbox indicating NI eligible activity. Document allows one selection.

Vulnerable road user safety assessment as defined by Section 316.027 (b), F.S.

Workforce development, training and education activities that are eligible uses of TAP funds.

SRTS projects, codified as 23 U.S.C. 208. This NI activity must be primarily based at the school and benefit students and / or their parents and have documented support from the school(s). If "yes", list the benefiting schools; total student enrollment and students served by project; approximate number of students living along the route; and the percentage of students eligible for reduced meal programs, or indicate N/A in space provided. (Word limit 10).

**NI COMPONENTS** As applicable, insert the number of each type of proposed activity. Numerical field indicating total number NI program would provide.

Number of walk or bicycle audits.

Number of bicycle skills / safety classes.

Number of pedestrian skills / safety classes.

Number of community demonstration projects.

Number of community encouragement activities.

Number of community challenges.

Number of community workshops / stakeholder meetings.

Number of classroom / educational classes receiving pedestrian / bicycle safety instruction / education.

Number of school assemblies receiving pedestrian / bicycle safety instruction / education.

Number of training sessions to implement the SRTS program (e.g., training for volunteer walking school bus leaders, training for bicycle train leaders, etc.).

Number of after school programs receiving pedestrian / bicycle safety instruction / education.

Number of bicycle rodeos.

Number of pedestrian safety skills events.

Number of schools with walking school bus programs (defined as planned route with meeting points, a timetable, and a schedule of trained volunteers).

Number of schools with bicycle train programs (defined as a planned route with meeting points, a timetable, and a schedule of trained volunteers).

Number of student-led leadership initiatives (e.g., student patrols, peer-led learning, etc.).

# PART 6 - AREA CONDITIONS



Select applicable boxes describing the area and complete applicable text fields. Then, upload supporting documentation.

- 1. Select one box that describes the geographic population size of the project area.
  - Non-Urban Area with a population of 5,000 or less
  - Urban Area with a population greater than 5,000 but no more than 50,000
    - Urban Area with a population greater than 50,000 but no more than 200,000
    - Urban Area with a population greater than 200,000
- 2. Is the project within the boundary of an MPO\*? If not, select "no", and indicate N/A in the space provided. If so, select "ves", and indicate the MPO in the space provided. (Word limit 5).
  - Yes
- No
- **Taylor County Board of County Commissioners**
- 3. Is the project within the boundary of a Transportation Management Area (TMA)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the TMA in the space provided. (Word limit 5).
  - Yes
- No
- N/A
- 4. Is the project within a Rural Economic Development Initiative (REDI) community or designated as a Rural Area of Opportunity (RAO) as defined pursuant to Section 288.0656, F.S.? If not, select "no", and indicate N/A in the space provided. If so, select "yes" and indicate the REDI / RAO in the space provided. (Word limit 5)
  - Yes
- No
- Taylor County
- 5. Indicate the United States Congressional District number(s) of the project location. (Word limit 5).

Florida Congressional District 2

- 6. Will the project address equity by providing benefits to traditionally underserved communities as determined by the U.S. Census? These communities could include low-income residents, minorities, those with limited English proficiency, persons with disabilities, children, or older adults. If not, select "no", and indicate N/A in the space provided. If so, select "yes", and briefly explain how the project improves environmental justice (e.g., disadvantage community access point(s) and destinations the project benefits, median household income, free or reduced priced school meals and how SRTS projects benefit the students, etc.). (Word limit 10).
  - Yes
- No
- Low income, minorities, children, limited English proficiency, older adults.
- 7. Are there transit stops / shelters / support facilities within the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the identification number. (Word limit 5).
  - Yes
- No
- Transit Stop #25 and support facilities
- 8. Is the project within a high-crash pedestrian corridor (or an area with a history of crashes involving pedestrians)?
  - Yes
- No

# Part 6 - Area Conditions continued...



9. Is the project within a high-crash bicycle corridor (or an area with a history of crashes involving bicyclists)?

Yes

No

10. Would the project implement a bicycle or pedestrian action plan(s)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and specify the name of the plan and date of adoption. (Word limit 5).

Yes

No

N/A

\* Metropolitan / Transportation Planning Organization / Agency (MPO)

REQUIRED UPLOAD: AREA CONDITIONS SUPPORTING DOCUMENTATION (e.g., excerpt pages from adopted plans or studies, maps illustrating transit facilities and connectivity to the improvement, short statement of support with a signature of the school official and their contact information for SRTS projects, median household income by census tract for community benefiting, collision heat maps / crash data for area surrounding project limits, etc.).

# PART 7 - PUBLIC INVOLVEMENT

Public involvement, engagement, and collaboration is a key component of the federal project development process and must be conducted in accordance with applicable rules and regulations in the event the project is selected for funding. Indicate which of the following are applicable (Select all that apply). Complete the text field or indicate N/A in the space provided. Then, upload supporting documentation.

1. Does the greater community support the project, as demonstrated by recently adopted proclamations or resolutions expressing commitment and public engagement? If "yes", explain the engagement and how the concept evolved based on public involvement. Indicate the resolution number, adoption date, and participating parties in the space provided. If "no", indicate N/A in the space provided. (Word limit 10).

Yes

No

N/A

2. Was the project discussed at a regularly scheduled meeting of an advisory board of an appointed group of citizens, such as bicycle pedestrian advisory groups or similar committee that provides support toward the project? If "yes", provide meeting information, including the date and type of advisory board meeting, and the input received. If "no", indicate N/A in the space provided. (Word limit 10).

Yes

No N/A

3. Was there an advertised public meeting to discuss the project? If "yes", provide a brief description, including the input received, how the concept evolved based on public involvement, date, and type of meeting. If "no", indicate N/A in the space provided. (Word limit 10).

Yes

No

Documentation of public hearing attached. Positive input and support received.

4. Do recent community surveys indicate both need and support for the project and stakeholders will continue to be engaged in the implementation of the project? If "yes", briefly explain. If "no", indicate N/A in the space provided. (Word limit 10).

Yes

No

Board will assist in project implementation and maintain sidewalk.

**REQUIRED UPLOAD: PUBLIC INVOLVEMENT SUPPORTING DOCUMENTATION** (e.g., resolution, proclamation, regularly scheduled meeting agenda and minutes, public meeting advertisement, community survey, letters of support, etc.).

# PART 8 - CONCURRENCY / CONSISTENCY



Is the project consistent with the applicable comprehensive plan(s), transportation plan(s), capital improvement plan(s), and / or the long-term management plan(s)? [Note: Board of County Commissioners functions as MPO in nonmetropolitan areas (Section 339.135(4)(c)1, F.S.)]. If not, select "no", and indicate N/A in the space provided. If so, select "yes", and use the text field to explain consistency, include MPO prioritization number. If a modification is required, indicate the meeting date for adoption. (Word limit 10).

Yes
 No Comprehensive Plan excerpts are attached.

REQUIRED UPLOAD: CONCURRENCY / CONSISTENCY SUPPORTING DOCUMENTATION (e.g., supporting resolution(s), excerpt from comprehensive plan(s), transportation plan(s), capital improvement plan(s), management plan(s), prioritization list, etc.).

# PART 9 - ENVIRONMENTAL CONDITIONS

Select the boxes describing the Environmental Conditions. As applicable, complete the text field or indicate N/A in the space provided. Then, upload supporting documentation. Applicants for NI proposals may skip the Environmental Conditions section.

1. Does the project involve lands identified by the Florida Wildlife Corridor Act of 2021 [Section 259.1055, Florida Statutes (F.S.)]?

Yes No

2. Does the project involve state-owned conservation lands? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the state-owned conservation lands. NOTE: Use of state-owned conservation lands is subject to coordination by the managing entity. (Word limit 5).

Yes No N/A

3. Does a railway facility exist within 1,000 feet of the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate railway facility. (Word limit 5).

Yes No N/A

4. Does the project physically cross a railway facility? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the crossing's railway identification number, and beginning and ending mile points. (Word limit 5).

Yes No N/A

5. Would the project provide lighting at locations with nighttime crashes? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe the proposed lighting in the space provided. (Word limit 5).

Yes No N/A

6. Would the project implement an adopted Americans with Disabilities Act (ADA) transition plan? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe proposed ADA improvements in the space provided. (Word limit 5).

Yes No ADA accessible paved sidewalk



7. Is an Environmental Assessment for the project complete? If not, select "no", and indicate N/A in the space provided. If so, select "ves", and describe any specific issues in the space provided. (Word limit 10).

Yes

- No

8. Is the project adjacent to locally designated or National Register of Historic Places (NRHP) listed or eliaible resources? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and list resources, indicate if the resources have received Florida Department of State Historic Preservation Grant funds. and explain any preservation agreements, covenants, or easements in the space provided. If applicable, select "unknown". (Word limit 5).

Yes

- No
- Unknown
- N/A

9. Are there any archaeological sites or Native American sites located within or adjacent to the project boundary? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and list State Site Number (aka Site File Number) for the sites. If applicable, select "unknown". (Word limit 5).

Yes

- No
  - Unknown

10. Are there any parks, recreation areas, or wildlife / waterfowl refuges within or adjacent to the project boundary? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and list the facilities in the space provided. (Word limit 5).

Yes

No N/A

11. Are there any navigable waterways adjacent to or within the project boundary? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and list the navigable waterways. (Word limit 5).

Yes

- No

12. Are there any wetlands within or adjacent to the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe in the space provided. Include permit types required and any obtained for the project. (Word limit 5).

- Yes
- No
- N/A

13.Is it likely that there are protected / endangered / threatened species and / or critical habitat impacts within the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe in the space provided. If applicable, select "unknown". (Word limit 5).

Yes

- No
- Unknown
- N/A

14.Are there any potential contamination / hazardous waste areas within or adjacent to the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe in the space provided. If applicable, select "unknown". (Word limit 5).

- Yes
- No
- Unknown
- N/A

15. Are there any noise-sensitive areas near the project area? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe in the space provided. If applicable, select "unknown" (Word limit 5).

- Yes
- No
- Unknown
- N/A

REQUIRED UPLOAD for Infrastructure (not applicable for NI): ENVIRONMENTAL CONDITIONS SUPPORTING DOCUMENTATION (e.g., labeled photographs on maps depicting conditions, permits, copy of the entire study or environmental assessment, excerpt pages from adopted plans, etc.).

# PART 10 - DESIGN / TYPICAL SECTIONS



Select the boxes describing the design status and complete the text fields. Then, upload supporting documentation. Applicants for NI proposals may skip the Design / Typical Section.

- 1. Are signed and sealed design plans available for this project?
  - Yes No
- 2. If design plans are not at 100 percent, or do not meet current standards and / or reflect existing conditions, select the box identifying the status. (Word limit 100).
  - No design plans

30% design plans

60% design plans

90% design plans

Other:

There are no design plans at this time. The funding request includes PD&E and PE services in the proposed budget

3. Briefly describe the design status in the space provided. If design is at 100 percent, indicate the date of the plans. (Word limit 100).

The funding request includes PD&E and PE services in the proposed budget. No portion of the design is complete at this time.

**REQUIRED UPLOAD for Infrastructure (not applicable for NI):** Typical Section(s) depicting existing and proposed features, dimensions, and ROW lines. If there are multiple segments, provide typical sections for each. If available, provide design plans.

# PART 11 - OWNERSHIP / ROW STATUS



Select the boxes describing the Ownership / ROW Status and complete applicable text fields. Then, upload supporting documentation. Applicants for NI proposals may skip the Ownership / ROW Status section.

1. Is ROW acquisition, defined as obtaining property not currently owned by the Local Agency through any means (e.g., deed, easement, dedication, donation, etc.), necessary to complete this project?

Yes No

2. Explain the ROW status (owned / fee simple, leased / less-than fee, and / or needs) along the project boundary, including when ROW was obtained and how ownership is documented (e.g., plats, deeds, prescriptions, certified surveys, transfers, easements). Provide information for verifying ownership (e.g., book / page number, transfer agreements, dates, etc.). If ROW acquisition is necessary before constructing the proposed project and / or the applicant agency is not the landowner, indicate the necessary coordination with other owners for all fee-simple purchases and / or any less-than fee / lease needs (including temporary construction and / or other easements and / or permits for drainage, railroad, utilities, etc.) necessary to secure ROW certification. Indicate the proposed acquisition timeline, expected funding source, the total number of parcels, type of acquisition, limitations on fund use or availability, and who will acquire and retain ownership of proposed land. (Word limit 150).

The proposed sidewalk will be constructed on County ROW. Documentation of County ownership is included in the TAP funding application required uploads.

REQUIRED UPLOAD for Infrastructure (not applicable for NI): OWNERSHIP / ROW STATUS SUPPORTING DOCUMENTATION including applicable ROW Certification including ownership verification documenting site control and related landowner supporting documentation. Site control documents must include an adequate legal description of the parcel(s) comprising the project site, such that staff can compare it to the boundary map submitted with the application and evaluate whether there is control of the project site (e.g., ROW Certification, ROW maps, plats, warranty deeds, prescriptions, certified surveys, easements, use agreement, etc.). Maps should clearly show the location of each ownership in relation to the project boundary and / or limits. NOTE: provide map documentation on 8.5" x 11" scale. DO NOT provide reduced copies of original plats and or maps that cannot be read at scale. If applicable, an exhibit visually depicting the new ROW anticipated for the project, together with a spreadsheet providing the tax identification number(s) of each impacted parcel and the approximate size of the new acquisition area for each impacted parcel.

# PART 12 - PROJECT IMPLEMENTATION AND COSTS



Complete either the Infrastructure Table Summary with the overall project programming (phases, schedule, and estimated costs for the proposed work) or the NI Cost Narrative Table. Then, upload supporting documentation.

Not all phase types may be eligible for TA funds, and not all areas prioritize all phases. Local agencies are responsible for covering all unanticipated cost increases, including but not limited to price inflation and increases in the cost of construction; account for them using local funds. FDOT does not allow programming TA funds for contingency costs. The local agency must have the ability to pay for non-participating costs (e.g., utility relocation). Chapter 337.14, F.S. prohibits an entity from performing both design services and construction engineering inspection services (CEI) for a project wholly or partially funded by the FDOT and administered by a local government entity.

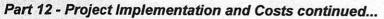
# REQUIRED UPLOAD: PROJECT IMPLEMENTATION AND COSTS SUPPORTING DOCUMENTATION.

1) Either provide a detailed engineer cost estimate if the project is designed or if the project has not been designed or is a NI project, provide a detailed opinion of probable costs (including all pay items and a timeline for deliverable). Utilize the FDOT Basis of Estimates Manual to develop a detailed estimate with FDOT pay items for construction phase estimates.

2) As applicable, letter from local agency budget office committing local funds to the project.

# \*\*\* Note: Applications for NI Projects to skip to page 15.\*\*\*

	Select phase(s) included in this request	INFRASTRUCTURE Table Summary Overall Project Programming (Cost Summary and Schedule)						
		Schedule (Month/Year)		Funding sources and costs (\$)				
Infrastructure Project Phases / Work Types				Federal Funds		Non-Federal / Local Funds		
		Start (mm/yy)	End (mm/yy)	TA Program (\$)	Other Federal (\$)	Non-TA/ Local Funds (\$)	Other (\$)	Total Cost Estimate (\$)
Planning Development (Corridor or Feasibility)	1	122	06/2024	26436				26436
PD&E	1	07/2024	10/2024	10574			1824 1 (1919)	10574
Preliminary Engineering / Design (PE)	1	10/2024	03/2025	79307				79307
Environmental Assessment (associated with PE)	1	03/2025	03/2025	5287				5287
Permits (associated with PE)	<b>1</b>	03/2025	04/2025	15861				15861
ROW					7 7 - 19 - 19 - 19 - 19 - 19 - 19 - 19 -			
Construction	1	04/2025	07/2025	528715				528715
CEI	<b>√</b>	04/2025	07/2025	87500	COST OF STREET SECTION SECTION SEC			87500
Other costs (describe)				an sang				
				Total Infrast	tructure Proj	ect Cost I	Estimate	





\*\*\* Note: applications for infrastructure projects do not need to fill out this page\*\*\*

# **NI Cost Narrative Table**

Below each item, explain how the item will support the program, and other appropriate details.

Budget Item	Requested Funds
	nel Services
(List titles and to	otals in first boxes below)
In Narrative, include numbers of hours, hourly ra	tes, who this person is, and whether it's a new position or added to an existing position.
new nours and duties	added to all existing position.
Narrative:	
Nanative,	
L .	
Narrative:	
Narrative:	
Ex	(penses
Materials and Supplies:	
Educational items:	
D	
Promotional Items:	
Other Expenses:	
Operating	Capital Outlay
Equipment:	
The state of the s	
Total NI Project Cont Edit	
Total NI Project Cost Estimate	
designade graphet i de particular de la companya del companya de la companya de la companya del companya de la companya del la companya de la	

#### RESOURCES



FDOT Transportation Alternatives Program:

https://www.fdot.gov/planning/systems/systems-management/tap

FDOT Local Agency Program Manual:

http://www.fdot.gov/programmanagement/LP/Default.shtm

FDOT Office of Environmental Management PD&E Manual:

https://www.fdot.gov/environment/pubs/pdeman/pdeman-current

FDOT Basis of Estimates Manual:

https://www.fdot.gov/programmanagement/estimates/documents/basisofestimatesmanual/boemanual

Florida Safe Routes to School Guidelines:

https://www.fdot.gov/safety/2A-Programs/Safe-Routes.shtm



PROJECT NAME: West Ash Street Sidewalk

## TRANSPORTATION ALTERNATIVES PROGRAM CERTIFICATION OF PROJECT SPONSOR

Transportation Alternatives Set-Aside Program (TA) Funding Application

LOCATION: Perry, Florida (Taylor County) PROJECT LIMITS: (from south or west limit) Miller Road (to north or east limit) US 19/Byron Butler Parkway By checking the box you agree to do the following: Enter into a maintenance agreement with the Florida Department of Transportation (FDOT), as necessary, prior to the design phase. Comply with the Federal Uniform Relocation Assistance and Acquisition Policies Act for any Right of Way actions required for the project. Provide any required funding match, incur any additional expenses beyond the approved project costs in the LAP agreement, and are responsible for any non-participating items (e.g. utility relocations). Pursue or retain LAP certification and enter into a LAP agreement with FDOT. Comply with NEPA process prior to construction, including any necessary involvement with the State Historic Preservation Officer (SHPO), and other State and/or Federal agencies, prior to construction. I further certify that the estimated costs included herein are reasonable and agree to follow through on the project once programmed in the FDOT's Work Program. I fully understand that significant increases in these costs could cause the project to be removed from the FDOT Work Program. Signature Jamie English Name (please type or print) Chairman Title This should be executed by person who has signatory authority for sponsor and is authorized to obligate services and funds for that entity (generally chairman of the board or council).



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3500, extension 7 Phone (850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney Post Office Box 167 Perry, Florida 32348 (850) 584-6113 Phone (850) 584-2433 Fax

#### West Ash Street Sidewalk Project Information

The West Ash Street Sidewalk Project will be a 2,320 linear feet paved sidewalk from the corner of West Ash Street and US 19/Byron Butler Parkway to Miller Road. The sidewalk will provide connection to the 3.1 mile Taylor Greenway which runs adjacent to US 19 from Main Street in the City of Perry to the very heavily used Taylor County Sports Complex. There is a 1.6 mile paved trail within the Sports Complex. The area along West Ash Street where the proposed sidewalk will be located has several residential family-oriented neighborhoods which are primarily low to moderate income minority families. There are businesses and a medical plaza located on the proposed sidewalk route. The sidewalk will be located on County ROW and there are already existing streetlights. The project will have no negative environmental or sensitive habitat impacts. The County and/or City will maintain the proposed sidewalk upon completion of construction.

The sidewalk will benefit a fiscally constrained County. Taylor County is a designated Rural Area of Opportunity (RAO) and Rural Economic Development Initiative (REDI) community. The County's median income is more than \$12,000 below the State median income with a 19.5% poverty rate. The sidewalk will provide pedestrian access to a public transit pick up location. The sidewalk will offer future connection to the Sun Trail network system which will run adjacent to US 19.



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#### West Ash Street Sidewalk Area Conditions

The proposed sidewalk is located in a low to moderate income area which primarily has a minority population. Taylor County is a fiscally constrained rural area and is a designated Rural Area of Opportunity (RAO) and a Rural Economic Development Initiative (REDI) community. The proposed sidewalk will provide connection to the Taylor Greenway paved sidewalk/trail. This 3.1 mile trail runs along US 19 from W. Main Street in the City of Perry to the Taylor County Sports Complex at N. US 19 and Andrew Reams Road. Taylor Greenway was constructed approximately 15 years ago with TAP funds (then known as Transportation Enhancement Funds). The Greenway is maintained by Taylor County. There is a transit stop at the corner of West Ash Street and US 19/Byron Butler Parkway at the DMH Medical Plaza which will benefit pedestrians on the proposed sidewalk who need access to public transportation.

#### Transportation Alternatives Set-Aside (TA)

#### ENGINEER'S COST ESTIMATE

Fina	incial Management Number (if applicable):
Project Des	cription: West Ash Street / Miller Rd to US HWY 1

		Project L	rescriptio	AND RESIDENCE PRODUCES	h Street / Miller	Ka to US	446425600000000000	- 11 A A A A A			9222	Annual State of the State of th
Rand			TA Eligible				Other F	PHYSICAL	st include all TA ineligible items)			TOTAL
Pay Item Number*	Pay Item Description*	Quantity	Unit	Engineer's Unit Cost	Engineer's Subtotal Cost (TA funds)	Quantity	Unit	Engineer's Unit Cost	Engineer's Subtotal Cost (other funds)	Source(s) of Match	Total Quantity	Total Engineer's Cos
0101-1-	MOBILIZATION	1	LS	\$ 60,000.00	\$ 60,000.00		EA		\$ -		1	\$ 60,000.0
0102-1-	MAINTENANCE OF TRAFFIC	1	LS	\$ 56,000.00	\$ 56,000.00		EA		\$ -		1	\$ 56,000.0
0104-10-3	SEDIMENT BARRIER	1450	LF	\$ 3.50	\$ 5,075.00		EA		\$ -		1450	\$ 5,075.0
0110-1-1	CLEARING AND GRUBBING	0.330	LS	\$ 30,000.00	\$ 9,887.05		EA		\$ -		0.33	\$ 9,887.0
0110-4	REMOVAL OF EXISTING CONCRETE PAVEMENT	3	SY	\$ 85.00	\$ 255.00	147	EA	dept.	\$ -		3	\$ 255.0
0110-7-1	MAILBOX, F&I, SINGLE	9	EA	\$ 375.00	\$ 3,375.00		EA		\$ -		9	\$ 3,375.00
0120-1-	REGULAR EXCAVATION	829.57	CY	\$ 35.00	\$ 29,034.88		EA		\$ -		829.57	\$ 29,034.8
0120-6	EMBANKMENT	859.26	CY	\$ 40.00	\$ 34,970.37		EA		\$ -		859.26	\$ 34,370.37
0285-706	OPTIONAL BASE GROUP 06, 8 <sup>a</sup> LIMEROCK	691.33	SY	\$ 65.00	\$ 44,936.67		EA		\$ -		691.3333	\$ 44,936.67
0327-70-6	MILLING EXISTING ASPHALT, 1 1/2" AVG DEPTH	691.33	SY	\$ 4.50	\$ 3,111.00		EA		\$ -		691.3333	\$ 3,111.00
0334-1-13	SUPERPAVE ASPHALTIC CONCRETE, TRAFFIC C	76.05	TN	\$ 250.00	\$ 19,011.67		EA		s -		76.05	\$ 19,011.67
0430-175-118	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 18* S/CD (RCP)	240	LF	\$ 165.00	\$ 39,600.00		EA		\$ -		240.00	\$ 39,600.00
430-984-125	MITERED END SECTION, OPTIONAL ROUND, 18" SD (RCP)	16	EA	\$ 2,500.00	\$ 40,000.00		EA		\$ -		16	\$ 40,000.00
0522-1-	CONCRETE SIDEWALK AND DRIVEWAYS, 4" THICK	1044.44	SY	\$ 80.00	\$ 83,555.56		EA		\$ .		1044,44	\$ 83,555.56
0522-2-	CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK	533.33	SY	\$ 125.00	\$ 66,666.67		EA		\$ .		533.33	\$ 66,666.67
0527-2-	DETECTABLE WARNINGS	16	SY	\$ 45.00	\$ 720.00		EA		\$ -		16.00	\$ 720.00
0570-1-2	PERFORMANCE TURF, SOD	2924.44	SY	\$ 4.20	\$ 12,282.67		EA		s ·		2924.44	\$ 12,282.67
0700-1-11	SINGLE POST SIGN, F&I, GROUND MOUNT, UP TO 12 SF	10	EA	\$ 500.00	\$ 5,000.00		EA		s -		10.00	\$ 5,000.00
0700-1-60	SINGLE POST SIGN, REMOVE	8	AS	\$ 75.00	\$ 600.00		EA		\$ -		8	\$ 600.00
0711-11-121	THERMOPLASTIC, PAVEMENT MARKING, WHITE, SOLID, 6" FOR EDGE LINE	100	LF	\$ 4.00	\$ 400,00		EA		\$ -		100	\$ 400.00
0711-11-201	THERMOPLASTIC, PAYEMENT MARKING, YELLOW, SOLID, 6" FOR CENTERLINE AT STOPBAR	900	LF	\$ 4.00	\$ 3,600.00		EA		s -		900	\$ 3,600.00
0711-11-123	THERMOPLASTIC, STD WHITE, SOUD, 12* FOR CROSSWALK AND ROUNDABOUT	682	LF	\$ 7.00	\$ 4,774.00		EA		s -	171301 1 5019	682	\$ 4,774.00
0711-11-125	THERMOPLASTIC, STD WHITE, SOLID, 24" FOR STOP BAR AND CROSSWALK	486	U	\$ 10.00	\$ 4,860.00		EA		s -		486	\$ 4,860.00
0711-17-1	REMOVE EXISTING THERMO PLASTIC PAVEMENT MARKING	200	SF	\$ 8.00	\$ 1,600.00		EA	1	ş -		200	\$ 1,600.00
		Г	EA	150	s -		EA		ş .		0	\$
		Г	EA		\$ .		EA	1	ş .		0	\$
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			e Costs / TA	Funds	CONTRACTOR OF THE CONTRACTOR		Other Funds	-				
		Requested (no	t funded the sources)	rough other \$	528,715.52		de TA Ineligib	ole Costs)	•		Subtotal	\$ 528,715.52
	, J									I		
	Design Cost			- \$	137,465.00	-		-		1	\$	137,465.00
	CEI Cost  CONTINGENCY (REQUIRED)	0		- Daws D	87,500.00						\$	87,500.00
	Total Cost Estimate	Contin	gency is not	a FHWA Partid				- 3	-			
				<u> </u>	224,965.00				•		\$	224,965.00

A reasonable estimate of project costs is required. Projects must follow appropriate design criteria and meet Americans with Disabilities

Act requirements. Projects on the State Highway System, and "on-system" (on FDOT land), and Critical Projects shall utilize FDOT pay

items numbers and descriptions. FDOT'S AWARD OF FUNDING TO THE APPLICANT'S PROJECT DOES NOT CONSTITUTE ACCEPTANCE OF

PARTICIPATING VS. NON-PARTICIPATING ITEMS IDENTIFIED IN THIS COST ESTIMATE. Funding pay items and eligibility will be discussed

Examples of	Non-participating	items

Examples of Non-participating Items:

Mowing, litter removal, optional services, video inspection; utility directional bore / utility agency owner directional bores;

Utility work, including but not limited to valve adjustments, utility relocations, power pole relocations,

Contingency

Other elements may be non-participating, the ones listed above are non-particating commonly used pay items.

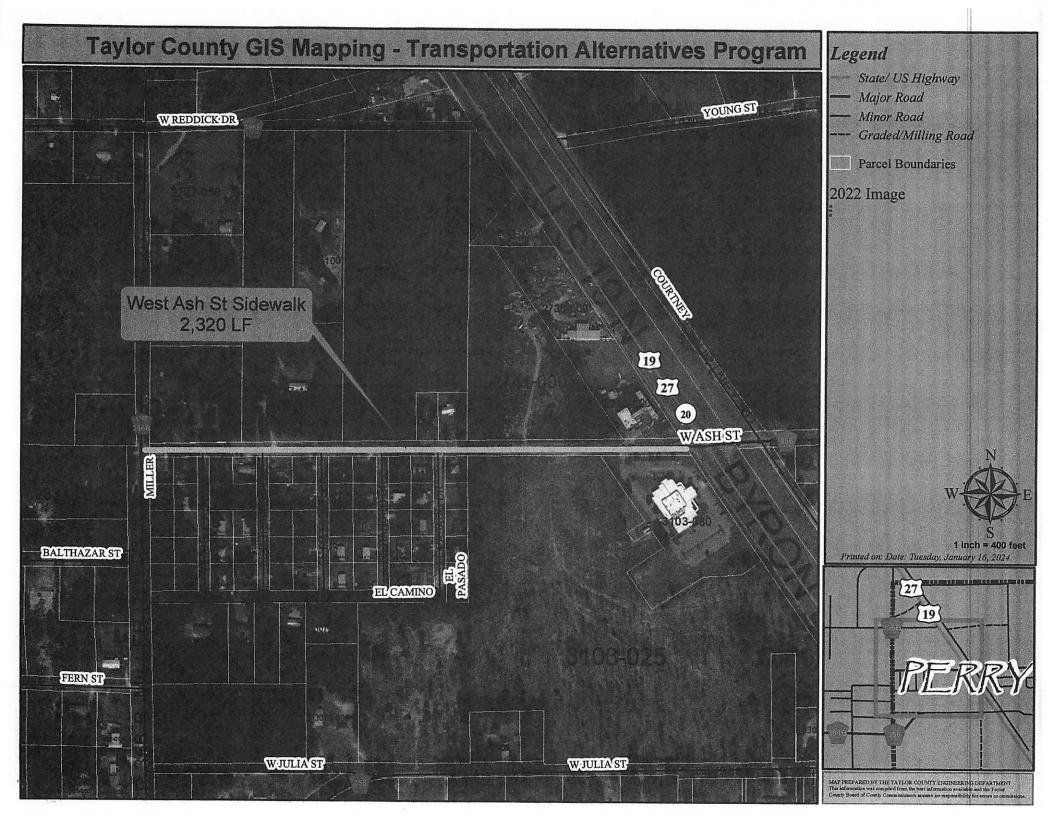
If you have questions regarding an eligible or non-participating item, District representatives may be contacted for guidance.

Prepared by: Kenneth Dudley, County Engineer	PE Number: PE58014  Kenneth Dudley Digitally signed by Kenneth Dudley Date: 2024.01.16105&19-0500	1/16/2024
Name:	Signature:	Date:
Reviewed by:		
Name:	Signature:	Date:

References:

FDOT Design
Environmental Management
FDOT Estimates
Local Programs Manual
TA Set-Aside Program

https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosarmmana.https://www.fdot.gov/rosadway https://www.fdot.gov/programmanagement/estimates/documents https://www.fdot.gov/programmanagement/lap/lap-toc.shtm https://www.fdot.gov/planning/systems/systems-management/tap





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January 16, 2024

Florida Department of Transportation 1109 South Marion Avenue Lake City, Florida 32025

Attn: Ms. Amy Roberson

RE: Taylor (

Taylor County Transportation Alternatives FY 2030 Applications

Dear Ms. Roberson,

Taylor County is respectfully submitting two applications to the Transportation Alternatives FY 2030 funding program. Our priorities are as follows:

- 1. Plantation Road Sidewalk
- 2. West Ash Street Sidewalk

If we can provide any additional information, please contact LaWanda Pemberton at 850-843-5381 or at <a href="mailto:Lpemberton@taylorcountygov.com">Lpemberton@taylorcountygov.com</a>. Thank you for your consideration of our applications.

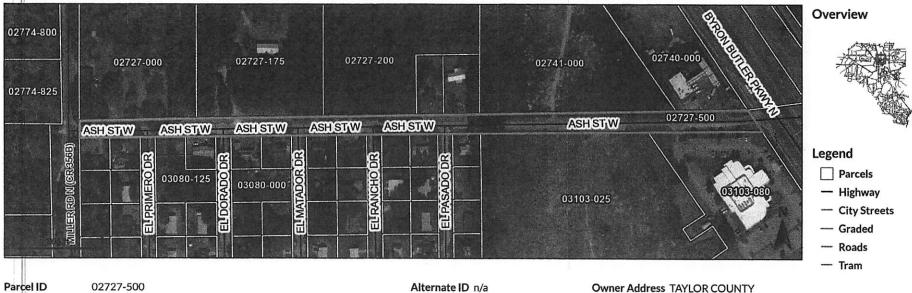
Respectfully,

Jamie English

Chairman

Taylor County Board of County Commissioners

## Taylor County Property Approxime Shawma Beach, CFA Taylor County, FL



Parcel ID

02727-500

Sec/Twp/Rng 23-04-07

Property Address Unassigned Location RE

PE

District

**Brief Tax Description** 

LEG 0013.62 ACRES - PAVED STREET KNOWN AS ASH STREET - RUNNING FROM US 19 TO MILLER RD -

n/a

3.32

P O BOX 620

PERRY FL 32347

Class

Acreage

(Note: Not to be used on legal documents)

Date created: 1/16/2024

Last Data Uploaded: 1/15/2024 6:41:50 PM

Developed by Schneider

### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



Board to approve Tier 2/CEST site reviews required by DEO for each applicant approved for assistance with the Community Development Block Grant (CDBG) Housing projects.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to approve Tier 2/CEST reviews required by DEO for

each applicant approved for assistance with the

Community Development Block Grant (CDBG) Housing

projects.

Recommended Action:

Approve Tier 2/CEST reviews.

Fiscal Impact:

The County was awarded a CDBG housing rehabilitation grant in the amount of \$750,000. The Tier 2/CEST reviews for each approved applicants building site is a requirement by DEO for the federally funded grant.

**Budgeted Expense:** 

Yes

Submitted By:

Jami Evans, Grants Coordinator

Contact:

Jami Evans

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The County was awarded a CDBG housing rehabilitation grant in the amount of \$750,000. The Tier 2/CEST reviews for each approved applicants building site is a requirement by DEO for the federally funded grant.

Attachments:

Tier 2/CEST reviews



# Site Specific Environmental Review Checklist Categorically excluded housing activities as listed in the unspecified site strategy

	Project Address (include city & zip code): 16481 School House Road, Salem, FL 32356
	Signature of Person Inspecting Project Site:
	RE approval signature:
	Date Review Completed: Grant Number: 22DB-OP-03-72-01-H05
	If there are more that 4 new construction units together, this form cannot be used. Refer to 24 CFR Part 58.35(a)(4).
	The Site Specific Review checklist contains only the items that could not document compliance on the Broad Review per 24 CFR Part 58.15. Include the projects scope of work and corresponding pictures related to the project.
	Estimated cost of the project? (Include all funding sources): \$230,000
	0 to 39.9% market value of the structure
	40 to 49.9% market value of the structure
	50 to 74.9% market value of the structure
)	75%+ (and above) market value of the structure
,	
	*Note: When rehabilitation and/or replacement costs meet or exceed 50% (substantial improvement) of the structures market value, a Statutory Worksheet (with supporting documentation) must be completed for each unit.
	1. <u>Historical Preservation</u> : (36 CFR Part 800)
	a. Is the structure, located on the project site or structures adjacent to the project, more than 50 years old? YES NO [Attach a copy of the property appraiser's report(s)]
	age of structure on project site
	age of structure on adjacent site
	age of structure on adjacent site
	b. Is the project located in a historic district? YES NO
	c. Will the project site have the potential to contain archeological properties?  YESNO
	If Yes to question (a) through (c), contact the Florida Department of State, State Historic Preservation Office (SHPO). Allow 30 days from receipt of the request for comments. Attach photocopies of all correspondence. Document the review if no response is received.

)	d.	Will the project require soil to be disturbed?YESVNO  If Yes to question (c) and/or (d), contact the appropriate Native American Indian Tribe(s)  listed in the Tribal Directory Assessment Tool version 2.3 ( <a href="https://egis.hud.gov.tdat/">https://egis.hud.gov.tdat/</a> )  Provide photocopies of all correspondence (included letters, emails, delivery receipts and other relevant information).
	e.	Have the Alabama Coushatta Tribe of Texas been provided with the following:  i. A Copy of the Scope of Work YES NO
		ii. Aerial photos of the project site VES NO
	f.	Was a response received from the Alabama Coushatta Tribe of Texas? YES NO
,	2. Floor	dplain Management: (Executive Order 11988 and 24 CFR Part 55)
	a.	According to FEMA's Flood Insurance Rate Map (FIRM) is the project located in a:
		100-year floodplain? YESNO
		500-year floodplain? YESNO
		*Attach a photocopy of the most recent FIRM map ( <a href="https://msc.fema.gov/portal/home">https://msc.fema.gov/portal/home</a> ) and include the project location.
	b.	If Yes to (a), was the decision making (8-step) process completed during the Unspecified Site Strategy? YES NO
		If Yes, proceed to #3. If No, continue below.
	C.	Is the project exempt from the decision making (8-step) process per 24 CFR 55 12 (a) or (b)? YES NO
		If Yes, state the CFR regulation
		If No, the decision making process is required for individual housing projects for one-to- four family properties or structures involving new construction of substantial improvements [see 24 CFR Part 55.2 (b)(10)]
		*Provide a copy of the flood insurance policy for projects located within the floodplain [see 24 CFR 58.6 (a) and (b)]. For demolition/replacements, provide a copy of the flood insurance for the new structure.
	3. <u>Wetla</u>	nds: (Executive Order 11990 and 24 CFR Part 55)
	a.	Is the project located in a wetland? YES NO
		*Refer to the U.S. Fish and Wildlife Service National Wetland Inventory website at: <a href="https://www.fws.gov/wetlands/">https://www.fws.gov/wetlands/</a> .
		*Attach a photocopy of the wetlands map with the project location.
)		If No to (a.), proceed to #4. If Yes, continue below.
-		2

	b.	Will the project meet an exception listed in 24 CFR 55.12(a) or (b)?  YESNO
		If Yes, complete the decision-making process under 24 CFR 55.20.
		**The restriction regarding the expansion and/or rehabilitation of a one-to-four family structure was removed effective December 15, 2013.
		oise: (24 CFR part 51) nly complete questions (a) and (b) for housing Disaster Recovery projects.
	а	. Will the project utilize funds from a Disaster Recovery Grant?YESNO✓ N/A
		If No, proceed to (c) below. Noise requirements are not applicable to any action or emergency assistance for actions under Disaster Recovery grants as described in 24 CFR Part 51.101(a)(3).
	b	. Will the project involve the use of additional funding sources other than the Disaster Recovery grant?YESNO
		If Yes, provide funding source(s) in the scope of work and continue below.
_,	C.	. Will the project involve rehabilitation?YESYO
)		If Yes, noise is to be considered. Continue to (d) below.
		Will the project involve "new" construction? YES NO
		If Yes, complete the questions in (d) below. Mitigation is required for projects exceeding the average day night noise level of 65 decibels (dB).
	d.	Is a Highway within 1,000 feet of the project?
		Is a Railroad within 3,000 feet of the project?
		Is a civilian airport within 5 miles of the project?  YES  NO
		Is a Military airport within 15 miles of the project?YESYO
		If Yes to (d) above, complete a noise assessment using the Day/Night noise Level Calculator: https://www.hudexchange.info/resource/2830/day-night-noise-level-assessment-tool/
	•	<b>Note</b> : Noise assessments should include the following documentation: FDOT daily traffic map; railroad information; airport noise contour map; airport noise worksheet; and one or both of the following:
		*Rehabilitation with noise above 65 dB: Completion of the Sound Transmission Classification Assessment Tool at: <a href="https://www.hudexchange.info/stracat/">https://www.hudexchange.info/stracat/</a> .

\*New construction with noise above 65 dB. Mitigation is required for projects exceeding the average day night noise level of 65 dB. Complete the Barrier Performance Module at: <a href="https://www.hudexchange.info/programs/environmental-review/bpm-calculator/">https://www.hudexchange.info/programs/environmental-review/bpm-calculator/</a>.

For additional information refer to HUD's Noise Guidebook or Exchange website at: <a href="https://www.hudexchange.info/resource/313/hud-noise-guidebook/">https://www.hudexchange.info/resource/313/hud-noise-guidebook/</a>.

5.	Explo	osive & Flammable Operations: (per 24 CFR Part 51, Subpart C)
	b. Is c. A	or housing rehabilitation projects, will the number of individuals increase?  YESNO the project "new" housing construction?YESNO te there stationary above ground storage tanks (AGST) in excess of 100 gallons within a 1 telegradius of the project site that contains explosive or flammable liquids?  YESNO
		If Yes, complete the Acceptable Separation Distance calculation using the Electronic Assessment Tool at <a href="https://www.hudexchange.info/environmental-review/asd-calculator/">https://www.hudexchange.info/environmental-review/asd-calculator/</a> . Refer to the Acceptable Separation Distance Guidebook for additional information.
		*A site located less than the Acceptable Separation Distance will require mitigation or it will be rejected. For example, mitigation would be required if the separation distance is 150 feet but the project site is located 125 feet. If mitigation is not obtained, the site will be rejected.
		*The review should include the ASD calculation, photos, distance to and location of each tank.`
6.	<u>Hazar</u>	d and Toxics:
	aistres	serve the site for any evidence that a toxic material could be present on the site such as sed vegetation, vent or fill pipes, storage tanks, pits, ponds, or lagoons, stained soil or tent, pungent, foul or noxious odors, or past uses of the site. YES NO
		*Reject any site that has a presence of Toxics or required cleanup prior to purchasing the site.
	Use th	e U.S. EPA NEPAssist website http://www.epa.gov/nepa/nepassist to determine:
		Are there EPA facilities within 3,000 feet of the site? YES NO
	2.	If Yes, are there Brownfields or Superfund facilities? YES NO *If Yes to # 2, contact the Florida DEP for clearance documentation.
		*Attach a photocopy of the NEPAssist report and associated ECHO reports for all EPA facilities located within 3000 feet of the project site

·	b.		Lead-based Paint (LBP):
		1	. Was the structure built prior to 1978? YES YES NO
			*For the following questions, refer to the U.S. Department of Housing and Urban Development "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing" at: <a href="https://www.hud.gov/program_offices/healthy_homes/lbp/hudguideslines">https://www.hud.gov/program_offices/healthy_homes/lbp/hudguideslines</a> and the "Lead Safe Housing Rule" under 24 CFR Parts 35, Subparts B through M.
		2.	
		3.	Was a LBP test conducted?YESNO
			*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
			(Note: Homeowner is to be notified of test results within 15 calendar days)
		4.	Are the LPB test results positive? YES NO.
			If Yes, provide the homeowner with a copy of the Notice of Evaluation or Presumption.
		5.	Is a LBP clearance test required?YESNO
			*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
			Note: Homeowner is to be notified of test results within 15 calendar days.
$\overline{}$	c.		Asbestos (NESHAP):
J		1.	Is the home exempt from the asbestos (NESHAP) requirements?  YESNO *If Yes, skip to #11below.
			*Refer to U.S. EPA's Asbestos (NESHAP) requirements under 40 CFR Part 61, Subpart M and Chapter 62.257, Florida Administrative Code.
		2.	Is the home or project site, located in the vicinity of other housing projects associated with this grant?  YESNO
			*See Fed. Register, Vol. 60, No. 145 dated July 28, 1995.
		3.	Will the home require an inspection to be performed by a licensed asbestos inspector?  YESNO
			* If Yes, to #3, include a copy of the inspection report and the inspector(s) certification(s).
		4.	If an inspection was performed, is mitigation required?YESNO
1			*If Yes to #4, include all documentation of the mitigation measures to be performed.
1			

7.	Ac	cident Potential Zone (APZ) and Runway Protection Zone/Clear Zone (RPZ/CZ):
		A. Is the project located within 15,000 feet of a military airport (APZ)?  YESNO
		B. Is the project located within 2,500 feet of a civilian airport (RPZ/CZ)?  YESNO
		C. If Yes to either question above, is the project located within the Accident Potential Zone (Military airport) or Runway Protection Zone/Clear Zone (Civilian airport)?  YESNO
		*If Yes, continue below. If No, attached a map of the project location as it relates to the Accident-Potential Zone (APZ) OR Runway Protection Zone/Clear Zone (RPZ/CZ).
For	pro	jects located within the Accident Potential Zone (APZ):
	1.	Will the project involve any of the following new construction, substantial rehabilitation acquisition of undeveloped land, activities that would significantly prolong the physical or economic life of existing facilities or change the use of the facility to a use that is not consistent with the recommendations of the Department of Defense (DOD)'s Land Use Compatibility Guidelines; activities that would significantly increase the density or number of people at the site; or activities that would introduce explosive, flammable, or toxic materials to the area? YES NO
Ear	nro	
		jects located within the RPZ/CZ:
	1.	Will the project involve facilities that will be frequently used or occupied by people?  YESNO
		*If No, include written assurance from the airport operator that there are no plans to purchase the land as part of a RPZ/CZ program and continue to #8.
		*If Yes, was a signed copy of the <u>Notice to Prospective Buyers</u> to inform of potential hazards from airplane accidents as well as the potential for the property to be purchased as part of an airport expansion project in accordance with 24 CFR 51.303(a)(3) provided?  YESNO

)		assuring the project site would not be acquired or purchased in the future as part of a clear zone acquisition program? Yes No
		2. Does the project involve new construction, substantial rehabilitation, acquisition of undeveloped land, or activities that would significantly prolong the physical or economic life of existing facilities that will be frequently used or occupied by people? YESNO
		(If Yes, the site should be rejected <u>unless it will not</u> be frequented by people and/or is approved by the airport operator).
	8.	Endangered Species Act:
		Use the Florida Fish and Wildlife Conservation Commission (FFWCC) Eagle Nest Locator website ( <a href="http://myfwc.com/wildlifehabitats/managed/bald-eagle/">http://myfwc.com/wildlifehabitats/managed/bald-eagle/</a> ), to check for Bald Eagles nest within a one mile radius of the project location. Include a copy of the Bald Eagle nest data search results, clearance documentation and permit(s) as required.
		A. Was a clearance received from the U.S. Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) website? YES NO
)		<ul> <li>B. Was a bald eagle nest(s) located:</li> <li>1. During a visual inspection within one mile of the project?YESYES</li></ul>
		2. On the FFWCC website within one mile radius of the project site?  YESNO
		3. Within 660 feet of the project location?YESYO
		*If Yes, will the proposed activity occur during the nesting season (October 1 through May 15?NO
		*If Yes, contact the FFWCC at <a href="http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/">http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/</a> . Include clearance documentation and a copy of all permits (if required).
	9.	Coastal Barrier Resource Act:
		Use the U.S. Fish and Wildlife Service Coastal Barrier Resource System Mapper website at <a href="http://www.fws.gov/cbra/maps/mapper.html">http://www.fws.gov/cbra/maps/mapper.html</a> .
		A. Is the project located in a Coastal Barrier Resource System?YESYO
		*Provide the projects location on the Costal Barrier Resource System map.

		*If Yes, cancel the project and consult with the FWS. Federal assistance for most activities may not be used in this location.
		B. If consultation occurred with the FWS, was approval given? YESNONA
		*Provide a copy of all consultation documents. If not approved, the project may not proceed at this location.
	10.	Inspections:
		A. Septic Tank Inspection:
		<ol> <li>Was a septic tank and drain field inspection performed? YES</li></ol>
		2. Will the inspection require the septic system to be replaced?  YESNO
		*If Yes to #2, provide a copy of the clearance inspection report. A clearance must be received prior to closure of the project.
		B. Wood Destroying Organism (WDO) inspection:
		1. Will a WDO inspection be required? YES NO
ر		*If Yes, include a copy of the WDO inspection and/or clearance report.
		Note: If work was performed, provide a copy of the clearance report.
	11.	Disaster Recovery Project (Only):
		A. Has a duplication of benefits been performed and cleared for the following:
		FEMA: YES NO
		Insurance: YES NO
		Other: YES NO
		*If Yes to the above, include a copy of the Duplication of Benefits (DOB) information and/or a clearance report.



## STATUTORY WORKSHEET 24 CFR §58.5 STATUTES, EXECUTIVE ORDERS & REGULATIONS

Suggested Format for Categorically Excluded Projects subject to §58.5. NOTE: Compliance with the laws and statutes listed at 24 CFR §58.6 must also be documented.

Project Name: 16481 School House Road, Salem, FL 32356 Project Contract Number: 22DB-OP-03-72-01-H05

**Project Description:** Include all contemplated actions that logically are either geographically or functionally part of the project: <u>Demolition/reconstruction of a single-family, owner-occupied home.</u>

This proposal is determined to be: Categorically Excluded Subject to 58.5

According to: [Cite Section(s)]: CFR 24 Section 58.35 (a)(3)(i)

DIRECTIONS: Write "A" in the Status Column when the proposal, by its scope and nature, does not affect the resources under consideration; or write "B" if the project triggers formal compliance consultation procedures with the oversight agency, or requires mitigation (see Statutory Worksheet Instructions). Compliance documentation must contain verifiable source documents and relevant base data.

#### **Compliance Factors:**

STATUTES, EXECUTVE ORDERS AND REGULATIONS LISTED AT 24 CFR 58.5 A/B

## COMPLIANCE DETERMINATION AND DOCUMENTATION

REGOLATIONS LISTED AT 24 CFR 36.3	A/D	AND DOCUMENTATION
		The project will have no effect on historic properties.
		The home was built in 1995 and is not greater than
HISTORIC PRESERVATION		50 years old. Consultation was sought from the
36 CFR Part 800	Α	Alabama Coushatta Tribe. No response was received.
		The project will have no effect on the floodplain. This
		project is for the demolition/reconstruction of a
FLOODPLAIN MANAGEMENT		single-family home that is not located within the
24 CFR Part 55 & Executive Order 11988	Α	floodplain. See enclosed FEMA FIRM map.
		The project will have no effect on the wetlands and
WETLAND PROTECTION		is not located within a wetland area. See enclosed
Executive Order 11990	Α	description of work and wetlands map.
COASTAL ZONE MANAGEMENT ACT		This item was cleared under the Taylor County Broad
SECTIONS 307 (c) & (d)	Α	Review.
SOLE SOURCE AQUIFERS		This item was cleared under the Taylor County Broad
40 CFR Part 149	Α	Review.
		The project is for the demolition/reconstruction of
		an existing single-family residential home. No effect
		to threatened species or endangered species is
ENDANDERED SPECIES ACT		anticipated. See enclosed eagle nest search, IPaC
50 CFR 402	Α	determination.
WILD AND SCENIC RIVERS ACT		This item was cleared under the Taylor County Broad
Sections 7(b) & (c)	Α	Review.
CLEAN AIR ACT		This item was cleared under the Taylor County Broad
Sections 176(c)(d) & 40 CFR 6, 51, 93	_A	-Review.



FARMLAND PROTECTION POLICY ACT 7 CFR Part 658	A	This item was cleared under the Taylor County Broad Review.
		The project will not be affected by environmental
		conditions and will be assisting a low-income family
ENVIRONMENTAL JUSTICE		by the demolition/reconstruction of their single-
Executive Order 12898	Α	family home. See project description.
		The project is not within 1,000 feet of a highway,
NOISE ABATEMENT & CONTROL		3,000 feet of a railroad, within 5 miles of a civilian or
24 CFR Part 51B	Α	15 miles from a military airport. See attached maps.
		This project is for demolition/reconstruction of a
		single-family home that will not involve an increase
<b>EXPLOSIVE &amp; FLAMMABLE OPERATIONS</b>		residential densities or conversion. See the Scope of
24 CFR Part 51C	Α	Work.
		There were no hazardous, toxic or radioactive
HAZARDOUS, TOXIC OR RADIOACTIVE		materials & substances noted during the field
<b>MATERIALS &amp; SUBSTANCES</b>	1	inspection, none were noted on the NEPAssist site.
24 CFR 58.5(i)(2)(i)	Α	See NEPA assist report, facility reports.
AIRPORT CLEAR ZONES		The project is not located within 15,000 feet of a
& ACCIDENT POTENTIAL ZONES		military (APZ) airport or within 2,500 feet of a civilian
24 CFR Part 51D	Α	airport (RPZ/CZ).

### **Determination:**

any mitigation formal permit	nverts to Exempt, per Section 58.34(a)(12), because it does not require for compliance with any listed statutes or authorities, nor requires any or license (Status "A" has been determined in the status column for all unds may be committed and drawn down for this (now) EXEMPT
require formal requirements,	nnot convert to Exempt status because one or more statutes or authorities consultation or mitigation. Complete consultation/mitigation protocol publish NOI/RROF and obtain Authority to Use Grant Funds (HUD 7015.16) 70 and 58.71 before committing or drawing down funds; or
impact. This p	rcumstances of this project may/will result in a significant environmental roject requires preparation of an Environmental Assesssment (EA). Prepare ng to 24 CFR Part 58 Subpart E.
Jami Eva	- S
PREPARER SIGNATURE	
Jami Evans, Grant Coordi PREPARER NAME & TITLE	nator, Taylor County
Manlan	
DATE PARTS	



RESPONSIBLE ENTITY/AGENCY OFFICIAL SIGNATURE	
Jamie English, Chairman, Taylor County Board of County Commissioners NAME & TITLE	
DATE	
DOCUMENTATION OF COMPLIANCE with  24 CFR Part 58.6 (a - d)  Use this form for all levels of review	
Grant Recipient; Taylor County Contract Number: 22DB-OP-03-72-01-H05	
Prepared By: J. Corbett Alday Date: 1/16/2024	
The site is not in the 100 year floodplain (see attached map)  Flood Insurance is required for structures in the 100 year floodplain  A. Flood Insurance when the site is in the 100 year floodplain:  1. Under the flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128), Federal financial assi or acquisition and construction purposes (including rehabilitation) may not be used in an area identified be Federal Emergency Management Agency (FEMA) as having special flood hazards, unless:  i. The community in which the area is situated is participating in the National Flood Insurance Program (see CDR Parts 59 through 79), or less than one year has passed since the FEMA notification regarding such hand  ii. Where the community is participating in the National Flood Insurance Program, flood insurance protect be obtained as a condition of the approval of financial assistance to the property owner.  2. Where the community is participating in the National Flood Insurance Program and the recipient provided financial assistance for acquisition or construction purposes (including rehabilitation) for property located area identified by FEMA as having special flood hazards, the responsible entity is responsible for assuring flood insurance under the National Flood Insurance Program is obtained and maintained.  3. Paragraph (a) of this section does not apply to Federal Formula grants made to a State.  B. Under section 582 of the National Flood Insurance Reform Act of 1994, 42 U.S.C. 5154a, HUD Disaster assistance that is made available in a special flood hazard area may not be used to make a payment (including any loan assistance payment) to a person for repair, replacement or restoration for flood damage to any personal, residential or commercial property if:  1. The person had previously received Federal flood disaster insurance conditioned on obtaining and maintain flood insurance; and	by the ee 44 hazards tion is t d d in an that
Coastal Barrier Islands:	

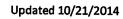
The site is in a Coastal Barrier Island but the activity is not prohibited as indicated

The site is <u>not</u> in a Coastal Barrier Island (documentation attached)

at: http://www.fws.gov/



The site is in a Coastal Barrier Island and the activity is prohibited as indicated at:
http://www.fws.gov/; the project must be rejected.
Pursuant to the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 (16 U.S.C. 3501), HUD assistance may not be used for most activities proposed in the Coastal Barrier Resources System.
Clear Zones:
x The site is <u>not</u> in the Clear Zone (documentation attached)
The site is in the Clear Zone (signed acknowledgement attached)
In all cases involving HUD assistance, subsidy, or insurance for the sale of an existing property in a Runway Clear Zone or Clear Zone, as defined in 24 CFR Part 51, the responsible entity shall advise that the property is in a runway clear zone or clear zone, what the implications of such a location are, and that there is a possibility that the property may, at a later date be acquired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
CERTIFICATION OF CATEGORICAL EXCLUSION
(Subject to 58.5) Per 24 CFR 58.35 (a)
Contract Number: 22DB-OP-03-72-01-H05
 I hereby certify that the following activities comprising the 16481 School House Road, Salem, FL 32356 project
have been reviewed and determined to be Categorical Excluded Activity per 24 CFR 58.35(a) as follows:
(1) Acquisition, repair, improvement, reconstruction, or rehabilitation of public facilities and
improvements (other than buildings) when the facilities and improvements are in place and will be
retained in the same use without change in size or capacity of more than 20% (e.g. replacement of
water or sewer lines, reconstruction of curb and sidewalks, repaving of streets).
(2) Special projects directed to the removal of material and architectural barriers that restrict the mobility
of and accessibility to elderly and handicapped persons.
_x (3) Rehabilitation of buildings and improvements when the following conditions are met:
(i) In the case of a building for residential use (with one to four units) the density is not increased
beyond four units, the land use is not changed, and the footprint of the building is not increased
in a floodplain or in a wetland;
(ii) In the case of multifamily residential buildings:
(A) Unit density is not changed more than 20%;
(B) The project does not involve changes in land use from residential to non-residential; and
(C) The estimated cost of rehabilitation is less than 75% of the estimated cost of replacement after rehabilitation
(iii) In the case of non-residential structures, including commercial, industrial, and public buildings:
(A) The facilities and improvements are in place and will not be changed in size or capacity by
more than 20%; and
(B) The activity does not involve a change in land use, such as from non-residential to residential, commercial to industrial, or from one industrial use to another.
(4) An individual action on up to four dwelling units where there is a maximum of four units on any one
site or an individual action on a project of five or more housing units developed on scattered sites
when the sites are more than 2,000 feet apart and there are not more than four units on any one site.
(5) Acquisition or disposition of, or equity loans on an existing structure, or acquisition of vacant land provided that the structure or land acquired, financed, or disposed of will be retained for the same use
PLYTHER WILL WE JURGUIC VEIGUR GERUUCH. WIGHER IN HINNINGEN OF WILL DE FOTZINGA TAFTAG COMO HEG





Signature:		Date:	
Printed Name: <u>Jamie English</u> T	itle: <u>Chairman, Taylor Cou</u>	unty Board of County Commission	<u>ers</u>

## TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

### CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

#### PROPERTY INFORMATION:

Property Address:	16481 School House Ro	16481 School House Rd. Salem, FL 32356		
Property Owner:	Christopher Davis &	Christopher Davis & Kristina Huskins		
Home Phone:	850-838-6670			
Alt Phone:	850-843-2929	850-843-2929		
Year Built:	1995	1995		
LBP/ACM	LBP Action: N/A		ACM Action: N/A	
Building Description:	Number of bedrooms:	3	Number of bathrooms:	2
Parcel ID Number:	09357-000			

Note	System	Description of Work	Location	Price	Contractor Initials
Α.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.		\$ <u>N/A</u>	
B.	SITEWORK	Rehabilitation of unit shall include: 1. Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2. Disconnect and re-connect to community water systems if required by code or specification within this document. 3. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 3. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	AII	INCLUDE IN BID LINE ITEMS	

#### THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID.

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://program.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

### PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

property. I/We also agree that	nderstand ti it there will I Code Requi	rk Write-Up consisting of <u>all liste</u> he specifications of the work to be be "NO" changes in the specification rements. Furthermore, I/We authored in this Work Write-Up.	performed on our
X	1 1	X	: 1
Property Owner's Signature	Date	Property Owner's Signature	Date
CONTRACTOR BID INFORMA  Total contractor bid for reques The proposed work shall be contracted.	ted work: \$	thin <u>120</u> Business/Working Day	/s.
-Bid-submitted-by:			
Company Name:  Authorized Signature*: X			
must be on file	eature of per	son authorized by licensee whose a	authorization

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## TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

### Warranty Rehabilitation Scope of Work and Specifications

Client:	Lessie (Cruce) Land	Date:	October 2023	
Address:	6749 S Red Padget Rd. Perry, FL 32348			

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

#### **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE: S	ilgnature required f	or acknowledgment of Notice t	o Bidding General Contractors
A STATE			
<u> </u>			
Print Name		Signature	Date
	살이 많이 아니라 하고 아니다 수 없었다.		

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	Amount
1. OPERATIONAL			
. Operational	Unit	Site	\$
he contractor shall be responsible for and provide all applic r other required local, state, or federal, documentation (To i tc.).			
a. STORAGE			
a. Storage	Unit	Site	\$
the contractor shall be responsible for procuring and provide 20 calendar days) to be placed on site during extermination to the compound of the placed on storing and replacing below.	and interior reha	abilitation prod	cesses. The
ine-item Notes:  OTE 1: Price to include keyed security lock. The homeown esponsibility for the key's location.	er shall be provi	ded with the	sole key and the
b. GENERAL REPORTING			
b. Reporting Requirements	Unit	Site	\$
the contractor shall contact, either by phone or electronic contact once per week to provide project progress updates. This eport (MER) to the project manager: Failure to contact the consecutive weeks will result in a \$50 per week credit back to the program in general. This credit shall be applied at every failure.	is shall be docur owner and/or pro o the owner's as	mented via ar rovide the ME ssistance ava	n every Monday Email ER for two (2) ilability or the SHIP
ine-item Notes:  OTE 1: Failure to place a cost for this line item will not exclequired stated therein.	ude the contract	tor from the re	esponsibility and
c. MANUALS & SPECIFICATION DOCUMENTS			
c. Manuals & Specifications	Unit	Site	\$N/A
he contractor shall supply, at the time of the final CDBG Propectification booklets/packets for all supplied and installed pomay result in a failed final CDBG Program Inspection.			
ne-item Notes:			
OTE 1: To Include all applicable Plans, Drawings, and Perr	nits, & approved	l building dep	artment docs.

#### 2. GENERAL SPECIFICATIONS

All

**Project** 

\$

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a

### STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

#### **Base Specification Notes:**

**NOTE 1:** Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

**NOTE 3:** The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was fully functional at the time of inspection. No replacement required...connect back into the existing septic infrastructure/system. The system shall be reviewed for compliance and tested for prior to reconnection.

NOTE 5: The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to reconnection.

Site clear and prep shall include the cost for removal and stump grinding of three (4) existing (front, right, & rear elevation) trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

\$

#### 3. ROOFING SPECIFICATIONS

Dwelling

Site

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system (See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; **No fasteners shall penetrate into the fascia** or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

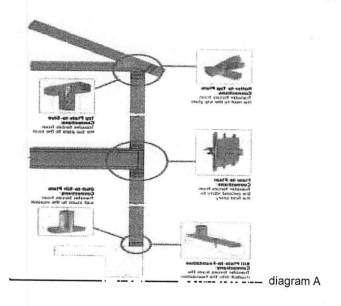
#### **Roofing Notes:**

NOTE 1: Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

**NOTE 2:** An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3: The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.



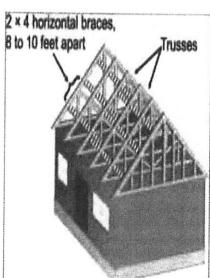


diagram B

## Description: Demo-Replacement Qty. Location Amount 4. PRIMARY E/E DOOR(S) 2-Units Site \$

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality); (Schlage lock set Product: or equal in value and quality)

#### E/E Door Notes:

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

NOTE 3: Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	¢

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

#### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

**NOTE 2:** Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction; with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

**NOTE 4:** All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particulargeographic region: (Southern Region: U<sup>1</sup>-factor </= 0.40 and SHGC<sup>2</sup> </= 0.25)

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

#### 6. ELECTRICAL SPECIFICATIONS

System

Site

\$

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

#### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

#### 6a. LIGHTING SPECIFICATIONS

System

Site

\$\_

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. Exact unit dimensions to be determined by the contracting firm. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

#### **Light Fixture Notes**:

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

NOTE 2: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

#### 6b. SMOKE/CO2 DETECTORS

As-Listed

Dwelling \$

Installation of new 110V, hardwired with battery back-up, smoke/carbon monoxide detectors in the listed locations:

Room Locations: Living Room/Hallway; Master Bedroom; Bedroom #2.

#### Smoke/CO2 Notes:

NOTE 1: Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

#### 6c. HVAC

1-System Dwelling

\$

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

#### **HVAC Notes:**

**NOTE 1:** Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

#### 7. PLUMBING SPECIFICATIONS

Dwelling

Site

\$

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

#### 7a. HOT WATER HEATER

1-Unit

Dwelling

\$

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

#### Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

NOTE 2: Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

#### 7b. EXTERIOR HOSE BIBB

1-Unit

Exterior

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

#### 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by an appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall. Owners shall be provided a minimum of three (3) Color choice options for tile.

#### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

NOTE 2: Line-item to include placement of two (2) 500lb, anchored grab bars (owner to choose location).

