

**SUGGESTED AGENDA**

**TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS  
PERRY, FLORIDA**

**MONDAY, NOVEMBER 6, 2023  
6:00 P.M.**

**201 E. GREEN STREET  
TAYLOR COUNTY ADMINISTRATIVE COMPLEX  
OLD POST OFFICE**

**CONFERENCE LINE: 1-917-900-1022  
ACCESS CODE: 32347#**

**THIS IS NOT A TOLL-FREE NUMBER AND YOU MAY BE SUBJECT TO  
LONG DISTANCE CHARGES, ACCORDING TO YOUR LONG-  
DISTANCE PLAN.**

**When the chairperson opens the meeting for public comment, please follow the below  
instructions:**

**If you wish to speak please dial \*5. The moderator will unmute your line when it is your turn to  
speak, and notify you by announcing the last 4 digits of your telephone number. Please  
announce your name and address. You will be allowed to speak for 3 minutes.**

**NOTICE IS HEREBY GIVEN, PURSUANT TO FLORIDA STATUTES  
286.0105, THAT ANY PERSONS DECIDING TO APPEAL ANY MATTER  
CONSIDERED AT THIS MEETING WILL NEED A RECORD OF THE  
MEETING AND MAY NEED TO ENSURE THAT A VERBATIM RECORD OF  
THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE  
TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE  
BASED.**

**ANY PERSON WISHING TO ADDRESS THE BOARD REGARDING AN  
AGENDAED ITEM WILL BE GIVEN THREE (3) MINUTES FOR COMMENT.  
A COMMENTER MAY ONLY SPEAK ONE (1) TIME FOR EACH AGENDAED  
ITEM.**

1. Prayer
2. Pledge of Allegiance
3. Approval of Agenda

AWARDS/RECOGNITIONS:

4. THE BOARD TO PRESENT THE 2023 CITIZEN OF THE YEAR AWARD TO GARY AND NORMA HOLDEN FOR THEIR MANY YEARS OF SERVICE TO THE CITIZENS OF TAYLOR COUNTY.
5. THE BOARD TO CONSIDER APPROVAL OF DRAFT RESOLUTION DEDICATING TAYLOR COUNTY FIRE STATION 4 IN MEMORY OF CHARLES MINCY, AS AGENDAED BY THE COUNTY ADMINISTRATOR.

CONSENT ITEMS:

6. THE APPROVAL OF MINUTES OCTOBER 17, 2023 AND OCTOBER 24, 2023.
7. EXAMINATION AND APPROVAL OF INVOICES.
8. THE BAORD TO CONSIDER ADOPTION OF RESOLUTIONS TO REFLECT UNANTICIPATED MONIES FOR A PARTICULAR PURPOSE, AS AGENDAED BY DANNIELLE WELCH, COUNTY FINANCE DIRECTOR.
9. THE BOARD TO CONSIDER APPROVAL OF REQUEST TO ADVERTISE, INVITATION TO BID, AND BID FORMS FOR THE REHABILITATION OF ONE HOME AND DEMOLITION AND CONSTRUCTION OF FOUR HOMES THROUGH THE CDBG PROGRAM, AS AGENDAED BY JAMI EVANS, GRANTS COORDINATOR.
10. THE BOARD TO CONSIDER APPROVAL OF SATISFACTION OF DEFERRED PAYMENT LOAN AGREEMENT FOR DANIEL AND PATRICIA STUCKEY WHO RECEIVED REHABILITATION ASSISTANCE THROUGH THE SHIP PROGRAM IN AUGUST 2018, AS AGENDAED BY THE GRANTS COORDINATOR.
11. THE BOARD TO CONSIDER APPROVAL OF TAYLOR COUNTY COASTAL STEWARDSHIP PROJECT REIMBURSEMENT GRANT AMENDMENT, AS AGENDAED BY VICTOR BLANCO, MARINE AGENT.

12. THE BOARD TO CONSIDER APPROVAL OF REQUEST TO RATIFY THE SIGNATURE OF THE CHAIRPERSON ON THE LEASE FOR THE PROPERTY WITH THE U.S. GENERAL SERVICES ADMINISTRATION (GSA) AT THE PERRY-FOLEY AIRPORT, AS AGENDAED BY LAWANDA PEMBERTON, COUNTY ADMINISTRATOR.
13. THE BOARD TO CONSIDER APPROVAL OF LEASE AGREEMENT FOR COPIER LOCATED AT THE TAYLOR COUNTY ADMINISTRATIVE COMPLEX, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
14. THE BOARD TO CONSIDER APPROVAL OF MAINTENANCE AND SUPPLY AGREEMENT AND ACCOMPANYING LEASE AGREEMENT FOR COPIER LOCATED AT THE TAYLOR COUNTY PUBLIC LIBRARY, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
15. THE BOARD TO CONSIDER APPROVAL OF DRAFT LETTER OF SUPPORT FOR THE TAYLOR COUNTY DEVELOPMENT AUTHORITY, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
16. THE BOARD TO CONSIDER APPROVAL OF LETTER OF SUPPORT FOR RURAL INFRASTRUCTURE GRANT APPLICATION, AS AGENDAED BY THE COUNTY ADMINISTRATOR.

PUBLIC REQUESTS:

17. THE BOARD TO CONSIDER APPROVAL OF REQUEST FOR FUNDING FOR ENVIRONMENTAL CONSULTING SERVICES FROM DUE DILIGENCE ASSOCIATES, INC., AS AGENDAED BY MICHELE CURTIS, CITIZENS ACTION TASK FORCE CHAIRPERSON.

CONSTITUTIONAL OFFICERS/OTHER GOVERNMENTAL UNITS:

18. THE BOARD TO APPOINT TWO MEMBERS OF THE BOARD OF COUNTY COMMISSIONERS (ONE MEMBER AND AONE ALTERNATE) TO THE TAYLOR COUNTY CANVASSING BOARD FOR THE 2024 ELECTION CYCLE, AS AGENDAED BY DANA SOUTHERLAND, SUPERVISOR OF ELECTIONS.

GENERAL BUSINESS:

19. NICHOLAS WARREN, AMERICAN CIVIL LIBERTIES UNION FOUNDATION STAFF ATTORNEY, TO DISCUSS REDISTRICTING IN TAYLOR COUNTY.

COUNTY ATTORNEY ITEMS:

20. THE COUNTY ATTORNEY TO DISCUSS OPIOD CLASS ACTION SETTLEMENT.

COUNTY ADMINISTRATOR ITEMS:

21. THE BOARD TO CONSIDER WAIVER OF FEMA HOUSING PERMITTING FEES THROUGH DECEMBER 2023, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
22. THE BOARD TO CONSIDER APPROVAL OF LETTER REQUESTING WAIVER OF MATCH TO THE ECONOMIC DEVELOPMENT ADMINISTRATION FOR THE PREPARATION OF SHORT AND LONG TERM RECOVERY PLAN, AS AGENDAED BY THE COUNTY ADMINISTRATOR.
23. THE COUNTY ADMINISTRATOR TO DISCUSS INFORMATIONAL ITEMS.
24. COMMENTS AND CONCERNS FROM THE PUBLIC FOR NON-AGENDAED ITEMS:
25. BOARD INFORMATIONAL ITEMS:

Motion to Adjourn

FOR YOUR INFORMATION:

- THE AGENDA AND ASSOCIATED DOCUMENTATION, IF APPLICABLE, IS AVAILABLE TO THE PUBLIC ON THE FOLLOWING WEBSITE:

[www.taylorcountygov.com](http://www.taylorcountygov.com)

- IF YOU ARE A PERSON WITH A DISABILITY WHO NEEDS ANY ACCOMODATION IN ORDER TO PARTICIPATE IN THIS PROCEEDING, YOU ARE ENTITLED, AT NO COST TO YOU, TO THE PROVISION OF CERTAIN ASSISTANCE. PLEASE CONTACT MARSHA DURDEN, ASSISTANT COUNTY ADMINISTRATOR, 201 E. GREEN STREET, PERRY, FLORIDA, 850-838-3500, EXT.7, WITHIN TWO (2) WORKING DAYS OF THIS PROCEEDING.
- BALLOTS USED TO APPOINT CITIZENS TO ADVISORY COMMITTEES AND ADVISORY BOARDS ARE AVAILABLE FOR PUBLIC INSPECTION AFTER THE MEETING AND ARE RETAINED AS PART OF THE PUBLIC RECORD.



# **TAYLOR COUNTY BOARD OF COMMISSIONERS**

## ***County Commission Agenda Item***

**SUBJECT/TITLE:** The Board to consider approval of draft Resolution dedicating Taylor County Fire Station 4 to in memory of Charles Mincy.



**MEETING DATE REQUESTED:** November 6, 2023

**Statement of Issue:** To provide appreciation of Mr. Mincy's years of service.

**Recommended Action:** Approve

**Fiscal Impact:** N/A

**Budgeted Expense:** N/A

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

### **SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** The Board of County Commissioners would like to extend its appreciation and admiration to the family of Charles Mincy and recognize his countless hours of dedicated service, loyalty and devotion to his duties.

**Options:**

**Attachments:** Draft Resolution

**RESOLUTION**

**A RESOLUTION DEDICATING TAYLOR COUNTY FIRE RESCUE STATION 4  
(ECONFINA DISTRICT)  
IN MEMORY OF CHARLES MINCY FOR HIS OVER 50 YEARS OF DEDICATED  
SERVICE AS A  
VOLUNTEER FIRE FIGHTER IN TAYLOR COUNTY**

**WHEREAS**, the Board of County Commissioners have been advised that CHARLES MINCY has passed away, and

**WHEREAS**, MR. MINCY provided volunteer fire service to Taylor County for over 50 years;

**WHEREAS**, the lives and property of the citizens of Taylor County were made safer by his valuable years of service.

**WHEREAS**, the Board wishes to publicly recognize MR. MINCY for the many years of dedicated service to our County, and;

**NOW, THEREFORE BE IT RESOLVED** that the Taylor County Board of County Commissioners, on behalf of the citizens of Taylor County, extends its appreciation and admiration to the family of Charles Mincy and recognize his countless hours of dedicated service, loyalty and devotion to his duties over the past 50 years.

**BE IT RESOLVED** that a copy of this resolution be furnished to the MINCY family and that a copy be placed in the minutes of this Board.

**DONE AND ORDERED** in regular session at Perry, Taylor County, Florida, this day of \_\_\_\_\_, 2023.

**BOARD OF COUNTY COMMISSONERS  
OF TAYLOR COUNTY**

\_\_\_\_\_  
Jamie English, Chairperson

**ATTEST:**

\_\_\_\_\_  
Gary Knowles, Clerk of Courts

(8)

**R E S O L U T I O N**

**IN COMPLIANCE** to the laws of the State of Florida, as per Florida Statute 129.06(b), the undersigned Clerk and Auditor for the Board of County Commissioners of Taylor County, Florida, made and prepared the following budget changes to reflect unanticipated monies for a particular purpose which caused the **MSTU FUND** for the fiscal period ending September 30, 2024, to be in excess of the advertised budget.

**BE IT RESOLVED** that the listed receipts and appropriations be added to, included in and transferred to the **MSTU FUND** budget for the fiscal year ending September 30, 2024.

| <u>Amount</u> | <u>Account</u> | <u>Account Name</u>                                     |
|---------------|----------------|---|
| Revenue:      |                |   |
| \$ 10,176     | 107-3312012    | Vol. Fire Assistance(Federal)Grant                      |
| Expenditures: |                |   |
| \$ 20,352     | 0195-55201     | Vol. Fire Asst. Grant-<br>General Operating Supplies    |
| \$ (10,176)   | 0192-55201     | Transfer Match Requirement -<br>Fire - Gen. Op.Supplies |
| \$ 10,176     |                | <b>Net Increase in Overall Budget</b>                   |

**NOW THEREFORE BE IT RESOLVED** by the Board of County Commissioners of Taylor County, Florida, that they do approve as provided by law this resolution this 6th day of November, 2023 at Perry, Taylor County, Florida, to amend the budget for the fiscal period ending September 30, 2024 with a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried unanimously.

\_\_\_\_\_  
Gary Knowles, Clerk-Auditor

\_\_\_\_\_  
Chairman

**New Grant Awarded**

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FLORIDA DEPARTMENT  
OF AGRICULTURE AND  
CONSUMER SERVICES

FLORIDA FOREST SERVICE

FOREST PROTECTION BUREAU



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VFA Grant Approval Notice

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**PAGES:** 1 of 2

**TO:** Volunteer Fire Assistance Grant Recipient

**FROM:** Kasie Crowe, Fire Resource Manager

**PHONE:** (850) 681-5918

**FAX:** (850) 681-5901

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Attached you will find a list of approved items for purchase through the VFA Grant Program. The "AMOUNT APPROVED" column lists the amount that was approved to spend, the column marked "FED COST SHARE (50%)" is the total possible **to be reimbursed**. The recipient can spend up to the approved amount but will only get reimbursed for half of that amount.

Please remember to provide the complete Proof-of-Purchase package (ex. copy of check, invoice with zero balance) for approved items to be reimbursed. **Invoices must be stamped paid, marked "all items received" and indicate a check number or payment type.**

Send Proof-of-Purchase package with Certificate of Expenditure to our office for reimbursement:

VFA Grants - Room 290  
Florida Forest Service  
3125 Conner Boulevard  
Tallahassee, Florida 32399-1650

The **Certificate of Expenditure** must be **signed and notarized** and returned with the Proof-of-Purchase package. Copies of the Certificate of Expenditure can be found on our website at: <http://forms.freshfromflorida.com/11485.pdf>. Please remember that the sooner the proof-of-purchase package is returned, the sooner we can reimburse the 50% match.

2022 APPROVED FEDERAL COST SHARE

05 Taylor

Taylor County BOCC

| AMOUNT APPROVED  | FED COST SHARE (50%) | NUMBER | DESCRIPTION |
|------------------|----------------------|--------|-------------|
| \$20,352         | \$10,176.00          | 6      | Bunker Gear |
| FIRE DEPT. TOTAL | \$10,176.00          |        |             |

(8)

R E S O L U T I O N

IN COMPLIANCE to the laws of the State of Florida, as per Florida Statute 129.06(b), the undersigned Clerk and Auditor for the Board of County Commissioners of Taylor County, Florida, made and prepared the following budget changes to reflect unanticipated monies for a particular purpose which caused the **GENERAL FUND** for the fiscal period ending September 30, 2024, to be in excess of the advertised budget.

BE IT RESOLVED that the listed receipts and appropriations be added to, included in and transferred to the **GENERAL FUND** budget for the fiscal year ending September 30, 2024.

| <u>Amount</u> | <u>Account</u> | <u>Account Name</u>                |
|---------------|----------------|------------------------------------|
| Revenue:      |                |                                    |
| \$1,677,645   | 001-3342016    | FDLE/Jail Expansion Grant          |
| Expenditures: |                |                                    |
| \$1,677,645   | 0200-01-53401  | JailExpansion/FDLE-Contractual Svs |

NOW THEREFORE BE IT RESOLVED by the Board of County Commissioners of Taylor County, Florida, that they do approve as provided by law this resolution this 6th day of November, 2023 at Perry, Taylor County, Florida, to amend the budget for the fiscal period ending September 30, 2024 with a motion by Commissioner\_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried unanimously.

\_\_\_\_\_  
Gary Knowles, Clerk-Auditor

\_\_\_\_\_  
Chairman

Grant Balance at FYE'23 not budgeted in FY'24

✓

SUNGARD PENTAMATION, INC.  
DATE: 10/30/2023  
TIME: 08:47:07

TAYLOR COUNTY BOARD OF COMMISSIONERS  
EXPENDITURE AUDIT TRAIL

PAGE NUMBER: 1  
AUDIT21

SELECTION CRITERIA: expledgr.key\_orgn='0200-01'  
ACCOUNTING PERIODS: 1/23 THRU 13/23

SORTED BY: FUND,FUNCTION,ACTIVITY,TOTL/DEPT,ACCOUNT

TOTALED ON: FUND,TOTL/DEPT

PAGE BREAKS ON: FUND,TOTL/DEPT

FUND - 001 - GENERAL FUND  
FD/DEPT - 0200-01 - JAIL EXPANSION/FDLE GRANT

| ACCOUNT   | DATE                     | T/C   | ENCUMBRANC  | REFERENCE | VENDOR                | BUDGET        | EXPENDITURES | ENCUMBRANCES | DESCRIPTION               | CUMULATIVE<br>BALANCE |
|---|--------------------------|-------|-------------|-----------|-----------------------|---------------|--------------|--------------|---------------------------|-----------------------|
| 001-520-523-0200-01-0200-01 - JAIL EXPANSION/FDLE GRANT |                          |       |             |           |                       |               |              |              |                           |                       |
| 53401   | CONTRACTUAL SERVICES     |       |             |           |                       | .00           | .00          | .00          | BEGINNING BALANCE         |                       |
|   | 12/06/22                 | 25-3  |             | 20230029  |                       | 4,617,500.00  |              |              | GRANT                     |                       |
|   | 12/06/22                 | 11-3  |             |           |                       | .00           |              |              |                           |                       |
|   | 01/10/23                 | 17-4  | 20230565-01 |           | 7873 ALLSTATE CONSTRU |               |              | 4,617,500.00 | DESIGN/BUILD CONSTRUCTION |                       |
|   | 04/03/23                 | 21-7  | 20230565-01 | 69402     | 7873 ALLSTATE CONSTRU |               | 552,449.22   | -552,449.22  | DESIGN/BUILD CONSTRUCTION |                       |
|   | 06/05/23                 | 21-9  | 20230565-01 | V69748    | 7873 ALLSTATE CONSTRU |               | 85,195.35    | -85,195.35   | DESIGN/BUILD CONSTRUCTION |                       |
|   | 06/20/23                 | 21-9  | 20230565-01 | V69823    | 7873 ALLSTATE CONSTRU |               | 286,975.26   | -286,975.26  | DESIGN/BUILD CONSTRUCTION |                       |
|   | 07/18/23                 | 21-10 | 20230565-01 | V69966    | 7873 ALLSTATE CONSTRU |               | 248,495.60   | -248,495.60  | DESIGN/BUILD CONSTRUCTION |                       |
|   | 08/22/23                 | 21-11 | 20230565-01 | V70132    | 7873 ALLSTATE CONSTRU |               | 166,210.06   | -166,210.06  | DESIGN/BUILD CONSTRUCTION |                       |
|   | 09/19/23                 | 21-12 | 20230565-01 | V70289    | 7873 ALLSTATE CONSTRU |               | 336,708.43   | -336,708.43  | DESIGN/BUILD CONSTRUCTION |                       |
|   | 10/17/23                 | 21-13 | 20230565-01 | V70431    | 7873 ALLSTATE CONSTRU |               | 198,770.41   | -198,770.41  | DESIGN/BUILD CONSTRUCTION |                       |
| TOTAL   | CONTRACTUAL SERVICES     |       |             |           |                       | 4,617,500.00  | 1,874,804.33 | 2,742,695.67 |                           | .00                   |
| 56200   | CAPITAL OUTLAY-BUILDINGS |       |             |           |                       | .00           | .00          | .00          | BEGINNING BALANCE         |                       |
|   | 12/05/22                 | 11-3  |             |           |                       | .00           |              |              |                           |                       |
|   | 12/05/22                 | 13-3  |             |           |                       | 4,617,500.00  |              |              | NEW FY'23 GRANT           |                       |
|   | 12/06/22                 | 25-3  |             | 20230029  |                       | -4,617,500.00 |              |              | GRANT                     |                       |
| TOTAL   | CAPITAL OUTLAY-BUILDINGS |       |             |           |                       | .00           | .00          | .00          |                           | .00                   |
| TOTAL TOTL/DEPT - JAIL EXPANSION/FDLE GRANT             |                          |       |             |           |                       | 4,617,500.00  | 1,874,804.33 | 2,742,695.67 |                           | .00                   |
| TOTAL FUND - GENERAL FUND                               |                          |       |             |           |                       | 4,617,500.00  | 1,874,804.33 | 2,742,695.67 |                           | .00                   |
| TOTAL REPORT  |                          |       |             |           |                       | 4,617,500.00  | 1,874,804.33 | 2,742,695.67 |                           | .00                   |

Bal @ FYE'23.00  
(before void encumbrance)  
PO/20230565  
Tavich

\* THERE IS A NOTE ASSOCIATED WITH THIS TRANSACTION

SUNGARD PENTAMATION, INC.  
DATE: 10/30/2023  
TIME: 08:47:41

TAYLOR COUNTY BOARD OF COMMISSIONERS  
EXPENDITURE AUDIT TRAIL

PAGE NUMBER: 1  
AUDIT21

SELECTION CRITERIA: expledgr.key\_orgn='0200-01'  
ACCOUNTING PERIOD: 1/24

SORTED BY: FUND,FUNCTION,ACTIVITY,TOTL/DEPT,ACCOUNT

TOTALED ON: FUND,TOTL/DEPT

PAGE BREAKS ON: FUND,TOTL/DEPT

FUND - 001 - GENERAL FUND  
FD/DEPT - 0200-01 - JAIL EXPANSION/FDLE GRANT

| ACCOUNT<br>DATE   | T/C | ENCUMBRANC | REFERENCE                | VENDOR | BUDGET       | EXPENDITURES | ENCUMBRANCES | DESCRIPTION               | CUMULATIVE<br>BALANCE |
|---|-----|------------|--------------------------|--------|--------------|--------------|--------------|---------------------------|-----------------------|
| 001-520-523-0200-01-0200-01 - JAIL EXPANSION/FDLE GRANT |     |            |                          |        |              |              |              |                           |                       |
| 53401   |     |            | CONTRACTUAL SERVICES     |        | .00          | .00          | .00          | BEGINNING BALANCE         |                       |
| 10/01/23  |     |            | 11-1                     |        | 1,065,051.00 |              |              | POSTED FROM BUDGET SYSTEM |                       |
| TOTAL   |     |            | CONTRACTUAL SERVICES     |        | 1,065,051.00 | .00          | .00          |                           | 1,065,051.00          |
| 56200   |     |            | CAPITAL OUTLAY-BUILDINGS |        | .00          | .00          | .00          | BEGINNING BALANCE         |                       |
| 10/01/23  |     |            | 11-1                     |        | .00          |              |              | POSTED FROM BUDGET SYSTEM |                       |
| TOTAL   |     |            | CAPITAL OUTLAY-BUILDINGS |        | .00          | .00          | .00          |                           | .00                   |
| TOTAL TOTL/DEPT - JAIL EXPANSION/FDLE GRANT             |     |            |                          |        | 1,065,051.00 | .00          | .00          |                           | 1,065,051.00          |
| TOTAL FUND - GENERAL FUND                               |     |            |                          |        | 1,065,051.00 | .00          | .00          |                           | 1,065,051.00          |
| TOTAL REPORT  |     |            |                          |        | 1,065,051.00 | .00          | .00          |                           | 1,065,051.00          |

Amount budgeted: 1,065,051

Bal. @ FYE '23: 2,742,696

Need to  
amend FY24: \* 1,677,645

\* THERE IS A NOTE ASSOCIATED WITH THIS TRANSACTION

DWenh  
10/30/23

0.0  
0.0  
2,742,696.00  
1,065,051.00  
000  
1,677,645.00



RESOLUTION

IN COMPLIANCE to the laws of the State of Florida, as per Florida Statute 129.06(b), the undersigned Clerk and Auditor for the Board of County Commissioners of Taylor County, Florida, made and prepared the following budget changes to reflect unanticipated monies for a particular purpose which caused the **AIRPORT FUND** for the fiscal period ending September 30, 2024, to be in excess of the advertised budget.

BE IT RESOLVED that the listed receipts and appropriations be added to, included in and transferred to the **AIRPORT FUND** budget for the fiscal year ending September 30, 2024.

| <u>Amount</u> | <u>Account</u> | <u>Account Name</u>      |
|---------------|----------------|--------------------------|
| Revenue:      |                |                          |
| \$22,000      | 003-3314116    | FAA CARES Act Grant      |
| Expenditures: |                |                          |
| \$ 8,000      | 0553-51200     | Regular Salaries & Wages |
| \$ 566        | 0553-52110     | FICA/Medicare Taxes      |
| \$ 2,500      | 0553-54300     | Utilities                |
| \$ 5,500      | 0553-54610     | R&M Bldg & Grounds       |
| \$ 5,000      | 0553-54620     | R&M Equipment            |
| \$ 434        | 0553-55201     | General Op Supplies      |

NOW THEREFORE BE IT RESOLVED by the Board of County Commissioners of Taylor County, Florida, that they do approve as provided by law this resolution this 6th day of November, 2023 at Perry, Taylor County, Florida, to amend the budget for the fiscal period ending September 30, 2024 with a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried unanimously.