#### 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, *including all required hardware and components* (new rings, valves, and supply line) *to ensure completeinstallation and operational order*. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

#### **Toilet Note:**

**NOTE 1:** If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

#### 7e. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

#### Vanity Note:

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

#### 8. GENERAL INTERIOR SPECIFICATIONS

**Dwelling** 

Site

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The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

#### Interior Specification Notes:

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) Owner must be given a minimum of 3 color selections where color is not specified: Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

#### 8a. INTERIOR FLOORING-TILE

As-Listed

Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

#### Tile Flooring Notes:

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

#### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed Various

\$\_

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

#### Plank Flooring Notes:

**NOTE 1:** When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

#### 9. INTERIOR KITCHEN

As-Listed Kitchen

\$

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### Cabinet Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

#### Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

#### 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

#### Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

\$

\$

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. Exact range dimensions to be determined by contracting firm and should fit existing opening. (Recommended Product# GE or equal in value and quality) Owner to determine color.

#### Stove Notes:

Note 1: Instillation to include electrical cord and connector.

#### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

#### Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

#### **Description: Demo-Replacement**

Qty.

Location

Amount

\$

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

Dwelling

\$\_\_\_

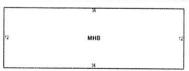
The Following items shall also be included with the new home:

- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- > (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

----- END SOW-----



----- EXISTING DWELLING FOOTPRINT





----- EXISTING DWELLING FOOTPRINT -----

### **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

Please Read

Please

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.	INCOPONSIBLE FOR PERMIT
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Print Na	me):			100	
Contractor's Signature:					
Title of signatory:					

#### "EXHIBIT A"

## TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE**: See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. <u>It is the contractor's responsibility to provide selections for the homeowner to select the colors</u> and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

#### COLORS AND STYLES TO BE LISTED IN THE GRID BELOW.

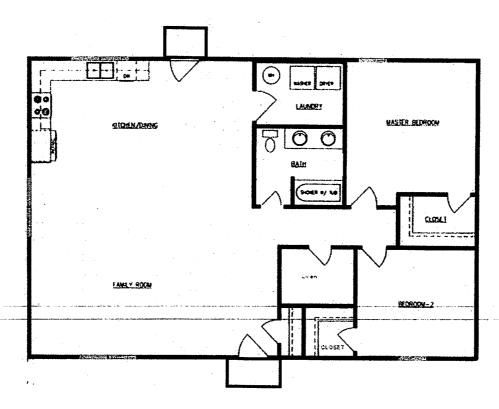
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

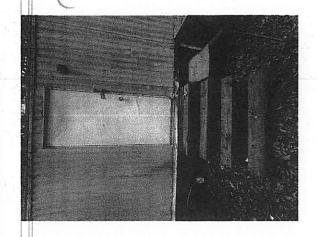
The signatures on this document confirm acknowledgment of the above listed items:

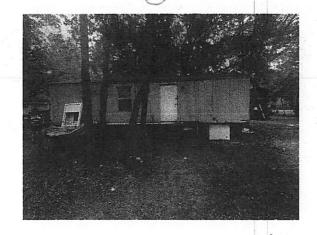
Homeowner Signature:	_ Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

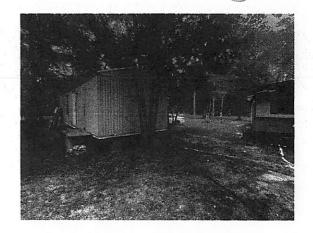
#### EXHIBIT "B".

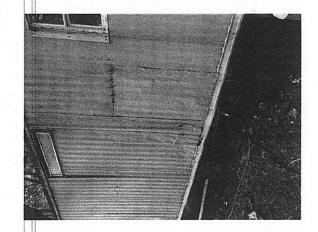


THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.

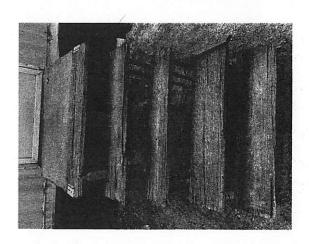








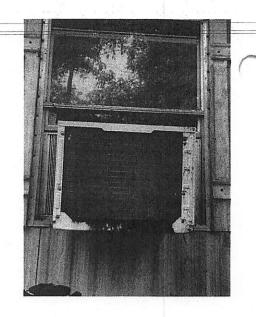














### Site Specific Environmental Review Checklist Categorically excluded housing activities as listed in the unspecified site strategy

	Project Addre	ss (include city & zip code): 2780 Kelly Grade, Perry, FL 32348
		Person Inspecting Project Site: Evens
	RE approval s	signature:
	Date Review	Completed: Grant Number: 22DB-OP-03-72-01-H05
	If there are mo	ore that 4 new construction units together, this form cannot be used. Refer to 24 CFR Part
	Broad Review	cific Review checklist contains only the items that <u>could not</u> document compliance on the v per 24 CFR Part 58.15. Include the projects scope of work and corresponding ted to the project.
	Estimated cos	st of the project? (Include all funding sources): \$230,000
		_ 0 to 39.9% market value of the structure
		_ 40 to 49.9% market value of the structure
		_ 50 to 74.9% market value of the structure
	$\checkmark$	_ 75%+ (and above) market value of the structure
	*Note: When the structures for each unit.	rehabilitation and/or replacement costs meet or exceed 50% (substantial improvement) of market value, a Statutory Worksheet (with supporting documentation) must be completed
* .	1. Histor	ical Preservation: (36 CFR Part 800)
	a.	Is the structure, located on the project site or structures adjacent to the project, more than 50 years old? YES NO [Attach a copy of the property appraiser's report(s)]
		age of structure on project site
		vacant age of structure on adjacent site
		vacant age of structure on adjacent site
	b. c.	Is the project located in a historic district? YES NO Will the project site have the potential to contain archeological properties?
		YESV NO
		If Yes to question (a) through (c), contact the Florida Department of State, State Historic Preservation Office (SHPO). Allow 30 days from receipt of the request for comments. Attach photocopies of all correspondence. Document the review if no response is received.

)	d.	Will the project require soil to be disturbed?YESNO If Yes to question (c) and/or (d), contact the appropriate Native American Indian Tribe(s) listed in the Tribal Directory Assessment Tool version 2.3 (https://egis.hud.gov.tdat/) Provide photocopies of all correspondence (included letters, emails, delivery receipts and other relevant information).
	e.	Have the Alabama Coushatta Tribe of Texas been provided with the following:
÷ ,,		i. A Copy of the Scope of Work YES NO
		ii. Aerial photos of the project site  YES NO
	f.	
	2. <u>Fl</u>	oodplain Management: (Executive Order 11988 and 24 CFR Part 55)
	a.	According to FEMA's Flood Insurance Rate Map (FIRM) is the project located in a:
	,	100-year floodplain? YESNO
· .		500-year floodplain? YESNO
		*Attach a photocopy of the most recent FIRM map (https://msc.fema.gov/portal/home) and include the project location.
	b.	If Yes to (a), was the decision making (8-step) process completed during the Unspecified Site Strategy? YES NO
		If Yes, proceed to #3. If No, continue below.
	C.	Is the project exempt from the decision making (8-step) process per 24 CFR 55 12 (a) or (b)? YES NO
		If Yes, state the CFR regulation
		If No, the decision making process is required for individual housing projects for one-to- four family properties or structures involving new construction of substantial improvements [see 24 CFR Part 55.2 (b)(10)]
•		*Provide a copy of the flood insurance policy for projects located within the floodplain [see 24 CFR 58.6 (a) and (b)]. For demolition/replacements, provide a copy of the flood insurance for the new structure.
	3. <u>W</u>	etlands: (Executive Order 11990 and 24 CFR Part 55)
	a.	Is the project located in a wetland?YESNO
· · · · · · · · · · · · · · · · · · ·		*Refer to the U.S. Fish and Wildlife Service National Wetland Inventory website at: <a href="https://www.fws.gov/wetlands/">https://www.fws.gov/wetlands/</a> .
		*Attach a photocopy of the wetlands map with the project location.
j		If No to (a.), proceed to #4. If Yes, continue below.
		2

	b.	Will the project meet an exception listed in 24 CFR 55.12(a) or (b)?  YESNO
ı		If Yes, complete the decision-making process under 24 CFR 55.20.
		**The restriction regarding the expansion and/or rehabilitation of a one-to-four family structure was removed effective December 15, 2013.
		<u>se</u> : (24 CFR part 51) y complete questions (a) and (b) for housing Disaster Recovery projects.
	<b>a.</b>	Will the project utilize funds from a Disaster Recovery Grant?YESNO✓_N/A
		If No, proceed to (c) below. Noise requirements are not applicable to any action or emergency assistance for actions under Disaster Recovery grants as described in 24 CFR Part 51.101(a)(3).
<del>.</del>	<b>b.</b>	Will the project involve the use of additional funding sources other than the Disaster Recovery grant?YESNO
		If Yes, provide funding source(s) in the scope of work and continue below.
<b>\</b>	c.	Will the project involve rehabilitation?YESNO
,		If Yes, noise is to be considered. Continue to (d) below.
		Will the project involve "new" construction?YESNO
		If Yes, complete the questions in (d) below. Mitigation is required for projects exceeding the average day night noise level of 65 decibels (dB).
	d.	Is a Highway within 1,000 feet of the project?
•		Is a Railroad within 3,000 feet of the project?
		Is a civilian airport within 5 miles of the project?
		Is a Military airport within 15 miles of the project?  YES VO
		If Yes to (d) above, complete a noise assessment using the Day/Night noise Level Calculator: https://www.hudexchange.info/resource/2830/day-night-noise-level-assessment-tool/
• .		<b>Note</b> : Noise assessments should include the following documentation: FDOT daily traffic map; railroad information; airport noise contour map; airport noise worksheet; and one or both of the following:
•		*Rehabilitation with noise above 65 dB: Completion of the Sound Transmission Classification Assessment Tool at: https://www.hudexchange.info/stracat/

\*New construction with noise above 65 dB. Mitigation is required for projects exceeding the average day night noise level of 65 dB. Complete the Barrier Performance Module at: <a href="https://www.hudexchange.info/programs/environmental-review/bpm-calculator/">https://www.hudexchange.info/programs/environmental-review/bpm-calculator/</a>.

For additional information refer to HUD's Noise Guidebook or Exchange website at: <a href="https://www.hudexchange.info/resource/313/hud-noise-guidebook/">https://www.hudexchange.info/resource/313/hud-noise-guidebook/</a>.

•	Explosive & Flammable Operations: (per 24 CFR Part 51, Subpart C)
	<ul> <li>a. For housing rehabilitation projects, will the number of individuals increase?  YES V NO  b. Is the project "new" housing construction? YES NO  c. Are there stationary above ground storage tanks (AGST) in excess of 100 gallons within a 1 mile radius of the project site that contains explosive or flammable liquids?  YES NO</li> </ul>
	If Yes, complete the Acceptable Separation Distance calculation using the Electronic Assessment Tool at <a href="https://www.hudexchange.info/environmental-review/asd-calculator/">https://www.hudexchange.info/environmental-review/asd-calculator/</a> . Refer to the Acceptable Separation Distance Guidebook for additional information.
	*A site located less than the Acceptable Separation Distance will require mitigation or it will be rejected. For example, mitigation would be required if the separation distance is 150 feet but the project site is located 125 feet. If mitigation is not obtained, the site will be rejected.
	*The review should include the ASD calculation, photos, distance to and location of each tank.
•	Hazard and Toxics:
	a. Observe the site for any evidence that a toxic material could be present on the site such as distressed vegetation, vent or fill pipes, storage tanks, pits, ponds, or lagoons, stained soil or pavement, pungent, foul or noxious odors, or past uses of the siteYESNO
	*Reject any site that has a presence of Toxics or required cleanup prior to purchasing the site.
	Use the U.S. EPA NEPAssist website <a href="http://www.epa.gov/nepa/nepassist">http://www.epa.gov/nepa/nepassist</a> to determine:
	1. Are there EPA facilities within 3,000 feet of the site?YESNO
	2. If Yes, are there Brownfields or Superfund facilities? YES NO *If Yes to # 2, contact the Florida DEP for clearance documentation.
	*Attach a photocopy of the NEPAssist report and associated ECHO reports for all EPA

facilities located within 3000 feet of the project site.

1.	b.		<u>Lead-based Paint (LBP):</u>
		1.	Was the structure built prior to 1978?YESYO
			*For the following questions, refer to the U.S. Department of Housing and Urban Development "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing" at: <a href="https://www.hud.gov/program">https://www.hud.gov/program</a> offices/healthy homes/lbp/hudguideslines and the "Lead Safe Housing Rule" under 24 CFR Parts 35, Subparts B through M.
		<b>2</b> .	Is the structure exempt from LBP testing?YESNO
		3.	Was a LBP test conducted?YESNO
			*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
			(Note: Homeowner is to be notified of test results within 15 calendar days)
		4.	Are the LPB test results positive? YES NO.
			If Yes, provide the homeowner with a copy of the Notice of Evaluation or Presumption.
		5.	Is a LBP clearance test required?YESNO
			*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
			Note: Homeowner is to be notified of test results within 15 calendar days.
)	C.		Asbestos (NESHAP):
		1.	Is the home exempt from the asbestos (NESHAP) requirements?
			YESNO *If Yes, skip to #11below.
			*Refer to U.S. EPA's Asbestos (NESHAP) requirements under 40 CFR Part 61, Subpart M and Chapter 62.257, Florida Administrative Code.
		2.	Is the home or project site, located in the vicinity of other housing projects associated with this grant?
			*See Fed. Register, Vol. 60, No. 145 dated July 28, 1995.
·		3.	Will the home require an inspection to be performed by a licensed asbestos inspector?  YESNO
			* If Yes, to #3, include a copy of the inspection report and the inspector(s) certification(s).
		4.	If an inspection was performed, is mitigation required?YESNO
ı			*If Yes to #4, include all documentation of the mitigation measures to be performed.

7. Accident Potential Zone (APZ) and Runway Protection Zone/Clear Zone (RPZ/CZ):
A. Is the project located within 15,000 feet of a military airport (APZ)?  YESNO
B. Is the project located within 2,500 feet of a civilian airport (RPZ/CZ)?  YESNO
C. If Yes to either question above, is the project located within the Accident Potential Zone (Military airport) or Runway Protection Zone/Clear Zone (Civilian airport)?  YESNO
*If Yes, continue below. If No, attached a map of the project location as it relates to the Accident Potential Zone (APZ) OR Runway Protection Zone/Clear Zone (RPZ/CZ).
For projects located within the Accident Potential Zone (APZ):
1. Will the project involve any of the following new construction, substantial rehabilitation acquisition of undeveloped land, activities that would significantly prolong the physical or economic life of existing facilities or change the use of the facility to a use that is not consistent with the recommendations of the Department of Defense (DOD)'s Land Use Compatibility Guidelines; activities that would significantly increase the density or number of people at the site; or activities that would introduce explosive, flammable, or toxic materials to the area? YES NO
*If Yes, is the project in conformance with DOD guidelines?YESNO
For projects located within the RPZ/CZ:
Will the project involve facilities that will be frequently used or occupied by people?  YESNO
*If No, include written assurance from the airport operator that there are no plans to purchase the land as part of a RPZ/CZ program and continue to #8.
*If Yes, was a signed copy of the <u>Notice to Prospective Buyers</u> to inform of potential hazards from airplane accidents as well as the potential for the property to be purchased as part of an <u>airport</u> expansion project in accordance with 24 CFR 51.303(a)(3) provided?  YES  NO

		*If Yes, to (A) above, was a written documentation obtained from the airport operator assuring the project site would not be acquired or purchased in the future as part of a clear zone acquisition program? Yes No
		2. Does the project involve new construction, substantial rehabilitation, acquisition of undeveloped land, or activities that would significantly prolong the physical or economic life of existing facilities that will be frequently used or occupied by people? YESNO
		(If Yes, the site should be rejected <u>unless it will not</u> be frequented by people and/or is approved by the airport operator).
	8.	Endangered Species Act:
		Use the Florida Fish and Wildlife Conservation Commission (FFWCC) Eagle Nest Locator website ( <a href="http://myfwc.com/wildlifehabitats/managed/bald-eagle/">http://myfwc.com/wildlifehabitats/managed/bald-eagle/</a> ), to check for Bald Eagles nest within a one mile radius of the project location. Include a copy of the Bald Eagle nest data search results, clearance documentation and permit(s) as required.
		A. Was a clearance received from the U.S. Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) website? YES NO
)		<ul> <li>B. Was a bald eagle nest(s) located:</li> <li>1. During a visual inspection within one mile of the project?YESNO</li> </ul>
		2. On the FFWCC website within one mile radius of the project site? YESNO
		3. Within 660 feet of the project location?YESNO
		*If Yes, will the proposed activity occur during the nesting season (October 1 through May 15?NO
		*If Yes, contact the FFWCC at <a href="http://mvfwc.com/license/wildlife/protected-wildlife/eagle-permits/">http://mvfwc.com/license/wildlife/protected-wildlife/eagle-permits/</a> . Include clearance documentation and a copy of all permits (if required).
	9.	Coastal Barrier Resource Act:
		Use the U.S. Fish and Wildlife Service Coastal Barrier Resource System Mapper website at <a href="http://www.fws.gov/cbra/maps/mapper.html">http://www.fws.gov/cbra/maps/mapper.html</a> .
		A. Is the project located in a Coastal Barrier Resource System?YESNO
		*Provide the projects location on the Costal Barrier Resource System map.

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in the second of 
		*If Yes, cancel the project and consult with the FWS. Federal assistance for most activities may not be used in this location.
		B. If consultation occurred with the FWS, was approval given? YESNONA
		*Provide a copy of all consultation documents. If not approved, the project may not proceed at this location.
	10.	Inspections:
		A. Septic Tank Inspection:
		<ul> <li>Was a septic tank and drain field inspection performed? YESNO</li> <li>*If yes, include a copy of the inspection.</li> </ul>
		2. Will the inspection require the septic system to be replaced?  YES - NO
		*If Yes to #2, provide a copy of the clearance inspection report. A clearance must be received prior to closure of the project.
		B. Wood Destroying Organism (WDO) inspection:
$\bigcirc$		1. Will a WDO inspection be required?YESNO
		*If Yes, include a copy of the WDO inspection and/or clearance report.
		Note: If work was performed, provide a copy of the clearance report.
	11.	Disaster Recovery Project (Only):
		A. Has a duplication of benefits been performed and cleared for the following:
		FEMA:YESNO
		Insurance: YES NO
		Other:YESNO
		*If Yes to the above, include a copy of the Duplication of Benefits (DOB) information and/or a clearance report.



### STATUTORY WORKSHEET 24 CFR §58.5 STATUTES, EXECUTIVE ORDERS & REGULATIONS

Suggested Format for Categorically Excluded Projects subject to §58.5. NOTE: Compliance with the laws and statutes listed at 24 CFR §58.6 must also be documented.

Project Name: 2780 Kelly Grade Road, Salem, FL 32356 Project Contract Number: 22DB-OP-03-72-01-H05

**Project Description:** Include all contemplated actions that logically are either geographically or functionally part of the project: <u>Demolition/reconstruction of a single-family, owner-occupied home.</u>

This proposal is determined to be: <u>Categorically Excluded Subject to 58.5</u>

According to: [Cite Section(s)]: CFR 24 Section 58.35 (a)(3)(i)

DIRECTIONS: Write "A" in the Status Column when the proposal, by its scope and nature, does not affect the resources under consideration; or write "B" if the project triggers formal compliance consultation procedures with the oversight agency, or requires mitigation (see Statutory Worksheet Instructions). Compliance documentation must contain verifiable source documents and relevant base data.

#### **Compliance Factors:**

STATUTES, EXECUTVE ORDERS AND	
<b>REGULATIONS LISTED AT 24 CFR 58.5</b>	A/B

### COMPLIANCE DETERMINATION AND DOCUMENTATION

	, · · · ·	
		The project will have no effect on historic properties.
		The home was built in 1991 and is not greater than
HISTORIC PRESERVATION	]	50 years old. Consultation was sought from the
36 CFR Part 800	Α	Alabama Coushatta Tribe. No response was received.
		The project will have no effect on the floodplain. This
Į.		project is for the demolition/reconstruction of a
FLOODPLAIN MANAGEMENT		single-family home that is not located within the
24 CFR Part 55 & Executive Order 11988	Α	floodplain. See enclosed FEMA FIRM map.
	]	The project will have no effect on the wetlands and is
WETLAND PROTECTION		not located within a wetland area. See enclosed
Executive Order 11990	Α	description of work and wetlands map.
COASTAL ZONE MANAGEMENT ACT		This item was cleared under the Taylor County Broad
SECTIONS 307 (c) & (d)	Α	Review.
SOLE SOURCE AQUIFERS		This item was cleared under the Taylor County Broad
40 CFR Part 149	Α	Review.
		The project is for the demolition/reconstruction of
		an existing single-family residential home. No effect
		to threatened species or endangered species is
ENDANDERED SPECIES ACT		anticipated. See enclosed eagle nest search, IPaC
50 CFR 402	A	determination.
WILD AND SCENIC RIVERS ACT		This item was cleared under the Taylor County Broad
Sections 7(b) & (c)	Α	Review.
CLEAN AIR ACT		This item was cleared under the Taylor County Broad
Sections 176(c)(d) & 40 CFR 6, 51, 93	Α	Review.
FARMLAND PROTECTION POLICY ACT		This item was cleared under the Taylor County Broad
7 CFR Part 658	A	Review.



ENVIRONMENTAL JUSTICE Executive Order 12898	A	The project will not be affected by environmental conditions and will be assisting a low-income family by the demolition/reconstruction of their single-family home. See project description.
NOISE ABATEMENT & CONTROL 24 CFR Part 51B	A	The project is not within 1,000 feet of a highway, 3,000 feet of a railroad, or 15 miles from a military airport. The project is within 5 miles of a civilian airport but will not be affected by airport noise. See attached maps.
EXPLOSIVE & FLAMMABLE OPERATIONS 24 CFR Part 51C	A	This project is for demolition/reconstruction of a single-family home that will not involve an increase residential densities or conversion. See the Scope of Work.
HAZARDOUS, TOXIC OR RADIOACTIVE MATERIALS & SUBSTANCES 24 CFR 58.5(i)(2)(i)	Α	There were no hazardous, toxic or radioactive materials & substances noted during the field inspection, none were noted on the NEPAssist site. See NEPA assist report, facility reports.
AIRPORT CLEAR ZONES  & ACCIDENT POTENTIAL ZONES  24 CFR Part 51D	A	The project is not located within 15,000 feet of a military (APZ) airport or within 2,500 feet of a civilian airport (RPZ/CZ).

#### **Determination:**

$\bigcirc$	х	This project converts to Exempt, per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license (Status "A" has been determined in the status column for all authorities); Funds may be committed and drawn down for this (now) EXEMPT project; or
		This project cannot convert to Exempt status because one or more statutes or authorities require formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain Authority to Use Grant Funds (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down funds; or
		The unusual circumstances of this project may/will result in a significant environmental impact. This project requires preparation of an Environmental Assessment (EA). Prepare the EA according to 24 CFR Part 58 Subpart E.
4	PREPARE	mi Evans R SIGNATURE
		ns, Grants Coordinator, Taylor County R NAME & TITLE
i	1/2	9/24



# RESPONSIBLE ENTITY/AGENCY OFFICIAL SIGNATURE Jamie English, Chairman, Taylor County Board of County Commissioners NAME & TITLE DATE

DATE
DOCUMENTATION OF COMPLIANCE with
24 CFR Part 58.6 (a - d)
<u>Use this form for all levels of review</u>
Grant Recipient: Taylor County Contract Number: 22DB-OP-03-72-01-H05
Prepared By: J. Corbett Alday Date: 1/16/2024
Flood Insurance:
X The site is <u>not</u> in the 100 year floodplain (see attached map)
The site is in the 100 year floodplain (see attached map)
Flood Insurance is required for structures in the 100 year floodplain
A. Flood Insurance when the site is in the 100 year floodplain:
1. Under the flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128), Federal financial assistance
or acquisition and construction purposes (including rehabilitation) may not be used in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards, unless:
i. The community in which the area is situated is participating in the National Flood Insurance Program (see 44
CDR Parts 59 through 79), or less than one year has passed since the FEMA notification regarding such hazards, and
ii. Where the community is participating in the National Flood Insurance Program, flood insurance protection is to be obtained as a condition of the approval of financial assistance to the property owner.
2. Where the community is participating in the National Flood Insurance Program and the recipient provided
financial assistance for acquisition or construction purposes (including rehabilitation) for property located in an
area identified by FEMA as having special flood hazards, the responsible entity is responsible for assuring that flood insurance under the National Flood Insurance Program is obtained and maintained.
3. Paragraph (a) of this section does not apply to Federal Formula grants made to a State.
B. Under section 582 of the National Flood Insurance Reform Act of 1994, 42 U.S.C. 5154a, HUD Disaster
assistance that is made available in a special flood hazard area may not be used to make a payment
(including any loan assistance payment) to a person for repair, replacement or restoration for flood
damage to any personal, residential or commercial property if:
<ol> <li>The person had previously received Federal flood disaster insurance conditioned on obtaining and maintaining flood insurance; and</li> </ol>
2. The person failed to obtain and maintain flood insurance
Coastal Barrier Islands:
x The site is <u>not</u> in a Coastal Barrier Island (documentation attached)  The site is in a Coastal Barrier Island but the activity is not prohibited as indicated
LUC BLC IS III A CUASIAI DALLIEL ISIANO UIUL IRP ACTIVITY IS ROT DECONDITOR AS INGICATAG

The site is in a Coastal Barrier Island and the activity is prohibited as indicated at:

at: http://www.fws.gov/



#### http://www.fws.gov/; the project must be rejected.

Pursuant to the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 (16 U.S.C. 3501), HUD assistance may not be used for most activities proposed in the Coastal Barrier Resources System.

<u>Clear Zones</u> :
x The site is <u>not</u> in the Clear Zone (documentation attached)
The site is in the Clear Zone (signed acknowledgement attached)
In all cases involving HUD assistance, subsidy, or insurance for the sale of an existing property in a Runway Clear Zone or Clear Zone, as defined in 24 CFR Part 51, the responsible entity shall advise that the property is in a runway clear zone or
clear zone, what the implications of such a location are, and that there is a possibility that the property may, at a later
date be acquired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
CERTIFICATION OF CATEGORICAL EXCLUSION
(Subject to 58.5) Per 24 CFR 58.35 (a)
(compared to the contract of t
Contract Number: 22DB-OP-03-72-01-H05
I hereby certify that the following activities comprising the 2780 Kelly Grade, Perry, FL 32348 project have been
reviewed and determined to be Categorical Excluded Activity per 24 CFR 58.35(a) as follows:
(1) Acquisition, repair, improvement, reconstruction, or rehabilitation of public facilities and
improvements (other than buildings) when the facilities and improvements are in place and will be
retained in the same use without change in size or capacity of more than 20% (e.g. replacement of
water or sewer lines, reconstruction of curb and sidewalks, repaving of streets).
(2) Special projects directed to the removal of material and architectural barriers that restrict the mobility
of and accessibility to elderly and handicapped persons.
_x (3) Rehabilitation of buildings and improvements when the following conditions are met:
(i) In the case of a building for residential use (with one to four units) the density is not increased
beyond four units, the land use is not changed, and the footprint of the building is not increased
in a floodplain or in a wetland;
(ii) In the case of multifamily residential buildings:
(A) Unit density is not changed more than 20%;
(B) The project does not involve changes in land use from residential to non-residential; and
(C) The estimated cost of rehabilitation is less than 75% of the estimated cost of replacement after rehabilitation
(iii) In the case of non-residential structures, including commercial, industrial, and public buildings:
(A) The facilities and improvements are in place and will not be changed in size or capacity by
more than 20%; and
(B) The activity does not involve a change in land use, such as from non-residential to residential,
commercial to industrial, or from one industrial use to another.
(4) An individual action on up to four dwelling units where there is a maximum of four units on any one
site or an individual action on a project of five or more housing units developed on scattered sites
when the sites are more than 2,000 feet apart and there are not more than four units on any one site.
(5) Acquisition or disposition of, or equity loans on an existing structure, or acquisition of vacant land
provided that the structure or land acquired, financed, or disposed of will be retained for the same use.



Signature:	Date:
Printed Name: Jamie English	Title: Chairman, Taylor County Board of County Commission

### TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

#### CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

#### PROPERTY INFORMATION:

Property Address:	2780 Kelly Gr. Perry, Fl	_ 32	348	
Property Owner:	Joy Tuten		30	
Home Phone:	229-672-7497			
Alt Phone:	N/A			
Year Built:	1991			
LBP/ACM	LBP Action: N/A		ACM Action: N/A	
Building Description:	Number of bedrooms:	2	Number of bathrooms:	2
Parcel ID Number:	08696-500			

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	1144	\$N/A	
B.	SITEWORK	Rehabilitation of unit shall include: 1. Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2. Disconnect and re-connect to community water systems if required by code or specification within this document. 3. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 4. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

#### THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://program.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	·
Contractor's Phone Number:	Contractor's Email:

#### PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and u property. I/We also agree that	nderstand t at there will Code Requi	rk Write-Up consisting of <u>all list</u> he specifications of the work to be be "NO" changes in the specification in this Work Write Lip	e performed ions unless n
X_ Property Owner's Signature	1 1	XProperty Owner's Signature	/ / Date
CONTRACTOR BID INFORMA	TION		
Total contractor bid for reques	sted work: \$	ithin <u>120</u> Business/Working Da	ays.
Total contractor bid for reques The proposed work shall be c Bid submitted by:	sted work: \$		ays.
Total contractor bid for reques The proposed work shall be c  Bid submitted by: Company Name:  Authorized Signature*: X	sted work: \$		ays.

### TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

#### Warranty Rehabilitation Scope of Work and Specifications

Client:	Joy Tuten	Date:	October 2023
Address:	2780 Kelly Grade. Perry, FL 32348		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

#### **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE	: Signature required t	or acknowledgment	of Notice to Bidding Ge	neral Contractors
A Tight Size of the			병원으로 시간한 인생활성이	
In the second		Cian	ature	Date
Print Name		Olgii	ature	Date

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	Amount
1. OPERATIONAL			
1. Operational	Unit	Site	\$
The contractor shall be responsible for and provide all applications or other required local, state, or federal, documentation (To includetc.).	s, permits, p e all applica	olans, drawings	, product approvals, Surveys, A&E,
1a. STORAGE			
1a. Storage	Unit	Site	\$
The contractor shall be responsible for procuring and providing ar 120 calendar days) to be placed on site during extermination and in homeowner shall be responsible for storing and replacing belonging	nterior rehab	ilitation proces	ses. The
<u>Line-item Notes:</u>			
<b>NOTE 1:</b> Price to include keyed security lock. The homeowner sharesponsibility for the key's location.	all be provid	ed with the sole	e key and the
1b. GENERAL REPORTING			
1b. Reporting Requirements	Unit	Site	\$
The contractor shall contact, either by phone or electronic communication once per week to provide project progress updates. This shall Report (MER) to the project manager: Failure to contact the owner consecutive weeks will result in a \$50 per week credit back to the program in general. This credit shall be applied at every failure of or	I be docume and/or pro owner's ass	ented via an ev vide the MER f istance availab	very Monday Email for two (2)
Line-item Notes:			
NOTE 1: Failure to place a cost for this line item will not exclude the required stated therein.	e contracto	r from the respo	onsibility and
1c. MANUALS & SPECIFICATION DOCUMENTS			
1c. Manuals & Specifications	Unit	Site	\$N/A
The contractor shall supply, at the time of the final CDBG Program specification booklets/packets for all supplied and installed product so may result in a failed final CDBG Program Inspection.	inspection, s listed with	all manufacture in the Scope of	er manuals and Work. Failure to do
Line-item Notes:			
NOTE 1: To Include all applicable Plans, Drawings, and Permits, &	approved b	uilding departm	nent docs.

#### 2. GENERAL SPECIFICATIONS

All Project

\$

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a comparable spot on the existing lot.

#### STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

#### **Base Specification Notes:**

NOTE 1: Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was fully functional at the time of inspection. No replacement required...connect back into the existing septic infrastructure/system. The system shall be reviewed for compliance and tested for prior to reconnection.

NOTE 5: The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to reconnection.

NOTE 6 Site clear and prep does not require the removal of any existing trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

#### 3. ROOFING SPECIFICATIONS

**Dwelling** 

Site

\$

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

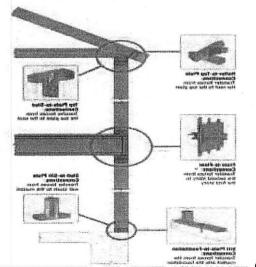
#### **Roofing Notes:**

NOTE 1: Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3: The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

**NOTE 4.** A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.





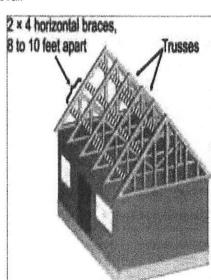


diagram B

### Description: Demo-Replacement Qty. Location Amount 4. PRIMARY E/E DOOR(S) 2-Units Site \$

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality)
;( Schlage lock set Product: or equal in value and quality)

#### E/E Door Notes:

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

**NOTE 3:** Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	\$

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

#### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

NOTE 2: Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

NOTE 4: All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

### Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

#### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

6a. LIGHTING SPECIFICATIONS	System	Site	\$
-----------------------------	--------	------	----

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. *Exact unit dimensions to be determined by the contracting firm*. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

#### **Light Fixture Notes**

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

NOTE 2: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

6b. SMOKE/CO2 DETECTORS	As-Listed Dwelling \$
nstallation of new 110V. hardwired with battery back-up	p, smoke/carbon monoxide detectors in the listed locations:
, , , , , , , , , , , , , , , , , , , ,	Promote de la constante de la

#### Smoke/CO2 Notes:

NOTE 1: Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

#### 6c. HVAC

1-System Dwelling

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

#### **HVAC Notes:**

NOTE 1: Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW. Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): www.acca.org/quality

Description: Demo-Replacement	Qty.	Locatio	n Amount	
7. PLUMBING SPECIFICATIONS	Dwelling	Site	\$	

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

#### 7a. HOT WATER HEATER

1-Unit

Dwelling

\$

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

#### Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

**NOTE 2:** Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

#### 7b. EXTERIOR HOSE BIBB

1-Unit

Exterior

\$

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

#### 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall.Owner's shall be provided a minimum of three (3) Color choice options for tile.

#### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

NOTE 2: Line-item to include placement of two (2) 500lb, anchored grab bars (owner to choose location).

#### 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

#### Toilet Note:

NOTE 1 If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

#### 7e. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

#### Vanity Note:

NOTE 1: When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: Bathroom Faucets: Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

#### **Description: Demo-Replacement**

Ofv

Location

Amount

\$

#### 8. GENERAL INTERIOR SPECIFICATIONS

Dwelling

Site

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

#### **Interior Specification Notes:**

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) Owner must be given a minimum of 3 color selections where color is not specified: Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

#### 8a. INTERIOR FLOORING-TILE

As-Listed

Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

#### **Tile Flooring Notes:**

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

#### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed Various

IS

\$

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

#### **Plank Flooring Notes:**

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

### Description: Demo-Replacement Qty. Location Amount 9. INTERIOR KITCHEN As-Listed Kitchen \$\_\_\_\_\_\_

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### **Cabinet Notes:**

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

#### **Cabinet Requirements:**

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

#### 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

#### **Refrigerator Notes:**

Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

\$\_

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. *Exact range dimensions to be determined by contracting firm and should fit existing opening*. (Recommended Product# GE or equal in value and quality) *Owner to determine color*.

#### **Stove Notes:**

Instillation to include electrical cord and connector.

#### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

#### **Range Hood Notes:**

Instillation to include electrical cord and connector.

#### Description: Demo-Replacement

Qty.

Location

Amount

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

**Dwelling** 

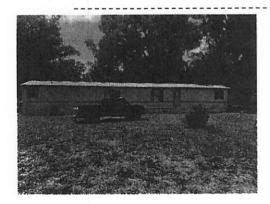
\$

The Following items shall also be included with the new home:

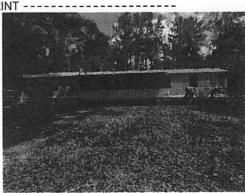
- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- > (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- > Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

----- END SOW-----

----- EXISTING DWELLING FOOTPRINT -----



10	PTO	10 10	USP	10	
_	30		24	*	
14			M	нв	14
				•	



----- EXISTING DWELLING FOOTPRINT ------

#### **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$\_

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

Please

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1. ,
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Print Name):			
Contractor's Signature:			
Title of signatory:	talkering at the care of		

#### "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

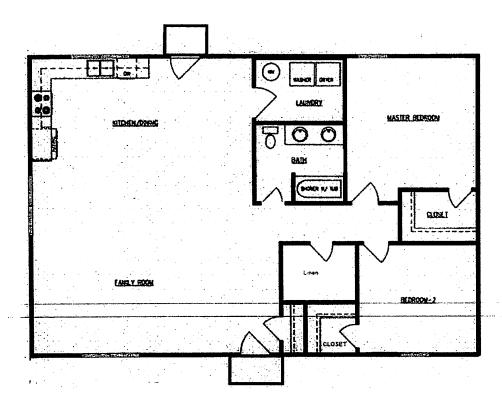
ITEM LOCATION	ITEM PRODUCT	ITEM STYLE CODE	ITEM COLOR CODE

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

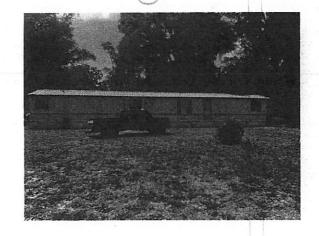
Homeowner Signature:	Date:_
Contractor Signature:	Date:
Housing Inspector Signature:	Date:

#### **EXHIBIT "B".**



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.





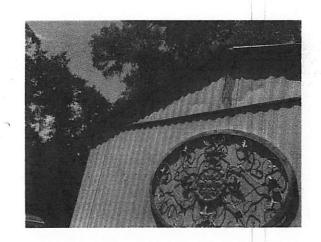


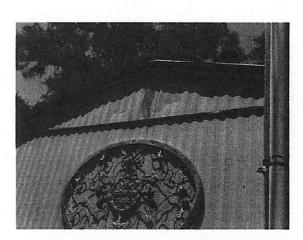


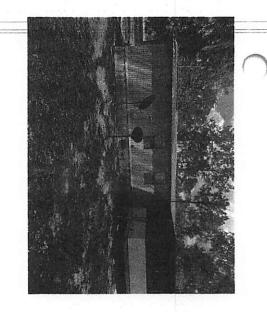
2780 KELLY GRADE
PERRY, FL 32348
DEMOLITION/
RECONSTRUCTION PROJECT

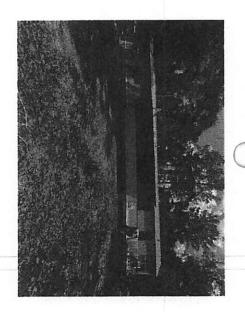














# Site Specific Environmental Review Checklist Categorically excluded housing activities as listed in the unspecified site strategy

	Project Addre	ess (include city & zip code):	12939 US 19 N, Greenville, FL 32331
	Signature of F	Person Inspecting Project S	ite. Jami Evans
	RE approval :	signature:	
	Date Review	Completed:	Grant Number: 22DB-OP-03-72-01-H05
	If there are m 58.35(a)(4).	ore that 4 new construction	units together, this form cannot be used. Refer to 24 CFR Part
	Broad Revieu		nins only the items that <u>could not</u> document compliance on the <b>Include the projects scope of work and corresponding</b>
	Estimated co	st of the project? (Include a	Il funding sources): \$80,000
		_ 0 to 39.9% market value	of the structure
		40 to 49.9% market value	e of the structure
		50 to 74.9% market value	e of the structure
)	$\checkmark$	 75%+ (and above) marke	et value of the structure
		•	ement costs meet or exceed 50% (substantial improvement) of Worksheet (with supporting documentation) must be completed
	1. Histo	rical Preservation: (36 CFI	R Part 800)
	a.	Is the structure, located or 50 years old? YES	the project site or structures adjacent to the project, more than NO [Attach a copy of the property appraiser's report(s)]
		73 age of structure o	n project site
		76 age of structure of	n adjacent site
		vacant age of structure o	n adjacent site
	b.	Is the project located in a	historic district? YES VO
	C.	Will the project site have to	he potential to contain archeological properties?
		YESVO	
ر		Preservation Office (SHPC	ugh (c), contact the Florida Department of State, State Historic D). Allow 30 days from receipt of the request for comments. correspondence. Document the review if no response is

	d.	Will the project require soil to be disturbed?YESNO  If Yes to question (c) and/or (d), contact the appropriate Native American Indian Tribe(s)  listed in the Tribal Directory Assessment Tool version 2.3 ( <a href="https://egis.hud.gov.tdat/">https://egis.hud.gov.tdat/</a> )  Provide photocopies of all correspondence (included letters, emails, delivery receipts and other relevant information).
	e.	Have the Alabama Coushatta Tribe of Texas been provided with the following:
		i. A Copy of the Scope of Work YES NO
		ii. Aerial photos of the project site YES NO
	f.	Was a response received from the Alabama Coushatta Tribe of Texas? YES NO
	2. <u>Floo</u>	dplain Management: (Executive Order 11988 and 24 CFR Part 55)
	a.	According to FEMA's Flood Insurance Rate Map (FIRM) is the project located in a:
		100-year floodplain? YESV NO
		500-year floodplain? YESNO
		*Attach a photocopy of the most recent FIRM map (https://msc.fema.gov/portal/home) and include the project location.
	b.	If Yes to (a), was the decision making (8-step) process completed during the Unspecified Site Strategy? YES NO
		If Yes, proceed to #3. If No, continue below.
	C.	Is the project exempt from the decision making (8-step) process per 24 CFR 55 12 (a) or (b)? YES NO
		If Yes, state the CFR regulation
		If No, the decision making process is required for individual housing projects for one-to- four family properties or structures involving new construction of substantial improvements [see 24 CFR Part 55.2 (b)(10)]
		*Provide a copy of the flood insurance policy for projects located within the floodplain [see 24 CFR 58.6 (a) and (b)]. For demolition/replacements, provide a copy of the flood insurance for the new structure.
	3. Wetla	ands: (Executive Order 11990 and 24 CFR Part 55)
	a.	Is the project located in a wetland?YESNO
		*Refer to the U.S. Fish and Wildlife Service National Wetland Inventory website at: <a href="https://www.fws.gov/wetlands/">https://www.fws.gov/wetlands/</a> .
		*Attach a photocopy of the wetlands map with the project location.
ŀ		If No to (a.), proceed to #4. If Yes, continue below.
		2

)	b.	Will the project meet an exception listed in 24 CFR 55.12(a) or (b)?  YESNO
		If Yes, complete the decision-making process under 24 CFR 55.20.
		**The restriction regarding the expansion and/or rehabilitation of a one-to-four family structure was removed effective December 15, 2013.
		ise: (24 CFR part 51)
	On	ly complete questions (a) and (b) for housing Disaster Recovery projects.
	a.	Will the project utilize funds from a Disaster Recovery Grant?  YESNOV_N/A
		If No, proceed to (c) below. Noise requirements are not applicable to any action or emergency assistance for actions under Disaster Recovery grants as described in 24 CFR Part 51.101(a)(3).
	<b>b.</b>	Will the project involve the use of additional funding sources other than the Disaster Recovery grant?YESNO
		If Yes, provide funding source(s) in the scope of work and continue below.
١	c.	Will the project involve rehabilitation? YES NO
)		If Yes, noise is to be considered. Continue to (d) below.
		Will the project involve "new" construction?YESNO
		If Yes, complete the questions in (d) below. Mitigation is required for projects exceeding the average day night noise level of 65 decibels (dB).
	d.	Is a Highway within 1,000 feet of the project?
		Is a Railroad within 3,000 feet of the project?
		Is a civilian airport within 5 miles of the project?
		Is a Military airport within 15 miles of the project?  YES
		If Yes to (d) above, complete a noise assessment using the Day/Night noise Level Calculator: https://www.hudexchange.info/resource/2830/day-night-noise-level-assessment-tool/
		<b>Note</b> : Noise assessments should include the following documentation: FDOT daily traffic map; railroad information; airport noise contour map; airport noise worksheet; and one or both of the following:
		*Rehabilitation with noise above 65 dB: Completion of the Sound Transmission Classification Assessment Tool at: <a href="https://www.hudexchange.info/stracat/">https://www.hudexchange.info/stracat/</a> .

\*New construction with noise above 65 dB. Mitigation is required for projects exceeding the average day night noise level of 65 dB. Complete the Barrier Performance Module at: <a href="https://www.hudexchange.info/programs/environmental-review/bpm-calculator/">https://www.hudexchange.info/programs/environmental-review/bpm-calculator/</a>.

For additional information refer to HUD's Noise Guidebook or Exchange website at: <a href="https://www.hudexchange.info/resource/313/hud-noise-guidebook/">https://www.hudexchange.info/resource/313/hud-noise-guidebook/</a>.

5.	Explosive & Flammable Operations: (per 24 CFR Part 51, Subpart C)
	<ul> <li>a. For housing rehabilitation projects, will the number of individuals increase?  YES V NO  Is the project "new" housing construction?  YES NO  Are there stationary above ground storage tanks (AGST) in excess of 100 gallons within a 1 mile radius of the project site that contains explosive or flammable liquids?  YES NO</li> </ul>
	If Yes, complete the Acceptable Separation Distance calculation using the Electronic Assessment Tool at <a href="https://www.hudexchange.info/environmental-review/asd-calculator/Refer">https://www.hudexchange.info/environmental-review/asd-calculator/Refer to the Acceptable Separation Distance Guidebook for additional information.</a>
	*A site located less than the Acceptable Separation Distance will require mitigation or it will be rejected. For example, mitigation would be required if the separation distance is 150 feet but the project site is located 125 feet. If mitigation is not obtained, the site will be rejected.
	*The review should include the ASD calculation, photos, distance to and location of each tank.
6.	Hazard and Toxics:
	a. Observe the site for any evidence that a toxic material could be present on the site such as distressed vegetation, vent or fill pipes, storage tanks, pits, ponds, or lagoons, stained soil or pavement, pungent, foul or noxious odors, or past uses of the site.   YESNO
	*Reject any site that has a presence of Toxics or required cleanup prior to purchasing the site.
	Use the U.S. EPA NEPAssist website <a href="http://www.epa.gov/nepa/nepassist">http://www.epa.gov/nepa/nepassist</a> to determine:
	1. Are there EPA facilities within 3,000 feet of the site?YESNO
	2. If Yes, are there Brownfields or Superfund facilities? YES NO *If Yes to # 2, contact the Florida DEP for clearance documentation.
	*Attach a photocopy of the NEPAssist report and associated ECHO reports for all EPA

facilities located within 3000 feet of the project site.

b.		Lead-based Paint (LBP):
	1.	. Was the structure built prior to 1978?YESNO
		*For the following questions, refer to the U.S. Department of Housing and Urban Development "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing" at: <a href="https://www.hud.gov/program">https://www.hud.gov/program</a> offices/healthy homes/lbp/hudguideslines and the "Lead Safe Housing Rule" under 24 CFR Parts 35, Subparts B through M.
	2.	Is the structure exempt from LBP testing?YESYESNO
	3.	Was a LBP test conducted?YESNO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		(Note: Homeowner is to be notified of test results within 15 calendar days)
	4.	Are the LPB test results positive? YES NO.  If Yes, provide the homeowner with a copy of the Notice of Evaluation or Presumption.
	5.	Is a LBP clearance test required?YESNO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		Note: Homeowner is to be notified of test results within 15 calendar days.
c.		Asbestos (NESHAP):
	1.	Is the home exempt from the asbestos (NESHAP) requirements?  YESNO *If Yes, skip to #11below.
		*Refer to U.S. EPA's Asbestos (NESHAP) requirements under 40 CFR Part 61, Subpart M and Chapter 62.257, Florida Administrative Code.
	2.	Is the home or project site, located in the vicinity of other housing projects associated with this grant?  YESNO
		*See Fed. Register, Vol. 60, No. 145 dated July 28, 1995.
	3.	Will the home require an inspection to be performed by a licensed asbestos inspector?  YESNO
		* If Yes, to #3, include a copy of the inspection report and the inspector(s) certification(s).
	4.	If an inspection was performed, is mitigation required?YESNO
		*If Yes to #4, include all documentation of the mitigation measures to be performed.

7. Accident Potential Zone (APZ) and Runway Protection Zone/Clea	r Zone (RPZ/CZ):
A. Is the project located within 15,000 feet of a military airport (AlYESNO	°Z)?
B. Is the project located within 2,500 feet of a civilian airport (RPA)	Z/CZ)?
C. If Yes to either question above, is the project located within the (Military airport) or Runway Protection Zone/Clear Zone (Civili	
*If Yes, continue below. If No, attached a map of the project lo Accident Potential Zone (APZ) OR Runway Protection Zone/C	
For projects located within the Accident Potential Zone (APZ):	
1. Will the project involve any of the following new construction, substacquisition of undeveloped land, activities that would significantly economic life of existing facilities or change the use of the facility consistent with the recommendations of the Department of Defension Compatibility Guidelines; activities that would significantly increas people at the site; or activities that would introduce explosive, flant to the area? YES NO	prolong the physical or to a use that is not se (DOD)'s Land Use the density or number of
*If Yes, is the project in conformance with DOD guidelines?	_YESNO
For projects located within the RPZ/CZ:	
Will the project involve facilities that will be frequently used or occ     YESNO	upied by people?
*If No, include written assurance from the airport operator that the purchase the land as part of a RPZ/CZ program and continue to #	
*If Yes, was a signed copy of the <u>Notice to Prospective Buyers</u> to from airplane accidents as well as the potential for the property to an <u>airport expansion</u> project in accordance with 24 CFR 51.303(a) YES NO	be purchased as part of

}		assuring the project site would not be acquired or purchased in the future as part of a clear zone acquisition program? Yes No
		2. Does the project involve new construction, substantial rehabilitation, acquisition of undeveloped land, or activities that would significantly prolong the physical or economic life of existing facilities that will be frequently used or occupied by people? YESNO
		(If Yes, the site should be rejected <u>unless it will not</u> be frequented by people and/or is approved by the airport operator).
	8.	Endangered Species Act:
	- · · · ·	Use the Florida Fish and Wildlife Conservation Commission (FFWCC) Eagle Nest Locator website ( <a href="http://myfwc.com/wildlifehabitats/managed/bald-eagle/">http://myfwc.com/wildlifehabitats/managed/bald-eagle/</a> ), to check for Bald Eagles nest within a one mile radius of the project location. Include a copy of the Bald Eagle nest data search results, clearance documentation and permit(s) as required.
		A. Was a clearance received from the U.S. Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) website?YESNO
)		<ul> <li>B. Was a bald eagle nest(s) located:</li> <li>1. During a visual inspection within one mile of the project?YESNO</li> </ul>
		2. On the FFWCC website within one mile radius of the project site?  YES NO
		3. Within 660 feet of the project location?YESNO
		*If Yes, will the proposed activity occur during the nesting season (October 1 through May 15?YESNO
		*If Yes, contact the FFWCC at <a href="http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/">http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/</a> . Include clearance documentation and a copy of all permits (if required).
	9.	Coastal Barrier Resource Act:
		Use the U.S. Fish and Wildlife Service Coastal Barrier Resource System Mapper website at <a href="http://www.fws.gov/cbra/maps/mapper.html">http://www.fws.gov/cbra/maps/mapper.html</a> .
		A. Is the project located in a Coastal Barrier Resource System?YESNO
		*Provide the projects location on the Costal Barrier Resource System map.

		*If Yes, cancel the project and consult with the FWS. Federal assistance for most activities may not be used in this location.
		B. If consultation occurred with the FWS, was approval given?  YESNONA
		*Provide a copy of all consultation documents. If not approved, the project may not proceed at this location.
	10.	Inspections:
		A. Septic Tank Inspection:
		<ol> <li>Was a septic tank and drain field inspection performed? YESNO</li> <li>*If yes, include a copy of the inspection.</li> </ol>
<b>.</b>		2. Will the inspection require the septic system to be replaced?  YESNO
		*If Yes to #2, provide a copy of the clearance inspection report. A clearance must be received prior to closure of the project.
		B. Wood Destroying Organism (WDO) inspection:
		1. Will a WDO inspection be required? YES VES NO
منند		*If Yes, include a copy of the WDO inspection and/or clearance report.
		Note: If work was performed, provide a copy of the clearance report.
	11.	Disaster Recovery Project (Only):
		A. Has a duplication of benefits been performed and cleared for the following:
		FEMA:YESNO
		Insurance: YES NO
		Other: YES NO
		*If Yes to the above, include a copy of the Duplication of Benefits (DOB) information and/or a clearance report.

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# STATUTORY WORKSHEET 24 CFR §58.5 STATUTES, EXECUTIVE ORDERS & REGULATIONS

Suggested Format for Categorically Excluded Projects subject to §58.5. NOTE: Compliance with the laws and statutes listed at 24 CFR §58.6 must also be documented.

Project Name: 12939 US 19 N, Greenville, FL 32331 Project Contract Number: 22DB-OP-03-72-01-H05

**Project Description:** Include all contemplated actions that logically are either geographically or functionally part of the project: <u>Rehabilitation of a single-family, owner-occupied home.</u>

This proposal is determined to be: <u>Categorically Excluded Subject to 58.5</u>

According to: [Cite Section(s)]: CFR 24 Section 58.35 (a)(3)(i)

DIRECTIONS: Write "A" in the Status Column when the proposal, by its scope and nature, does not affect the resources under consideration; or write "B" if the project triggers formal compliance consultation procedures with the oversight agency, or requires mitigation (see Statutory Worksheet Instructions). Compliance documentation must contain verifiable source documents and relevant base data.

#### **Compliance Factors:**

STATUTES, EXECUTVE ORDERS AND REGULATIONS LISTED AT 24 CFR 58.5 A/B

# COMPLIANCE DETERMINATION AND DOCUMENTATION

HISTORIC PRESERVATION		The project will have no effect on historic properties. The home was built in 1950 and is greater than 50 years old. SHPO was consulted and a determination letter of no adverse effect received. Consultation was sought from the Alabama Coushatta Tribe. No
36 CFR Part 800	Α	response was received.
FLOODPLAIN MANAGEMENT 24 CFR Part 55 & Executive Order 11988	A	The project will have no effect on the floodplain. This project is for the rehabilitation of a single-family home that is not located within the floodplain. See enclosed FEMA FIRM map.
WETLAND PROTECTION Executive Order 11990	Α	The project will have no effect on the wetlands and is not located within a wetland area. See enclosed description of work and wetlands map.
COASTAL ZONE MANAGEMENT ACT SECTIONS 307 (c) & (d)	А	This item was cleared under the Taylor County Broad Review.
SOLE SOURCE AQUIFERS 40 CFR Part 149	А	This item was cleared under the Taylor County Broad Review.
ENDANDERED SPECIES ACT 50 CFR 402	A	The project is for the rehabilitation of an existing single-family residential home. No effect to threatened species or endangered species is anticipated. See enclosed eagle nest search, IPaC determination.
WILD AND SCENIC RIVERS ACT Sections 7(b) & (c)	Α	This item was cleared under the Taylor County Broad Review.



CLEAN AIR ACT Sections 176(c)(d) & 40 CFR 6, 51, 93	A	This item was cleared under the Taylor County Broad Review.
FARMLAND PROTECTION POLICY ACT 7 CFR Part 658	А	This item was cleared under the Taylor County Broad Review.
ENVIRONMENTAL JUSTICE Executive Order 12898	A	The project will not be affected by environmental conditions and will be assisting a low-income family by the rehabilitation of their single-family home. See project description.
NOISE ABATEMENT & CONTROL 24 CFR Part 51B	А	The project is not within 1,000 feet of a highway, 3,000 feet of a railroad, 5 miles of a civilian or 15 miles from a military airport. See attached maps.
EXPLOSIVE & FLAMMABLE OPERATIONS 24 CFR Part 51C	A	This project is for rehabilitation of a single-family home that will not involve an increase residential densities or conversion. See the Scope of Work.
HAZARDOUS, TOXIC OR RADIOACTIVE MATERIALS & SUBSTANCES 24 CFR 58.5(i)(2)(i)	Α	There were no hazardous, toxic or radioactive materials & substances noted during the field inspection, none were noted on the NEPAssist site. See NEPA assist report, facility reports.
AIRPORT CLEAR ZONES  & ACCIDENT POTENTIAL ZONES  24 CFR Part 51D	A	The project is not located within 15,000 feet of a military (APZ) airport or within 2,500 feet of a civilian airport (RPZ/CZ).

	<u>Determination</u> :			
	х	This project converts to Exempt, per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license (Status "A" has been determined in the status column for all authorities); Funds may be committed and drawn down for this (now) EXEMPT project; or		
		This project cannot convert to Exempt status because one or more statutes or authorities require formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain Authority to Use Grant Funds (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down funds; or		
		The unusual circumstances of this project may/will result in a significant environmental impact. This project requires preparation of an Environmental Assesssment (EA). Prepare the EA according to 24 CFR Part 58 Subpart E.		
<		mi Evana		
	PREPAREI	R SIGNATURE		
	Jami Evan	s, Grant Coordinator, Taylor County		
	PREPARE	R NAME & TITLE		



DATE RESPONSIBLE ENTITY/AGENCY OFFICIAL SIGNATURE Jamie English, Chairman, Taylor County Board of County Commissioners NAME & TITLE DATE **DOCUMENTATION OF COMPLIANCE with** 24 CFR Part 58.6 (a - d) Use this form for all levels of review Grant Recipient: Taylor County Contract Number: 22DB-OP-03-72-01-H05 Prepared By: J. Corbett Alday Date: 1/17/2024 **Flood Insurance:** The site is <u>not</u> in the 100 year floodplain (see attached map) The site is in the 100 year floodplain (see attached map) Flood Insurance is required for structures in the 100 year floodplain Flood Insurance when the site is in the 100 year floodplain: 1. Under the flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128), Federal financial assistance or acquisition and construction purposes (including rehabilitation) may not be used in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards, unless: i. The community in which the area is situated is participating in the National Flood Insurance Program (see 44 CDR Parts 59 through 79), or less than one year has passed since the FEMA notification regarding such hazards, and ii. Where the community is participating in the National Flood Insurance Program, flood insurance protection is to be obtained as a condition of the approval of financial assistance to the property owner. 2. Where the community is participating in the National Flood Insurance Program and the recipient provided financial assistance for acquisition or construction purposes (including rehabilitation) for property located in an area identified by FEMA as having special flood hazards, the responsible entity is responsible for assuring that flood insurance under the National Flood Insurance Program is obtained and maintained. Paragraph (a) of this section does not apply to Federal Formula grants made to a State. B. Under section 582 of the National Flood Insurance Reform Act of 1994, 42 U.S.C. 5154a, HUD Disaster assistance that is made available in a special flood hazard area may not be used to make a payment (including any loan assistance payment) to a person for repair, replacement or restoration for flood damage to any personal, residential or commercial property if: 1. The person had previously received Federal flood disaster insurance conditioned on obtaining and maintaining flood insurance; and 2. The person failed to obtain and maintain flood insurance **Coastal Barrier Islands:** 

The site is in a Coastal Barrier Island but the activity is not prohibited as indicated

The site is <u>not</u> in a Coastal Barrier Island (documentation attached)



at: http://www.fws.gov/
The site is in a Coastal Barrier Island and the activity is prohibited as indicated at:
http://www.fws.gov/; the project must be rejected.
Pursuant to the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 (16 U.S.C.
3501), HUD assistance may not be used for most activities proposed in the Coastal Barrier Resources System.
Clear Zones:
x The site is <u>not</u> in the Clear Zone (documentation attached)
The site is in the Clear Zone (signed acknowledgement attached)
In all cases involving HUD assistance, subsidy, or insurance for the sale of an existing property in a Runway Clear Zone or Clear Zone, as defined in 24 CFR Part 51, the responsible entity shall advise that the property is in a runway clear zone or
clear zone, what the implications of such a location are, and that there is a possibility that the property may, at a later
date be acquired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
and the second s
CERTIFICATION OF CATEGORICAL EXCLUSION
(Subject to 58.5) Per 24 CFR 58.35 (a)
(Subject to 38.5) Fel 24 CFR 38.55 (a)
Contract Number: 22DB-OP-03-72-01-H05
The make a partification of the following participates are marked as the 12020 LIC 10 N. Co., will be 120201.
I hereby certify that the following activities comprising the 12939 US 19 N, Greenville, FL 32331 project have
been reviewed and determined to be Categorical Excluded Activity per 24 CFR 58.35(a) as follows:
(1) Acquisition, repair, improvement, reconstruction, or rehabilitation of public facilities and
improvements (other than buildings) when the facilities and improvements are in place and will be
retained in the same use without change in size or capacity of more than 20% (e.g. replacement of
water or sewer lines, reconstruction of curb and sidewalks, repaying of streets).
water of sewer lines, reconstruction of curb and sidewarks, repaying of streets).
(2) Special projects directed to the removal of material and architectural barriers that restrict the mobility
of and accessibility to elderly and handicapped persons.
or and accounting of account, and management personner
_x (3) Rehabilitation of buildings and improvements when the following conditions are met:
(i) In the case of a building for residential use (with one to four units) the density is not increased
beyond four units, the land use is not changed, and the footprint of the building is not increased
in a floodplain or in a wetland;
(ii) In the case of multifamily residential buildings:
(A) Unit density is not changed more than 20%;
(B) The project does not involve changes in land use from residential to non-residential; and
(C) The estimated cost of rehabilitation is less than 75% of the estimated cost of replacement
after rehabilitation
(iii) In the case of non-residential structures, including commercial, industrial, and public buildings:
(A) The facilities and improvements are in place and will not be changed in size or capacity by
more than 20%; and
(B) The activity does not involve a change in land use, such as from non-residential to residential,
commercial to industrial, or from one industrial use to another.
(4) An individual action on up to four dualling upits where the section of the se
(4) An individual action on up to four dwelling units where there is a maximum of four units on any one
site or an individual action on a project of five or more housing units developed on scattered sites
when the sites are more than 2,000 feet apart and there are not more than four units on any one site.



(5) Acquisition or disposition of, or equity lo provided that the structure or land acquired, fir	pans on an existing structure, or acquisition of vacant land nanced, or disposed of will be retained for the same use.
(6) Combination of the above activities.	
Responsible Entity/Certifying Official Signature	<b>2:</b>
Signature:	Date:
Printed Name: Jamie English Title: Chai	rman, Taylor County Board of County Commissioners

# TAYLOR COUNTY HOUSING REHABILATATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

### CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

#### PROPERTY INFORMATION:

Property Address:	12939 US Highway 19 N	12939 US Highway 19 N. Greenville, FL 32331		
Property Owner:	Dustin Wimberly & A	Dustin Wimberly & Amber Schubert		
Home Phone:	478-456-6816			
Alt Phone:	850-404-4454	850-404-4454		
Year Built:	1950			
LBP/ACM	LBP Action: See Report		ACM Action: See report	
Building Description:	Number of bedrooms:	2	Number of bathrooms:	1.5
Parcel ID Number:	01377-000			

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.		\$N/A	
В.	Rehabilitation of unit shall include: 1. Re-connects all existing TV, Satellite connections, & Phone Jacks. Install 91 addressing as required. Disconnect and re-connect to community water systems if required by code or specification within this document. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. Disconnect and re-connect existing septic system of to community sewer utility (where applicable).		All	INCLUDE IN BID LINE ITEMS	

#### THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://example.com/progra

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

## PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and u property. I/We also agree that	inderstand t at there will Code Requi	rk Write-Up consisting of all list he specifications of the work to be "NO" changes in the specification irements. Furthermore, I/We authored in this Work Write-Up.	e performed on our joins unless needed
X	1 1	X	1 1
Property Owner's Signature	Date	Property Owner's Signature	Date
	sted work: \$	ithin <u>120</u> Business/Working Da	ays.
-Bid-submitted-by:			
Company Name:			
Authorized Signature*: X			
* Signature of licensee, or signature of lic	nature of pe	rson authorized by licensee whose	authorization

# TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM

#### Warranty Rehabilitation Scope of Work and Specifications

Client:	Dustin Wimberly & Amber Schubert		October 2023	
Address:	12939 US Highway 19 N. Greenville, FL 32331			

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

#### NOTICE TO BIDDING CONTRACTORS:

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE: Signature required for	acknowledgment of Notice to Bidding	General Contractors
Print Name	Signature	Date

The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	Amount
1. OPERATIONAL			
1. Operational	Unit	Site	\$
The contractor shall be responsible for and provide all application or other required local, state, or federal, documentation (To include			
1a. STORAGE			
1a. Storage	Unit	Site	\$
The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. <i>The homeowner shall be responsible for storing and replacing belongings into and out of the POD.</i>			
Line-item Notes:			
NOTE 1: Price to include keyed security lock. The homeowner s responsibility for the key's location.	shall be provi	ded with the s	sole key and the
1b. GENERAL REPORTING			
1b. Reporting Requirements	Unit	Site	\$
The contractor shall contact, either by phone or electronic commonce per week to provide project progress updates. This shall b (MER) to the project manager: Failure to contact the owner and weeks will result in a \$50 per week credit back to the owner's as general. This credit shall be applied at every failure of compliance.	e documente d/or provide the ssistance ava	d via an ever ne MER for tv ilability or the	y Monday Email Report vo (2) consecutive
Line item Notes:			
Line-item Notes:  NOTE 1: Failure to place a cost for this line item will not exclude required stated therein.	e the contract	or from the re	esponsibility and
c. MANUALS & SPECIFICATION DOCUMENTS		-	
Ic. MANUALS & SPECIFICATION DOCUMENTS			
1c. MANUALS & SPECIFICATION DOCUMENTS 1c. Manuals & Specifications	Unit	Site	\$ <u>N/A</u>
1c. Manuals & Specifications  The contractor shall supply, at the time of the final CDBG Progra specification booklets/packets for all supplied and installed prod	am inspectior	n, all manufac	cturer manuals and
	am inspectior	n, all manufac	cturer manuals and

#### 2. SYSTEM DISCIPLINE INSPECTION-Electrical

#### 2. Electrical Inspection

Unit

Site

Due to reported electrical shorts, and non-operational outlets: Inspect and test the housing unit electrical systems and wiring network in its entirety to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC.