\_\_\_\_\_  
Gary Knowles, Clerk-Auditor

\_\_\_\_\_  
Chairman

Grant Balance at FYE'23 was more than budgeted in FY'24

✓

SUNGARD PENTAMATION, INC.  
DATE: 10/30/2023  
TIME: 08:40:19

**TAYLOR COUNTY BOARD OF COMMISSIONERS**  
**GASB EXPENDITURE STATUS REPORT**

PAGE NUMBER: 1  
EXPSTA11

SELECTION CRITERIA: expldgr.key\_orgn='0553'  
ACCOUNTING PERIOD: 13/23

SORTED BY: FUND,FUNCTION,ACTIVITY,TOTL/DEPT,ACCOUNT  
 TOTALED ON: FUND,TOTL/DEPT  
 PAGE BREAKS ON: FUND,TOTL/DEPT

FUND-003 AIRPORT FUND  
FUNCTION-540 TRANSPORTATION  
ACTIVITY-542 AIRPORTS  
TOTL/DEPT-0553 FAA CARES ACT GRANT

| ACCOUNT | TITLE                     | ORIGINAL BUDGET | AMENDED BUDGET | BUDGET VARIANCE | ACTUAL Y-T-D EXP | AVAILABLE BALANCE | YTD/BUD |
|---------|---------------------------|-----------------|----------------|-----------------|------------------|-------------------|---------|
| 51200   | REGULAR SALARIES & WAGES  | .00             | 8,000.00       | 8,000.00        | .00              | 8,000.00          | .00     |
| 52110   | FICA/MEDICARE TAXES       | .00             | 566.00         | 566.00          | .00              | 566.00            | .00     |
| 54300   | UTILITY SERVICES          | .00             | 2,500.00       | 2,500.00        | .00              | 2,500.00          | .00     |
| 54610   | R&M BUILDINGS & GROUNDS   | .00             | 5,500.00       | 5,500.00        | .00              | 5,500.00          | .00     |
| 54620   | R&M EQUIPMENT             | .00             | 5,000.00       | 5,000.00        | .00              | 5,000.00          | .00     |
| 55201   | GEN. OPERATING SUPPLIES   | .00             | 434.00         | 434.00          | .00              | 434.00            | .00     |
|         | TOTAL FAA CARES ACT GRANT | .00             | 22,000.00      | 22,000.00       | .00              | 22,000.00         | .00     |
|         | TOTAL AIRPORT FUND        | .00             | 22,000.00      | 22,000.00       | .00              | 22,000.00         | .00     |
|         | TOTAL REPORT              | .00             | 22,000.00      | 22,000.00       | .00              | 22,000.00         | .00     |

Balance @  
FYE '23  
Dw

SUNGARD PENTAMATION, INC.  
DATE: 10/30/2023  
TIME: 08:40:02

**TAYLOR COUNTY. BOARD OF COMMISSIONERS**  
**GASB EXPENDITURE STATUS REPORT**

PAGE NUMBER: 1  
EXPSTA11

SELECTION CRITERIA: expldgr.key\_orgn='0553'  
ACCOUNTING PERIOD: 1/24

SORTED BY: FUND,FUNCTION,ACTIVITY,TOTL/DEPT,ACCOUNT  
 TOTALED ON: FUND,TOTL/DEPT  
 PAGE BREAKS ON: FUND,TOTL/DEPT

FUND-003 AIRPORT FUND  
FUNCTION-540 TRANSPORTATION  
ACTIVITY-542 AIRPORTS  
TOTL/DEPT-0553 FAA CARES ACT GRANT

[illegible]

Did not  
Budget in  
FY'24  
DW

2

**R E S O L U T I O N**

**IN COMPLIANCE** to the laws of the State of Florida, as per Florida Statute 129.06(b), the undersigned Clerk and Auditor for the Board of County Commissioners of Taylor County, Florida, made and prepared the following budget changes to reflect unanticipated monies for a particular purpose which caused the **AIRPORT FUND** for the fiscal period ending September 30, 2024, to be in excess of the advertised budget.

**BE IT RESOLVED** that the listed receipts and appropriations be added to, included in and transferred to the **AIRPORT FUND** budget for the fiscal year ending September 30, 2024.

| <u>Amount</u> | <u>Account</u> | <u>Account Name</u>     |
|---------------|----------------|-------------------------|
| Revenue       |                |                         |
| \$95,643      | 003-3441018    | Airport Lease - FEMA    |
| Expenditures  |                | Airport/FEMA Land Lease |
| \$25,000      | 0501-01-54300  | Utilities               |
| \$70,643      | 0501-01-53401  | Contractual Services    |

**NOW THEREFORE BE IT RESOLVED** by the Board of County Commissioners of Taylor County, Florida, that they do approve as provided by law this resolution this 6th day of November, 2023 at Perry, Taylor County, Florida, to amend the budget for the fiscal period ending September 30, 2024 with a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and carried unanimously.

\_\_\_\_\_  
Gary Knowles, Clerk-Auditor

\_\_\_\_\_  
Chairman

**New Land Lease for Airport FY24**

✓

6 months      October thru March

21,600 (Tenant Improvement Costs) = only 1st 6 months

$$1,028.37 \text{ per acre} \times 6 \text{ acres} = 6,170.22 / \text{month} \\ = 37,021.32$$

April thru September

$$1,028.37 \text{ per acre} \times 6 \text{ acres} = 6,170.22 / \text{month} \\ = 37,021.32$$

0.0

21,600.00 +

37,021.32 +

37,021.32 +

95,642.64 \*

003

total revenue 2024 = 95,642.64

# U.S. GOVERNMENT LEASE FOR REAL PROPERTY (Short Form)

1a. LEASE NUMBER  
LFL027281b. BUILDING NUMBER  
NA

## PART I - OFFER (Offeror completes Section A, C and D; Government shall complete Section B)

**NOTE:** All offers are subject to the terms and conditions outlined in Request for Lease Proposals No. , Supplemental Lease Requirements document, General Clauses (GSA Form 3517A), and any other attachments included herein.

### A. LOCATION AND DESCRIPTION OF PREMISES OFFERED FOR LEASE BY GOVERNMENT

|  |  |  |  |
|--|--|--|--|
| 1. NAME AND ADDRESS OF BUILDING (Include nine-digit ZIP Code)<br><br>Perry-Foley Airport<br>401 Industrial Park Dr.<br>Perry, FL 32348 | 2. LOCATION(S) IN BUILDING                                 |  |  |
|  | 2a. FLOOR(S)<br><u>NA</u>                                  | 2b. ROOM NUMBER(S)<br>_____  | 2e. NUMBER OF PARKING SPACES OFFERED<br>STRUCTURED <u>NA</u><br>SURFACE <u>NA</u><br>ANNUAL PARKING RATES (IF NOT INCLUDED IN RATES UNDER PART C BELOW)<br>STRUCTURED <u>NA/space</u><br>SURFACE <u>NA/space</u> |
|  | 2c. <u>6 Acres</u><br>Block A <u>5</u><br>Block B <u>1</u> | 2d. TYPE<br><input type="checkbox"/> GENERAL OFFICE<br><input type="checkbox"/> WAREHOUSE<br><input checked="" type="checkbox"/> OTHER (Specify) <u>Land</u> |  |
|  |  |  |  |

### B. TERM

3a. To have and to hold the said Premises with its appurtenances for the term beginning upon acceptance of the Premises as required by this Lease and continuing for a period of 1 Years, 6 Months Firm, subject to termination and renewal rights as may be hereinafter set forth. The commencement date of this Lease, along with any applicable termination and renewal rights, shall be more specifically set forth in a Lease Amendment upon substantial completion and acceptance of the Space by the Government.

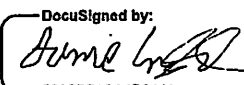
3b. The Government may terminate this Lease, in whole or in parts, at any time effective after the Firm Term of this Lease, by providing not less than 30 days prior written notice to the Lessor. The effective date of the termination shall be the day following the expiration of the required notice period or the termination date set forth in the notice, whichever is later. No rental shall accrue after the effective date of termination.

3c. This Lease may be renewed at the option of the Government for a term of 6 MONTHS at the rental rate(s) set forth below, provided notice is given to the Lessor at least 30 days before the end of the original Lease term; all other terms and conditions of this Lease, as same may have been amended, shall remain in full force and effect during any renewal term.

### C. RENTAL

4. Rent shall be payable in arrears and will be due on the first workday of each month. When the date for commencement of the lease falls after the 15th day of the month, the initial rental payment shall be due on the first workday of the second month following the commencement date. Rent for a period of less than a month shall be prorated. Rent shall not be adjusted for changes in real estate taxes or operating costs.

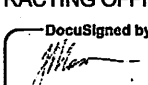
|   |  |   |   |
|---|--|---|---|
| 5a. AMOUNT OF 6 MONTH RENT<br>Total = Land + TI<br>\$58,621.32<br>=(37,021.32+\$21,600)                                   | 5b. RATE PER MONTH<br>\$9,770.22<br>(\$1,028.37per acre X 6 Acres)=<br>\$6170.22 Monthly +\$3,600 TI |   |   |
| RENTAL RATE BREAKDOWN   | FIRM TERM (6 months)   | NON-FIRM TERM   | RENEWAL TERM  |
| 6. Land Rent (INCL. REAL ESTATE TAXES)  | 6a. <u>\$37,021.32</u>   | 6b. <u>\$37,021.32</u>  | 6c. <u>\$37,021.32</u>  |
| 7. OPERATING RENT   | 7a. Direct pass through to the government once bill received.  | 7b. Direct pass through to the government once bill received.                 | 7b. Direct pass through to the government once bill received.                 |
| 8. TURNKEY TENANT IMPROVEMENT RENT<br>(See blocks 12 and 13 below for additional breakdown of cost and amortization rate) | 8a. <u>\$21,600</u>  | 8b. <u>\$0.00</u>   | 8c. <u>\$0.00</u>   |
| 9. BUILDING SPECIFIC AMORTIZED CAPITAL (IF APPLICABLE)  | 9a. <u>\$0</u>   | 9b. <u>\$0.00</u>   | 9c. <u>\$0.00</u>   |
| 10. TOTAL RENT  | 10a. <u>\$58,621.32</u><br>(\$1,028.37per acre X 6 Acres) =<br>\$6170.22 Monthly +\$3,600 TI         | 10b. <u>\$37,021.32</u><br>(\$1,028.37per acre X 6 Acres) = \$6170.22 monthly | 10c. <u>\$37,021.32</u><br>(\$1,028.37per acre X 6 Acres) = \$6170.22 monthly |
| 11. TENANT IMPROVEMENT COSTS<br><u>\$21,600 which could be paid in full over the first 6 months on of the lease</u>       | 12. INTEREST RATE TO AMORTIZE TENANT IMPROVEMENTS<br><u>0</u>  |   |   |

|  |                                     |   |  |
|--|-------------------------------------|---|--|
| 13. HVAC OVERTIME RATE PER HOUR <u>0</u>   |                                     | 14. ADJUSTMENT FOR VACANT PREMISES RATE (\$/ABOA SF/YEAR) _____ |  |
| <b>D. OWNER IDENTIFICATION AND CERTIFICATION</b>   |                                     |   |  |
| <b>15. RECORDED OWNER</b>  |                                     |   |  |
| 15a. Name<br>Taylor County Board of County Commissioners   |                                     | 15b. Unique Entity Identifier (UEI)                             |  |
| 15c. Address<br>201 E Green Street,  | 15d. City<br>Perry                  | 15e. State  | 15f. ZIP + 4                             |
| 16. BY SUBMITTING THIS OFFER, THE OFFEROR AGREES UPON ACCEPTANCE OF THIS PROPOSAL BY HEREIN SPECIFIED DATE, TO LEASE TO THE UNITED STATES OF AMERICA, THE PREMISES DESCRIBED, UPON THE TERMS AND CONDITIONS AS SPECIFIED HEREIN, IN FULL COMPLIANCE WITH AND ACCEPTANCE OF THE AFOREMENTIONED RLP, WITH ATTACHMENTS. |                                     |   |  |
| <input checked="" type="checkbox"/> I have read the RLP with attachments in its entirety and am requesting no deviations   |                                     |   |  |
| <b>17. OFFEROR'S INTEREST IN PROPERTY</b>  |                                     |   |  |
| <input type="checkbox"/> OWNER <input checked="" type="checkbox"/> AUTHORIZED AGENT <input type="checkbox"/> OTHER (Specify)   |                                     |   |  |
| <b>18. OFFEROR</b> <input type="checkbox"/> Check if same as Recorded Owner  |                                     |   |  |
| 18a. NAME<br>Jamie English   | 18b. ADDRESS<br>201 E Green Street, | 18c. CITY<br>Perry  | 18d. STATE<br>FL                         |
|  |                                     | 18e. ZIP + 4<br>32348   |  |
| 18f. Title<br>Chairperson  |                                     | 18g. E-mail address<br>jenglish@taylorcountu.gov.com            | 18h. Telephone Number<br>850-838-3500 x6 |
| 18i. OFFEROR'S SIGNATURE   |                                     |   | 18j. DATE SIGNED                         |
| <div style="border: 1px solid black; padding: 5px; display: inline-block;">           DocuSigned by:<br/> <br/>           56A0D71CA4B8441...         </div>  |                                     |   | 10/5/2023                                |

**PART II - AWARD (To be completed by Government)**

1. Your offer is hereby accepted. This award consummates the Lease, which consists of the following attached documents: (a) this GSA Form 3626, (b) Supplemental Lease Requirements, (c) Security Requirements, (d) Agency Specific Requirements, (e) Floor Plan delineating the Premises, (f) GSA Form 3517A, General Clauses (Acquisition of Leasehold Interests in Real Property for Small Leases), and (g) the following building improvements, changes or additions made or agreed to by you (for example, energy efficiency and conservation improvements, ABAAS upgrades, Seismic Form C - Building Retrofit or New Construction Pre-Award Commitment (if applicable)):

**2. THIS DOCUMENT IS NOT BINDING ON THE GOVERNMENT OF THE UNITED STATES OF AMERICA UNLESS SIGNED BELOW BY AUTHORIZED LEASE CONTRACTING OFFICER.**

|   |   |                           |
|---|---|---------------------------|
| 3a. NAME OF LEASE CONTRACTING OFFICER (Type or Print)<br><br>Tamara Mason | 3b. SIGNATURE OF LEASE CONTRACTING OFFICER<br><br><div style="border: 1px solid black; padding: 5px; display: inline-block;">           DocuSigned by:<br/> <br/>           54A5123FA618478...         </div> | 3c. DATE<br><br>10/7/2023 |
|---|---|---------------------------|

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:**



**Board to review and approve the Invitation to Bid and the Work Write-Up/Bid Forms for the rehabilitation of one home and demolition and construction of four homes through the CDBG Program.**

**MEETING DATE REQUESTED:**

**November 6, 2023**

**Statement of Issue:** Board to review and approve the Invitation to Bid and the Work Write-Up/Bid Forms for the rehabilitation of one home and demolition and construction of four homes through the CDBG Program.

**Recommended Action:** Approve the Invitation to Bid and Work Write-Up/Bid Forms.

**Fiscal Impact:** All projects will be 100% grant funded.

**Budgeted Expense:** Yes

**Submitted By:** Jami Evans, Grant Coordinator

**Contact:** Jami Evans

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** The following homeowners have been qualified to receive assistance through the CDBG Housing Program:

**CDBG REHABILITATION**

**Dustin Wimberly and Amber Schuber**      **12939 US 19, Greenville**

**CDBG DEMOLITION AND CONSTRUCTION**

|   |                                       |
|---|---------------------------------------|
| <b>Christopher Davis and Kristina Huskins</b> | <b>16481 School House Road, Salem</b> |
| <b>Lessie Cruce Land</b>                      | <b>6749 S. Red Padget Road, Perry</b> |
| <b>Joy Tuten</b>                              | <b>2780 Kelly Grade, Perry</b>        |
| <b>Tina McMillan</b>                          | <b>5600 Smith Road, Perry</b>         |

**The Bids will be received at the December 4, 2023 Board Meeting at 6:05 P.M.**

**Attachments:**      **Invitation to Bid and Work Write-Up/Bid Forms**





# **TAYLOR COUNTY FLORIDA**

## **INVITATION TO BID**

### **Bid CDBG 2023-10**

**CDBG Project Number: 22DB-OP-03-72-01-H05**

Community Development Block Grant  
Housing Rehabilitation Program

**Due Date: Friday-Dec 1, 2023 by 4:00 pm**

### **MANDATORY PRE-BID CONFERENCE**

**Tuesday-November 14, 2023 at 11:00am**

Contractor Notification Date **11/07/2023**

#### **Notification Method:**

Email & Posting at Building Department

TAYLOR COUNTY, FLORIDA  
A political subdivision of the State of Florida  
Department of Grants Administration  
401 Industrial Park Drive  
Perry, Florida 32348

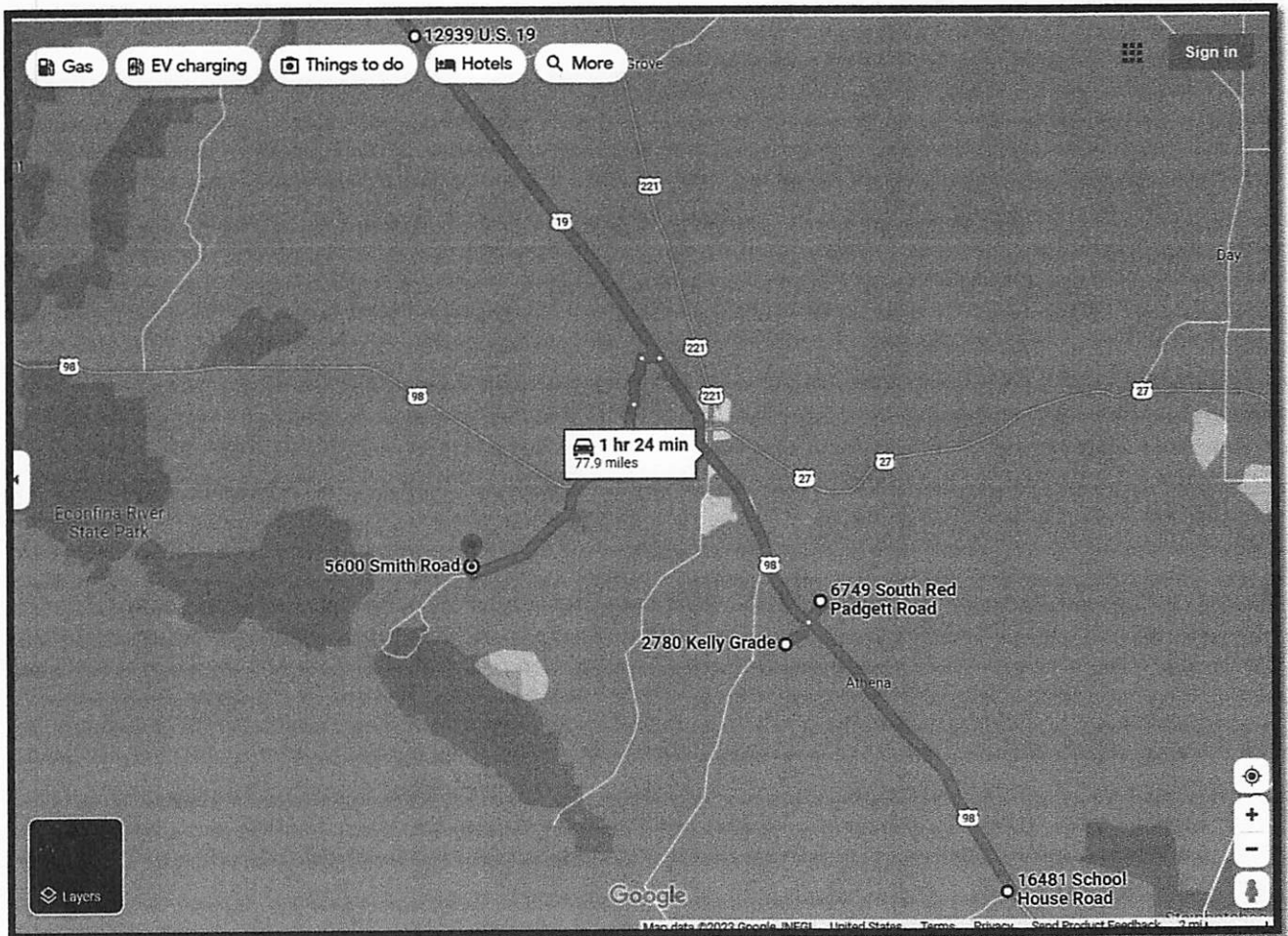
## Event Timeline

Bidders should review and become familiar with the Event Timeline. The dates and times of each activity within the Timeline may be subject to change. It is the responsibility of Bidder to check for any changes. All changes to the Timeline will be made through an addendum to this Invitation to Bid.

| EVENT                               | DATE                     | TIME            |
|-------------------------------------|--------------------------|-----------------|
| Issue Invitation to Bid             | November 7, 2023         | N/A             |
| <b>MANDATORY Pre-Bid Conference</b> | <b>November 14, 2023</b> | <b>11:00 AM</b> |
| Deadline for Questions              | November 21, 2023        | 4:00 PM         |
| <b>Bid Due Date and Time</b>        | <b>December 1, 2023</b>  | <b>4:00 PM</b>  |
| Public Opening Date and Time        | December 4, 2023         | 6:05 PM         |

## Location of Projects

12939 N US Hwy 19. Greenville, FL 32331  
5600 Smith Rd. Perry, FL 32348  
2780 Kelly Grade. Perry, FL 32348  
6749 Red Padgett Rd. Perry, FL 32348  
16481 School House Rd. Perry, FL 32348



## **NOTICE TO BIDDERS**

A Mandatory Pre-Bid Conference will be held on **November 14, 2023, at 11:00 am** starting at **2939 N US Highway 19, Greenville, FL 32331**. This meeting will be followed by a Mandatory Walkthrough at each additional location. (Order of site visits follows the order of listing presented in the Location of Projects heading above).

All bids are due by **Friday, December 1, 2023 by 4:00 P.M. Local Time**. Bidders will have the option to submit bids physically (in-person) or by mail. In-person or mailed submissions shall provide one-(1) clearly marked original, and two-(2) copies. Bid envelopes are to be identified as CDBG and the ITB number, as well as the bidder's name and address. Late bids shall not be accepted.

### ***All submissions must be delivered to the following:***

Hand Delivery: Gary Knowles  
Fed – X or UPS Clerk of the Court  
108 North Jefferson Street, Suite 102  
Perry, FL. 32347

Mail Delivery: Gary Knowles  
Clerk of the Court  
108 North Jefferson Street, Suite 102  
Perry, FL. 32347

A Public Opening of the Bids is scheduled for December 4, 2023 at 6:05 PM, or as soon thereafter as possible, at 201 East Green Street, Perry, Florida, 32347. Bids will be opened during a regularly scheduled Board of County Commissioners meeting.

Copies of the ITB Notification and Bid Documents can be obtained by contacting Guardian CRM, at: 888-482-7393 or at [www.taylorcountygov.com](http://www.taylorcountygov.com). **Please print copies of the ITB documents and Scopes of Work so that you may have them for the pre-bid meeting.**

Please do not contact the homeowner(s) or visit the project sites prior to the scheduled mandatory pre-bid meeting and site visit activities.

**Persons with disabilities needing assistance to participate in any of the proceedings should contact the Taylor County CDBG Program Consulting Grant Administrator Marina Edwards at: (888) 482-7393 or [Marina.edwards@guardiancrm.com](mailto:Marina.edwards@guardiancrm.com). All requests shall be made at least Seventy-two (72) hours in advance.**

## **METHOD OF AWARD**

**The County reserves the right to reject low Bids, to waive irregularities and/or inconsistencies in any Bid, and to award project contracts in a manner deemed to be in the County's best interest.**

**No Contractor or subcontractor may participate in this work if ineligible to receive Federal or State funded contracts.**

Sealed bids will be opened at a public bid opening. The Project Manager will generally recommend that the contract be awarded to the lowest responsible bidder within plus or minus fifteen percent (15 %) of the cost estimate. Bids below the fifteen percent (15%) threshold will be reviewed and are not automatically disqualified.

A minus ten percent (10%) contingency will be assessed for all Section 3 and/or W/MBE firms at the bid opening to provide incentive, opportunity and encourage the participation of such established business types in accordance with HUD requirements. All bid awards will be made available to the participating Contractors and homeowners.

**STATEMENT OF NO BID**

**If a bidder does not intend on submitting a bid, please complete and return this form prior to the solicitation due date shown herein. Return by email ([antonio.jenkins@guardiancrm.com](mailto:antonio.jenkins@guardiancrm.com)).**

***We, the undersigned, have declined to bid on the above reference ITB for the following reason(s) (mark all that applies):***

- ☐ ***Do not offer the good(s) or service(s) required***
- ☐ ***Our schedule would not permit us to perform responsibly***
- ☐ ***Unable to meet specifications/scope of services***
- ☐ ***Unable to meet minimum requirements***
- ☐ ***Insufficient time allowed for preparation of response***
- ☐ ***Project/Budget too small***
- ☐ ***Specifications unclear – too vague, rigid, etc. (please explain below)***
- ☐ ***Other (please explain below)***

**REMARKS**

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**Company Name:** \_\_\_\_\_

**Company Address:** \_\_\_\_\_

**Phone Number:** \_\_\_\_\_

**Authorized Name:** \_\_\_\_\_ **Title:** \_\_\_\_\_

***Taylor County encourages your company to consider bidding on future projects!***

**CONTRACTOR INFORMATION SHEET**

|  |                                     |   |  |
|--|-------------------------------------|---|--|
| <b>DUE DATE:</b> <u>Bids due on or before</u><br><u>4:00 PM</u><br><u>LOCAL TIME on</u><br><b>Friday, November 1, 2023</b>   | <b>ITB NO.:</b><br><b>#2023- 10</b> | <b>RELEASE DATE:</b><br><b>11/07/23</b>                                     | <b>CONTACT:</b><br><b>Jami Evans</b><br><b>Grants Coordinator</b><br><b>(850) 838-3553</b><br><a href="mailto:jevans@taylorcountygov.com">jevans@taylorcountygov.com</a> |
| <small>Check Addenda for revised due dates before submitting your Bid. <b>Late Bids shall not be accepted.</b></small>   |                                     | <b>ITB TITLE: ITB 2023-10</b><br><b>CDBG HOUSING REHABILITATION PROGRAM</b> |  |
|  |                                     |   |  |
| <b>Bidder's Name and "Doing Business As", if applicable:</b>   |                                     |   | <b>Telephone Number:</b>   |
| <b>Address:</b>  |                                     |   |  |
| <b>County:</b>   | <b>State:</b>                       |   | <b>Zip Code:</b>   |
| <b>FEI/EIN Number:</b>   |                                     | <b>DUNS Number:</b>   |  |
| <b>E-Mail Address of Authorized Representative:</b>  |                                     |   |  |
| <b>MINIMUM REQUIREMENTS</b>  |                                     |   |  |
| <p>Firms that do not meet the minimum requirements as determined by the County, at its sole discretion, will be deemed non-responsive and not considered for award. <b>By placing a checkmark next to each requirement, Bidder is confirming the requirement is met.</b></p> <p><input type="checkbox"/> Be currently licensed in the State of Florida as General or Building Contractor; and</p> <p><input type="checkbox"/> Must have a minimum of three (3) years' experience performing similar work involving housing repairs and CDBG funding; and</p> <p><input type="checkbox"/> An office within the state of Florida and maintain an office within the state of Florida which shall be kept for a minimum of one (1) year to coincide with the warranty requirement; and</p> <p><input type="checkbox"/> Attend Mandatory Pre-Bid Meeting; and</p> <p><input type="checkbox"/> Insured and meeting insurance requirements applicable to perform the services</p> |                                     |   |  |
| <b>ADDENDA ACKNOWLEDGEMENT</b>   |                                     |   |  |
| <u>Initial by all that apply - acknowledging receipt/review of the following Addenda.</u>  |                                     |   |  |
| ____ Addendum #1 ____ Addendum #2 ____ Addendum #3 ____ Addendum #4 ____ Addendum  |                                     |   |  |
| <b>BID CERTIFICATION</b>   |                                     |   |  |
| <p>I certify that I have carefully examined the ITB document and associated documents, including Addenda. I further certify that all information contained in this bid is truthful to the best of my knowledge and belief and that I am duly authorized to submit this bid on behalf of the company named above and that the company is ready, willing, and able to perform if awarded.</p> <p>_____</p> <p><b>Printed Name</b> <span style="float: right;"><b>Title</b></span></p>  |                                     |   |  |
| <p>The County reserves the right to reject any and all bids, or to accept any bid or portion thereof deemed to be in the <u>best interest of the County</u>, and to waive any non-substantial irregularities.</p>  |                                     |   |  |

**BID FORM**

Refer to the *Scope of Work (SOW)* for descriptions & specifications of each project listed below.

**1) 12939 N US Hwy 19. Greenville, FL 32331**

TOTAL BID AMOUNT: \$ \_

TOTAL BID AMOUNT WRITTEN: \_

(Spelled out)

**2) 5600 Smith Rd. Perry, FL 32348**

TOTAL BID AMOUNT: \$ \_

TOTAL BID AMOUNT WRITTEN: \_

(Spelled out)

**3) 2780 Kelly Grade. Perry, FL 32348**

TOTAL BID AMOUNT: \$ \_

TOTAL BID AMOUNT WRITTEN: \_

(Spelled out)

**4) 6749 Red Padgett Rd. Perry, FL 32348**

TOTAL BID AMOUNT: \$ \_

TOTAL BID AMOUNT WRITTEN: \_

(Spelled out)

**5) 16481 School House Rd. Perry, FL 32348**

TOTAL BID AMOUNT: \$ \_

TOTAL BID AMOUNT WRITTEN: \_

(Spelled out)

**The Bid Prices shall remain good for ninety (90) days after the due date of this ITB. By signing below, the Bidder certifies that the price quoted represents and includes the entirety of the work, fees, profit, overhead, general requirements, general conditions, etc., of the project per the ITB documents.**

By affixing their signature to the Bid Form, the Bidder hereby states that they have read all bid specifications, terms and conditions outlined in the Invitation to Bid and agree to such. Bidder declares that the individual signing this Bid Form has the legal capacity to sign on behalf of Bidder and to contractually obligate Bidder.

Furthermore, Bidder hereby agrees to provide the Services described in the Invitation to Bid for the unit or lump sum prices as noted above, which includes all supervision, labor, materials, equipment, supplies, machinery, tools, apparatus, insurance, bonds, transportation, overhead, profit, applicable taxes and costs of all kinds necessary to complete the Services.

Bidder's Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_ Title: \_\_\_\_\_

### **REFERENCE LIST**

**Bidder's Name:** \_\_\_\_\_

List a **minimum of three (3) client references** that can speak to the Bidder's experience and performance, within the last three (3) years. References from public sector clients are preferred. The County will send Reference Check Surveys via email to the references provided. If the contact information is incorrect or the reference does not respond, the Bidder will lose points awarded for this criterion.

| Reference #1                                  |  |                 |  |
|---|--|-----------------|--|
| <b>Company Name:</b>                          |  |                 |  |
| <b>Location (County, State):</b>              |  |                 |  |
| <b>Contact Person/Title:</b>                  |  | <b>Phone #:</b> |  |
| <b>Email Address:</b>                         |  |                 |  |
| <b>Dates of Service:</b>                      |  |                 |  |
| <b>Services Provided:</b>                     |  |                 |  |
| <b>Issues Experienced, if none write N/A:</b> |  |                 |  |
|   |  |                 |  |
| Reference #2                                  |  |                 |  |
| <b>Company Name:</b>                          |  |                 |  |
| <b>Location (County, State):</b>              |  |                 |  |
| <b>Contact Person/Title:</b>                  |  | <b>Phone #:</b> |  |
| <b>Email Address:</b>                         |  |                 |  |
| <b>Dates of Service:</b>                      |  |                 |  |
| <b>Services Provided:</b>                     |  |                 |  |
| <b>Issues Experienced, if none write N/A:</b> |  |                 |  |
|   |  |                 |  |
| Reference #3                                  |  |                 |  |
| <b>Company Name:</b>                          |  |                 |  |
| <b>Location (County, State):</b>              |  |                 |  |
| <b>Contact Person/Title:</b>                  |  | <b>Phone #:</b> |  |
| <b>Email Address:</b>                         |  |                 |  |
| <b>Dates of Service:</b>                      |  |                 |  |
| <b>Services Provided:</b>                     |  |                 |  |
| <b>Issues Experienced, if none write N/A:</b> |  |                 |  |
|   |  |                 |  |



### **BIDDER'S DISCLOSURE FORM**

The undersigned certifies under oath the truth and correctness of all statements and all answers to questions made hereinafter. Additional sheets may be attached if required.

**Bidder's Name:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Contact Person:** \_\_\_\_\_  
**Title:** \_\_\_\_\_  
**Phone No.:** \_\_\_\_\_  
**Email Address:** \_\_\_\_\_  
**Federal Identification No.:** \_\_\_\_\_  
**This Business Is:**    ( ) An Individual    ( ) A Partnership    ( ) A Corporation  
**Bidder's License No., if applicable:** \_\_\_\_\_

\*Attach certificate of status, competency, and/or state registration

- (1) Has your company or any of its officers received a reprimand of any nature or been suspended by the Department of Professional Regulations or any other regulatory agency or professional association within the last five (5) years? YES ☐ NO ☐
- (2) Has your company, or any member of your company, been declared in default, terminated or removed from a contract or job related to the services your company provides in the regular course of business within the last five (5) years? YES ☐ NO ☐
- (3) Has your company had against it or filed any request for equitable adjustment, contract claims, bid protest, or litigation in the past five (5) years that is related to the services your company provides in the regular course of business? YES ☐ NO ☐
- (4) Describe each affiliation or business relationship with an employee, board member, elected official(s) or an immediate family member of any such person of the County of Stuart. If none, write NONE.  
 \_\_\_\_\_  
 \_\_\_\_\_
- (5) Describe ANY other affiliation or business relationship that may cause a conflict of interest. If none, write NONE.  
 \_\_\_\_\_  
 \_\_\_\_\_

If yes, state the nature of the request for equitable adjustment, contract claim, litigation, or protest, and state a brief description of the case, the outcome or status of the suit and the monetary amounts or extended contract time involved.

\*\*\*\*\*/   
 hereby certify that all statements made are true and I agree and understand that any misstatement or misrepresentation or falsification of facts shall be cause for forfeiture of rights for further consideration of this BID for the County of Stuart.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



**BIDDER'S REPRESENTATION AND CERTIFICATION FORM**

Page 1 of 4

In submitting a Bid, the Bidder understands, represents, and certifies the following (if the Bidder cannot so certify to any of following, the Bidder shall submit with its Bid a written explanation of why it cannot do so). If County finds, before or after Award of the Bid that Bidder was not truthful concerning any of the following, County shall have the right to terminate the Award without liability and, at its discretion, to seek damages from Bidder, if damages result to the County from such act, in any way whatsoever.

**Compliance with Laws:** Bidder shall comply with all laws, rules, codes, ordinances, and licensing requirements that are applicable to the conduct of its business, including those of Local, State and Federal agencies having jurisdiction and authority. These laws, shall include, but not be limited to, Chapter 287 of the Florida Statutes, the Uniform Commercial Code, the Immigration and Nationalization Act, the Americans with Disabilities Act, the United States Occupational Safety and Health Act, the United States Environmental Protection Agency, the State of Florida Department of Environmental Protection, and all prohibitions against discrimination on the basis of race, religion, sex, creed, national origin, handicap, marital status, sexual orientation, gender identity or expression or veteran's status. Violation of such laws shall be grounds for termination of the Agreement.

Initial \_\_\_\_\_

**Conflict of Interest:** Bidder covenants that it presently has no interest and shall not acquire any interest which would conflict in any manner of degree with the performance of the Services covered under this Agreement. Furthermore, Bidder warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for Bidder to solicit or secure this Agreement and that it has not paid or agreed to pay any person, company, corporation, individual, or firm, other than a bona fide employee working solely for Bidder any fee, commission, percentage, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Bidder, and its subcontractors at any tier, certify that they have not entered into any contract, sub-contract, or arrangement in connection with the Project covered under this Agreement, or of any property included or planned to be included in the Project, in which any member, officer, or employee of Bidder or its subcontractors, during its tenure, or for two years thereafter, has any interest, direct or indirect. Bidder, and its subcontractors at any tier, shall insert the following provision into each of their contracts and sub-contracts:

*"No member, officer, or employee of the sub-contractor, during their tenure or for two years thereafter, shall have any interest, direct or indirect, in this contract or the proceeds thereof."*

Initial \_\_\_\_\_

**Convictions:** Bidder has fully informed Owner of all convictions of the firm, its affiliates (as defined in section 287.133(1) (a) of the Florida Statutes), and all directors, officers, and employees of the firm and its affiliates for violation of state or federal antitrust laws with respect to a public contract for violation of any state or federal law involving fraud, bribery, collusion, conspiracy or material misrepresentation with respect to a public contract. This includes disclosure of the names of current employees who were convicted of contract crimes while in the employment of another company.

Initial \_\_\_\_\_

**Discriminatory Vendor:** Bidder certifies that they are not subject to Section 287.134 (2)(a) which specifies that an entity or affiliate who has been placed on the discriminatory vendor list may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not be awarded or perform work as a contractor, supplier, sub-contractor, or consultant under a contract with any public entity, and may not transact business with public entity.

Initial \_\_\_\_\_

**Drug Free Workplace:** Bidder certifies that it has a Drug-Free Workplace Program in accordance with the Drug-Free Workplace Act of 1988. (41 U.S.C. 702-706)

Initial \_\_\_\_\_

**BIDDER'S REPRESENTATION AND CERTIFICATION FORM**

Page 2 of 4

**Debarment:** Bidder certifies to the best of their knowledge and belief, that they and their principals 1) are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Municipal, County, State or Federal department or agency, 2) have not, within a three-year period preceding execution of this Agreement, been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records; making false statements; or receiving stolen property, 3) are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated above, 4) have not within a three-year period preceding execution of this Agreement had one or more public transactions (Federal, State or local) terminated for cause or default, and 5) will advise County immediately if their status changes and will provide an explanation for the change in status.

Initial \_\_\_\_\_

**Equal Employment Opportunity:** Bidder shall not discriminate on the basis of race, color, sex, age, national origin, religion, and disability or handicap in accordance with the Provisions of: Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000 et seq.), Title VII of the Civil Rights Act of 1968 (42 U.S.C. § 3601 et seq.), Florida Civil Rights Act of 1992 (§ 760.10 et seq.), Title 41 CFR Part 60 for compliance with Executive Orders 11246 and 11375, Title 49 CFR 23 and Title 49 CFR 26 for Disadvantaged Business Enterprises, Age Discrimination Act of 1975 (42 U.S.C. § 6101, et seq.), Title 49 CFR 21 and Title 49 CFR 23, Nondiscrimination on the basis of handicap, Title 49 CFR 27, Americans with Disabilities Act of 1990 (42 U.S.C. 12102, et seq.), Federal Fair Labor Standards Act (29 U.S.C. § 201, et seq.), and any other Federal and State discrimination statutes. Bidder shall furnish pertinent information regarding its employment policies and practices as well as those of their proposed subcontractors as the State of Florida Department of Transportation, the Secretary of Labor, or County may require. The above shall be required of any subcontractor hired by Bidder. All Equal Employment Opportunity requirements shall be included in all non-exempt sub-contracts entered into by Bidder. Sub-contracts entered into by Bidder shall also include all other applicable labor provisions. No sub-contract shall be awarded to any non-complying sub-contractor. Additionally, Bidder shall insert in its sub-contracts a clause requiring subcontractors to include these provisions in any lower tier sub-contracts that may in turn be made. Bidder shall comply with all state laws and local ordinances, except that any preferential consideration of local in-state subcontractors is NOT allowed.

Initial \_\_\_\_\_

**E-Verification System:** Bidder shall comply with the Executive Order No. 12989 as amended, and Executive Order No. 11-116, and agrees to utilize the U.S. Department of Homeland Security's E-Verify system, <https://e-verify.uscis.gov/emp>, to verify the employment eligibility of one (1) all persons employed by the Bidder during the contract term to perform any duties within Florida; and two (2) all persons, including subcontractors, assigned by the Bidder to perform work pursuant to this Contract. Bidders meeting the terms and conditions of the E-Verify System are deemed to be in compliance with this provision.

Initial \_\_\_\_\_

**Immigration and Nationality Act:** Bidder shall comply with all immigration laws as outlined in 8 USC § 1324a - Unlawful employment of aliens. County will not intentionally award County contracts to any Bidder who knowingly employs unauthorized Alien workers. Any violation of the employment provisions outlined in the Immigration and Nationality Act throughout the term of any Agreement with County may result in immediate termination of the Agreement. County will consider the employment of unauthorized aliens a violation of Section 274A (e) of the Immigration and Nationality Act. Such violation will be cause for unilateral cancellation of the Agreement, by County, if Contractor knowingly employs unauthorized aliens.

Initial \_\_\_\_\_

**BIDDER'S REPRESENTATION AND CERTIFICATION FORM**

Page 3 of 4

**Lobbying:** Bidder shall not, in connection with the Agreement, directly or indirectly (1) offer, confer, or agree to confer any pecuniary benefit on anyone as consideration for any County officer or employee's decision, opinion, recommendation, vote, other exercise of discretion, or violation of a known legal duty, or (2) offer, give, or agree to give to anyone any gratuity for the benefit of, or at the direction or request of, any County officer or employee. For purposes of clause (2), "gratuity" means any payment of more than nominal monetary value in the form of cash, travel, entertainment, gifts, meals, lodging, loans, subscriptions, advances, deposits of money, Services, employment, or contracts of any kind.

Initial \_\_\_\_\_

**Non-Collusion:** Bidder agrees that neither it, nor any of its officers, partners, agents or employees have entered into any agreement, participated in any collusion, or otherwise taken any action which is in restraint of a free competitive solicitation in connection with this Agreement, and that Bidder intends to do the work with its own bona fide employees or subcontractors and has not provided a response for the benefit of another contractor. Furthermore, Bidder certifies that its affiliates, subsidiaries, directors, officers, and employees are not currently under investigation by any governmental authority and have not in the last ten (10) years been convicted or found liable for any act prohibited by law in any jurisdiction, involving conspiracy or collusion with respect to submitting a response on any public contract.

Initial \_\_\_\_\_

**Prohibited Interests:** Bidder, and its sub-contractors at any tier, certify that they have not entered into any contract, sub-contract, or arrangement in connection with the project covered under this Invitation to Bid, or of any property included or planned to be included in the project, in which any member, officer, or employee of the Bidder or its sub-contractors, during its tenure, or for two years thereafter, has any interest, direct or indirect.

Initial \_\_\_\_\_

**Public Entity Crime:** A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity in excess of the threshold amount provided in s. 287.017, Florida Statutes for CATEGORY TWO for a period of 36 months following the date of being placed on the convicted vendor list.

Initial \_\_\_\_\_

**Scrutinized Vendor:** Bidder certifies under penalties of perjury, as of the date of this solicitation to provide goods and/or services to the County of Stuart, that it:

- (1) Does not participate in a boycott of Israel; and
- (2) Is not on the Scrutinized Companies that Boycott Israel List; and
- (3) Is not on the Scrutinized Companies with Activities in Sudan List; and
- (4) Is not on the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List; and
- (5) Has not engaged in business operations in Syria.

Submitting a false certification shall be deemed a material breach of contract. The County of Stuart shall provide notice, in writing, to the Contractor of the County's determination concerning the false certification. Section 287.135, Florida Statutes, prohibits state agencies and departments, and local government entities from: 1) Contracting with companies for goods or services in any amount if at the time of bidding on, submitting a BID for, or entering into or renewing a contract if the company is on the Scrutinized Companies that Boycott Israel List, created pursuant to Section 215.4725, F.S. or is engaged in a boycott of Israel; and 2) Contracting with companies, for goods or services over \$1,000,000.00 that are on either the Scrutinized Companies with activities in the Iran Petroleum Energy Sector list, created pursuant to s. 215.473, or are engaged in business operations in Syria.

Initial \_\_\_\_\_

**EXHIBIT  
E**

**BIDDER'S REPRESENTATION AND CERTIFICATION FORM**

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**Indemnification:** The Contractor/Builder or its sub-contractors shall indemnify, defend and hold harmless the COUNTY, and its officers and employees, from all claims, demands, liabilities, damages, losses, and costs, including, but not limited to, reasonable attorneys' fees, to the extent caused by the negligence, recklessness, or intentionally wrongful conduct of the Contractor/Builder or its sub-contractors and other persons employed or utilized by the Contractor/Builder or its sub-contractors in the performance of the agreement; regardless of the negligence of the indemnitee or its officers, directors, agents, or employees. However, such indemnification shall not include claims of, or damages resulting from, gross negligence, or willful, wanton, or intentional misconduct of the indemnitee or its officers, directors, agents, or employees. Upon request of the COUNTY, the Contractor/Builder or its sub-contractors shall, at no cost or expense to the COUNTY, indemnify and hold the COUNTY harmless of any suit asserting a claim for any loss, damage or liability specified above, and Contractor/Builder or its sub-contractors shall pay any cost and reasonable attorneys' fees that may be incurred by the COUNTY in connection with any such claim or suit or in enforcing the indemnity granted above. Nothing in this agreement should be construed as the COUNTY waiving its sovereign immunity pursuant to 768.28, et seq., Florida Statutes, or any other sovereign or governmental immunity.

Initial \_\_\_\_\_

If Bidder cannot attest to any of the above, they must submit an explanation as to why on their letterhead, signed by the individual signing this Form, and attach such to this Form.

Bidder's Name: \_\_\_\_\_

Bidder's Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Email Address: \_\_\_\_\_

Authorized Representative: \_\_\_\_\_ Title: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

\*\*\*\*\*

State of \_\_\_\_\_

County of \_\_\_\_\_

The foregoing Affidavit was acknowledged before me on \_\_\_\_\_ (DATE).

[Notary Seal]

\_\_\_\_\_  
Notary Public Signature

**SUB-CONTRACTOR LIST**

Bidder's Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

**NOTE:** List all **sub-contractors** you invited to bid on this project, whether they were selected or not. If sub-Contractors will not be used on this agreement, check the box below. **Form must be submitted with your bid.** Use additional sheets if necessary.

The County reserves the right to reject any bids if the Bidder names sub-contractors who have previously failed in the proper performance of an award or failed to deliver on time contracts of a similar nature, or who is not in a position to perform under this award. The County reserves the right to inspect all facilities of any sub-Contractor in order to make a determination as to the foregoing.

|   | Company Name | Work To Be Performed | Contact Person | Telephone Number |
|---|--------------|----------------------|----------------|------------------|
| 1 |              |                      |                |                  |
| 2 |              |                      |                |                  |
| 3 |              |                      |                |                  |
| 4 |              |                      |                |                  |
| 5 |              |                      |                |                  |
| 6 |              |                      |                |                  |

☐ I affirm that sub-contractor(s) will not be used to complete projects under this agreement.

Print Name: \_\_\_\_\_ Title: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

No contractor will be allowed to have more than two (2) jobs per bid round, with a maximum award of three (3) jobs under construction at one time without the consent of the PA.

**The County places significant value on high quality work and performance, timely access and response, scheduling and cost concerns and communication.**

Taylor County is an Equal Opportunity Employer and makes all efforts to include Section 3, WMBE, Veteran-Owned, and all other underserved business types in any bid solicitations related to County Grant Programs. A complete statewide and local W/MBE listing can be accessed via the following weblink: <https://vendor.myfloridamarketplace.com/search/vendor>. A complete nationwide and local Section 3 listing can be accessed via the following weblink: <https://hudapps.hud.gov/OpportunityPortal/searchBusiness.action>. Contractors shall make all relevant and feasible efforts to seek and employ W/MBE and Section 3 business and individuals. **Physical or digital copies of the Taylor County WMBE/Section three firm listing can be provided upon request.**

**TAYLOR COUNTY**  
**HOUSING REHABILITATION PROGRAM**

Department of Grants Administration  
401 Industrial Park Dr.  
Perry, Florida 32347

**CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications**

**PROPERTY INFORMATION:**

|                       |   |                        |                          |
|-----------------------|---|------------------------|--------------------------|
| Property Address:     | 12939 US Highway 19 N. Greenville, FL 32331 |                        |                          |
| Property Owner:       | <b>Dustin Wimberly &amp; Amber Schubert</b> |                        |                          |
| Home Phone:           | 478-456-6816                                |                        |                          |
| Alt Phone:            | 850-404-4454                                |                        |                          |
| Year Built:           | 1950  |                        |                          |
| LBP/ACM               | LBP Action: See Report                      | ACM Action: See report |                          |
| Building Description: | Number of bedrooms:                         | 2                      | Number of bathrooms: 1.5 |
| Parcel ID Number:     | 01377-000                                   |                        |                          |

| Note | System         | Description of Work   | Location | Price                     | Contractor Initials |
|------|----------------|---|----------|---------------------------|---------------------|
| A.   | REHABILITATION | Special attention should be directed to the attached reports regarding <u>Lead Base Paint, Asbestos</u> , and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.   | Unit     | \$ <u>N/A</u>             |                     |
| B.   | SITework       | Rehabilitation of unit shall include: <u>1.</u> Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. <u>2.</u> Disconnect and re-connect to community water systems if required by code or specification within this document. <u>3.</u> Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. <u>4.</u> Disconnect and re-connect existing septic system or to community sewer utility (where applicable). | All      | INCLUDE IN BID LINE ITEMS |                     |

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name): \_\_\_\_\_ Contractor Name (Print Name): \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_ Contractor's Email: \_\_\_\_\_

**PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:**

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.

|                            |       |                            |       |
|----------------------------|-------|----------------------------|-------|
| X _____                    | /   / | X _____                    | /   / |
| Property Owner's Signature | Date  | Property Owner's Signature | Date  |

**CONTRACTOR BID INFORMATION**

Total contractor bid for requested work: \$ \_\_\_\_\_  
The proposed work shall be completed within 120 Business/Working Days.