A licensed electrician must complete inspection and the electrical report must be submitted to Guardian Project Manager. A 3<sup>rd</sup> party report showing the findings at the time of inspection must be provided prior to any change order approval or payment being made.

#### Line-item Notes:

NOTE 1: Based on the inspection report: All subsequent non-listed electrical repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.

#### 2a. SYSTEM DISCIPLINE INSPECTION-Plumbing & Water Supply

#### 2a. Plumbing & Water Supply Inspection

Unit

Site

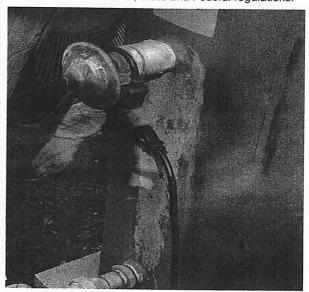
Due to reported plumbing and possible well deficiencies: Inspect and test the housing Units plumbing lines (taking care to locate the master shut off valve) system(s) to ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code.

Inspection to be performed by a certified licensed and or registered plumbing firm and the plumbing report must be submitted to Avon Park CDBG Housing SHIP administration: A 3rd party report showing the findings at the time of inspection shall be provided to the County before any payment is made or change order granted.

#### Line-item Notes:

NOTE 1: Based on the inspection report: All subsequent non-listed plumbing repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.





#### 3. FENCING

#### 3. Fencing & Gate

Unit

Site

\$

Due to the dwelling's proximity to US Highway 19 the following shall occur to ensure site safety and provide a noise barrier: Contractor shall prepare the site and within the legal property boundaries, construct a 6' high, PT (shadowbox styled), wooden safety/privacy fence.

Facing the home from the road, the fence shall be constructed along the front and left elevations of the property (see photo #2 below marked with X's). Within the property boundaries the homeowner and contractor shall determine the final location of the fencing within the following parameters: (1) Starting at the North end of the property, the new fence shall span the front elevation of the home, extending approx. 1-full 8' (in length) panel beyond the front edge of the actual home; (2) The left elevation (south side) fence span shall connect to the front elevation span and extend approx. 10' along the left (south side) elevation of the home.

#### Line-item Notes:

NOTE 1: fence location shall, by all best efforts, not require tree or shrubbery removal.



#### 4. ROOFING & COMPONETS

#### 4. Re-Roof

Unit

Site

\$\_\_\_

Remove existing roof covering (All Sloped-Sections-including dormer) and all deteriorated surface material. Strip the roof down to the sheathing/decking. Replace sheathing and/or decking not to exceed (15%): any replacement above 15% will be addressed by change order with appropriate back-up. Where sheathing needs to be re-nailed: The entire roof is tobe re-fastened using faster type and spacing distances that are in accordance with the current Florida Building Code requirements.

One 36" layer of self-adhering synthetic underlayment shall be utilized over the entire roof deck and per note 2 below. The entire new roof system shall conform to building code and jurisdictional requirements. No fasteners shall penetrate exposed surface areas, fascia or drip edge.

Replace existing roof covering with new, 30-year asphalt, dimensional, architectural shingles. Additionally, all drip edge, boots and vent/stacks shall be replaced with like code compliant products and material. The new boots and vent/stacks flashed per the most stringent requirements of the manufacturer's specifications or FBC (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality).

#### Line-item Notes:

NOTE 1: Prior to submitting this bid...all bidding contractors shall ensure with the building department and note the slope of the roof to ensure that metal roof installation can be utilized per this scope of work.

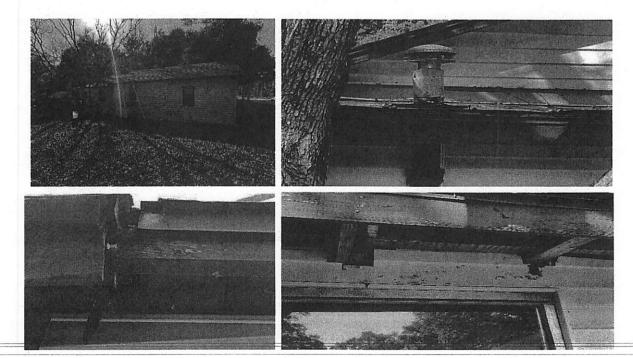
NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in all valleys. The underlayment shall extend a minimum of 2" over each seam.

Rear Low-sloped span of the roof may require cap-sheet waterproofing and modified bitumen covering. The contractor shall account for this within the total line-item cost.

Roof repair to include removal of all existing fascia and soffit. The replacement shall be with new, white aluminum wrapped fascia and new, white vented vinyl soffit in the footprint of the removed material (excludes gable sections). Installation shall be to code and manufacturers specifications.

NOTE 5: As applicable, the bid shall include the cost of replacing the mast and head.

NOTE 6: Contractor shall submit an affidavit to the inspector to the effect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehab inspector.



#### 5. WINDOWS

#### 5. Windows

As-Listed

Site

\$

Remove Thirteen (13) existing windows and trim (Front-2; Right-4; Rear-2; Left-5). Replace windows with new Miami Dade NOA approved Hurricane rated Impact dual pane, single hung energy efficient rated windows with aluminum framed screens. Bathrooms shall have obscure glass.

Bid to include all code required modifications to openings (anchor framing, buck, sealing, etc...) necessary to accommodate the new windows. <u>Windows must be energy efficiency rating for the Southern Region (Florida) of the United States</u>: (Exact window size & dimensions to be determined by contracting firm).

Installation to include all required permits, additional anchor framing, trim, hardware, components, and tap cons (TAP CONS MUST BE WHITE) to ensure proper and complete installation to current Florida Building Code. (Recommended Product: PGT Win-Guard or equal in value and quality).

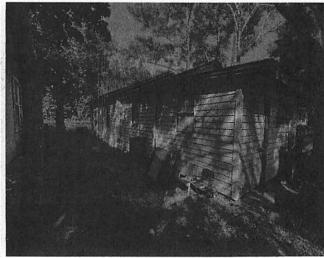
#### Line-item Notes:

NOTE 1 Window installation to include new, white, wood windowsills.

NOTE 2: All window removal/installations shall account for potential repairs or replacement of damaged exterior window trim.

NOTE 3: Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package.









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5a. Doors

As-Listed Site

\$

Remove the existing primary entry/exit doors (1-1/2 light unit (with internal blinds) at the front elevation and 1-1/4 light unit at the left elevation) and install new, hurricane impact rated, energy efficient (for the southern region) door in the listed location(s). The new doors shall match existing "swing" and be painted white.

The installation shall include jambs, preparation a sufficient door buck to accommodate the new door, wood casing, and install a new white pre-hung fiberglass Hurricane Impact rated, energy efficient door. Patch to match any damaged walls/areas caused by installation. (Door size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) to ensure properand complete installation to current Florida Building Code.

Door installation shall include keyed (alike) entry lockset with lever handle (both sides): "Schlage", Flair F51 and matching deadbolt or approved equal, deadbolt keyed one side to the lock set, vinyl bubble weather-stripping, and aluminum threshold.

#### Line-item Notes:

**NOTE 1:** Where a landing is required according to code. In absence of a landing, Contractor shall construct a concrete landing in front of the door as required by code, (or where a landing exists, contractor shall re-construct/modify the existing landing in order to meet code).

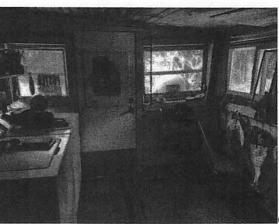
NOTE 2: Front storm/screen door shall be documented for condition, removed and reinstalled.

NOTE 3: Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Door assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.









Go Dawgs!

#### 6. HEATING/AIR & COMPONETS

#### 6. HVAC System

Unit

Site

\$

Remove the existing HVAC system and all associated components (including duct network). Install new complete HVAC unit and duct network (tonnage to be calculated based on required energy calcs), minimum 16 SEER central heating and air conditioning system. Rheem (RA16) Classic Series or approved equal in value and quality.

The system is to include infrastructure to ensure service to all habitable rooms, including new vents covers/return grills. Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other infrastructure and components necessary for a complete working system. At final installation of the duct network, they shall be adjusted the to ensure maximum air flow:

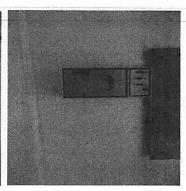
Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad. The contractor must provide a written statement from the HVAC firm performing the duct/plenum cleaning that the ducts have been cleaned in accordance with all governing regulations.

#### Line-item Notes:

NOTE 1: Contractor shall provide drawings, manual J calculations, and documents as required to perform the SOW.







#### 6a. WATER HEATER

#### 6a. Water Heater

Unit

Site

5

Remove existing hot water heater and replace with new, electric, 40 Gallon hot water heater with dual 250volt, 4500-watt heating elements, water supply valves, pressure relief valve with 3/4" copper piped to the exterior, drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with the current code/UPC. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Whirlpool or equal in value and quality).

#### Line-item Notes:

NOTE 1: Bid to include expansion tank and all associated components.





#### 7. KITCHEN

#### 7. Cabinets-Tops & Components

Unit

Site

\$

Remove all existing wall-base cabinets and countertops. Replace them with new kitchen cabinets and seamless laminate countertops. New cabinets should match the existing footprint and include additions listed in the notes below:

Installation shall\_include a new stainless-steel single bowl sink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing lines, connects, valves, and all other components and hardware to ensure complete and correct operational order.

The owner must be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality). Installation to include (at homeowner request) space for dishwasher (with electrical and plumbing connections.

#### Line-item Notes:

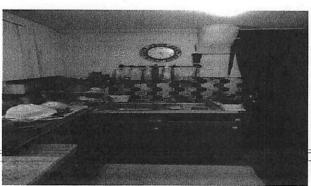
NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware.

#### **Cabinet Requirements:**

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood. Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.



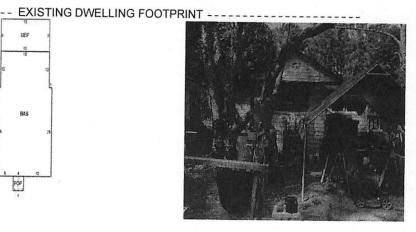












-- EXISTING DWELLING FOOTPRINT -----

# **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$\_\_\_\_\_

#### "EXHIBIT A"

# TAYLOR COUNTYSHIP HOUSING REHABILATATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

Please

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

	REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.		
2.	1	
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Contractor's Name (Print Name):	
Contractor's Signature:	
Title of signatory:	

# "EXHIBIT B" TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM COLOR/STYLE SELECTION

- 1. The Contractor must provide at least three (3) color choices for each eligible item. NOTE: See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

## COLORS AND STYLES TO BE HISTED IN THE GRID BELOW.

ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE
		1	

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

# LEAD-BASED PAINT INSPECTION REPORT

10/03/23 14:30

INSPECTION LOCATION:

**Dustin Wimberly** 12939 N US-19

Greenville, Florida 32331

INSPECTION FOR:

REPORT NUMBER:

The Taylor County CDBG Program

c/o Guardian CRM, Inc.

**ITQ-CDBG-LBP** 

INSPECTION DATE:

10/03/23

INSTRUMENT TYPE:

RMD MODEL LPA-1

XRF TYPE ANALYZER/ SERIAL #1121

**ACTION LEVEL:** 

1.0 MG/CM\*\*2

**OPERATOR LICENSE:** 

U.S. Environmental Protection Agency /

No. FL-R-4850-2

I hereby certify that to the best of my knowledge; the following report reflects the true lead content of the painted surfaces as tested by XRF at the above address.

SIGNED

Anthony C. Penna - President

Associated Consulting Professionals, Inc.

1759 Bayhill Drive Oldsmar, Florida 34677 Phone 727.773.9200

### INSPECTION REPORT CONTENTS: Dustin Wimberly - 12939 N US-19, Greenville, Florida

**COVER PAGE** 

**SUMMARY** 

**XRF INSPECTION NOTES** 

XRF COMPUTER GENERATED DETAILED REPORT

#### **SUMMARY**

A copy of this summary must be provided to new lessees (tenants) and purchasers of this property under Federal law (24 CRF part 35 and 40 CRF part 745) before they become obligated under a lease or sales contract. The complete report must also be provided to new purchasers, and it must be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards. (See Section IV of Chapter 7 of the HUD Guidelines for further details).

#### XRF INSPECTION NOTES

Anthony Penna of Associated Consulting Professionals, Inc. performed at lead-based paint inspection on this property utilizing XRF technology. This inspection did not include such items as water sampling, soil analysis, mini blind testing, lead dust analysis, furniture, bathroom and or floor/window tile-except as noted below. Non-painted items such as tile windowsills and vinyl base were not tested unless they have been painted over with conventional house paints.

When identifying a testing location with a Wall A, B, C or D designation, this is used to determine where a test was taken in correlation to the numbered front entry to the home. Wall A is the front wall, B, C and D walls follow in a clockwise direction around the house or room. For this home wall A is the <u>East</u> wall in all rooms.

When an item is listed as positive it includes all like items in the identified area (room or exterior) unless otherwise noted.

Please Note: A property is exempt from having a Lead Risk Assessment performed if it has been tested by XRF by an EPA certified Lead Risk Assessor and found to not have lead-based paint covered components.

#### POSITIVE LEAD-BASED PAINT LOCATIONS:

Exterior - None

Interior - None





SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

## NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

### FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

## **LOCATION:**

Schubert Residence 12939 US 19 Greenville, Florida 32331

## PERFORMED BY:

ACM Engineering & Environmental Services 5404 Hoover Blvd., Suite 9 Tampa, Florida 33634

> <u>DATE</u>: September 5<sup>th</sup>, 2023



#### ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

#### NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

#### FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

DATE: September 5th, 2023

STRUCTURE: Schubert Residence

**LOCATION: 12939 US 19** 

CITY, STATE: Greenville, Florida 32331

#### PROJECT REVIEW:

ACM Engineering and Environmental Services, Inc. (ACM- Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the Schubert Residence scheduled for demolition located at 12939 US 19 in Greenville, Florida. The site survey was performed by Joshua Baker on August 31<sup>st</sup>, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

5404 HOOVER BOULEVARD, SUITE 9 • TAMPA, FLORIDA 33634 • PHONE (813) 282-1232 • FAX (813) 885-7967 • www.acmenv.com

NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Sampling and Analysis Report Guardian CRM, Inc.
Schubert Residence
12939 US 19
Greenville Florida 32331.

#### **EXECUTIVE SUMMARY:**

The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 12939 US 19 in Greenville, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-nine (29) suspect asbestos bulk samples from eleven (11) homogeneous materials were collected and analyzed for asbestos content.

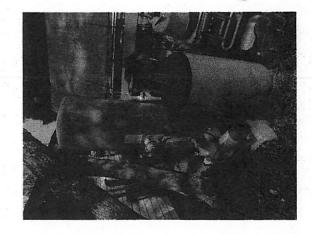
A summary of the analysis results is as follows:

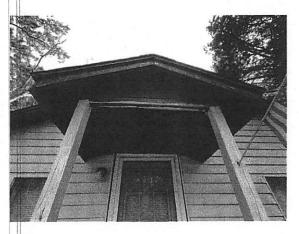
- A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:
  - None
- B. The following sampled building materials were identified to be nondetectable for asbestos content.
  - Wood Pattern Vinyl Flooring
  - Flooring Adhesive
  - Green Vinyl Flooring
  - Flooring Adhesive
  - Surface Texture
  - Drywall Composite
  - Window Caulk
  - Vapor Barrier
  - Counter Caulk
  - Roof Shingle
  - Black Roofing Tar

P.T.S. 9/5/23

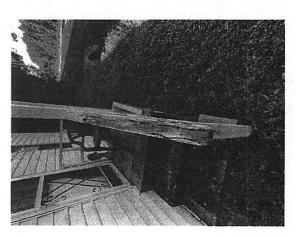






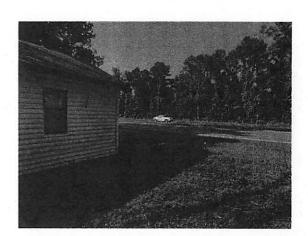


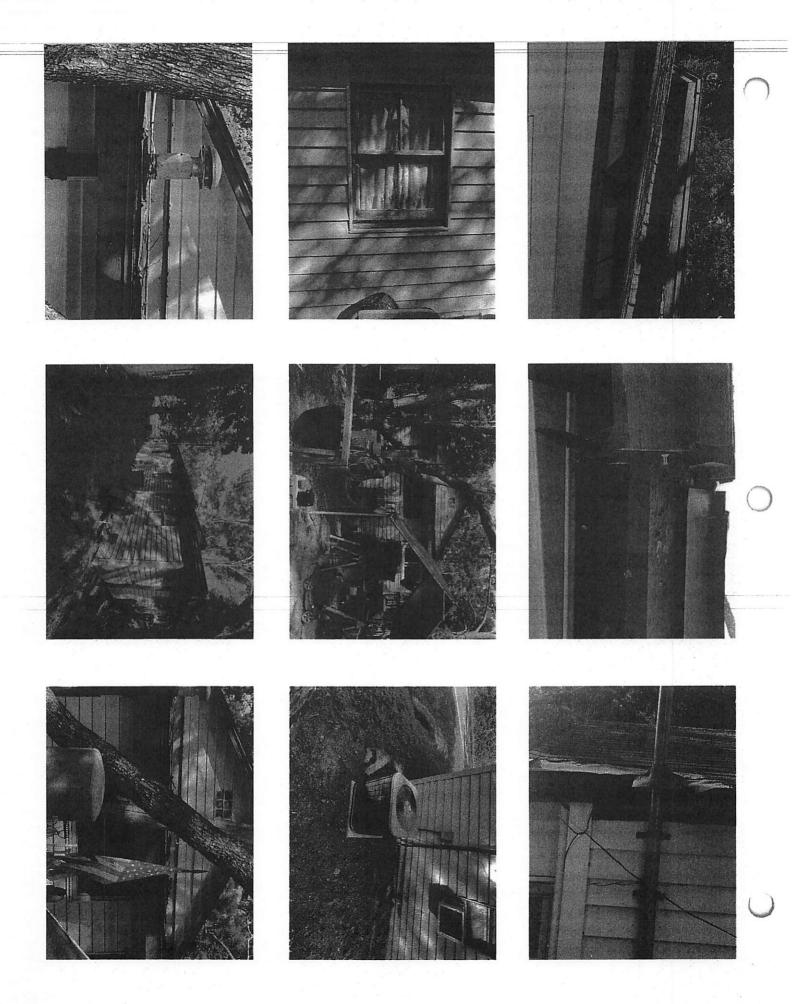
12939 US HIGHWAY GREENVILLE, FL 32331 REHABILITATION PROJECT





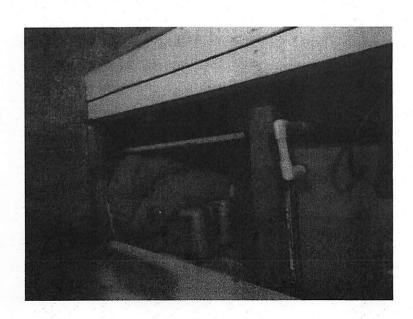


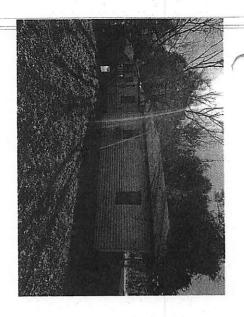


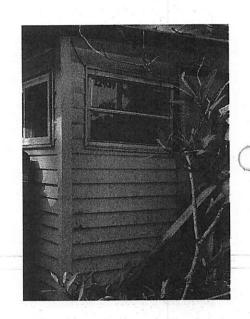


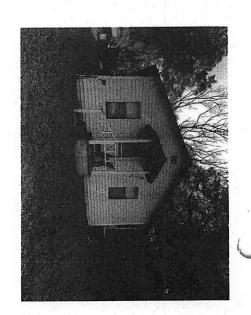








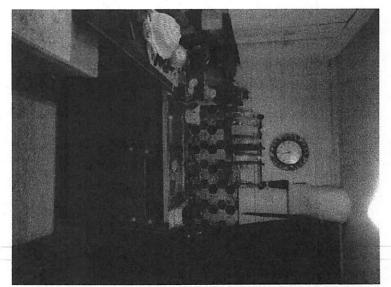


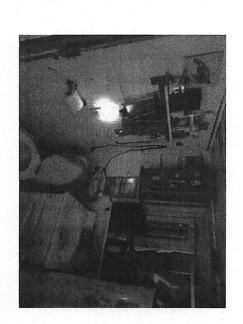




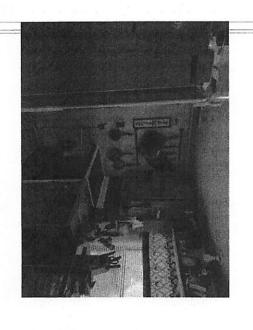


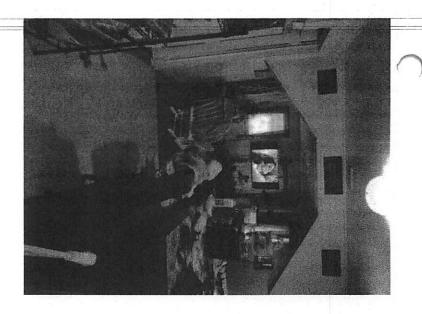


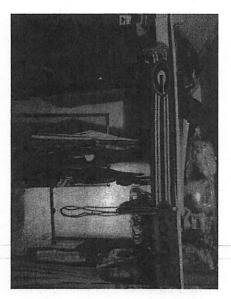






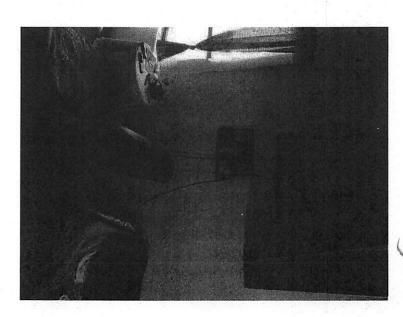




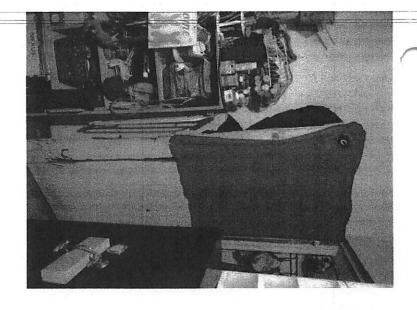


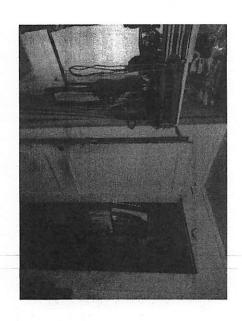


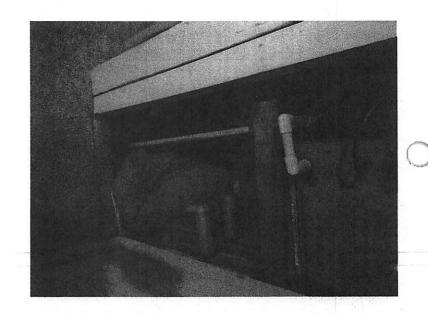




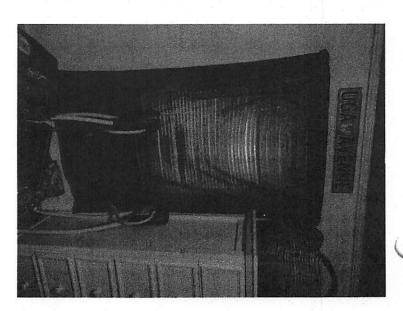




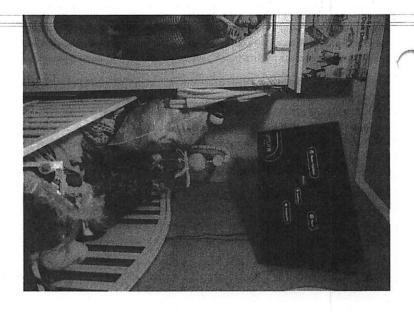




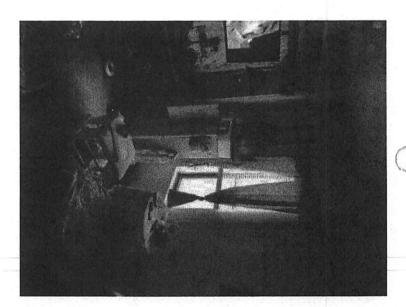




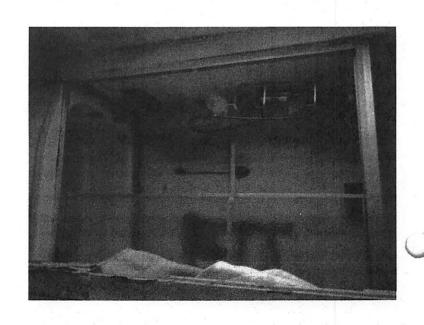


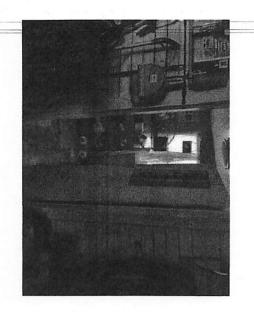




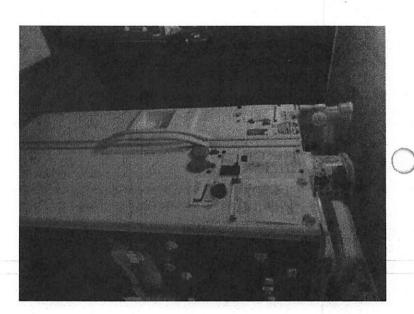


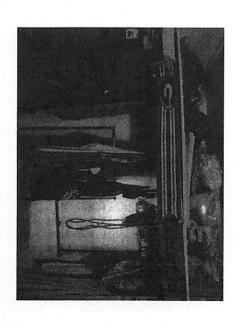


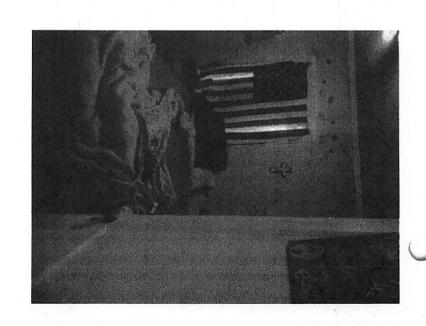


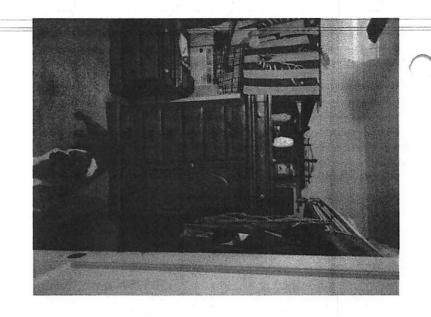










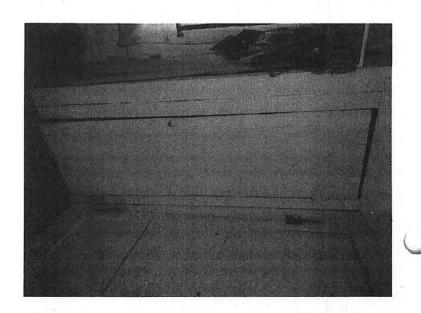




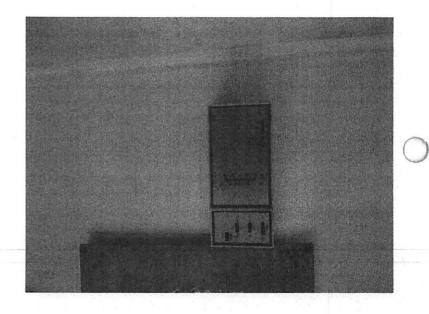






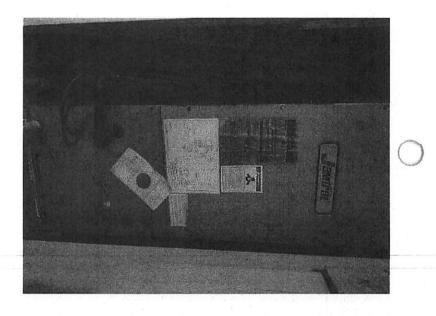






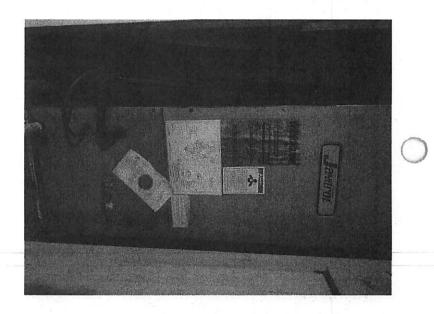


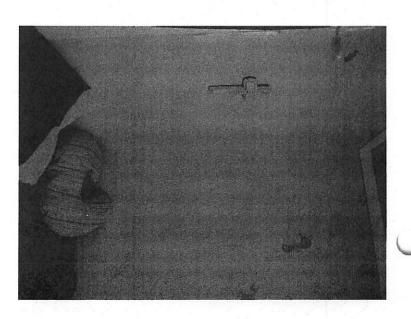




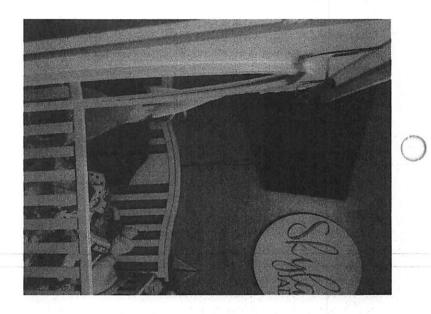


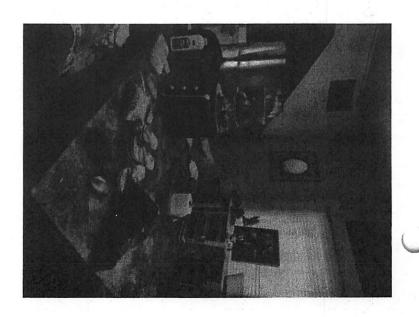


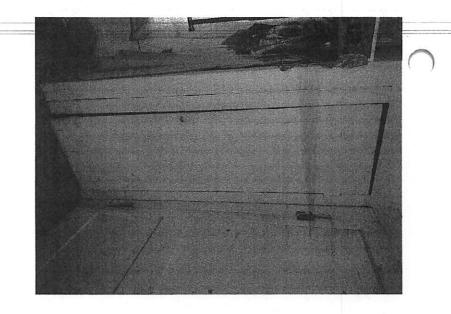


















# Site Specific Environmental Review Checklist Categorically excluded housing activities as listed in the unspecified site strategy

Proje	ect Addre	ess (include city & zip code): 5600 Smith Road, Perry, FL 32348
		Person Inspecting Project Site: Evens
RE a	approval	signature:
Date	Review	Completed: Grant Number: 22DB-OP-03-72-01-H05
58.3 The Broa <b>pict</b>	5(a)(4). Site Spe ad Revie ures rela	core that 4 new construction units together, this form cannot be used. Refer to 24 CFR Part secific Review checklist contains only the items that could not document compliance on the w per 24 CFR Part 58.15. Include the projects scope of work and corresponding sted to the project.  St of the project? (Include all funding sources):  1 to 39.9% market value of the structure  2 to 40 to 49.9% market value of the structure  50 to 74.9% market value of the structure
		75%+ (and above) market value of the structure
the s		n rehabilitation and/or replacement costs meet or exceed 50% (substantial improvement) of s market value, a Statutory Worksheet (with supporting documentation) must be completed
1	1. <u>Histo</u>	rical Preservation: (36 CFR Part 800)
	a. b. c.	Is the structure, located on the project site or structures adjacent to the project, more than 50 years old? YES NO [Attach a copy of the property appraiser's report(s)]  35 age of structure on project site  9 age of structure on adjacent site  35 age of structure on adjacent site  Is the project located in a historic district? YES NO  Will the project site have the potential to contain archeological properties?
		If Yes to question (a) through (c), contact the Florida Department of State, State Historic Preservation Office (SHPO). Allow 30 days from receipt of the request for comments. Attach photocopies of all correspondence. Document the review if no response is received.

	Will the project require soil to be disturbed?YESNO  If Yes to question (c) and/or (d), contact the appropriate Native American Indian Tribe(s)  listed in the Tribal Directory Assessment Tool version 2.3 (https://egis.hud.gov.tdat/)  Provide photocopies of all correspondence (included letters, emails, delivery receipts and other relevant information).						
	e.	Have the Alabama Coushatta Tribe of Texas been provided with the following:  i. A Copy of the Scope of Work YES NO  ii. Aerial photos of the project site YES NO					
	f.	Was a response received from the Alabama Coushatta Tribe of Texas? YES ✓ NO					
2.	Flood	plain Management: (Executive Order 11988 and 24 CFR Part 55)					
	a.	According to FEMA's Flood Insurance Rate Map (FIRM) is the project located in a:					
		100-year floodplain? YES NO					
		500-year floodplain? YESNO					
		*Attach a photocopy of the most recent FIRM map (https://msc.fema.gov/portal/home) and include the project location.					
	b. If Yes to (a), was the decision making (8-step) process completed during the Unspe Site Strategy? YES NO						
		If Yes, proceed to #3. If No, continue below.					
c. Is the project exempt from the decision making (8-step) process per 24 CFR 55 12 (b)? YES NO							
		If Yes, state the CFR regulation					
If No, the decision making process is required for individual housing projects for four family properties or structures involving new construction of substantial improves [see 24 CFR Part 55.2 (b)(10)]							
		*Provide a copy of the flood insurance policy for projects located within the floodplain [see 24 CFR 58.6 (a) and (b)]. For demolition/replacements, provide a copy of the flood insurance for the new structure.					
3.	<u>Wetla</u>	nds: (Executive Order 11990 and 24 CFR Part 55)					
	a.	Is the project located in a wetland?YESYO					
		*Refer to the U.S. Fish and Wildlife Service National Wetland Inventory website at: <a href="https://www.fws.gov/wetlands/">https://www.fws.gov/wetlands/</a> .					
		*Attach a photocopy of the wetlands map with the project location.					
		If No to (a.), proceed to #4. If Yes, continue below.					
		,					

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)		b.	Will the project meet an exception listed in 24 CFR 55.12(a) or (b)?  YESNO
			If Yes, complete the decision-making process under 24 CFR 55.20.
			**The restriction regarding the expansion and/or rehabilitation of a one-to-four family structure was removed effective December 15, 2013.
	4.		<u>se</u> : (24 CFR part 51) y complete questions (a) and (b) for housing Disaster Recovery projects.
		<b>a.</b>	Will the project utilize funds from a Disaster Recovery Grant?YESNO✓_N/A
			If No, proceed to (c) below. Noise requirements are not applicable to any action or emergency assistance for actions under Disaster Recovery grants as described in 24 CFR Part 51.101(a)(3).
	-	b.	Will the project involve the use of additional funding sources other than the Disaster Recovery grant?YESNO
			If Yes, provide funding source(s) in the scope of work and continue below.
		c.	Will the project involve rehabilitation?YESNO
)			If Yes, noise is to be considered. Continue to (d) below.
			Will the project involve "new" construction? YES NO
			If Yes, complete the questions in (d) below. Mitigation is required for projects exceeding the average day night noise level of 65 decibels (dB).
		d.	Is a Highway within 1,000 feet of the project?
			Is a Railroad within 3,000 feet of the project?
			Is a civilian airport within 5 miles of the project?
			Is a Military airport within 15 miles of the project?  YESNO
			If Yes to (d) above, complete a noise assessment using the Day/Night noise Level Calculator: https://www.hudexchange.info/resource/2830/day-night-noise-level-assessment-tool/
			<b>Note</b> : Noise assessments should include the following documentation: FDOT daily traffic map; railroad information; airport noise contour map; airport noise worksheet; and one or both of the following:
			*Rehabilitation with noise above 65 dB: Completion of the Sound Transmission Classification Assessment Tool at: <a href="https://www.hudexchange.info/stracat/">https://www.hudexchange.info/stracat/</a> .

\*New construction with noise above 65 dB. Mitigation is required for projects exceeding the average day night noise level of 65 dB. Complete the Barrier Performance Module at: <a href="https://www.hudexchange.info/programs/environmental-review/bpm-calculator/">https://www.hudexchange.info/programs/environmental-review/bpm-calculator/</a>.

For additional information refer to HUD's Noise Guidebook or Exchange website at: https://www.hudexchange.info/resource/313/hud-noise-guidebook/.

5.	Explosive & Flammable Operations: (per 24 CFR Part 51, Subpart C)
	<ul> <li>a. For housing rehabilitation projects, will the number of individuals increase?  YES NO  Is the project "new" housing construction?  YES NO  C. Are there stationary above ground storage tanks (AGST) in excess of 100 gallons within a 1 mile radius of the project site that contains explosive or flammable liquids?  YES NO</li> </ul>
	If Yes, complete the Acceptable Separation Distance calculation using the Electronic Assessment Tool at <a href="https://www.hudexchange.info/environmental-review/asd-calculator/">https://www.hudexchange.info/environmental-review/asd-calculator/</a> . Refer to the Acceptable Separation Distance Guidebook for additional information.
	*A site located less than the Acceptable Separation Distance will require mitigation or it will be rejected. For example, mitigation would be required if the separation distance is 150 feet but the project site is located 125 feet. If mitigation is not obtained, the site will be rejected.
	*The review should include the ASD calculation, photos, distance to and location of each tank.
6.	Hazard and Toxics:
	a. Observe the site for any evidence that a toxic material could be present on the site such as distressed vegetation, vent or fill pipes, storage tanks, pits, ponds, or lagoons, stained soil or pavement, pungent, foul or noxious odors, or past uses of the site. YES NO
	*Reject any site that has a presence of Toxics or required cleanup prior to purchasing the site.
	Use the U.S. EPA NEPAssist website <a href="http://www.epa.gov/nepa/nepassist">http://www.epa.gov/nepa/nepassist</a> to determine:
	1. Are there EPA facilities within 3,000 feet of the site? YES NO
	2. If Yes, are there Brownfields or Superfund facilities? YES NO *If Yes to # 2, contact the Florida DEP for clearance documentation.
	*Attach a photocopy of the NEPAssist report and associated ECHO reports for all EPA

facilities located within 3000 feet of the project site.

b.		Lead-based Paint (LBP):
	1.	Was the structure built prior to 1978?YESYEONO
		*For the following questions, refer to the U.S. Department of Housing and Urban Development "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing" at: <a href="https://www.hud.gov/program">https://www.hud.gov/program</a> offices/healthy homes/lbp/hudguideslines and the "Lead Safe Housing Rule" under 24 CFR Parts 35, Subparts B through M.
	2.	Is the structure exempt from LBP testing?YESNO
	3.	Was a LBP test conducted?YESNO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		(Note: Homeowner is to be notified of test results within 15 calendar days)
	4.	Are the LPB test results positive? YES NO.  If Yes, provide the homeowner with a copy of the Notice of Evaluation or Presumption.
	5.	Is a LBP clearance test required?YESNO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		Note: Homeowner is to be notified of test results within 15 calendar days.
c.		Asbestos (NESHAP):
	1.	Is the home exempt from the asbestos (NESHAP) requirements? YESNO *If Yes, skip to #11below.
		*Refer to U.S. EPA's Asbestos (NESHAP) requirements under 40 CFR Part 61, Subpart M and Chapter 62.257, Florida Administrative Code.
	2.	Is the home or project site, located in the vicinity of other housing projects associated with this grant?  YESNO
		*See Fed. Register, Vol. 60, No. 145 dated July 28, 1995.
	3.	Will the home require an inspection to be performed by a licensed asbestos inspector?  ▼ YESNO
		* If Yes, to #3, include a copy of the inspection report and the inspector(s) certification(s).
	4.	If an inspection was performed, is mitigation required?YESVO
		*If Yes to #4, include all documentation of the mitigation measures to be performed.

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7. <u>A</u>	ccident Potential Zone (APZ) and Runway Protection Zone/Clear Zone (RPZ/CZ):
	A. Is the project located within 15,000 feet of a military airport (APZ)?  YESNO
	B. Is the project located within 2,500 feet of a civilian airport (RPZ/CZ)?  YESNO
	C. If Yes to either question above, is the project located within the Accident Potential Zone (Military airport) or Runway Protection Zone/Clear Zone (Civilian airport)?  YESNO
	*If Yes, continue below. If No, attached a map of the project location as it relates to the Accident Potential Zone (APZ) OR Runway Protection Zone/Clear Zone (RPZ/CZ).
For p	rojects located within the Accident Potential Zone (APZ):
1	Will the project involve any of the following new construction, substantial rehabilitation acquisition of undeveloped land, activities that would significantly prolong the physical or economic life of existing facilities or change the use of the facility to a use that is not consistent with the recommendations of the Department of Defense (DOD)'s Land Use Compatibility Guidelines; activities that would significantly increase the density or number of people at the site; or activities that would introduce explosive, flammable, or toxic materials to the area?YESNO
For p	rojects located within the RPZ/CZ:
1	. Will the project involve facilities that will be frequently used or occupied by people?  YESNO
	*If No, include written assurance from the airport operator that there are no plans to purchase the land as part of a RPZ/CZ program and continue to #8.
	*If Yes, was a signed copy of the <u>Notice to Prospective Buyers</u> to inform of potential hazards from airplane accidents as well as the potential for the property to be purchased as part of an <u>airport expansion</u> project in accordance with 24 CFR 51.303(a)(3) provided? YESNO

assuring the project site would not be acquired or purchased in the future as part of a clear zone acquisition program? Yes No
2. Does the project involve new construction, substantial rehabilitation, acquisition of undeveloped land, or activities that would significantly prolong the physical or economic life of existing facilities that will be frequently used or occupied by people? YESNO
(If Yes, the site should be rejected <u>unless it will not</u> be frequented by people and/or is approved by the airport operator).
Endangered Species Act:
Use the Florida Fish and Wildlife Conservation Commission (FFWCC) Eagle Nest Locator website ( <a href="http://myfwc.com/wildlifehabitats/managed/bald-eagle/">http://myfwc.com/wildlifehabitats/managed/bald-eagle/</a> ), to check for Bald Eagles nest within a one mile radius of the project location. Include a copy of the Bald Eagle nest data search results, clearance documentation and permit(s) as required.
A. Was a clearance received from the U.S. Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) website? YES NO
<ul> <li>B. Was a bald eagle nest(s) located:</li> <li>1. During a visual inspection within one mile of the project?YESNO</li> </ul>
2. On the FFWCC website within one mile radius of the project site? YESNO
3. Within 660 feet of the project location?YESVESNO
*If Yes, will the proposed activity occur during the nesting season (October 1 through May 15?YESNO
*If Yes, contact the FFWCC at <a href="http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/">http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/</a> . Include clearance documentation and a copy of all permits (if required).
Coastal Barrier Resource Act:
Use the U.S. Fish and Wildlife Service Coastal Barrier Resource System Mapper website at <a href="http://www.fws.gov/cbra/maps/mapper.html">http://www.fws.gov/cbra/maps/mapper.html</a> .
A. Is the project located in a Coastal Barrier Resource System?YESNO
*Provide the projects location on the Costal Barrier Resource System map.

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		*If Yes, cancel the project and consult with the FWS. Federal assistance for most activities may not be used in this location.
	В.	If consultation occurred with the FWS, was approval given? YESNONA
		*Provide a copy of all consultation documents. If not approved, the project may not proceed at this location.
10.	<u>In</u>	spections:
	A.	Septic Tank Inspection:
		Was a septic tank and drain field inspection performed? YES NO *If yes, include a copy of the inspection.  *If yes, include a copy of the inspection.
		2. Will the inspection require the septic system to be replaced?  YES NO
		*If Yes to #2, provide a copy of the clearance inspection report. A clearance must be received prior to closure of the project.
	В.	Wood Destroying Organism (WDO) inspection:
		1. Will a WDO inspection be required?YESNO
		*If Yes, include a copy of the WDO inspection and/or clearance report.
	No	ote: If work was performed, provide a copy of the clearance report.
11.	<u>Di</u>	saster Recovery Project (Only):
	A.	Has a duplication of benefits been performed and cleared for the following:
		FEMA: YES NO
		Insurance: YES NO
		Other:YESNO
		Yes to the above, include a copy of the Duplication of Benefits (DOB) information and/or a earance report.



# STATUTORY WORKSHEET 24 CFR §58.5 STATUTES, EXECUTIVE ORDERS & REGULATIONS

Suggested Format for Categorically Excluded Projects subject to §58.5. NOTE: Compliance with the laws and statutes listed at 24 CFR §58.6 must also be documented.

Project Name: 5606 Smith Road, Perry, FL 32348 Project Contract Number: 22DB-OP-03-72-01-H05

**Project Description:** Include all contemplated actions that logically are either geographically or functionally part of the project: <u>Demolition/reconstruction of a single-family, owner-occupied home.</u>

This proposal is determined to be: Categorically Excluded Subject to 58.5

According to: [Cite Section(s)]: CFR 24 Section 58.35 (a)(3)(i)

DIRECTIONS: Write "A" in the Status Column when the proposal, by its scope and nature, does not affect the resources under consideration; or write "B" if the project triggers formal compliance consultation procedures with the oversight agency, or requires mitigation (see Statutory Worksheet Instructions). Compliance documentation must contain verifiable source documents and relevant base data.

### **Compliance Factors:**

STATUTES, EXECUTVE ORDERS AND REGULATIONS LISTED AT 24 CFR 58.5 A/B

# COMPLIANCE DETERMINATION AND DOCUMENTATION

NEGOLATIONS LISTED AT 24 CIN 30.3	7,0	7.11.7.7.7.7.1.1.1.1.1.1.1.1.1.1.1.1.1.
		The project will have no effect on historic properties. The home was built in 1988 and is not greater than
		50 years old. See attached determination. The
	:	Alabama-Coushatta Tribe of Texas expressed an
		interest in being informed of the project location and
HISTORIC PRESERVATION		scope of work. Consultation was initiated but no
36 CFR Part 800	Α	response was received.
		The project will have no effect on the floodplain.
		This project is for the demolition/reconstruction of a
FLOODPLAIN MANAGEMENT		single-family home that is not located within the
24 CFR Part 55 & Executive Order 11988	Α	floodplain. See enclosed FEMA FIRM map.
		The project will have no effect on the wetlands and
WETLAND PROTECTION		is not located within a wetland area. See enclosed
Executive Order 11990	Α	description of work and wetlands map.
COASTAL ZONE MANAGEMENT ACT		This item was cleared under the Taylor County Broad
SECTIONS 307 (c) & (d)	Α	Review.
SOLE SOURCE AQUIFERS		This item was cleared under the Taylor County Broad
40 CFR Part 149	Α	Review.
		The project is for the demolition/reconstruction of
		an existing single-family residential home. No effect
		on threatened species or endangered species is
ENDANDERED SPECIES ACT		anticipated. See enclosed eagle nest search, IPaC
50 CFR 402	Α	determination.
WILD AND SCENIC RIVERS ACT		This item was cleared under the Taylor County Broad
Sections 7(b) & (c)	Α	Review.



CLEAN AIR ACT Sections 176(c)(d) & 40 CFR 6, 51, 93	A	This item was cleared under the Taylor County Broad Review.
FARMLAND PROTECTION POLICY ACT 7 CFR Part 658	А	This item was cleared under the Taylor County Broad Review.
ENVIRONMENTAL JUSTICE Executive Order 12898	A	This project is for demolition/reconstruction of a single-family home that will not involve an increase residential densities or conversion. See the Scope of Work.
NOISE ABATEMENT & CONTROL 24 CFR Part 51B	A	The project is not within 1000 feet of a highway, 3,000 feet of a railroad or 15 miles of a Military Airport. It is within 5 miles of a Civilian Airport but is within acceptable noise levels. See attached maps and data.
EXPLOSIVE & FLAMMABLE OPERATIONS 24 CFR Part 51C	A	This project is for demolition/reconstruction of a single-family home that will not involve an increase residential densities or conversion. See the Scope of Work.
HAZARDOUS, TOXIC OR RADIOACTIVE MATERIALS & SUBSTANCES 24 CFR 58.5(i)(2)(i)	A	There were no hazardous, toxic or radioactive materials & substances noted during the field inspection, none were noted on the NEPAssist site. See NEPA assist report, facility reports.
AIRPORT CLEAR ZONES  & ACCIDENT POTENTIAL ZONES  24 CFR Part 51D	A	The project is not located within 15,000 feet of a military (APZ) airport or within 2,500 feet of a civilian airport (RPZ/CZ).

# **Determination:**

х	This project converts to Exempt, per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license (Status "A" has been determined in the status column for all authorities); Funds may be committed and drawn down for this (now) EXEMPT project; or
	This project cannot convert to Exempt status because one or more statutes or authorities require formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain Authority to Use Grant Funds (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down funds; or
	The unusual circumstances of this project may/will result in a significant environmental impact. This project requires preparation of an Environmental Assessment (EA). Prepare the EA according to 24 CFR Part 58 Subpart E.
	mi Evong
PREPAREF	R SIGNATURE
	s, Grant Coordinator



1/09/24	
DATE	-
RESPONSIBLE ENTITY/AGENCY OFFICIAL SIGNATURE	-
Jamie English, Chairman of the Board of County Commission	ers
NAME & TITLE	
DATE	-

# DOCUMENTATION OF COMPLIANCE with 24 CFR Part 58.6 (a - d)

Use this form for all levels of review

Grant Recipient: Taylor County

Contract Number: 22DB-OP-03-72-01-H05

Prepared By: J. Corbett Alday, Guardian CRM, Inc. Date: <u>1/17/2024</u>

### Flood Insurance:

x	The site is <u>not</u> in the 100 year floodplain (see attached map)
	The site is in the 100 year floodplain (see attached map)
	Flood Insurance is required for structures in the 100 year floodplain

- A. Flood Insurance when the site is in the 100 year floodplain:
  - 1. Under the flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128), Federal financial assistance or acquisition and construction purposes (including rehabilitation) may not be used in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards, unless:
    - The community in which the area is situated is participating in the National Flood Insurance Program (see 44 CDR Parts 59 through 79), or less than one year has passed since the FEMA notification regarding such hazards, and
    - ii. Where the community is participating in the National Flood Insurance Program, flood insurance protection is to be obtained as a condition of the approval of financial assistance to the property owner.
  - Where the community is participating in the National Flood Insurance Program and the recipient provided
    financial assistance for acquisition or construction purposes (including rehabilitation) for property located in an
    area identified by FEMA as having special flood hazards, the responsible entity is responsible for assuring that
    flood insurance under the National Flood Insurance Program is obtained and maintained.
  - Paragraph (a) of this section does not apply to Federal Formula grants made to a State.
- B. Under section 582 of the National Flood Insurance Reform Act of 1994, 42 U.S.C. 5154a, HUD Disaster assistance that is made available in a special flood hazard area may not be used to make a payment (including any loan assistance payment) to a person for repair, replacement or restoration for flood damage to any personal, residential or commercial property if:
  - 1. The person had previously received Federal flood disaster insurance conditioned on obtaining and maintaining flood insurance; and
  - 2. The person failed to obtain and maintain flood insurance

### **Coastal Barrier Islands:**



x	The site is <u>not</u> in a Coastal Barrier Island (documentation attached)
	_ The site is in a Coastal Barrier Island but the activity is not prohibited as indicated
	at: http://www.fws.gov/
	_ The site is in a Coastal Barrier Island and the activity is prohibited as indicated at:
0	http://www.fws.gov/; the project must be rejected.
	the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 (16 U.S.C.
3501), HUL	D assistance may not be used for most activities proposed in the Coastal Barrier Resources System.
Clear Zon	
x	
	The site is in the Clear Zone (signed acknowledgement attached)
	involving HUD assistance, subsidy, or insurance for the sale of an existing property in a Runway Clear Zone or
	, as defined in 24 CFR Part 51, the responsible entity shall advise that the property is in a runway clear zone or
	what the implications of such a location are, and that there is a possibility that the property may, at a later quired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
	quired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
	CERTIFICATION OF CATEGORICAL EXCLUSION
	(Subject to 58.5) Per 24 CFR 58.35 (a)
Contract I	Number: 22DB-OP-03-72-01-H05
I hereby c	ertify that the following activities comprising the 5606 Smith Road, Perry, FL 32348 project have
•	ewed and determined to be Categorical Excluded Activity per 24 CFR 58.35(a) as follows:
(1) Ac	equisition, repair, improvement, reconstruction, or rehabilitation of public facilities and
	nprovements (other than buildings) when the facilities and improvements are in place and will be
	etained in the same use without change in size or capacity of more than 20% (e.g. replacement of
	ater or sewer lines, reconstruction of curb and sidewalks, repaving of streets).
(2) Sn	ecial projects directed to the removal of material and architectural barriers that restrict the mobility
	f and accessibility to elderly and handicapped persons.
x (3) R	ehabilitation of buildings and improvements when the following conditions are met:
(i)	
<b>\</b> -7	beyond four units, the land use is not changed, and the footprint of the building is not increased
	in a floodplain or in a wetland;
(ii	i) In the case of multifamily residential buildings:
•	(A) Unit density is not changed more than 20%;
	(B) The project does not involve changes in land use from residential to non-residential; and
	(C) The estimated cost of rehabilitation is less than 75% of the estimated cost of replacement after rehabilitation
(ii	ii) In the case of non-residential structures, including commercial, industrial, and public buildings:
,,,	(A) The facilities and improvements are in place and will not be changed in size or capacity by
	more than 20%; and
	(B) The activity does not involve a change in land use, such as from non-residential to residential,
	commercial to industrial, or from one industrial use to another.
(4) Ar	individual action on up to four dwelling units where there is a maximum of four units on any one
	n individual action on up to four dwelling units where there is a maximum of four units on any one te or an individual action on a project of five or more housing units developed on scattered sites



Signature: Dat Printed Name: Jamie English Title: Chairman of the Board of Count	
Signature: Dat Printed Name: <u>Jamie English</u> Title: <u>Chairman of the Board of Count</u>	Commissioners
Printed Name: <u>Jamie English</u> Title: <u>Chairman of the Board of Count</u>	Commissioners
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# TAYLOR COUNTY HOUSING REHABILITATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

## CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

### PROPERTY INFORMATION:

Property Address:	5600 Smith Rd. Perry, F	5600 Smith Rd. Perry, FL 32348				
Property Owner:	Tina McMillan					
Home Phone:	850-295-0445	850-295-0445				
Alt Phone:	850-838-7612	850-838-7612				
Year Built:	1988	1988				
LBP/ACM	LBP Action: N/A	LBP Action: N/A ACM Action: See the attached report				
Building Description:	Number of bedrooms: 2 Number of bathrooms:					
Parcel ID Number:	01619-610	•				

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$ <u>N/A</u>	
В.	SITEWORK	Rehabilitation of unit shall include: I Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. Disconnect and re-connect to community water systems if required by code or specification within this document. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

### THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the <a href="https://document.com/nc/marchite/">TOTAL BID</a> submitted, and all items must be cost itemized in the space provided or the bid <a href="https://doi.org//>
iiill be rejected.">will be rejected.</a>

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

## PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and u property. I/We also agree that	nderstand that there will I Code Requi	tk Write-Up consisting of all list the specifications of the work to be "NO" changes in the specification rements. Furthermore, I/We authored in this Work Write-Up.	e performed on our ions unless needed
x	1 1	<b>x</b>	, ,
Property Owner's Signature	Date	Property Owner's Signature	Date
Total contractor bid for reques The proposed work shall be c	sted work: \$	ithin <u>120</u> Business/Working D	ays.
Bid submitted by: Company Name:			
Authorized Signature*: X  * Signature of licensee, or signature on file	nature of pe	rson authorized by licensee whose	e authorization

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM

## Warranty Rehabilitation Scope of Work and Specifications

Client:	Tina McMillan	Date:	October 2023
Address:	5600 Smith Rd. Perry, FL 32348		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

## **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

NOTE: Sign	ature required for ac	knowledgment o	f Notice to Bidding	General Contracto	ors
Print Name	V6 Y8 AV ROUGH A TUSTOS A TO	Siana	L I I		Deta "
1, in regime		Olyria	ıure		Date
하늘 보통하는 아름은 보다 회사를 하고 있다.	공기에 가지 않는 사람들이 되었다. 그 사람이 되었다.			and the second of the second	化二十二甲二烷 化二二十二烷

The above applies to all line items associated with this Scope of Work:

In Coperational  Unit Site \$	Description: Project Operation	Qty.	Location	Amount
The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, other, other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, other, other, other, other, other, other, other, and other, other, and other, other, and other, ot	1. OPERATIONAL			
The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months- 120 calendar days) to be placed on site during extermination and interior rehabilitation processes. The nomeowner shall be responsible for storing and replacing belongings into and out of the POD.	1. Operational	Unit	Site	\$
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### 2. GENERAL SPECIFICATIONS

All

Project

\$

. The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a comparable spot on the existing lot.

### STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 2 bedrooms/closets; 1 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). The exterior shall also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

### **Base Specification Notes:**

**NOTE 1:** Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was fully functional at the time of inspection. No replacement required...connect back into the existing septic infrastructure/system. The system shall be reviewed for compliance and tested for prior to reconnection.

NOTE 5: The existing well/ water supply system was fully functional at the time of inspection. The system shall be tested prior to reconnection.

NOTES Site clear and prep shall include the cost for removal and stump grinding of three (3) existing (front & left elevation) trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

### 3. ROOFING SPECIFICATIONS

Dwelling

Site

\$

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

### **Roofing Notes:**

**NOTE 1:** Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3: The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

**NOTE 4:** A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.

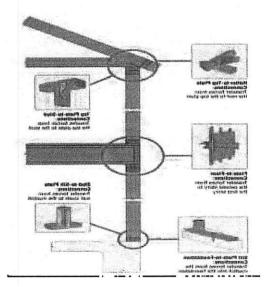
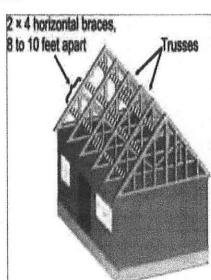


diagram A



**J**diagram B

### 4. PRIMARY E/E DOOR(S)

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended

2-Units

Site

Door Product NOA#-PGT or equal in value and quality)
:( Schlage lock set Product: or equal in value and quality)

### E/E Door Notes:

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

NOTE 3: Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	\$

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of five (5) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

**NOTE 2:** Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

**NOTE 4:** All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particulargeographic region: (Southern Region: U<sup>1</sup>-factor </= 0.40 and SHGC<sup>2</sup> </= 0.25)

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Taylor County and/or minimum ASTM 1986-1996. This includes the window and frames.

# Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

6a. LIGHTING SPECIFICATIONS	System	Site	\$

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below. Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. *Exact unit dimensions to be determined by the contracting firm.* (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2.

## Light Fixture Notes:

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

NOTE 2: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

## 

### Smoke/CO2 Notes:

**NOTE 1:** Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

### 6c. HVAC 1-System Dwelling \$\_\_\_\_\_

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

### **HVAC Notes:**

**NOTE 1:** Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

Description: Demo-Replacement	Qty.	Locatio	n A	mount
7. PLUMBING SPECIFICATIONS	Dwelling	Site	\$	

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

## 7a. HOT WATER HEATER 1-Unit Dwelling \$\_\_\_\_\_

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

### Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

**NOTE 2:** Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

7b. EXTERIOR HOSE BIBB	1-Unit	Exterior	\$

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation. (Recommended Product: Prier Product or equal in value and quality).

### 7c. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

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Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by an appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall. Owners shall be provided a minimum of three (3) Color choice options for tile.

### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

### 7d. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

### **Toilet Note:**

NOTE 1: If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

### 7e. VANITY

1-Unit Bath #2

\$\_

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

### Vanity Note:

NOTE 1: When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: Bathroom Faucets: Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

### Description: Demo-Replacement

Otv

Location

Amount

\$

### 8. GENERAL INTERIOR SPECIFICATIONS

Dwelling

Site

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

### **Interior Specification Notes:**

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) **Owner must be given a minimum of 3 color selections where color is not specified:** Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

### 8a. INTERIOR FLOORING-TILE

As-Listed

**Various** 

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Hall Bath; Utility Room

### Tile Flooring Notes:

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

### 8b. INTERIOR FLOORING-VINYL PLANK

As-Listed Various

\$

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Hallway

### **Plank Flooring Notes:**

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

Description: Demo-Replacement	Qty.	Location	Amount
9. INTERIOR KITCHEN	As-Listed	Kitchen	

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

### Cabinet Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

### **Cabinet Requirements:**

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

### 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

### Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

\$

\$

Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. *Exact range dimensions to be determined by contracting firm and should fit existing opening.* (Recommended Product# GE or equal in value and quality) *Owner to determine color.* 

### **Stove Notes:**

Note 1: Instillation to include electrical cord and connector.

### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

\$

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

### Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

**Description: Demo-Replacement** 

Qty. Location

Amount

\$

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Hall Bath

10a. MISC. SPECS-VARIOUS

As-Listed

Dwelling

\$

The Following items shall also be included with the new home:

- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- > (Wire house for cable TV in living room and all bedrooms.
- > (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

----- END SOW-----

EXISTING DWELLING FOOTPRINT ----



66 14 MHB 14 55



----- EXISTING DWELLING FOOTPRINT ------

## **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT
1.	*
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Print	Name):			
Contractor's Signature:_				
Title of signatory:				

### "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILITATION PROGRAM HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. <u>It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.</u>
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

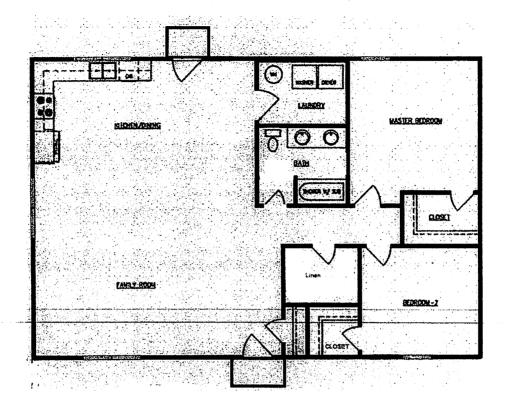
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE
	-		

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

Homeowner Signature:	Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

## **EXHIBIT "B".**



THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.



### ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

# NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

### FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

### **LOCATION:**

McMillan Residence 5600 Smith Road Perry, Florida 32348

# **PERFORMED BY:**

ACM Engineering & Environmental Services 5404 Hoover Blvd., Suite 9 Tampa, Florida 33634

> <u>DATE</u>: September 5<sup>th</sup>, 2023



### ACM ENGINEERING & ENVIRONMENTAL SERVICES

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

### NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT

### FOR:

Guardian CRM, Inc. 15000 Citrus County Drive, Suite 331 Dade City, Florida 33523

DATE: September 5th, 2023

STRUCTURE: McMillan Residence LOCATION: 5600 Smith Road CITY, STATE: Perry, Florida 32348

### **PROJECT REVIEW:**

ACM Engineering and Environmental Services, Inc. (ACM- Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the McMillan Residence scheduled for demolition located at 5600 Smith Road in Perry, Florida. The site survey was performed by Joshua Baker on August 31st, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

5404 HOOVER BOULEVARD, SUITE 9 • TAMPA, FLORIDA 33634 • PHONE (813) 282-1232 • FAX (813) 885-7967 • www.acmenv.com

NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Sampling and Analysis Report Guardian CRM, Inc. McMillan Residence 5600 Smith Road Perry, Florida 32348

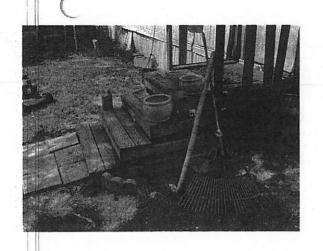
### **EXECUTIVE SUMMARY:**

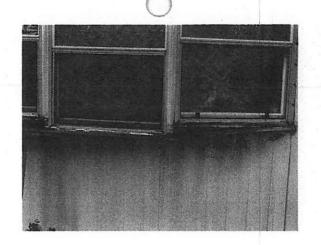
The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 5600 Smith Road in Perry, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-eight (28) suspect asbestos bulk samples from ten (10) homogeneous materials were collected and analyzed for asbestos content.