**Bid submitted by:**

Company Name: \_\_\_\_\_

Authorized Signature\*: X \_\_\_\_\_

\* Signature of licensee, or signature of person authorized by licensee whose authorization must be on file



**TAYLOR COUNTY**  
**CDBG HOUSING REHABILITATION PROGRAM**

**Warranty Rehabilitation Scope of Work and Specifications**

|                 |  |              |                     |
|-----------------|--|--------------|---------------------|
| <b>Client:</b>  | <b>Dustin Wimberly &amp; Amber Schubert</b>        | <b>Date:</b> | <b>October 2023</b> |
| <b>Address:</b> | <b>12939 US Highway 19 N. Greenville, FL 32331</b> |              |                     |

This CDBG Scope of Work and Specification Analysis Report shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

**NOTE: Signature required for acknowledgment of Notice to Bidding General Contractors**

Print Name

Signature

Date

The above applies to all line items associated with this Scope of Work:

| Description: Project Operation | Qty. | Location | Amount |
|--------------------------------|------|----------|--------|
|--------------------------------|------|----------|--------|

## 1. OPERATIONAL

1. Operational Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).

### 1a. STORAGE

1a. Storage Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. *The homeowner shall be responsible for storing and replacing belongings into and out of the POD.*

#### Line-item Notes:

**NOTE 1:** Price to include keyed security lock. The homeowner shall be provided with the sole key and the responsibility for the key's location.

### 1b. GENERAL REPORTING

1b. Reporting Requirements Unit Site \$ \_\_\_\_\_

The contractor shall contact, either by phone or electronic communication (text or email), the homeowner at least once per week to provide project progress updates. This shall be documented via an every Monday Email Report (MER) to the project manager: Failure to contact the owner and/or provide the MER for two (2) consecutive weeks will result in a \$50 per week credit back to the owner's assistance availability or the SHIP program in general. This credit shall be applied at every failure of compliance occurrence.

#### Line-item Notes:

**NOTE 1:** Failure to place a cost for this line item will not exclude the contractor from the responsibility and required stated therein.

### 1c. MANUALS & SPECIFICATION DOCUMENTS

1c. Manuals & Specifications Unit Site \$ N/A

The contractor shall supply, at the time of the final CDBG Program inspection, all manufacturer manuals and specification booklets/packets for all supplied and installed products listed within the Scope of Work. Failure to do so may result in a failed final CDBG Program Inspection.

#### Line-item Notes:

**NOTE 1:** To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

| Description-EXPLORATORY & SAFETY | Qty | Location | Bid Amount |
|----------------------------------|-----|----------|------------|
|----------------------------------|-----|----------|------------|

## 2. SYSTEM DISCIPLINE INSPECTION-Electrical

### 2. Electrical Inspection

Unit Site \$ \_\_\_\_\_

Due to reported electrical shorts, and non-operational outlets: Inspect and test the housing unit electrical systems and wiring network in its entirety to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC.

A licensed electrician must complete inspection and the electrical report must be submitted to Guardian Project Manager. A 3<sup>rd</sup> party report showing the findings at the time of inspection must be provided prior to any change order approval or payment being made.

#### Line-item Notes:

**NOTE 1: Based on the inspection report:** All subsequent non-listed electrical repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.

## 2a. SYSTEM DISCIPLINE INSPECTION-Plumbing & Water Supply

### 2a. Plumbing & Water Supply Inspection

Unit Site \$ \_\_\_\_\_

Due to reported plumbing and possible well deficiencies: Inspect and test the housing Units plumbing lines (taking care to locate the master shut off valve) system(s) to ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code.

Inspection to be performed by a certified licensed and or registered plumbing firm and the plumbing report must be submitted to Avon Park CDBG Housing SHIP administration: A 3<sup>rd</sup> party report showing the findings at the time of inspection shall be provided to the County before any payment is made or change order granted.

#### Line-item Notes:

**NOTE 1: Based on the inspection report:** All subsequent non-listed plumbing repairs (smoke detectors, etc.) and procedures (if determined AFTER by inspection results) shall be in compliance with all current NEC, State and Federal regulations.



| Description-SAFEY & NOISE ATTENUATION | Qty | Location | Bid Amount |
|---------------------------------------|-----|----------|------------|
|---------------------------------------|-----|----------|------------|

### 3. FENCING

#### 3. Fencing & Gate

Unit

Site

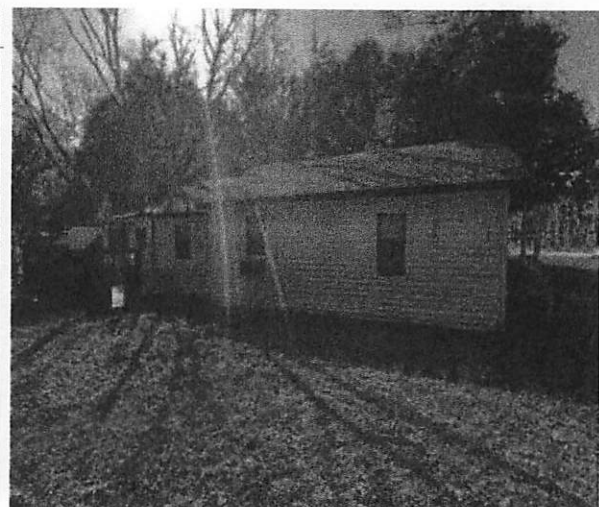
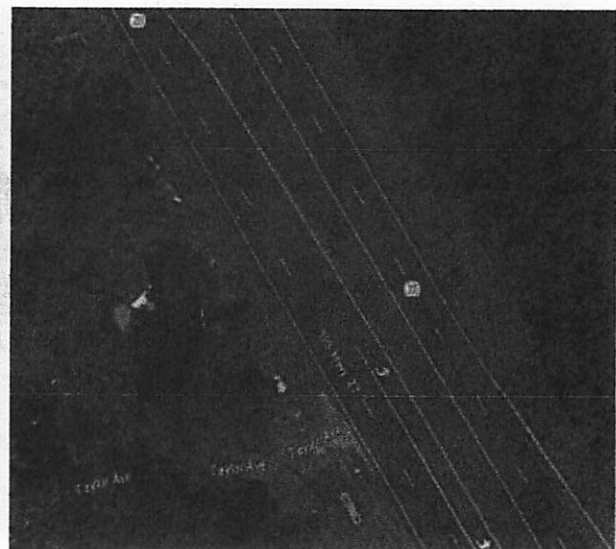
\$ \_\_\_\_\_

Due to the dwelling's proximity to US Highway 19 the following shall occur to ensure site safety and provide a noise barrier: Contractor shall prepare the site and within the legal property boundaries, construct a 6' high, PT (shadowbox styled), wooden safety/privacy fence.

Facing the home from the road, the fence shall be constructed along the front and left elevations of the property (see photo #2 below marked with X's). Within the property boundaries the homeowner and contractor shall determine the final location of the fencing within the following parameters: (1) Starting at the North end of the property, the new fence shall span the front elevation of the home, extending approx. 1-full 8' (in length) panel beyond the front edge of the actual home; (2) The left elevation (south side) fence span shall connect to the front elevation span and extend approx. 10' along the left (south side) elevation of the home.

#### Line-item Notes:

**NOTE 1:** fence location shall, by all best efforts, not require tree or shrubbery removal.



| Description-STRUCTURAL & ROOFING | Qty | Location | Bid Amount |
|----------------------------------|-----|----------|------------|
|----------------------------------|-----|----------|------------|

#### 4. ROOFING & COMPONETS

##### 4. Re-Roof

Unit

Site

\$ \_\_\_\_\_

Remove existing roof covering (**All Sloped-Sections-including dormer**) and all deteriorated surface material. Strip the roof down to the sheathing/decking. Replace sheathing and/or decking not to exceed (15%); any replacement above 15% will be addressed by change order with appropriate back-up. Where sheathing needs to be re-nailed: The entire roof is to be re-fastened using faster type and spacing distances that are in accordance with the current Florida Building Code requirements.

One 36" layer of self-adhering synthetic underlayment shall be utilized over the entire roof deck and per note 2 below. The entire new roof system shall conform to building code and jurisdictional requirements. **No fasteners shall penetrate exposed surface areas, fascia or drip edge.**

Replace existing roof covering with new, 30-year asphalt, dimensional, architectural shingles. Additionally, all drip edge, boots and vent/stacks shall be replaced with like code compliant products and material. The new boots and vent/stacks flashed per the most stringent requirements of the manufacturer's specifications or FBC (5-year warranty required). (Recommended Product: Gibraltar Building Products or equal in value and quality).

##### Line-item Notes:

**NOTE 1:** Prior to submitting this bid...all bidding contractors shall ensure with the building department and note the slope of the roof to ensure that metal roof installation can be utilized per this scope of work.

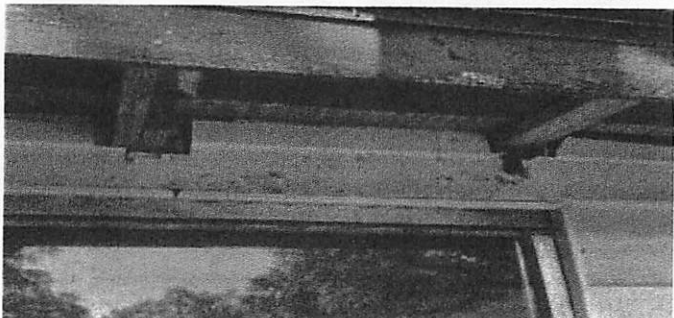
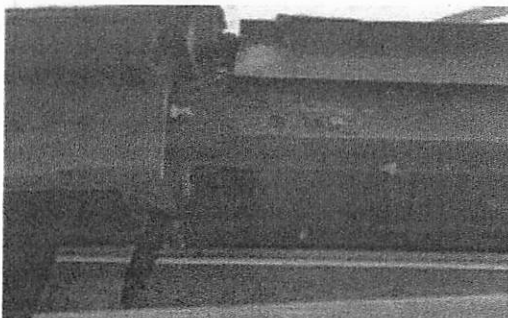
**NOTE 2:** An additional 36" layer of self-adhering modified underlayment shall be placed above the seams in all valleys. The underlayment shall extend a minimum of 2" over each seam.

**NOTE 3:** **Rear Low-sloped** span of the roof may require cap-sheet waterproofing and modified bitumen covering. The contractor shall account for this within the total line-item cost.

**NOTE 4:** Roof repair to include removal of all existing fascia and soffit. The replacement shall be with new, white aluminum wrapped fascia and new, white vented vinyl soffit in the footprint of the removed material (excludes gable sections). Installation shall be to code and manufacturers specifications.

**NOTE 5:** As applicable, the bid shall include the cost of replacing the mast and head.

**NOTE 6:** Contractor shall submit an affidavit to the inspector to the effect that the sheathing/decking nail fastening specification described in this line item has been met. This item will have a mandatory inspection with the rehab inspector.





| Description-WINDOWS & DOORS | Qty | Location | Bid Amount |
|-----------------------------|-----|----------|------------|
|-----------------------------|-----|----------|------------|

## 5. WINDOWS

### 5. Windows

As-Listed      Site      \$ \_\_\_\_\_

Remove Thirteen (13) existing windows and trim (Front-2; Right-4; Rear-2; Left-5). Replace windows with new **Miami Dade NOA approved Hurricane rated Impact** dual pane, single hung energy efficient rated windows with aluminum framed screens. **Bathrooms shall have obscure glass.**

Bid to include all code required modifications to openings (anchor framing, buck, sealing, etc...) necessary to accommodate the new windows. **Windows must be energy efficiency rating for the Southern Region (Florida) of the United States:** (Exact window size & dimensions to be determined by contracting firm).

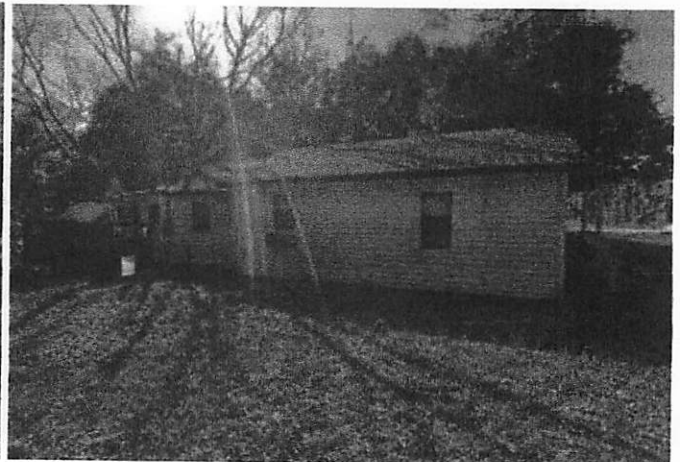
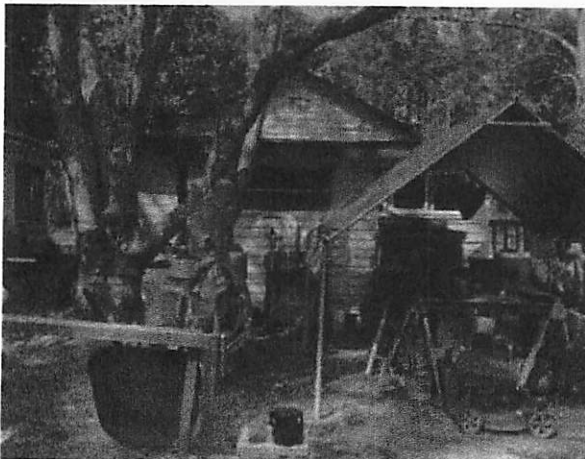
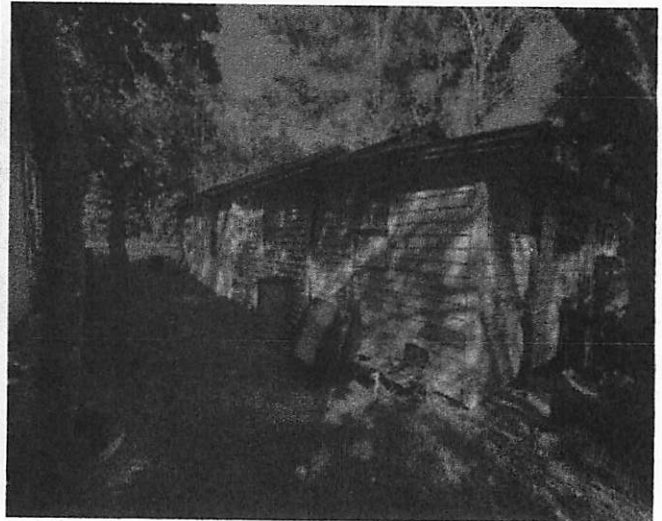
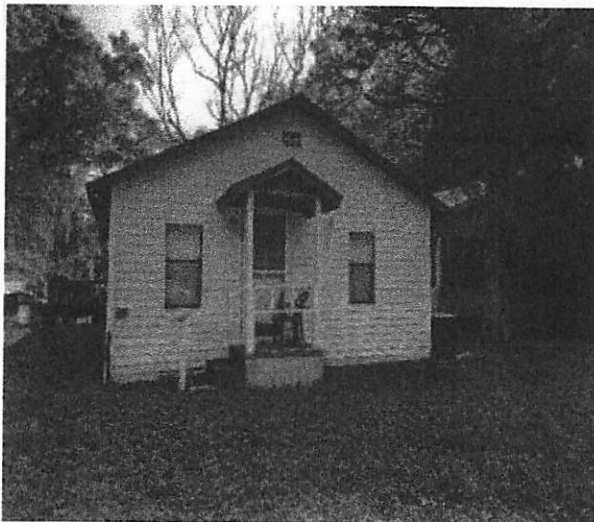
Installation to include all required permits, additional anchor framing, trim, hardware, components, and tap cons (**TAP CONS MUST BE WHITE**) to ensure proper and complete installation to current Florida Building Code. (Recommended Product: PGT Win-Guard or equal in value and quality).

#### Line-item Notes:

**NOTE 1:** Window installation to include new, white, wood windowsills.

**NOTE 2:** All window removal/installations shall account for potential repairs or replacement of damaged exterior window trim.

**NOTE 3:** Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package.



## 5a. DOORS

### 5a. Doors

As-Listed Site

\$ \_\_\_\_\_

Remove the existing primary entry/exit doors (**1-1/2 light unit** (with internal blinds) at the front elevation and **1-1/4 light unit** at the left elevation) and install new, hurricane impact rated, energy efficient (for the southern region) door in the listed location(s). The new doors shall match existing "swing" and be painted white.

The installation shall include jambs, preparation a sufficient door buck to accommodate the new door, wood casing, and install a new white pre-hung fiberglass Hurricane Impact rated, energy efficient door. Patch to match any damaged walls/areas caused by installation. (Door size & dimensions to be determined by contracting firm); Installation to include all required permits, additional anchor framing, hardware, components, and tap cons (**TAP CONS MUST BE WHITE**) to ensure proper and complete installation to current Florida Building Code.

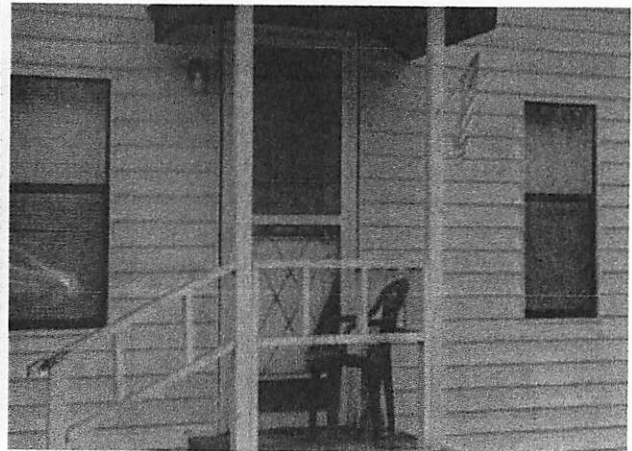
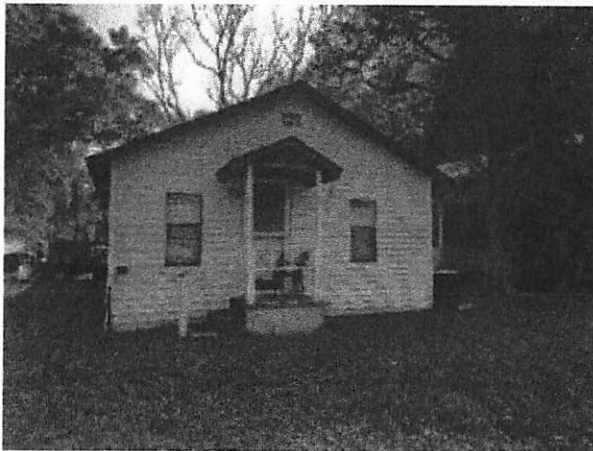
Door installation shall include keyed (alike) entry lockset with lever handle (both sides): "Schlage", Flair F51 and matching deadbolt or approved equal, deadbolt keyed one side to the lock set, vinyl bubble weather-stripping, and aluminum threshold.

#### Line-item Notes:

**NOTE 1:** Where a landing is required according to code. In absence of a landing, Contractor shall construct a concrete landing in front of the door as required by code, (or where a landing exists, contractor shall re-construct/modify the existing landing in order to meet code).

**NOTE 2:** Front storm/screen door shall be documented for condition, removed and reinstalled.

**NOTE 3:** Contractor shall submit Dade County or Florida Building Code hurricane impact product approval stamped by the building Department of jurisdiction, with this projects close-out package. Door assembly shall meet Dade County or Florida Building Code product approval without using interior slide bolts.



Go Dawgs!

| Description-APPLIANCES | Qty | Location | Bid Amount |
|------------------------|-----|----------|------------|
|------------------------|-----|----------|------------|

## 6. HEATING/AIR & COMPONENTS

### 6. HVAC System

Unit Site \$ \_\_\_\_\_

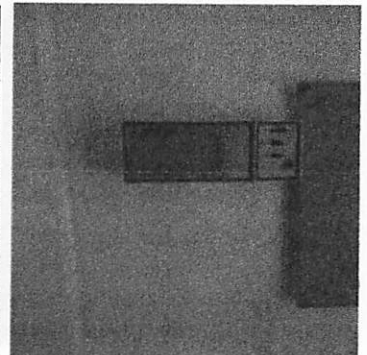
Remove the existing HVAC system and all associated components (including duct network). Install new complete HVAC unit and duct network (tonnage to be calculated based on required energy calcs), minimum 16 SEER central heating and air conditioning system. Rheem (RA16) Classic Series or approved equal in value and quality.

The system is to include infrastructure to ensure service to all habitable rooms, including new vents covers/return grills. Installation shall also include air handler, piping Electrical service connects/disconnects, programmable thermostat and all other infrastructure and components necessary for a complete working system. At final installation of the duct network, they shall be adjusted the to ensure maximum air flow:

Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad. The contractor must provide a written statement from the HVAC firm performing the duct/plenum cleaning that the ducts have been cleaned in accordance with all governing regulations.

#### Line-item Notes:

**NOTE 1:** Contractor shall provide drawings, manual J calculations, and documents as required to perform the SOW.



## 6a. WATER HEATER

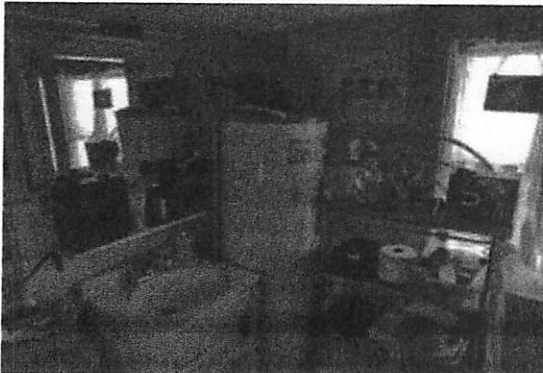
### 6a. Water Heater

Unit Site \$ \_\_\_\_\_

Remove existing hot water heater and replace with new, electric, 40 Gallon hot water heater with dual 250volt, 4500-watt heating elements, water supply valves, pressure relief valve with 3/4" copper piped to the exterior, drip pan. Sweat solders the copper fittings to connect the new water heater. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with the current code/UPC. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Whirlpool or equal in value and quality).

#### Line-item Notes:

**NOTE 1:** Bid to include expansion tank and all associated components.





| Description-APPLIANCES | Qty | Location | Bid Amount |
|------------------------|-----|----------|------------|
|------------------------|-----|----------|------------|

## 7. KITCHEN

### 7. Cabinets-Tops & Components

Unit

Site

\$ \_\_\_\_\_

Remove all existing wall-base cabinets and countertops. Replace them with new kitchen cabinets and seamless laminate countertops. New cabinets should match the existing footprint and include additions listed in the notes below:

Installation shall include a new stainless-steel single bowl sink and all required fixtures (with extendable single lever, faucet/spray nozzle), new plumbing lines, connects, valves, and all other components and hardware to ensure complete and correct operational order.

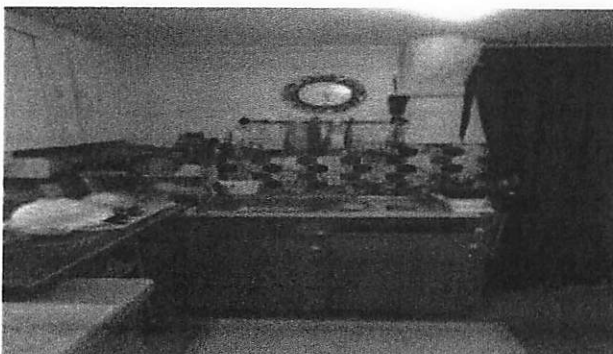
*The owner must be provided three (3) color/style selections. Unit to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm.* (Recommended Product type: Wellborn or equal in value and quality). Installation to include (at homeowner request) space for dishwasher (with electrical and plumbing connections).

#### Line-item Notes:

**NOTE 1:** Cabinet doors and drawers shall contain brushed nickel finished opening/closing hardware.

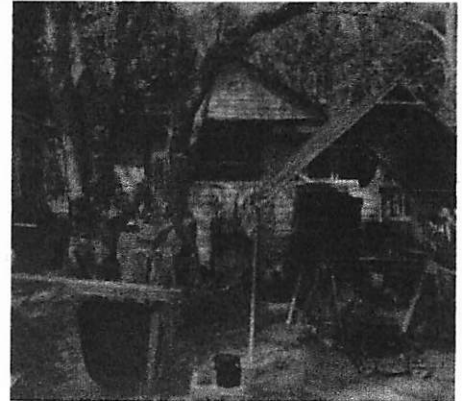
#### **Cabinet Requirements:**

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry (including back splash) shall be constructed of no less than (3/8) three eights in thick plywood. Pressed board or engineered wood is not acceptable.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil-based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls. Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.



----- END SOW -----

----- EXISTING DWELLING FOOTPRINT -----



----- EXISTING DWELLING FOOTPRINT -----

**ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$ \_\_\_\_\_

**"EXHIBIT A"**

**TAYLOR COUNTYSHIP  
HOUSING REHABILITATION PROGRAM  
Subcontractor and Permit Listing**



List all subcontractors that will be used for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

| SUBCONTRACTING FIRM NAME | SUBCONTRACTING FIRM PHONE # |
|--------------------------|-----------------------------|
| 1.                       | 1.                          |
| 2.                       | 2.                          |
| 3.                       | 3.                          |
| 4.                       | 4.                          |
| 5.                       | 5.                          |
| 6.                       | 6.                          |
| 7.                       | 7.                          |
| 8.                       | 8.                          |
| 9.                       | 9.                          |
| 10.                      | 10.                         |



List all permits that will be required for the work completed on this property: Failure to complete this Exhibit may result in this bid being considered incomplete and ineligible for award.

| REQUIRED PERMITS | PRINT NAME OF ENTITY RESPONSIBLE FOR PERMIT |
|------------------|---|
| 1.               |   |
| 2.               |   |
| 3.               |   |
| 4.               |   |
| 5.               |   |
| 6.               |   |
| 7.               |   |
| 8.               |   |
| 9.               |   |
| 10.              |   |

Contractor's Name (Print Name): \_\_\_\_\_  
Contractor's Signature: \_\_\_\_\_  
Title of signatory: \_\_\_\_\_

**"EXHIBIT B"**  
**TAYLOR COUNTY**  
**CDBG**  
**HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION**

1. The Contractor must provide at least three (3) color choices for each eligible item.

**NOTE:** See attached scope of work for eligible items.

2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.

**3. It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.**

4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.

5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

**COLORS AND STYLES TO BE LISTED IN THE GRID BELOW**

| ITEM LOCATION | ITEM PRODUCT # | ITEM STYLE CODE | ITEM COLOR CODE |
|---------------|----------------|-----------------|-----------------|
|               |                |                 |                 |
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**(NOTE:** PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRED. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

|                                    |          |
|------------------------------------|----------|
| Homeowner Signature: _____         | Date: __ |
| Contractor Signature: _____        | Date: __ |
| Housing Inspector Signature: _____ | Date: __ |

## LEAD-BASED PAINT INSPECTION REPORT

**REPORT NUMBER:** 10/03/23 14:30

**INSPECTION LOCATION:** Dustin Wimberly  
12939 N US-19  
Greenville, Florida 32331

**INSPECTION FOR:** The Taylor County CDBG Program  
c/o Guardian CRM, Inc.  
ITQ-CDBG-LBP

**INSPECTION DATE:** 10/03/23

**INSTRUMENT TYPE:** RMD MODEL LPA-1  
XRF TYPE ANALYZER/ SERIAL #1121

**ACTION LEVEL:** 1.0 MG/CM\*\*2

**OPERATOR LICENSE:** U.S. Environmental Protection Agency /  
No. FL-R-4850-2

I hereby certify that to the best of my knowledge; the following report reflects the true lead content of the painted surfaces as tested by XRF at the above address.

SIGNED  DATE 10/3/23

Anthony C. Penna – President  
Associated Consulting Professionals, Inc.  
1759 Bayhill Drive  
Oldsmar, Florida 34677  
Phone 727.773.9200

INSPECTION REPORT CONTENTS: Dustin Wimberly – 12939 N US-19, Greenville, Florida

COVER PAGE

SUMMARY

XRF INSPECTION NOTES

XRF COMPUTER GENERATED DETAILED REPORT

SUMMARY

A copy of this summary must be provided to new lessees (tenants) and purchasers of this property under Federal law (24 CRF part 35 and 40 CRF part 745) before they become obligated under a lease or sales contract. The complete report must also be provided to new purchasers, and it must be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards. (See Section IV of Chapter 7 of the HUD Guidelines for further details).

XRF INSPECTION NOTES

Anthony Penna of Associated Consulting Professionals, Inc. performed at lead-based paint inspection on this property utilizing XRF technology. This inspection did not include such items as water sampling, soil analysis, mini blind testing, lead dust analysis, furniture, bathroom and or floor/window tile-except as noted below. Non-painted items such as tile windowsills and vinyl base were not tested unless they have been painted over with conventional house paints.

When identifying a testing location with a Wall A, B, C or D designation, this is used to determine where a test was taken in correlation to the numbered front entry to the home. Wall A is the front wall, B, C and D walls follow in a clockwise direction around the house or room. For this home wall A is the East wall in all rooms.

When an item is listed as positive it includes all like items in the identified area (room or exterior) unless otherwise noted.

**Please Note:** A property is exempt from having a Lead Risk Assessment performed if it has been tested by XRF by an EPA certified Lead Risk Assessor and found to not have lead-based paint covered components.

POSITIVE LEAD-BASED PAINT LOCATIONS:

Exterior – None

Interior – None



ENGINEERING &  
ENVIRONMENTAL  
SERVICES

---

**ACM ENGINEERING & ENVIRONMENTAL SERVICES**

---

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS  
TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

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**NESHAP PRE-DEMOLITION SUSPECT ASBESTOS  
CONTAINING BUILDING MATERIAL SAMPLING  
AND ANALYSIS REPORT**

---

**FOR:**

***Guardian CRM, Inc.  
15000 Citrus County Drive, Suite 331  
Dade City, Florida 33523***

**LOCATION:**

***Schubert Residence  
12939 US 19  
Greenville, Florida 32331***

**PERFORMED BY:**

***ACM Engineering & Environmental Services  
5404 Hoover Blvd., Suite 9  
Tampa, Florida 33634***

**DATE:**

***September 5<sup>th</sup>, 2023***



ENGINEERING &  
ENVIRONMENTAL  
SERVICES

---

## **ACM ENGINEERING & ENVIRONMENTAL SERVICES**

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SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS  
TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

---

### **NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT**

---

**FOR:**

**Guardian CRM, Inc.  
15000 Citrus County Drive, Suite 331  
Dade City, Florida 33523**

**DATE: September 5<sup>th</sup>, 2023**

**STRUCTURE: Schubert Residence**

**LOCATION: 12939 US 19**

**CITY, STATE: Greenville, Florida 32331**

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#### **PROJECT REVIEW:**

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ACM Engineering and Environmental Services, Inc. (ACM- Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the Schubert Residence scheduled for demolition located at 12939 US 19 in Greenville, Florida. The site survey was performed by Joshua Baker on August 31<sup>st</sup>, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

*P, TL 9/5/23*



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**EXECUTIVE SUMMARY:**

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The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 12939 US 19 in Greenville, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-nine (29) suspect asbestos bulk samples from eleven (11) homogeneous materials were collected and analyzed for asbestos content.

A summary of the analysis results is as follows:

**A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:**

- None

**B. The following sampled building materials were identified to be non-detectable for asbestos content.**

- Wood Pattern Vinyl Flooring
- Flooring Adhesive
- Green Vinyl Flooring
- Flooring Adhesive
- Surface Texture
- Drywall Composite
- Window Caulk
- Vapor Barrier
- Counter Caulk
- Roof Shingle
- Black Roofing Tar

P.T.L. 9/5/23

**TAYLOR COUNTY**  
**HOUSING REHABILITATION PROGRAM**  
 Department of Grants Administration  
 401 Industrial Park Dr.  
 Perry, Florida 32347

**CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications**

**PROPERTY INFORMATION:**

|                       |  |                 |                        |
|-----------------------|--|-----------------|------------------------|
| Property Address:     | 16481 School House Rd. Salem, FL 32356 |                 |                        |
| Property Owner:       | Christopher Davis & Kristina Huskins   |                 |                        |
| Home Phone:           | 850-838-6670                           |                 |                        |
| Alt Phone:            | 850-843-2929                           |                 |                        |
| Year Built:           | 1995                                   |                 |                        |
| <b>LBP/ACM</b>        | LBP Action: N/A                        | ACM Action: N/A |                        |
| Building Description: | Number of bedrooms:                    | 3               | Number of bathrooms: 2 |
| Parcel ID Number:     | 09357-000                              |                 |                        |

| Note | System         | Description of Work  | Location | Price                     | Contractor Initials |
|------|----------------|--|----------|---------------------------|---------------------|
| A.   | REHABILITATION | Special attention should be directed to the attached reports regarding <u>Lead Base Paint, Asbestos</u> , and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.  | Unit     | \$ <u>N/A</u>             |                     |
| B.   | SITework       | Rehabilitation of unit shall include: <u>1.</u> Re-connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. <u>2.</u> Disconnect and re-connect to community water systems if required by code or specification within this document. <u>3.</u> Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. <u>4.</u> Disconnect and re-connect existing septic system or to community sewer utility (where applicable). | All      | INCLUDE IN BID LINE ITEMS |                     |

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name): \_\_\_\_\_ Contractor Name (Print Name): \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_ Contractor's Email: \_\_\_\_\_

**PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:**

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.

X \_\_\_\_\_ /   /   X \_\_\_\_\_ /   /  
Property Owner's Signature      Date      Property Owner's Signature      Date

**CONTRACTOR BID INFORMATION**

Total contractor bid for requested work: \$ \_\_\_\_\_  
The proposed work shall be completed within 120 Business/Working Days.

**Bid submitted by:**

Company Name: \_\_\_\_\_

Authorized Signature\*: X \_\_\_\_\_

\* Signature of licensee, or signature of person authorized by licensee whose authorization must be on file

**TAYLOR COUNTY**  
**CDBG HOUSING REHABILITATION PROGRAM**

**Warranty Rehabilitation Scope of Work and Specifications**

|                 |  |              |                     |
|-----------------|--|--------------|---------------------|
| <b>Client:</b>  | <b>Lessie (Cruce) Land</b>                   | <b>Date:</b> | <b>October 2023</b> |
| <b>Address:</b> | <b>6749 S Red Padget Rd. Perry, FL 32348</b> |              |                     |

This **CDBG Scope of Work and Specification Analysis Report** shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

**NOTE: Signature required for acknowledgment of Notice to Bidding General Contractors**

Print Name

Signature

Date

The above applies to all line items associated with this Scope of Work:

| Description: Project Operation | Qty. | Location | Amount |
|--------------------------------|------|----------|--------|
|--------------------------------|------|----------|--------|

#### 1. OPERATIONAL

1. Operational Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).

#### 1a. STORAGE

1a. Storage Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. *The homeowner shall be responsible for storing and replacing belongings into and out of the POD.*

##### Line-item Notes:

**NOTE 1:** Price to include keyed security lock. The homeowner shall be provided with the sole key and the responsibility for the key's location.

#### 1b. GENERAL REPORTING

1b. Reporting Requirements Unit Site \$ \_\_\_\_\_

The contractor shall contact, either by phone or electronic communication (text or email), the homeowner at least once per week to provide project progress updates. This shall be documented via an every Monday Email Report (MER) to the project manager: Failure to contact the owner and/or provide the MER for two (2) consecutive weeks will result in a \$50 per week credit back to the owner's assistance availability or the SHIP program in general. This credit shall be applied at every failure of compliance occurrence.

##### Line-item Notes:

**NOTE 1:** Failure to place a cost for this line item will not exclude the contractor from the responsibility and required stated therein.

#### 1c. MANUALS & SPECIFICATION DOCUMENTS

1c. Manuals & Specifications Unit Site \$ N/A

The contractor shall supply, at the time of the final CDBG Program inspection, all manufacturer manuals and specification booklets/packets for all supplied and installed products listed within the Scope of Work. Failure to do so may result in a failed final CDBG Program Inspection.

##### Line-item Notes:

**NOTE 1:** To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

| Description- STRUCTURE SPECIFICATIONS | Qty | Location | Bid Amount |
|---------------------------------------|-----|----------|------------|
|---------------------------------------|-----|----------|------------|

## 2. MOBILE HOME-DEMO AND REPLACEMENT

### 1. MH Demo & Replacement

Unit

Site

\$ \_\_\_\_\_

**INTRO:** The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw. Perform all required actions (Site survey review, permitting, etc...) and prep the site for demolition of the existing dwelling unit (does not include any outbuildings):

Demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall fit the footprint of the previously existing unit, as much as allowed per the specifications and requirements set forth in this Scope of Work.

- Demolish the existing mobile home unit and unless otherwise noted any attached components: The demolished unit shall be replaced with a new double-wide, 3 bedroom, 2 bath mobile/manufactured home unit in the existing footprint of the removed unit.

The new mobile home unit base price shall include the following:

- (a) Minimum (Approx.) 900 sq. ft, 3 bedrooms, 2 baths, kitchen, living room, dining area/nook, utility room; two entry exist doors (with compliant entry landing/railed steps).
- (b) All required new plumbing, sanitation, electrical, and utility hookups and/or connections.
- (c) A minimum 25-year, architectural shingled roof covering. Owner to be provided color choice.
- (d) A full appliance and ancillary package as listed: Stove, microwave range hood, refrigerator, hot water heater, toilet(s), vinyl window blinds, vanity set (1 drawer base, sink, mirror/mirrored medicine cabinet, carpet or vinyl floor covering (vinyl only in wet areas), closet shelving, television/cable/phone outlets in the living area, kitchen, and bedrooms, Living Room /Bedroom Fan-light fixtures, Dining room overhead light fixture, and all other components required to ensure move in ready condition. All appliances and light fixtures to be energy star rated for the Southern Region of the U.S.A.
- (e) Grass seeding of all disturbed areas of the yard where vegetation was removed or damaged beyond salvage.
- (f) Total unit transportation and construction set-up and connection to existing water/waste facilities.

#### Project notes to Follow:

**NOTE 1:** The mobile/manufactured housing unit must meet all current Florida Local and State residential building codes at the time of purchase from the manufacturer and upon completion construction.

**NOTE 2:** The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

**NOTE 3:** Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit primary/trim color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. See "Exhibit A".

**NOTE 4:** The front and rear entrances shall include new ADA accessibility ramps with double side handrails.

**NOTE 5:** Septic and water supply system was working at the time of inspection: systems shall be tested prior to reconnection.

**NOTE 6:** Master bath shall include ADA walk-in shower assembly (with shower door), extendable shower head, and 2 ADA anchored grab bars.

**NOTE 7:** Bath #2 shall include tub/shower combo assembly.

----- END SOW -----

----- EXISTING DWELLING FOOTPRINT -----



----- EXISTING DWELLING FOOTPRINT -----

**ENTER TOTAL BID BELOW**



**TOTAL BID AMOUNT \$** \_\_\_\_\_

**"EXHIBIT A"**

**TAYLOR COUNTY  
CDBG  
HOUSING REHABILITATION PROGRAM  
HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION**

1. Contractor must provide at least three (3) color choices for each eligible item.

**NOTE:** See attached scope of work for eligible items.

2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.

3. **It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.**

4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.

5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

**COLORS AND STYLES TO BE LISTED IN THE GRID BELOW**

| ITEM<br>LOCATION | ITEM PRODUCT<br># | ITEM STYLE<br>CODE | ITEM COLOR CODE |
|------------------|-------------------|--------------------|-----------------|
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**(NOTE:** PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRED. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

|                                    |             |
|------------------------------------|-------------|
| Homeowner Signature: _____         | Date: _____ |
| Contractor Signature: _____        | Date: _____ |
| Housing Inspector Signature: _____ | Date: _____ |



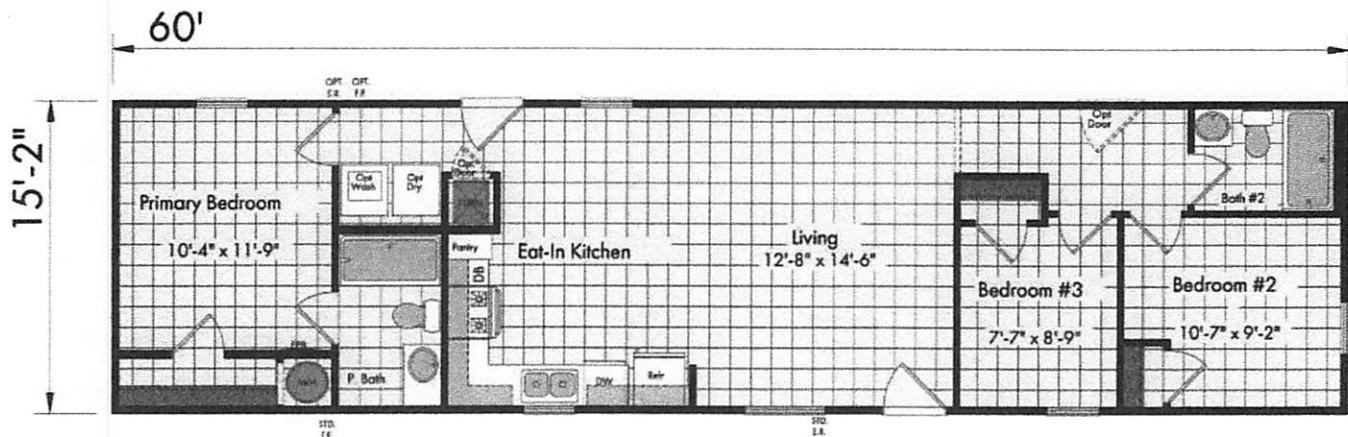
# Paramount 1660H32206

910 Square Feet, 3 Bedrooms, 2 Bathrooms, Single-Section

This manufactured home is built to the federal (HUD) building code for manufactured housing.

FLOOR PLAN MEDIA

## Floor Plan



**THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A PRODUCT EXAMPLE. ANY "OR EQUAL" PRODUCT MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROGRAM PROJECT MANAGER.**

**TAYLOR COUNTY**  
**HOUSING REHABILITATION PROGRAM**  
 Department of Grants Administration  
 401 Industrial Park Dr.  
 Perry, Florida 32347

**CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications**

**PROPERTY INFORMATION:**

|                       |                                       |                 |                        |
|-----------------------|---------------------------------------|-----------------|------------------------|
| Property Address:     | 6749 S Red Padget Rd. Perry, FL 32348 |                 |                        |
| Property Owner:       | Lessie (Cruce) Land                   |                 |                        |
| Home Phone:           | 850-843-8027                          |                 |                        |
| Alt Phone:            | 850-838-3500                          |                 |                        |
| Year Built:           | 1990                                  |                 |                        |
| <b>LBP/ACM</b>        | LBP Action: N/A                       | ACM Action: N/A |                        |
| Building Description: | Number of bedrooms:                   | 3               | Number of bathrooms: 2 |
| Parcel ID Number:     | 08608-350                             |                 |                        |

| Note | System         | Description of Work  | Location | Price                     | Contractor Initials |
|------|----------------|--|----------|---------------------------|---------------------|
| A.   | REHABILITATION | Special attention should be directed to the attached reports regarding <u>Lead Base Paint, Asbestos, and/or Mold</u> . Any recommendations included in the reports regarding such material shall become part of the Work.  | Unit     | \$ <u>N/A</u>             |                     |
| B.   | SITework       | Rehabilitation of unit shall include: <u>1</u> Re-connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. <u>2</u> Disconnect and re-connect to community water systems if required by code or specification within this document. <u>3</u> Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. <u>4</u> Disconnect and re-connect existing septic system or to community sewer utility (where applicable). | All      | INCLUDE IN BID LINE ITEMS |                     |

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name): \_\_\_\_\_ Contractor Name (Print Name): \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_ Contractor's Email: \_\_\_\_\_

**PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:**

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.

|                            |      |                            |      |
|----------------------------|------|----------------------------|------|
| X _____                    | / /  | X _____                    | / /  |
| Property Owner's Signature | Date | Property Owner's Signature | Date |

**CONTRACTOR BID INFORMATION**

Total contractor bid for requested work: \$ \_\_\_\_\_  
The proposed work shall be completed within 120 Business/Working Days.

**Bid submitted by:**

Company Name: \_\_\_\_\_

Authorized Signature\*: X \_\_\_\_\_

\* Signature of licensee, or signature of person authorized by licensee whose authorization must be on file

**TAYLOR COUNTY**  
**CDBG HOUSING REHABILITATION PROGRAM**

**Warranty Rehabilitation Scope of Work and Specifications**

|                 |  |              |                     |
|-----------------|--|--------------|---------------------|
| <b>Client:</b>  | <b>Lessie (Cruce) Land</b>                   | <b>Date:</b> | <b>October 2023</b> |
| <b>Address:</b> | <b>6749 S Red Padget Rd. Perry, FL 32348</b> |              |                     |

This **CDBG Scope of Work and Specification Analysis Report** shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

**NOTE: Signature required for acknowledgment of Notice to Bidding General Contractors**

Print Name

Signature

Date

The above applies to all line items associated with this Scope of Work:

| Description: Project Operation | Qty. | Location | Amount |
|--------------------------------|------|----------|--------|
|--------------------------------|------|----------|--------|

## 1. OPERATIONAL

1. Operational Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).

## 1a. STORAGE

1a. Storage Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. *The homeowner shall be responsible for storing and replacing belongings into and out of the POD.*

### Line-item Notes:

**NOTE 1:** Price to include keyed security lock. The homeowner shall be provided with the sole key and the responsibility for the key's location.

## 1b. GENERAL REPORTING

1b. Reporting Requirements Unit Site \$ \_\_\_\_\_

The contractor shall contact, either by phone or electronic communication (text or email), the homeowner at least once per week to provide project progress updates. This shall be documented via an every Monday Email Report (MER) to the project manager: Failure to contact the owner and/or provide the MER for two (2) consecutive weeks will result in a \$50 per week credit back to the owner's assistance availability or the SHIP program in general. This credit shall be applied at every failure of compliance occurrence.

### Line-item Notes:

**NOTE 1:** Failure to place a cost for this line item will not exclude the contractor from the responsibility and required stated therein.

## 1c. MANUALS & SPECIFICATION DOCUMENTS

1c. Manuals & Specifications Unit Site \$ NA

The contractor shall supply, at the time of the final CDBG Program inspection, all manufacturer manuals and specification booklets/packets for all supplied and installed products listed within the Scope of Work. Failure to do so may result in a failed final CDBG Program Inspection.

### Line-item Notes:

**NOTE 1:** To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

| Description- STRUCTURE SPECIFICATIONS | Qty | Location | Bid Amount |
|---------------------------------------|-----|----------|------------|
|---------------------------------------|-----|----------|------------|

## 2. MOBILE HOME-DEMO AND REPLACEMENT

### 1. MH Demo & Replacement

Unit

Site

\$ \_\_\_\_\_

**NOTE:** The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw. Perform all required actions (Site survey review, permitting, etc...) and prep the site for demolition of the existing dwelling unit (does not include any outbuildings):

Demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall fit the footprint of the previously existing unit, as much as allowed per the specifications and requirements set forth in this Scope of Work.

- Demolish the existing mobile home unit and unless otherwise noted any attached components: The demolished unit shall be replaced with a new double-wide, 3 bedroom, 2 bath mobile/manufactured home unit in the existing footprint of the removed unit.

*The new mobile home unit base price shall include the following:*

- (a) Minimum (Approx.) 900 sq. ft, 3 bedrooms, 2 baths, kitchen, living room, dining area/nook, utility room; two entry exist doors (with compliant entry landing/railed steps).
- (b) All required new plumbing, sanitation, electrical, and utility hookups and/or connections.
- (c) A minimum 25-year, architectural shingled roof covering. Owner to be provided color choice.
- (d) A full appliance and ancillary package as listed: Stove, microwave range hood, refrigerator, hot water heater, toilet(s), vinyl window blinds, vanity set (1 drawer base, sink, mirror/mirrored medicine cabinet, carpet or vinyl floor covering (vinyl only in wet areas), closet shelving, television/cable/phone outlets in the living area, kitchen, and bedrooms, Living Room /Bedroom Fan-light fixtures, Dining room overhead light fixture, and all other components required to ensure move in ready condition. All appliances and light fixtures to be energy star rated for the Southern Region of the U.S.A.
- (e) Grass seeding of all disturbed areas of the yard where vegetation was removed or damaged beyond salvage.
- (f) Total unit transportation and construction set-up and connection to existing water/waste facilities.

#### **Project notes to Follow:**

**NOTE 1:** The mobile/manufactured housing unit must meet all current Florida Local and State residential building codes at the time of purchase from the manufacturer and upon completion construction.

**NOTE 2:** The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

**NOTE 3:** Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit primary/trim color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. See "Exhibit A".

**NOTE 4:** The septic drain field was failing at the time of inspection. A new system and connection shall be included in this bid.