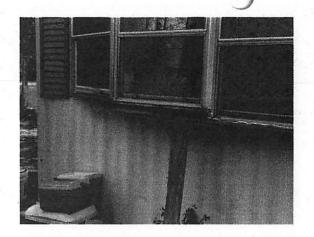
A summary of the analysis results is as follows:

- A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:
  - None
- B. The following sampled building materials were identified to be nondetectable for asbestos content.
  - Surface Texture
  - Drywall Composite
  - Tile Pattern Vinyl Flooring Bathroom
  - Flooring Adhesive
  - Ceiling Texture
  - Tile Pattern Vinyl Flooring Bedroom
  - Flooring Adhesive
  - Vinyl Floor Tile
  - Floor Tile Adhesive
  - Counter Caulk

P.T.S. 9/5/23

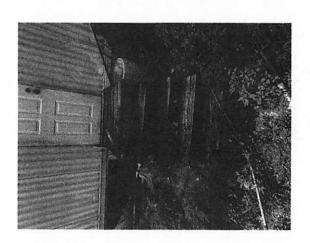






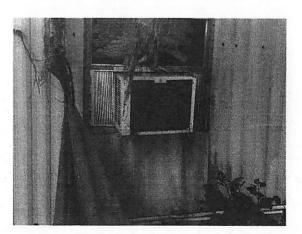


5600 SMITH ROAD
PERRY, FL 32348
DEMOLITION/
RECONSTRUCTION PROJECT











# Site Specific Environmental Review Checklist Categorically excluded housing activities as listed in the unspecified site strategy

Project Address (include city & zip code): 6749 S. Red Padgett Road, Perry, FL 32348
Signature of Person Inspecting Project Site: Evans
RE approval signature:
Date Review Completed: Grant Number: 22DB-OP-03-72-01-H05
If there are more that 4 new construction units together, this form cannot be used. Refer to 24 CFR Part 58.35(a)(4).
The Site Specific Review checklist contains only the items that <u>could not</u> document compliance on the Broad Review per 24 CFR Part 58.15. Include the projects scope of work and corresponding pictures related to the project.
Estimated cost of the project? (Include all funding sources): \$280,000
0 to 39.9% market value of the structure
40 to 49.9% market value of the structure
50 to 74.9% market value of the structure
75%+ (and above) market value of the structure
*Note: When rehabilitation and/or replacement costs meet or exceed 50% (substantial improvement) of the structures market value, a Statutory Worksheet (with supporting documentation) must be completed for each unit.
1. <u>Historical Preservation</u> : (36 CFR Part 800)
a. Is the structure, located on the project site or structures adjacent to the project, more than 50 years old? YES NO [Attach a copy of the property appraiser's report(s)]  33 age of structure on project site
age of structure on adjacent site
vacant age of structure on adjacent site
<ul> <li>b. Is the project located in a historic district? YES NO</li> <li>c. Will the project site have the potential to contain archeological properties?</li> </ul>
YES✓ NO
If Yes to question (a) through (c), contact the Florida Department of State, State Historic Preservation Office (SHPO). Allow 30 days from receipt of the request for comments. Attach photocopies of all correspondence. Document the review if no response is received.

	d.	Will the project require soil to be disturbed?YESNO
		If Yes to question (c) and/or (d), contact the appropriate Native American Indian Tribe(s)
		listed in the Tribal Directory Assessment Tool version 2.3 ( <a href="https://egis.hud.gov.tdat/">https://egis.hud.gov.tdat/</a> ) Provide photocopies of all correspondence (included letters, emails, delivery receipts and
		other relevant information).
	e.	Have the Alabama Coushatta Tribe of Texas been provided with the following:
		i. A Copy of the Scope of Work YES NO
		ii. Aerial photos of the project site ✓ YESNO
	f.	Was a response received from the Alabama Coushatta Tribe of Texas? YES VIO
2.	Flood	plain Management: (Executive Order 11988 and 24 CFR Part 55)
	a.	According to FEMA's Flood Insurance Rate Map (FIRM) is the project located in a:
		100-year floodplain? YES NO
		500-year floodplain? YESNO
		*Attach a photocopy of the most recent FIRM map (https://msc.fema.gov/portal/home) and include the project location.
	b.	If Yes to (a), was the decision making (8-step) process completed during the Unspecified Site Strategy? YES NO
		If Yes, proceed to #3. If No, continue below.
	C.	Is the project exempt from the decision making (8-step) process per 24 CFR 55 12 (a) or
		(b)? YES NO
		If Yes, state the CFR regulation
		If No, the decision making process is required for individual housing projects for one-to-
		four family properties or structures involving new construction of substantial improvements [see 24 CFR Part 55.2 (b)(10)]
		*Provide a copy of the flood insurance policy for projects located within the floodplain [see
		24 CFR 58.6 (a) and (b)]. For demolition/replacements, provide a copy of the flood insurance for the new structure.
3.	Wetla	nds: (Executive Order 11990 and 24 CFR Part 55)
	a.	Is the project located in a wetland?YESYO
		*Refer to the U.S. Fish and Wildlife Service National Wetland Inventory website at: <a href="https://www.fws.gov/wetlands/">https://www.fws.gov/wetlands/</a> .
		*Attach a photocopy of the wetlands map with the project location.
		If No to (a.), proceed to #4. If Yes, continue below.
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b. Will the project meet an exception listed in 24 CFR 55.12(a) or (b)?  YES NO	
If Yes, complete the decision-making process under 24 CFR 55.20.	
**The restriction regarding the expansion and/or rehabilitation of a one-to-four fa structure was removed effective December 15, 2013.	amily
4. Noise: (24 CFR part 51) Only complete questions (a) and (b) for housing Disaster Recovery projects.	
a. Will the project utilize funds from a Disaster Recovery Grant?  YES N/A	
If No, proceed to (c) below. Noise requirements are not applicable to any action emergency assistance for actions under Disaster Recovery grants as described in 24 Part 51.101(a)(3).	on or CFR
<b>b.</b> Will the project involve the use of additional funding sources other than the Disaster Recognant?YESNO	very
If Yes, provide funding source(s) in the scope of work and continue below.	
c. Will the project involve rehabilitation? YES NO	
If Yes, noise is to be considered. Continue to (d) below.	
Will the project involve "new" construction?YESNO	
If Yes, complete the questions in (d) below. Mitigation is required for projects exceet the average day night noise level of 65 decibels (dB).	ding
d. Is a Highway within 1,000 feet of the project?	
Is a Railroad within 3,000 feet of the project?	
Is a civilian airport within 5 miles of the project?	
Is a Military airport within 15 miles of the project?YESYO	
If Yes to (d) above, complete a noise assessment using the Day/Night noise L Calculator: https://www.hudexchange.info/resource/2830/day-night-noise-level-assessment-tool/	.evel
<b>Note</b> : Noise assessments should include the following documentation: FDOT daily to map; railroad information; airport noise contour map; airport noise worksheet; and or both of the following:	
*Rehabilitation with noise above 65 dB: Completion of the Sound Transmis Classification Assessment Tool at: <a href="https://www.hudexchange.info/stracat/">https://www.hudexchange.info/stracat/</a> .	ssion

\*New construction with noise above 65 dB. Mitigation is required for projects exceeding the average day night noise level of 65 dB. Complete the Barrier Performance Module at: <a href="https://www.hudexchange.info/programs/environmental-review/bpm-calculator/">https://www.hudexchange.info/programs/environmental-review/bpm-calculator/</a>.

For additional information refer to HUD's Noise Guidebook or Exchange website at: <a href="https://www.hudexchange.info/resource/313/hud-noise-guidebook/">https://www.hudexchange.info/resource/313/hud-noise-guidebook/</a>.

5.	Explosive & Flammable Operations: (per 24 CFR Part 51, Subpart C)
	<ul> <li>a. For housing rehabilitation projects, will the number of individuals increase?  YESNO</li> <li>b. Is the project "new" housing construction?YESNO</li> <li>c. Are there stationary above ground storage tanks (AGST) in excess of 100 gallons within a 1 mile radius of the project site that contains explosive or flammable liquids?  YESNO</li> </ul>
	If Yes, complete the Acceptable Separation Distance calculation using the Electronic Assessment Tool at <a href="https://www.hudexchange.info/environmental-review/asd-calculator/Refer">https://www.hudexchange.info/environmental-review/asd-calculator/Refer to the Acceptable Separation Distance Guidebook for additional information.</a>
	*A site located less than the Acceptable Separation Distance will require mitigation or it will be rejected. For example, mitigation would be required if the separation distance is 150 feet but the project site is located 125 feet. If mitigation is not obtained, the site will be rejected.
	*The review should include the ASD calculation, photos, distance to and location of each tank.
6.	Hazard and Toxics:
	a. Observe the site for any evidence that a toxic material could be present on the site such as distressed vegetation, vent or fill pipes, storage tanks, pits, ponds, or lagoons, stained soil or pavement, pungent, foul or noxious odors, or past uses of the site. YES NO
	*Reject any site that has a presence of Toxics or required cleanup prior to purchasing the site.
	Use the U.S. EPA NEPAssist website <a href="http://www.epa.gov/nepa/nepassist">http://www.epa.gov/nepa/nepassist</a> to determine:
	1. Are there EPA facilities within 3,000 feet of the site?YESNO
	2. If Yes, are there Brownfields or Superfund facilities? YES NO *If Yes to # 2, contact the Florida DEP for clearance documentation.
	*Attach a photocopy of the NEPAssist report and associated ECHO reports for all EPA

facilities located within 3000 feet of the project site.

b.		Lead-based Paint (LBP):
	1.	. Was the structure built prior to 1978?YESYEO
		*For the following questions, refer to the U.S. Department of Housing and Urban Development "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing" at: <a href="https://www.hud.gov/program_offices/healthy_homes/lbp/hudguideslines">https://www.hud.gov/program_offices/healthy_homes/lbp/hudguideslines</a> and the "Lead Safe Housing Rule" under 24 CFR Parts 35, Subparts B through M.
	2.	Is the structure exempt from LBP testing?YESNO
	3.	Was a LBP test conducted? YES NO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		(Note: Homeowner is to be notified of test results within 15 calendar days)
	4.	Are the LPB test results positive? YES NO.  If Yes, provide the homeowner with a copy of the Notice of Evaluation or Presumption.
	5.	Is a LBP clearance test required?YESNO
		*Include a copy of the LBP report, homeowner notification and inspector certificate(s).
		Note: Homeowner is to be notified of test results within 15 calendar days.
c.		Asbestos (NESHAP):
	1.	Is the home exempt from the asbestos (NESHAP) requirements?  YESNO *If Yes, skip to #11below.
		*Refer to U.S. EPA's Asbestos (NESHAP) requirements under 40 CFR Part 61, Subpart M and Chapter 62.257, Florida Administrative Code.
	2.	Is the home or project site, located in the vicinity of other housing projects associated with this grant? YESNO
		*See Fed. Register, Vol. 60, No. 145 dated July 28, 1995.
	3.	Will the home require an inspection to be performed by a licensed asbestos inspector?  YESNO
		* If Yes, to #3, include a copy of the inspection report and the inspector(s) certification(s).
	4.	If an inspection was performed, is mitigation required?YESNO
		*If Yes to #4, include all documentation of the mitigation measures to be performed.

7.	Acc	cident Potential Zone (APZ) and Runway Protection Zone/Clear Zone (RPZ/CZ):
		A. Is the project located within 15,000 feet of a military airport (APZ)?  YESNO
		B. Is the project located within 2,500 feet of a civilian airport (RPZ/CZ)?  YES NO
		C. If Yes to either question above, is the project located within the Accident Potential Zone (Military airport) or Runway Protection Zone/Clear Zone (Civilian airport)? YESNO
		*If Yes, continue below. If No, attached a map of the project location as it relates to the Accident Potential Zone (APZ) OR Runway Protection Zone/Clear Zone (RPZ/CZ).
For	pro	jects located within the Accident Potential Zone (APZ):
	1.	Will the project involve any of the following new construction, substantial rehabilitation acquisition of undeveloped land, activities that would significantly prolong the physical or economic life of existing facilities or change the use of the facility to a use that is not consistent with the recommendations of the Department of Defense (DOD)'s Land Use Compatibility Guidelines; activities that would significantly increase the density or number of people at the site; or activities that would introduce explosive, flammable, or toxic materials to the area?YESNO
For	· pro	jects located within the RPZ/CZ:
	1.	Will the project involve facilities that will be frequently used or occupied by people?  YESNO
		*If No, include written assurance from the airport operator that there are no plans to purchase the land as part of a RPZ/CZ program and continue to #8.
		*If Yes, was a signed copy of the <u>Notice to Prospective Buyers</u> to inform of potential hazards from airplane accidents as well as the potential for the property to be purchased as part of an <u>airport expansion</u> project in accordance with 24 CFR 51.303(a)(3) provided? YESNO

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	*If Yes, to (A) above, was a written documentation obtained from the airport operator assuring the project site would not be acquired or purchased in the future as part of a clear zone acquisition program? Yes No
	2. Does the project involve new construction, substantial rehabilitation, acquisition of undeveloped land, or activities that would significantly prolong the physical or economic life of existing facilities that will be frequently used or occupied by people? YESNO
	(If Yes, the site should be rejected <u>unless it will not</u> be frequented by people and/or is approved by the airport operator).
8.	Endangered Species Act:
	Use the Florida Fish and Wildlife Conservation Commission (FFWCC) Eagle Nest Locator website ( <a href="http://myfwc.com/wildlifehabitats/managed/bald-eagle/">http://myfwc.com/wildlifehabitats/managed/bald-eagle/</a> ), to check for Bald Eagles nest within a one mile radius of the project location. Include a copy of the Bald Eagle nest data search results, clearance documentation and permit(s) as required.
	A. Was a clearance received from the U.S. Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) website?   YESNO
	<ul> <li>B. Was a bald eagle nest(s) located:</li> <li>1. During a visual inspection within one mile of the project?YESNO</li> </ul>
	2. On the FFWCC website within one mile radius of the project site? YESNO
	3. Within 660 feet of the project location?YESNO
	*If Yes, will the proposed activity occur during the nesting season (October 1 through May 15? YES NO
	*If Yes, contact the FFWCC at <a href="http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/">http://myfwc.com/license/wildlife/protected-wildlife/eagle-permits/</a> . Include clearance documentation and a copy of all permits (if required).
9.	Coastal Barrier Resource Act:
	Use the U.S. Fish and Wildlife Service Coastal Barrier Resource System Mapper website at <a href="http://www.fws.gov/cbra/maps/mapper.html">http://www.fws.gov/cbra/maps/mapper.html</a> .
	A. Is the project located in a Coastal Barrier Resource System?YESYO
	*Provide the projects location on the Costal Barrier Resource System map.

		*If Yes, cancel the project and consult with the FWS. Federal assistance for most activities may not be used in this location.
	В.	If consultation occurred with the FWS, was approval given?  YES NO NA
		*Provide a copy of all consultation documents. If not approved, the project may not proceed at this location.
10.	<u>In</u> :	spections:
	A.	Septic Tank Inspection:
		1. Was a septic tank and drain field inspection performed? YESNO *If yes, include a copy of the inspection.
		2. Will the inspection require the septic system to be replaced?  YESNO
		*If Yes to #2, provide a copy of the clearance inspection report. A clearance must be received prior to closure of the project.
	В.	Wood Destroying Organism (WDO) inspection:
		1. Will a WDO inspection be required? YES YES NO
		*If Yes, include a copy of the WDO inspection and/or clearance report.
	No	ote: If work was performed, provide a copy of the clearance report.
11.	<u>Di</u>	saster Recovery Project (Only):
	A.	Has a duplication of benefits been performed and cleared for the following:
		FEMA: YES NO
		Insurance: YES NO
		Other: YES NO
		Yes to the above, include a copy of the Duplication of Benefits (DOB) information and/or a earance report.



# STATUTORY WORKSHEET 24 CFR §58.5 STATUTES, EXECUTIVE ORDERS & REGULATIONS

Suggested Format for Categorically Excluded Projects subject to §58.5. NOTE: Compliance with the laws and statutes listed at 24 CFR §58.6 must also be documented.

Project Name: 6749 S. Red Padgett Road, Perry, FL 32348 Project Contract Number: 22DB-OP-03-72-01-H05

Project Description: Include all contemplated actions that logically are either geographically or functionally

part of the project: <u>Demolition/reconstruction of a single-family, owner-occupied home.</u>

This proposal is determined to be: <u>Categorically Excluded Subject to 58.5</u>

According to: [Cite Section(s)]: CFR 24 Section 58.35 (a)(3)(i)

DIRECTIONS: Write "A" in the Status Column when the proposal, by its scope and nature, does not affect the resources under consideration; or write "B" if the project triggers formal compliance consultation procedures with the oversight agency, or requires mitigation (see Statutory Worksheet Instructions). Compliance documentation must contain verifiable source documents and relevant base data.

### **Compliance Factors:**

STATUTES, EXECUTVE ORDERS AND REGULATIONS LISTED AT 24 CFR 58.5 A/B

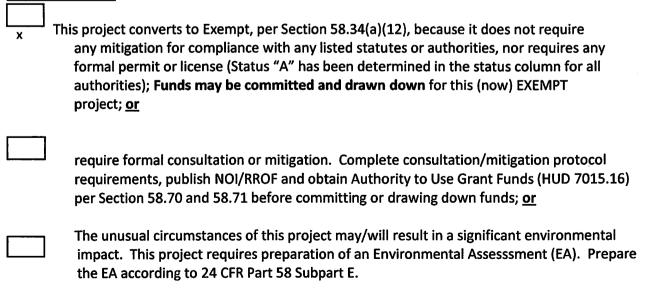
# COMPLIANCE DETERMINATION AND DOCUMENTATION

NEGOLATIONS LISTED AT 24 CITY 30.3	<u> </u>	
		The project will have no effect on historic properties. The home was built in 1990 and is not greater than 50 years old. See attached determination. The Alabama-Coushatta Tribe of Texas expressed an interest in being informed of the project location and
HISTORIC PRESERVATION		scope of work. Consultation was initiated but no
36 CFR Part 800	Α	response was received.
FLOODPLAIN MANAGEMENT		The project will have no effect on the floodplain.  This project is for the demolition/reconstruction of a single-family home hat is not located within the
24 CFR Part 55 & Executive Order 11988	Α	floodplain. See enclosed FEMA FIRM map.
WETLAND PROTECTION Executive Order 11990	А	The project will have no effect on the wetlands and is not located within a wetland area. See enclosed description of work and wetlands map.
COASTAL ZONE MANAGEMENT ACT SECTIONS 307 (c) & (d)	A	This item was cleared under the Taylor County Broad Review.
SOLE SOURCE AQUIFERS 40 CFR Part 149	А	This item was cleared under the Taylor County Broad Review.
ENDANDERED SPECIES ACT		The project is for the demolition/reconstruction of an existing single-family residential home. No effect on threatened species or endangered species is anticipated. See enclosed eagle nest search, IPaC
50 CFR 402	A	determination.
WILD AND SCENIC RIVERS ACT Sections 7(b) & (c)	Α	This item was cleared under the Taylor County Broad Review.



CLEAN AIR ACT Sections 176(c)(d) & 40 CFR 6, 51, 93	A	This item was cleared under the Taylor County Broad Review.
FARMLAND PROTECTION POLICY ACT 7 CFR Part 658	A	This item was cleared under the Taylor County Broad Review.
ENVIRONMENTAL JUSTICE Executive Order 12898	A	This project is for demolition/reconstruction of a single-family home that will not involve an increase residential densities or conversation. See the Scope of Work.
NOISE ABATEMENT & CONTROL 24 CFR Part 51B	A	The project is not within 1000 feet of a highway or 3,000 feet of a railroad or within 15 miles of a Military Airport. The project is within 5 miles of a Civilian Airport, however, the airport noise worksheet attached does not feel the airport noise will extend out of the airfield. See attached maps and data.
EXPLOSIVE & FLAMMABLE OPERATIONS 24 CFR Part 51C	Α	This project is for demolition/reconstruction of a single-family home that will not involve an increase residential density or conversion. See the Scope of Work.
HAZARDOUS, TOXIC OR RADIOACTIVE MATERIALS & SUBSTANCES 24 CFR 58.5(i)(2)(i)	A	There were no hazardous, toxic or radioactive materials & substances noted during the filed inspection, none were noted on the NEPAssist site. See NEPA assist report, facility reports.
AIRPORT CLEAR ZONES  & ACCIDENT POTENTIAL ZONES  24 CFR Part 51D	A	The project is not located within 15,000 feet of a military (APZ) airport or within 2,500 feet of a civilian airport (RPZ/CZ).

### **Determination:**





FLOR	Updated 10/21/201
Dami Evans	
PREPARER SIGNATURE	
Jami Evans, Grant Coordinator	
PREPARER NAME & TITLE	
1/29/24	
DATE	
RESPONSIBLE ENTITY/AGENCY OFFICIAL SIGNAT	URE
Jamie English, Chairman of the Board of Coun	ty Commissioners
NAME & TITLE	· ·
DATE	
DOCUMENTATION	N OF COMPLIANCE with
	Part 58.6 (a - d)
<u>Use this form f</u>	or all levels of review
Grant Recipient:	Contract Number: 22DB-OP-03-72-01-H05
Prepared By: J. Corbett Alday, Guardian CRM, Inc.	Date:
Flood Insurance:	
X The site is <u>not</u> in the 100 year floodp	· · · · · · · · · · · · · · · · · · ·
The site is in the 100 year floodplain (se	ee attached map)

Flood Insurance is required for structures in the 100 year floodplain

Flood Insurance when the site is in the 100 year floodplain:

- 1. Under the flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128), Federal financial assistance or acquisition and construction purposes (including rehabilitation) may not be used in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards, unless:
  - i. The community in which the area is situated is participating in the National Flood Insurance Program (see 44 CDR Parts 59 through 79), or less than one year has passed since the FEMA notification regarding such hazards, and
  - ii. Where the community is participating in the National Flood Insurance Program, flood insurance protection is to be obtained as a condition of the approval of financial assistance to the property owner.
- 2. Where the community is participating in the National Flood Insurance Program and the recipient provided financial assistance for acquisition or construction purposes (including rehabilitation) for property located in an area identified by FEMA as having special flood hazards, the responsible entity is responsible for assuring that flood insurance under the National Flood Insurance Program is obtained and maintained.
- Paragraph (a) of this section does not apply to Federal Formula grants made to a State.
- B. Under section 582 of the National Flood Insurance Reform Act of 1994, 42 U.S.C. 5154a, HUD Disaster assistance that is made available in a special flood hazard area may not be used to make a payment (including any loan assistance payment) to a person for repair, replacement or restoration for flood damage to any personal, residential or commercial property if:



- 1. The person had previously received Federal flood disaster insurance conditioned on obtaining and maintaining flood insurance; and
- 2. The person failed to obtain and maintain flood insurance

Coastal Barrier Islands:
X The site is <u>not</u> in a Coastal Barrier Island (documentation attached)
The site is in a Coastal Barrier Island but the activity is not prohibited as indicated
at: http://www.fws.gov/
The site is in a Coastal Barrier Island and the activity is prohibited as indicated at:  http://www.fws.gov/; the project must be rejected.
Pursuant to the Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 (16 U.S.C.
3501), HUD assistance may not be used for most activities proposed in the Coastal Barrier Resources System.
·
<u>Clear Zones</u> :
X The site is <u>not</u> in the Clear Zone (documentation attached)
The site is in the Clear Zone (signed acknowledgement attached) In all cases involving HUD assistance, subsidy, or insurance for the sale of an existing property in a Runway Clear Zone or
Clear Zone, as defined in 24 CFR Part 51, the responsible entity shall advise that the property is in a runway clear zone or clear zone, what the implications of such a location are, and that there is a possibility that the property may, at a later date be acquired by the airport operator. The buyer must sign a statement acknowledging receipt of this information.
CERTIFICATION OF CATEGORICAL EXCLUSION
(Subject to 58.5) Per 24 CFR 58.35 (a)
Contract Number:
I hereby certify that the following activities comprising the project have been reviewed and determined to be Categorical Excluded Activity per 24 CFR 58.35(a) as follows:
(1) Acquisition, repair, improvement, reconstruction, or rehabilitation of public facilities and improvements (other than buildings) when the facilities and improvements are in place and will be retained in the same use without change in size or capacity of more than 20% (e.g. replacement of water or sewer lines, reconstruction of curb and sidewalks, repaving of streets).
(2) Special projects directed to the removal of material and architectural barriers that restrict the mobility of and accessibility to elderly and handicapped persons.
<ul> <li>_X (3) Rehabilitation of buildings and improvements when the following conditions are met:         <ul> <li>(i) In the case of a building for residential use (with one to four units) the density is not increased beyond four units, the land use is not changed, and the footprint of the building is not increased in a floodplain or in a wetland;</li> <li>(ii) In the case of multifamily residential buildings:</li></ul></li></ul>
(A) The facilities and improvements are in place and will not be changed in size or capacity by



commercial to industrial, or from one	industrial use to another.
site or an individual action on a project of fiv	nits where there is a maximum of four units on any one e or more housing units developed on scattered sites rt and there are not more than four units on any one site
(5) Acquisition or disposition of, or equity loans of provided that the structure or land acquired, finance	on an existing structure, or acquisition of vacant land d, or disposed of will be retained for the same use.
(6) Combination of the above activities.	
Responsible Entity/Certifying Official Signature:	
Signature:	Date:
Printed Name: <u>Jamie English</u> Title: <u>(</u>	Chairman of the Board of County Commissioners

# TAYLOR COUNTY HOUSING REHABILATATION PROGRAM

Department of Grants Administration 401 Industrial Park Dr. Perry, Florida 32347

### CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications

### PROPERTY INFORMATION:

Property Address:	6749 S Red Padget Rd.	6749 S Red Padget Rd. Perry, FL 32348				
Property Owner:	Lessie (Cruce) Land	Lessie (Cruce) Land				
Home Phone:	850-843-8027	850-843-8027				
Alt Phone:	850-838-3500					
Year Built:	1990					
LBP/ACM	LBP Action: N/A ACM Action: N/A					
Building Description:	Number of bedrooms: 3 Number of bathrooms:			2		
Parcel ID Number:	08608-350	Miles	17			

Note	System	Description of Work	Location	Price	Contractor Initials
Α.	REHABILITATION	Special attention should be directed to the attached reports regarding Lead Base Paint, Asbestos, and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$N/A	
В.	SITEWORK	Rehabilitation of unit shall include: 1. Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2. Disconnect and re-connect to community water systems if required by code or specification within this document. 3. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 4. Disconnect and re-connect existing septic system or to community sewer utility (where applicable).	All	INCLUDE IN BID LINE ITEMS	

### THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the TOTAL BID submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name):	Contractor Name (Print Name):
Contractor's Address:	
Contractor's Phone Number:	Contractor's Email:

### PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:

rehabilitation inspector and u property. I/We also agree that	nderstand that there will to Code Requir	k Write-Up consisting of all listence specifications of the work to be "NO" changes in the specification rements. Furthermore, I/We authored in this Work Write-Up.	e performed on our ons unless needed		
x	1 1	<b>X</b>	1 1		
Property Owner's Signature	Date	Property Owner's Signature	Date		
CONTRACTOR BID INFORMA	ATION				
Total contractor bid for requested work: \$ The proposed work shall be completed within Business/Working Days.					
Bid-submitted-by:					
Company Name:					
Authorized Signature*: X			·		
* Signature of licensee, or signature of lic	* Signature of licensee, or signature of person authorized by licensee whose authorization				

# TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM

### Warranty Rehabilitation Scope of Work and Specifications

Client:	Lessie (Cruce) Land	Date:	October 2023
Address:	6749 S Red Padget Rd. Perry, FL 32348		

This <u>CDBG Scope of Work and Specification Analysis Report</u> shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

### **NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering <u>all</u> homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

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	d in the state	NOTE:	Signatur	e required	or acknowle	dgment of	Notice to B	idding General	Contractors	
Ī	Print Nar	ne ?	TANK (	Compare action	10年10年6月	Signal	TIPO		Date	_
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The above applies to all line items associated with this Scope of Work:

Description: Project Operation	Qty.	Location	n Am	ount
1. OPERATIONAL				
1. Operational	Unit	Site	\$	
The contractor shall be responsible for and provide all or other required local, state, or federal, documentation etc.).	applications, permits n (To include all appli	, plans, drawi cable Fees, S	ngs, produ Site Survey	ct approvals, s, A&E,
1a. STORAGE			*	_
1a. Storage	Unit	Site	\$	
The contractor shall be responsible for procuring and placed on site during extermination to be placed on site during and replacing the placed on site during externior to be placed on site during extermination to b	nation and interior reh ng belongings into an	abilitation prod d out of the P	cesses. Th OD.	е
1b. GENERAL REPORTING  1b. Reporting Requirements	Unit	Site	•	
The contractor shall contact, either by phone or electron east once per week to provide project progress update Report (MER) to the project manager: Failure to contact consecutive weeks will result in a \$50 per week credit be program in general. This credit shall be applied at every	nic communication (to s. This shall be docur it the owner and/or property as	ext or email), to mented via an arrovide the ME	every Mo R for two (	nday Email
<u>_ine-item Notes:</u> NOTE 1: Failure to place a cost for this line item will not equired stated therein.	t exclude the contract	or from the re	esponsibility	y and
c. MANUALS & SPECIFICATION DOCUMENTS				
c. Manuals & Specifications	Unit	Site	\$	N/A
The contractor shall supply, at the time of the final CDB0 pecification booklets/packets for all supplied and install on may result in a failed final CDBG Program Inspection	ed products listed wit	n, all manufac hin the Scope	turer manu of Work. I	olo and
ine-item Notes:				
OTE 1: To Include all applicable Plans, Drawings, and	Permits, & approved	building depa	rtment doc	S.

The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw.

Perform all required actions (Site survey review, permitting, etc...) and prep the site to demolition the existing dwelling unit (does not include any outbuildings having an effect on the dwelling of record): demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall, as much as allowed per the specifications, and requirements set forth in this Scope of Work fit the footprint of the previously existing unit or be placed at a comparable spot on the existing lot.

### STRUCTURALLY THE NEW HOME SHALL CONSIST OF THE FOLLOWING:

- (a) Minimum 1,000 sq. ft.; 3 bedrooms/closets; 2 bathrooms; kitchen (with pantry) separate (by partisan wall or countertop bar) dining room; living room; utility/laundry room; hallway utility (storage closets and air handler closet)
- (b) A minimum of four (4) exterior wood framed walls (R-13 value) with 5/8" Harde (or equal) exterior wall bord, and a vinyl lap siding finish (one main color and one trim color). Exterior to also include a covered overhang (with corner support posts and concrete pad landing).
- (c) Minimum 3,000 PSI monolithic concrete slab, or equal, on grade materials: Concrete foundation and CMU walls must be weather proofed, and the site treated for WDO as-or-if required by the FBC or Building department of jurisdiction)

### **Base Specification Notes:**

NOTE 1: Final and exact layout and floor plan design (including ADA accessible openings) of the home shall be discussed and agreed upon by the contractor and homeowner no later than 30 consecutive calendar days after the Notice to Proceed date commences. The sample floor plan included in this SOW is provided as a guide and startingpoint for contractor and homeowner floor plan discussions. Final layout should not deviate greatly from the provided floor plan guide.

NOTE 2: A final home floor plan, and layout (including all interior doors) shall be provided to the CDBG Program Project Manager/Inspector prior to final plans and permits being pulled. This final drawing shall be provided no later than 30 consecutive calendar days after the Notice to Proceed date commences and shall be accompanied by a fully executed color/style selection sheet.

NOTE 3: The entry/exit overhangs shall be located at the front and rear elevation of the home, above each door, have a poured concrete pad and shall include a minimum of two (2) vertical weatherized support beams at each front corner.

NOTE 4: The existing septic system was not operational at the time of inspection. Bid to include installation of a new septic system and all required infrastructure (tank, drain-field, etc), components & hardware needed for intended and compliant operation.

NOTE 5. The existing well/water supply system was not code compliant and only partially operational at the time of inspection. Bid to include installation of new water supply system infrastructure (well, pump, tank, well-to home water supply lines, electrical supply and connections etc), components & hardware needed for intended and compliant operation.

NOTE 6 Site clear and prep does not require the removal of any existing trees.

NOTE 7: Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit siding color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. SEE EXHIBIT A

NOTE 8: The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

### 3. ROOFING SPECIFICATIONS

Dwelling

Site

The new unit will have a new hip roof with a minimum 3:12 or maximum 5:12 roof pitch; A reinforced truss system(See diagram B) with continuous load path connections (See Note 4 and diagram A); The new roofing system shall be installed in accordance with the current FBC and include the following:

New engineered trusses and sheathing: Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches' o/c (8d@6"x6") in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joints. Installation to include new 3"x 3" metal drip edge (black) and flashing shall be installed throughout the entire roof system.

One 36" layer of self-adhering "peel and stick" underlayment shall be utilized to cover the full sheathed surface area (see note 2 below for additional requirements). The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer; (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality)

Final covering shall consist of new 30 year architectural/dimensional shingle material with black drip edge, new white vinyl vented soffits, new white, fungal decay and termite resistant, wrapped aluminum covered fascia board, all required roof vents and stacks. The new vents and stacks shall be flashed per the most stringent requirements of themanufacturer's specifications or FBC. Roofing/Attic insulation shall be blown in to meet code (R-30). Attic access shall be located within the utility area of the dwelling. (Recommended Product: Fabral or equal in value and quality)

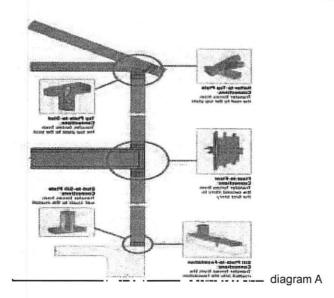
### **Roofing Notes:**

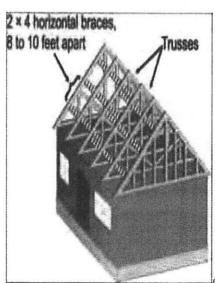
NOTE 1: Contractor shall submit an affidavit to the inspector to the affect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehabilitation inspector.

NOTE 2: An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in allvalleys. The underlayment shall extend a minimum of 2" over each seam.

NOTE 3. The entire roof is to be re-fastened using faster type and spacing distances that in accordance with the current Florida Building Code requirements. The CDBG Department will require an in-progress visual inspection beperformed and approved by the CDBG Inspector.

NOTE 4: A continuous load path shall include anchoring the dwelling roof to the walls, and the walls to the foundation. By using the required ASTM compliant hurricane straps for the roof-to-wall and wall-to-floor connections, and anchor bolts for the frame-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non-applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.





ldiagram B

# Description: Demo-Replacement Qty. Location Amount 4. PRIMARY E/E DOOR(S) 2-Units Site \$

New home shall have installed two (2) new, white, hurricane impact, energy star rated (for the southern region) entry/exit doors. The installation shall include new jambs, preparation of a sufficient door buck to accommodate the new door, and interior wood casing for the new outswing doors; Units shall be white pre-hung fiberglass Hurricane Impact rated, energy efficient units. (Door size & dimensions to be determined by contracting firm); Additionally, all required permits, additional anchor framing, hardware, components, and tap cons (TAP CONS MUST BE WHITE) shall be included in this line item to ensure proper and complete installation to current Florida Building Code and it's HVHZ stipulations. Recommended Door Product NOA#-PGT or equal in value and quality); (Schlage lock set Product: or equal in value and quality)

### **E/E Door Notes:**

NOTE 1: Front elevation E/E door: 1- 1/2 light unit with internal blinds; Rear or Side (Owner's choice of location)E/E Door: 1- Six panel unit (with peep hole)

NOTE 2: All doors shall include lever lock set handles, deadbolts, and be keyed to like. Catch chains not required.

NOTE 3: Contractor shall submit Dade County or equal Florida product approval stamped by the building Department of jurisdiction, with this projects close-out package.

NOTE 4: All newly installed doors shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular geographic region: (Southern Region: U¹-factor </= 0.40 and SHGC² </= 0.25)

NOTE 5: Front E/E door shall include door chime.

Description: Demo-Replacement	Qty.	Location	Amount
5. WINDOW SPECIFICATIONS	As Listed	Site	¢ .

Windows shall be white, vinyl frame, single hung, Miami/Dade NOA or equal Impact rated units: There shall be a minimum of one (1) window in the following areas: (minimum egress must be met); Master Bedroom; Bedroom #2; Bedroom #3; Kitchen/Dining room area. A minimum of two (2) windows shall be placed in the living room area.

Install a minimum of six (6) new vinyl frame, Hurricane Impact Resistant windows, with self-storing screens, and faux marble windowsills All windows must meet egress requirements, where required. (Window size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing (including new bucks), hardware, components, and tap cons (TAPCONS MUST BE WHITE) to ensure proper and complete installation to current FBC. All bath windows must be obscured/safety glass. (Recommended Product &NOA: PGT Windows and Doors or equal in value and quality)

### Window Work Notes:

NOTE 1: Bid to include installation of new 2-inch, faux wood, white, window blinds. Blinds must cover the entire height and width of the window openings

NOTE 2: Contractor shall submit Dade County NOA or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Window assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.

NOTE 3: All window colors shall be white unless otherwise disallowed per an active and legal HOA. Where HOA'sexist color and style compliance shall be the contractor's responsibility.

NOTE 4: All newly installed windows shall adhere to the standards set by Energy Star for minimum National Fenestration Rating Council (NFRC) ratings for U-Factor and Solar Heat Gain Coefficient (SHGC) for the particular

NOTE 5: The completed window installation shall comply with all requirements of the building code of jurisdiction. Windows must meet the FBC HVHZ for Martin County and/or minimum ASTM 1986-1996. This includes the window and frames.

# Description: Demo-Replacement Qty. Location Amount 6. ELECTRICAL SPECIFICATIONS System Site \$\_\_\_\_\_\_

The new homes electrical system package shall consist of the following: A minimum 150amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.

An electrical panel (located inside of the utility area), switches, outlets (GFI receptacles/switches with dedicated arc circuit shall be placed in all "wet" areas in accordance with code requirements); utility/laundry connections; and all fixtures as required by NEC and the current Florida Building code (Electrical outlets must be tamper proof design).

### **Electrical Notes:**

NOTE 1: The electrical service panel shall not be located on the living room, kitchen, or dining room walls. The service panel shall be located inside the utility closet and/or laundry room.

6a. LIGHTING SPECIFICATIONS	System	Site	\$

Install new energy star rated, white high efficiency 42" ceiling fans with light kit (to include green efficient LED bulbs) in the areas listed below: Installation will require all cut-ins and should be installed to manufacturer's specifications and include all required fan-box, wiring, circuitry, switch connections and/or installation, and hardware to ensure complete and operational order, including proper switch operation. Exact unit dimensions to be determined by the contracting firm. (Recommended Product Hampton Bay or equal in value and quality)

Room Locations: Living Room; Master Bedroom; Bedroom #2; Bedroom #3

### **Light Fixture Notes:**

NOTE 1: Additional Energy Star rated light fixtures shall be installed, connected, and switched as follows:

- (a) Bathroom (Overhead Flush Mount Domed light/ exhaust fan fixture)
- (b) Kitchen (2ftx 4ft LED light fixture)
- (c) Dining area (1 LED chandelier Fixture)
- (d) Wall Mounted exterior Scone Lamp unit at the Front (1-Unit) and Rear/Side or Entrance (1-Unit)

NOTE 2: Energy Star rating documentation shall be provided for each installed fan-light fixture. Failure to provide the required documentation may result in non-payment for this line item.

### 6b. SMOKE/CO2 DETECTORS As-Listed Dwelling \$\_\_\_\_\_

Installation of new 110V, hardwired with battery back-up, smoke/carbon monoxide detectors in the listed locations:

Room Locations: Living Room/Hallway; Master Bedroom; Bedroom #2; Bedroom #3

### Smoke/CO2 Notes:

**NOTE 1:** Installation shall include all required connections, wiring, circuitry (arc fault in bedrooms) and hardware to the current code. Installation should be to manufacturer's specifications to ensure proper operational order (Recommended Product: Firex or equal in quality and value).

### 6c. HVAC 1-System Dwelling

Install new energy efficient, minimum minimum14 SEER central heating and air conditioning system with electric heat pump (System tonnage/strip sized to accommodate the housing unit's living space in accordance with approved energy calcs). Rheem (R-14) Classic Series or approved equal in value and quality.

\$

The system is to include service to all habitable rooms and include all new interior register vents and new ducts/plenums to ensure maximum air flow: Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

### **HVAC Notes:**

NOTE 1: Contractor shall provide drawings, energy calculations, and documents as required to perform the SOW.Cost of energy calculations must be included in the bid, as a copy must be provided to the owner and HRS.

NOTE 2: HVAC handler housing to have its own properly ventilated utility closet housing and access door.

NOTE 3: In addition to Energy Calculation and HVAC installation to include Energy Star rated programable thermostat, and where it does not violate the manufacture's recommended installation guidelines, must follow the Energy Star/ACCA Quality Installation Standards (see link for reference): <a href="https://www.acca.org/quality">www.acca.org/quality</a>

Description: Demo-Replacement	Qty.	Location	Amount
7. PLUMBING SPECIFICATIONS	Dwelling	Site	\$

The new homes plumbing system shall consist of the following: All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes. The new unit shall be connected into municipal water/sewer services where available: Where municipal services are not available, and not specified in this SOW, the dwelling shall be connected back into the existing water/sewage systems (any changes associated with compliance and properly connecting back to existing water/sewage equipment or systems will be addressed via a change order only where code or equipment failures can be demonstrated).

The new homes plumbing system shall consist of the following:

### 7a. HOT WATER HEATER 1-Unit Dwelling \$\_\_\_\_\_

Installation of a new, electric, 40 Gallon hot water heater with a 240-volt connection and duel 4500-watt heating elements with automatic thermostat, water supply and pressure relief valve with 3/4" copper piped to the exterior, and drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with thecurrent code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Rheem Performance or equal in value and quality

### Water Heater Notes:

NOTE 1: Hot water heater installation bid to include insulating all exposed water supply lines.

**NOTE 2:** Hot water heater shall be located within the utility area of the dwelling and contain proper ventilation, plumbing, and electrical connections to allow for full, and proper code compliant operation.

7b. EXTERIOR HOSE BIBB	1-Unit	Exterior	\$

Installation of a new, anti-siphon, frost free, watertight, water supply faucet/hose bibb with a powder coated full turn handle (location to be determined by the contractor and owner). Installation to include any ancillarycomponents, including but not limited to supply valve as required to ensure proper installation to the current code/UPC, and intended operation (Recommended Product: Prier Product or equal in value and quality).

### 7c. WALK-IN SHOWER

### 1-Unit Master Bath

Prepare the bathroom walls for installation of a new ADA accessible, tiled shower assembly (with ½ inch curb or less). Make all accommodations to the wall, framing, furring, and supports as required to ensure the structure is code compliant. Installation shall also include cementitious tile backer per manufacturer's recommendations in the full footprint of the new enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard".

Install new 4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start from top of the tiled shower floor and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the walk-in shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, and (1) wash cloth/towel bar placed in the ceramic wall tile setting and (1) wash cloth/towel bar placed on the outside wall of the shower enclosure. Owner's shall be provided a minimum of three (3) Color choice optionsfor tile.

The walls and floor/subfloor shall be ready to accommodate the installation of a new walk-in shower pan, floor, and assembly to the building code/UPC of the jurisdiction. Installation to include a new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm orless) water saving shower head. Plumbing shall be by an appropriately qualified contractor and include all required hardware, connections, and components to ensure code compliance to UPC.

### Walk-in Shower Notes:

When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: Shower Head: Install a low-flow faucet aeratorto 2.0 g.p.m.

### 7d. TOILET

### 1-Unit Master Bath \$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

### **Toilet Note:**

If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

### 7e. VANITY

### 1-Unit Master Bath

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves <u>ONLY</u> may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top. Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to

### **Vanity Note:**

When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures mustmeet or exceed the following standard: Gallons per Minute = gpm: Bathroom Faucets: Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

### 7f. TUB-SHOWER ENCLOSURE

1-Unit Bath #2

\$

Prepare the hall bath walls for installation of a new tub and shower tile surround assembly. Make all repairs to the wall, framing, furring, and supports as required to ensure the structure is code compliant. The new floor/subfloor shall be ready to accommodate the installation of a new steel tub, and assembly to the building code/UPC of the jurisdiction. Install new washer-less single handle lever controls (diverter assembly valves with screwdriver stops), Moen "chateau" or equal. Install new low-flow (2gpm or less) Spout and water saving shower head. Plumbing shallbe by appropriately qualified contractor.

Install new tub, and cementitious tile backer per manufacturer's recommendations in the newly formed footprint of the new tub/shower enclosure. Cementitious tile backer shall be equal to or better than "Wonderboard". Install new4"x4"x1/4" ceramic tile with appropriately sized bull nose trim around the tub/shower perimeter: Wall tile to start fromtop of the tub and extend to two full tiles above the shower head spout pipe on all three (3) walled sides of the tub/shower enclosure. Accessories shall include a fixed stainless shower curtain rod, white ceramic soap dish, (1) wash cloth/towel bar placed in the ceramic wall tile setting, and (1) wash cloth/towel bar placed on the outside wall. Owner's shall be provided a minimum of three (3) Color choice options for tile.

### **Tub-Shower Notes:**

**NOTE 1:** When installing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = g.p.m: **Shower Head:** Install a low-flow faucet aeratorto 2.0 g.p.m.

### 7g. TOILET

1-Unit Bath #2

\$

Installation of a new high efficiency, white, elongated, comfort height/handicapped (18"), maximum 1.6 gallon per flush toilet, including all required hardware and components (new rings, valves, and supply line) to ensure completeinstallation and operational order. Installation shall be to manufacturer's specifications: Recommended product: American Standard or equal in quality and value)

### **Toilet Note:**

NOTE 1: If possible, a toilet must be chosen that has been through third-party MP (Maximum Performance) testingand is rated in grams; look for MP test results of 350 grams or higher or for toilets that meet the new EPA WaterSense program requirements. Documentation of these standards shall be provided upon payment request for this line item.

NOTE 2: This line item shall include material/labor cost for installation of a new wall mounted toilet paper holder.

### 7h. VANITY

1-Unit Bath #2

\$

Install new complete vanity, including mirror, recessed medicine cabinet, and "over the mirror" light fixture. The vanity unit must be constructed with solid wood frame on the doors and cabinet face and contain one pull out drawer; the box shall be comprised of minimum ½" plywood; shelves ONLY may be of composite material and finish coveringmust be wood veneer or plastic laminate; laminate countertop and 4" laminate back splash and under mount or drop-in level set sink cast in the counter top.

Install new water supply valves, lines and escutcheons, strainer assembly, p-trap and tail assembly; Installation to include all other required hardware and components (center set, low flow duel lever faucet and fixtures/drain stop) to ensure for complete installation. (Recommended product: Pegasus vanity set or equal in quality and value)

### Vanity Note:

**NOTE 1:** When replacing faucets in the kitchen or bathroom, or showerheads in the bathroom, these fixtures must meet or exceed the following standard: Gallons per Minute = gpm: **Bathroom Faucets:** Install a low-flow faucet aerator to 1.0gpm. These are required to be fixed.

### **Description: Demo-Replacement**

tv. Location

Amount

### 8. GENERAL INTERIOR SPECIFICATIONS

Dwelling

Site

\$\_

The new homes interior shall consist of taped, mudded, sanded, and smoothed framed, furred, drywall interior walls and ceilings (ceilings shall be 8ft in height, measured from the sub-floor).

The finish shall be consistent from floor toceiling, and contain no separations, cracks, protruding nails/connectors, and no gaps between floor-wall joints, corner joints, wall-ceiling joints. Two (2) inch baseboard molding shall be applied around the entire interior perimeter of the dwelling (Recommended baseboard molding Product type: Woodgrain Millwork 9/16 x 2-1/4-inch primed basemolding).

All walls and ceilings shall be textured with a medium knockdown finish, be prepped and ready for paint.

"Kilz", prime, and paint the all interior walls and ceilings of the unit including all closet walls/ceilings (bedroom, storage, utility), and baseboard molding. Final paint shall include one (1) coat of acrylic primer/sealer and two (2) coats of acrylic semi-gloss, finish paint. Zero-low VOC interior paint is required. Homeowner must be given a minimum of three (3) color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000flat or product of equal quality and value).

### Interior Specification Notes:

NOTE 1: To allow for continuity, one primary and one trim color is allowed throughout the unit.

NOTE 2: Contractor shall comply with manufacturer recommend time intervals between coats of paint.

NOTE 3: All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel, wood composite units, and painted white; storage/closet doors shall be whitewooden, louvered bi-fold units); Bedroom and bathroom doors must include a locking mechanism) Owner must be given a minimum of 3 color selections where color is not specified: Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 32" door units, and 90 degree opening radius and RH in swing doors:

### 8a. INTERIOR FLOORING-TILE

As-Listed

Various

\$

Ensure the ne subfloor is clean, and prepared (including closets/pantries) for the installation of new low maintenance, easy clean 12x12, non-slip ceramic floor tiles. Installation to be complete and include all required components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Foyer/Entry way(s); Kitchen/Dining Area; Master Bath; Bath #2; Utility Room

### Tile Flooring Notes:

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, zero to low VOC products should be used.

NOTE 3: To allow for continuity, one tile color is allowed for all applicable rooms.

### **8b. INTERIOR FLOORING-VINYL PLANK**

As-Listed Various

\$

Ensure the ne subfloor is clean, and prepared (including closets) for the installation of new interior grade, low maintenance, 5.5mm vinyl plank floor covering. Vinyl plank product should waterproof, contain lock installation technology, acrylic wear layer, and scratch guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components (including under-padding if needed)., to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended carpet product: Smartcore 12-piece locking vinyl plank flooring or equal in quality and value): Owner must be provided a minimum of 3 color and pattern options.

Room Locations: Living Room; Bedroom #1; Bedroom #2; Bedroom #3; Hallway

### **Plank Flooring Notes:**

NOTE 1: When installing flooring, all cuts should be made to fit flush against all walls, corners, or existing base trim. No quarter-round or other concealing trim shall be utilized to hide or cover insufficient material sizing, shaping, etc... Failure to adhere may result in s failed CDBG program Inspection.

NOTE 2: If glue is utilized in flooring installation, Zero to low VOC products should be used.

Description: Demo-Replacement	Qty.	Location	Amount
9. INTERIOR KITCHEN		Kitchen	

Install new kitchen cabinets and seamless laminate countertops with 4" backsplash. Installation to including space for dishwasher (may be omitted at the owner's request). Installation shall include a new stainless-steel double bowlsink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing connects, valves, water supply lines, and all other components and hardware to ensure complete and correct operational order. Ownermust be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. (Recommended Product type: Wellborn or equal in value and quality)

#### Cabinet Notes:

NOTE 1: Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware

#### Cabinet Requirements:

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood.
   Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish,
   shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls.
   Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.

#### 9a. APPLIANCE PACKAGE-REFRIDGERATOR

As-Listed Kitchen

PREFACE: The dwelling shall come fully equipped with new appliances. Appliance color shall either be white or black (homeowners choice):

Install new (White) minimum 21 cubic Ft. Energy Star rated, Frost Free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. (Recommended Product type: GE or equal in value and quality): Color to be chosen by the owner.

#### Refrigerator Notes:

Note 1: Instillation to include the water line and water line connection to ensure proper ice creation and dissemination.

Note 2: Instillation to include electrical cord and connector.

#### 9b. APPLIANCE PACKAGE-STOVE

As-Listed Kitchen

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Install new minimum 30-inch four (4) burner free-standing electric range with digital display, and self-cleaning oven. *Exact range dimensions to be determined by contracting firm and should fit existing opening.* (Recommended Product# GE or equal in value and quality) *Owner to determine color.* 

#### Stove Notes:

Note 1: Instillation to include electrical cord and connector.

#### 9c. APPLIANCE PACKAGE-RANGE HOOD

As-Listed Kitchen

5

Install new 30-inch, vented, range hood (Black, or white) to manufacturer's specifications: Installation to include all required hardware, and installation components to ensure proper and intended operation. Exact range hood dimensions to be determined by contracting firm. (Recommend product type: GE or equal in value and quality). Owner to determine color.

#### Range Hood Notes:

Note 1: Instillation to include electrical cord and connector.

#### Description: Demo-Replacement

Qty. Location Amount

10. MISC. SPECS-VENTALATION

As-Listed

**Bathrooms** 

Install a new white molded, quiet running bath exhaust fan/light in the bathroom ceilings. Installation to include all required wiring, electrical connections (wall switching), ventilation components and hardware for complete, operational installation. (Recommended Product: Broan or equal in value and quality)

Room Locations: Master Bath; Bath #2

10a. MISC. SPECS-VARIOUS

As-Listed

Dwelling

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\$

The Following items shall also be included with the new home:

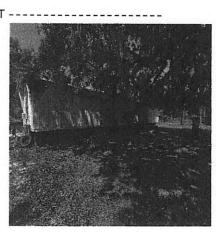
- Minimum 5' X 5' concrete pads at exterior entrances (see line-item #2 Note 3)
- (Wire house for cable TV in living room and all bedrooms.
- (Wire house for phone jacks in living room, and kitchen.
- New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.
- Planted sod at the base and spanning the length of all exterior walls, extending out a minimum of 48in, and grass seed spread throughout the remainder of affected, non-sod covered yard in all directions.
- Installation of a driveway apron to applicable jurisdiction specifications and requirements.

----- END SOW-----

----- EXISTING DWELLING FOOTPRINT -







----- EXISTING DWELLING FOOTPRINT ------

### **ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$

# TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM Subcontractor and Permit Listing

List all subcontractors that will be used for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

Read

Please

SUBCONTRACTING FIRM NAME	SUBCONTRACTING FIRM PHONE #
1.	1.
2.	2.
3.	3.
4.	4.
5.	5.
6.	6.
7.	7.
8.	8.
9.	9.
10.	10.

List all permits that will be required for the work completed on this property: Failure to complete this request may result in this bid being considered incomplete and ineligible for award.

REQUIRED PERMITS	PRINT NAME OF ENTITY
	RESPONSIBLE FOR PERMIT
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Contractor's Name (Print Nam	ie):	Marine San	
Contractor's Signature:			
Title of signatory:			

#### "EXHIBIT A"

# TAYLOR COUNTY CDBG HOUSING REHABILATATION PROGRAM HOUSING REHABILATATION PROGRAM COLOR/STYLE SELECTION

- 1. Contractor must provide at least three (3) color choices for each eligible item. **NOTE:** See attached scope of work for eligible items.
- 2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.
- 3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.
- 4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.
- 5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five(5) calendar days after the NTP takes effect.

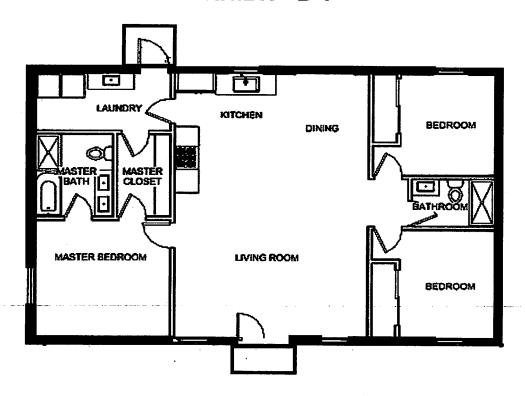
ITEM LOCATION	ITEM PRODUCT #	ITEM STYLE CODE	ITEM COLOR CODE
4			

(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRD. ALL COPIES MUST BE SIGNED)

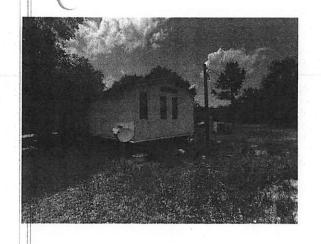
The signatures on this document confirm acknowledgment of the above listed items:

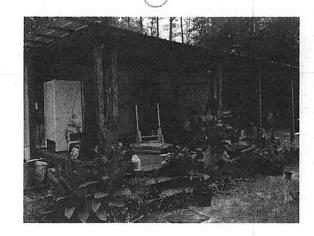
Homeowner Signature:	Date:_
Contractor Signature:	Date:_
Housing Inspector Signature:	Date:

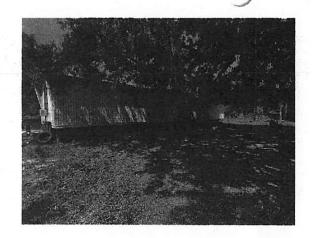
### **EXHIBIT "B".**

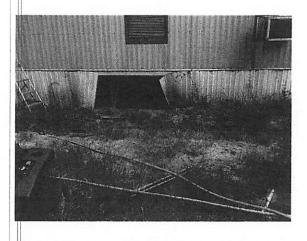


THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A FLOORPLAN EXAMPLE. FINAL FLOOR PLAN MUST BE APPROVED BY THE PROGRAM PROJECT MANAGER.

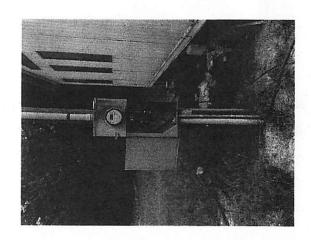


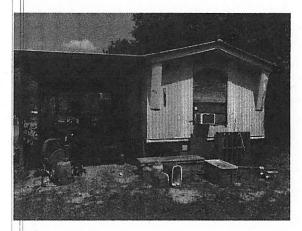


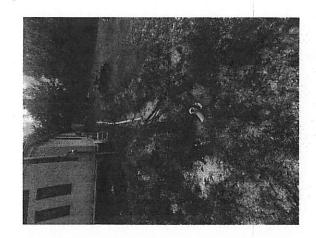


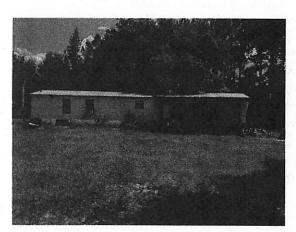


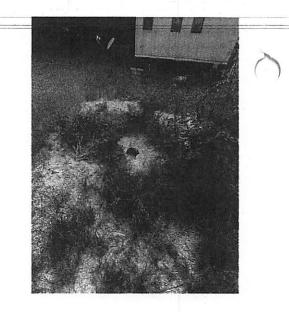
6749 S. RED PADGETT ROAD
PERRY, FL 32348
DEMOLITION/
RECONSTRUCTION PROJECT











### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



Board to ratify the Chairman's signature on the funding application to the Florida Department of Transportation (FDOT) Transportation Alternatives Program (TAP) for the construction of a sidewalk from Old Dixie Highway along Plantation Road to US 19. The Board previously approved submitting the application December 4, 2023.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Board to ratify the Chairman's signature on the funding application submitted for the 2030 funding cycle for the FDOT TAP for the construction of a sidewalk from Old Dixie Highway along Plantation Road to US 19.

Recommended Action:

Ratify the Chairman's signature.

Fiscal Impact:

The funding request is in the amount of \$1,103,514. The

County will not be required to provide a match.

**Budgeted Expense:** 

Not applicable.

Submitted By:

Melody Cox, Grants Writer

Contact:

**Melody Cox** 

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The Board approved the submission of the application on December 4, 2023. Two applications were submitted. In addition to the Plantation Road sidewalk project, an application was submitted for the construction of a sidewalk on West Ash from US 19 to Miller Road. The FDOT Transportation Alternatives applications are submitted a minimum of five years in advance. Transportation Alternatives funds can be used for numerous pedestrian and bicycle projects including but not limited to the construction sidewalks; bicycle infrastructure; pedestrian and bicycle signals; safety related infrastructure; ADA compliance measures; turn outs; overlooks and; viewing areas.

Attachments:

Funding application.



# TRANSPORTATION ALTERNATIVES SET-ASIDE PROGRAM (TA) FUNDING APPLICATION

A continuation of the Surface Transportation Block Grant, TA funding is by contract authority from the Highway Trust Fund, subject to the overall federal-aid obligation limitation determined by the Federal Highway Administration (FHWA). Projects must support surface transportation, be competitively solicited, and comply with the provisions of the FDOT Work Program Instructions and the Bipartisan Infrastructure Law (BIL), enacted as the Infrastructure Investment and Jobs Act (IIJA) [§ 11109; 23 United States Code (U.S.C.) 133(h)]. District representatives may be contacted for guidance.

## PART 1 - APPLICANT INFORMATION

Applicant Agency Sponsor Type. Select the box indicating the agency of the person who can answer questions
about this project proposal. Then complete applicable text fields. Note: State-recognized non-profit agencies may
partner with an eligible governmental entity but are not eligible as a direct grant recipient.

Checkbox next to each of the following types of agencies that do not indicate text field. Document allows one selection.

- Local government (e.g., county, city, village, town, etc.).
  - Regional transportation authority or transit agency.
  - Natural resource or public land agency.
- School district, local education agency, or school (may include any public or nonprofit private school). Projects should benefit the public and not just a private entity.
- Recognized Tribal Government.
- Other local or regional governmental entity with oversight responsibility for transportation or recreational trails, consistent with the goals of 23 U.S.C. 133(h).
- Metropolitan / Transportation Planning Organization / Agency (collectively MPO) (only for urbanized areas with less than 200,000 population).

FDOT (only by request of another eligible entity, then enter the requesting entity). If "checked", enter the requesting entity in the space provided. (Word limit 5)

2. Agency name of the applicant. (Word limit 5).

Taylor County Board of County Commissioners

3. Agency contact person's name and title. (Word limit 5).

LaWanda Pemberton, County Administrator

4. Agency contact person's telephone number and email address. (Word limit 5).

850-843-5381 - Lpemberton@taylorcountygov.com



## PART 2 - LOCAL AGENCY PROGRAM (LAP) CERTIFICATION

LAP is FDOT's primary mechanism to provide governmental subrecipients with federal funds to develop transportation infrastructure facilities through cost-reimbursement (grant) agreements. This legal instrument (the grant agreement) will describe intergovernmental tasks to be accomplished and the funds to be reimbursed for selected projects. The FDOT Local Programs Manual and FDOT Procedure 525-010-300 provides details for local agencies to complete a certification process that is a risk-based assessment evaluating whether they have sufficient qualifications and abilities "to undertake and satisfactorily complete the work" for infrastructure projects. Non-profit organizations are not eligible for LAP certification, local agencies are not eligible for certification of Project Development and Environment (PD&E) or Right-of-Way (ROW) acquisition phases. FDOT is required to provide oversight on fee-simple and less-than-fee ROW acquisition phases, including license agreements, encroachment agreements, perpetual easements, temporary construction easements, and donations.

OV	evelopmer ersight on	nt and Environment (PI	70 E) D: 11 514	ROW) acquisition ph	he work" for infrastructure projects, to not eligible for certification of Proases. FDOT is required to provide license agreements, encroachment positions.	:
•		Certification				
	Appro	val Date: June 9, 2021		and Expiration Date	. June 6 2024	
	Respo	onsible Charge Name:	Kenneth Dudley, Count	y Engineer	- Julie 0, 2024	
	LAP Proje Provide:	ect Specific Certificat	tion			
	Approv	/al Date:	Project FM(s	Number:		
	Respo	nsible Charge Name:		, rumber.		
ı	Not LAP C	ertified – A LAP Cert	ified Agency will deliv	er the project on b	ehalf of the uncertified Agency.	
F	Provide:	Sponsoring Agency Name:		Contact Name:	or the uncertified Agency.	
	Address	S:			Phone:	
<b>N</b> c	ot LAP Ce	rtified - FDOT District	t will administer the p	roject.		
	FDOT C	ontact Name:		Phone:		

Not LAP Certified – the Agency will become LAP certified 1 year prior to the delivery of the LAP project.

Not Applicable - this is a Non - Infrastructure Project.

## PART 3 - PROJECT INFORMATION



1. Project Name / Title: (Word limit 15).

Plantation Road Sidewalk

Priority #1

2. Is this a resubmittal of a previously unfunded project? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the year(s) of submittal(s) and include project title(s), if different, in the N/A

Yes No

3. Does this project connect a previously funded project(s)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the Financial Management (FM) number(s) and provide a brief description of the other related FDOT-funded phases that are complete, underway, or in the FDOT 5-year Work

Yes No

4. Is funding requested for this same project from another source administered by FDOT? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate funding source(s) / application(s) submitted. NOTE: Contact your district representative to discuss if this same project is partially funded in the 5-year Work Program or if FDOT has received another application for funding it. (Word limit 5).

Yes No N/A

5. What are you proposing in this application? In 200 words or less, provide a description of the project and what it will accomplish. The description should allow a person without prior knowledge of the project to clearly understand it. Summarize the purpose, need, project attributes, the relationship to surface transportation, how the project improves safety, and expected benefits.