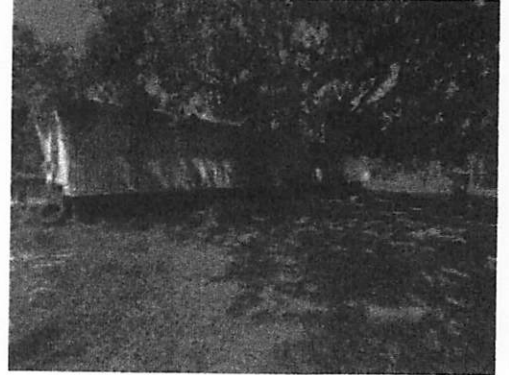
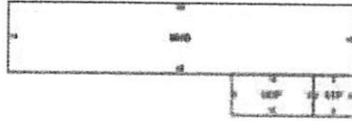
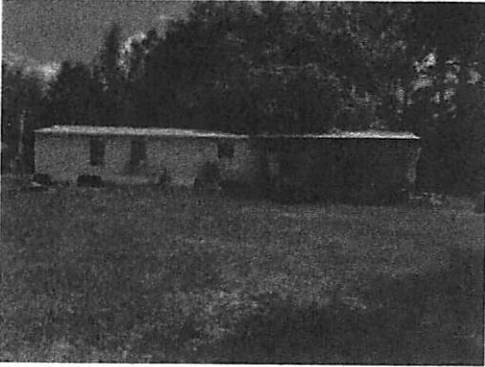
**NOTE 5:** Water supply system was working at the time of inspection (possible improper line splices exist): systems shall be tested prior to reconnection.

**NOTE 6:** Master bath shall include tub/shower combo assembly.

**NOTE 7:** Bath #2 shall include tub/shower combo assembly.

END SOW

EXISTING DWELLING FOOTPRINT



EXISTING DWELLING FOOTPRINT

**ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$ \_\_\_\_\_



**"EXHIBIT A"**

**TAYLOR COUNTY  
CDBG  
HOUSING REHABILITATION PROGRAM  
HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION**

1. Contractor must provide at least three (3) color choices for each eligible item.

**NOTE:** See attached scope of work for eligible items.

2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.

3. **It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.**

4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.

5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

**COLORS AND STYLES TO BE LISTED IN THE GRID BELOW:**

| ITEM<br>LOCATION | ITEM PRODUCT<br># | ITEM STYLE<br>CODE | ITEM COLOR CODE |
|------------------|-------------------|--------------------|-----------------|
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**(NOTE:** PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRED. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

|                                    |          |
|------------------------------------|----------|
| Homeowner Signature: _____         | Date: __ |
| Contractor Signature: _____        | Date: __ |
| Housing Inspector Signature: _____ | Date: __ |



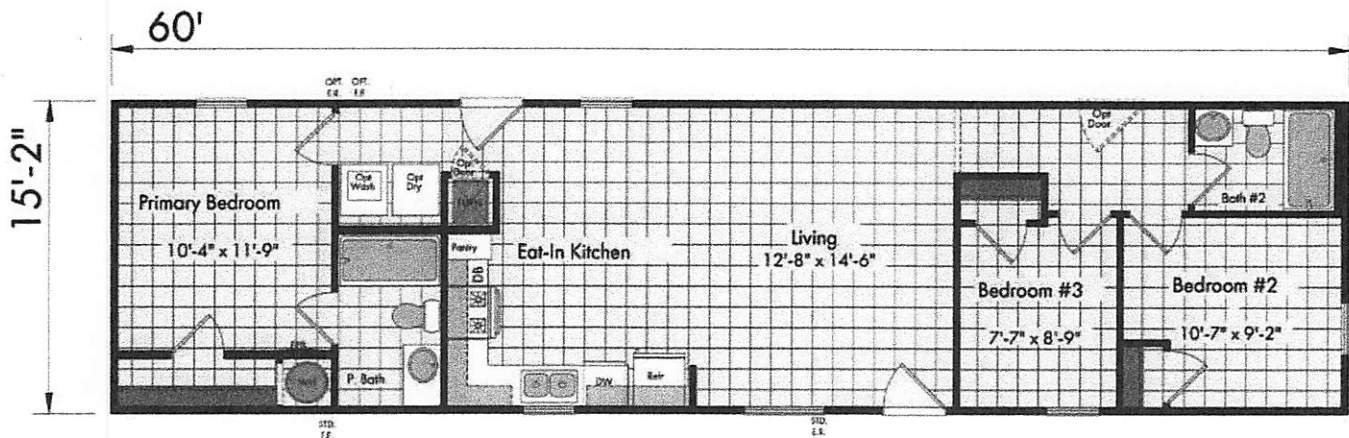
# Paramount 1660H32206

910 Square Feet, 3 Bedrooms, 2 Bathrooms, Single-Section

This manufactured home is built to the federal (HUD) building code for manufactured housing.

FLOOR PLAN MEDIA

## Floor Plan



**THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A PRODUCT EXAMPLE. ANY "OR EQUAL" PRODUCT MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROGRAM PROJECT MANAGER.**

**TAYLOR COUNTY**  
**HOUSING REHABILITATION PROGRAM**  
 Department of Grants Administration  
 401 Industrial Park Dr.  
 Perry, Florida 32347

**CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications**

**PROPERTY INFORMATION:**

|                       |                                |                 |                        |
|-----------------------|--------------------------------|-----------------|------------------------|
| Property Address:     | 2780 Kelly Gr. Perry, FL 32348 |                 |                        |
| Property Owner:       | Joy Tuten                      |                 |                        |
| Home Phone:           | 229-672-7497                   |                 |                        |
| Alt Phone:            | N/A                            |                 |                        |
| Year Built:           | 1991                           |                 |                        |
| LBP/ACM               | LBP Action: N/A                | ACM Action: N/A |                        |
| Building Description: | Number of bedrooms:            | 2               | Number of bathrooms: 2 |
| Parcel ID Number:     | 08696-500                      |                 |                        |

| Note | System         | Description of Work   | Location | Price                     | Contractor Initials |
|------|----------------|---|----------|---------------------------|---------------------|
| A.   | REHABILITATION | Special attention should be directed to the attached reports regarding <u>Lead Base Paint, Asbestos</u> , and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.   | Unit     | \$ <u>N/A</u>             |                     |
| B.   | SITEWORK       | Rehabilitation of unit shall include: <u>1</u> Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. <u>2</u> Disconnect and re-connect to community water systems if required by code or specification within this document. <u>3</u> Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. <u>4</u> Disconnect and re-connect existing septic system or to community sewer utility (where applicable). | All      | INCLUDE IN BID LINE ITEMS |                     |

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name): \_\_\_\_\_ Contractor Name (Print Name): \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_ Contractor's Email: \_\_\_\_\_

**PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:**

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.

|                            |       |                            |       |
|----------------------------|-------|----------------------------|-------|
| X _____                    | /   / | X _____                    | /   / |
| Property Owner's Signature | Date  | Property Owner's Signature | Date  |

**CONTRACTOR BID INFORMATION**

Total contractor bid for requested work: \$ \_\_\_\_\_  
The proposed work shall be completed within 120 Business/Working Days.

**Bid submitted by:**

Company Name: \_\_\_\_\_

Authorized Signature\*: X \_\_\_\_\_

\* Signature of licensee, or signature of person authorized by licensee whose authorization must be on file

**TAYLOR COUNTY**  
**CDBG HOUSING REHABILITATION PROGRAM**

**Warranty Rehabilitation Scope of Work and Specifications**

|                 |  |              |                     |
|-----------------|--|--------------|---------------------|
| <b>Client:</b>  | <b>Joy Tuten</b>                         | <b>Date:</b> | <b>October 2023</b> |
| <b>Address:</b> | <b>2780 Kelly Grade. Perry, FL 32348</b> |              |                     |

This CDBG Scope of Work and Specification Analysis Report shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will NOT be granted under any circumstance on or after the fact basis.

**NOTE: Signature required for acknowledgment of Notice to Bidding General Contractors**

Print Name

Signature

Date

The above applies to all line items associated with this Scope of Work:

| Description: Project Operation | Qty. | Location | Amount |
|--------------------------------|------|----------|--------|
|--------------------------------|------|----------|--------|

#### 1. OPERATIONAL

|                |      |      |          |
|----------------|------|------|----------|
| 1. Operational | Unit | Site | \$ _____ |
|----------------|------|------|----------|

The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).

#### 1a. STORAGE

|             |      |      |          |
|-------------|------|------|----------|
| 1a. Storage | Unit | Site | \$ _____ |
|-------------|------|------|----------|

The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. *The homeowner shall be responsible for storing and replacing belongings into and out of the POD.*

##### Line-item Notes:

**NOTE 1:** Price to include keyed security lock. The homeowner shall be provided with the sole key and the responsibility for the key's location.

#### 1b. GENERAL REPORTING

|                            |      |      |          |
|----------------------------|------|------|----------|
| 1b. Reporting Requirements | Unit | Site | \$ _____ |
|----------------------------|------|------|----------|

The contractor shall contact, either by phone or electronic communication (text or email), the homeowner at least once per week to provide project progress updates. This shall be documented via an every Monday Email Report (MER) to the project manager: Failure to contact the owner and/or provide the MER for two (2) consecutive weeks will result in a \$50 per week credit back to the owner's assistance availability or the SHIP program in general. This credit shall be applied at every failure of compliance occurrence.

##### Line-item Notes:

**NOTE 1:** Failure to place a cost for this line item will not exclude the contractor from the responsibility and required stated therein.

#### 1c. MANUALS & SPECIFICATION DOCUMENTS

|                              |      |      |               |
|------------------------------|------|------|---------------|
| 1c. Manuals & Specifications | Unit | Site | \$ <u>N/A</u> |
|------------------------------|------|------|---------------|

The contractor shall supply, at the time of the final CDBG Program inspection, all manufacturer manuals and specification booklets/packets for all supplied and installed products listed within the Scope of Work. Failure to do so may result in a failed final CDBG Program Inspection.

##### Line-item Notes:

**NOTE 1:** To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

| Description- STRUCTURE SPECIFICATIONS | Qty | Location | Bid Amount |
|---------------------------------------|-----|----------|------------|
|---------------------------------------|-----|----------|------------|

## 2. MOBILE HOME-DEMO AND REPLACEMENT

### 1. MH Demo & Replacement

Unit

Site

\$ \_\_\_\_\_

**NTRC:** The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw. Perform all required actions (Site survey review, permitting, etc...) and prep the site for demolition of the existing dwelling unit (does not include any outbuildings):

Demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall fit the footprint of the previously existing unit, as much as allowed per the specifications and requirements set forth in this Scope of Work.

- Demolish the existing mobile home unit and unless otherwise noted any attached components: The demolished unit shall be replaced with a new double-wide, 2 bedroom, 2 bath mobile/manufactured home unit in the existing footprint of the removed unit.

*The new mobile home unit base price shall include the following:*

- (a) Minimum (Approx.) 900 sq. ft, 2 bedrooms, 2 baths, kitchen, living room, dining area/nook, utility room; two entry exist doors (with compliant entry landing/railed steps).
- (b) All required new plumbing, sanitation, electrical, and utility hookups and/or connections.
- (c) A minimum 25-year, architectural shingled roof covering. Owner to be provided color choice.
- (d) A full appliance and ancillary package as listed: Stove, microwave range hood, refrigerator, hot water heater, toilet(s), vinyl window blinds, vanity set (1 drawer base, sink, mirror/mirrored medicine cabinet, carpet or vinyl floor covering (vinyl only in wet areas), closet shelving, television/cable/phone outlets in the living area, kitchen, and bedrooms, Living Room /Bed room Fan-light fixtures, Dining room overhead light fixture, and all other components required to ensure move in ready condition. All appliances and light fixtures to be energy star rated for the Southern Region of the U.S.A.
- (e) Grass seeding of all disturbed areas of the yard where vegetation was removed or damaged beyond salvage.
- (f) Total unit transportation and construction set-up and connection to existing water/waste facilities.

#### **Project notes to Follow:**

**NOTE 1:** The mobile/manufactured housing unit must meet all current Florida Local and State residential building codes at the time of purchase from the manufacturer and upon completion construction.

**NOTE 2:** The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

**NOTE 3:** Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit primary/trim color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. See "Exhibit A".

**NOTE 4:** The front and rear entrances shall include new ADA accessibility ramps with double side handrails.

**NOTE 5:** The septic & water supply system was working at the time of inspection: systems shall be tested prior to reconnection.

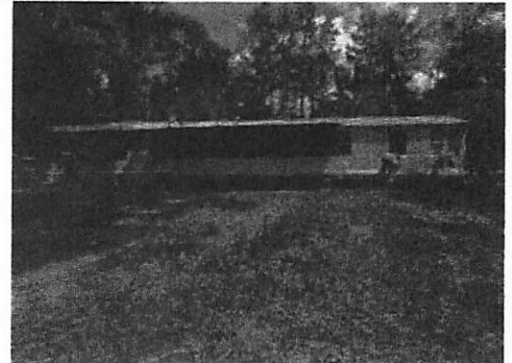
**NOTE 6:** Master bath shall include tub/shower combo assembly.

**NOTE 7:** Bath #2 shall include walk-in shower assembly.



END SOW

----- EXISTING DWELLING FOOTPRINT -----



----- EXISTING DWELLING FOOTPRINT -----



**TOTAL BID AMOUNT \$** \_\_\_\_\_

**"EXHIBIT A"**

**TAYLOR COUNTY  
CDBG  
HOUSING REHABILITATION PROGRAM  
HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION**

1. Contractor must provide at least three (3) color choices for each eligible item.

**NOTE:** See attached scope of work for eligible items.

2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.

3. **It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.**

4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.

5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

**COLORS AND STYLES TO BE LISTED IN THE GRID BELOW:**

| <b>ITEM<br/>LOCATION</b> | <b>ITEM PRODUCT<br/>#</b> | <b>ITEM STYLE<br/>CODE</b> | <b>ITEM COLOR CODE</b> |
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**(NOTE: PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRED. ALL COPIES MUST BE SIGNED)**

The signatures on this document confirm acknowledgment of the above listed items:

|                                    |             |
|------------------------------------|-------------|
| Homeowner Signature: _____         | Date: _____ |
| Contractor Signature: _____        | Date: _____ |
| Housing Inspector Signature: _____ | Date: _____ |



Attachment "A".

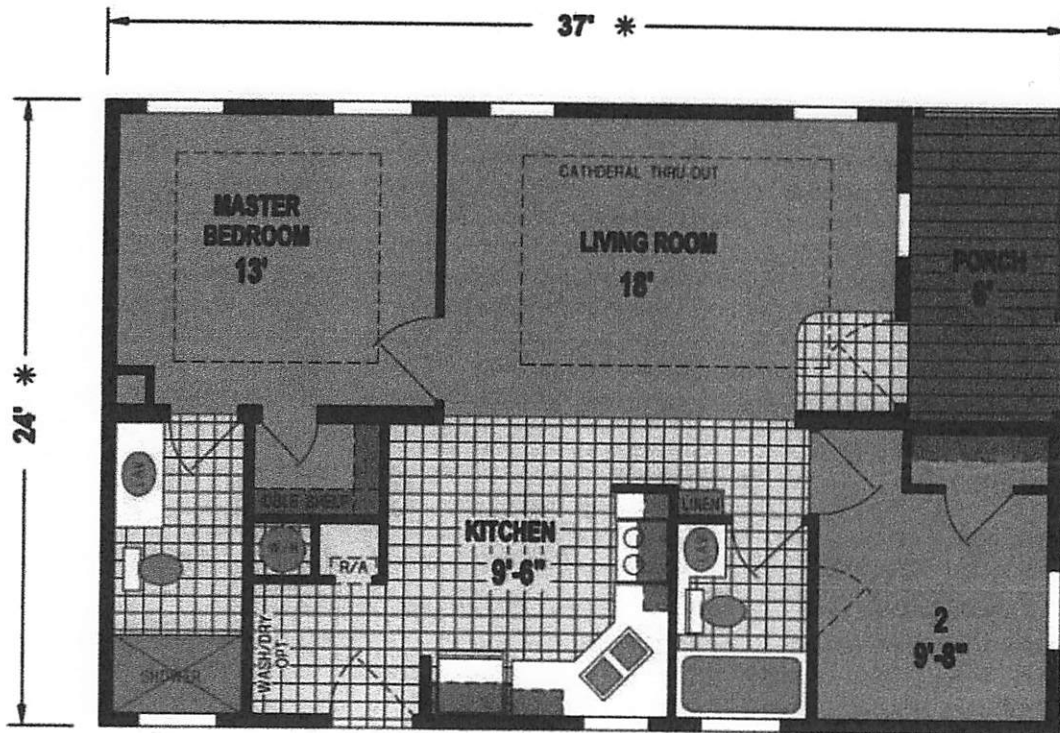
# Silver Springs 4811J

888 Square Feet, 2 Bedrooms, 2 Bathrooms, Multi-Section

This manufactured home is built to the federal (HUD) building code for manufactured housing.

## FLOOR PLAN

### Floor Plan



**THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A PRODUCT EXAMPLE. ANY "OR EQUAL" PRODUCT MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROGRAM PROJECT MANAGER.**

**TAYLOR COUNTY**  
**HOUSING REHABILITATION PROGRAM**  
 Department of Grants Administration  
 401 Industrial Park Dr.  
 Perry, Florida 32347

**CDBG HOUSING REHABILITATION SCOPE OF WORK & Specifications**

**PROPERTY INFORMATION:**

|                       |                                |                                     |                        |
|-----------------------|--------------------------------|-------------------------------------|------------------------|
| Property Address:     | 5600 Smith Rd. Perry, FL 32348 |                                     |                        |
| Property Owner:       | Tina McMillan                  |                                     |                        |
| Home Phone:           | 850-295-0445                   |                                     |                        |
| Alt Phone:            | 850-838-7612                   |                                     |                        |
| Year Built:           | 1988                           |                                     |                        |
| <b>LBP/ACM</b>        | LBP Action: N/A                | ACM Action: See the attached report |                        |
| Building Description: | Number of bedrooms:            | 2                                   | Number of bathrooms: 2 |
| Parcel ID Number:     | 01619-610                      |                                     |                        |

| Note | System         | Description of Work   | Location | Price                     | Contractor Initials |
|------|----------------|---|----------|---------------------------|---------------------|
| A.   | REHABILITATION | Special attention should be directed to the attached reports regarding <u>Lead Base Paint, Asbestos,</u> and/or Mold. Any recommendations included in the reports regarding such material shall become part of the Work.  | Unit     | \$ <u>N/A</u>             |                     |
| B.   | SITWORK        | Rehabilitation of unit shall include: 1. Re- connects all existing TV, Satellite connections, & Phone Jacks. Install 911 addressing as required. 2. Disconnect and re-connect to community water systems if required by code or specification within this document. 3. Demolition and safe, legal, disposal of all materials, removal of all construction and replacement debris. 4. Disconnect and re-connect existing septic system or to community sewer utility (where applicable). | All      | INCLUDE IN BID LINE ITEMS |                     |

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications as listed in this Scope of Work, Florida Building Code, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

This house may or may not require the homeowner to vacate the premises during the construction period. In the case of the CDBG program unit will be vacant and shall remain so for the duration of the rehabilitation and construction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from Taylor County and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG Housing rehab Program. I also agree that any change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Company Name (Print Name): \_\_\_\_\_ Contractor Name (Print Name): \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_ Contractor's Email: \_\_\_\_\_

**PROPERTY OWNERS REVIEW & APPROVAL OF SPECIFICATIONS & AUTHORIZATION TO BID:**

I/ We have reviewed in detail this Work Write-Up consisting of all listed items, with the rehabilitation inspector and understand the specifications of the work to be performed on our property. I/We also agree that there will be "NO" changes in the specifications unless needed to meet Housing or Building Code Requirements. Furthermore, I/We authorize Taylor County CDBG to obtain bids for the work contained in this Work Write-Up.

X \_\_\_\_\_ /   /   X \_\_\_\_\_ /   /  
Property Owner's Signature      Date      Property Owner's Signature      Date

**CONTRACTOR BID INFORMATION**

Total contractor bid for requested work: \$ \_\_\_\_\_  
The proposed work shall be completed within 120 Business/Working Days.

**Bid submitted by:**  
Company Name: \_\_\_\_\_

Authorized Signature\*: X \_\_\_\_\_  
\* Signature of licensee, or signature of person authorized by licensee whose authorization must be on file

**TAYLOR COUNTY**  
**CDBG HOUSING REHABILITATION PROGRAM**

**Warranty Rehabilitation Scope of Work and Specifications**

|                 |                                       |              |                     |
|-----------------|---------------------------------------|--------------|---------------------|
| <b>Client:</b>  | <b>Tina McMillan</b>                  | <b>Date:</b> | <b>October 2023</b> |
| <b>Address:</b> | <b>5600 Smith Rd. Perry, FL 32348</b> |              |                     |

This CDBG Scope of Work and Specification Analysis Report shall be submitted in its entirety, with the permit application. It shall fully disclose the scope of work (SOW) to be performed, permitted and inspected. One permitted copy, stamped by the building department of jurisdiction, shall be submitted to the Taylor County Housing and Program Inspector with the final pay application.

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor, that will be needed to complete each task thoroughly and to each item's primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.

Please fill in every line item in each section of this bid.

No contractor shall, without prior written approval from the Housing Program Administrator and/or Consulting Project Manager, deviate from any product recommendations listed within this Scope of Work (SOW). A verbal or written notice of "or equal" exchange shall be provided to the Inspector within forty-eight (48) hours of the proposed "or equal" substitution. This notice shall include:

- 1) The names of both the SOW recommended product and proposed substitute product specification
- 2) Comparable manufacturer specifications list, included but not limited to price, warranty information, consumer review reports
- 3) Any additional information requested by the Program or its agents.
- 4) All bids, unless otherwise specified, to include the repair/repaint to match existing, all damaged (plaster, stucco, Tile, or any other material), walls, ceilings, ECT... affected by construction.
- 5) The contractor will provide all material and shall be responsible for covering all homeowner belongings, including flooring and other items that cannot be moved during rehabilitation: this is not the owner's responsibility: Daily clean-up within and around the home is required.
- 6) All measurements and material will be the responsibility of the contracting firm.
- 7) All change order requests must be approved through the County offices prior to any change order work beginning.
- 8) No work shall begin until all permits are pulled. Starting work prior to obtaining permits will result in a 1 round suspension, and second violation will result in a full year program suspension, and third violation will lead to indefinite suspension.

Failure to provide any required notification will result in a violation of the terms and conditions of the SOW and Work Rehabilitation Contract and a loss of payment on the substituted product if it is not replaced with the SOW specified product. Approval will **NOT** be granted under any circumstance on or after the fact basis.

**NOTE: Signature required for acknowledgment of Notice to Bidding General Contractors**

|                   |                  |             |
|-------------------|------------------|-------------|
| <b>Print Name</b> | <b>Signature</b> | <b>Date</b> |
|-------------------|------------------|-------------|

The above applies to all line items associated with this Scope of Work:

| Description: Project Operation | Qty. | Location | Amount |
|--------------------------------|------|----------|--------|
|--------------------------------|------|----------|--------|

## 1. OPERATIONAL

1. Operational Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for and provide all applications, permits, plans, drawings, product approvals, or other required local, state, or federal, documentation (To include all applicable Fees, Site Surveys, A&E, etc.).

### 1a. STORAGE

1a. Storage Unit Site \$ \_\_\_\_\_

The contractor shall be responsible for procuring and providing an onsite POD (for a maximum of four months-120 calendar days) to be placed on site during extermination and interior rehabilitation processes. *The homeowner shall be responsible for storing and replacing belongings into and out of the POD.*

#### Line-item Notes:

**NOTE 1:** Price to include keyed security lock. The homeowner shall be provided with the sole key and the responsibility for the key's location.

### 1b. GENERAL REPORTING

1b. Reporting Requirements Unit Site \$ \_\_\_\_\_

The contractor shall contact, either by phone or electronic communication (text or email), the homeowner at least once per week to provide project progress updates. This shall be documented via an every Monday Email Report (MER) to the project manager: Failure to contact the owner and/or provide the MER for two (2) consecutive weeks will result in a \$50 per week credit back to the owner's assistance availability or the SHIP program in general. This credit shall be applied at every failure of compliance occurrence.

#### Line-item Notes:

**NOTE 1:** Failure to place a cost for this line item will not exclude the contractor from the responsibility and required stated therein.

### 1c. MANUALS & SPECIFICATION DOCUMENTS

1c. Manuals & Specifications Unit Site \$ N/A

The contractor shall supply, at the time of the final CDBG Program inspection, all manufacturer manuals and specification booklets/packets for all supplied and installed products listed within the Scope of Work. Failure to do so may result in a failed final CDBG Program Inspection.

#### Line-item Notes:

**NOTE 1:** To Include all applicable Plans, Drawings, and Permits, & approved building department docs.

| Description- STRUCTURE SPECIFICATIONS | Qty | Location | Bid Amount |
|---------------------------------------|-----|----------|------------|
|---------------------------------------|-----|----------|------------|

## 2. MOBILE HOME-DEMO AND REPLACEMENT

### 1. MH Demo & Replacement

Unit

Site

\$ \_\_\_\_\_

**INTRO:** The CDBG Program requires that in-progress visual inspections be completed prior to each payment draw. Perform all required actions (Site survey review, permitting, etc...) and prep the site for demolition of the existing dwelling unit (does not include any outbuildings):

Demolish the existing unit. Clean, level, and prepare the site to accommodate a new, one-for-one, fully code compliant, replacement dwelling. The new dwelling unit shall fit the footprint of the previously existing unit, as much as allowed per the specifications and requirements set forth in this Scope of Work.