The proposed project is the construction, planning, and design of a paved sidewalk for non-motorized use. The sidewalk will be 2,100 LF located on Plantation Road from US 19/Byron Butler Parkway to Southside Park, which will provide connection to the Old Dixie Highway trail. The sidewalk will also provide connection to the proposed SUN Trail Network on US 19. As both Southside Park and Plantation Road are heavily used, the sidewalk will greatly improve safety for the many citizens, particularly children who walk to the park. All required ROW is in public ownership and there will be no negative environmental impacts.

EQUIRED UPLOAD: PROJECT INFORMATION SUPPORTING DOCUMENTATION including 1) Scope f Work clearly describing the purpose and need for this project and the desired outcome; detailed description of the xisting conditions; and detailed description of the proposed project and major work item improvements (e.g., project nits (begin / end), width of sidewalks or trails and other components, materials, drainage, lighting, signing and avement markings, etc.). 2) Intent to enter into a cost reimbursement agreement for delivering the project. 3) Signed ROJECT CERTIFICATION from the maintaining agency confirming the applicant is authorized to submit the proposal, e information is accurate, intent to enter into a Memorandum of Understanding or Interagency Agreement for ongoing perations and maintenance of the improved facility, and compliance with all federal and state requirements.

## PART 4 - PROJECT LOCATION



1. Indicate the municipality(ies) of the project location. (Word limit 5).

Perry, Florida

2. Indicate the county(ies) of the project location. (Word limit 5).

Taylor County, Florida

3. Roadway Classification

Yes No State roadway (on-system)

Yes No Federal roadway

Yes
 No
 Local roadway (off-system)

Indicate the roadway name(s) [including applicable state, federal, county road number(s), local roadway name, and roadway identification number (e.g., SR 5 / US 1 / CR 904 / Overseas Highway / ID number: 90040000)]. (Word limit 10).

Plantation Road

5. Indicate the roadway beginning project limits (south or west termini), mile points, and crossroads at each end of each listed segment. (Word limit 10).

US 19 / Byron Butler Parkway

6. Indicate the roadway ending project limits (north or east termini), mile points, and crossroads at each end of each listed segment. (Word limit 10).

Old Dixie Highway

7. Indicate the total project length, in miles and linear feet. (Word limit 10).

2,100 LF

8. Does the project involve the Florida Shared-Use Nonmotorized (SUN) Trail network? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the trailway identification number, beginning and ending mile points. (Word limit 5).

Yes No N/A

- Within the next five years, are non-FDOT funds being expended within the limits or adjacent to the proposed project? If not, select "no" and indicate N/A in the space provided. If so, select "yes", and briefly explain. (Word limit 50).
  - Yes No

FDEP FRDAP funding will be expended within two years on Southside Park improvements, which is adjacent to the proposed sidewalk. Due to heavy use of the park, the sidewalk will provide a safe route for pedestrians.

#### PART 5 - PROJECT TYPE



NOTE: Certain areas may not be prioritizing Non-infrastructure (NI) proposals or all eligible infrastructure activities (or may recommend bundling activities together). Contact your district representative for guidance.

- PROJECT CATEGORY Select one box that best represents the project proposal. Then, complete either the "Infrastructure" or "Ni" selections.
  - A. Infrastructure. If so, select "yes", then select the most appropriate "infrastructure" eligible activity from listing below. (Pages range 5-6)
- **B. Non-infrastructure (NI).** If so, select "yes", then select the most appropriate NI eligible activity from the listing following the Infrastructure activities. (Page range 7)

## 5-A. INFRASTRUCTURE ELIGIBLE ACTIVITY

Select one box that best represents the project proposal). As applicable, complete infrastructure eligible text fields.

- Pedestrian and / or Bicycle facilities (Select this box for construction, planning, and design of off-road trail
  facilities or on-road facilities for pedestrians, bicyclists, and other nonmotorized forms of transportation).
  - Safe Routes for Non-Drivers (Select this box for construction, planning, and design of infrastructure related projects and systems that provide safe routes for non-drivers, including children, older adults, and individuals with disabilities to access daily needs).
  - Conversion of Abandoned Railway Corridors to Trails (Select this box for conversion and use of abandoned railroad corridors into trails for pedestrians, bicyclists, or other nonmotorized transportation users).
  - Scenic Turnouts and Overlooks (Select this box for construction of turnouts, overlooks, and viewing areas). If "yes", list any Florida Scenic Byways visible from the project or indicate N/A in text field. (Word limit 5).
    - Outdoor Advertising Management (Select this box for inventory, control, or removal of outdoor advertising). If "yes", list any Florida Scenic Byways within the project limits or indicate N/A in text field. (Word limit 5).
    - **Historic Preservation and Rehabilitation of Historic Transportation Facilities** (Select this box for historic preservation or rehabilitation of historic transportation facilities). If "yes", list any locally designated or National Register of Historic Places listed or eligible resources or indicate N/A in the text field. (Word limit 5).
  - **Vegetation Management** (Select this box for vegetation management in public transportation ROW to improve roadway safety, prevent invasive species, and erosion control). If "yes", list any Florida Scenic Byways within the project limits, or indicate N/A in text field. (Word limit 5).



**Archaeological Activities** (Select this box for archaeological activities related to impacts from transportation projects funded by FHWA). If "yes", list the State Site Number (aka Site File Number) for the archaeological site, or indicate N/A in the text field. (Word limit 5).

Stormwater Mitigation (Select this box for environmental mitigation activities addressing stormwater management, control, and water pollution prevention or abatement related to transportation projects).

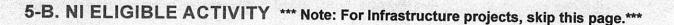
Wildlife Management (Select this box for wildlife mitigation and reduction of wildlife mortality, or to restore and maintain connectivity among terrestrial or aquatic habitats).

**Boulevards** (Select this box for boulevards, defined as a walkable, low speed (35 mph or less) divided arterial thoroughfares in urban environments designed to carry both through and local traffic, pedestrians, and bicyclists. These may be high ridership transit corridors; serve as primary goods movement and emergency response routes; and use vehicular and pedestrian access management techniques that promote economic revitalization and follow complete street principles]. If "yes", list any Florida Main Street communities or Florida Trail Towns within the project limits, or indicate N/A in text field. (Word limit 5).

Recreational Trails Program [Select this box for recreational trails compliant with 62-S-2, Florida Administrative Code, and 23 U.S.C. 104 (b)]. If "yes", list the parks / recreational areas within the project limits, or indicate N/A in the text field. (Word limit 5).

Safe Routes to Schools (SRTS) [Select this box for SRTS projects, codified as 23 U.S.C. 208, that substantially improves the ability of kindergarten through 12th grade students (vulnerable road users) to walk and / or bicycle to school]. Traditionally includes sidewalks, traffic calming and speed reduction, traffic diversion improvements, pedestrian and bicycle crossings, on-street bicycle facilities, off-street bicycle facilities, and bicycle parking facilities at public schools. If "yes", list the benefiting schools that are within two miles of the project limits; total student enrollment; approximate number of students living along the route; and the percentage of students eligible for reduced meal programs, or indicate N/A in the space provided. (Word limit 10).

Other surface transportation eligible purpose (Only if within urbanized areas with a population greater than 200,000). If "yes", list the eligible activity or indicate N/A in the space provided. (Word limit 5).





Select one box that represents the project proposal. Checkbox indicating NI eligible activity. Document allows one selection.

Vulnerable road user safety assessment as defined by Section 316.027 (b), F.S.

Workforce development, training and education activities that are eligible uses of TAP funds.

SRTS projects, codified as 23 U.S.C. 208. This NI activity must be primarily based at the school and benefit students and / or their parents and have documented support from the school(s). If "yes", list the benefiting schools; total student enrollment and students served by project; approximate number of students living along the route; and the percentage of students eligible for reduced meal programs, or indicate N/A in space provided. (Word limit 10).

NI COMPONENTS As applicable, insert the number of each type of proposed activity. Numerical field indicating total number NI program would provide.

Number of walk or bicycle audits.

Number of bicycle skills / safety classes.

Number of pedestrian skills / safety classes.

Number of community demonstration projects.

Number of community encouragement activities.

Number of community challenges.

Number of community workshops / stakeholder meetings.

Number of classroom / educational classes receiving pedestrian / bicycle safety instruction / education.

Number of school assemblies receiving pedestrian / bicycle safety instruction / education.

Number of training sessions to implement the SRTS program (e.g., training for volunteer walking school bus leaders, training for bicycle train leaders, etc.).

Number of after school programs receiving pedestrian / bicycle safety instruction / education.

Number of bicycle rodeos.

Number of pedestrian safety skills events.

Number of schools with walking school bus programs (defined as planned route with meeting points, a timetable, and a schedule of trained volunteers).

Number of schools with bicycle train programs (defined as a planned route with meeting points, a timetable, and a schedule of trained volunteers).

Number of student-led leadership initiatives (e.g., student patrols, peer-led learning, etc.).

#### PART 6 - AREA CONDITIONS



Select applicable boxes describing the area and complete applicable text fields. Then, upload supporting documentation.

1. Select one box that describes the geographic population size of the project area.

Non-Urban Area with a population of 5,000 or less

- Urban Area with a population greater than 5,000 but no more than 50,000
   Urban Area with a population greater than 50,000 but no more than 200,000
   Urban Area with a population greater than 200,000
- 2. Is the project within the boundary of an MPO\*? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the MPO in the space provided. (Word limit 5).
  - Yes
     No
     Taylor County Board of County Commissioners
- Is the project within the boundary of a Transportation Management Area (TMA)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the TMA in the space provided. (Word limit 5).

Yes No N/A

- 4. Is the project within a Rural Economic Development Initiative (REDI) community or designated as a Rural Area of Opportunity (RAO) as defined pursuant to Section 288.0656, F.S.? If not, select "no", and indicate N/A in the space provided. If so, select "yes" and indicate the REDI / RAO in the space provided. (Word limit 5)
  - Yes
     No Taylor County
- 5. Indicate the United States Congressional District number(s) of the project location. (Word limit 5).

Florida Congressional District 2

- 6. Will the project address equity by providing benefits to traditionally underserved communities as determined by the U.S. Census? These communities could include low-income residents, minorities, those with limited English proficiency, persons with disabilities, children, or older adults. If not, select "no", and indicate N/A in the space provided. If so, select "yes", and briefly explain how the project improves environmental justice (e.g., disadvantage community access point(s) and destinations the project benefits, median household income, free or reduced priced school meals and how SRTS projects benefit the students, etc.). (Word limit 10).
  - Yes
     No
     Low to moderate income households, children, elderly, and disabled benefit.
- 7. Are there transit stops / shelters / support facilities within the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the identification number. (Word limit 5).
  - Yes No Southside Park
- 8. Is the project within a high-crash pedestrian corridor (or an area with a history of crashes involving pedestrians)?

Yes • No

#### Part 6 - Area Conditions continued...



9. Is the project within a high-crash bicycle corridor (or an area with a history of crashes involving bicyclists)?

Yes No

10. Would the project implement a bicycle or pedestrian action plan(s)? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and specify the name of the plan and date of adoption. (Word limit 5).

Yes
 No
 Taylor County MPO June 2019

\* Metropolitan / Transportation Planning Organization / Agency (MPO)

REQUIRED UPLOAD: AREA CONDITIONS SUPPORTING DOCUMENTATION (e.g., excerpt pages from adopted plans or studies, maps illustrating transit facilities and connectivity to the improvement, short statement of support with a signature of the school official and their contact information for SRTS projects, median household income by census tract for community benefiting, collision heat maps / crash data for area surrounding project limits, etc.).

#### PART 7 - PUBLIC INVOLVEMENT

Public involvement, engagement, and collaboration is a key component of the federal project development process and must be conducted in accordance with applicable rules and regulations in the event the project is selected for funding. Indicate which of the following are applicable (Select all that apply). Complete the text field or indicate N/A in the space provided. Then, upload supporting documentation.

1. Does the greater community support the project, as demonstrated by recently adopted proclamations or resolutions expressing commitment and public engagement? If "yes", explain the engagement and how the concept evolved based on public involvement. Indicate the resolution number, adoption date, and participating parties in the space provided. If "no", indicate N/A in the space provided. (Word limit 10).

Yes No N/A

2. Was the project discussed at a regularly scheduled meeting of an advisory board of an appointed group of citizens, such as bicycle pedestrian advisory groups or similar committee that provides support toward the project? If "yes", provide meeting information, including the date and type of advisory board meeting, and the input received. If "no", indicate N/A in the space provided. (Word limit 10).

Yes No N/A

3. Was there an advertised public meeting to discuss the project? If "yes", provide a brief description, including the input received, how the concept evolved based on public involvement, date, and type of meeting. If "no", indicate N/A in the space provided. (Word limit 10).

Yes
 No Documentation of Public Hearing attached. Positive input received.

4. Do recent community surveys indicate both need and support for the project and stakeholders will continue to be engaged in the implementation of the project? If "yes", briefly explain. If "no", indicate N/A in the space provided. (Word limit 10).

Yes
 No
 The Board will assist in project implementation and sidewalk maintained by County and/or City

REQUIRED UPLOAD: PUBLIC INVOLVEMENT SUPPORTING DOCUMENTATION (e.g., resolution, proclamation, regularly scheduled meeting agenda and minutes, public meeting advertisement, community survey, letters of support, etc.).

#### PART 8 - CONCURRENCY / CONSISTENCY



Is the project consistent with the applicable comprehensive plan(s), transportation plan(s), capital improvement plan(s), and / or the long-term management plan(s)? [Note: Board of County Commissioners functions as MPO in nonmetropolitan areas (Section 339.135(4)(c)1, F.S.)]. If not, select "no", and indicate N/A in the space provided. If so, select "yes", and use the text field to explain consistency, include MPO prioritization number. If a modification is required, indicate the meeting date for adoption. (Word limit 10).

Yes

No Comprehensive Plan excerpts are attached

REQUIRED UPLOAD: CONCURRENCY / CONSISTENCY SUPPORTING DOCUMENTATION (e.g., supporting resolution(s), excerpt from comprehensive plan(s), transportation plan(s), capital improvement plan(s), management plan(s), prioritization list, etc.).

#### PART 9 - ENVIRONMENTAL CONDITIONS

Select the boxes describing the Environmental Conditions. As applicable, complete the text field or indicate N/A in the space provided. Then, upload supporting documentation. Applicants for NI proposals may skip the Environmental Conditions section.

1. Does the project involve lands identified by the Florida Wildlife Corridor Act of 2021 [Section 259.1055, Florida Statutes (F.S.)]?

Yes

No

2. Does the project involve state-owned conservation lands? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the state-owned conservation lands. NOTE: Use of state-owned conservation lands is subject to coordination by the managing entity. (Word limit 5).

Yes

No N/A

3. Does a railway facility exist within 1,000 feet of the project limits? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate railway facility. (Word limit 5).

Yes

No N/A

4. Does the project physically cross a railway facility? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and indicate the crossing's railway identification number, and beginning and ending mile points. (Word limit 5).

Yes

No N/A

5. Would the project provide lighting at locations with nighttime crashes? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe the proposed lighting in the space provided. (Word limit 5).

Yes

No N/A

6. Would the project implement an adopted Americans with Disabilities Act (ADA) transition plan? If not, select "no", and indicate N/A in the space provided. If so, select "yes", and describe proposed ADA improvements in the space provided. (Word limit 5).

Yes

No

Paved sidewalk



7.	Is an En	viror . If so	nment o, sele	al As	sessment es", and des	for the pr scribe any	oject speci	complet fic issues	e? If no in the s	t, select space pr	"no", ar ovided.	d indica (Word li	ate N/A i mit 10).	in the sp	ace
	Yes	•	No	N	Α										
8.	resource	r <b>eso</b> i s, inc ain a	u <b>rces</b> dicate ny pre	? If no if the serva	to locally dot, select "no resources hation agreen	o", and ind nave recei	dicate ved F	N/A in the lorida De	e space partmer	provident of Sta	ed. If so, te Histo	select "	yes", ar	nd list Grant fi	unds, ect
	Yes	•	No		Unknown	N/A									
9.	boundar	y? If	not, s	elect	ogical sites "no", and in mber) for th	dicate N/A	in th	e space p	rovided	l. If so, s	elect "v	es" and	to the list Sta	<b>project</b> ite Site	
	Yes	•	No		Unknown	N/A									
10	Are there boundary the space	y ? IT	not, s	elect	reation are 'no", and in d limit 5).	eas, or wi	Idlife in the	/ waterfo	wl refu rovided	<b>ges wit</b> I. If so, s	hin or a elect "ye	<b>djacen</b> tes", and	t <b>to the</b> list the	project facilities	in
	<ul><li>Yes</li></ul>		No	Sou	ithside Park										
11.	Are there indicate N	any I/A in	navio	gable pace	waterways provided. If	s adjacen so, selec	t to o	r within t	he proj the nav	j <b>ect bo</b> u rigable w	ndary?	If not, s	elect "n	o", and	
	Yes		No	N/A											
12.	space pro	viae	a. It sc	o, sele	<b>within or a</b> ect "yes", ar Word limit 5	nd describ	e in the	project li ne space	mits? If	f not, se d. Includ	ect "no" e permi	, and ind types r	dicate N equired	I/A in the I and any	e y
	Yes	•	No	N/A											
	within the	e pro	ject li	mits'	protected / ? If not, sele vided. If app	ect "no", a	nd ind	licate N/A	in the s	space pr	ovided.	<b>tical ha</b> If so, se	<b>bitat in</b> elect "ye	npacts es", and	
	Yes	•	No		Unknown	N/A									
14.	If not, sele	ect "r	าo", an	d ind	contaminat cate N/A in lect "unknov	the space	prov	ided. If so	a <b>reas w</b> o, select	vithin or t "yes", a	adjace	nt to the	e proje he spac	ct limits ce	?
	Yes	•	No		Jnknown	N/A									
5.	Are there provided.	<b>any</b> If so,	noise selec	-sen: t "yes	sitive areas ", and desc	near the	proje spac	ect area? e provide	If not, s d. If app	select "n olicable,	o", and select "	indicate unknow	N/A in t	the spac	e ).
	Yes		No		Jnknown	N/A			1.30						

REQUIRED UPLOAD for Infrastructure (not applicable for NI): ENVIRONMENTAL CONDITIONS SUPPORTING DOCUMENTATION (e.g., labeled photographs on maps depicting conditions, permits, copy of the entire study or environmental assessment, excerpt pages from adopted plans, etc.).

#### PART 10 - DESIGN / TYPICAL SECTIONS



Select the boxes describing the design status and complete the text fields. Then, upload supporting documentation. Applicants for NI proposals may skip the Design / Typical Section.

1. Are signed and sealed design plans available for this project?

Yes

- No
- 2. If design plans are not at 100 percent, or do not meet current standards and / or reflect existing conditions, select the box identifying the status. (Word limit 100).
  - No design plans

30% design plans

60% design plans

90% design plans

Other:

There are no design plans at this time. The funding request includes PD&E and PE services in the proposed budget.

3. Briefly describe the design status in the space provided. If design is at 100 percent, indicate the date of the plans. (Word limit 100).

The funding request includes PD&E and PE services in the proposed budget. No portion of the design is complete at this time.

**REQUIRED UPLOAD for Infrastructure (not applicable for NI):** Typical Section(s) depicting existing and proposed features, dimensions, and ROW lines. If there are multiple segments, provide typical sections for each. If available, provide design plans.

#### PART 11 - OWNERSHIP / ROW STATUS



Select the boxes describing the Ownership / ROW Status and complete applicable text fields. Then, upload supporting documentation. Applicants for NI proposals may skip the Ownership / ROW Status section.

1. Is ROW acquisition, defined as obtaining property not currently owned by the Local Agency through any means (e.g., deed, easement, dedication, donation, etc.), necessary to complete this project?

Yes No

2. Explain the ROW status (owned / fee simple, leased / less-than fee, and / or needs) along the project boundary, including when ROW was obtained and how ownership is documented (e.g., plats, deeds, prescriptions, certified surveys, transfers, easements). Provide information for verifying ownership (e.g., book / page number, transfer agreements, dates, etc.). If ROW acquisition is necessary before constructing the proposed project and / or the applicant agency is not the landowner, indicate the necessary coordination with other owners for all fee-simple purchases and / or any less-than fee / lease needs (including temporary construction and / or other easements and / or permits for drainage, railroad, utilities, etc.) necessary to secure ROW certification. Indicate the proposed acquisition timeline, expected funding source, the total number of parcels, type of acquisition, limitations on fund use or availability, and who will acquire and retain ownership of proposed land. (Word limit 150).

The proposed sidewalk will be constructed on public owned ROW. Documentation of public ownership is included in the TAP funding application attachments.

**REQUIRED UPLOAD** for Infrastructure (not applicable for NI): OWNERSHIP / ROW STATUS SUPPORTING DOCUMENTATION including applicable ROW Certification including ownership verification documenting site control and related landowner supporting documentation. Site control documents must include an adequate legal description of the parcel(s) comprising the project site, such that staff can compare it to the boundary map submitted with the application and evaluate whether there is control of the project site (e.g., ROW Certification, ROW maps, plats, warranty deeds, prescriptions, certified surveys, easements, use agreement, etc.). Maps should clearly show the location of each ownership in relation to the project boundary and / or limits. NOTE: provide map documentation on 8.5" x 11" scale. DO NOT provide reduced copies of original plats and or maps that cannot be read at scale. If applicable, an exhibit visually depicting the new ROW anticipated for the project, together with a spreadsheet providing the tax identification number(s) of each impacted parcel and the approximate size of the new acquisition area for each impacted parcel.





Complete either the Infrastructure Table Summary with the overall project programming (phases, schedule, and estimated costs for the proposed work) or the NI Cost Narrative Table. Then, upload supporting documentation.

Not all phase types may be eligible for TA funds, and not all areas prioritize all phases. Local agencies are responsible for covering all unanticipated cost increases, including but not limited to price inflation and increases in the cost of construction; account for them using local funds. FDOT does not allow programming TA funds for contingency costs. The local agency must have the ability to pay for non-participating costs (e.g., utility relocation). Chapter 337.14, F.S. prohibits an entity from performing both design services and construction engineering inspection services (CEI) for a project wholly or partially funded by the FDOT and administered by a local government entity.

### required upload: Project implementation and costs supporting documentation.

1) Either provide a detailed engineer cost estimate if the project is designed or if the project has not been designed or is a NI project, provide a detailed opinion of probable costs (including all pay items and a timeline for deliverable). Utilize the FDOT Basis of Estimates Manual to develop a detailed estimate with FDOT pay items for construction phase estimates. 2) As applicable, letter from local agency budget office committing local funds to the project.

#### \*\*\* Note: Applications for NI Projects to skip to page 15.\*\*\*

		INFRASTRUCTURE Table Summary Overall Project Programming (Cost Summary and Schedule)								
	Select	Schedul	e	Funding sou	urces and costs	s (\$)				
Infrastructure Project Phases / Work Types	phase(s) included in this	(Month/)		Federal Fun	ds	Non-Feder / Local Fu				
	request	Start (mm/yy)	End (mm/yy)	TA Program	Other Federal	Non-TA/ Local Funds (\$)	Other (\$)	Total Cost Estimate (\$)		
Planning Development (Corridor or Feasibility)	1	6/2024	6/2024	38235				38235		
PD&E	1	7/2024	10/2024	15294				15294		
Preliminary Engineering / Design (PE)	1	10/2024	5/2025	114704				114704		
Environmental Assessment (associated with PE)	1	4/2025	5/2025	7647				7647		
Permits (associated with PE)	1	5/2025	462025	22941				22941		
ROW										
Construction	1	6/2025	9/2025	764693				764693		
CEI	1	6/2025	9/2025	140000			3000	140000		
Other costs (describe)										
and the second of the second o			7	otal Infrasti	ructure Proje	ect Cost E	stimate			





\*\*\* Note: applications for infrastructure projects do not need to fill out this page\*\*\*

#### **NI Cost Narrative Table**

Below each item, explain how the item will support the program, and other appropriate details.

Budget Item	Requested Funds
	nel Services
(List titles and to	tals in first boxes below)
In Narrative, include numbers of hours, hourly rat	es, who this person is, and whether it's a new position or added to an existing position.
new riodis and duties	added to an existing position.
Narrative:	
Assembly and the country of the coun	<del></del>
 Narrative:	
Ivaliauve.	
Narrative:	
	rpenses
Materials and Supplies:	
Educational items:	
Promotional Items:	I also
Other Eveneses	
Other Expenses:	
NUMBER OF STREET ASSOCIATION OF STREET ASSOC	Capital Outlay
Equipment:	
Total NI Project Cost Estimate	
And the state of t	

#### RESOURCES



FDOT Transportation Alternatives Program:

https://www.fdot.gov/planning/systems/systems-management/tap

FDOT Local Agency Program Manual:

http://www.fdot.gov/programmanagement/LP/Default.shtm

FDOT Office of Environmental Management PD&E Manual:

https://www.fdot.gov/environment/pubs/pdeman/pdeman-current

FDOT Basis of Estimates Manual:

https://www.fdot.gov/programmanagement/estimates/documents/basisofestimatesmanual/boemanual

Florida Safe Routes to School Guidelines:

https://www.fdot.gov/safety/2A-Programs/Safe-Routes.shtm

16



## TRANSPORTATION ALTERNATIVES PROGRAM CERTIFICATION OF PROJECT SPONSOR

PROJECT NAME: Plantation Road Sidewalk LOCATION: Perry, Florida (Taylor County) PROJECT LIMITS: (from south or west limit) US 19 / Byron Butler Parkway (to north or east limit) Old Dixie Highway By checking the box you agree to do the following: Enter into a maintenance agreement with the Florida Department of Transportation (FDOT), as necessary, prior to the design phase. Comply with the Federal Uniform Relocation Assistance and Acquisition Policies Act for any Right of Way actions required for the project. Provide any required funding match, incur any additional expenses beyond the approved project costs in the LAP agreement, and are responsible for any non-participating items (e.g. utility relocations). Pursue or retain LAP certification and enter into a LAP agreement with FDOT. Comply with NEPA process prior to construction, including any necessary involvement with the State Historic Preservation Officer (SHPO), and other State and/or Federal agencies, prior to construction. I further certify that the estimated costs included herein are reasonable and agree to follow through on the project once programmed in the FDOT's Work Program. I fully understand that significant increases in these costs could cause the project to be removed from the FDOT's Work Program. Signature Jamie English Name (please type or print) Chairman Title 1/16/24 \* This should be executed by person who has signatory authority for sponsor and is authorized to obligate services and funds for that entity

(generally chairman of the board or council).



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3500, extension 7 Phone (850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney Post Office Box 167 Perry, Florida 32348 (850) 584-6113 Phone (850) 584-2433 Fax

January 16, 2024

Florida Department of Transportation 1109 South Marion Avenue Lake City, Florida 32025

Attn: Ms. Amy Roberson

RE:

Taylor County Transportation Alternatives FY 2030 Applications

Dear Ms. Roberson,

Taylor County is respectfully submitting two applications to the Transportation Alternatives FY 2030 funding program. Our priorities are as follows:

- 1. Plantation Road Sidewalk
- 2. West Ash Street Sidewalk

If we can provide any additional information, please contact LaWanda Pemberton at 850-843-85381 or at <a href="mailto:Lpemberton@taylorcountygov.com">Lpemberton@taylorcountygov.com</a>. Thank you for your consideration of our

Respectfully,

Jamie English

Chairman

Taylor County Board of County Commissioners

Transportation Alternatives Set-Aside (TA)

#### **ENGINEER'S COST ESTIMATE**

Financial Management Number (if applicable):
Project Description: Plantation Road / US HWY 19 to SouthSide Park (Old Dixle Highway)

	Items			TA Eligible			Other F	unds (must in	clude all TA ineligible	items)		TOTAL
Pay Item Number*	Pay Item Description*	Quantity	Unit	Engineer's Unit Cost	Engineer's Subtotal Cost (TA funds)	Quantity	Unit	Engineer's Unit Cost	Engineer's Subtotal	Source(s) of Match	Total	Total Engineer's
0101-1-	MOBILIZATION	1	LS	\$ 90,000.00	\$ 90,000.00	)	EA		Cost (other funds)		Quantity	\$ 90,0
0102-1-	MAINTENANCE OF TRAFFIC	1	LS	\$ 84,000.00	\$ 84,000.00	i i	EA		\$ -			
0104-10-3	SEDIMENT BARRIER	1520	LF	\$ 3.50	\$ 5,320.00		EA		\$ -		1520	1
0110-1-1	CLEARING AND GRUBBING	0.300	LS	\$ 30,000.00	\$ 9,000.00		EA		s -			20
0110-4	REMOVAL OF EXISTING CONCRETE PAVEMENT	17.22	SY	\$ 85.00	\$ 1,463.89		EA		s .		17.22	
0120-1-	REGULAR EXCAVATION	1078.32	CY	\$ 35.00	\$ 37,741.13		EA		s .			127
0120-6	EMBANKMENT	777.78	c	\$ 40.00	\$ 31,111.11		EA		s .		1078.32	1040 GHOTO 130
0285-706	OPTIONAL BASE GROUP 06, 8" LIMEROCK	1831.11	SY	\$ 50.00	\$ 91,555.56		EA		s		777.78	(150) (150) (150)
0327-70-4	MILLING EXISTING ASPHALT, 3" AVG DEPTH	965.56	SY	- 1000	\$ 5,793.33		EA	- 1			1831.11	
0327-70-6	MILLING EXISTING ASPHALT, 1 1/2" AVG DEPTH	782.22	SY	\$ 4.50	\$ 3,520.00	1 1	EA	1			965.56	
0334-1-13	SUPERPAVE ASPHALTIC CONCRETE, TRAFFIC C	302.13	TN	\$ 250.00	\$ 75,533.33	1	EA	1			1001000000	\$ 3,5:
0430-175-124	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 18* S/CD (RCP)	500	LF	\$ 165.00	\$ 82,500.00	1 1	EA				302.13	\$ 75,53
430-984-125	MITERED END SECTION, OPTIONAL ROUND, 18" SD (RCP)	14	EA	\$ 2,500.00		1					500	\$ 82,50
0520-1-10	CONCRETE CURB & GUTTER, TYPE F	130.0	LF		19,500.00	-	EA	1	.	- 1	14	\$ 35,00
0520-2-4	CONCRETE CURB, TYPE D	20.0	LF	\$ 150.00	2,000.00	l +	EA		·	- 1	130.00	\$ 19,50
0522-1-	CONCRETE SIDEWALK AND DRIVEWAYS, 4" THICK	872.22	SY	\$ 100.00	69,777.78		EA	1			20.00	\$ 2,00
0522-2-	CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK	533.33	SY	\$ 80.00		-	EA	5			872.22	\$ 69,77
0527-2-	DETECTABLE WARNINGS	26.67		\$ 125.00	66,666.67	-	EA	\$			533.33	\$ 66,666
0570-1-2	PERFORMANCE TURF, SOD	2411.11	a settle const	5.00	1,200.00	L	EA	\$	-		26.67	\$ 1,200
0700-1-11	SINGLE POST SIGN, F&I, GROUND MOUNT, UP TO 12 SF	2411.11	SY	4.20	10,126.67	-	EA	\$		- 1	2411.11	\$ 10,126
0700-1-60	SINGLE POST SIGN, PEMOVE	-	AS	500.00	3,000.00	L	EA	\$	-	- 1	6	3,000
	A STATE OF THE PARTY OF THE PAR	6	AS S	75.00 \$	450.00		EA	s			6	\$ 450
0700-2-50	MULTI POST SIGN, RELOCATE THERMOPLASTIC, PAVEMENT MARKING, WHITE, SOLID, 6° FOR	1	AS	500.00	500.00	L	EA	\$			1 :	500
0711-11-121	EDGE LINE THERMOPLASTIC, PAVEMENT MARKING, YELLOW, SOLID, 6* FOR	100	LFS	4.00 \$	400,00		EA	s			100	400
0711-11-201	THERMOPLASTIC, STD WHITE, SOUD, 12" FOR CROSSWALK AND	200	LF \$	4.00 \$	800,00		EA	s		1	200	
7711-11-123	THERMOPLASTIC, STD WHITE, SOUD, 24" FOR STOP BAR AND	1080	LF \$	7.00 \$	7,560.00		EA	s	.		1080 \$	
0711-11-125	CROSSWALK	740	LF \$	10.00 \$	7,400.00	Г	EA	\$	- 1	- 1	740 \$	10.00000
0711-17-1	REMOVE EXISTING THERMO PLASTIC PAVEMENT MARKING	660	SF \$	8.00 \$	5,280.00		EA	s		- 1	660 \$	1.000
0705-10-2	OBJECT MARKER, TYPE 2, 6X12 THERMOPLASTIC, PAVEMENT MARKING, WHITE, SOLID, 6° FOR	12	EA \$	150.00 \$	1,800.00		EA	\$		- 1	12 \$	
711-11-121	EDGE LINE THERMOPLASTIC, PAVEMENT MARKING, YELLOW, SOLID, 6" FOR	100	LF \$	4.00 \$	400.00		EA	s			100 \$	
711-11-201	CENTERLINE AT STOPBAR THERMOPLASTIC, STD WHITE, SOUD, 12" FOR CROSSWALK AND	200	LF \$	4.00 \$	800.00		EA	s	.		200	
711-11-123	ROUNDABOUT THERMOPLASTIC, STD WHITE, SOUD, 24" FOR STOP BAR AND	682	LF \$	7.00 \$	4,774.00		EA	s		1	200 \$	
711-11-125	CROSSWALK	486	LF \$	10.00 \$	4,860.00		EA	s		1	682 \$	4,774
711-11-125	THERMOPLASTIC, STD WHITE, SOLID, 24" FOR STOP BAR AND CROSSWALK	486	LF S	10.00 \$	4,860,00		EA	,		- 1	486 \$	4,860.
			EA	\$	_	-	EA	į.	350	- 1	486 \$	4,860.
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		TA Elgible C	osts / TA Fu	nds			EA	\$			0 \$	
	R	equested (not fu	inded through irces)	th other \$	764,693.46	Oth must include	er Funds FA Ineligible (	Costs) \$	-	I.	total \$	764,693.4
**************************************	ľ			10000							,	754,093.4
	Design Cost			\$	198,821.00					s		198,821.00
	CEI Cost			\$	140,000.00					s		140,000.00
	CONTINGENCY (REQUIRED)  Total Cost Estimate	Contingen	cy is not a Fi	WA Participat	ing Item			s				
	Cost Printers			s	338,821.00			\$			THE RESERVE OF THE PARTY OF THE	

Temporary of the State Highway System, and "on-system" (on FDOT land), and critical Projects shall utilize FDOT pay items numbers and descriptions. FDOT'S AWARD OF FUNDING TO THE APPLICANT'S PROJECT DOES NOT CONSTITUTE ACCEPTANCE OF PARTICIPATING VS. NON-PARTICIPATING ITEMS IDENTIFIED IN THIS COST ESTIMATE. Funding pay items and eligibility will be discussed during project development.

Đ	emp	les of	Non-participating	Items

Moving, litter removal, optional services video Inspection; utility directional bore / utility agency owner directional bores;
Utility work, including but not limited to valve adjustments, utility relocations, power pole relocations,
Contingency

Other elements may be non-participating, the ones listed above are non-particating commonly used pay items.

If you have questions regarding an eligible or non-participating item, District representatives may be contacted for guidance.

References:	
Deletelices:	
FDOT Design	To be

Kenneth Dudley, County Enginee

PE Number: PE58104
Digitally signed by Kenneth
Dudley
Native Date: 202401.16 124531 -0500

1/16/2024

Date:



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3500, extension 7 Phone (850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney Post Office Box 167 Perry, Florida 32348 (850) 584-6113 Phone (850) 584-2433 Fay

#### Plantation Road Sidewalk Project Information

The Plantation Road sidewalk will be a paved, 1,200 linear foot sidewalk from Plantation Road to US 19/Byron Butler Parkway. Plantation Road is heavily travelled and there is a great deal of pedestrian and bicycle use along this road to access Southside Park. The County recently completed Phase 1 of the rehabilitation of Southside Park with FDEP FRDAP funding and the usage of the park and the pedestrian traffic has increased substantially. The County also has a second pending FRDAP grant for a second phase at Southside Park for the construction of pickleball courts which will increase park usage even more. The proposed sidewalk will connect to the Old Dixie Highway sidewalk/trail system which was constructed with FDOT Transportation Alternatives funding. The proposed sidewalk will connect to existing sidewalks on US 19/Byron Butler Parkway providing access to numerous hotels, restaurants, and retail outlets. These sidewalks are also a portion of the SUN Trail network which will eventually run along US 19 through Taylor County. In addition to providing access to business and retail outlets, the Plantation Road sidewalk will provide a safe route of transportation to pedestrians and bicyclists to Southside Park from many nearby neighborhood communities. The area is well lit with additional security lighting being installed in Phase 2 of the park renovation. In addition to Southside Park, this section of Plantation Road also has Florida Forest Service and FDOT Maintenance offices.

Taylor County is a designated Rural Area of Opportunity (RAO) and Rural Economic Development Initiative (REDI) area. The County and/or City will maintain the proposed sidewalk after construction is completed.

The project has no negative environment or sensitive habitat impacts. All ROW is in public ownership.



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

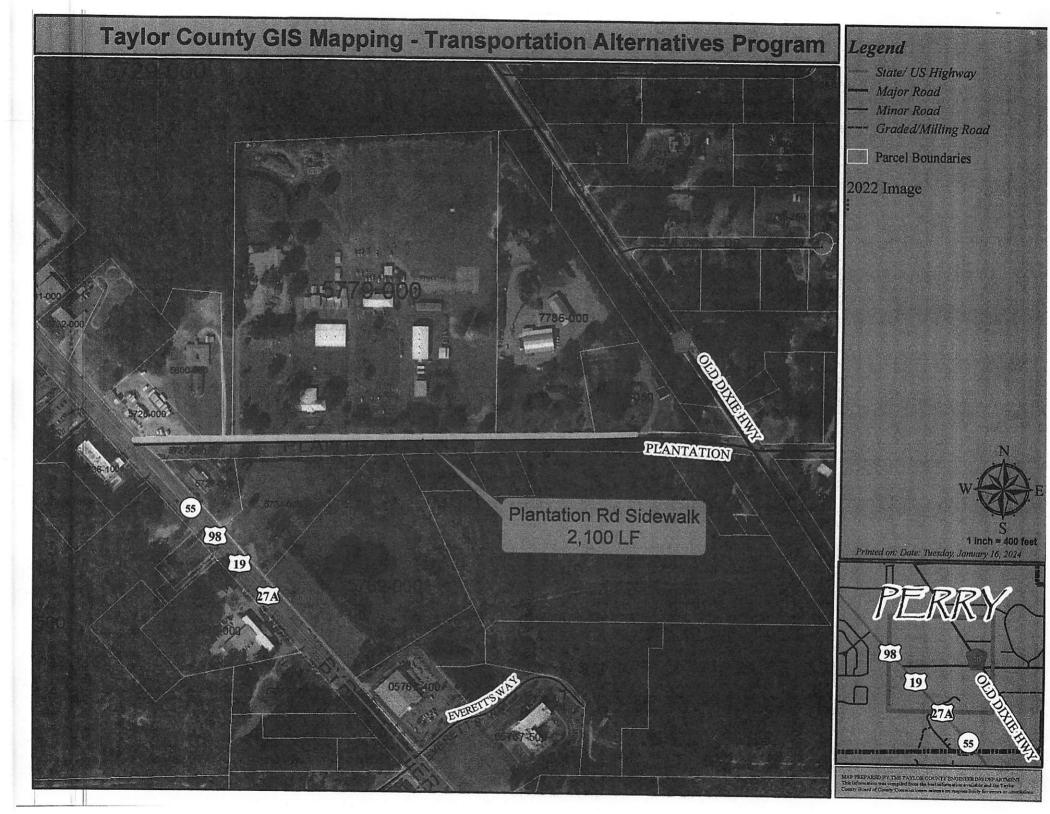
GARY KNOWLES, Clerk of Court Post Office Box 620 Perry, Florida 323-48 (850) 838-3506 Phone (850) 838-3549 Fax LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3500, extension 7 Phone (850) 838-3501 Fax

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#### Plantation Road Sidewalk Area Conditions

Per the US Census Bureau, Taylor County per capita income is \$26,859 with the State average being \$38,850. The County's poverty rate is 19.5% with the State average being 12.7%. The proposed sidewalk will benefit a fiscally constrained community in a state designated Rural Area of Opportunity (RAO) and Rural Economic Development Initiative (REDI) area. In addition, the County suffered catastrophic loss from Hurricane Idalia and Georgia-Pacific, the County's primary employer closed permanently in November 2023.

The Plantation Road Sidewalk supports the Taylor County Master Plan for Mobility, Recreation, and Connectivity adopted June 10, 2019, by the Board of County Commissioners. The proposed sidewalk will also offer future connection to the Sun Trail network.



## Shawna Beach, CFA Taylor County, FL



Brief Tax Description

LEG 0013.34 ACRES - RIGHT OF WAY - PLANTATION RD RUNNING THRU SECTIONS - 36-4-7 & 31-4-8 (Note: Not to be used on legal documents)

Date created: 1/11/2024 Last Data Uploaded: 1/10/2024 6:48:00 PM

Developed by Schneider





www.cityofperry.net

224 South Jefferson Street, Perry, FL 32347

850-584-7161

January 12, 2024

Florida Department of Transportation 1109 South Marion Avenue, MS 2007 Lake City, Florida 32025-5874

Attn: Ms. Amy Roberson

Re: Taylor County Transportation Alternatives Application

Plantation Road Sidewalk Project

#### Dear Ms. Roberson:

Please accept our Letter of Support for the application Taylor County Board of County Commissioners is submitting requesting funding assistance to construct a sidewalk along Plantation Road from US 19 to Old Dixie Highway. Plantation Road does not have a sidewalk and is heavily traveled by vehicular traffic. Currently, pedestrians walk along the edge of the road. The proposed sidewalk will provide a safe route of transportation for the many residents that walk to businesses on Highway 19. The sidewalk will also benefit children walking to the nearby Southside Park on Plantation Road.

Thank you for your consideration of the County's application for this much needed sidewalk project.

Sincerely,

John Hart

City Manager

#### TAYLOR COUNTY BOARD OF COMMISSIONERS

#### County Commission Agenda Item

SUBJECT/TITLE:



RATIFY BOARD TO THE SIGNATURE OF THE COUNTY ADMINISTRATOR ON THE **FLORIDA DEPARTMENT** OF TRANSPORTATION FIVE-YEAR SCRAP, SCOP, CIGP AND TRIP WORK PROGRAM PRIORITY SUBMISSION.

**MEETING DATE REQUESTED:** 

February 5, 2024

**Statement of Issue:** The Florida Department of Transportation anually requests that the Board of County Commissioners submit their request for various projects to be considered for the FDOT Five-Year Work Program.

**Recommended Action:** The Board should ratify the County Administrator's submission of the FY 2028 FDOT Five-Year SCRAP, SCOP, CIGP and TRIP work program project priority list.

Fiscal Impact:

FISCAL YR 2028 FDOT Funding

**Budgeted Expense:** 

YES

Submitted By:

ENGINEERING DIVISION

Contact:

COUNTY ENGINEER

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The Board of County Commissioners received a request reminder to submit candidate projects for the FY 2028 FDOT Five-Year Work Program on or before January 25, 2024 under the Small County Road Assistance Program, Small County Outreach Program, County Incentive Grant Program, and the Transportation Regional Incentives Program. This annual request requires the BOCC to list and prioritize a few projects that can be considered for future funding under the referenced programs. Project applications are required to be submitted through the web-based OASIS system. Items required for each submitted project include a Capital Improvement Plan, Board Priority Rankings and Board approval date, an updated cost estimate, and a current signature and date of application. Submissions are limited to a maximum of three project applications per County or possibly four if one of them is a capacity project.

With all of the three prior year submissions going unprogrammed/unfunded, Staff resubmitted the same projects in the same priority ranking as previously approved. The Board will recall that two of the roads (Beach Rd and Dark Island Road) have been being submitted since FY 26 with only Buckeye Nursery Road added as a new candidate project last year. This year's FY 28 submission was signed by the County Administrator and was included as one of the document submissions.

#### **Options:**

- 1) Ratify the County Administrator's resubmission of the proposed candidate project correspondence.
- 2) Deny the requested ratification, stating reasons for such revision and provide details to address the FDOT request.

#### Attachments:

FY 2028 Candidate Project Correspondence



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

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January 30, 2024

Florida Department of Transportation Attn: Mrs. Lauri Shubert, CPM, FCCM 1109 South Marion Avenue Lake City, FL 32025-5874

RE:

FDOT 5-year Work Program

Dear Mrs. Shubert:

The Taylor County Board of County Commissioners extends it appreciation to the Florida Department of Transportation for the continued joint effort of improving Taylor County under the Florida Department of Transportation's 5-year work program. The following is a list of those roads we request be considered as candidates for funding under the various FDOT programs (i.e. County Incentive Grant Program, Small County Outreach Program, Small County Road Assistance Program, Transportation Regional Incentive Program):

<b>Priority</b>	Highway	Length	Location
1	Beach Rd (CR 361)	35.2 miles	US HWY 19 (SR 55) to 1st Ave SE
2	Dark Island Road	0.7 miles	Beach Rd (CR 361) to Dark Island Park
3	Buckeye Nursery Rd	1.0 miles	US HWY 27 to San Pedro Rd

It is the Board's belief that each of these projects warrant improvement and will serve to improve the overall level of service of our County's infrastructure. If you have any questions regarding this matter, please feel free to call me at (850) 838-3500. Thank you again.

Sincerely,

LaWanda Pemberton County Administrator

cc:

File

Kenneth Dudley, County Engineer Hank Evans, Public Works Director

#### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:

Warrior Adventure Racing and Premier Events, LLC's usage of Mandalay Boat Ramp for February 22, 2024.



MEETING DATE REQUESTED: 2/5/2024

Statement of Issue:

Recommended Action:

**Fiscal Impact:** 

Budgeted Expense:

Submitted By:

SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues:

Options:

Attachments:

Overview map of the usage area.

#### **LaWanda Pemberton**

From:

Erik Wise <erik@offthegridracing.com>

Sent:

Monday, January 22, 2024 6:23 PM

To:

LaWanda Pemberton

**Subject:** 

Mandalay Boat Ramp Usage for Event

#### Good evening,

We have an event on February 22nd and would like to use the Mandalay Boat Ramp. This is a 72 hour race across the State. Teams will be in canoes and kayaks. They will launch from the City of St. Marks boat ramp and take out at Mandalay. At the boat ramp we will load their boats onto our trailer and the racers will leave the area on their bicycles. We should be there from about 14:00 until about 20:00 that Thursday. We would stage everything in the NE corner of the open field. Only vehicles on site will be staff. Participants are being bussed from across the east coast.

We will have insurance for the event and will name the County as additionally insured. The racers carry satellite trackers for the duration of the event that are always monitored. Please let me know if this is possible and what the fees would be.

Respectfully, Erik

--

Erik Wise Offthegridracing.com 386/315-1861



#### LaWanda Pemberton

From: Erik Wise <erik@offthegridracing.com>
Sent: Monday, January 29, 2024 6:15 PM

To: LaWanda Pemberton

Subject: Re: Mandalay Boat Ramp Usage for Event

Attachments: Agenda Request \_Taylor County BOCC.doc; Mandalay\_Ramp Overview Map.pdf

Good evening,

Attached is an overview map and agenda request. Here is a link to the race's

website: https://www.argeorgia.com/seatosea.

The company is based in Canton, GA. I am based out of High Springs, FL.

We will be on site from about 14:00 until 20:00 as the last teams come in off the water. Teams will leave the area by bike going north. There will be no overnight parking or camping.

I will have chemical toilets brought in for the event and make sure the area is clean before we leave. We will name the County as Additionally Insured and can have individual's or the company sign a hold harmless document if requested.

Let me know if further details are needed.

Erik 386-315-1861

On Mon, Jan 29, 2024 at 1:25 PM LaWanda Pemberton < LPemberton@taylorcountygov.com > wrote:

I will need no later than tomorrow in order to place on the February 5<sup>th</sup> agenda. I believe if you could attach information about your company it would be helpful. I have attached a copy of our agenda request form. Our attorney may request a hold harmless, as well.

LaWanda Pemberton

County Administrator

Taylor County Board of County Commissioners

http://www.taylorcountygov.com



From: Erik Wise < <a href="mailto:erik@offthegridracing.com">erik@offthegridracing.com</a>>
Sent: Monday, January 29, 2024 12:57 PM

To: LaWanda Pemberton < LPemberton@taylorcountygov.com >

Subject: Re: Mandalay Boat Ramp Usage for Event

Good afternoon. Yes, we are still interested in using the boat ramp. Teams will be landing their boats at the ramp before heading out on bikes.

I will get a site plan together when I get home from work. I can get you something earlier if you need to get the agenda out today though.

I will get you a copy of our insurance for the agenda packet. Any other documentation you think might be helpful for Commisioners and Staff to have before the meeting?

Respectfully,

Erik Wise

On Mon, Jan 29, 2024, 11:38 LaWanda Pemberton < LPemberton@taylorcountygov.com > wrote:

Good morning,

Are you still interested in using Mandalay Ramp for the event? I will need to place on the next agenda for Board approval, so will need the site plan, etc. as soon as possible.

The only charge I can think of would be the launch charge which is \$5 per day, but it sounds like folks will not be actually using the ramp to launch, correct?

LaWanda Pemberton	
County Administrator	
Taylor County Board of County Commissioners	
http://www.taylorcountygov.com	
From: Erik Wise < <a href="mailto:erik@offthegridracing.com">erik@offthegridracing.com</a> > Sent: Tuesday, January 23, 2024 11:37 AM  To: LaWanda Pemberton < <a href="mailto:LPemberton@taylorcountygov.com">LPemberton@taylorcountygov.com</a> > Subject: Re: Mandalay Boat Ramp Usage for Event	
Good morning LaWanda,	
There will be about 200 participants that would be exiting there. It would be spread and not all at once. It would be around 100 boats.	out over the time period
Once teams land at the boat ramp they will portage their boat to the staging area maparking areas are clear for any day users. I will also have chemical toilets brought in you a site plan with our proposed stage area this evening when I get home.	
Please let me know if you need further details.	
Respectfully,	
Erik Wise	
386-315-1861	

On Tue, Jan 23, 2024, 09:02 LaWanda Pemberton < LPemberton@taylorcountygov.com > wrote: Good morning, We normally do not "reserve" the boat ramps, as they are typically first come first served. That being said... can you please provide me with the number of participants so we can take a look at capacity, etc.? LaWanda Pemberton County Administrator **Taylor County Board of County Commissioners** http://www.taylorcountygov.com From: Erik Wise <erik@offthegridracing.com> Sent: Monday, January 22, 2024 6:23 PM To: LaWanda Pemberton < LPemberton@taylorcountygov.com> Subject: Mandalay Boat Ramp Usage for Event Good evening. We have an event on February 22nd and would like to use the Mandalay Boat Ramp. This is a 72 hour race across the State. Teams will be in canoes and kayaks. They will launch from the City of St. Marks boat ramp and take out at Mandalay. At the boat ramp we will load their boats onto our trailer and the racers will leave the area on their bicycles. We should be there from about 14:00 until about 20:00 that Thursday. We would stage everything in the NE corner of the open field. Only vehicles on site will be staff. Participants are being bussed from across the east coast. We will have insurance for the event and will name the County as additionally insured. The racers carry satellite trackers for the duration of the event that are always monitored. Please let me know if this is possible and what the fees would be.

Respectfully.



### **Premier Adventure Racing Events**

Warrior Adventure Racing, formerly ARGeorgia, is dedicated to bringing adventure racers the best outdoor endurance experiences ever in some of the nation's most beautiful backdrops. Our race directors and designers have over 20 years of experience racing and producing endurance events. We are best known for providing consistent, well-organized, and well-designed races. All races are for solo, 2, 3, or 4 person teams coed or (same-sex) open.





As seen on USA Network's <u>Race to Survive Alaska</u> & Amazon's World's Toughest Race: Eco-Challenge Fiji.







### What is Adventure Racing?

Adventure racing can be viewed from a philosophical or life perspective as a form of personal challenge and self-discovery. It often involves physically and mentally demanding activities, such as endurance sports, navigation, and problem solving, that push participants to their limits and require teamwork. Through the experience of adventure racing, individuals can gain a greater understanding of their own capabilities, develop resilience and perseverance, and learn to work effectively with others. Ultimately, adventure racing can serve as a metaphor for life, where we are continually facing new challenges and opportunities for growth, and where the journey itself is just as important as the destination.



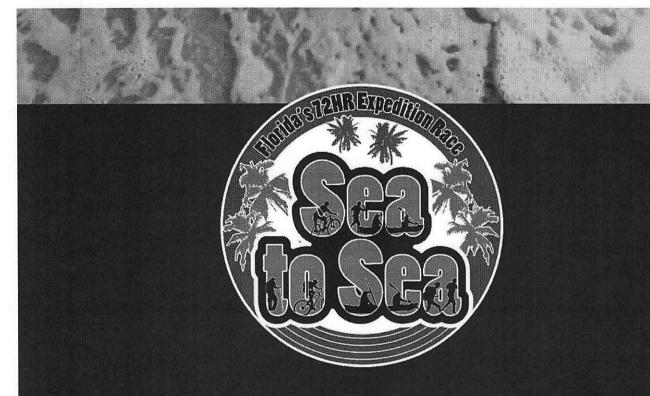
Ranked by Red Bull as one of the <u>10</u> best adventure races on the planet!

2019 Blue Ridge Adventure Race R...

Blue Ridge Ultra 2020 - It's Time To ...

" 'JE RIDGE Ultra 2020

# ADVENTURE RACING



February 22–25, 2024

Length: 72 Hours

Starting on the west coast panhandle area, taking teams into areas never used in any other Sea to Sea. This northern route will give teams a new look at Florida with rolling hills, caves, fast-flowing rivers, huge oak forests, old and new MTB trails, Florida trail hikes and some of Florida's best wildlife management areas. We are going all out for the 25th Anniversary of the Sea to Sea and this will be one for the record books.

SCHEDULE

**DETAILS** 

**TEAMS** 

REGISTER

HOW TO VOLUNTEER

# ADVENTURE RACING

#### Schedule

Check-In Starts

12:00pm, Wednesday 2/21

Pre-Race Dinner 5:00pm, Wednesday 2/21

Pre-Race Meeting

6:00pm, Wednesday 2/21

Load Buses

6:00am, Thursday 2/22

Start (West Coast)

10:00am, Thursday 2/22

Finish

12:00pm, Sunday 2/25

Lunch/Awards

12:00pm, Sunday 2/25

#### Location

Southern Oaks Inn, 2800 N Ponce De Leon Blvd. St. Augustine, FL 32084



**New to Adventure Racing?** 

Visit our <u>Resources Page</u> for ARGeorgia Live Panels, Videos, Maps & More!

**Proposed 2024 Route** 





#### Details

The Sea to Sea Expedition Race across Florida is an adventure racing event that takes participants on a multi-day journey from the Gulf of Mexico on the west coast of Florida to the Atlantic Ocean on the east coast. The race covers a distance of over 300 miles and includes a variety of challenging activities, such as trekking, mountain biking, paddling, and orienteering.

Teams of two to four members, or solos, compete in the race, and they must navigate the course using only a map and compass. The race is not marked, so participants must rely on their navigational skills to find their way through the course.

The race is held the last week of February when temperatures in Florida are relatively mild. However, participants still face various challenges, including heat or cold, humidity, and the potential for severe weather.

The Sea to Sea Expedition Race is known for its rugged and diverse terrain, which includes swamps, forests, beaches, and urban areas. Participants must be prepared to handle a range of conditions and challenges, from navigating through dense foliage to paddling through choppy seas.

The Sea to Sea Expedition Race is a true test of endurance, navigation skills, and teamwork. Participants must work together to overcome obstacles and complete the course, and they must be prepared to push themselves to their limits in order to succeed. The race is a unique and challenging adventure that offers participants the opportunity to explore some of the most beautiful and diverse landscapes in Florida while testing their physical and mental limits.

#### Race Tips

Race tips from the race director. Navigation will be very straightforward; however, get familiar with using a TOPO map. There will be no plotting UTM during this year's race; however, there is an O-Relay during the race so make sure at least two team members can navigate alone. All information forms and maps are waterproof. Train mostly on your mountain bikes before the race. Be prepared for any type of weather, late February in Florida has been in the low 30's at night to highs in the 80's during the day. Winter in Florida is like a box of chocolates, you never know what you're going to get.

#### What We Provide

- 1. Wednesday night stay at the host hotel. Teams receive 1 (two queen beds) and solos receive 1 (king) bed.
- 2. Fresh-cooked pre-race meal from a private chef the night before the race. Vegan options are available.
- 3. Transportation to the west coast start location.
- 4. Transportation for all team bikes, gear, and paddle bags across the state.
- 5. Canoes, paddles, and lifevests.
- Live tracking with GPS tracking devices so family and friends can follow along at home
- 7. Parking for all three days at the host hotel.
- 8. Sand bottles
- 9. Long sleeve dry-fit shirt
- 10. Custom race bib
- 11. Water, sodas, Gatorade, snacks, and cooked meals at each transition area.
- 12. Transportation for any withdrawing teams.
- 13. Race photos (free)
- 14. Finisher medals
- 15. Custom awards
- 16. Post-race meals



#### **Updates**

Once your team has registered for the race you will receive updates or changes via the email you provide. Also, video updates and other information will be posted on the SEA to SEA Race Facebook Page.

#### Waivers

In order to speed up the check-in process on race day, please download and fill in the <u>ARGeorgia Liability Waiver</u> for each team member, and bring it to the race with you to check-in.

#### Rules

Rules List is required to review and a copy to be carried during all races.

#### Gear

Mandatory Gear List required for review and to be carried during all races.

#### Withdrawals & Cancellation

Warrior Refund, Changes, and Cancellation Policy

#### Bike Shipping and Setup

The local bike shop for shipping and setup is:

Open Road Bicycles
2220 CR-210 West #303
St. Johns, FL 32259 USA
(904) 819-0422

#### **Awards**

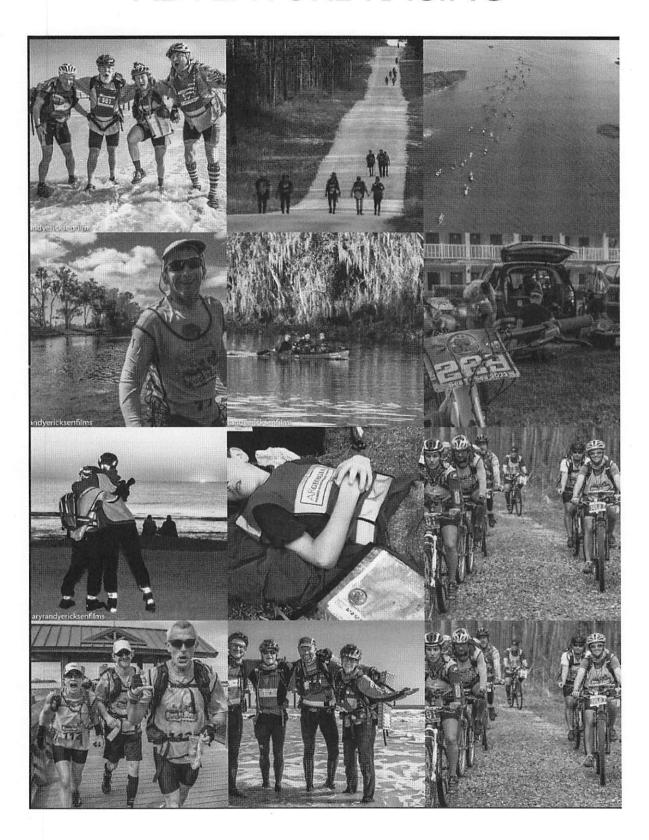
1st through 3rd place in the following divisions:

- Coed 3-4
- · Coed 2
- · Open Male (Any)
- · Open Female (Any)
- · Solo Male
- · Solo Female
- · Masters Solo Male (Must be over 45)
- · Masters Solo Female (Must be over 45)
- · Masters Team (All team members must be over 45)

Single Award for:

The Youngest Racer

# ADVENTURE RACING





#### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:

The Board to consider approval of application for Solid Waste Hauling Services Permit.



MEETING DATE REQUESTED:

January 2, 2024

Statement of Issue:

To consider approval of permit for Solid Waste Hauling

Recommended Action:

Fiscal Impact:

N/A

**Budgeted Expense:** 

N/A

Submitted By:

LaWanda Pemberton, County Administrator

Contact:

850-838-3500 ext. 6

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: Slade Hendry has submitted a permit application in order to haul residential solid waste in Taylor County, FL.

Options:

Approve/ Not approve/ approve contingent upon receiving

all documentation.

Attachments:

Permit Application and attachments.

#### Electronic Articles of Organization For Florida Limited Liability Company

L23000537161 FILED 8:00 AM December 04, 2023 Sec. Of State dsultana

#### Article I

The name of the Limited Liability Company is: C & S SIDE SERVICES, LLC

#### **Article II**

The street address of the principal office of the Limited Liability Company is:

130 PINE TREE RD PERRY, FL. US 32348

The mailing address of the Limited Liability Company is:

130 PINE TREE RD PERRY, FL. US 32348

#### **Article III**

Other provisions, if any:

HAULING COUNTY RESIDENTS TRASH/YARD MAINTENACE

#### **Article IV**

The name and Florida street address of the registered agent is:

SLADE HENDRY 130 PINE TREE RD PERRY, FL. 32348

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: SLADE HENDRY

#### Article V

The name and address of person(s) authorized to manage LLC:

Title: MGRM JEFFERY BILYOU 3550 WOODMORE LN PERRY, FL. 32348 US

Title: MGRM SLADE HENDRY 130 PINE TREE RD PERRY, FL. 32348 US L23000537161 FILED 8:00 AM December 04, 2023 Sec. Of State dsultana

#### **Article VI**

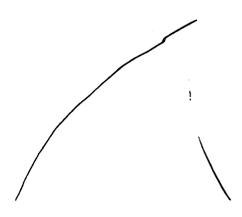
The effective date for this Limited Liability Company shall be:

11/30/2023

Signature of member or an authorized representative

Electronic Signature: SLADE HENDRY

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.





#### APPLICATION FOR RESIDENTIAL SOLID WASTE HAULING SERVICES **PERMIT**

This application form must be completed by each applicant that wishes to obtain a permit from Taylor County for residential solid waste hauling services.

incl	uding the application that	s described below. An applicant may attach additional sheets of paper to this Applicant must show residency in Taylor County, Florida for the past five (5) years.
1.	Applicant Information	
	Please provide the name	address and telephone number of the Applicant.
	Name of Applicant:	Slade Hendry
	Mailing Address:	130 Pine tree Rd Perry F1 32348
	Email Address:	Slade man 15 6 Hotmail.com
	Telephone No.:	448-208-4899
2.	Applicant's Authorized R	, address and telephone number of the Applicant.
	Name of Representative:	Slade Hendry
	Mailing Address:	130 Pine tree Rd Perry F1 32348
	Email Address:	Slademan 15 @ Hotma: 1.com
	Telephone No.:	448-208-4899
3.	Type of Business Entity.	_
	Please state whether the	Applicant is an individual, a corporation, a partnership, or other type of entity.

4. Applicant's Prin	cipals.
---------------------	---------

If the applicant is a corporation, partnership or other business entity, please provide the name, address, and title of the Applicant's majority shareholder and each person that is a principal officer (e.g., Chief Executive Officer; President; Vice-President; Chief Operating Officer; etc.).

Name: <u>Slade Hendry</u>

address: 130 Pine tree Pd Perry FL 32348

Title: <u>President</u> (owner)

#### 5. Applicant's Managers.

Please provide the name, address, and telephone number of each person that will serve as the Applicant's local manager (i.e., the person that will be responsible for performing or supervising the Residential Solid Waste Hauling Services for the Applicant).

Name:

Starter Scott bil

Address:

Dan la da

6. Proof of Good

Title:

Standing.

If the Applicant is a corporation, please provide proof that the corporation is in good standing in the State of Florida.

7. Authorization to do Business in

Florida.

If the Applicant is not a Florida corporation, please provide proof that the Applicant is authorized to do business in Florida.

8. Fictitious

Name.

If the Applicant is operating under a fictitious name, please provide information demonstrating that the fictitious name is properly registered by the Applicant.

#### 9. Applicant's Experience.

- (a Please provide a summary of the Applicant's experience with regard to the collection of Residential
- ) Solid Waste.
- (b) Provide a complete list of all of the communities in Florida and other states (but not more than ten (10)
- ) communities) where the Applicant has provided solid waste collection services in the last five (5) years.

(c) For each community listed in Section 9(b) above, please provide the name, address and telephone number of a reference (i.e., a person employed by the local government in that community who can provide information concerning the quality of service by the Applicant).

#### 10 Prior Enforcement Issues.

- (a Please provide a complete list of all communities (if any) where the Applicant's permit, approval, franchise, or license to provide solid waste collection services was suspended or revoked.
- (b Provide a complete list of all felony convictions, and misdemeanor convictions with the last five (5)
   years, involving the Applicant's collection, receiving, storing, separating, transportation, or disposal of solid waste. If the Applicant is not an individual, also provide a list of such convictions for the Applicant's majority shareholder, any person having a controlling interest in the Applicant, and each person that is an officer or partner of the Applicant.
- (c) Provide a complete list of all civil penalties and liquidated damages in excess of five thousand dollars (\$5,000.00) that were assessed against the Applicant by local, state, and federal governmental entities within the last five (5) years involving the collection, transportation, or disposal of solid waste.
- (d With regard to Sections 10(a) through 10(c), above, provide any information concerning the
   ) convictions, penalties, liquidated damages, etc., that the Applicant believes will help the County understand the facts concerning those matters.

#### 11 Potential Customers.

Please provide the name and address of each residence that will be provided Residential Solid Waste Hauling Services by the Applicant if this Application is approved. Please provide this information on the blank form that is attached hereto entitled "Taylor County Residential Solid Waste Hauling Application Response; Potential Customers, Paragraph 11; Potential Customers".

#### 12 Vehicles, Equipment & Containers.

Please provide a list of the vehicles, equipment, and containers that will be used by the Applicant to provide Residential Solid Waste Hauling Services in the County. The list must identify the make, model, identification number, and year of each vehicle and piece of collection equipment. The list also must identify the size and type of each container that will be used by the Applicant. Please provide this information on the blank form that is attached hereto entitled "Taylor County Residential Solid Waste Hauling Application Response; Vehicles, Equipment and Containers, Paragraph 12; Vehicles Equipment & Containers". Also include the street address of the equipment yard(s) where the Applicant's vehicles, equipment, and containers are stored when they are not in use.

#### 13 Insurance Requirements.

Please provide a properly executed Certificate of Insurance form demonstrating that the Applicant has the following types and amounts of insurance coverage's issued by an insurance company that is licensed to do business in the State of Florida, with an A.M. Best Rating of B+ or better, Class VII (or higher), or otherwise

acceptable to the County, if the company is not rated by A.M. Best.

- (a Comprehensive General Liability Insurance with a limit of a one million dollar (\$1,000,000) per occurrence and a one million dollar (\$1,000,000) general aggregate. This policy must include the following coverage's: premises and operations liability, independent contractors, products and completed operations, personal injury, contractual liability, and fire damage.
- (b Automotive Liability Insurance coverage providing a combined single limit of not less than five hundred thousand dollars (\$500,000) per occurrence. This policy must include the following coverage's: bodily injury and property damage including premises and operations.
- (c) Workers Compensation Insurance shall be provided for all of the Applicant's employees as required under Florida law (a Workers Compensation Exemption shall be acceptable with submittal of a signed "Hold Harmless, Release and Indemnity Agreement"); and
- (d Employers Liability Insurance providing a single limit of not less than one million dollars (\$1,000,000);
   bodily injury by each accident, and providing a single limit of not less than one million dollars (\$1,000,000), bodily injury per each employee, and providing a single limit of not less than one million dollars (\$1,000,000) bodily injury by disease policy limit.

The certificate of insurance must demonstrate that the insurance coverage will be in effect for the term of the proposed Agreement. The certificate of insurance must name the County as an additional insured (except with regard to workers compensation and employees liability insurances).

The "certificate holder" box on the certificate of insurance shall read as follows:

Taylor County Board of County Commissioners 108 N. Jefferson Street Perry, Florida 32347

#### 14 Bond Requirements.

Please provide a performance bond in the amount of fifty thousand dollars (\$50,000). The bond must be attached hereto and is subject to review and approval of the County Attorney. The bond must be issued by a surety licensed to do business in the state of Florida

#### 15 Other Information.

Please provide any other information the Applicant believes will demonstrate that:

- (a The Applicant has the experience, personnel, equipment, and other resources necessary to provide Residential Solid Waste Hauling Services in Taylor County.
- (b The Applicant has the capacity and willingness to comply with all applicable local, state, and federal laws; and
- (c) The award of a Permit to the Applicant will be in the public interest.

#### 16 Permit Agreement.

	Please sign and properly execute the "Permit Agreement for Residential Solid Waste Hauling Services" that is attached hereto.
<b>17</b>	Affidavit
	Please sign and properly execute the blank "Affidavit in support of Permit Application" that is attached hereto.
<b>18</b>	Effective Date of Permit Agreement.
	Please identify the date when the Applicant wants its Permit to take effect.
19	Attachments

All of the information and documents requested in paragraphs 1-18, above, must be attached to this Application and submitted to the Taylor County Solid Waste and Environmental Program Management.



### TAYLOR COUNTY RESIDENTIAL SOLID WASTE HAULING APPLICATION RESPONSE POTENTIAL CUSTOMERS, PARAGRAPH 11; POTENTIAL CUSTOMERS

Name:	Brooke Dean
	4710 bethea Rd
	Shanna Lago
Address:	4247 San Pedro Rd
Name:	Jennifer Gnandier
Address:	2485 POST DOK Rd
Name:	Alexis Davis to
Address:	4314 Waldo Circle
Name:	Cathy Porter
Address:	299 Miller Rd
Name:	Hollie Murphy
Address:	7090 W US98
Name:	Carrie Caswell
Address:	2740 Ocean Pond Dr.
Name:	Kelsey O'quinn
Address:	1569 E James Smith Rd

Name:	Darlene Floyd		
Address	: 18722 Key deer cour	+	
Name:	Angela Kent		
Address	: 293 Paul Poppel Rd		
Name:			
Address	:		
On the second	TAYLOR COUNTY RESIDENTIAL SOLID WASTE HAU VEHICLES, EQUIPMENT & CONTAINERS, PARAGRAPH 12;		
Type:	Vehicle		
Make :	Chevrolet Model: 1500	1.D. #: 16(EK:1	4T0x2 1999
Type:	Vehicle Equipment Container		158452
Make :	Model:	I.D. #:	Year:
Type:	Vehicle Equipment Container		
Make :	Model:	I.D. #:	Year:
Type:	Vehicle Equipment Container		
Make :	Model:	I.D. #:	Year:
Type:	Vehicle Equipment Container		
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Type:	Vehicle	Equipment	Container		
Make :		Model:	· ·	I.D. #:	Year:
Type:	Vehicle	Equipment	Container		
Make :		Model:		I.D. #:	Year:
Type:	Vehicle	Equipment	Container		
Make :		Model:		I.D. #:	Year:
Type:	Vehicle	Equipment	Container		
Make :		Model:		I.D. #:	Year:
Street /	Address of Equipmen				
Addres	s: 130 Pine	e tree 1	2d Perri	/ HI 32	1348
LET OF			AL INCODMATION O	(a) 10(a)	
		ADDITION	AL INFORMATION 9	(a) – 10(c)	
	ary of Applicant's exp				our own
Summa 9(a): Trqs	ary of Applicant's exp Personal h to the				our own parents,
9(a):	h to the				orand Parents, Littered on Roads
9(a): Tras	h to the have Safe	erience- experience dump as	e in ta Swell as o no tras	KING ( My E + ge+s	our own orand parents, Littered on Roads.
9(a): Tras	h to the have Safe	erience- experience dump as	e in ta Swell as o no tras	KING ( My E + ge+s	
9(a): Tras	h to the have Safe	erience- experience dump as	e in ta Swell as o no tras	KING ( My E + ge+s	
9(a): Tras  And  List of (9(b):	h to the have Safe	erience- Experience JUMP OS Y Nets' 50 Solid Waste Collecti	e in ta Swell as o no tras	KING ( My E + ge+s	
9(a): Tras  And  List of (9(b):	Personal h to the have Safi	erience- Experience JUMP OS Y Nets' 50 Solid Waste Collecti	SWELL AS O NO TRAS On Services Have Be	KING ( My E + ge+s	

Telephone No.:	
Name:	
Address:	
Telephone No.:	
List of Communities Where Permit was Suspended or Revoked - 10(a):	N/A
List of all Felony and Misdemeanor Convictions in Five Years - 10(b):	N/A
List of all Civil Penalties and Liquidated Damages > \$5,000 - 10(c):	N/A

### HOLD HARMLESS, RELEASE AND INDEMNITY AGREEMENT

COMES NOW, Slade B. Hendry , and after having obtained a State of Florida Worker's Compensation Certificate, a copy of which is attached hereto and marked Exhibit "A" and in consideration of Taylor County having accepted the said Worker's Compensation exemption and Taylor County having agreed for me to proceed with the following project, to-wit:

#### RESIDENTIAL SOLID WASTE HAULING SERVICES

 I hereby agree to indemnify, hold harmless and defend Taylor County, Florida from any liability claim, demand, action, cause of action, suit, loss, damage, expense, cost attorney fee, settlement or judgment as a result of my being injured while performing the above project. I will not allow anyone to subcontract and no other person will be allowed on the job site.

- I also hereby indemnify and release Taylor County, from any liability, claim, demand, action, cause of action, suit, loss, damage, expense, cost, settlement or judgment for any medical, dental, orthopedic, surgery or any rehabilitation or any expense as a result of any injury on said project.
- 3. I hereby release Taylor County from any liability of whatever kind or nature as a result of any injury on the above project.
- 4. I hereby agree that venue of any litigation, as a result of this Hold Harmless Release and Indemnity Agreement shall be exclusively in Taylor County, Florida and the laws of the State of Florida shall govern.
- 5. I hereby agree that I have relied on the legal advice of my attorney and that I fully understand this agreement and I have voluntarily executed same.

DONE AND EXECUTED this 20th	_ day of	
WITNESS: Shana Deal C	Slade	Hendry FLDL:3360
STATE OF FLORIDA COUNTY OF TAYLOR		

I hereby certify that on this day personally appeared before me, an officer duly authorized

to administer oaths and take acknowledgments, Stode Hond

known to me ( ) produced identification ( ) to be the individual described in and who executed
the foregoing, and acknowledged before me that they executed the same freely and voluntarily
for the purpose therein expressed.
Witness may hand and official seal this <u>N</u> day of <u>DCC.</u> , 201—.
NOTARY PUBLIC  My Commission Expires:
Accepted by Taylor County, Florida this day of, 201, by



JIMMY PATRONIS CHIEF FINANCIAL OFFICER

#### STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES **DIVISION OF WORKERS' COMPENSATION**

#### \* \* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \* \*

#### NON-CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 12/27/2023

EXPIRATION DATE: 12/26/2025

PERSON: SLADE B HENDRY

EMAIL: SLADEMAN15@HOTMAIL.COM

FEIN:

934750868

**BUSINESS NAME AND ADDRESS:** 

C & S SIDE SERVICES LLC

130 PINE TREE RD

PERRY, FL 32348

This certificate of election to be exempt is NOT a license issued by the Department of Business and Professional Regulation. To determine if the certificate holder is required to have a license to perform work or to verify the license of the certificate holder, go to www.myfloridalicense.com.

IMPORTANT: Pursuant to subsection 440.05(13), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to subsection 440.05(11), F.S., Certificates of election to be exempt issued under subsection (3) apply only to the corporate officer named on the notice of election to be exempt. Pursuant to subsection 440.05(12), F.S., notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT RULE 69L-6.012, F.A.C. REVISED 01/2023

E01843820

QUESTIONS? (850) 413-1609



#### Important Information

Here are your Policy Identification Cards We've provided two (2) cards for each vehicle on your policy.

#### **Need additional ID cards?**

The GEICO Mobile app is the quickest way to get additional ID cards. You can also send a copy of your ID cards to anyone that needs them right from the appl

If your address changes, update it using the app or log in to geico.com. By keeping your information up-to-date, you'll continue to receive important policy documents.

> SLADE BRINSON HENDRY 130 PINETREE RD PERRY FL 32348-6020

**Cut Along the Dotted Line** 

#### Florida Automobile Insurance Identification Card

**GEICO INDEMNITY COMPANY** 

Policy Number / Florida Code No.

4453-19-84-28/09170

**Effective Date** 01/10/24

[X] Personal Injury Protection

[X] Bodily Injury Liability

Benefits/Property Damage Liability Slade Brinson Hendry Named

Insured(s)

1999 CHEV SILVER1500

Vehicle ID No. 1GCEK14T0XZ158452

Not valid more than one year from the effective date FOLD HERE FOLD HERE FOLD HERE FOLD HERE FOLD HERE

1999 CHEV SILVER1500

**Additional Drivers** 

**Cut Along the Dotted Line** 

#### Florida Automobile Insurance Identification Card

GEICO

**GEICO INDEMNITY COMPANY** 

Policy Number / Florida Code No.

**Effective Date** 01/10/24

4453-19-84-28/ 09170

[X] Bodily Injury Liability

[X] Personal Injury Protection Benefits/Property Damage Liability

Named

Slade Brinson Hendry

Insured(s)

1999 CHEV SILVER1500

Vehicle ID No. 1GCEK14T0XZ158452

Not valid more than one year from the effective date FOLD HERE FOLD HERE FOLD HERE FOLD HERE FOLD HERE

1999 CHEV SILVER1500

**Additional Drivers** 



#### Need another form of proof of insurance?

You may need the Insurance Binder for most finance companies, dealerships or vehicle registrations.

Scan this code to get another form of proof of insurance immediately!



Cut Along the Dotted Line

#### 1999 CHEV SILVER1500



Coverage, including collision, may extend to rental vehicles that qualify as temporary substitutes or non-owned autos in your policy.

Misrepresentation of insurance is a first degree misdemeanor.

FOLD HERE FOLD HERE FOLD HERE FOLD HERE FOLD HERE If you're in an accident:

- Stay at the scene and find a safe area.
- Do not admit fault or disclose your coverage limits.
- Call the police, and gather driver and vehicle Information.
- Find any witnesses and get their contact information.

#### To report a claim

Go to geico.com/claims, use the GEICO Mobile app or call 1-800-841-3000.

U4FL (06-20)

#### Cut Along the Dotted Line

#### 1999 CHEV SILVER1500

GEICO

Coverage, including collision, may extend to rental vehicles that qualify as temporary substitutes or non-owned autos in your policy.

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FOLD HERE FOLD HERE FOLD HERE FOLD HERE FOLD HERE FOLD HERE If you're in an accident:

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#### To report a claim

Go to geico.com/claims, use the GEICO Mobile app or call 1-800-841-3000.

U4FL (06-20)

#### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



MEETING DATE REQUESTED:

Statement of Issue: Freeing ow Water ways Initiative Recommended Action: Opening up dead end canals

Fiscal Impact:

Budgeted Expense:

Submitted By: Rishge Plank, III

Contact: Bish 850-843-5487 belock@ creative environ mental. com

SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues:

Options:

Attachments: Mans, Articles

### • • • • • FISHING REPORTS • • • • • •

# OFFSHORE ADVENTURES by Capt. Brian Smith

## Two princes and a lady

Once upon a time, recently, two kings, Paul and his brother Mark, brought aboard their offspring.

King Paul brought his heir to the throne, Prince Arthur. Arthur was five years of age, full of bravado.

King Mark brought aboard his heir, son Prince Henry, age seven, with daughter Lady Olivia, age six. Mark's children were likewise looking forward to a highseas adventure on the Gulf of Mexico.

I was the Captain.

The previous night, I reviewed sea forecasts and such, readied much of the gear and developed a splendid strategy to entertain the young royalty.

First mate, Billy, had turned in early so to be lively in the morning for the event. Billy brings a vast set of skills I'm much aware of, yet to others are mostly unnoticed until needed. He is an often an

overlooked asset, not by me.

Billy and I arrived one hour early to dress the boat for their arrival. We loaded our personal rations, gilded the vessel with fishing equipment, electronics, checked the oil, warmed up the motors, as well as stocked bait and copious amounts of ice. However, three of the many rod/reel combos were not appropriately rigged for battle. Billy and I were vigorously making necessary changes. It is much easier to rig at the calmness of the dock than at sea.

Both of us were busily working to best be prepared. We would have looked well dressed prior to special guest arrival. Yet, the royal families arrived a bit earlier than planned. Billy and I were caught with a touch of soot on our faces. Nonetheless, in a matter of minutes, we were ready to begin boarding.

Billy and I began loading the royal



FAMILY FISHING FUN! - Paul and his 5-year-old son Arthur, along with his brother Mark and his children, 7-year-old Henry and 6-year-old Olivia (see photo on page 50) found plenty of success fishing with Capt. Brian Smith out of Steinhatchee, Florida. (Photo courtesy of Big Bend Charters)

"luggage" and tucking it away appropriately. Next, the two kings, Paul and brother Mark, boarded first as protocol. They watched closely as Billy and I lifted the children aboard. They brought life-vests for their children. I inspected them, finding they were less than required for youth going offshore.

A "Type III" personal flotation de-(Continued on page 50)

### That's a Whole 'Nuther Story

## 'The Free Our Waterways Initiative'

by Bish Clark

I was knee deep into a story entitled "Goats, Rattlers and Airboats" when the mud shifted just enough to encourage me to pick up on my last article, "How To Get Your Canals Dredged With A Fish Fry."

It was in December's edition, and if nothing else, it has a little down-home cracker history of imagination and determination.

First of all, this is not an attempt to grab some disaster money. I was dumb enough to stay and weather Idalia, so I know every cent we can muster needs to be spent to get the Big Bend's feet firmly planted.

So, I suppose what I need to do is share my personal observations that began the first time I learned not to go barefoot while exploring oyster beds.

And so, after all these years, I'm led to this.

Out of all the talk about pollution over the years, we have it festering before our eyes (or noses). It is the Keaton Beach area canal system, and a system it is not. You see most of our canals are dead ends. This means that all of the seaweed, mud and dead sea life washing into the canals have no way to escape. It moves up the canals where it settles to the bottom and begins to rot. That is where it turns into a soupy, primordial slime that has the consistency of pudding.

Not knowing any better, we used to play in it at low tide as kids. It's a wonder we all survived, and maybe why we have strong immune systems to this day.

I'm sure a lot of you have seen the shrimp boats dock next to the Keaton Beach boat ramp. When they return from their nightly run, they have to fill the tanks on their delivery trucks with salt water.

Have you ever seen them taking on water from the dock area?

I'll answer this. No! They drive to the Dark Island boat ramp where they pump the water directly from the canal.

The reason? The canal water is the cleanest around due to it being open on both ends and free flowing. When the tide comes in, it flows south through the

canal. When it goes out, it flows north.

My Dad had a home on the coast before the beaches' sewer system was completed. A fella' asked him, "Do you have any trouble with your septic tank?"

Daddy replied, "Nope, it flushes twice a day!"

We now have a state-of-the-art sewer system, and it has made a significant improvement in quality of life for property owners, visitors and sea life.

Now, let's do the same for our canals!

When you want to know the facts, all you have to do is ask the people who make a living off clean, life-giving Gulf water about the health of our canal system.

I talked to Freddy, a hard-working entrepreneur who happens to be in the shrimp business. He said when it gets hot in the summer, the water at the Keaton ramp becomes stagnant. He has asked different folks to help by putting in a humpback bridge, or at the very least a culvert system, to allow a free-flowing canal.

That's something that has been on

my mind for a while and now may very well be a perfect time.

There is \$15 million in a BP Deepwater Horizon Spill Fund to help along our coast just waiting for bureaucracy to get out of the way.

The Beach Road is set to be paved and could help with the cost of bridges and culverts.

I've talked to Victor Blanco, our marine agricultural extension agent, and he agrees that it is a worthwhile project that needs pursuing. This could go beyond Keaton Beach to surrounding communities' canals as well.

Imagine, if you will, open-ended, free-flowing canals suddenly coming to life. With all the docks, pilings and structures lining the banks, it could very well become a miles-long living reef.

A person could canoe, kayak, troll or fish off a dock pitching at red drum, speckled trout or sheepshead. Not to mention cast netting fresh mullet that you could have in hot grease in minutes.

Some folks say, "Thinking outside of the box."

(Continued on next page)

## Think outside the box? 'I say what box?'

(Continued from previous page) I say, "What box?"

Let's swing for the fence! When building the humpback bridge on Beach Road at the boat ramp, make it tall enough for small boats to go under.

Then, dredge a small channel directly into the gulf bypassing the long idle down the Keaton Beach Canal.

You may ask "What about the marsh grass you will destroy?"

I say, in the long run, it will be more seagrass friendly, because boats can have quicker access to deeper water.

For example, look at the one humpback bridge before you get to the beach. It is used by many for quicker access in and out of the Gulf.

There is also a safety aspect to having multiple points of entry.

I've been caught in summer squalls before, and I more often than not ran straight to the hill. But it's human nature to make a run to your port consequently making for a very dangerous scenario.

With multiple access points, the smaller boats would get out of the way of the ones with over a 1,000 horsepower. (I can't believe I'm talking about a 1,000 HP rig at Keaton Beach, but for better or worse, it's a reality!)

Taking advantage of this moment in time not only makes environmental sense but also economic sense. Just think of what a newly-navigable, pristine water canal system would do to property values and eventually the tax revenue for our county.

The fresh flow of Gulf water will

probably guessed by now, I have a lot of dreams, but I'm lacking on details. I welcome any ideas and input from you and as we delve into this further with our marine agent, a plan will become more clear. You can email me at: nonamesauce@gmail.com if you like.

also help with their function. You've

For right now, it will take everyone who loves our slice of paradise to start a grass roots movement convincing our elected officials to get on board.

Last month, I printed a list of every politician who has a stake in Florida's Big Bend. I am again providing you with their contact information in hopes that your support will encourage them to "Get on board the Free Our Waterways Initiative."

I can't make this happen without you! Besides, I've got an article about "Goats, Rattlers and Airboats" to finish, but that's a whole 'nuther story!

Federal Officials: *Marco Rubio (R)* 

U.S. Senator - Florida
Washington, DC (202) 224-3041
Tallahassee, Fl. (850) 599-9100
https://rubio.senate.gov/public/index.cfm/contact

Rick Scott (R) U.S. Senator – Florida Washington, DC (202) 224-5274

Tallahassee, Fl. (850) 942-8415 https://rickscott.senate.gov/contact Neal Dunn (R)

U.S. Representative Dist. 2 Washington, DC (202) 225-5235 Tallahassee, Fl. (850) 891-8610 www.dunn.house.gov/contact State Officials:

Ron DeSantis, Governor (R)
Tallahassee, Fl. (850) 488-7146
www.flgov.com

Jeanette Nunez, Lt. Governor (R)
Tallahassee, Fl. (850) 488-7146
www.flgov.com

Wilson Simpson, Commissioner of Agriculture (R)

Tallahassee, Fl. (800) 435-7352 www.freshfromflorida.com

Corey Simon,

State Senator - District 3 (R)
Tallahassee, Fl. (850) 487-5003
www.flsenate.gov

Jason Shoaf, State Representative - District 7 (R)

Tallahassee, Fl. (850) 717-5007 www.myfloridahouse.gov

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(850) 838-6766 jenglish@taylorcountygov.com

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(850) 584-3681

pfeagle@taylorcountygov.com
Thomas Demps (D) - Dist. 5

(850) 838-6861

tdemps@taylorcountygov.com

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# 'That's the biggest fish I've ever caught!'

(Continued from page 47)

vice (PFD) is rated for inland waters and inshore boating. We needed "Type I" youth PFDs for the voyage. I hailed dock master Joyie inquiring. Joyie brought to



"PRINCESS OLIVIA" WITH ONE OF THE MANY BLACK SEA BASS she and family caught during their fishing trip with Capt. Brian Smith. (Photo courtesy of Big Bend Charters)

the vessel the required and more-appropriate loaner PFDs. Steinhatchee Marina at Deadman Bay was ready to remedy an important issue. We sized and checked the fit on each of the royal offspring beforehand.

During the limited delay, Prince Arthur spouted, "When are we going to go?" Arthur was ready to fish two hours ago.

Dad Paul told him nicely, "When the Captain is ready."

Moments later, Prince Henry chirped likewise. Dad Mark nicely told him the same as his brother had recently stated. Both men respected that we put their progeny foremost.

Before we idled through the No Wake zone, Arthur came back to the helm asking me, "Captain, how long until we get there?"

"Fifteen minutes" is the standard child answer. Any time less, they won't trust you, yet any time more is eternity.

Seas were easterly, pushing us offshore with light, 2-foot swells with the occasional 3-footer. We let the kids, on the bean bags, yelp happily like being at an amusement park. Dads were forward watching. They gave me relief. Interpreting children's vocals is a slippery slope of fun verses immediate attention. The kids liked going fast and rolling with the seas.

My plan was action and a lot of it. Florida snapper (grunts) and sea bass were the action targets. There is a saying, "If the wife is happy, everybody is happy." From a captain's point of view, "If the kids are engaged, they're less likely to find something to harm themselves with." There are many sharp and pointy things on a boat to inflict harm. The balance between "child-proofing" and necessary utility is a tossing bar on a boat.

In the nick of - rather, in the "Arthur" of - time, I pulled back the throttles, and we anchored on a piece of hard bottom.

Billy had already sliced up squid strips. Rigs were quickly baited and ready for action. It didn't take long to realize the children weren't interested in the toil of dropping the baits to the bottom. They were very interested in reeling up the fish only. Royalty has its perks. Yet, none of the children minded getting their hands dirty, slimy or otherwise nasty. Compliments to the king and family.

Thankfully, the two kings were quite happy to facilitate Billy and me and tend to their children. At times, adults tend to drop-off the kids at "Captain and Mate" daycare.

All four men played the downside roles. Each of us would make a manly

grunt, pardon the pun, when we hooked up. Hook ups were three seconds upon bottom contact. When one of us would grunt, one or more child would rush in and take over. At times, all three children were actively reeling up, so the fourth man would reel up unaided. He either flipped the fish in the cooler or over the side depending on size. The vast majority of the fish were Florida snapper, grunts.

Intermittently, one child would have an extra struggle needing a little assist.

"What kind of fish is that?"

"That's the biggest fish I've ever caught!"

"It's a red grouper." Photo op.

The heartbreaking explanation to a child... Our gooberment has declared those fish are extinct. Your catch is very rare, maybe the last one on earth. I renamed them "extinctos."

After tossing the red grouper overboard, I got the squint-eyed, boot-lipped, disappointed glare of a child that cut one off at the knees. Thank God other fish needed to be reeled in as distractions. At the end of our fishing day, we individually added up our number of extinctos caught. Collectively, it was over 50 inside of 35 feet of depth. The larger red grouper are a short distance farther out. The

(Continued on next page)

## That's a Whole 'Nuther Story

### How to get your canals dredged with a fish fry among Daddy and his friends would turn

I guess it was somewhere around the mid-60s when all that the Keaton Beach and Cedar Island canals consisted of were the Blue Creek basin and the doodle holes running west from the mouth of the creek.

Boats were considerably smaller then, with anything over 50 h.p. being rare. Still, it was hard to navigate the "canal," and vessels were constantly getting stranded at low tide.

I recall going with my Dad to "Esther's" at Keaton Beach on many occasions. If you've never been to Esther's, you really missed out. Esther was the owner of S&P Marina, where she ran the beer joint, and her female outboard mechanic "Jodie" ran the marina. Esther was the first Mullet Festival Queen.

She was 5'2", weighed over 300 pounds, chewed tobacco while drinking Bud in the bottle and could make a pirate blush with her vocabulary.

I've seen her run grown men out of the bar with a cue stick cussin' 'em all the way to the Beach Road.

Invariably, the topic of discussion

to the Keaton Beach canal or lack thereof. Most times, the conversation would evolve into tales of who got stuck in the mud overnight, and how miserable they were swatting bugs waiting for the tide. After a few more beers and another

game or two of eight ball, someone mentioned the shrimp boats they'd been seeing. Everybody laughed, and someone said, "How do they think they're gonna get in and out?"

One of the men got real serious and said he'd seen the head of the shrimpers loading a plow onto his boat. The man asked the captain what he was doing, and he informed him he was gonna "plow up" a canal!

Sure enough, when the shrimpers would head out, they would drag the plow at high tide, drop it off at the Dekle Beach bird rack, go on out to harvest bait shrimp, then hook up to the plow and drag it back in churning up the mud which then drifted out with the tide.

After many round trips of plowing, they dropped it off at the bird rack for the last time

I used to spearfish around it as a young teen. While the plowing helped open up the canal, it was still treacherous.

One balmy July night, the conversation turned to Joe P. Burns, who had been stranded in his 26-foot Sportscraft appropriately named "The Jinx."

Joe P. was the local funeral director back in the days when the hearse doubled as the ambulance. Can you imagine laying on the side of the road with your head busted open because you over-corrected your VW, when, all of a sudden, a hearse pulls up with its flashing red light? And, when you come to, the undertaker is leaning over you!

My first thought would be, "Man, I hope he is having a good month!"

Of course, that wouldn't happen with Joe P., because he was one of the finest men to walk the earth. He had been known to blow up many a Cadillac engine trying to get the critically-injured to Tallahassee Memorial Hospital.

good friend and supporter of Don Fugues ---

Esther asked why he couldn't get the congressman to have the canals dredged.

Joe told the crowd that he begged him every time he saw him, to come up with the funds to do it, yet it never got

My Dad spoke up, stating matter of factly, "I bet if you get his 'butt' stuck in low tide one night, he'd come up with the money!"

They all laughed, then the pool room fell silent.

Someone added, "Especially if the sand gnats were swarming."

And so, the plan began to unfold. Joe P. would get Fuqua to come to his house at Cedar Island for a fundraiser. Afterward, they would convince the congressman to do a little late-night mullet fishing.

The stage was set right down to holding the event so that the tide would be high during the fish fry but drop fast after midnight. Luckily, the wind was out of the east, which would push the Joe was politically active and a water even farther out - along with the

### 'The sad-looking fishermen made it to the dock'

(Continued from page 51)

There was money raised, mullet eaten and adult beverages consumed!

As the crowd started to dwindle. the talk turned to how much fun it was to "strike" a net and reap the rewards of the Gulf.

Congressman Fuqua loaded up in a "bird dog" along with a couple of volunteers who knew the plan. In case you don't know, a bird dog is a boat especially designed for mullet fishing. Its outboard was located midway between the bow and stern, which kept it from entangling the net that sat on a flat table in the back of the boat waiting to be "struck."

They motored out of Cedar Island happily waving "so long" to the shore crew.

Oh, what I would've given to have been a member of the "shore crew." I'll bet they had more than a few laughs.

So, the bird dog bunch was having great success, and our friend from the panhandle didn't mind if they stayed out a little longer than planned.

Around 4 a.m., here comes this boatload of good-sized men with washtubs of mullet. It would be easy to run aground, so just imagine if you wanted to. They made it just within earshot of Cedar Island, just inside the swarm of sand gnats, when they ran into a mud bank, sliding to a halt.

Because the mud was like pudding, if you tried to walk in it, you would sink up to your rear end (if you had a big one). If not, you'd sink to your arm pits, making a hike to the hill impossible. They were stranded...waiting on the tide to rise.

I've been in similar situations more times than I'll admit, but they have one thing in common. When you hear that first trickle of water surrounding your boat, it is a saltwater symphony beyond description. But even then, you have a couple more hours before the boat will float.

About daybreak, the sad-looking fishermen made it to the dock where the shore crew was waiting. No one was laughing because our congressman was not happy!

Before he got out of the boat, he looked everyone over and belted out, "Okay, you S.O.B.'s, I'll try and get some canal dredging money."

Everybody hooped and hollered.

Then, he added, "But it's not going to be easy, and I'll need your help."

Everybody gladly agreed to do whatever it took, and Joe P. asked, "What do we need to do?"



FISH FRY LOBBYISTS! - Shown above (from left to right): are Roy Deal, Joe P. Burns, Mack Sessions, Congressman Don Fuqua, Peck Smith, Marvin Morrison, L.B. Clark Jr., Vince DiRubbio, Coach Frank Debord, L.R. Thomas and Bill New.

a fish fry like you did last night, right down to the swamp cabbage, FOR transportation. CONGRESS!"

435 people!"

Fuqua retorted, "That's what it will take! And, don't forget spouses and staff. Best figure a thousand."

And, so it began, everyone with a bird dog hit the coast harvesting mullet.

Fuqua smiled and said, "Put on Everyone else would start cutting cabbage, rounding up supplies and securing

The band of canal lobbyists loaded Daddy was stunned, "But that's two cargo vans with everything needed for a saltwater cracker fish fry in our nation's capital.

> I guess you could call that the origin of "The Taylor County Cookers," a group that still exists to throw down de-

(Continued on next page)

# 'The Washington crowd loved the mullet'

(Continued from previous page) liciously good meals for worthy causes.

Well, they pulled off one heck of a fry, and the Washington crowd loved the mullet, which to most of them was only known as a bait fish until then. It wasn't long before the funds were appropriated for the long-overdue dredging.

Decades later, I was attending the funeral of one of the last survivors of the delegation - Joe P. Burns.

As I was scanning the crowd, my eyes fell on Congressman Don Fuqua. After the service, I went straight to him and introduced myself as Bishop Clark. He looked puzzled and then said "Oh, you must be L.B. Clark's son."

I said, "Yes, but I need to ask you about something. Through the years, I've heard this story about how a gang of locals got you stuck in low tide to convince you to get canal dredging funds."

Fugua confirmed that not only was it true but, "The worst part was the sand gnats ate us alive."

Then he added "Everyone that went to D.C. was dressed to fry fish except for one fella who was wearing a three-piece suit. Turns out he was the Oyster shucker!"

bearers.

Don said, "You must have been proud to have known him."

I told him I was not only proud to know him, but also you and everyone of those men that made it all happen!

He added, "Don't tell someone from Taylor County it can't be done, because they will prove you wrong!"

We shook hands, he loaded up his entourage and headed back to the Panhandle. I loaded up my vellow lab and headed to the Taylor County Coast.

Those were the good ol' days when you could get things done! Don't you believe it! Now is the time to show our strength!

- · Because we have millions of dollars for dredging of canals from the BP oil spill on hand.
- · And because the beach road is set to be repaved.
- · And because we have been hit with a natural disaster - Hurricane Ida-
- · And because we have been hit by a man-made disaster brought on by the heartless closing of the Georgia Pacific paper mill, the largest driver of the Big I told him that was Roy Deal, and Bend economy, just days after Idalia hit,

as a matter of fact, I was one of his pall leaving people I know unemployed and homeless.

> · And because every politician from Gov. DeSantis on down has pledged to help Taylor and surrounding counties rebuild.

> It is quite possibly a once-in-a-generation opportunity to improve the quality of life for our citizens, visitors and marine life.

> DeSantis needs to get the red tape out of the way and jump start the canal dredging. We also need to secure funds to put in place several humpback bridges (e.g., at the Keaton Beach boat ramp) and culverts to make our canals cleaner. safer and more functional.

> I have spoken with Michael Newman, the beach's county commissioner and our county marine agent, and they are both very much on board.

> I will be 'splaining this further, but for now, I need YOUR help.

> Below is a list on every politician who pledged to help the Big Bend recover.

> Contact them and let them know you support this "Freeing the Waterways Initiative!"

> > Some have said, "It can't be done."

you tell that to someone from Taylor County, you'd better look out!

I am not saying we should get our beloved governor stuck in low tide - after all, he was in the Navy - but we could put on a fantastic fish fry right down to the swamp cabbage!

Let them hear you!

### **Federal Officials:**

Marco Rubio (R) U.S. Senator Rick Scott (R) U.S. Senator Neal Dunn (R)

U.S. Representative, Dist. 2

### **State Officials:**

Ron DeSantis, Governor (R) Wilson Simpson,

Commissioner of Agriculture (R)

Corey Simon,

State Senator, District 3 (R)

Jason Shoaf.

State Representative, Dist. 7 (R)

### **Taylor County Board** of County Commissioners:

Jamie English (R), Dist.1 Jim Moody (R), Dist. 2

Michael E. Newman (R), Dist. 3

Pam Feagle (R), Dist. 4 Thomas Demps (D), Dist. 5

And never forget. It may be rough,

but the bilge pump is running! And that, I say you just don't know that if my friends, is a whole 'nuther story!

# ••••• FISHING REPORTS •••••

# OFFSHORE ADVENTURES

by Capt. Brian Smith

# This will probably be the last time... again

Ms. Ginny rolled down the dock your name. with her fishing entourage of three - John from Hernando Beach; David, son of Peggy; and Peggy, who is always Ginny's sidekick. Everyone needs a Peggy. She makes sure things that are needed or wanted are brought. Most importantly, she makes sure the three batteries are on full charge for the oxygen machine and the auxiliary O2 tank is filled.

I asked the dock master Joyie and another hand to escort her to the boat. They were glad to help. It's folks like this that develop the atmosphere in any business from sterile mortar, wood, metal and such to "Cheers," where everyone knows

Favorable intangibles brought - not bought - by employees have attracted more repeat business than any New York marketing firm ever persuaded to the door. Think about the number of times we all have been turned off by a sullied worker, walking away never to return. A sincere thank you to the crew at Steinhatchee Marina at Deadman's Bay.

Back to Ms Ginny...

"Sorry for causing all the fuss to take care of this old woman," she said.

Collective reaction: It's an honor, ma'am. She is the hub from which we happily turn.



MS. GINNY HAD A GREAT BIRTHDAY TRIP TO STEINHATCHEE, FLORIDA fishing with her favorite guide, Capt. Brian Smith of Big Bend Charters. "Completing the lineup was Jay Fahey, David Sanchez, Peggy Sanchez and our mate Billy, who kept us straight," Capt. Brian said. "Caught some nice fish, got pictures and kissed them goodbye - out of season. The red grouper seemed to be everywhere. FWC thinks they're extinct. Came home with a nice mess of filets! Bring on the hush puppies. The birthday girl is wearing a hat that says, 'Over the hill.' More like over sliding down the hill!" (Photo courtesy of Big Bend Charters)

Billy, the mate, was a great asset to making order happen aboard. Billy is recently retired, carrying a background of MacGyver from farming to professional IT and Marvel/Hollywood film work. He'll reduce my stress level when something on the boat goes awry. It can generally be fixed, but as we boaters know, "boat" otherwise means "Bust Out Another Thousand."

Ginny tells me stories on the way out the channel and on westerly. I'm a mind-sponge to her stories over the low noise of the outboards. She'll walk stories back beyond my birth date. I love history. I wish Americans would take time to learn real history themselves rather than swallow agenda-driven indoctrination. Listen to your elders. They have lived it and can

(Continued on next page)

# TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



Board to review and approve Modification Number One to Subgrant Agreement Between the Department of Commerce and Taylor County approving a one (1) year extension from January 31, 2024 to January 31, 2025 to the Community Development Block Grant (Contract Number 20DB-OP-03-72-01-H05) in the amount of \$750,000 which is being used for housing rehabilitation and/or replacement projects.

MEETING DATE REQUESTED:

**February 5, 2024** 

Statement of Issue:

Board to approve Modification Number One to extend the CDBG timelines from January 31, 2024 to January 31, 2025.

Recommended Action: Approve Modification Number One

Fiscal Impact:

The Modification will extend the CDBG contract in the amount of \$750,000 to January 31, 2025. The County is required to provide a match in the amount of \$50,000 and SHIP funds have been committed to the match.

Budget Expense Y/N

The grant funds are included in the FY 2023/2024 budget.

Submitted By:

Melody Cox, Grants Writer

Contact:

Melody Cox

# SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The County was awarded a CDBG Housing Rehabilitation

Grant in the amount of \$750,000. The contract expired January 31, 2024 and the County requested and received an extension to January 31, 2025. Guardian Community Resource Management administers the grant on behalf of the County. The grant is in the amount of \$750,000 and a \$50,000 match is being provided with SHIP funds the County has set aside. The CDBG grant funds housing rehabilitation and replacement projects in the unincorporated areas of the County. CDBG funds can be used for the replacement of mobile homes in disrepair.

Attachments:

Modification Number One to Subgrant Agreement Between

the Department of Commerce and Taylor County



Form SC-44 July 6, 2023

# Modification Number 1 to Subgrant Agreement Between

# the Florida Department of Commerce and Taylor County, Florida

This Modification Number 1 is entered into by and between the State of Florida, Department of Commerce, ("Commerce"), and Taylor County, Florida ("the Recipient"), (each individually a "Party" and collectively the "Parties").

WHEREAS, Commerce and the Recipient entered into Contract Number 22DB-OP-03-72-01-H05, FLAIR Contract Number H2452, on November 1, 2021, ("the Agreement"), pursuant to which Commerce provided a subgrant in the amount of \$750,000.00 to the Recipient under the Small Cities Community Development Block Grant ("CDBG") Program as set forth in the Agreement;

WHEREAS, Paragraph (4) of the Agreement provides that modifications to the Agreement shall be valid when executed in writing by both Parties;

WHEREAS, Commerce and the Recipient desire to modify the Agreement;

NOW, THEREFORE, in consideration of the mutual promises of the Parties contained herein, the Parties agree as follows:

Revise the Activity Work Plan

1. Attachment \_\_\_, Activity Work Plan, of the Subgrant Agreement is hereby deleted and is replaced by the revised Attachment \_\_\_, which is attached hereto and incorporated herein by reference.

Revise the Project Narrative

2. Attachment \_\_\_, of the Subgrant Agreement is hereby deleted and is replaced by the revised Attachment \_\_\_, which is attached hereto and incorporated herein by reference.

Revise the Project Budget

3. Attachment \_\_\_, of the Subgrant Agreement is hereby deleted and is replaced by the revised Attachment \_\_\_, which is attached hereto and incorporated herein by reference.

Change the Number of Accomplishments and/or Beneficiaries

Attachments \_\_\_\_\_, which are attached hereto and incorporated herein by reference.

Attachments \_\_\_\_\_ of the Subgrant Agreement are hereby deleted and are replaced by the revised



Form SC-44 July 6, 2023

In	clude an Unaddressed Need from the Application for Funding as Addressed Need
5.	Attachments of the Subgrant Agreement are hereby deleted and are replaced by the revised Attachments, which are attached hereto and incorporated herein by reference.
Cł	nange the Participating Parties
6	(Type in the name of firm) is removed as a Davisinating Davis to the Sub-sure Assured

- 6. (Type in the name of firm), is removed as a Participating Party to the Subgrant Agreement.
- 7. (Type in the name of new firm) is added as a Participating Party to the Subgrant Agreement. A copy of the new Participating Party Agreement, containing provisions and caveats that meet or exceed the conditions agreed to in the original Participating Party Agreement, is attached.

# **Extend the Agreement**

8. Paragraph (3) titled Period of Agreement on page 1 of the Subgrant Agreement is hereby deleted and replaced by the following Paragraph (3):

### (3) Period of Agreement

This Agreement begins on August 1, 2021, (the "Effective Date") and ends on January 31, 2025 (the "Expiration Date") unless otherwise terminated as provided in this Agreement (the "Termination Date"). Commerce shall not grant any extension of this Agreement unless the Recipient provides justification satisfactory to Commerce in its sole discretion, and Commerce's Deputy Secretary of the Division of Community Development approves such extension. The justification must document that project delays are due to events beyond the Recipient's control, and include a performance plan that demonstrates the Recipient's capacity to perform and complete the remaining project tasks within the extension period. Commerce will also take into consideration the Recipient's progress and verifiable achievements at Commerce's sole and absolute discretion. Upon expiration or termination of this Agreement, the Recipient shall follow the agreement closeout procedures set forth in Attachment H.

# Other:

- 9. This Agreement is hereby reinstated as though it had not expired if not approved by the Expiration date.
- 10. On July 1, 2023, the Florida Department of Economic Opportunity was renamed to the Florida Department of Commerce ("Commerce"). Effective July 1, 2023, all references to "Department of Economic Opportunity" or "DEO" are hereby replaced with "Florida Department of Commerce" or "Commerce" as appropriate.
- 11. Paragraph (25) titled Employment Eligibility Verification of the Subgrant Agreement is hereby deleted and replaced by the following Paragraph (25):



Form SC-44 July 6, 2023

- (25) Employment Eligibility Verification.
- A. Section 448.095, F.S., requires the following:
  - (1) Every public agency and its contractors and subcontractors shall register with and use the E-Verify system to verify the work authorization status of all newly hired employees. A public agency or a contractor or subcontractor thereof may not enter into a contract unless each party to the contract registers with and uses the E-Verify system.
  - (2) An employer shall verify each new employee's employment eligibility within three (3) business days after the first day that the new employee begins working for pay as required under 8 C.F.R. 274a. Beginning July 1, 2023, a private employer with 25 or more employees shall use the E-Verify system to verify a new employee's employment eligibility.
- B. E-Verify is an Internet-based system that allows an employer, using information reported on an employee's Form I-9, Employment Eligibility Verification, to determine the eligibility of all new employees hired to work in the United States. There is no charge to employers to use E-Verify. The Department of Homeland Security's E-Verify system can be found at: <a href="https://www.e-verify.gov/">https://www.e-verify.gov/</a>.
- C. If Contractor does not use E-Verify, Contractor shall enroll in the E-Verify system prior to hiring any new employee or retaining any contract employee after the effective date of this Contract.
- 12. Paragraph 7 titled Request for Funds of Attachment H of the Subgrant Agreement is amended to include the following:

If the Recipient is a county or municipality that is a rural community or rural area of opportunity as those terms are defined in section 288.0656(2), F.S., the payment of submitted invoices may be issued for verified and eligible performance that has been completed in accordance with the terms and conditions set forth in this Agreement to the extent that federal or state law, rule, or other regulation allows such payments. Upon meeting either of the criteria set forth below, the Recipient may elect in writing to exercise this provision.

- a. A county or municipality that is a rural community or rural area of opportunity as those terms are defined in section 288.0656(2), F.S., that demonstrates financial hardship; or
- b. A county or municipality that is a rural community or rural area of opportunity as those terms are defined in section 288.0656(2), F.S., and which is located in a fiscally constrained county, as defined in section 218.67(1). If the Recipient meets the criteria set forth in this paragraph, then the Recipient is deemed to have demonstrated a financial hardship.

All provisions of the Subgrant Agreement and any attachments thereto in conflict with this Modification shall be and are hereby changed to conform to this Modification, effective as of the date of the execution of this Modification by both parties.

All provisions not in conflict with this Modification remain in full force and effect, and are to be performed at the level specified in the Agreement.



Form SC-44 July 6, 2023

Recipient: Taylor County

Modification Number: 1

Contract Number: 22DB-OP-03-72-01-H05

FLAIR Contract Number: H2452

IN WITNESS WHEREOF, the parties hereto have executed this document as of the dates set herein.

State of Florida Department of Commerce	Recipient: Taylor County, Florida
Ву:	Ву:
Name: J. Alex Kelly	Name: Jamie English
Title: Secretary	Title: Chairman, Board of County Commissioners
Date:	Date:
Approved as to form and legal sufficiency, subject only to the full and proper execution by the Parties Office of the General Counsel Florida Department of Commerce	
Ву:	_
Approved Date:	<u>-</u>

## TAYLOR COUNTY BOARD OF COMMISSIONERS

## County Commission Agenda Item

SUBJECT/TITLE:



COMMISSIONERS TO REVIEW AND APPROVE SUPPLEMENTAL AGREEMENT NO. 2 FOR THE PROPOSED WIDENING/RESURFACING OF 1ST AVENUE SOUTH UNDER THE FDOT SMALL COUNTY OUTREACH PROGRAM AND COUNTY INCENTIVE GRANT PROGRAM.

**MEETING DATE REQUESTED:** 

February 5, 2024

**Statement of Issue:** Section 6 of the State-Funded Grant Agreement between Taylor County and the Florida Department of Transportation for the 1<sup>st</sup> Avenue South Widening/Resufacing project establishes the Department's funding participation.

**Recommended Action:** The Board should accept Supplemental Agreement No. 2 with FDOT for the Widening/Resurfacing of 1<sup>st</sup> Avenue South. Further, Staff also recommends that the Board adopt a Resolution authorizing the Chairperson to approve such agreement on behalf of the Commission.

FISCAL YR 2023/25 - \$2,220,878.80 Supplemental Funding

Budgeted Expense: NO

Submitted By: ENGINEERING DIVISION

Contact: COUNTY ENGINEER

## SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The Board of County Commissioners entered into a Small County Outreach Program and County Incentive Grant Program Agreement with the FDOT for the Widening/Resurfacing of 1st Avenue South from Riverside Drive (SR 51) at its West end to SR 51 at its East end, approximately 1.19 miles. In accordance with Section 6 of that agreement, the current reimbursable funding amount is limited to \$2,607,508. On January 16, 2024, the BOCC received a single bid from Anderson Columbia to complete the project in the amount of \$3,897,951.80. Recognizing the current encumberance of \$468,524 for design (CHW) and another \$461,911 proposed encumberance for CEI oversight (RS&H), the available project funding falls short. Staff forwarded details of this situaiton to our FDOT District 2 Local Program Coordinator, Cassandra Lamey, along with a request to see if FDOT was able to assist in some way to accommodate this funding deficiency. Appreciatively, FDOT D2 staff was able to graciously offer and provide the proposed Supplemental Funding Agreement supporting the full \$2,220,878.80 unfunded amount.

Staff recommends that the Board accept the Supplemental Agreement with FDOT and further recommends that the Board adopt a Resolution authorizing the Chairperson to approve such agreement on behalf of the Commission.

# **Options:**

- 1) Aprove the proposed Supplemental Agreement No. 2 and adopt a Resolution authorizing its execution by the Chairperson.
- 2) Deny the proposed Supplemental Agreement No. 2 and state reasons for such denial.

### Attachments:

Supplemental Agreement No. 2 Authorizing Signature Resolution

# STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION STATE-FUNDED GRANT SUPPLEMENTAL AGREEMENT

SUPPLEMENTAL NO.	
CONTRACT NO. G1J93	
FPN 439669-1-54-01	
	arises from the desire to supplement the State-Funded ed on 02/25/2020 as identified above. All provisions in the ept as expressly modified by this Supplemental.
The parties agree that the Agreement is to be amended  1) To add additional funds in the amount of \$2,220,878.8	• •
Reason for this Supplemental and supporting engineering Additional funds needed to meet the contract award amount of the contract award aw	· · · · · · · · · · · · · · · · · · ·
IN WITNESS WHEREOF, the parties have caused these	presents to be executed the day and year first above written.
RECIPIENT: TAYLOR COUNTY	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
By: Name: Jamie English Title: Chairman	By: Name: Greg Evans Title: District Two Secretary
	Legal Review:

### RESOLUTION NO.\_\_\_\_\_

# 1st Avenue South Widening/Resurfacing SCOP/CIGP Project Supplemental Agreement No. 2 - Signature Authorization

WHEREAS, The Board of County Commissioners have been informed that a Resolution should be passed authorizing the Chairperson to enter into Supplemental Agreement No. 2 for the 1<sup>st</sup> Avenue South Widening/Resurfacing project from Riverside Drive (SR 51) to SR 51 in Steinhatchee, Florida, and

WHEREAS, Supplemental Agreement No. 2 will provide an additional \$2,220,878.80 of funding for completion of the FDOT Small County Outreach Program and County Incentive Grant Program project, and

WHEREAS, All provisions in the current FDOT funding Agreement and its supplements remain in effect except as expressly modified by Supplemental Agreement No. 2, and

WHEREAS, The Board has determined that it is in the best interest of Taylor County to execute Supplemental Agreement No. 2.

THEREFORE, BE IT RESOLVED that the Board of County Commissioners of Taylor County,

Florida authorize the Chairperson to enter into the 1<sup>st</sup> Avenue South Widening/Resurfacing Supplemental

Agreement No. 2.

PASSED in regular session this	day of
	BOARD OF COUNTY COMMISSIONERS TAYLOR COUNTY, FLORIDA.
	BY: JAMIE ENGLISH, Chairperson
ATTEST:	Jimil Bive Bioli, Ghamperson
GARY KNOWLES, Clerk	

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## TAYLOR COUNTY BOARD OF COMMISSIONERS

## County Commission Agenda Item

SUBJECT/TITLE:



COMMISSIONERS TO CONSIDER AWARD OF THE 1ST AVENUE SOUTH WIDENING/RESURFACING PROJECT TO ANDERSON COLUMBIA, INC. UNDER THE FDOT SMALL COUNTY OUTREACH AND COUNTY INCENTIVE GRANT PROGRAMS.

**MEETING DATE REQUESTED:** 

February 5, 2024

**Statement of Issue:** The Board received and opened proposals for the 1<sup>st</sup> Avenue South Widening/Resurfacing project on January 16, 2024. The Board appointed Hank Evans, Scott Knight, and Kenneth Dudley as the Bid Review Committee.

Project Bids are as follows:

Anderson Columbia Co., Inc.

\$3,897,951.80

**Recommended Action:** The Board should consider award of the 1<sup>st</sup> Avenue South Widening/Resurfacing project to the lowest responsive bidder, Anderson Columbia, Inc. in the amount of \$3,897,951.80.

**Fiscal Impact:** 

FISCAL YR 2022/24 - \$107,508 CIGP Funding

FISCAL YR 2022/24 - \$2,500,000 SCOP Funding

FISCAL YR 2023/24 - \$2,220,878.80 SCOP Supplemental Funding

**Budgeted Expense:** 

YES

Submitted By:

ENGINEERING DIVISION

Contact:

**COUNTY ENGINEER** 

# SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

## History, Facts & Issues:

By the direction of the Board, plans and specifications for the improvement of 1<sup>st</sup> Avenue South from Riverside Drive (SR 51) at its West end to SR 51 at its East end under the FDOT's Small County Outreach and County Incentive Grant Programs were recently prepared and advertised. The project consists of furnishing all needed materials, equipment, labor and supervision to widen and resurface the approximate 1.19 miles of roadway from 18/20 ft to 24 ft wide. Beyond reconstruction, widening and resurfacing, the improvements also include safety modifications, sidewalks, drainage improvements, pavement markings and signage, along with other associated work.

Although the Project Solicitation was publicly posted and advertised for a month, forwarded to nine (9) advertising agencies, and courtesy emailed to eight (8) paving construction companies, on January 16, 2024, a single bid was received by the Board and forwarded to the Bid Committee for review. The review found the Anderson Bid to have met the required specifications and to be comparable with the Design Engineer's Statement of Probable Cost and is therefore eligible for award.

The Bid review is as follows:

مساس من شت	Company Name
Required Items	Anderson Columbia Co., Inc.
Bid Bond	√,5%
Insurance - Liability /Workers Compensation	✓, Expires 5/1/2024
Workers' Compensation Hold Harmless	WC Insurance ✓
Public Entity Crimes Affidavit	<b>√</b>
Non-Collusion Affidavit	✓
Drug-Free Workplace	✓
Valid Business Contractor License/ FDOT Prequalified	
E-Verify Registration	
Proposed Subcontractors/Suppliers and Portion of Work	✓
Project References	1
Contract Addenda	✓
Proposal Amount	\$3,897,951.80

# Options:

- 1) Consider award of the 1<sup>st</sup> Avenue South Widening/Resurfacing project to Anderson Columbia, Inc. in the amount of \$3,897,951.80.
- 2) Reject or revise the award recommendation stating reasons for that decision.

## Attachments:

Anderson Columbia, Inc. Bid

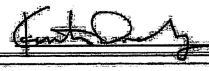
**Review Committee:** 

Howe Elmo

Hank Evans, Public Works Director

WHA-

Scott Knight, Public Works Superintendent



Kenneth Dudley, County Engineer



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# ARTICLE 1 BID RECIPIENT

This Bid is submitted to:

Taylor County Board of County Contributioners

Clark of Court

P Ploor Courtlouse, Suite 102

108 North Inferson St. Peny, Harida, 12347

The undersigned Didder provises and agrees, if this Didds accepted, to enter into an expression with its in the during the nuclear provises and entering Discovering in this Did and the springs and entitle the times (nationally in this Did and in accordance with the other) and conditions of the Didding Discovering.

### ARTICLE 2-HIDDER'S ACKNOWLEDGENEETS

Hidde scenes all of the remarkable of the languages to Bidders, including without indicate this edeling with the discontinuous Bid security. This Bid will remain subject to acceptance for the discontinuous for the Bid security, or the such longer period of the Bidder may agree to be writing upon request of Owner.

## ARTICLE 3-BIDDER SREPRESENTATIONS

- 3.01 In subminutes this Bid. Bidden represents that:
  - A Bilder has examined and experitly studied in Bilding Doctments, the other related data identified in the Bilding Comments, and the following Students, recent of which is hereby actinovaled of

Addendinis No.

EICDG C-110 Suggested Bid Form for Continuedin Contracts Copyright © 2007 National Society of Principlings Engineers for EICDG. All r

- Be Bidder has visited the Site and become limited with such a spirited as to the general, local and Site conditions that may after our progress, and partitions are differ work.
- C. Biddier's familian with quit is satisfied as for all federal state and local Laws and Regulations that they will cost, progress and partitioners of the Work.
- D. Binder has chredilly madical alls (Arrenotic of emplerations and tests of subsurface conditions at or conditions to the Site and all disposass of phospical conditions at a condition to conditions of the Site (encountries at a condition) which have been attentised in SC-402, and (2) reports and disposes of the sudges (the insurance) of Conditions that have been identified in SC-405.
- Bidder has obsanct and carefully studied for securing the consequences by any doing so half additional or supplementary examinations, interstigations, explaintains, explaintains, explaintains, and data conserving conditions (studies and thrushee and Understitude Parallicia) of configuration (the Site with the parallicia conditions) of the winds with the paralle of the continuous of the Works or which relate in any supercent the means, methods, techniques, sequences and procedures of constitution of the analysis in conditions, methods, techniques, sequences, and procedures of constitution expressive equivalent the Bidding Discounties to be complayed by the bidder.
- F. Bilder does not consider that any further examinations interstisations, emphasions, resecutibles, or data drawers may for the determination of this hid this performance on the Wall at the prices is the and within the times and in accordance with the other terms and continues of this Bilding Documents.
- 64. Hiddet's avoir of the grand name of work of he purchased by Charles and others while Sinciliar places.
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- I. Bilder has nixen Engineer with a notice of all condicts errors, condition on discrepancies that Bidder has discovered in the Bidding Comments, and the wanted resolution thereof by Engineer is acceptable to Bidding.
- 1. The Bidding Dominious are generally sufficient to this are and continued for the performance of the Wark for which this Bid is sufficiented.
- K. Didder will subjust written excitence of instructionally to do his mess britter state where the Project is located not later than the days of its execution of the Assessment.

### ARTICLE 4 - PURTHER REPRESENTATIONS

### 4.01 Buider further represents that:

- A. this Bid is genuine and not made in the interest of or on behalf of any midisclosed individual or entity and in bid filled in confirmity with any application or rules of any group, association, organization or confirmition.
- He Beller has not dissely of indirectly indirectly collected any other Bidden to submit a false or show Bid.
- C. Bidder has not solleited or induced any individual or emity to refinin from bidding, and
- Di Bidder lies not sought by collusion to obtain for usell'any advantage over any other Bidder of over Owner.

### ARTICLE 5 - BASIS OF BID

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

1st Avenue Southeast Wideni	ng/Resurfacing Project	
Total Lump Sum Bid Price	THREE MILLION EIGHT HUNDRED NINETY-SEVEN THOUSAND NINE HUNDRED FIFTY-ONE DOLLARS AND EIGHTY CENTS	\$_\$3,897,951.80
270 Days	(words)	(numerals)

Any and all specified cash allowances are included in the price(s) set forth above and have been computed in accordance with Paragraph 11.02 of the General Conditions.

Bidder acknowledges that estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

Bidder also acknowledges that the award of this project or any portion thereof will be contingent upon the availability of funds. If funding is not available to award the project in its entirety, the Board of County Commissioners reserves the right to award portions thereof so as to remain within available funding. Such partial award will not relieve the Bidder from complying with the full requirements of the awarded portions as more specifically detailed within these specifications.

### ARTICLE 6 - TIME OF COMPLETION

- 6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 14.07.B of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work within the Contract Times.

### ARTICLE 7 - ATTACHMENTS TO THIS BID

- 7.01 The following documents are attached to and made a condition of this Bid:
  - A Required Bid security in the form of bid bond.
  - B. Certificate of Liability Insurance or Agency Statement
  - C. Declaration Page form Workers' Compensation Insurance or Exemption Issued by the State of Florida
  - D. Workers' Compensation Hold Harmless Agreement (Required when submitting a W.C. exemption)
  - E. Public Entity Crimes Affidavit, signed and notarized, as required by Chapter 287.133(3)(a), F.S.
  - F. Non-Collusion Affidavit
  - G. Drug-Free Workplace Form
  - H. Valid Business/Contractor Licensing/Registration Information

- Proof of entreint qualification with the figurest Department of Fransportation in Pullahanses, Monda by constact the scope of workspullipst in these specifications.

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# ARTICLE 8 DEPINED THUS

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E/CDC C-410 Suggested Bid Form for Construction Confrients

Copyright © 2002 National Society of Professional Regimen's for EFCIC All rights reserved.

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Phone No. 386.752.7585 Ext. 224 Fax No. 386.755.9132

SUBMITTED on January 12th , 20 24

State Contractor License No. CGC 060909 ...... (If applicable)

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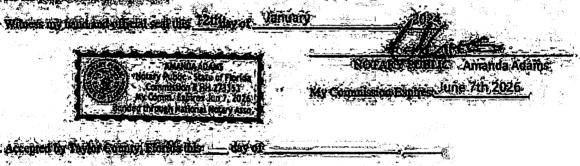
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# STATEMENT UNDER SECTION

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- I confessioned that a "person" as defined in Paragraph 287. I HI Kaper Plotted Statutes, means any natural person or during organized under the favor fany above the United States with the legal power to enter into a binding contract and which bloke crapplies to bid on contracts for the provisions of goods or services let by a public entity or which otherwise transacts or applies to transact business with a public entity. The term person implies those officers, directors executives partners, should be employees members, and agents who are active in management of an entity.

<ol> <li>Based on information and belief, the statement, which I has submitting this sworn statement. (Please indicate which sta</li> </ol>	
Neither the entity submitting this sworn statement, no shareholders, employees, members or agents who are active entity has been charged with and convicted of a public entity	e in management of the entity, nor affiliate of
The entity submitting this sworn statement, or one or mor share holders, employees, members, or agents who are activith and convicted of a public entity crime subsequent to Ju statement applies.)	ve in management of the entity has been ch
There has been a proceeding concerning the cor Florida, Division of Administrative Hearings. The place the person or affiliate on the convicted vend	e final order entered by the hearing officer di
The person or affiliate was placed on the convi- proceeding before a hearing office of the State of F final order entered by the hearing officer determin person or affiliate from the convicted vendor list.	lorida, Division of Administrative Hearings and that it was in the public interest to remove
The person or affiliate has not been placed on the catalog with the Department of General Control of General	ral Services.)
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State of Florida	January 12th 2024 (Date) rity, E. Tony Williams Jr.
Standarde, Tony Williams J. Vice President STATE OF Florida COUNTY OF Columbia PERSONALLY APPEARED BEFORE ME, the undersigned author	January 12th 2024  (Date)  rity, E. Tony Williams Jr.  (Name of individual signing)
(Shandure): Tony Williams IV. Vice President STATE OF Florida COUNTY OF Columbia	January 12th 2024  (Date)  rity, E. Tony Williams Jr.  (Name of individual signing)
Signature F. Tony Williams J. Vice President  STATE OF Florida  COUNTY OF Columbia  PERSONALLY APPEARED BEFORE ME, the undersigned author who, after first being swom by me, affixed his/her signature in the sof January 2024	January 12th 2024  (Date)  rity, E. Tony Williams Jr.  (Name of individual signing)
Shapture E. Tony Williams J. Vice President  STATE OF Florida  COUNTY OF Columbia  PERSONALLY APPEARED BEFORE ME, the undersigned author who, after first being swom by me, affixed his/her signature in the state of	January 12th 2024  (Date)  rity, E. Tony Williams Jr.  (Name of individual signing) space provided above on this 12th d

# NON-COLLESION AND DAYER

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igned, signed and delivered in the presence of:	
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COLVERS ON FROM OUR OUTSING SEAL	Notary Public, State of Florida Amanda Adams
BAL OF OFFICE  ACTION AS LAND OF STREET	MANUA ADAMS  ROTARY PUBLIC STATE OF Florida  Commission of the Principal  My Comm. Expires Int I. 1016  Rotard through hallonel rotary aten.
Personally known to me or	Did inke an oath or
Personal identification:	Did Not take an odth

# DRUG-FREE WORKPLACE FORM

The undersigned in accordance with Florida	Statute 287.087, hereby certifies that			
Anderson Columbia Co., Inc.	does:			
(Name of Individual/Business/Consultant)				
Publish a statement notifying employees possession, or use of a controlled substactions that will be taken against employees.	that the unlawful manufacture, distribution, dispensing, ance is prohibited in the workplace and specifying the ees for violations of such prohibition.			
maintaining a drug-free workplace, any	Inform employees about the dangers of drug abuse in the workplace, the business's policy of maintaining a drug-free workplace, any available drug counseling, rehabilitation, and employee assistance programs, and the penalties that may be imposed upon employees for drug abuse violations.			
Give each employee engaged in providing bid a copy of the statement specified in statement.	Give each employee engaged in providing the commodities or contractual services that are under bid a copy of the statement specified in subsection (1).			
the commodities or contractual services the the statement and will notify the employer to, any violation of Chapter 1893 or of a	), notify the employees that, as a condition of working on hat are under bid, the employee will abide by the terms of r of any conviction of, or plea of guilty or nolo contendere my controlled substance law of the United States or any kplace no later than five (5) days after such conviction.			
<ol> <li>Impose a sanction on, or require the s rehabilitation program if such is available so convicted.</li> </ol>	atisfactory participation in a drug abuse assistance or e in the employee's community, by any employee who is			
6. Make a good faith effort to continue to make this section.	aintain a drug-free workplace through implementation of			
As the person authorized to sign the state complies fully with the above requiremen	ement. I certify that this Individual/Business/Consultant its.			
Signature				
E. Tony Williams Jr.	Vice President			
Printed Name	Corporate Title			
January 12th 2024	Brid Strade and 11			
Date				

# BID BOND

Anwainantar religious to Buider, Swely, Couler, or other party shall be considered plans where applicables

BIDDER (Name and Address); Address of Columbia Co., Inc. BO. Box 1929; Cake City, FL 32056

STRETY (Name and Address of Principal Place of Business):
Travelers Casually and Strety Company of America and Berkehire Hathaway Specially Insurance Company.
One Tower Square 1314 Douglas St. Sule. 1400.
Hathard, CT 06163/Company NE 88102

OWNER IN THE AMBLES OF COUNTY COMMISSIONERS IN ROUTH A SHOWERS OF COUNTY COMMISSIONERS IN ROUTH A SHOWERS ON ST.