- Demolish the existing mobile home unit and unless otherwise noted any attached components: The demolished unit shall be replaced with a new double-wide, 2 bedroom, 2 bath mobile/manufactured home unit in the existing footprint of the removed unit.

*The new mobile home unit base price shall include the following:*

- (a) Minimum (Approx.) 900 sq. ft, 2 bedrooms, 2 baths, kitchen, living room, dining area/nook, utility room; two entry exist doors (with compliant entry landing/railed steps).
- (b) All required new plumbing, sanitation, electrical, and utility hookups and/or connections.
- (c) A minimum 25-year, architectural shingled roof covering. Owner to be provided color choice.
- (d) A full appliance and ancillary package as listed: Stove, microwave range hood, refrigerator, hot water heater, toilet(s), vinyl window blinds, vanity set (1 drawer base, sink, mirror/mirrored medicine cabinet, carpet or vinyl floor covering (vinyl only in wet areas), closet shelving, television/cable/phone outlets in the living area, kitchen, and bedrooms, Living Room /Bed room Fan-light fixtures, Dining room overhead light fixture, and all other components required to ensure move in ready condition. All appliances and light fixtures to be energy star rated for the Southern Region of the U.S.A.
- (e) Grass seeding of all disturbed areas of the yard where vegetation was removed or damaged beyond salvage.
- (f) Total unit transportation and construction set-up and connection to existing water/waste facilities.

#### **Project notes to Follow:**

**NOTE 1:** The mobile/manufactured housing unit must meet all current Florida Local and State residential building codes at the time of purchase from the manufacturer and upon completion construction.

**NOTE 2:** The mobile/manufactured housing units electrical, plumbing, mechanical, and other base systems must meet all of the most current and applicable Florida Building Codes, and any applicable or superseding local ordinances, State, Federal requirements (i.e. were utility water/sewer services are available the dwelling must be hooked into the service and the existing well/septic system abandoned to code). The systems shall all be installed and in working order prior to project closeout and ready for owner occupation.

**NOTE 3:** Owner shall be provided a minimum of three color and style choices for all applicable items, including but not limited to exterior unit primary/trim color, shingle color, interior paint/trim color, cabinet/vanity, appliance package. See "Exhibit A".

**NOTE 4:** The existing septic system has failed. A new system and connection to be included in the bid.

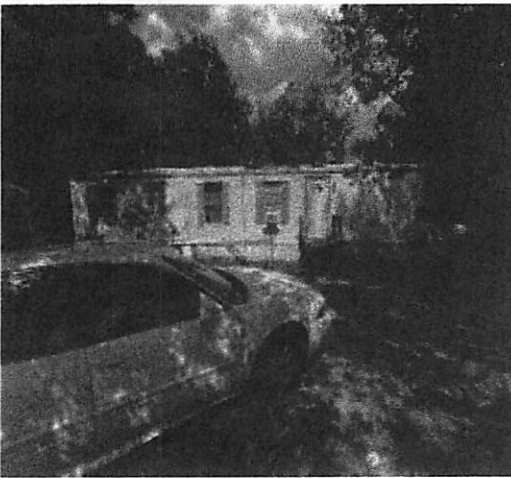
**NOTE 5:** The water supply system was working at the time of inspection. The system shall be tested prior to reconnection.

**NOTE 6:** Master bath shall include tub/shower combo assembly.

**NOTE 7:** Bath #2 shall include walk-in shower assembly.

----- END SOW -----

----- EXISTING DWELLING FOOTPRINT -----



----- EXISTING DWELLING FOOTPRINT -----

**ENTER TOTAL BID BELOW**



TOTAL BID AMOUNT \$ \_\_\_\_\_



**"EXHIBIT A"**

**TAYLOR COUNTY  
CDBG  
HOUSING REHABILITATION PROGRAM  
HOUSING REHABILITATION PROGRAM COLOR/STYLE SELECTION**

1. Contractor must provide at least three (3) color choices for each eligible item.

**NOTE:** See attached scope of work for eligible items.

2. Taylor County reserves the right to veto a color choice made by the contractor and homeowner.

3. **It is the contractor's responsibility to provide selections for the homeowner to select the colors and designs, and then sign this form.**

4. Any deviations from this process must be submitted via email to the Housing Inspector (Diana.Pinto@Taylor.org) for approval.

5. Color/Style selections are to be signed and forwarded to the Housing Program Inspector no later than five (5) calendar days after the NTP takes effect.

**COLORS AND STYLES TO BE LISTED IN THE GRID BELOW**

| ITEM<br>LOCATION | ITEM PRODUCT<br># | ITEM STYLE<br>CODE | ITEM COLOR CODE |
|------------------|-------------------|--------------------|-----------------|
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**(NOTE:** PLEASE MAKE A DUPLICATE COPY IF MORE SPACE IS REQUIRED. ALL COPIES MUST BE SIGNED)

The signatures on this document confirm acknowledgment of the above listed items:

|                                    |             |
|------------------------------------|-------------|
| Homeowner Signature: _____         | Date: _____ |
| Contractor Signature: _____        | Date: _____ |
| Housing Inspector Signature: _____ | Date: _____ |



Attachment "A".

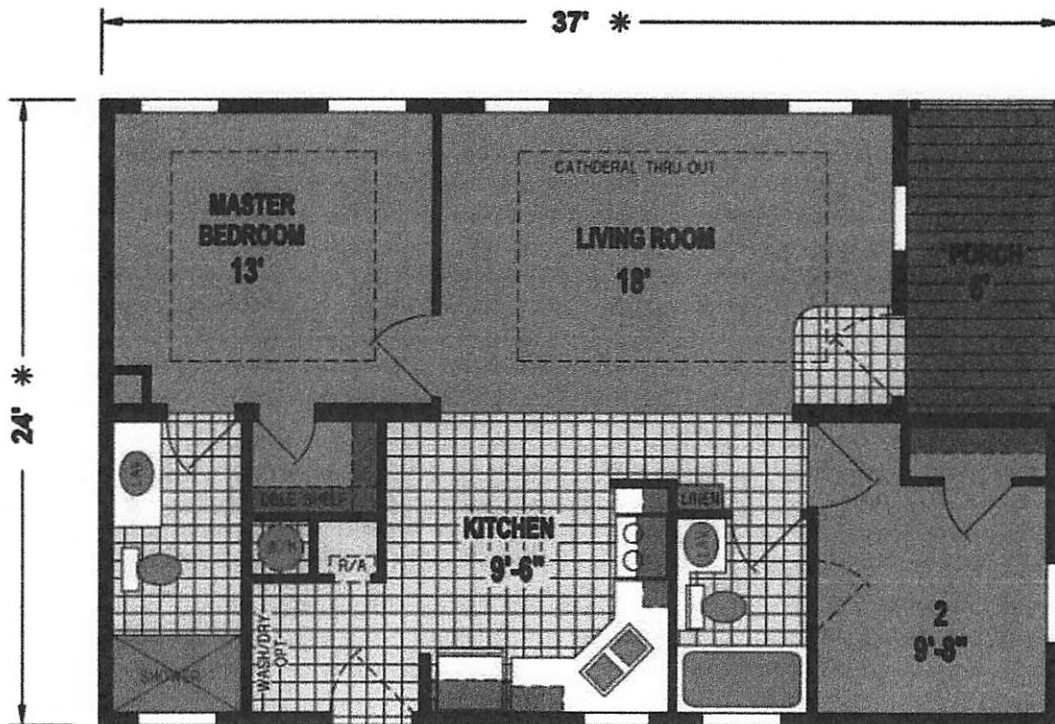
# Silver Springs 4811J

888 Square Feet, 2 Bedrooms, 2 Bathrooms, Multi-Section

This manufactured home is built to the federal (HUD) building code for manufactured housing.

## FLOOR PLAN

### Floor Plan



**THE EXAMPLE LISTED ABOVE IS NOT A MANDATED OPTION, BUT ONLY A PRODUCT EXAMPLE. ANY "OR EQUAL" PRODUCT MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROGRAM PROJECT MANAGER.**



ENGINEERING &  
ENVIRONMENTAL  
SERVICES

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**ACM ENGINEERING & ENVIRONMENTAL SERVICES**

---

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS  
TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

---

**NESHAP PRE-DEMOLITION SUSPECT ASBESTOS  
CONTAINING BUILDING MATERIAL SAMPLING  
AND ANALYSIS REPORT**

---

**FOR:**

***Guardian CRM, Inc.  
15000 Citrus County Drive, Suite 331  
Dade City, Florida 33523***

**LOCATION:**

***McMillan Residence  
5600 Smith Road  
Perry, Florida 32348***

**PERFORMED BY:**

***ACM Engineering & Environmental Services  
5404 Hoover Blvd., Suite 9  
Tampa, Florida 33634***

**DATE:**

***September 5<sup>th</sup>, 2023***



ENGINEERING &  
ENVIRONMENTAL  
SERVICES

---

## **ACM ENGINEERING & ENVIRONMENTAL SERVICES**

---

SOUTH BEND, INDIANA • FORT WAYNE, INDIANA • ELMHURST, ILLINOIS  
TAMPA, FLORIDA • FORT LAUDERDALE, FLORIDA

---

### **NESHAP PRE-DEMOLITION SUSPECT ASBESTOS CONTAINING BUILDING MATERIAL SAMPLING AND ANALYSIS REPORT**

---

**FOR:**

**Guardian CRM, Inc.**  
**15000 Citrus County Drive, Suite 331**  
**Dade City, Florida 33523**

**DATE: September 5<sup>th</sup>, 2023**  
**STRUCTURE: McMillan Residence**  
**LOCATION: 5600 Smith Road**  
**CITY, STATE: Perry, Florida 32348**

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#### **PROJECT REVIEW:**

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ACM Engineering and Environmental Services, Inc. (ACM- Asbestos Business License #ZA512) provided a NESHAP Pre-Demolition Suspect Asbestos Containing Building Material Survey at the McMillan Residence scheduled for demolition located at 5600 Smith Road in Perry, Florida. The site survey was performed by Joshua Baker on August 31<sup>st</sup>, 2023 under the direction of Mr. Patrick T. Griffin P.E., State of Florida Licensed Asbestos Consultant #AX56.

The assessment/survey conformed to the current United States Environmental Protection agency (US EPA) and the Asbestos Hazardous Emergency Response Act (AHERA) regulations. AHERA is the current standard with respect to training rules, assessment/survey procedures, and regulations that is enforced by Federal, State and local authorities.

Analysis of the bulk sample was performed by ACM Engineering & Environmental Service's National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory (NVLAP Lab Code: 101977-0) by Microscopists trained at the McCrone Research Institute. The bulk samples were analyzed pursuant to US EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA/600/R-93/116) and in accordance with 40 CFR Part 763, Subpart F, Appendix A; and the EPA 40 CFR 61 Part 763, Subpart E. The bulk sample analysis utilizes the Polarized Light Microscopy (PLM) method for asbestos identification, which is the current US EPA approved method for asbestos bulk sampling analysis.

*RTA 9/5/23*

### **EXECUTIVE SUMMARY:**

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The NESHAP Pre-Demolition Asbestos Containing Building Material Survey performed at the building scheduled for demolition located at 5600 Smith Road in Perry, Florida was intended to identify asbestos containing building materials (friable, non-friable, or both) that might be disturbed by the planned demolition activities. A total of twenty-eight (28) suspect asbestos bulk samples from ten (10) homogeneous materials were collected and analyzed for asbestos content.

A summary of the analysis results is as follows:

**A. The following sampled building materials were identified as containing greater than one percent (1%) asbestos content:**

- None

**B. The following sampled building materials were identified to be non-detectable for asbestos content.**

- Surface Texture
- Drywall Composite
- Tile Pattern Vinyl Flooring - Bathroom
- Flooring Adhesive
- Ceiling Texture
- Tile Pattern Vinyl Flooring – Bedroom
- Flooring Adhesive
- Vinyl Floor Tile
- Floor Tile Adhesive
- Counter Caulk

P.T.R. 9/5/23

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:**



**Board to approve Satisfaction of Deferred Payment Loan Agreement for Daniel and Patricia Stuckey who received Rehabilitation Assistance through the SHIP program in August 2018.**

**MEETING DATE REQUESTED:**

**November 6, 2023**

**Statement of Issue:**

**Board to approve Satisfaction of Deferred Payment Loan Agreement for Daniel and Patricia Stuckey who received Rehabilitation Assistance through the SHIP Program, August 2018 in the amount of \$26,873. All terms of the agreement have been satisfied.**

**Recommended Action:**

**Approve Deferred Payment Loan Agreement.**

**Fiscal Impact:**

**N/A**

**Submitted By:**

**Jami Evans, Grant Coordinator**

**Contact:**

**Jami Evans**

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:**

**Daniel and Patricia Stuckey received Rehabilitation Assistance through the SHIP program in the amount of \$26,873 in August 2018. All terms of the agreement have been satisfied.**

**Attachments:**

**Satisfaction of Deferred Payment Loan Agreement.**

**SATISFACTION OF HOUSING REHABILITATION PROGRAM  
DEFERRED PAYMENT LOAN AGREEMENT**

**KNOW ALL MEN BY THESE PRESENTS:** That TAYLOR COUNTY, FLORIDA, a political subdivision existing under the laws of the State of Florida, the owner and holder of a certain Housing Rehabilitation Program Deferred Payment Loan Agreement executed by DANIEL D. STUCKEY AND PATRICIA S. STUCKEY, bearing date the 21<sup>st</sup> day of August, 2018, recorded in Official Records Book 785, pages 338-343, in the office of the Clerk of the Circuit Court of Taylor County, State of Florida, securing a debt of \$26,873.00, and certain promises and obligations set forth in said Housing Rehabilitation Program Deferred Payment Loan Agreement, upon the property situate in said Taylor County, Florida, described as follows, to-wit:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT "A"

hereby acknowledge full payment and satisfaction of said Housing Rehabilitation Program Deferred Payment Loan Agreement, and surrender the same as cancelled, and hereby direct the Clerk of the said Circuit Court to cancel the same of record.

WITNESS my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Signed, Sealed and Delivered  
in Presence of:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_(SEAL)  
JAMIE ENGLISH, Chairperson  
BOARD OF COUNTY COMMISSIONERS  
TAYLOR COUNTY, FLORIDA

ATTEST:

\_\_\_\_\_  
GARY KNOWLES, Clerk

STATE OF FLORIDA  
COUNTY OF TAYLOR

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared JAMIE ENGLISH, to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires:

PREPARED BY: Conrad C. Bishop, Jr.  
Attorney at Law  
Post Office Box 167  
Perry, Florida 32348  
(850) 584-6113

EXHIBIT "A"

LEGAL DESCRIPTION

BEGINNING AT A POINT 104 FEET DUE EAST OF THE NORTH-WEST CORNER OF THE NORTH-WEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 9 EAST, THENCE RUN 2 DEGREES AND 30' EAST OF NORTH 208 FEET, THENCE DUE EAST 104 FEET, THENCE SOUTH 2 DEGREES AND 30' WEST 208 FEET, THENCE DUE WEST 104 FEET TO THE POINT OF BEGINNING, BEING IN THE SW 1/4 OF NE 1/4 OF SAID SECTION, TOWNSHIP AND RANGE.

AND

COMMENCING 104 FEET, EAST OF NORTHWEST CORNER OF NORTHWEST QUARTER (NW 1/4) OF SOUTHEAST QUARTER (SE 1/4) OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 9 EAST, THENCE RUN EAST 416 FEET, THENCE SOUTH 175 FEET, THENCE RUN WEST 416 FEET, THENCE NORTH 175 FEET, TO POINT OF BEGINNING.

AND

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 9 EAST, AND RUN EAST 208 FEET FOR A POINT OF BEGINNING, THENCE FROM SAID POINT OF BEGINNING RUN EAST 208 FEET, THENCE RUN NORTH 208 FEET, THENCE RUN WEST 208 FEET, THENCE RUN SOUTH 208 FEET TO THE POINT OF BEGINNING. SAID LAND BEING IN THE SOUTHWEST QUARTER OF NORTHEAST QUARTER (SW 1/4 OF NE 1/4) OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 9 EAST.

AND

COMMENCING 208 FEET EAST OF NW CORNER OF NW 1/4 OF SE 1/4 RUN EAST 50 FEET, SOUTH 125 FEET, WEST 50 FEET, NORTH 125 FEET TO THE POINT OF BEGINNING IN SECTION 10, TOWNSHIP 7, RANGE 9.

AND

COMMENCING 156 FEET EAST OF NW CORNER OF NW 1/4 OF SE 1/4, RUN EAST 52 FEET, SOUTH 125 FEET, WEST 52 FEET, NORTH 125 FEET TO THE POINT OF BEGINNING IN SECTION 10, TOWNSHIP 7, RANGE 9.

LESS AND EXCEPT:

COMMENCE AT THE NORTHWEST CORNER OF THE NW 1/4 OF THE SE 1/4 OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 9 EAST, THENCE RUN EAST ON FORTY LINE 104 FEET, THENCE RUN NORTH 184 FEET FOR POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING, RUN EAST 312 FEET, THENCE RUN NORTH 24 FEET, THENCE RUN WEST 312 FEET, THENCE RUN SOUTH 24 FEET TO THE POINT OF BEGINNING.

ALL PROPERTIES LYING IN TAYLOR COUNTY, FLORIDA.

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**TAYLOR COUNTY BOARD OF COMMISSIONERS**

*County Commission Agenda Item*

**SUBJECT/TITLE:**



**Request to approve and sign Amendment to extend the end date of the Taylor County Coastal Stewardship Project (Reimbursement Grant).**

**Meeting Date:**

November 6, 2023

**Statement of Issue:** Approve and sign the Amendment to extend the end date of the Taylor County Stewardship Project, from 9/30/2023 to 12/30/2023.

**Recommendation:** Approve and sign the Amendment on end date for the Coastal Stewardship Grant.

**Fiscal Impact:** \$ 10,000.00 **Budgeted Expense:** Yes ☒ No ☐ N/A ☐

**Submitted By:** Taylor County Extension

**Contact:** Victor Blanco

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** The Taylor County Coastal Stewardship Project grant was secured early 2023. Most of the activities of the project had been completed but a couple were delayed due to unforeseen situation of some representatives of stakeholders involved. The project is almost completed but we decided to request an extension of the end date from September 30, to December 30, 2023. The Amendment only states the change in the date of the grant agreement. All other components of the grant agreement remain the same.

**Options:** 1. Approve and sign the project Amendment

2. Deny approval

**Attachments:** 1. Contract + Attachments

2.





## Florida Sea Grant College Program

A statewide university program for  
Coastal Research, Education & Extension

2306 Mowry Rd., Bldg 164  
P O Box 110400  
Gainesville, FL 32611-0400 U.S.A.  
(352) 392-5870  
[www.flseagrant.org](http://www.flseagrant.org)

### Amendment Number 1 – PO 2301046702

#### University

University of Florida  
Florida Sea Grant College Program

#### Supplier

Taylor County BOCC

The period of performance for this contract, between The University of Florida Board of Trustees for the benefit of its Florida Sea Grant College Program and The Taylor County BOCC, which began October 1, 2022 and terminates September 30, 2023, shall be revised to terminate on December 30, 2023.

All other terms and conditions of this contract remain in full force and effect.

#### UNIVERSITY:

The University of Florida Board of Trustees  
for the benefit of  
Florida Sea Grant College Program

Signature: Ann Wright

Name: Ann Wright

Title: Procurement Agent II

Date: October 17, 2023

#### SUPPLIER:

Panacea Waterfronts

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

*Florida A & M University, Florida Atlantic University, Florida Gulf Coast University, Florida Institute of Technology, Florida International University,  
Florida State University, New College of Florida, University of Central Florida, University of Florida, University of Miami, University of North Florida,  
University of South Florida, University of West Florida, Nova Southeastern University, Mote Marine Laboratory, Harbor Branch Oceanographic Institution*

*The Foundation for The Gator Nation  
An Equal Opportunity Institution*

## CONTRACT FOR SERVICES

This Contract for Services (this "Contract") is made and entered into as of this 8 day of November, 2022, by and between The University of Florida Board of Trustees, a public body corporate of the State of Florida for the benefit of its Florida Sea Grant College Program ("University"), and Taylor County Board of County Commissioners, ("Supplier").

University hereby engages Supplier to provide the Services (hereinafter defined), and Supplier hereby accepts such engagement, on the terms and conditions set forth in this Contract.

1. **Services.** Supplier shall perform the services described on Exhibit A, attached hereto and incorporated herein by reference (the "Services"). All Services shall be performed in a timely, diligent and professional manner, consistent with the best practices of Supplier's industry.

2. **Term.** The term of this Contract is set forth on Exhibit A.

3. **Compensation and Payment.** University shall pay Supplier as the total compensation for the Services the amount set forth on Exhibit A, on the payment schedule set forth on Exhibit A. Supplier shall not be entitled to any other fees, reimbursements or compensation under this Contract. Supplier shall be responsible for the payment of all general excise taxes, income taxes and any other taxes required to be paid to federal, state and local taxing authorities with respect to any fees or other amounts paid to Supplier. Payment shall be made within thirty (30) days of satisfactory completion of the Services and presentation of a properly completed invoice.

4. **Addresses for Notices.** All Notices under this Contract shall be made in writing the addresses set forth on Exhibit A.

5. **Standard Terms.** The standard terms and conditions of this Contract are set forth on Exhibit B, attached hereto and incorporated herein by reference. All capitalized terms, unless otherwise defined herein, shall have the meanings given to them in the Standard Terms. In the event of a conflict between the terms contained herein and the Standard Terms, the terms contained herein shall prevail.

IN WITNESS WHEREOF, the parties hereto have executed this Contract as of the date first set forth above.

**UNIVERSITY:**

The University of Florida Board of Trustees  
for the benefit of Florida Sea Grant College Program

Signature: Ann Wright

Name: \_\_\_\_\_

Title: Procurement Agent II

Date: November 22, 2022

**SUPPLIER:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

## EXHIBIT A

1. Scope of Services (Section 1).

Please reference the attached Scope of Work and Application - Attachment 1

A final progress report (Attachment 2) is due at project completion. Payment of the final invoice will be issued upon receipt and approval of all reports.

2. Term (Section 2). The term of this Contract shall begin on 10/1/2022 and terminate on 9/30/2023. The term of this Contract may be extended by University for an additional period of 3 months(s). If University desires to exercise this extension right, it shall so notify Supplier no later than thirty (30) days prior to the date the initial term expires.

3. Compensation and Payment Schedule (Section 3).

For acceptable performance of the work described herein, SUPPLIER shall be reimbursed for costs incurred not to exceed Ten Thousand Dollars \$10,000, in accordance with the attached Budget, for performance of the scope of work identified in Attachment 1. Additionally, SUPPLIER shall properly document and report on invoices their budgeted cost sharing in the amount of \$10,000. Attachment 3 reports should be included with all invoices.

4. Notices (Section 4).

University:

Florida Sea Grant College Program

2306 Mowry Rd., Bldg. 164

PO Box 110400

Gainesville, FL 32611-0400

Attention: Rod Venegas

Phone: (352)294-0759

Cell:

Fax:

Email: rodvenegas@ufl.edu

Supplier:

Taylor County BOCC

PO Box 620

Perry, FL 32348

Attention: LaWanda Pemberton

Phone: (850)838-3500

Cell:

Fax:

Email: lpemberton@taylorcountygov.com

# ATTACHMENT 1

## COASTAL PARTNERSHIP INITIATIVE GRANT APPLICATION

<https://floridadep.gov/rcp/fcmp/content/grants>

### A. TITLE PAGE

Project Title: Building Coastal Stewardship for Taylor County

CPI Initiative Priority Area(s): Coastal Resource Stewardship

Applicant Name and Name of Partner Entity (if applicable):

Taylor County Board of County Commissioners (Applicant)

Taylor County School District (partner)

Steinhatchee Project Board (partner)

Official Contact Name: LaWanda Pemberton

Title: County Administrator

Phone: (850) 838-3500

Email Address: lpemberton@taylorcountygov.com

Postal Address: \_\_\_\_\_

201 E. Green St.

Perry, FL 32347

Applicant DUNS/UEI Number: 065887796

Applicant FEIN: 59-6000879

Link to coastal element: \_\_\_\_\_

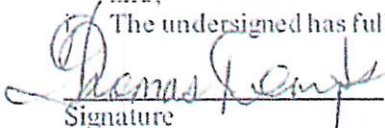
Proposed Project Manager Name: Victor Blanco Email: victorblancomar@ufl.edu

### Certification Statement

"By signing this title page, the undersigned certifies that:

- This application is in all respects fair and submitted in good faith without collusion or fraud;
- If selected through this application process, the recipient will work in good faith and in partnership with the Florida Coastal Management Program to manage its subgrant in a timely and accurate manner;
- Any funds awarded as a result of this application process will not be used to supplant or replace any state or local funds;
- Any funds awarded as a result of this application process will not be used as matching funds to apply for or receive other federal funds;
- No federal funds will be used as match for funds awarded as a result of this application process;
- The applicant local government's adopted comprehensive plan has been found to be in compliance with Chapter 163, Part II, F.S.;
- [If construction is proposed] The applicant submitted a completed NOAA 306A questionnaire, supplied the required attachments, conducted preliminary consultation with appropriate federal, state, regional and local regulatory agencies and has permits and approvals regarding any construction proposed in the application and has documented the results of the consultation in the Project Description section of the Work Plan;
- [If construction projects, habitat restoration or invasive species removal are proposed] The property on which these activities will take place is owned or leased by the applicant or the applicant holds a sufficient easement; detailed means methods and best management practices to be used for the project and;

The undersigned has full authority to bind the applicant."