BID .

Bid Dur Date: Jameny 12, 2024

Project (Brief Description Including Location): Let Avenue Southerner Widening Resurfacting Communicative interpretation of this contrast is to Secure all labor and aquipment required for the 1st Avenue Southeast Widening/Respiritating project in Taylor Country, Planting This project consists of widening and resurfacing approximately 1970 it wide road to a 24 ft wide pavel roadway. This work affect will justice histalling theseock widening steps, reclaiming the existing asphalt, and resurfacing the roadway. This project will also include reshaping discloss, extending, removing, replacing and adding storting for an analysis, sidewalks, signing and povenent markings as more fully detailed in the project plant and specifications.

BOND	Bid Bond				
Date (Not later	than Bid due date).	1/12/2024 If the amount bid	erin i i i i i i i i i i i i i i i i i i		
Penal Sun:	Five percent of	f the amount bid : (Words)	Apply and	5% of the amount bid." (Figures).	٠

Surely and Bidder, immediate to be legally bound hereby, subject to the terms printed on the reverse aide hereof, do each days that Boud to be duly executed on its behalf by its authorized of likes, agent, or representative.

Anderson Columbia Co., Inc.

Anderson Columbia Co., Inc.

Anderson Columbia Co., Inc.

By Signature and Edily E. Iony Williams Jr., Vice President

Aftest:
Signature and Title Brian P. Schreiber, Secretary.

Signature

Signature

Travelers Gasually and Surety Company, of America and Berkshire Hathaway Specially Insurance Company (Sea

Surery's Name and Corporate Seal

Signature and Thickevin Fo Wollowicz, Attorneye in Fact (Allach Bower of Attorney)

Anest: Signature and Title any Scott Witness

Aldin Albavi addresses me to be used for giving required notice:



Travelers Casualty and Surety Company of America Travelers Casualty and Surety Company St. Paul Fire and Marine Insurance Company

### **POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint KEVIN R WOJTOWICZ of STPETERSBURG. Their true and lawful Attorney(s)-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons. guaranteeing the performance of contracts and executing or quaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this 21st day of April, 2021.







State of Connecticut

City of Harlford ss.

On this the 21st day of April, 2021, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of each of the Companies, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission expires the 30th day of June, 2026



Anna P. Nowik, Notary Public

Senior Vice President

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of each of the Companies, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, and All V

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Assistant Vice President, any Assistant Vice President, any Assistant Vice President, any Assistant Vice President, any Secretary, and the seal of the Company may be affixed by facsimile to any Power of Altorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Altorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Altorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, Kevin E. Hughes, the undersigned, Assistant Secretary of each of the Companies, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this 12th day of January

, 2024







Kevin E. Hughes, Assistant Secretary



# Power Of Alternat BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY NATIONAL INDEMNITY COMPANY / NATIONAL LIGHTLY & FIRE INSURANCE COMPANY

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In semperate this Poster of Attorney has been substitled by an authorized efficient the Companies, and the companies seeked of fine Companies there is not the companies to the companies there is not the companies of the Spirits of the Board of Directive, and other Authorizations of BERESHRE HATHORIZE SPEZALTY and attorney of the Spirits. Perophology of the Board of Directive, and other Authorizations of BERESHRE HATHORIZE SPEZALTY pasting the Spirits of the Spirits o

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olds, Executive Vice President

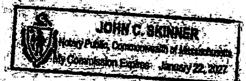




NOTARY:
State of Massachusetts, County of Sunois, 35:
Contrible Editation of Alexandrian David Holds, Expeditive Vice Resident of BENESHINE FORTIANIST SPECIALLY.
Contrible Editation and Alexandrian David Holds, Expeditive Vice Resident of BENESHINE FORTIANIST CONTRIBUTION OF BENESHING SPECIALLY.
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NOTIONAL MIDENHITY CONTRAVY. NATIONAL LIABILITY & FIRE DISTRANCE CONTRANY.

David Fields, Vice President

Leably Tomorpha, the underlighted Officer of Bernstiline Hathfown's specialty resumance Consponsional Independent Company and National Liverity & Fire Insulance Company, declarity resumance and foregoing the most and foregoing the fire and fire over a filter of the control of the Power of Alteriary secured by and Company with high brief and effect and has not been revoked. In Testingony, where the other and has not been revoked, in Testingony, where the other and has not been revoked. In Testingony, where the other and has not been revoked. In Testingony, where the other and has not been revoked.







Raidy Tortotella, Office

BHSIC NICO'S NIT POA 720231.

ALL RESPONDENTS

Brem: - Kenneth Ditaley, Taylor County Engineering Depart

January 4, 2024 Dates

12 Avenue SE Widening Resultacing Project Project 2016-002-ENG

Addendum No. 1

This memorandum is to serve as an Addendum to the 15 Aseptie SK Widening Resurfacing Project solicitation package to be received in the Clerk's Office by 4:00 pm on Friday January. 12, 2024, and to be opened and read aloud by the Board of County Commissioners on January 16.

These responses are to be considered as it originally incorporated into the Solicitation Decuments.

Can Corrugated High-Density Polyethylene (HDPE) or Corrugated Metal Pipe (CMP) be used for those portions of the project requiring PIPE CULVERT. OPTIONAL MATERIAL!

A. No. All Colvert material unless noted otherwise, shall be Reinforced Constate Pipe RCP) or Elliptical Reinforced Concrete Pipe (ERCP) as appropriate.

Priorchy acknowledge receipt of Addendum No. 1:

Name:

Company

Anderson Columbia Co. Inc.

January 12th 2024



# ANDERSON COLUMBLA CO., INC. P.O. BOX 1829 - Lake City, FU32056-1829 386-752-7585 - 1386) 755-5490 PAX

# PROPOSED SUBCONTRACTORS: 1 Avenue Southeast Road Widening/Resurfacing: Taylor Co.

L	Company Name Jenkins Painting Inc	W. E		
	Address 5581 NW GOTH STREET	CHIEFLAND	FL.32626	A CONTRACTOR OF THE SECOND
	Contact Phone 352-493-4021	24	Silver registration (see	
	Portion of Work Provided Striping			algebraic entraction and all the second
	Scope of Work Striping Value	\$84,603.26	% of Total 2%	9 2
ā		***************************************		And Control of the Co
اردق	Company Name ACME Barricades	again ng agan salay madanamakanin shakar		
#\_?\	Address 9800 NORMANDY BLV	): JACKSONY	LLE FL 32221	
76	Contact Phone 904-781-1950			
	Portion of Work Provided Guardiali &	Signs .		
	Scope of Work Grd Rail / Signe Value	\$80,000	% of Total 2%.	The second secon
	CompanyName Blue Rok	jing paga da kang paga sa kang p Sa kang paga sa kan	Acceptance of the control of the con	
* 3.	PO BOX 968 PERRY. F	L 32348		Land Control of the C
	Contact Phone: 850-584-4324			
	Portion of Work Provided Drainage	military military		N
	Scope of Work Drainage Value	\$146,995.DO	‰of Total 4%.	The Constitute of the
		A Service Control of the Control of		The second secon

E. Tony Williams II., Vice President



# ANDERSON COLUMBIA CO TRE P.O. BOX 1829 - Lake City, FL 32056-1829 386,752 7985 - (386) 755-5480 FAX

# PROPOSED SUPPLIERS: 12 Avenue Southeast Road: Widening/Resurtating: Taylor Co.

£	Company Same County Materials Corporation	
	Address 25750, CR 66T/ASTATULA, FL 34765	Commences and the second secon
	Contact Phone 352-343-8488	
	Proposed Supplies RCP Crainage Pipe	
	Value of Supplies \$122,901.91	of Total 3%
ź.	Company Name Cidcastle Infrastructure	
**************************************	Address 12300 PRESIDENTS COURT. JA	CKEONVILLE, EL 32220
	Contact Phone 904-268-9466	
	Proposed Supplies Drainage Structures	2002 (CO. 1000)
		of Total 1/8
		200
â	Company Name Blue, Rok	en og en
<b>*</b> } }	Address PO BOX 968, PERRY, FL 32348	The control of the co
	Contact Phone 850-584-4324	Contain the contained of the contained o
	Proposed Supplies Limarock Base Material	
	grant of the control	of Total 15%



# CORPORATE/RESOLUTION

I hereby certify that at a meeting, duly pulled of the Roand of Directors of Andrews Columbia Co., Inc., affloring Corporation, held the 1st day of Angust 2003 at which each meeting a quorum was present and acting throughout, the following preamble and resolution was adopted and ever since has been and now is in full force and effect, and dress not conflict with the by-laws of said Corporation:

BETTRESOLVED that, Tony Williams, is a duly elected Vice Presidents of Anderson Columbia Co., Inc., and is hereby authorized to execute and submit proposals and bid bonds on helalf of Anderson Columbia Co., inc. The documents and other such instruments algued by him shall be hinding upon the said obsporation as it own acts and deeds.

Brean P. Schneiber - Secretary

Corporate Seat

# **REFERENCES**

١.	Company name Columbia County Board of County Commissioners
	Address _ P.O. Box 1529, Lake City, FL 32056
	Contact Name Mr. Krauss-County Manager
	Contact Phone or e-mail _386-755-4100
	Short description of project Cypress Lake Road & Charles Terrace Paving; Columbia co.
	Project consists of maintenance of traffic, erosion control, cleaning and grubbing, base construction, asphalt paving, grassing, signs and new pavement markings.
2.	Company nameBaker County Board of County Commissioners
	Address _55 North Third St , MacClenny, FL . 32063
	Contact Name Chris Lee
	Contact Phone or e-mail 904-275-2373
	Short description of project CR 127 from CR 125 to cr120- Phase I
	Project consists of the rehabilitation of approx. 5.51 miles on existing asphalt roadway. Rehabilitation includes approx. 5.14 miles of full depth reclamation and approx. 0.3
	miles of roadway realignment. Also included is concrete headwalls, storm drain, sidewalk, guardrail, grassing, signing, pavement markings and other incidental construction.
3.	Company name Bradford County Board of County Commissioners
	Address 945 N. Temple Ave, Starke, FL. 32091
	Contact Name
	Contact Phone or e-mail 904-966-6243
	Short description of project SR 55th Drive and US 129 Modifications; Bradford Co.
	Project consists of milling, resurfacing, widening, shoulder repair, lime rock base, drainage improvements, driveway reconstruction, guardrail construction, pavement markings, grassing, signage and other incidental construction





# THE E-VERIFY MEMORANDUM OF UNDERSTANDING FOR EMPLOYERS

# ARTICLE I

The parties to this agreement are the Department of Homeland Security (DHS) and the Anderson Columbia Co., Inc. (Employer). The purpose of this agreement is to set forth terms and conditions which the Employer will follow while participating in E-Verify.

E-Verify is a program that electronically confirms an employee's eligibility to work in the United States after completion of Form I-9, Employment Eligibility Verification (Form I-9). This Memorandum of Understanding (MOU) explains certain features of the E-Verify program and describes specific responsibilities of the Employer, the Social Security Administration (SSA), and DHS.

Authority for the E-Verify program is found in Title IV, Subtitle A, of the Illegal Immigration Reform and Immigrant Responsibility Act of 1996 (IIRIRA), Pub. L. 104-208, 110 Stat. 3009, as amended (8 U.S.C. § 1324a note). The Federal Acquisition Regulation (FAR) Subpart 22.18, "Employment Eligibility Verification" and Executive Order 12989, as amended, provide authority for Federal contractors and subcontractors (Federal contractor) to use E-Verify to verify the employment eligibility of certain employees working on Federal contracts.

# ARTICLE II RESPONSIBILITIES

## A. RESPONSIBILITIES OF THE EMPLOYER

- 1. The Employer agrees to display the following notices supplied by DHS in a prominent place that is clearly visible to prospective employees and all employees who are to be verified through the system:
  - a. Notice of E-Verify Participation
  - b. Notice of Right to Work
- 2. The Employer agrees to provide to the SSA and DHS the names, titles, addresses, and telephone numbers of the Employer representatives to be contacted about E-Verify. The Employer also agrees to keep such information current by providing updated information to SSA and DHS whenever the representatives' contact information changes.
- The Employer agrees to grant E-Verify access only to current employees who need E-Verify access. Employers must promptly terminate an employee's E-Verify access if the employer is separated from the company or no longer needs access to E-Verify.





- The Employer agrees to become familiar with and comply with the most recent version of the E-Verify User Manual.
- 5. The Employer agrees that any Employer Representative who will create E-Verify cases will complete the E-Verify Tutorial before that individual creates any cases.
  - a. The Employer agrees that all Employer representatives will take the refresher tutorials when prompted by E-Verify in order to continue using E-Verify. Failure to complete a refresher tutorial will prevent the Employer Representative from continued use of E-Verify.
- 6. The Employer agrees to comply with current Form I-9 procedures, with two exceptions:
  - a. If an employee presents a "List B" identity document, the Employer agrees to only accept "List B" documents that contain a photo. (List B documents identified in 8 C.F.R. § 274a.2(b)(1)(B)) can be presented during the Form I-9 process to establish identity.) If an employee objects to the photo requirement for religious reasons, the Employer should contact E-Verify at 888-464-4218.
  - b. If an employee presents a DHS Form I-551 (Permanent Resident Card), Form I-766 (Employment Authorization Document), or U.S. Passport or Passport Card to complete Form I-9, the Employer agrees to make a photocopy of the document and to retain the photocopy with the employee's Form I-9. The Employer will use the photocopy to verify the photo and to assist DHS with its review of photo mismatches that employees contest. DHS may in the future designate other documents that activate the photo screening tool.

Note: Subject only to the exceptions noted previously in this paragraph, employees still retain the right to present any List A, or List B and List C, document(s) to complete the Form I-9.

- 7. The Employer agrees to record the case verification number on the employee's Form I-9 or to print the screen containing the case verification number and attach it to the employee's Form I-9.
- 8. The Employer agrees that, although it participates in E-Verify, the Employer has a responsibility to complete, retain, and make available for inspection Forms I-9 that relate to its employees, or from other requirements of applicable regulations or laws, including the obligation to comply with the antidiscrimination requirements of section 274B of the INA with respect to Form I-9 procedures.
  - a. The following modified requirements are the only exceptions to an Employer's obligation to not employ unauthorized workers and comply with the anti-discrimination provision of the INA: (1) List B identity documents must have photos, as described in paragraph 6 above; (2) When an Employer confirms the identity and employment eligibility of newly hired employee using E-Verify procedures, the Employer establishes a rebuttable presumption that it has not violated section 274A(a)(1)(A) of the Immigration and Nationality Act (INA) with respect to the hiring of that employee; (3) If the Employer receives a final nonconfirmation for an employee, but continues to employ that person, the Employer must notify DHS and the Employer is subject to a civil money penalty between \$550 and \$1,100 for each failure to notify DHS of continued employment following a final nonconfirmation; (4) If the Employer continues to employ an employee after receiving a final nonconfirmation, then the Employer is subject to a rebuttable presumption that it has knowingly





employed an unauthorized alien in violation of section 274A(a)(1)(A); and (5) no E-Verify participant is civility or criminally liable under any law for any action taken in good faith based on information provided through the E-Verify.

- b. DHS reserves the right to conduct Form I-9 compliance inspections, as well as any other enforcement or compliance activity authorized by law, including site visits, to ensure proper use of E-Verify.
- 9. The Employer is strictly prohibited from creating an E-Verify case before the employee has been hired, meaning that a firm offer of employment was extended and accepted and Form I-9 was completed. The Employer agrees to create an E-Verify case for new employees within three Employer business days after each employee has been hired (after both Sections 1 and 2 of Form I-9 have been completed), and to complete as many steps of the E-Verify process as are necessary according to the E-Verify User Manual. If E-Verify is temporarily unavailable, the three-day time period will be extended until it is again operational in order to accommodate the Employer's attempting, in good faith, to make inquiries during the period of unavailability.
- 10. The Employer agrees not to use E-Verify for pre-employment screening of job applicants, in support of any unlawful employment practice, or for any other use that this MOU or the E-Verify User Manual does not authorize.
- 11. The Employer must use E-Verify for all new employees. The Employer will not verify selectively and will not verify employees hired before the effective date of this MOU. Employers who are Federal contractors may qualify for exceptions to this requirement as described in Article II.B of this MOU.
- 12. The Employer agrees to follow appropriate procedures (see Article III below) regarding tentative nonconfirmations. The Employer must promptly notify employees in private of the finding and provide them with the notice and letter containing information specific to the employee's E-Verify case. The Employer agrees to provide both the English and the translated notice and letter for employees with limited English proficiency to employees. The Employer agrees to provide written referral instructions to employees and instruct affected employees to bring the English copy of the letter to the SSA. The Employer must allow employees to contest the finding, and not take adverse action against employees if they choose to contest the finding, while their case is still pending. Further, when employees contest a tentative nonconfirmation based upon a photo mismatch, the Employer must take additional steps (see Article III.B. below) to contact DHS with information necessary to resolve the challenge.
- 13. The Employer agrees not to take any adverse action against an employee based upon the employee's perceived employment eligibility status while SSA or DHS is processing the verification request unless the Employer obtains knowledge (as defined in 8 C.F.R. § 274a.1(I)) that the employee is not work authorized. The Employer understands that an initial inability of the SSA or DHS automated verification system to verify work authorization, a tentative nonconfirmation, a case in continuance (indicating the need for additional time for the government to resolve a case), or the finding of a photo mismatch, does not establish, and should not be interpreted as, evidence that the employee is not work authorized. In any of such cases, the employee must be provided a full and fair opportunity to contest the finding, and if he or she does so, the employee may not be terminated or suffer any adverse employment consequences based upon the employee's perceived employment eligibility status

  Page 3 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





(including denying, reducing, or extending work hours, delaying or preventing training, requiring an employee to work in poorer conditions, withholding pay, refusing to assign the employee to a Federal contract or other assignment, or otherwise assuming that he or she is unauthorized to work) until and unless secondary verification by SSA or DHS has been completed and a final nonconfirmation has been issued. If the employee does not choose to contest a tentative nonconfirmation or a photo mismatch or if a secondary verification is completed and a final nonconfirmation is issued, then the Employer can find the employee is not work authorized and terminate the employee's employment. Employers or employees with questions about a final nonconfirmation may call E-Verify at 1-888-464-4218 (customer service) or 1-888-897-7781 (worker hotline).

- 14. The Employer agrees to comply with Title VII of the Civil Rights Act of 1964 and section 274B of the INA as applicable by not discriminating unlawfully against any individual in hiring, firing, employment eligibility verification, or recruitment or referral practices because of his or her national origin or citizenship status, or by committing discriminatory documentary practices. The Employer understands that such illegal practices can include selective verification or use of E-Verify except as provided in part D below, or discharging or refusing to hire employees because they appear or sound "foreign" or have received tentative nonconfirmations. The Employer further understands that any violation of the immigration-related unfair employment practices provisions in section 274B of the INA could subject the Employer to civil penalties, back pay awards, and other sanctions, and violations of Title VII could subject the Employer to back pay awards, compensatory and punitive damages. Violations of either section 274B of the INA or Title VII may also lead to the termination of its participation in E-Verify. If the Employer has any questions relating to the anti-discrimination provision, it should contact OSC at 1-800-255-8155 or 1-800-237-2515 (TDD).
- 15. The Employer agrees that it will use the information it receives from E-Verify only to confirm the employment eligibility of employees as authorized by this MOU. The Employer agrees that it will safeguard this information, and means of access to it (such as PINS and passwords), to ensure that it is not used for any other purpose and as necessary to protect its confidentiality, including ensuring that it is not disseminated to any person other than employees of the Employer who are authorized to perform the Employer's responsibilities under this MOU, except for such dissemination as may be authorized in advance by SSA or DHS for legitimate purposes.
- 16. The Employer agrees to notify DHS immediately in the event of a breach of personal information. Breaches are defined as loss of control or unauthorized access to E-Verify personal data. All suspected or confirmed breaches should be reported by calling 1-888-464-4218 or via email at <a href="mailto:E-Verify@dhs.gov">E-Verify@dhs.gov</a>. Please use "Privacy Incident Password" in the subject line of your email when sending a breach report to E-Verify.
- 17. The Employer acknowledges that the information it receives from SSA is governed by the Privacy Act (5 U.S.C. § 552a(i)(1) and (3)) and the Social Security Act (42 U.S.C. 1306(a)). Any person who obtains this information under false pretenses or uses it for any purpose other than as provided for in this MOU may be subject to criminal penalties.
- 18. The Employer agrees to cooperate with DHS and SSA in their compliance monitoring and evaluation of E-Verify, which includes permitting DHS, SSA, their contractors and other agents, upon Page 4 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





reasonable notice, to review Forms I-9 and other employment records and to interview it and its employees regarding the Employer's use of E-Verify, and to respond in a prompt and accurate manner to DHS requests for information relating to their participation in E-Verify.

- 19. The Employer shall not make any false or unauthorized claims or references about its participation in E-Verify on its website, in advertising materials, or other media. The Employer shall not describe its services as federally-approved, federally-certified, or federally-recognized, or use language with a similar intent on its website or other materials provided to the public. Entering into this MOU does not mean that E-Verify endorses or authorizes your E-Verify services and any claim to that effect is false.
- 20. The Employer shall not state in its website or other public documents that any language used therein has been provided or approved by DHS, USCIS or the Verification Division, without first obtaining the prior written consent of DHS.
- 21. The Employer agrees that E-Verify trademarks and logos may be used only under license by DHS/USCIS (see M-795 (Web)) and, other than pursuant to the specific terms of such license, may not be used in any manner that might imply that the Employer's services, products, websites, or publications are sponsored by, endorsed by, licensed by, or affiliated with DHS, USCIS, or E-Verify.
- 22. The Employer understands that if it uses E-Verify procedures for any purpose other than as authorized by this MOU, the Employer may be subject to appropriate legal action and termination of its participation in E-Verify according to this MOU.

#### **B. RESPONSIBILITIES OF FEDERAL CONTRACTORS**

- 1. If the Employer is a Federal contractor with the FAR E-Verify clause subject to the employment verification terms in Subpart 22.18 of the FAR, it will become familiar with and comply with the most current version of the E-Verify User Manual for Federal Contractors as well as the E-Verify Supplemental Guide for Federal Contractors.
- 2. In addition to the responsibilities of every employer outlined in this MOU, the Employer understands that if it is a Federal contractor subject to the employment verification terms in Subpart 22.18 of the FAR it must verify the employment eligibility of any "employee assigned to the contract" (as defined in FAR 22.1801). Once an employee has been verified through E-Verify by the Employer, the Employer may not create a second case for the employee through E-Verify.
  - a. An Employer that is not enrolled in E-Verify as a Federal contractor at the time of a contract award must enroll as a Federal contractor in the E-Verify program within 30 calendar days of contract award and, within 90 days of enrollment, begin to verify employment eligibility of new hires using E-Verify. The Employer must verify those employees who are working in the United States, whether or not they are assigned to the contract. Once the Employer begins verifying new hires, such verification of new hires must be initiated within three business days after the hire date. Once enrolled in E-Verify as a Federal contractor, the Employer must begin verification of employees assigned to the contract within 90 calendar days after the date of enrollment or within 30 days of an employee's assignment to the contract, whichever date is later.





- b. Employers enrolled in E-Verify as a Federal contractor for 90 days or more at the time of a contract award must use E-Verify to begin verification of employment eligibility for new hires of the Employer who are working in the United States, whether or not assigned to the contract, within three business days after the date of hire. If the Employer is enrolled in E-Verify as a Federal contractor for 90 calendar days or less at the time of contract award, the Employer must, within 90 days of enrollment, begin to use E-Verify to initiate verification of new hires of the contractor who are working in the United States, whether or not assigned to the contract. Such verification of new hires must be initiated within three business days after the date of hire. An Employer enrolled as a Federal contractor in E-Verify must begin verification of each employee assigned to the contract within 90 calendar days after date of contract award or within 30 days after assignment to the contract, whichever is later.
- c. Federal contractors that are institutions of higher education (as defined at 20 U.S.C. 1001(a)), state or local governments, governments of Federally recognized Indian tribes, or sureties performing under a takeover agreement entered into with a Federal agency under a performance bond may choose to only verify new and existing employees assigned to the Federal contract. Such Federal contractors may, however, elect to verify all new hires, and/or all existing employees hired after November 6, 1986. Employers in this category must begin verification of employees assigned to the contract within 90 calendar days after the date of enrollment or within 30 days of an employee's assignment to the contract, whichever date is later.
- d. Upon enrollment, Employers who are Federal contractors may elect to verify employment eligibility of all existing employees working in the United States who were hired after November 6. 1986, instead of verifying only those employees assigned to a covered Federal contract. After enrollment, Employers must elect to verify existing staff following DHS procedures and begin E-Verify verification of all existing employees within 180 days after the election.
- e. The Employer may use a previously completed Form I-9 as the basis for creating an E-Verify case for an employee assigned to a contract as long as:
  - That Form I-9 is complete (including the SSN) and complies with Article II.A.6,
  - ii. The employee's work authorization has not expired, and
  - iii. The Employer has reviewed the Form I-9 information either in person or in communications with the employee to ensure that the employee's Section 1, Form I-9 attestation has not changed (including, but not limited to, a lawful permanent resident alien having become a naturalized U.S. citizen).
- f. The Employer shall complete a new Form I-9 consistent with Article II.A.6 or update the previous Form I-9 to provide the necessary information if:
  - The Employer cannot determine that Form I-9 complies with Article II.A.6,
  - The employee's basis for work authorization as attested in Section 1 has expired or changed, or
  - iii. The Form I-9 contains no SSN or is otherwise incomplete.

Note: If Section 1 of Form I-9 is otherwise valid and up-to-date and the form otherwise complies with





Article II.C.5, but reflects documentation (such as a U.S. passport or Form I-551) that expired after completing Form I-9, the Employer shall not require the production of additional documentation, or use the photo screening tool described in Article II.A.5, subject to any additional or superseding instructions that may be provided on this subject in the E-Verify User Manual.

- g. The Employer agrees not to require a second verification using E-Verify of any assigned employee who has previously been verified as a newly hired employee under this MOU or to authorize verification of any existing employee by any Employer that is not a Federal contractor based on this Article.
- 3. The Employer understands that if it is a Federal contractor, its compliance with this MOU is a performance requirement under the terms of the Federal contract or subcontract, and the Employer consents to the release of information relating to compliance with its verification responsibilities under this MOU to contracting officers or other officials authorized to review the Employer's compliance with Federal contracting requirements.

#### C. RESPONSIBILITIES OF SSA

- SSA agrees to allow DHS to compare data provided by the Employer against SSA's database. SSA sends DHS confirmation that the data sent either matches or does not match the information in SSA's database.
- 2. SSA agrees to safeguard the information the Employer provides through E-Verify procedures. SSA also agrees to limit access to such information, as is appropriate by law, to individuals responsible for the verification of Social Security numbers or responsible for evaluation of E-Verify or such other persons or entities who may be authorized by SSA as governed by the Privacy Act (5 U.S.C. § 552a), the Social Security Act (42 U.S.C. 1306(a)), and SSA regulations (20 CFR Part 401).
- SSA agrees to provide case results from its database within three Federal Government work days of the initial inquiry. E-Verify provides the information to the Employer.
- 4. SSA agrees to update SSA records as necessary if the employee who contests the SSA tentative nonconfirmation visits an SSA field office and provides the required evidence. If the employee visits an SSA field office within the eight Federal Government work days from the date of referral to SSA, SSA agrees to update SSA records, if appropriate, within the eight-day period unless SSA determines that more than eight days may be necessary. In such cases, SSA will provide additional instructions to the employee. If the employee does not visit SSA in the time allowed, E-Verify may provide a final nonconfirmation to the employer.

Note: If an Employer experiences technical problems, or has a policy question, the employer should contact E-Verify at 1-888-464-4218.

#### D. RESPONSIBILITIES OF DHS

- 1. DHS agrees to provide the Employer with selected data from DHS databases to enable the Employer to conduct, to the extent authorized by this MOU:
- Automated verification checks on alien employees by electronic means, and Page 7 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





- b. Photo verification checks (when available) on employees:
- DHS agrees to assist the Employer with operational problems associated with the Employer's participation in E-Verify. DHS agrees to provide the Employer names, titles, addresses, and telephone numbers of DHS representatives to be contacted during the E-Verify process.
- DHS agrees to provide to the Employer with access to E-Verify training materials as well as an E-Verify User Manual that contain instructions on E-Verify policies, procedures, and requirements for both SSA and DHS, including restrictions on the use of E-Verify.
- 4. DHS agrees to train Employers on all important changes made to E-Verify through the use of mandatory refresher tutorials and updates to the E-Verify User Manual. Even without changes to E-Verify. DHS reserves the right to require employers to take mandatory refresher tutorials.
- DHS agrees to provide to the Employer a notice, which indicates the Employer's participation in E-Verify. DHS also agrees to provide to the Employer anti-discrimination notices issued by the Office of Special Counsel for Immigration-Related Unfair Employment Practices (OSC), Civil Rights Division, U.S. Department of Justice.
- DHS agrees to issue each of the Employer's E-Verify users a unique user identification number and password that permits them to log in to E-Verify.
- 7. DHS agrees to safeguard the information the Employer provides, and to limit access to such information to individuals responsible for the verification process, for evaluation of E-Verify, or to such other persons or entities as may be authorized by applicable law. Information will be used only to verify the accuracy of Social Security numbers and employment eligibility, to enforce the INA and Federal criminal laws, and to administer Federal contracting requirements.
- 8. DHS agrees to provide a means of automated verification that provides (in conjunction with SSA verification procedures) confirmation or tentative nonconfirmation of employees' employment eligibility within three Federal Government work days of the initial inquiry.
- 9. DHS agrees to provide a means of secondary verification (including updating DHS records) for employees who contest DHS tentative nonconfirmations and photo mismatch tentative nonconfirmations. This provides final confirmation or nonconfirmation of the employees' employment eligibility within 10 Federal Government work days of the date of referral to DHS, unless DHS determines that more than 10 days may be necessary. In such cases, DHS will provide additional verification instructions.

## ARTICLE III REFERRAL OF INDIVIDUALS TO SSA AND DHS

#### A. REFERRAL TO SSA

1. If the Employer receives a tentative nonconfirmation issued by SSA, the Employer must print the notice as directed by E-Verify. The Employer must promptly notify employees in private of the finding and provide them with the notice and letter containing information specific to the employee's E-Verify Page 8 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





case. The Employer also agrees to provide both the English and the translated notice and letter for employees with limited English proficiency to employees. The Employer agrees to provide written referral instructions to employees and instruct affected employees to bring the English copy of the letter to the SSA. The Employer must allow employees to contest the finding, and not take adverse action against employees if they choose to contest the finding, while their case is still pending.

- 2. The Employer agrees to obtain the employee's response about whether he or she will contest the tentative nonconfirmation as soon as possible after the Employer receives the tentative nonconfirmation. Only the employee may determine whether he or she will contest the tentative nonconfirmation.
- 3. After a tentative nonconfirmation, the Employer will refer employees to SSA field offices only as directed by E-Verify. The Employer must record the case verification number, review the employee information submitted to E-Verify to identify any errors, and find out whether the employee contests the tentative nonconfirmation. The Employer will transmit the Social Security number, or any other corrected employee information that SSA requests, to SSA for verification again if this review indicates a need to do so.
- 4. The Employer will instruct the employee to visit an SSA office within eight Federal Government work days. SSA will electronically transmit the result of the referral to the Employer within 10 Federal Government work days of the referral unless it determines that more than 10 days is necessary.
- While waiting for case results, the Employer agrees to check the E-Verify system regularly for case updates.
- 6. The Employer agrees not to ask the employee to obtain a printout from the Social Security Administration number database (the Numident) or other written verification of the SSN from the SSA

#### B. REFERRAL TO DHS

- 1. If the Employer receives a tentative nonconfirmation issued by DHS, the Employer must promptly notify employees in private of the finding and provide them with the notice and letter containing information specific to the employee's E-Verify case. The Employer also agrees to provide both the English and the translated notice and letter for employees with limited English proficiency to employees. The Employer must allow employees to contest the finding, and not take adverse action against employees if they choose to contest the finding, while their case is still pending.
- The Employer agrees to obtain the employee's response about whether he or she will contest the tentative nonconfirmation as soon as possible after the Employer receives the tentative nonconfirmation. Only the employee may determine whether he or she will contest the tentative nonconfirmation.
- 3. The Employer agrees to refer individuals to DHS only when the employee chooses to contest a tentative nonconfirmation.
- 4. If the employee contests a tentative nonconfirmation issued by DHS, the Employer will instruct the Page 9 of 17 E-Verity MOU for Employers | Revision Date 06/01/13





employee to contact DHS through its toll-free hotline (as found on the referral letter) within eight Federal Government work days.

- 5. If the Employer finds a photo mismatch, the Employer must provide the photo mismatch tentative nonconfirmation notice and follow the instructions outlined in paragraph 1 of this section for tentative nonconfirmations, generally.
- The Employer agrees that if an employee contests a tentative nonconfirmation based upon a photo mismatch, the Employer will send a copy of the employee's Form I-551, Form I-766, U.S. Passport, or passport card to DHS for review by:
  - a. Scanning and uploading the document, or
  - b. Sending a photocopy of the document by express mail (furnished and paid for by the employer).
- 7. The Employer understands that if it cannot determine whether there is a photo match/mismatch, the Employer must forward the employee's documentation to DHS as described in the preceding paragraph. The Employer agrees to resolve the case as specified by the DHS representative who will determine the photo match or mismatch.
- 8. DHS will electronically transmit the result of the referral to the Employer within 10 Federal Government work days of the referral unless it determines that more than 10 days is necessary.
- While waiting for case results, the Employer agrees to check the E-Verify system regularly for case updates.

## ARTICLE IV SERVICE PROVISIONS

#### A. NO SERVICE FEES

SSA and DHS will not charge the Employer for verification services performed under this MOU. The
Employer is responsible for providing equipment needed to make inquiries. To access E-Verify, an
Employer will need a personal computer with Internet access.

# ARTICLE V MODIFICATION AND TERMINATION

#### A. MODIFICATION

- This MOU is effective upon the signature of all parties and shall continue in effect for as long as the SSA and DHS operates the E-Verify program unless modified in writing by the mutual consent of all parties.
- 2. Any and all E-Verify system enhancements by DHS or SSA, including but not limited to E-Verify checking against additional data sources and instituting new verification policies or procedures, will be covered under this MOU and will not cause the need for a supplemental MOU that outlines these changes.

Page 10 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





#### **B. TERMINATION**

- The Employer may terminate this MOU and its participation in E-Verify at any time upon 30 days prior written notice to the other parties.
- 2. Notwithstanding Article V, part A of this MOU, DHS may terminate this MOU, and thereby the Employer's participation in E-Verify, with or without notice at any time if deemed necessary because of the requirements of law or policy, or upon a determination by SSA or DHS that there has been a breach of system integrity or security by the Employer, or a failure on the part of the Employer to comply with established E-Verify procedures and/or legal requirements. The Employer understands that if it is a Federal contractor, termination of this MOU by any party for any reason may negatively affect the performance of its contractual responsibilities. Similarly, the Employer understands that if it is in a state where E-Verify is mandatory, termination of this by any party MOU may negatively affect the Employer's business.
- 3. An Employer that is a Federal contractor may terminate this MOU when the Federal contract that requires its participation in E-Verify is terminated or completed. In such cases, the Federal contractor must provide written notice to DHS. If an Employer that is a Federal contractor fails to provide such notice, then that Employer will remain an E-Verify participant, will remain bound by the terms of this MOU that apply to non-Federal contractor participants, and will be required to use the E-Verify procedures to verify the employment eligibility of all newly hired employees.
- The Employer agrees that E-Verify is not liable for any losses, financial or otherwise, if the Employer
  is terminated from E-Verify.

# ARTICLE VI PARTIES

- A. Some or all SSA and DHS responsibilities under this MOU may be performed by contractor(s), and SSA and DHS may adjust verification responsibilities between each other as necessary. By separate agreement with DHS, SSA has agreed to perform its responsibilities as described in this MOU.
- B. Nothing in this MOU is intended, or should be construed, to create any right or benefit, substantive or procedural, enforceable at law by any third party against the United States, its agencies, officers, or employees, or against the Employer, its agents, officers, or employees.
- C. The Employer may not assign, directly or indirectly, whether by operation of law, change of control or merger, all or any part of its rights or obligations under this MOU without the prior written consent of DHS, which consent shall not be unreasonably withheld or delayed. Any attempt to sublicense, assign, or transfer any of the rights, duties, or obligations herein is void.
- D. Each party shall be solely responsible for defending any claim or action against it arising out of or related to E-Verify or this MOU, whether civil or criminal, and for any liability wherefrom, including (but not limited to) any dispute between the Employer and any other person or entity regarding the applicability of Section 403(d) of IIRIRA to any action taken or allegedly taken by the Employer.
- E. The Employer understands that its participation in E-Verify is not confidential information and may be disclosed as authorized or required by law and DHS or SSA policy, including but not limited to.

Page 11 of 17 E-Verify MOU for Employers | Revision Date 06/01/13





Congressional oversight, E-Verify publicity and media inquiries, determinations of ompliance with Federal contractual requirements, and responses to inquiries under the Freedom of Information Act (FOIA).

F. The individuals whose signatures appear below represent that they are authorized to enter into this MOU on behalf of the Employer and DHS respectively. The Employer understands that any inaccurate statement, representation, data or other information provided to DHS may subject the Employer, its subcontractors, its employees, or its representatives to: (1) prosecution for false statements pursuant to 18 U.S.C. 1001 and/or; (2) immediate termination of its MOU and/or; (3) possible debarment or suspension.

G. The foregoing constitutes the full agreement on this subject between DHS and the Employer:

To be accepted as an E-Verify participant, you should only sign the Employer's Section of the signature page. If you have any questions, contact E-Verify at 1-888-464-4218.





# Approved by:

ignature Electronically Signed	Date 09/18/2009
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epartment of Homeland Security – Verificatio	100
Electronically Signed	6007/81/60
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sme (Please Type of Print)	Line



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Company ID Number: 254136

Information Required for the E-Verify Program Information relating to your Company:				
Company Name	Anderson Columbia Co., Inc.			
Company Facility Address	871 Guerdon Street Lake City, FL 32056			
Company Alternate Address	PO Box 1829 Lake City, FL 32087			
County or Parish	COLUMBIA			
Employer Identification Number	592871935			
North American Industry Classification Systems Code	238			
Parent Company	Anderson Columbia Co., Inc.			
Number of Employees	1,000 to 2,499			
Number of Sites Verified for	3			





Are you verifying for more than it site? If yes, please provide the number of sites verified for in each State:

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Information relating to the Program Administrator(s) for your Company on policy questions or

operational problems;

Fax Number ZE16 - GST (88E) Name Path A Chiappini Phone Number (386) 752 - 7585 ext. 231

Email Address

Mark Reslet Phone Number (386) 752 - 7585 ext. 252 Pax Number (386) 755 - 9132

Email Address mresler@andersoncolumbia.com Fax Mumber





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# CERTIFICATE OF LIABILITY INSURANCE

04 18 944,000 01 472472028

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS TO RIGHTS UPON THE CERTIFICATE HOLDER, THIS CERTIFICATE DOES NOT AFFIRMATIVELY, OR RECENTIVELY, AMEND, ESTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES SELOW. THIS GERTHROATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT RETWEEN THE ISSUING HORSERIS). ANTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDERS.

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COVERAGES

CERTIFICATE NUMBER: 367200387

THIS IS TO CERTIFY THAT THE POLICIES DE INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THIS INSURED NAMED ABOVE FOR THE POLICY PERIOD BID OF ANY CONTRACT OF COMER, DOCUMENT, WITH RESPECT TO WHICH THIS CERTIFICATE NAME BE ISSUED OF ANY PERIOD THIS INSURANCE AFFORCED BY THE POLICIES DESCRIBED HEREIN IS SHEED TO ALL THE TERMS EXCIT ISSUED AND CONDITIONS OF BUILT POLICIES LINES HOW ANY HAVE BEEN REDUCED BY PART CLAIMS.

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CANCELLATION

BROULD ANY OF THE ABOVE DESCRIBED POLICES BE CANCELLED BEFORE THE EXPRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

Evidence of Insurance

AUTHORIZED REPRESENTATIVE

19-1988-2015 ACORD CORPORATION: All rights reserved.

ACORD 25 (2016/03)

The ACORD name and logo are registered marks of ACORD

# COMPENSATION AND EMPLOYERS LIABILE

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Lake City FL 32056

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Employers Liability Insurance: Part Two of the policy applies to work in each state listed in Item 3.A. The limits of our liability under Part Two side:

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d.000,000 policy limit

Bodily Injury by Disease \$

1,000,000 each employee

C: Cliner States insurance: Part Three of the policy applies to the states, if any ilsted here:
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The pollow includes internationalisand schedules: See item 3. Caverage D. Externator of Information Page

. Premium: The premium for the policy will be determined by our Manuels of Rules, Classifications, Rates and Rating Plans. All imprination required below is subject to ventication and change by sudit

Classifications

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#### LM Insurance Corporation

Item 3. Coverage D - Extension of Information Page

# Miscellaneous Form and Endorsement Schedule

	Policy Notices and Applications				
Form Number	Form Name				
SNW 42 03 05 20	Have a Workers' Compensation Complaint Or Need Help?				
SNW 04 14 01 23	Liberty Mutual Privacy Notice - California				
CNW 90 15 09 22	Sanction Notice				
GPO 4756 R5	Liberty Mutual WC Privacy Practices Disclosure Notice				
SNW 42 01 10 13	Texas Risk Control Services				
	Policy Schedules				
Form Number	Form Name				

Form Number	Form Name
WC 00 00 00 C	Workers Compensation And Employers Liability Insurance Policy Jacket
WC 00 00 01 A	Information Page
GPO 4741	Miscellaneous Form and Endorsement Schedule
PA 505	Premium Summary Report by State
GPO 2923	Item 4. Premium - Extension of Information Page
GPO 4162 R1	Named Insured Link Schedule

	Policy Endorsements	
Form Number	Form Name	Comments
WC 99 20 16	Named Insured Endorsement	
WC 00 03 03 C	Employers Liability Coverage	
WC 00 03 13	Waiver of Our Right to Recover From Others Endorsement	
WC 00 04 14 A	90-Day Reporting Requirement - Notification of Change in Ownership	
WC 00 04 19	Premium Due Date Endorsement	
WC 00 04 19 A	Part Five - Premium Amendatory	
WC 00 04 21 F	Catastrophe (Other Than Certified Acts of Terrorism) Premium	
WC 00 04 22 C	Terrorism Risk Insurance Program Reauthorization Act Disclosure	
WC 00 04 24	Audit Noncompliance Charge	
WC 00 04 25	Experience Rating Modification	

Policy No. WAS-65D-289907-113

Factor Revision

Coverage

North Carolina Amended

WC 00 00 01 A

Page 1 of 2

GPO 4741 Ed.01/01/2001

WC 32 03 01 D

#### LM Insurance Corporation

Item 3. Coverage D - Extension of Information Page

# Miscellaneous Form and Endorsement Schedule

Continued:

	Policy Endorsements	
Form Number	Form Name	Comments
WC 34 03 01 C	Ohio Employers Liability Coverage	
WC 39 06 01	South Carolina Cancellation and Nonrenewal	
WC 42 03 01 J	Texas Amendatory	
WC 42 03 04 B	Texas Waiver of Our Right to Recover From Others	
WC 42 04 07	Texas - Audit Premium and Retrospective Premium	
WC 99 06 27 R2	Deductible Endorsement	
WC 99 06 54	Texas Deductible Endorsement	
WC 99 16 69	Knowledge and Notice of Occurrence Endorsement	
WC 99 16 71	Unintentional Errors and Omissions Endorsement	
WC 99 20 39 A	Washington Amendatory	
WC 99 20 54	Participating Provision	
WC 99 20 58 A	Washington Deductible	
WC 99 20 63	North Dakota Amendatory	
WC 99 20 85	Wyoming Amendatory	

# State Premium Summary

State	Payroll Exposure	Total Premium	Assessment & Surcharge
North Carolina	0	93	0 .
North Dakota	0	0	0
Ohio	0	. 0	0
South Carolina	0	113	0
Texas	23,510,000	357,146	0
Washington	0	. 0	0
Wyoming	0	0	0
Totals	23,510,000	357,352	0

Page No.

Item 4. Premium - Extension of Information Page

Classification of Operations		Premium Basis	Rate	
Entries in this item, except as specifically provided elsewhere in this policy, do not modify any of the other provisions of this policy.	Class Code	Payroll - Unless otherwise indicated a) Flat Charge b) Per Capita c) Passenger Seat d) Premium e) Other	Payroll- Per \$100	Estimated Premium
North Carolina				·
Contractor - Project Manager, Construction Executive, Construction Manager or Construction Superintendent	5606	If Any	.40	О
Waiver of Subrogation Premium	0930			100
Large Deductible Credit	9664	·	.388	(39)
Experience Modification(1.53 FNL)  Modified Premium	9898	d) 61		32 <b>\$93</b>
Standard Premium				\$93
Terrorism	9740		.004	0
Catastrophe (other than Certified Acts of Terrorism) Total Premium for North Carolina	9741		.008	0 \$93
North Dakota				
Subject to Supplemental Employers Liability Endorsement Total Payroll	0003	If Any		0
Terrorism	9740		.00	0

Policy No. WA5-65D-289907-113

Page No. 1

Item 4. Premium - Extension of Information Page

Classification of Operations		Premium Basis	Rate	
Entries in this item, except as specifically provided elsewhere in this policy, do not modify any of the other provisions of this policy.	Class Code	Payroll - Unless otherwise indicated a) Plat Charge b) Per Capita c) Passenger Seat d) Premium e) Other	Payroll- Per \$100	Estimated Premium
Continued:				
Ohio				
Subject to Supplemental Employers Liability Endorsement Total Payroll	0003	If Any	. 05	o
Terrorism	9740		.00	0
South Carolina				
Contractor - Project Manager, Construction Executive, Construction Manager or	5606	If Any	.51	0
Construction Superintendent Street or Road Construction: Subsurface Work & Drivers	5507	If Any	2.01	0
Clerical Office Employees NOC	8810	If Any	.08	0
Waiver of Subrogation Premium	0930			100
Large Deductible Credit	9664		.2634	(26)
Experience Modification(1.53 FNL)  Modified Premium	9898	d) 74		39 <b>\$113</b>
Standard Premium				\$113
Terrorism	9740		.004	0
Catastrophe (other than Certified Acts of Terrorism)	9741		.008	0
Total Premium for South Carolina				\$113
Delian No. NAS CED 200007 113				Page No. 2

Policy No. WA5-65D-289907-113

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Comprehe Construction NOC & Drivers Street or Road Construction ALL	5213 5506	a sea gao 300 ag		169, E 160, 950
Operations & Drivers Contractor - Executive Supervisor Or Conditivetion Supervisor	5606	z, 675, 000	्र १८० ज	6,154
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Policy No. WAS -650-289907-113

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Item 4. Premium - Extension of Information Page

Class	Payroll Unless otherwise indicated	Payroll-	The state of the s
Code	a) Plat Charge b) Per Capita c) Passanger Seat d) Premium e) Other	Per \$100	Estimated Premium
			-
9898 m	d) 322,502		170,926 \$ <b>493,42</b> 6
9663 in	7	.2766	(136,482) \$356,946
0900			200
9740	23,510,000	.00	
9741	23,510,000	.00	30.5
ś			\$357,14
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Policy No. WA5-65D-289907-113

Page No. 4

GPO 2923 Ed. 01/01/2001

WC 00 00 01 A

#### NAMED INSURED LINK SCHEDULE

Name Link Code	Insured Name/Location	City	State Zip
001	Anderson Columbia Company, Inc.		
001	Telephone Number: (386) 752-7585		
001	FEIN: 59-2871935		
001	Legal Status: Corporation		
001	No Specific Location		NC
001	No Specific Location		ND
001	No Specific Location		ОН
001	No Specific Location		SC
001	No Specific Location		WA
001	No Specific Location		WY
001	Highway 85 West	Big Wells	TX 78830
001	2210 VO Tech Dr	Weslaco	TX 78596
002	Haas-Anderson Construction, LTD.		
002	Telephone Number: (386) 752-7585		
002	FEIN: 33-1001988		
002	Legal Status: Corporation		
002	1402 Holly Rd	Corpus Christi	TX 78417
003	Haas-Anderson Management LC		
003	Telephone Number: (386) 752-7585		
003 003	FEIN: 01-0666137		
	Legal Status: Limited Liability	Company	
003	1402 Holly Rd	Corpus Christi	TX 78417
003	1402 HOTTY RG	corpus carries	
004	HAC Equipment LTD		
004	Telephone Number: (386) 752-7585	·	
004	FEIN: 33-1001990		
004	Legal Status: Corporation		
004	1402 Holly Rd	Corpus Christi	TX 78417
005	HAC Materials LTD		
005	Telephone Number: (386) 752-7585	<b>;</b>	
005	FEIN: 68-0504138		
005	Legal Status: Corporation		en 20412
005	1402 Holly Rd	Corpus Christi	TX 78417
005	und woldings IP		
006	HAC Holdings LP		
006	Telephone Number: (386) 752-7585	,	
006	FEIN: 74-2212956	in	
006	Legal Status: Limited Partnersh	-P	
Poli	cy No. WA5-65D-289907-113		

GPO 4162 R1

Page 1 of 2 Ed. 11/01/2004

# NAMED INSURED LINK SCHEDULE

01

# Continued:

Name Link Code	Insured Name/Location	City	State Zip
006	1402 Holly Rd	Corpus Christi	TX 78417
007	ELDT Investment LTD		Act and
007	Telephone Number: (386) 752-	7585	
007	FEIN: 74-2403159		
007	Legal Status: Corporation	See the second second	ALC: NO ALC: NO.
007	1402 Holly Rd	Corpus Christl	TX 78417
	The state of the s	CONTRACT A CONTRACT A CONTRACT A CONTRACT AND A CON	AND A CONTRACTOR

Policy No. WAS-65D-289907-113

GPO 4162 R1

Page 2 of 2 Ed. 11/01/2004

#### NAMED INSURED ENDORSEMENT

Item 1 of the Information Page includes the following firms or organizations as insureds.

Insured Name Anderson Columbia Company, Inc.	<b>FEIN No.</b> 59-2871935	Dept. of Labor No.
Haas-Anderson Construction, LTD.	33-1001988	
Haas-Anderson Management LC	01-0666137	
HAC Equipment LTD	33-1001990	
HAC Materials LTD	68-0504138	
HAC Holdings LP	74-2212956	

74-2403159

Issued by LM Insurance Corporation 27243

For attachment to Policy No. WA5-65D-289907-113

Effective Date

Premium \$

Issued to Anderson Columbia Company, Inc.

WC 89 06 01 Ed. 09/01/2010 © 2010, Liberty Mutual Group of Companies. All Rights Reserved.

WC 99 20 16 Page 2 of 2 Ron DeSantis, Governor

Melanie S. Griffin, Secretary



# STATE OF FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

# CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

# MIRRAINEREDAINE ONLY

ANDERSONICO UMBIA COUNC B746NW GUERDON ST.

AKE OND FL 32105

# LICENSE NUMBER: CGC060909

**EXPIRATION DATE: AUGUST 31, 2024** 

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

#### Local Business Tax Renewal

Account Number New Business Date Local Business Tax Year
1031 7/26/1989 2023

Business Address ANDERSON COLUMBIA CO INC 871 NW GUERDON ST LAKE CITY FL 32055 Mailing Address ANDERSON COLUMBIA CO INC PO BOX 1829 LAKE CITY FL 32056

Units 145

Status ACTIVE ACCOUNT

Occupation BUSINESS TAX RECEIFT

Local Business \$30.00

Date Paid Receipt Amount Paid 7/10/2023 1507662,0002 \$30.00



# Floride Department of Transportation

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The company may apply for a Revised Cortificate of Qualification at any time prior to the empire for the prior to the empire for the cortificate according to section 14-27, 6001(3). Florida. According to section 14-27, 6001(3). Florida. According to meet receiving approved application as about about and choosing "update" instead of "Yazw." If cartification in additional classes of work is the company has partyrised such work.

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#### TAYLOR COUNTY BOARD OF COMMISSIONERS

## County Commission Agenda Item

SUBJECT/TITLE:



COMMISSIONERS TO CONSIDER APPROVAL OF RS&H, INC.'S CONSTRUCTION ENGINEERING AND INSPECTION PROPOSAL FOR THE 1ST AVENUE SOUTH WIDENING/RESURFACING PROJECT.

**MEETING DATE REQUESTED:** 

February 5, 2024

**Statement of Issue:** Board to consider approval of RS&H, Inc.'s Construction Engineering and Inspection (CEI) Proposal for the 1<sup>st</sup> Avenue South Widening/Resurfacing project.

Recommended Action: Approve the RS&H, Inc. Construction Engineering and Inspection

Services proposal.

Fiscal Impact:

FISCAL YR 2023/25 - \$461,911.10 CEI Proposal

**Budgeted Expense:** 

YES

Submitted By:

ENGINEERING DIVISION

Contact:

COUNTY ENGINEER

#### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

**History, Facts & Issues:** By the direction of the Board, plans and specifications for the Widening/Resurfacing of 1<sup>st</sup> Avenue South from Riverside Drive (SR 51) at its West end to Riverside Drive (SR 51) at its East end under the FDOT's Small County Outreach Program and County Incentive Grant Programs were previously prepared and advertised. The project consists of furnishing all needed materials, equipment, labor and supervision to widen and resurface the approximate 1.19 miles of roadway from 18/20 ft to 24 ft wide. Beyond reconstruction, widening and resurfacing, the improvements also include safety modifications, drainage improvements, pavement markings and signage, along with other associated work as more fully detailed in the Request for Proposals package received by the Board at its November 28, 2023 meeting.

On December 13, 2023, Staff received a proposal from RS&H to provide Construction Engineering and Inspection services for the project. Their \$461,911.10 proposal is based on the Design Engineers 270 day construction duration and their approved Continuing Services contract rates. Staff recommends that the Board approve the RS&H, Inc. Construction Engineering and Inspection services proposal.

# **Options:**

- 1) Aprove the 1<sup>st</sup> Avenue South Project CEI Services proposal from RS&H, Inc.
- 2) Deny the 1<sup>st</sup> Avenue South Project CEI Services proposal from RS&H, Inc. and state reasons for such denial.

#### **Attachments:**

RS&H, Inc. CEI Services proposal

# PROFESSIONAL ENGINEERING SERVICES AGREEMENT

TASK ORDER NO.: CEI_RSH-04
PURCHASE ORDER NO.: (For billing purposes only, to be assigned by COUNTY after execution.)
PROJECT: 1st Avenue South Widening/Resurfacing Project
COUNTY: TAYLOR COUNTY, a political subdivision of the State of Florida.
CONSULTANT: RS&H, Inc. 157 SW McFarlane Ave Lake City, FL 32025 800-741-2014
Execution of the Task Order by COUNTY shall serve as authorization for CONSULTANT to provide for
the above project, professional services as set out in the Scope of Services included as RECITALS to that
certain Agreement of February 3, 2020 between the COUNTY and the CONSULTANT and further
delineated in the specifications, conditions and requirements stated in the following listed documents
which are attached hereto and made a part hereof: December 13, 2024 proposal and Staff Hour
Estimate; Taylor Project 2016-002-ENG; FDOT FINID 439669-1-54-01
Whenever the Task Order conflicts with said Agreement, the Agreement shall prevail.
TIME FOR COMPLETION: The work authorized by this Task Order shall commence upon being executed by COUNTY and returned to CONSULTANT and shall be completed within
Seventy (270) calendar days.
METHOD OF COMPENSATION:
(a) This Task Order is issued on a:
[ ] Fixed Fee basis
[X] Time basis method with a Not-to-Exceed amount
[ ] Time basis method with a Limitation of Funds amount

(b) If the compensation is based on a "Fixed Fee Basis," then CONSULTANT shall perform a
work required by this Task Order for the sum of DOLLARS (\$
). In no event shall CONSULTANT be paid more than the Fixed Fee Amount.
(c) If the compensation is based on a "Time Basis Method" with a Not-to-Exceed Amount, the
CONSULTANT shall perform all work required by this Task Order for a sum not exceedingFour
Hundred Sixty One Thousand Nine Hundred Eleven Dollars and Ten Cents DOLLARS
461,911.10 ). CONSULTANT's compensation shall be based on the actual work required by this Tas
Order.
(d) If the compensation is based on a "Time Basis Method" with a Limitation of Funds Amoun
then CONSULTANT is not authorized to exceed the Limitation of Funds amount of
DOLLARS (\$) without prior written approval of the COUNTY. Suc
approval, if given by the COUNTY, shall indicate a new Limitation of Funds amount. CONSULTAN
shall advise the COUNTY whenever CONSULTANT has incurred expenses on this Task Order that
equals or exceeds eighty percent (80%) of the Limitation of Funds amount. The COUNTY sha
compensate CONSULTANT for the actual work performed under this Task Order based on supporting
documentation of work performed.

The COUNTY shall make payment to CONSULTANT in strict accordance with the payment terms of the above-referenced Agreement.

It is expressly understood by CONSULTANT that this Task Order, until executed by the COUNTY, does not authorize the performance of any services by CONSULTANT and that the COUNTY, prior to its execution of the Task Order, reserves the right to authorize any party other than CONSULTANT to perform the services, or a portion thereof, called for under this Task Order if it is determined that to do so is in the best interest of the COUNTY.

WITNESS WHEREOF, the partie  by of20	es hereto have made and executed this Task Order on this, for the purposes stated herein.
	RS&H, Inc.
Witness	By:Signature
	Print Name
	Title:
	TAYLOR COUNTY, FLORIDA
	By:
	LaWanda Pemberton Print Name
	Title: County Administrator
	Date:

Task Work	Order (TWO) #4	
Project: Desc:	1rst Ave SE Road Steinhatchee	
Desc:	Widening/Resurfacing/Box Culvert	
County Engineer:	Kenneth Dudley, P.E.	

17	VOICE DATE:																							2024	4		100														w	-							*	
Position	STAFF	Firm	2/16	2/23	3/	3,	/8 3/	15 3	3/22	3/29	4/5	4/12	4/19	4/26	5/3	5/10	5/17	5/24	5/31	6/7	6/14	6/21	6/28	7/5	7/12	7/19	7/26	8/2	8/9	8/16	8/23	8/30	9/6	9/13	9/20	9/27	10/4	10/11	10/18	10/2	5 11	1/1	11/8	11/15 1	1/22	Total Hou	rs Si	ialary Cost	Total Co	14
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r. Inspector	David Walker	RS&H	44	44	4	4	14	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	44	4	4	44	44	44	44	1804	5	166,707.64	\$ 166,7	07.64
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																																		- 1						TWO Amendm	ent #2								\$	-
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Position	STAFF	Firm	2/16	2/23	3/1	3/8	3/1	5 3/2	22 3/	/29	4/5	1/12 4	/19 4	26	5/3 5	5/10	5/17	5/24	5/31	6/7	6/14	4 6/2	1 6/2	8 7/	/5 7/	12 7/	19 7/2	6 8/	2 8/	9 8/1	6 8/2	3 8/30	9/6	9/1	3 9/20	9/2	7 10/	4 10/	11 10/18	1	10/25	11/1	11/8	11/15	11/2	Total Hou	urs	Salary Co	at	Total C	.ost
r. Project Eng.	Tony Manos	RS&H																							_		$\neg$																			0	5			\$	-
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	Contraction of the second	Time Summary
Estimated	2/16/2024	Est. Inspection Start Date
Estimated	2/23/2024	Est. Construction Start Date
	270	Construction Duration (Days)
		Days Added or Estimated
	11/18/2024	Est. Construction End Date
	11/25/2024	Est. Inspection End Date
Update for	5/17/2025	Date \$ Run Out
0.0	11/25/2024	TWO End Date
		Date Funds Encumbered
7	TBD	Actual Project Finish (Fin. Acc.)

Update formula with Actual Staff and Multiplers

CEI Proposal: \$ 461,911.10 Est. Contract Amount \$ 4,500,000.00

10.26%

nvolce #	Invoice Amount	Invoice Totals	
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2		5	٠.
3		\$	
4		5	-
5		\$	
6		5	
7		5	
8		\$	
9		\$	-
10		\$	
Totals	\$ -	S	-

# TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



The SHIP Local Housing Assistance Plan (LHAP) currently only allows for assistance to homeowners one time and requires homeowners to have homeowners' insurance at the time of submitting application for assistance. Grants staff is requesting the Board override these policies to allow all homeowners who meet the income and program guidelines to be eligible for SHIP Disaster Recovery Assistance and that homeowners only be required to carry homeowners' insurance AFTER receiving assistance.

MEETING DATE REQUESTED:

February 5, 2024

Statement of Issue:

Grants Staff is requesting the Board to approve providing housing disaster recovery assistance to any homeowner that is qualified and meets program quidelines even if they have received SHIP assistance in the past. Staff is also requesting Board approval to require homeowners to have homeowners' insurance after they receive SHIP assistance

not prior to receiving assistance.

Recommended Action:

Board to approve providing SHIP assistance to all qualified

homeowners whether they have received housing assistance in the past and not be required to have homeowners' insurance prior to receiving assistance.

Fiscal Impact:

**Not Applicable** 

**Budgeted Expense:** 

Not Applicable

Submitted By:

Melody Cox, Grants Writer

Contact:

**Melody Cox** 

## SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: The County has been awarded \$3,060,000 in SHIP funds to provide housing disaster recovery assistance for homes that were damaged due to Hurricane Idalia. The County anticipates advertising the availability of the funds by mid-February 2024 and receiving applications after the required 30-day advertising period in mid-March. The County has until June 30, 2026 to expend all housing disaster recovery

funding.

Attachments:

Not Applicable

# The Bishop Law Firm, P.A. Attorneys at Law

Conrad C. Bishop, Jr. Conrad C. "Sonny" Bishop, III

Post office Box 167 411 N. Washington Street Perry, Florida 32348

IN MEMORIAL OF KATHLEEN MCCARTHY BISHOP 1966-2013

(850) 584-6113 PAX (850) 584-2433

Mr. Kenneth Dudley

201 East Green Street Perry, Florida 32347

County Engineer

January 23, 2024

# VIA E-MAIL AND REGULAR MAIL

Ms. LaWanda Pemberton County Administrator 201 East Green Street Perry, Florida 32347

Hon. Gary Knowles Clerk of Court Post Office Box 620 Perry, Florida 32348

Re: Redistricting

Dear LaWanda, Kenneth and Gary:

Enclosed please find a Resolution with descriptions of the new boundaries.

For convenience, I enclose a copy of Florida Statutes 124.02 and 124.03.

The requirement needs to be followed, my suggestion is to put this Resolution on the agenda and I would attach a copy of the map to the Resolution.

The procedures ae in the Resolution also.

If you have a question, please let me know.

Thank you and I hope you are doing fine.

Respectfully

Conrad C. Bishop, Jr.

CCB/kp

cc: Mr. Nicholas Warren (via e-mail)

#### RESOLUTION

# A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF TAYLOR COUNTY, FLORIDA SETTING THE BOUNDARIES OF THE COUNTY COMMISSIONERS' DISTRICTS FOR TAYLOR COUNTY, FLORIDA

# BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF TAYLOR COUNTY, FLORIDA, THAT:

1. <u>AUTHORITY</u>. Pursuant to Section 124.01, Florida Statutes, the Board of County Commissioners (the "BOARD"), of Taylor County (the "COUNTY"), Florida is authorized and directed to, from time to time, fix the boundaries of the county commissioners' districts in the COUNTY so as to keep them as nearly equal in proportion to population as possible. This resolution is adopted by the BOARD pursuant to Section 124.01, Florida Statutes and all other applicable authority including, but not limited to, the BOARD's home rule powers under Section 125.01, Florida Statutes.

### 2. FINDINGS. The BOARD finds that:

- A. The county commissioners' districts described herein divide the COUNTY into five county commissioners' districts;
- B. The county commissioners' districts described herein are as nearly equal in proportion to population as possible; and,
- C. It is necessary to make the changes to the boundaries of the county commissioners' districts as set out herein so that they will be as nearly equal in proportion to population as possible.
- 3. THE COUNTY COMMISSIONERS' DISTRICTS. The boundaries of the county commissioners' districts for the COUNTY shall hereafter be as follows:

### The boundaries for District I are:

The Point of Beginning being the intersection of W Green Street and N Jefferson Street. From this intersection, proceed in a northerly direction along N Jefferson Street to a point where N Jefferson Street becomes US HWY 221 (SR 55). Continue northwesterly along US HWY 221 (SR 55) to the intersection with Pisgah Road, thence turn west onto and continue along Pisgah Road to the intersection with N US HWY 19 (SR 20). Thence turn northwesterly onto and continue along N US HWY 19 (SR 20) to the intersection with Pleasant Grove Road. From the intersection of N US HWY 19 (SR 20) and Pleasant Grove Road, turn northeasterly onto and continue along Pleasant Grove Road to the intersection with Alton Wentworth Road (CR 14). From the intersection of Pleasant Grove Road and Alton Wentworth Road, turn southeasterly onto and continue along Alton Wentworth Road (CR 14) to the intersection with Earl Blanton Road. Thence turn northerly onto and continue along Earl Blanton Road to the intersection with

Fellowship Road, from the Fellowship Road intersection, turn westerly onto and continue along Fellowship Road to an intersection with the northern boundary of Taylor County also being the Taylor-Madison County boundary. Continue westerly along the Taylor-Madison County boundary to the Taylor-Madison-Jefferson County intersection and the Aucilla River. Thence turn southwesterly and continue along the Aucilla River, being the Taylor-Jefferson County boundary, to its intersection with the Gulf of Mexico and the Taylor County coastline. Thence turn southeasterly and continue along the Taylor County coastline to the intersection with the Fenholloway River. Thence turn northeasterly and continue along the Fenholloway River to its intersection with Peterson Grade and the Peterson Landing Boat Ramp. Thence continue northeasterly along Peterson Grade to the intersection with Hampton Springs Road. Continue northeasterly along Hampton Springs Road to the intersection with US HWY 98 (SR 30). Thence turn northeasterly onto and continue along US HWY 98 (SR 30) to the intersection with the west boundary of the City of Perry municipal limits. Thence turn north and continue along the west boundary of the City of Perry municipal limits to the Woods Creek Road/Julia Street and Miller Road intersection, continue north along Miller Road to the intersection with W Ash Street. Thence turn east onto and continue easterly along W Ash Street to the intersection with N US HWY 19 (SR 20). Thence turn southeasterly onto and continue southeasterly along N US HWY 19 (SR 20) to the intersection with W Green Street. Thence turn east onto and continue along W Green Street back to the intersection with N Jefferson Street being the Point of Beginning.

# The boundaries for District II are:

The Point of Beginning being the intersection of S Jefferson Street, W Hampton Springs Ave, and US HWY 27 (SR 20) aka E Hampton Springs Ave. From this intersection, proceed southerly along S Jefferson Street to the intersection with N US HWY 19 (SR 20), S US HWY 19/98 (SR 55) aka S Byron Bulter Parkway and Puckett Road. Thence turn onto and continue southeasterly along S US HWY 19/98 (SR 55) to the intersection with the south boundary of the City of Perry municipal limits. Thence turn west and proceed along the south boundary of the City of Perry Municipal Limits to the intersection with Puckett Road. Thence turn south onto and continue southerly along Puckett Road to the intersection with Holt Road and Carlton Cemetery Road. Thence turn west onto and continue westerly along Holt Road to the intersection with Golf Course Road. Thence turn south onto and continue southerly along Golf Course Road to the intersection with the Fenholloway River. Thence turn west and proceed westerly then northwesterly along the Fenholloway River to its intersection with Hampton Springs Road. From this intersection, turn onto and proceed southwesterly along Hampton Springs Road to the intersection with Peterson Grade. Continue southwesterly along Peterson Grade to the Peterson Landing Boat Ramp and the Fenholloway River. Continue southwesterly along the Fenholloway River to its intersection with the Gulf of Mexico and the Taylor County coastline. Thence turn

southeasterly and continue along the Taylor County coastline to the intersection with Adams Beach Road. Thence turn northeasterly onto and continue along Adams Beach Rd to the intersection with Beach Rd (CR 361), continue north/northeasterly along Beach Road (CR 361) to the intersection with Neeley Sadler Road and Ellison Gamble Thence turn east onto and continue along Ellison Gamble Road to the intersection with S US HWY 19/98 (SR 55). Thence turn northwesterly onto and continue along S US HWY 19/98 (SR 55) to the intersection with Carlton Cemetery Road and Foley Road (CR 30). Thence turn east onto and continue along Foley Road (CR 30) to the intersection with Old Dixie Highway. Thence turn northwest onto and continue along Old Dixie Highway to the south boundary of the City of Perry municipal limits. Thence turn east and continue along the south boundary of the City of Perry municipal limits to the southeast corner of the City of Perry municipal limits. Thence turn north and continue along the east boundary of the City of Perry municipal limits to the point of intersection with T L Malone Road, continue northerly along T L Malone Road to the intersection with US HWY 27 (SR 20). Thence turn northwesterly onto and continue along US HWY 27 (SR 20) back to the intersection with S Jefferson Street, W Hampton Springs Ave, and US HWY 27 (SR 20) aka E Hampton Springs Ave being the

# The boundaries for District III are:

The Point of Beginning being the intersection of Buckeye Nursery Road and US HWY 27 (SR 20). From this intersection, proceed southeasterly along US HWY 27 (SR 20) to the intersection with T L Malone Road. Thence turn south onto and continue along T L Malone Road to its intersection with the east boundary of the City of Perry municipal limits. Continue south along the East boundary of the City of Perry municipal limits to the southeast corner of the City of Perry municipal limits. Thence turn west and continue along the south boundary of the City of Perry municipal limits to the intersection with Old Dixie Highway. Then turn southeast onto and continue along Old Dixie Highway to the intersection with Foley Road (CR 30). From the intersection with Foley Road (CR 30), turn west onto and continue along Foley Rd (CR 30) to its intersection with Carlton Cemetery Road and S US HWY 19/98 (SR 55). Thence turn southeasterly and onto continue along S US HWY 19/98 (SR 55) to the intersection with Ellison Gamble Road. Thence turn southwest onto and continue westerly along Ellison Gamble Road to the intersection with Neeley Sadler Road and Beach Road (CR 361). Thence turn south onto and continue south/southwesterly along Beach Rd (CR 361) to the intersection with Adams Beach Road. Thence continue southwesterly along Adams Beach Road to the intersection with the Gulf of Mexico and the Taylor County coastline. Thence turn southeasterly and continue along the Taylor County coastline to its intersection with Dixie County and the Steinhatchee River. Thence turn in an initially easterly then northerly direction and continue along the Steinhatchee River also being the Taylor-Dixie County boundary. Continue along the Steinhatchee River to the intersection with the east boundary of Florida Section 21 of Township 08S Range

10E, thence turn north and continue along the Taylor-Dixie County boundary to northeast corner of Florida Section 04 of Township 08S Range 10E being the point of intersection of Taylor County, Dixie County and Lafayette County. Thence turn west and continue along the Taylor-Lafayette County boundary to the northwest corner of Florida Section 05 of Township 08S Range 10E. From the northwest corner of Florida Section 05 of Township 08S Range 10E, turn north and continue along the Taylor-Lafayette County boundary to the mid-point of the east boundary of Florida Section 07 Township 07S Range 10E. Thence turn west and continue along the north boundary of the south half of Florida Section 07 Township 07 Range 10E to the intersection with Florida Section 12 Township 07S Range 09E. Thence turn north and continue along the Taylor-Lafayette County boundary to its intersection with US HWY 27 (SR 20). Thence turn westerly onto and continue along US HWY 27 (SR 20) to the intersection with San Pedro Road. From the San Pedro Road intersection, turn north onto and continue northerly and then westerly along San Pedro Road to the intersection with Buckeye Nursery Road. Thence turn south onto and continue along Buckeye Nursery Road back to the intersection of Buckeye Nursery Road with US HWY 27 (SR 20) being

# The boundaries for District IV are:

The Point of Beginning being the intersection of W Green Street, E Green Street, N Jefferson Street and S Jefferson Street. From this intersection, proceed in a southerly direction along S Jefferson Street to the intersection of S Jefferson Street, W Hampton Springs Ave, and US HWY 27 (SR 20) aka E Hampton Springs Ave. Thence turn east onto and continue easterly/southeasterly along US HWY 27 (SR 20) to the intersection with Buckeye Nursery Road. Thence turn north onto and continue along Buckeye Nursery Road to the intersection with San Pedro Road. Thence turn east and continue east initially then southeasterly along San Pedro Road to the intersection with US HWY 27 (SR 20). Thence continue northeasterly along US HWY 27 (SR 20) to its intersection with the east boundary of Taylor County also being the Taylor-Lafayette County Thence turn north and continue along the Taylor-Lafayette County boundary to the NE corner of Florida Section 01 Township 03S Range 09E, also being the intersection of Taylor County, Lafayette County and Madison County. Thence turn west and continue along the Taylor-Madison County boundary to the NW corner of Florida Section 06 Township 03S Range 09E. Thence turn north and continue along the Taylor-Madison County boundary to the NE corner of Florida Section 24 Township 02S Range 08E. Thence turn west and continue along the Taylor-Madison County boundary to the intersection of Fellowship Road and the Taylor-Madison County boundary. From that intersection, turn easterly/southeasterly and continue along Fellowship Road to the intersection with Earl Blanton Road. Thence turn south and continue southerly along Earl Blanton Road to the intersection with Alton Wentworth Road (CR 14). Thence turn onto and continue northwesterly along Alton Wentworth Road (CR 14) to the intersection with Pleasant Grove Road. From the intersection with

Pleasant Grove Road, turn westerly onto and continue southwesterly along Pleasant Grove Road to the intersection with N US HWY 19 (SR 20). Thence turn southeasterly and continue along N US HWY 19 (SR 20) to the intersection with Pisgah Road. Thence turn east onto and continue along Pisgah Road to the intersection with US HWY 221 (SR 55). Thence turn southeasterly onto and continue along US HWY 221 (SR 55) to a point where US HWY 221 (SR 55) becomes N Jefferson Street. Then continue southeasterly along N Jefferson Street back to the intersection with W Green Street, E Green Street, N Jefferson Street and S Jefferson Street being the Point of Beginning.

## The boundaries for District V are:

The Point of Beginning being the intersection of W Green Street, E Green Street, N Jefferson Street and S Jefferson Street. From this intersection, proceed west along W Green Street to the intersection with N US HWY 19 (SR 20). Thence turn northwesterly onto and continue along N US HWY 19 (SR 20) to the intersection with W Ash Street. Thence turn west onto and continue along W Ash Street to the intersection with Miller Road. From this intersection, turn south onto and continue along Miller Road, also being the west boundary of the City of Perry Municipal limits, to the intersection with Woods Creek Road. Thence continue south along the west boundary of the City of Perry Municipal limits to the intersection with US HWY 98 (SR 30). Thence turn southwesterly onto and continue along US HWY 98 (SR 30) to the intersection with Hampton Springs Road. From this intersection, turn southwesterly onto and continue along Hampton Springs Road to its intersection with the Fenholloway River. Thence turn easterly and continue east/southeasterly along the Fenholloway River to its intersection with Golf Course Road. From this intersection, turn northerly onto and continue along Golf Course Road to the intersection with Holt Road. Thence turn east onto and continue along Holt Road to the intersection with Carlton Cemetery Road and Puckett Road. From this intersection, turn north onto and continue northerly along Puckett Road to the intersection with the south boundary of the City of Perry Municipal Limits. Thence turn and proceed easterly along the south boundary of the City of Perry Municipal Limits to the intersection with S US HWY 19/98 (SR 55). From this intersection turn northwesterly onto and continue along S US HWY 19/98 (SR 55) aka S Byron Bulter Parkway, to the intersection with N US HWY 19 (SR 20) aka N Byron Butler Parkway, Puckett Road and S Jefferson Street. Thence turn northerly onto and continue along S Jefferson Street to the intersection with W Green Street, E Green Street and N Jefferson Street being the Point of Beginning.

- 4. DIRECTIONS TO CLERK. The clerk is hereby authorized and directed to:
- A. Enter this resolution upon the minutes of the BOARD meeting where it was adopted [Section 124.02(1), Florida Statutes];
- B. Publish a certified copy of the minutes of the meeting where this resolution was adopted at least once each week for 2 consecutive weeks (two

publications being sufficient) in a newspaper published in the COUNTY [Section 124.02(1), Florida Statutes];

- C. Attach the proof of such publication to the minutes of the meeting where this resolution was adopted [Section 124.02(3), Florida Statutes];
- D. Forthwith furnish the Department of State with a certified copy of the minutes of the meeting where this resolution was adopted [Section 124.03, Florida
- E. Record a description of the boundaries of the county commissioners' districts as set out herein in its office in a book kept for that purpose [Section
- REPEAL OF CONFLICTING RESOLUTIONS. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.
- SEVERABILITY CLAUSE. It is declared to be the intent of the BOARD that if any section, subsection, sentence, clause, phrase, or portion of this resolution is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holdings shall not affect the validity of the remaining portions hereof.
- EFFECTIVE DATE. This resolution shall become effective upon adoption 7.

or as soon as otherwise allowe	ed by law.
PASSED AND ADOPTED this day of	upon due motion, second, after discussion, by majority vote _, 2024.
	BOARD OF COUNTY COMMISSONERS OF TAYLOR COUNTY
	JAMIE ENGLISH, Chairperson
ATTEST:	
GARY KNOWLES, Clerk of Courts	

## The Florida Senate

# 2021 Florida Statutes (Including 2021B Session)

		-		
	Title XI	Chapter 124	The second section of the second seco	
	COUNTY ORGANIZATION	Chapter 124	SECTION 02	٦
	COUNTY ORGANIZATION AND	COMMISSIONERS' DISTRICTS	Notice of the	•
į	INTERGOVERNMENTAL		Notice of change of boundaries of	
1	RELATIONS	Entire Chapter	district to be given by publication.	,
	NELATIONS	Entire Chapter	o and personal	1
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# 124.02 Notice of change of boundaries of district to be given by publication.—

- (1) Whenever the boundaries of existing county commissioners' districts are, from time to time, changed by the board of county commissioners, it shall cause an accurate description of the boundaries of such districts, as changed, to be entered upon its minutes and a certified copy thereof to be published at least once each week for 2 consecutive weeks (two publications being sufficient) in a newspaper published in said county.
- (2) If there be no newspaper published in such county, then three copies of said minutes shall be posted for 4 consecutive weeks in three different and conspicuous places in such county, one of which shall be at the front door of the courthouse.
- (3) Proof of such publication or posting shall be entered on the minutes of the board. The publication or posting of such copy shall be for information only and shall not be jurisdictional.

History:—s. 5, ch. 3723, 1887; RS 575; GS 766; RGS 1470; CGL 2148; s. 1, ch. 24108, 1947; s. 4, ch. 90-279.

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### The Florida Senate

## 2021 Florida Statutes (Including 2021B Session)

Title XI	Chapter 124	SECTION 03
COUNTY ORGANIZATION AND	COMMISSIONERS' DISTRICTS	Description of district boundaries
INTERGOVERNMENTAL	7.4	to be furnished Department of
RELATIONS	Entire Chapter	State.

124.03 Description of district boundaries to be furnished Department of State. — Whenever the boundaries of existing county commissioners' districts are, from time to time, changed by the board, it shall cause its clerk to forthwith furnish the Department of State with a certified copy of its minutes, reflecting the description of the boundaries of the district, as changed, which shall record a description of such boundaries in its office in a book kept for that purpose.

History. -s. 6, ch. 3723, 1887; RS 576; GS 767; RGS 1471; CGL 2149; s. 1, ch. 24108, 1947; ss. 10, 35, ch. 69-106.

Disclaimer: The information on this system is unverified. The journals or printed bills of the respective chambers should be consulted for official purposes.

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### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:



THE BOARD TO CONSIDER APPROVAL OF A CHANGE TO THE MEMORANDUM OF UNDERSTANDING WITH THE TAYLOR COUNTY BASEBALL ASSOCIATION, INC.

MEETING DATE REQUESTED:

FEBRUARY 5, 2024

Statement of Issue:

TO REQUEST CHANGE IN YEAR NUMBER 3

RESPONSIBILTIES TO THE MOU BETWEEN TAYLOR COUNTY AND THE TAYLOR COUNTY BASEBALL

ASSOCATION.

Recommended Action: APPROVE CHANGE

Fiscal Impact:

**TBD** 

Budgeted Expense:

NO

Submitted By:

LAWANDA PEMBERTON, COUNTY ADMINISTRATOR

Contact:

838-3500 EXT. 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: THE ORIGINAL MOU BETWEEN THE TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS AND THE TAYLOR COUNTY BASEBALL ASSOCIATION (TCBA) INCLUDED THE ASSUMPTION OF CONCESSIONS OPERATIONS BY YEAR THREE OF THE MEMORANDUM OF UNDERSTANDING. IN 2023 THE TCBA REQUESTED TO BE EXCUSED FROM CONCESSIONS OPERATION AND IS REQUESTING THE SAME FOR THE 2024 SEASON.

Options:

APPROVE REQUEST/ DO NOT APPROVE REQUEST

Attachments:

MOU

REQUEST FROM THE TAYLOR COUNTY BASEBALL

**ASSOCIATION** 



Jan. 12, 2024

From: Taylor County Baseball Association, Inc.

**To: Taylor County Board or County Commissioners** 

Re: Change in MOU

Lawanda,

As we discussed at our meeting the afternoon of Jan. 11, 2024, we would like to formally request a change to our MOU. Said change being:

YEAR THREE ADJUSTMENTS IN RESPONSIBILITIES item i) The league will take full responsibility of concessions. The league will provide concessions for all league games. This includes both providing all concession workers and supplies as well as retaining all profits collected form concessions.

THE LEAGUE IS REQUESTING TO BE EXCUSED FROM THIS RESPONSIBILITY.

Thank you,

**Drew Taylor- Vice President** 

Taylor County Baseball Association, Inc.

### MEMORANDUM OF UNDERSTANDING (MOU)

#### Between

The Taylor County Board of County Commissioners

and

Taylor County Baseball Association, Inc.

This is an agreement between the Taylor County Board of County Commissioners, hereinafter called *the Board* and The Taylor County Baseball Association, Inc., hereinafter called *the League*.

### I. PURPOSE AND SCOPE

The purpose of this MOU is to clearly identify the roles and responsibilities of each parties as they relate to the provision and regulation of a parent ran baseball league in Taylor County, FL.

In Particular, this MOU is intended to:

- i) Enhance the current baseball program by integrating a parent organization in the facilitation of the league.
- ii) Increase participation within the league through the enhanced role of the parent organization.
- iii) Reduce costs to the league and the Board by serving as the beginning of a transition to a wholly ran and funded baseball program by a parent organization.
- iv) Clarify the roles and responsibilities of both parties in the facilitation of the baseball program.

#### II. BACKGROUND

The city of Perry and the Board have an agreement in place to provide recreation sports leagues and recreation facilities to the residents of Taylor County. This agreement sets goals to facilitate the provision of quality recreation leagues while remaining fiscally responsible to the tax payers of Taylor County. To meet these goals of fiscal responsibility and quality service the Board has recognized that the establishment of parent organizations to facilitate recreation leagues is critical. This MOU seeks to assist in the establishment of a parent organization to ultimately be solely responsible for the facilitation and maintenance of a baseball program in Taylor County.

# III. RESPONSIBILITIES OF THE BOARD AND OF THE LEAGUE: THREE YEAR TRANSITION AGREEMENT

The Board and the League, in an effort to facilitate successful transition to a wholly ran and funded baseball program by a parent organization, have mutually agreed on a three (3) year plan which alters the responsibilities of the Board and the League as outlined below: YEAR ONE BOARD RESPONSIBILITIES:

In Year One of the Agreement, the Board shall undertake the following activities:

- i) Provide the League with registration signs.
- ii) Allow the League to use all baseball equipment currently purchased and maintained by the Board.
- iii) Purchase and provide jerseys, hats and coaches' shirts.

iv) Pay all Babe Ruth league fees and insurance premiums;

v) Provide concessions for all League Games. This include both providing all concession workers and supplies as well as retaining all profits collected from concessions.

vi) Maintain and prepare all game fields in the Taylor County Sports Complex and provide lighting in coordination with the League's scheduling.

## YEAR ONE LEAGUE RESPONSIBILITIES:

In Year One of the Agreement, the League shall undertake the following activities:

- i) Solicit and collect all registration forms and fees. Copies of all collected registration forms must be provided to County recreation staff.
- ii) Solicit and collect all sponsorship fees.
- iii) Purchase and maintain any new equipment needed for the safe facilitation of the baseball
- iv) Purchase and provide trophies and awards to program participants.

v) Assist county staff in the enforcement of league and Sports Complex rules.

vi) GATE FEES: The League will provide volunteers to collect a gate fee to be charged at the election of the league. The League will be entitled to retain any and all gate fees collected.

vii) The League will be responsible to provide and compensate umpires.

# YEAR TWO ADJUSTMENTS IN RESPONSIBILITIES:

In Year Two of the Agreement, the responsibilities of the Board and the League will be adjusted from year one only as outlined below:

- i) CONCESSIONS: The League will provide volunteers to serve in the concession area at each game hosted in the Taylor County Sports Complex. The League will be entitled to retain 50% of the profits collected at the concessions area during the times the League provides volunteers to work in the concessions area.
- iii) UNIFORMS AND TROPHIES. The League will be responsible for providing all uniforms

YEAR THREE ADJUSTMENTS IN RESPONSIBILITIES In Year Three of the Agreement, the responsibilities of the Board and the League will be adjusted from years One and Two one only as outlined below:

i) The League will take full responsibility of concessions. The League will provide concessions for all League Games. This include both providing all concession workers and supplies as well as retaining all profits collected from concessions.

ii) The League will take over all responsibilities and receipts of the League activities except that, the Board will continue to maintain and prepare all game fields in the Taylor County Sports Complex and to provide lighting in coordination with the League's scheduling.

### IV. IT IS MUTUALLY UNDERSTOOD AND AGREED BY AND BETWEEN THE PARTIES

- i) The League will retain all revenues collected from registration fees and sponsorships for the purpose of raising funds to take on more of the Board's responsibilities in future seasons.
- ii) Any and all modifications to this MOU must be mutually agreed upon in writing.
- iii) Should, in the Board's exclusive opinion, the League be found noncompliant in the roles and responsibilities outlined in this MOU, then the Board may terminate this Agreement. Upon termination of this Agreement by the Board, the League must remit the remaining balance of funds collected from participants and sponsors to the Board within thirty (30) days.

IT IS MUTUALLY UNDERSTOOD AND AGREED BY AND BETWEEN THAT: IV. This MOU shall be in effect upon the signature of the Board's and the League's authorized officials. It shall be in force from the date of execution to December 31, 2024. The Board and the League indicate agreement with this MOU by their signatures.

Signatures and dates

The Taylor County Board of County Commissioners:

Attest:

The Taylor County Baseball Association, Inc:

Witnesses:

Saulanda Penetrei



December 13, 2022

### Good morning,

According to the Memorandum of Understanding (MOU) between the Taylor County Board of County Commissioners (the Board) and the Taylor County Baseball Association, Inc (the League) set forth and executed on 07/09/21, there shall be adjustments made in responsibilities from year one to year two. Said adjustments being-

- i) CONCESSIONS: The league will provide volunteers to serve in the concession area at each game hosted in the Taylor County Sports Complex. The league will be entitled to retain 50% of the profits collected at the concessions area during the times the League provides volunteers to work in the concessions area.
- iii) UNIFORMS AND TROPHIES. The league will be responsible for providing all uniforms and trophies.

Regarding i) CONCESSIONS, due to the fact that the Board was unable to obtain adequate financial records concerning baseball season concessions for prior years, as well as the League's concern that there are not enough volunteers to provide adequate support in the concessions area during baseball games as we initially planned, the League is requesting to be excused from this responsibility.

Please note, like last year there will be baseball games scheduled on Monday, Tuesday, Thursday, and Friday. The county will need to have the concessions area open for business on all days with schedule baseball games.

Regarding iii) UNIFORMS AND TROPHIES, The League is in a good financial position to take over the cost of uniforms of trophies in year two so we will accept this responsibility as stated in the MOU.

Please contact League President Cori Johnson to make an appointment as soon as possible to meet and discuss having the MOU revisions as stated above. Cori can be reached at 850-843-2177 or <a href="mailto:corijohnson87@gmail.com">corijohnson87@gmail.com</a>.

Thank you,
Taylor County Baseball Association, Inc.



### TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:

The County Administrator to present the Annual Status Report for Economic Ad Valorem Tax Exemption for Steinhatchee Marina at Deadman's Bay.



MEETING DATE REQUESTED: February 5, 2023

Statement of Issue: To provide a report of compliance with the definition

of business expansion as needed for annual eligibility determination for ad valorem tax

exemption.

Recommended Action: Receive report

Fiscal Impact: \$8,933.48 for 2023

Budgeted Expense: N/A

Submitted By: LaWanda Pemberton, County Administrator

Contact: 850-838-3500 ext. 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: Steinhatchee Marina at Deadman's Bay applied for and was granted an Economic Development Ad Valorem Tax Exemption in 2022, anticipating a capital investment of \$6,707.318 and the creation of 35 plus jobs in 10 years.

The Board of County Commissioners adopted Ordinance 2022-04 granting an ad valorem tax exemption of 50% for 5 years. Per the attached report, Steinhatchee Marina at Deadman's Bay created 29 full time and 90 part time jobs. 40% of these employees reside in Taylor County.

Steinhatchee Marina at Deadman's Bay met the eligibility criteria for the exemption for 2023 and was granted a total of \$8,933.48 in savings.

Options: Continue/Not Continue Ad-Valorem exemption

Attachments: Original Application

2023 Annual Status Report

Ordinance 2022-04

Report from Shawna Beach, Property Appraiser



# TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 538-3500, extension 7 Phone (650) 638-3501 Fax CONRAD C. BISHOP, JR., County Attorney Post Office Box 167 Perry, Florida 32348 (850) 584-613 Phone (850) 584-2433 Fax

### Annual Status Report for Economic Ad Valorem

### Tax Exemption Programs

Business Name / DBA: Stein hutchee Marina at Dead Mun's Bay, LLC
Address: 104 First Ave. SW, Steinhatchee, 12 32359
Phone: 904 - 280 - 9243
Contact Person: Adam Tormollan - atormollanm le guail. com
Please list all improvements to real property for which the ad valorem tax exemption was granted and when the construction of improvements and/or purchases of tangible personal property was completed:  Three story marine building containing multiple uses, including retailspace, offices, a taven,  dry-stack boat storage buildings, updated bulk head, updated floating dock, and related improvements  Construction was completed July, 2022. All tangible personal property was parchased by
December, 2022.

What is the number of jobs created for the tax exemption granted? Please complete and attach Appendix A:
119, 29 full+ime and 90 part time.
What is the total number of employees for company and what percentage of these employees reside in Taylor County?  119,52 reside in Taylor County which is 44%. (12 full time and 40 part time employees reside in Taylor County)  What is the type of industry or business?:  The primary industry is a maring. The secondary industries are a bar and retail store.
What is the environmental impact of this business ?:  Neg ligible
What is the actual volume of business or production?: \$3,689, 267.11
What is the source of supplies of the business and are other business within Taylor County used to meet the supply demands of the business?:  Various vendors including businesses in Taylor County were used as sources of supplies of the business.
Signature: CCU  Printed Name: E. Chester Stoffes, Jr., as Manager  On behalf of: Steinhatchee Maring at Dead Man's Bay, UC  Date: 0//30/24

#### APPENDIX A

Please list all full time positions that were added and are currently filled by the economic incentive project.

Job Title	# of Positions	Date Position Created	Annual Salary per Job * amounts listed below are the average salary per Job	Annualized Average Value of Benefits per Job	Benefits Included
Dockhand	13	3/1/22	\$34,960.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental
Cashier	4	4/20/22	\$26,260.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental
Marina Manager	3	3/1/22	\$80,000.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental
Assistant Marina Manager	1	3/1/22	\$52,000.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental

Boat Mechanic	3	3/1/22	\$48,533.33	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental
Bar Manager	1	7/15/22	\$41,600.00	\$10,329.72	Medical, Dental, Vision, Flex Spendin Account, Life, Disability, Supplemental
Cook	1	6/21/2023	\$31,200.00	\$10,329.72	Medical, Dental, Vision, Flex Spendin Account, Life, Disability, Supplemental
Housekeeper	1	6/15/2023	\$22,880.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental
Bartender	2	7/2/22	\$22,880.00	\$10,329.72	Medical, Dental, Vision, Flex Spending Account, Life, Disability, Supplemental

### APPENDIX A - PART TIME\*

Please list all full time positions that were added and are currently filled by the economic incentive project.

\*The following list is for part time positions. Annual Salary per job is based on 25 hours per week.

Job Title	# of Positions	Date Position Created	Annual Salary per Job * amounts listed below are the average salary per Job	Annualized Average Value of Benefits per Job	Benefits Included
Dockhand	18	7/10/22	\$15,238.89	\$0	Life, Disability, Supplemental
Cashier	22	7/1/22	\$15,659.09	\$0	Life, Disability, Supplemental
Bartender	12	7/1/22	\$14,300.00	\$0	Life, Disability, Supplemental
Server	18	7/17/22	\$14,444.44	\$0	Life, Disability, Supplemental
Busser	3	7/1/22	\$15,600.00	\$0	Life, Disability, Supplemental

Dish Washer	1	9/7/22	\$14,300.00	\$0	Life, Disability, Supplemental
Maintenance	1	8/21/2023	\$15,600.00	\$0	Life, Disability, Supplemental
Systems Manager	1	6/2/2023	\$62,400.00	\$0	Life, Disability, Supplemental
Housekeeping	6	2/6/2023	\$16,033.33	\$0	Life, Disability, Supplemental
Cook	8	7/2/22	\$19,662.50	\$0	Life, Disability, Supplemental

.



TAYLOR COUNTY DEVELOPMENT AUTHORITY

### Application for Economic Development Ad Valorem Tax Exemption

### Taylor County, Florida

Applic	ant:	Steinhatchee Marina at Doub Mons Bay, LLC
Address:		104 First Ave. SW
		Stanhatchee, FL 32359
Phone	:	904-280-9243
Fax:		email address: atormollapmlegmail.com
Conta	ct Person:	Adam Tormolky
time empl average w		or organization establishing 10 or more new jobs to employ 10 or more full- vees in this state, paying an average wage for such new jobs that is above the ge in the area, which principally engages in any one or more of the following
		• • • • • • •
		ctures, processes, compounds, fabricates, or produces for sale items of sonal property at a fixed location and which comprises an industrial or ing plant; or
	☐ Is a targ	et industry business as defined in s. 288.106(2)(q);
		or organization establishing 25 or more new jobs to employ 25 or more full- yees in this state, the sales factor of which, as defined by s. 220.15(5), for the

(Attach additional pages and documents as you deem necessary)

facility with respect to which it requests an economic development ad valorem tax exemption is less than 0.50 for each year the exemption is claimed; or
An office space in this state owned and used by a business or organization newly domiciled in this state; provided such office space houses 50 or more full-time employees of such business or organization; provided that such business or organization office first begins operation on a site clearly separate from any other commercial or industrial operation owned by the same business or organization.
Any business or organization located in an area that was designated as an enterprise zone pursuant to chapter 290 as of December 30, 2015, or brownfield area that first begins operation on a site clearly separate from any other commercial or industrial operation owned by the same business or organization.
A business or organization that is situated on property annexed into a municipality and that, at the time of the annexation, is receiving an economic development ad valorem tax exemption from the county under s. 196.1995.
A business or organization establishing 10 or more new jobs to employ 10 or more full-time employees in this state, paying an average wage for such new jobs that is above the average wage in the area, which principally engages in any of the operations referred to in subparagraph (14)(a)1.; or A business or organization establishing 25 or more new jobs to employ 25 or more full-time employees in this state, the sales factor of which, as defined by s. 220.15(5), for the facility with respect to which it requests an economic development ad valorem tax exemption is less than 0.50 for each year the exemption is claimed; provided that such business increases operations on a site located within the same county, municipality, or both colocated with a commercial or industrial operation owned by the same business or organization under common control with the same business or organization, resulting in a net increase in employment of not less than 10 percent.
Any business or organization located in an area that was designated as an enterprise zone pursuant to chapter 290 as of December 30, 2015, or brownfield area that increases operations on a site located within the same zone or area colocated with a commercial or industrial operation owned by the same business or organization under common control with the same business or organization.
 This business is located in Taylor County, FL, an enterprise zone persuant
 to chapter 290 as of December 30,2015, and this will be a new business

on a site clearly seperate from any other commercial or industrial operation
owned by the same business.
Applicant requests the adoption of an ordinance granting an Economic Development Ad Valorem Property Tax Exemption.
The name and location of the new business or the expansion of an existing business is:
Steinhatchee Marina at Dad Man's Bay, LLC
104 First Ave. SW
Stein Intolee, FL 32359
The improvements to real property for which an exemption is requested are described as, and the date of commencement of construction of such improvements are:
Construction of a marina project lackeding a three story marine building containing
multiple uses, including retail space, offices, a towern, dry-stack host storage buildings,
Page 3 of 8

TAYLOR COUNTY DEVELOPMENT AUTHORITY

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updated hulkhead, updated floating lock, and rolated improvements.
Date of commoncement of construction of such improvements was 11/09/2020. Please
see attached Exhibit A - Notice of Commoncount. Expital investment to date equals \$6,707,818 with additional capital investment expected.
The tangible personal property for which an exemption is requested is described as, and the dates when such property was or is to be purchased is:
Please see attached Exhibit B - Tangible Aeronal Argorty Schoolule.
The following can serve as proof that the Applicant is a new business or an expansion of an existing business:
Please see attached Exhibit C - Taylor County Ruisness License and Building Permit.
The number of jobs the applicant expects to create along with the average wage of the jobs and whether the jobs are full-time or part-time:
Applicant expects to create 35 jobs. The average wage of the jobs is expected to be \$18.20
perhau. Applicant expects 29 of these jobs to be full-time positions and 6 of those jobs
to be part-time and/or temporary positions. Please see a Hacked Exhibit D-Projected
Tab Constan

### Page 4 of 8

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The expected time schedule for job creation is:				
April 2022	. Please see attached Exhibit D - Projected Job Creation.			
·				
<b>-</b>	number of employees of the business is:			
35. Please	see attached Echibit D-Projected Job Coation.			
The expected no	umbers of employees of the business who will reside in Taylor County is:			
27. Please	see attached Exhibit D-Projectal Job Creation.			
<del></del>				
The average wa	age of the employees of the business is or will be:			
•				
D18.64 PC	er hour. Please see attacked Exhibit D. Projected Job Creation			

Page 5 of 8

The type of industry or business is or will be:
The primary industry will be a martine. The secondary industries will be a har and industries
Hore.
The environmental impact of the business is or is expected to be:
Negligible. The environmental impart of the bassass has already been reviewed and approved
by the Suvannee River Water Management District, the Florida Department of Environmental
Protestion, and the US Army Corps of Engineers. Please see attached Exhibit E- Permit
•
The anticipated volume of business or production is:
The authorization volume of business in terms of total revenue is as follows:
Taven = \$396,000 peryear. Boat and Kayak routals = \$715,996.
Retail Store = \$ 990,000 per year. Dry stock storage = \$ 265,884 per year.
Wet stip rentals = \$394,875 per year. Total = \$2,762,755 per year.
WAS SUPPENTED - D 311, 173 per year. 10 late - De, 100, 130 per year.
Would relocation or expansion of the business occur or have occurred without the exemption?
Not sectiving the exemption would jeopardize the ability to pursue and
carry on the business.

### Page 6 of 8

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(or will it be) the	business located within an enterprise zon	e or redevelopment area?	
Yes. This ba	liness will be located in Taylor Coun	ty, FL, an exterprise ze	one
pursumt to ch	pter 290 as of December 30, 201	5.	<del></del>
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	demand for services or product produce whed Exhibit F - Costs for services re is a high demand for these	Bacel on several years	of_
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### Page 7 of 8

Signature: CC
Printed Name: E. Chester Stokes, Jr., & Manager
On behalf of: Stein hoteless Marina at Dond Many Bay, We
Date:
CERTIFICATION  I hereby certify that the foregoing Application for Economic Development Ad Valorem Property Tax Exemption was submitted to the Taylor County Development Authority on the date below.
Signature:
Date Submitted:

Page 8 of 8

TAYLOR COUNTY DEVELOPMENT AUTHORITY

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# **EXHIBIT "D" - PROJECTED JOB CREATION**

Employee Number	Description	Wage		Full-Time or Part- Time	Schedule of Job Creation	Reside in Taylor County
1	Bar Manager	25.00	Per Hour	Full-Time	Apr-22	Yes
2	Bartender - 1	18.00	Per Hour		Apr-22	Yes
3	Bartender - 2	18.00	Per Hour	Full-Time	Apr-22	Yes
4	Bartender - 3	18.00	Per Hour	Full-Time	Apr-22	Yes
5	Server -1	15.00	Per Hour	Full-Time	Apr-22	Yes
6	Server -2	15.00	Per Hour	Full-Time	Apr-22	Yes
7	Server -3	15.00	Per Hour	Full-Time	Apr-22	Yes
8	Cook - 1	18.00	Per Hour	Full-Time	Apr-22	Yes
9	Cook - 2	18.00	Per Hour	Full-Time	Apr-22	Yes
10	Cook - 3	18.00	Per Hour	Full-Time	Apr-22	Yes
11	Dishwasher - 1	15.00	Per Hour	Full-Time	Apr-22	Yes
12	Dishwasher - 2	15.00	Per Hour	Full-Time	Apr-22	Yes
13	Busser - 1	15.00	Per Hour	Full-Time	Apr-22	Yes
14	Busser - 2	15.00	Per Hour	Full-Time	Apr-22	Yes
15	Dock Manager	25.00	Per Hour	Full-Time	Apr-22	Yes
16	Assistant Dock Manager	19.00	Per Hour		Apr-22	Yes
17	Dockhand - 1	15.00	Per Hour		Apr-22	Yes
18	Dockhand - 2	15.00	Per Hour	Full-Time	Apr-22	Yes
19	Dockhand - 3	15.00	Per Hour	Full-Time	Apr-22	Yes
20	Dockhand - 4	15.00	Per Hour	Full-Time	Apr-22	Yes
21	Boat Mechanic - 1	25.00	Per Hour	Full-Time	Apr-22	Yes
22	Boat Mechanic - 2	25.00	Per Hour	Full-Time	Apr-22	Yes
23	Retail Store Manager	20.00	Per Hour	Full-Time	Apr-22	Yes
24	Cashier - 1	15.00	Per Hour		Apr-22	Yes
25	Cashier - 2	15.00	Per Hour		Apr-22	Yes
26	Cashier - 3	15.00	Per Hour	Full-Time	Apr-22	Yes
27	Cashier - 4	15.00	Per Hour	Full-Time	Apr-22	Yes
28	Marina Manager	40.00	Per Hour	Full-Time	Apr-22	No
29	Assistant Marina Manager	32.00	Per Hour	Full-Time	Apr-22	No No
30	Bartender - 4	18.00	Per Hour	Part-Time	Jul-22	No
31	Server -4	15.00	Per Hour	Part-Time		No
32	Cook - 4	18.00	Per Hour	Part-Time	Jul-22	No
33	Dishwasher - 3	15.00	Per Hour			No
34	Busser - 3	15.00	Per Hour		Jul-22	No No
35	Dockhand - 5	15.00 Per Hour Part-Time Jul-22 No				
Total Expected Full-Time Employees			-	29	·	
Total Expected Part-Time Employees		6				
	r of Employees who are to reside in Taylor County	27				
Expe	ected Average Wage	18.29 Per Hour				

### ORDINANCE NO. 2012-04

AN ORDINANCE GRANTING AN ECONOMIC DEVELOPMENT AD VALOREM TAX EXEMPTION TO STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, CORPORATION OF THE STATE OF FLORIDA; SPECIFYING THE ITEMS EXEMPTED; PROVIDING AN EXPIRATION DATE FOR THE EXEMPTION; FINDING THAT THE BUSINESS MEETS THE REQUIREMENTS OF F.S. 196.012; PROVIDING FOR PROOF OF ELIGIBILITY FOR EXEMPTION; PROVIDING A REQUIREMENT FOR AN ANNUAL REPORT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, economic development and the creation of jobs are priorities of the Taylor County Board of County Commissioners; and

WHEREAS, the citizens of Taylor County voted to authorize the Board of County Commissioners to provide economic incentives to new and/or expanding businesses in the November 2018 election; and

WHEREAS, STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, has requested that the Taylor County Board of County Commissioners exempt ad valorem taxes for its improvement to its existing facility and construction of new facility and new manufacturing equipment, in Steinhatchee; and

WHEREAS, STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, anticipates a minimum of \$6,707,818.00 in capital investment at their Steinhatchee facility during the next 10 years, and

WHEREAS, STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, anticipates a minimum of 35 quality jobs to be created at their Steinhatchee facility during the next 10 years, and

WHEREAS, the Property Appraiser has provided the Taylor County Board of County Commissioners with its report as required by Chapter 196.1995(9) F.S.; and

WHEREAS. It has been determined that STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, meets the requirements of Chapter 196.012 F.S., expansion of an existing business in Taylor County.

THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF TAYLOR COUNTY, FLORIDA, as follows:

**SECTION 1.** The Ordinance shall create Ad Valorem Tax Exemption for STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC.

**SECTION 2.** An Economic Development Ad Valorem Tax Exemption is hereby granted to STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, locating in Taylor County, at 104 First Avenue SW, Steinhatchee, Florida 32359.

(a) The total amount of revenue available to Taylor County from ad valorem tax

sources for the current fiscal year is \$13,476,181. \$121,348 is lost to Taylor County for the current fiscal year by virtue of exemptions currently in effect from previous years.

- (b) The tax exemption hereby granted shall be for a term of 5 years, commencing with the first year the new improvements and personal property are added to the assessment roll, and lasting 4 additional years thereafter, for 50% annually of the increase in taxes due to the existing facility and the construction of the new facility.
- (c) In accordance with the findings of the Board of County Commissioners and the Property Appraiser, the property hereby exempted from ad valorem tax exemption meets the definition of a new business, as defined by Chapter 196.012, Florida Statutes.
- (d) STEINHACHEE MARINA AT DEADMAN'S BAY, LLC, shall submit to the County an annual report providing evidence of continued compliance with the definition of a new business or an expansion of an existing business for each of the fiveyears during which STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, is eligible to receive ad valorem tax exemption. The annual report shall be submitted to the County Administrator by January 31 of each year. If the annual report is not received, or if the annual report indicates that STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC, no longer meets the criteria of Chapter F.S. 196.012, the County Administrator shall make a report to the Board of County Commissioners for consideration of revocation of this ordinance granting the tax exemption. The Board reserves the right to reduce the percentage of the exemption of STEINHATCHEE MARINA AT DEADMAN'S BAY, LLC.

**SECTION 3. Severability.** If any word, phrase, clause, section or portion of this Ordinance shall be held invalid or unconstitutional by a court of competent jurisdiction, such portion or words shall be deemed a separate and independent provision and such holding shall not affect the validity of the remaining portions thereof.

**SECTION 4. Effective Date.** This ordinance shall become effective immediately upon receipt of official acknowledgement from the office of the Secretary of State of Florida that this ordinance has been filed in said office.

PASSED AND ADOPTED in regular session this 1974 day of

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2022

ON THE STATE OF TH

BOARD OF COUNTY COMMISSIONERS
TAYLOR COUNTY, FLORIDA

MCOUNTI, FLORDA

THOMAS DEMPS, Chairperson

ATTEST:

COUNTY

GARY KNOWLES, Clerk

Superpufft	Taxes with Exemption	Taxes without Exemption	Difference
Real	\$8,989.19	\$33,264.68	-\$24,275.49
TPP	\$77,505.26	\$310,525.87	-\$233,020.61
		1	-\$257,296.10
Deadman's Bay	Taxes with Exemption	Taxes without Exemption	Difference
Real	\$8,865.96	\$14,068.46	-\$5,202.50
TPP	\$3,750.68	\$7,481.66	-\$3,730.98
			-\$8,933.48

Total -\$266,229.58

## TAYLOR COUNTY BOARD OF COMMISSIONERS

County Commission Agenda Item

SUBJECT/TITLE:

The County Administrator to present the Annual Status Report for Economic Ad Valorem Tax Exemption for Super-Pufft Snacks USA.



MEETING DATE REQUESTED: February 5, 2023

Statement of Issue: To provide a report of compliance with the definition

of business expansion as needed for annual eligibility determination for ad valorem tax

exemption.

Recommended Action: Receive report

Fiscal Impact: \$257,296.10 for 2023

Budgeted Expense: N/A

Submitted By: LaWanda Pemberton, County Administrator

Contact: 850-838-3500 ext. 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

History, Facts & Issues: Super-Pufft USA applied for Economic Development Ad Valorem Tax Exemption in 2019, anticipating a 20 million dollar capital investment in 2 years and the creation of 100 plus jobs in 5 years. Per the submitted report Super-Pufft has purchased new equipment and added approximately 150 new jobs since 2019.

Super-Pufft met the eligibility criteria for the exemption for 2023 and was granted a total of \$257,296.10 in savings.

Options: Continue/Not Continue Ad-Valorem exemption

Attachments: Original Application

2023 Annual Status Report

Ordinance 2019-01

Report from Shawna Beach, Property Appraiser

MALCOLM PAGE District 1 JIM MOODY District 2 SEAN MURPHY District 3 PAM FEAGLE District 4 THOMAS DEMPS District 5



# TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

ANNIE MAE MURPHY, Clerk Post Office Box 620 Perry, Florida 32348 (850) 838-3506 Phone (850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator 201 East Green Street Perry, Florida 32347 (850) 838-3501, extension 7 Phone (850) 838-3501 Fax CONRAD C. BISHOP, JR., County Attorney
Post Office Box 167
Perry, Florida 32348
(850) 584-6113 Phone
(850) 584-2433 Fax

# **Annual Status Report for Economic Ad Valorem**

## Tax Exemption Programs

Business Name / DBA:	Super-Pufft Snacks USA, Inc.
Address :	700 SuperPufft St, Perry, FL 32348
Phone:	850-371-5364
Contact Person:	Walid Amroush, President
when the construction of	nts to real property for which the ad valorem tax exemption was granted and fimprovements and/or purchases of tangible personal property was completed:

Appendix A:	ited for the tax exemption granted? Please complete and attach
157 (an additional 17 th	nis period)
What is the total number of emp Taylor County ?	ployees for company and what percentage of these employees reside
What is the type of industry or b	ousiness ? :
Manufacturing and product	tion of food products
What is the environmental impac	ct of this business ?:
Small environmental impact	t due to continually improving procedures in place to clean air. We h
	ty
	siness or production ? :
32,000,000 Lbs	
32,000,000 Lbs What is the source of supplies of	the business and are other business within Taylor County used to me
32,000,000 Lbs	the business and are other business within Taylor County used to me
What is the source of supplies of the supply demands of the busine Multiple business and ven	the business and are other business within Taylor County used to meess ?:
32,000,000 Lbs	the business and are other business within Taylor County used to meess ?:  adors in Taylor County are used to assist in manufacturing and tors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing,
32,000,000 Lbs  What is the source of supplies of the supply demands of the busine   Multiple business and ven  entertainment of clients and visite  Ragan's Ace Hardware, Stones Ho	the business and are other business within Taylor County used to meess ?:  adors in Taylor County are used to assist in manufacturing and tors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing,
32,000,000 Lbs	the business and are other business within Taylor County used to meess ?:  Indoors in Taylor County are used to assist in manufacturing and stors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing, tome Center, Ware Oil, AirGas, Fastenal, Florida Drug Screening, Perry
32,000,000 Lbs	the business and are other business within Taylor County used to meess ?:  Indoors in Taylor County are used to assist in manufacturing and stors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing, tome Center, Ware Oil, AirGas, Fastenal, Florida Drug Screening, Perry
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32,000,000 Lbs	the business and are other business within Taylor County used to meess?:  Indoors in Taylor County are used to assist in manufacturing and stors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing, Dome Center, Ware Oil, AirGas, Fastenal, Florida Drug Screening, Perry Backdoor Bistro, Johnson's Bakery, Mama's Italian Restaurant and  Signature:  Printed Name: RANDA-LL WIECLC
32,000,000 Lbs	the business and are other business within Taylor County used to meess?:  Indoors in Taylor County are used to assist in manufacturing and stors. Businesses include: WalMart, Murphy's, Gulf Coast Plumbing, Dome Center, Ware Oil, AirGas, Fastenal, Florida Drug Screening, Perry Backdoor Bistro, Johnson's Bakery, Mama's Italian Restaurant and

## APPENDIX A

Please list all full time positions that were added and are currently filled by the economic incentive project.

Job Title	# of Positions	Date Position Created	Annual Salary per Job	Annualized Average Value of Benefits per Job	Benefits Included
PMO (Packaging Machine Operator)	15	7/2019 – 12/2023	\$42,000	\$5,000	Yes
Packaging Specialist (product mixer)	15	1/2021 – 12/2023	\$31,200	\$5,000	Yes
Seasoner	15	7/2019 – 12/2023	\$45,000	\$5,000	yes
Mover (forklift, pallet jack)	8	7/2019 – 12/2023	\$41,600	\$5,000	yes
Production Supervisor	4	7/2019 — 12/2023	\$75,000	\$5,000	yes
Shift Manager	2	1/2022 - 12/2023	\$90,000	\$5,000	yes

TPM (Total Productive Maintenance)	4	7/2019 – 12/2023	\$60,000	\$5,000	Yes
Maintenance Mechanic	8	7/2019 <b>~</b> 12/2023	\$65,000	\$5,000	Yes
Electrical & Instrumentation Technicians	3	11/2023 – 12/2023	\$80,000	\$5,000	Yes
Fabricator	1	12/2023	\$90,000	\$5,000	Yes
Can Maker	6	7/2019 – 12/2023	\$50,000	\$5,000	Yes
Cooks	4	7/2019 – 12/2023	\$50,000	\$5,000	Yes
Hastamat Operator	6	7/2019 – 12/2023	\$52,000	\$5,000	Yes
Packaging Operator	6	7/2019 – 12/2023	\$50,000	\$5,000	Yes
Quality Assurance	12	7/2019 – 12/2023	\$40,000	\$5,000	Yes
SQF Coordinator (Safe Quality Foods)	1	8/2022 – 12/2023	\$65.000	\$5,000	Yes

Shipping	6	7/2019 <b>–</b> 12/2023	\$50,000	\$5,000	Yes
Shipping Supervisor	1	1/2021 – 12/2023	\$72,000	\$5,000	Yes
Warehouse Manager	1	1/2022 – 12/2023	\$90,000	\$5,000	Yes
CDL	2	7/2019 – 12/2023	\$50,000	\$5,000	Yes
Receiving	4	7/2019 – 12/2023	\$45,000	\$5,000	Yes
Receiving Supervisor	1	5/2022 – 12/2023	\$70,000	\$5,000	Yes
Sanitation	13	7/2019 – 12/2023	\$31,200	\$5,000	Yes
Waste Water Treatment Operator	4	7/2019 – 12/2023	\$58,000	\$5,000	Yes
Customer Service Representative	2	7/2019 – 12/2023	\$55,000	\$5,000	Yes
Purchasing / Supply Chain	3	7/2019 — 12/2023	\$77,000	\$5,000	Yes
Controller	1	2/2021 – 12/2023	\$120,000	\$5,000	Yes

Accounting Manager	1	12/2022 – 12/2023	\$80,000	\$5,000	Yes
Payroll Specialist	1	7/2021 – 12/2023	\$75,000	\$5,000	Yes
IT Manager	1	4/2021 - 12/2023	\$100,000	\$5,000	Yes
IT Support	1	5/2022 – 12/2023	\$30,000	\$5,000	Yes
Security Guard	5	8/2022 – 12/2023	\$37,000	\$5,000	Yes



TAYLOR COUNTY DEVELOPMENT AUTHORITY

# Application for Economic Development Ad Valorem Tax Exemption

Taylor County, Florida

Applica	ant:	Super-Pufft Snacks USA, Inc
Addres		700 Lance Dr W
		Perry, FL 32348
Phone:		786-239-2533
Fax:		
	t Person:	Mahmoud Armouch
Applic	A business or	check all that apply, but at least one, and describe below how checked criteria): organization establishing 10 or more new jobs to employ 10 or more fullers in this state, paying an average wage for such new jobs that is above the
	average wage operations:	in the area, which principally engages in any one or more of the following
		res, processes, compounds, fabricates, or produces for sale items of nal property at a fixed location and which comprises an industrial or plant; or
	☐ Is a target	industry business as defined in s. 288.106(2)(q);
		organization establishing 25 or more new jobs to employ 25 or more fulles in this state, the sales factor of which, as defined by s. 220.15(5), for the

(Attach additional pages and documents as you deem necessary)

	facility with respect to which it requests an economic development ad valorem tax exemption is less than 0.50 for each year the exemption is claimed; or
	An office space in this state owned and used by a business or organization newly domiciled in this state; provided such office space houses 50 or more full-time employees of such business or organization; provided that such business or organization office first begins operation on a site clearly separate from any other commercial or industrial operation owned by the same business or organization.
	Any business or organization located in an area that was designated as an enterprise zone pursuant to chapter 290 as of December 30, 2015, or brownfield area that first begins operation on a site clearly separate from any other commercial or industrial operation owned by the same business or organization.
	A business or organization that is situated on property annexed into a municipality and that, at the time of the annexation, is receiving an economic development ad valorem tax exemption from the county under s. 196.1995.
	A business or organization establishing 10 or more new jobs to employ 10 or more full-time employees in this state, paying an average wage for such new jobs that is above the average wage in the area, which principally engages in any of the operations referred to in subparagraph (14)(a)1.; or A business or organization establishing 25 or more new jobs to employ 25 or more full-time employees in this state, the sales factor of which, as defined by s. 220.15(5), for the facility with respect to which it requests an economic development ad valorem tax exemption is less than 0.50 for each year the exemption is claimed; provided that such business increases operations on a site located within the same county, municipality, or both colocated with a commercial or industrial operation owned by the same business or organization under common control with the same business or organization, resulting in a net increase in employment of not less than 10 percent or an increase in productive output or sales of not less than 10 percent.
$\square$	Any business or organization located in an area that was designated as an enterprise zone pursuant to chapter 290 as of December 30, 2015, or brownfield area that increases operations on a site located within the same zone or area colocated with a commercial or industrial operation owned by the same business or organization under common control with the same business or organization.

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	doption of an ordinance granting an Economic
Development Ad Valorem Prop	perty Tax Exemption.
Development Ad Valorem Prop  The name and location of the nev	
Development Ad Valorem Prop The name and location of the nev 700 Lance Dr W	perty Tax Exemption.
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Development Ad Valorem Prop The name and location of the nev 700 Lance Dr W	perty Tax Exemption.
The name and location of the new 700 Lance Dr W Perry, FL 32348  The improvements to real proper	perty Tax Exemption.
Development Ad Valorem Prop The name and location of the nev 700 Lance Dr W Perry, FL 32348  The improvements to real proper date of commencement of constr	ty for which an exemption is requested are described as, and

Page 3 of 10

The tangible personal property for which an exemption is requested is described as, and the dates when such property was or is to be purchased is:
Purchase of new manufacturing equipment. Purchases are proposed to
start sometime in 2019 and continue until proposed project is completed.
The following can serve as proof that the Applicant is a new business or an expansion of an existing business:  Attached map showing facility is located within an area that was designated
as an enterprise zone as of 12/31/2015.
TCDA can also validate zone boundary.
The number of jobs the applicant expects to create along with the average wage of the jobs and whether the jobs are full-time or part-time:
If project proceeds, applicant would expect to increase net employment
by at least 100 full time jobs over the next 5 years.
Average wage will be in excess of \$30,000 per year.

the anticipated number of employees of the business is: The business would anticipate total employment of over 150 FTE The expected numbers of employees of the business who will reside in Taylor County
The business would anticipate total employment of over 150 FTE
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he expected numbers of employees of the business who will reside in Taylor County
he business anticipates that over 90% if the employees would re-
vithin Taylor County
The average wage of the employees of the business is or will be:
The average wage of the business would be in excess of 30,000

The type of industry or business is or will be:			
The business is a manufacturer of snack products			
The environmental impact of the business is or is expected to be:			
Waste Water Treatment Current Permit with DACS is in force.			
No anticipated would require increased or further environmental permitting			
The anticipated volume of business or production is:			
Production would increase to approximately 16,000 lbs per hour			
Production would increase to approximately 10,000 los per flour			
Would relocation or expansion of the business occur or have occurred without the exemption?			
Expansion is dependent on approval of a combination of local, state, and			
federal incentives, including the exemption. Lack of exemption would			

Page 6 of 10

greatly affect decision and could jeopardize the project		
Is (or will it be) the business located within an enterprise zone or redevelopment area?		
The business is currently located within an enterprise zone and the	! 	
proposed expansion would take place on the same parcel of land		
What is the cost and demand for services or product produced by the business?		
Average cost per unit is \$.80 and demand for product is strong due	to the	
increased prominence of private label snacks in retail environments	s.	
What is (or will be) the source of supplies of the business and will other businesses in will be used to meet the supply demands of the business?	the county	
While most raw materials are not available within the county, other	supplies	
that are available will be sourced from local suppliers when possible	le.	
For any construction, local resources will be encourages to bid on	the	
project and when feasible will be given preference		

Signature:	500			
Printed Name:	Mahmoud Armouch			
On behalf of:	Super-Pufft Snacks USA, Inc			
Date:	12/09/2018			
CERTIFICATION  I hereby certify that the foregoing Application for Economic Development Ad Valorem Property Tax Exemption was submitted to the Taylor County Development Authority on the date below.				
Signature:				

Date Submitted:

Page 8 of 10

## ordinance no. 2019-01

AN ORDINANCE GRANTING AN ECONOMIC DEVELOPMENT AD VALOREM TAX EXEMPTION TO SUPER-PUFFT SNACKS USA, INC. CORPORATION OF THE STATE OF FLORIDA; SPECIFYING THE ITEMS EXEMPTED; PROVIDING AN EXPIRATION DATE FOR THE EXEMPTION; FINDING THAT THE BUSINESS MEETS THE REQUIREMENTS OF F.S. 196.012; PROVIDING FOR PROOF OF ELIGIBILITY FOR EXEMPTION; PROVIDING A REQUIREMENT FOR AN ANNUAL REPORT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, economic development and the creation of jobs are priorities of the Taylor County Board of County Commissioners; and

WHEREAS, the citizens of Taylor County voted to authorize the Board of County Commissioners to provide economic incentives to new and/or expanding businesses in the November 2018 election; and

WHEREAS, SUPER-PUFFT SNACKS, USA, INC., has requested that the Taylor County Board of County Commissioners exempt ad valorem taxes for its improvement to its existing facility and construction of new facility and new manufacturing equipment, in Perry; and

whereas, SUPER-PUFFT SNACKS, USA, INC., anticipates a minimum of \$20,000.000 in capital investment at their Perry facility during the next 4200 years, and

WHEREAS, SUPER-PUFFT SNACKS, USA, INC., anticipates a minimum of 100 quality jobs to be created at their Perry facility during the next (s)

WHEREAS, the Property Appraiser has provided the Taylor County Board of County Commissioners with its report as required by Chapter 196.1995(9) F.S.; and

WHEREAS. It has been determined that SUPER-PUFFT SNACKS, USA, INC., meets the requirements of Chapter 196.016 F.S., expansion of an existing business in Taylor County.

THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF TAYLOR COUNTY, FLORIDA, as follows:

**SECTION 1.** The Ordinance shall create Ad Valorem Tax Exemption for SUPER-PUFFT SNACKS, USA, INC.

SECTION 2. An Economic Development Ad Valorem Tax Exemption is hereby granted to SUPER-PUFFT SNACKS, USA, INC., locating in Taylor County, at 700 Lance Drive West, Perry, Florida 32348.

(a) The total amount of revenue available to Taylor County from ad valorem tax sources for the current fiscal year is \$9.729, 240.00. \$ 6.505.00 is lost to Taylor County for the current fiscal year by virtue of exemptions currently in effect from previous years.

- (b) The tax exemption hereby granted shall be for a term of 10 years, commencing with the first year the new improvements and personal property are added to the assessment roll, and lasting 9 additional years thereafter, for 75% annually of the increase in taxes due to the existing facility and the construction of the new facility.
- (c) In accordance with the findings of the Board of County Commissioners and the Property Appraiser, the property hereby exempted from ad valorem tax exemption meets the definition of a new business, as defined by Chapter 196.012, Florida Statutes.
- (d) SUPER-PUFFT SNACKS, USA, INC., shall submit to the County an annual report providing evidence of continued compliance with the definition of a new business or an expansion of an existing business for each of the ten years during which SUPER-PUFFT SNACKS, USA, INC., is eligible to receive ad valorem tax exemption. The annual report shall be submitted to the County Administrator by January 31 of each year. If the annual report is not received, or if the annual report indicates that SUPER-PUFFT SNACKS, USA, INC., no longer meets the criteria of Chapter F.S. 196,012, the County Administrator shall make a report to the Board of County Commissioners for consideration of revocation of this ordinance granting the tax exemption. The Board reserves the right to reduce the percentage of the exemption of SUPER-PUFFT SNACKS, USA, INC.
- SECTION 3. Severability. If any word, phrase, clause, section or portion of this Ordinance shall be held invalid or unconstitutional by a court of competent jurisdiction, such portion or words shall be deemed a separate and independent provision and such holding shall not affect the validity of the remaining portions thereof.

**SECTION 4.** Effective Date. This ordinance shall become effective immediately upon receipt of official acknowledgement from the office of the Secretary of State of Florida that this ordinance has been filed in said office.

PASSED AND ADOPTED in regular session this Liday of Optil, 2019.

BOARD OF COUNTY COMMISSIONERS
TAYLOR COUNTY, FLORIDA

PAM FEAGLE, Chairperson

ATTEST:

ANNIE MAE MURPHY, Clerk

Sec. 70-41. - All exemptions granted are conditional.

All exemptions granted pursuant to this article shall be conditioned upon the applicant maintaining the new business or the expansion of an existing business, as defined in section 70-35, for the duration of time in which the exemption was granted. In addition the application is conditioned upon the applicant submitting an annual report to the commission evidencing the satisfaction of this condition. The report shall be on a form adopted by the county. The report shall be received by the commission no later than January 31 of each year. The applicant shall also submit any other information or reports as the commission deems reasonably necessary for purposes of determining whether the applicant is complying with the terms, conditions, and intent and purpose of this article, the terms and conditions of the ordinance granting the exemption, and any representations made in the application process.

(Ord. No. 2009-08, § 11, 5-4-2009)

Superpufft	Taxes with Exemption	Taxes without Exemption	Difference
Real	\$8,989.19	\$33,264.68	-\$24,275.49
TPP	\$77,505.26	\$310,525.87	-\$233,020.61
			-\$257,296.10
Deadman's Bay	Taxes with Exemption	Taxes without Exemption	Difference
Real	\$8,865.96	\$14,068.46	-\$5,202.50
TPP	\$3,750.68	\$7,481.66	-\$3,730.98
			-\$8,933.48

Total -\$266,229.58

## ADDITIONS/CHANGES TO THE AGENDA

February 5, 2024

#### **REMOVE**

#### **CONSENT ITEMS**

16. THE BOARD TO RATIFY THE SIGNATURE OF THE COUNTY ADMINISTRATOR ON THE FLORIDA DEPARTMENT OF TRANSPORTATION WORK PROGRAM PRIORITY SUBMISSION, AS AGENDAED BY THE COUNTY ENGINEER