  
Signature

Thomas Demps - Chairman  
Name & Title

9/21/2021  
Date

If applicant is a Florida college, community college, state university, regional planning council, national estuary program or non-profit group, include the signature, name, and title of contact for partnering entity; the name of the eligible county or city partner; and the date.

\_\_\_\_\_  
Signature of Partner

\_\_\_\_\_  
Name & Title

\_\_\_\_\_  
County or City Partner Entity

\_\_\_\_\_  
Date



SUNGARD PENTAMATION, INC.  
DATE: 09/21/2023  
TIME: 11:51:21

TAYLOR COUNTY BOARD OF COMMISSIONERS  
EXPENDITURE AUDIT TRAIL

PAGE NUMBER: 1  
AUDIT21

SELECTION CRITERIA: exp!edgr.key\_orgn='0438-1'  
ACCOUNTING PERIODS: 1/23 THRU 12/23

SORTED BY: FUND,FUNCTION,ACTIVITY,TOTL/DEPT,ACCOUNT

TOTALED ON: FUND,TOTL/DEPT


PAGE BREAKS ON: FUND,TOTL/DEPT

FUND - 001 - GENERAL FUND

FD/DEPT - 0438-1 - COASTAL PARTNER/FL SEA GR

| ACCOUNT   | DATE                 | T/C   | ENCUMBRANC  | REFERENCE | VENDOR                  | BUDGET    | EXPENDITURES | ENCUMBRANCES | DESCRIPTION               | CUMULATIVE<br>BALANCE |
|---|----------------------|-------|-------------|-----------|-------------------------|-----------|--------------|--------------|---------------------------|-----------------------|
| 001-530-537-0438-1-0438-1 - COASTAL PARTNER/FL SEA GR |                      |       |             |           |                         |           |              |              |                           |                       |
| 53401   | CONTRACTUAL SERVICES |       |             |           |                         |           |              |              |                           |                       |
|   | 02/16/23             | 11-5  |             |           |                         | .00       | .00          | .00          | BEGINNING BALANCE         |                       |
|   | 02/16/23             | 13-5  |             |           |                         | .00       |              |              |                           |                       |
|   | 03/20/23             | 17-6  | 20230992-02 |           | 7815 ODP BUSINESS SOL   | 10,000.00 |              |              | NEW FY23 GRANT            |                       |
|   | 03/30/23             | 17-6  | 20231068-02 |           | 001353 UNIVERSITY OF FL |           |              | .95          | ITEM #837603 OFFICE DEPOT |                       |
|   | 04/03/23             | 21-7  | 20230992-02 | 69437     | 7815 ODP BUSINESS SOL   |           | .95          | 807.73       | PLANT THIS NOT THAT BOOKS |                       |
|   | 04/27/23             | 17-7  | 20231233-01 |           | 7885 JASON BOND         |           |              | - .95        | ITEM #837603 OFFICE DEPOT |                       |
|   | 04/27/23             | 17-7  | 20231234-01 |           | 7888 CHARLES ANDREW N   |           |              | 800.00       | CHARTER FOR REEF MONITORI |                       |
|   | 04/27/23             | 17-7  | 20231234-02 |           | 7888 CHARLES ANDREW N   |           |              | 800.00       | CHARTER FOR REEF MONITORI |                       |
|   | 05/01/23             | 21-8  |             | 69588     | 7885 JASON BOND         |           | 800.00       | 400.00       | FUEL COSTS                |                       |
|   | 05/01/23             | 21-8  |             | 69591     | 6585 TAYLOR CO. REEF    |           | 1,000.00     | .00          | V. BLANCO                 |                       |
|   | 05/01/23             | 21-8  | 20231068-02 | 69597     | 001353 UNIVERSITY OF FL |           | 703.13       | .00          | ARTIF. REEF MONITORIN     |                       |
|   | 05/05/23             | 17-8  | 20231306-01 |           | 7885 JASON BOND         |           |              | -807.73      | PLANT THIS NOT THAT BOOKS |                       |
|   | 05/05/23             | 17-8  | 20231307-01 |           | 7887 BRIAN EUGENE SMI   |           |              | 800.04       | CHARTER FOR REEF MONITORI |                       |
|   | 05/16/23             | 21-8  | 20231233-01 | V69664    | 7885 JASON BOND         |           | 800.00       | 1,600.02     | CHARTER FOR REEF MONITORI |                       |
|   | 05/16/23             | 21-8  | 20231234-01 | 69618     | 7888 CHARLES ANDREW N   |           | 800.00       | -800.00      | CHARTER FOR REEF MONITORI |                       |
|   | 05/16/23             | 21-8  | 20231234-02 | 69618     | 7888 CHARLES ANDREW N   |           | 271.01       | -800.00      | CHARTER FOR REEF MONITORI |                       |
|   | 05/18/23             | 17-8  | 20231364-01 |           | 7888 CHARLES ANDREW N   |           |              | -400.00      | FUEL COSTS                |                       |
|   | 05/18/23             | 17-8  | 20231364-02 |           | 7888 CHARLES ANDREW N   |           |              | 800.00       | CHARTER FOR REEF MONITORI |                       |
|   | 05/18/23             | 17-8  | 20231375-01 |           | 7887 BRIAN EUGENE SMI   |           |              | 300.00       | FUEL COSTS                |                       |
|   | 05/22/23             | 19-8  |             | 20230463  |                         |           | -800.00      | 1,600.00     | CHARTER FOR REEF MONITORI |                       |
|   | 05/22/23             | 19-8  |             | 20230463  |                         |           | -1,071.01    |              | CORRECT CKS S/H/B 1102-1  |                       |
|   | 05/22/23             | 19-8  |             | 20230463  |                         |           | -800.00      |              | CORRECT CKS S/H/B 1102-1  |                       |
|   | 05/22/23             | 19-8  |             | 20230463  |                         |           | -1,000.00    |              | CORRECT CKS S/H/B 1102-1  |                       |
|   | 05/22/23             | 18-8  | 20231306-01 |           | 7885 JASON BOND         |           |              | -800.04      | CHANGE ORDER - 1          |                       |
|   | 05/22/23             | 18-8  | 20231307-01 |           | 7887 BRIAN EUGENE SMI   |           |              | -1,600.02    | CHANGE ORDER - 1          |                       |
|   | 05/22/23             | 18-8  | 20231364-01 |           | 7888 CHARLES ANDREW N   |           |              | -800.00      | CHANGE ORDER - 1          |                       |
|   | 05/22/23             | 18-8  | 20231364-02 |           | 7888 CHARLES ANDREW N   |           |              | -300.00      | CHANGE ORDER - 1          |                       |
|   | 05/22/23             | 18-8  | 20231375-01 |           | 7887 BRIAN EUGENE SMI   |           |              | -1,600.00    | CHANGE ORDER - 1          |                       |
|   | 05/22/23             | 17-8  | 20231380-01 |           | 7907 GULF SPECIMEN MA   |           |              | 495.00       | STUDENT TOUR              |                       |
|   | 05/22/23             | 17-8  | 20231380-02 |           | 7907 GULF SPECIMEN MA   |           |              | 66.00        | ADULT TOUR                |                       |
|   | 05/30/23             | 17-8  | 20231424-01 |           | 7908 AMERICAN INCOME    |           |              | 12.00        | INSURANCE FOR 40 PEOPLE J |                       |
|   | 05/30/23             | 17-8  | 20231424-02 |           | 7908 AMERICAN INCOME    |           |              | 12.00        | INSURANCE FOR 40 PEOPLE F |                       |
|   | 06/29/23             | 18-9  | 20231380-01 |           | 7907 GULF SPECIMEN MA   |           |              | -181.50      | CHANGE ORDER - 1          |                       |
|   | 06/29/23             | 18-9  | 20231380-02 |           | 7907 GULF SPECIMEN MA   |           |              | 16.50        | CHANGE ORDER - 1          |                       |
|   | 07/10/23             | 21-10 | 20231380-01 | V69932    | 7907 GULF SPECIMEN MA   |           | 313.50       | -313.50      | STUDENT TOUR              |                       |

\* THERE IS A NOTE ASSOCIATED WITH THIS TRANSACTION

| TAYLOR COUNTY BOARD OF COMMISSIONERS   |  |
|--|--|
| County Commission Agenda Item  |  |
| <b>SUBJECT/TITLE:</b><br> | The Board to ratify the signature of the Chairperson on the lease for real property with the U.S General Services Administration (GSA) at the Perry-Foley Airport. |
| <b>MEETING DATE REQUESTED:</b>   | 11/6/2023  |

**Statement of Issue:** To enter into leasing agreement with the GSA for FEMA housing trailers.

**Recommended Action:** Approve

**Fiscal Impact:** Approximately \$74,736 annually for leases

**Budgeted Expense:** N/A-Hurricane related

**Submitted By:** LaWanda Pemberton, County Administrator and Ward Ketring, Airport Manager

**Contact:** (850) 838-3500 ext. 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

**History, Facts & Issues:** The GSA has approached the Perry-Foley Airport Manager to request leasing closed runway, unused eastern ramp and concrete pad in front of the large hangar to utilize as a logistics office, customer service office and land lease for FEMA housing trailers. The proposed lease amounts are :

#### SET UP FEES:

**Distribution / Logistics office – 1 building inside the fence lease for 12 months with optional renewals**

Electric Power pole 200 AMP – \$1000.00

Sewer Tank – 500.00

Consolidated Internet – 100.00

Duke Energy – 1000.00

Lime rock FAA Road - \$12,000.00

**Customer Service Offices – two buildings outside the fence by the main road –  
Lease for 6 months with optional renewals**

City for a new 1"water meter – \$2,000.00

Duke Energy – \$1,000 each - \$2,000.00 total

Electric Power Poles – \$1,000.00 each - \$2,000.00 total

Sewer Tanks – \$500.00 each - \$1000.00 total

Consolidated Internet – 100.00 each – \$200.00 total

**MONTHLY FEES GENERALLY:**

**Distribution / Logistics office – 1 building inside the fence 12 months with optional  
renewals**

Ground Lease – 5 acres @ \$1028.37 per acre \$5,141.85 total

Water - \$100.00

Sewer Service – \$300.00

Power – \$300.00

DSL Internet – \$100.00

**Customer Service Offices – two buildings outside the fence by the main road –  
Lease 6 months with optional renewals**

Ground Lease – 1 acre @\$1028.37

Water – \$150.00 each - \$300.00 total

Sewer Service - \$300.00 each – 600.00 total

Power - \$300.00 each - \$600.00 total

DSL Internet – 100.00 each - \$200.00 total

The proposed leasing agreement is still under discussion with the GSA, as the utilities are estimates. The GSA has the option to provide for their own utilities, but requested a turn-key proposal. The FAA has approved the proposed lease agreement with the condition that Taylor County will add limerock to the entrance off Carlton Cemetery Road. These improvements will be reimbursed by the GSA. The proposed lease agreement is for a minimum term of 12 months with 4 renewal options for the 5 acres parcel and minimum terms of 6 months with 4 renewal options for the additional space.

The Board of County Commissioners approved the blank leasing agreement on October 2, 2023 and the Chairperson signed via DocuSign on 10/7/2023.

**Options:** Approve/not approve

**Attachments:** Leasing Agreements



# U.S. GOVERNMENT LEASE FOR REAL PROPERTY (Short Form)

1a. LEASE NUMBER  
LFL027281b. BUILDING NUMBER  
NA

## PART I - OFFER (Offeror completes Section A, C and D; Government shall complete Section B)

**NOTE:** All offers are subject to the terms and conditions outlined in Request for Lease Proposals No. , Supplemental Lease Requirements document, General Clauses (GSA Form 3517A), and any other attachments included herein.

### A. LOCATION AND DESCRIPTION OF PREMISES OFFERED FOR LEASE BY GOVERNMENT

|   |  |  |  |
|---|--|--|--|
| 1. NAME AND ADDRESS OF BUILDING (Include nine-digit ZIP Code)     | 2. LOCATION(S) IN BUILDING                                 |  |  |
| Perry-Foley Airport<br>401 Industrial Park Dr.<br>Perry, FL 32348 | 2a. FLOOR(S)<br><u>NA</u>                                  | 2b. ROOM NUMBER(S)<br>_____  | 2e. NUMBER OF PARKING SPACES OFFERED<br><br>STRUCTURED <u>NA</u><br>SURFACE <u>NA</u><br>ANNUAL PARKING RATES (IF NOT INCLUDED IN RATES UNDER PART C BELOW)<br>STRUCTURED <u>NA</u> /space<br>SURFACE <u>NA</u> /space |
|   | 2c. <u>6 Acres</u><br>Block A <u>5</u><br>Block B <u>1</u> | 2d. TYPE<br><input type="checkbox"/> GENERAL OFFICE<br><input type="checkbox"/> WAREHOUSE<br><input checked="" type="checkbox"/> OTHER (Specify) <u>Land</u> |  |

### B. TERM

3a. To have and to hold the said Premises with its appurtenances for the term beginning upon acceptance of the Premises as required by this Lease and continuing for a period of 1 Years, 6 Months Firm, subject to termination and renewal rights as may be hereinafter set forth. The commencement date of this Lease, along with any applicable termination and renewal rights, shall be more specifically set forth in a Lease Amendment upon substantial completion and acceptance of the Space by the Government.

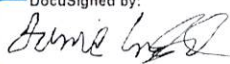
3b. The Government may terminate this Lease, in whole or in parts, at any time effective after the Firm Term of this Lease, by providing not less than 30 days prior written notice to the Lessor. The effective date of the termination shall be the day following the expiration of the required notice period or the termination date set forth in the notice, whichever is later. No rental shall accrue after the effective date of termination.

3c. This Lease may be renewed at the option of the Government for a term of 6 MONTHS at the rental rate(s) set forth below, provided notice is given to the Lessor at least 30 days before the end of the original Lease term; all other terms and conditions of this Lease, as same may have been amended, shall remain in full force and effect during any renewal term.

### C. RENTAL

4. Rent shall be payable in arrears and will be due on the first workday of each month. When the date for commencement of the lease falls after the 15th day of the month, the initial rental payment shall be due on the first workday of the second month following the commencement date. Rent for a period of less than a month shall be prorated. Rent shall not be adjusted for changes in real estate taxes or operating costs.


|  |  |   |   |
|--|--|---|---|
| 5a. AMOUNT OF 6 MONTH RENT<br>Total = Land + TI<br>\$58,621.32<br>=(37,021.32+\$21,600)                                | 5b. RATE PER MONTH<br>\$9,770.22<br>(\$1,028.37per acre X 6 Acres)=<br>\$6170.22 Monthly +\$3,600 TI |   |   |
| RENTAL RATE BREAKDOWN  | FIRM TERM (6 months)   | NON-FIRM TERM   | RENEWAL TERM  |
| 6. Land Rent (INCL. REAL ESTATE TAXES)   | 6a. <u>\$37,021.32</u>   | 6b. <u>\$37,021.32</u>  | 6c. <u>\$37,021.32</u>  |
| 7. OPERATING RENT  | 7a. Direct pass through to the government once bill received.  | 7b. Direct pass through to the government once bill received.                 | 7b. Direct pass through to the government once bill received.                 |
| 8. TURNKEY TENANT IMPROVEMENT RENT (See blocks 12 and 13 below for additional breakdown of cost and amortization rate) | 8a. <u>\$21,600</u>  | 8b. <u>\$0.00</u>   | 8c. <u>\$0.00</u>   |
| 9. BUILDING SPECIFIC AMORTIZED CAPITAL (IF APPLICABLE)   | 9a. <u>\$0</u>   | 9b. <u>\$0.00</u>   | 9c. <u>\$0.00</u>   |
| 10. TOTAL RENT   | 10a. <u>\$58,621.32</u><br>(\$1,028.37per acre X 6 Acres) =<br>\$6170.22 Monthly +\$3,600 TI         | 10b. <u>\$37,021.32</u><br>(\$1,028.37per acre X 6 Acres) = \$6170.22 monthly | 10c. <u>\$37,021.32</u><br>(\$1,028.37per acre X 6 Acres) = \$6170.22 monthly |
| 11. TENANT IMPROVEMENT COSTS<br><u>\$21,600 which could be paid in full over the first 6 months on of the lease</u>    | 12. INTEREST RATE TO AMORTIZE TENANT IMPROVEMENTS<br><u>0</u>  |   |   |

|  |   |  |                                   |
|--|---|--|-----------------------------------|
| 13. HVAC OVERTIME RATE PER HOUR <u>0</u>   | 14. ADJUSTMENT FOR VACANT PREMISES RATE (\$/ABOA SF/YEAR) _____ |  |                                   |
| <b>D. OWNER IDENTIFICATION AND CERTIFICATION</b>   |   |  |                                   |
| 15. RECORDED OWNER   |   |  |                                   |
| 15a. Name<br>Taylor County Board of County Commissioners   | 15b. Unique Entity Identifier (UEI)                             |  |                                   |
| 15c. Address<br>201 E Green Street,  | 15d. City<br>Perry  | 15e. State                               | 15f. ZIP + 4                      |
| 16. BY SUBMITTING THIS OFFER, THE OFFEROR AGREES UPON ACCEPTANCE OF THIS PROPOSAL BY HEREIN SPECIFIED DATE, TO LEASE TO THE UNITED STATES OF AMERICA, THE PREMISES DESCRIBED, UPON THE TERMS AND CONDITIONS AS SPECIFIED HEREIN, IN FULL COMPLIANCE WITH AND ACCEPTANCE OF THE AFOREMENTIONED RLP, WITH ATTACHMENTS. |   |  |                                   |
| <input checked="" type="checkbox"/> I have read the RLP with attachments in its entirety and am requesting no deviations   |   |  |                                   |
| 17. OFFEROR'S INTEREST IN PROPERTY<br><input type="checkbox"/> OWNER <input checked="" type="checkbox"/> AUTHORIZED AGENT <input type="checkbox"/> OTHER (Specify)   |   |  |                                   |
| 18. OFFEROR <input type="checkbox"/> Check if same as Recorded Owner   |   |  |                                   |
| 18a. NAME<br>Jamie English   | 18b. ADDRESS<br>201 E Green Street,                             | 18c. CITY<br>Perry                       | 18d. STATE<br>FL                  |
|  |   | 18e. ZIP + 4<br>32348                    |                                   |
| 18f. Title<br>Chairperson  | 18g. E-mail address<br>jenglish@taylorcountu.gov.com            | 18h. Telephone Number<br>850-838-3500 x6 |                                   |
| 18i. OFFEROR'S SIGNATURE<br><br><div style="border: 1px solid black; padding: 2px; display: inline-block;"> DocuSigned by:<br/> <br/> 56A0D71CA4B8441... </div>  |   |  | 18j. DATE SIGNED<br><br>10/5/2023 |

### PART II - AWARD (To be completed by Government)

1. Your offer is hereby accepted. This award consummates the Lease, which consists of the following attached documents: (a) this GSA Form 3626, (b) Supplemental Lease Requirements, (c) Security Requirements, (d) Agency Specific Requirements, (e) Floor Plan delineating the Premises, (f) GSA Form 3517A, General Clauses (Acquisition of Leasehold Interests in Real Property for Small Leases), and (g) the following building improvements, changes or additions made or agreed to by you (for example, energy efficiency and conservation improvements, ABAAS upgrades, Seismic Form C - Building Retrofit or New Construction Pre-Award Commitment (if applicable));

### 2. THIS DOCUMENT IS NOT BINDING ON THE GOVERNMENT OF THE UNITED STATES OF AMERICA UNLESS SIGNED BELOW BY AUTHORIZED LEASE CONTRACTING OFFICER.

|   |  |                           |
|---|--|---------------------------|
| 3a. NAME OF LEASE CONTRACTING OFFICER (Type or Print)<br><br>Tamara Mason | 3b. SIGNATURE OF LEASE CONTRACTING OFFICER<br><br><div style="border: 1px solid black; padding: 2px; display: inline-block;"> DocuSigned by:<br/> <br/> 54A5123FA84B470... </div> | 3c. DATE<br><br>10/7/2023 |
|---|--|---------------------------|

# **TAYLOR COUNTY BOARD OF COMMISSIONERS**

## ***County Commission Agenda Item***

**SUBJECT/TITLE:**

The Board to consider approval of lease agreement for copier located at the Taylor County Administrative Complex.


**MEETING DATE REQUESTED:**

November 6, 2023

**Statement of Issue:** To lease copier for the Administrative Complex.

**Recommended Action:** Approve

**Fiscal Impact:** \$101 per month for leasing agreement.

**Budgeted Expense:** Yes

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

### **SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** County Staff respectfully requests approval of extension of leasing agreement for copier located in the Administrative Complex.

**Options:**

**Attachments:** Agreement

## EQUIPMENT

Equipment Model & Description

Serial Number

Accessories

Toshiba ES4518A

CZGJ62874

LCT, DSDF, Console Staple and Hole

Punch, and Fax

☐ See attached schedule for additional Equipment / Accessories

Equipment Location (if different from Billing Address) 201 E Green St Perry, FL 32347

## SUPPLIER

Advanced Business Systems  
1236 North Monroe Street  
Tallahassee, FL 32303

YOU HAVE SELECTED THE EQUIPMENT. THE SUPPLIER AND ITS REPRESENTATIVES ARE NOT OUR AGENTS AND ARE NOT AUTHORIZED TO MODIFY THE TERMS OF THIS AGREEMENT. YOU ARE AWARE OF THE NAME OF THE MANUFACTURER OF EACH ITEM OF EQUIPMENT AND YOU WILL CONTACT EACH MANUFACTURER FOR A DESCRIPTION OF YOUR WARRANTY RIGHTS. WE MAKE NO WARRANTIES TO YOU, EXPRESS OR IMPLIED, AS TO THE MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, SUITABILITY OR OTHERWISE. WE PROVIDE THE EQUIPMENT TO YOU AS-IS. YOU AGREE TO USE THE EQUIPMENT ONLY IN THE LAWFUL CONDUCT OF YOUR BUSINESS, AND NOT FOR PERSONAL, HOUSEHOLD OR FAMILY PURPOSES. WE SHALL NOT BE LIABLE FOR CONSEQUENTIAL OR SPECIAL DAMAGES. WE MAKE NO REPRESENTATION OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE LEGAL, TAX OR ACCOUNTING TREATMENT OF THIS AGREEMENT AND YOU ACKNOWLEDGE THAT WE ARE AN INDEPENDENT CONTRACTOR AND NOT A FIDUCIARY OF CUSTOMER. YOU WILL OBTAIN YOUR OWN LEGAL, TAX AND ACCOUNTING ADVICE RELATED TO THIS AGREEMENT AND WILL MAKE YOUR OWN DETERMINATION OF THE PROPER TERM FOR ACCOUNTING PURPOSES. YOUR PAYMENT OBLIGATIONS ARE ABSOLUTE AND UNCONDITIONAL AND ARE NOT SUBJECT TO CANCELLATION, REDUCTION OR SETOFF FOR ANY REASON WHATSOEVER. BOTH PARTIES AGREE TO WAIVE ALL RIGHTS TO A JURY TRIAL. THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF FLORIDA. YOU CONSENT TO THE JURISDICTION AND VENUE OF FEDERAL AND STATE COURTS IN FLORIDA. TO HELP THE GOVERNMENT FIGHT THE FUNDING OF TERRORISM AND MONEY LAUNDERING ACTIVITIES, FEDERAL LAW REQUIRES ALL FINANCIAL INSTITUTIONS TO OBTAIN, VERIFY AND RECORD INFORMATION THAT IDENTIFIES EACH PERSON WHO OPENS AN ACCOUNT. WHAT THIS MEANS TO YOU: WHEN YOU OPEN AN ACCOUNT, WE WILL ASK FOR YOUR NAME, ADDRESS AND OTHER INFORMATION THAT WILL ALLOW US TO IDENTIFY YOU. WE MAY ALSO ASK TO SEE IDENTIFYING DOCUMENTS. BY SIGNING THIS AGREEMENT, YOU ACKNOWLEDGE RECEIPT OF PAGE 2 OF THIS AGREEMENT, AND AGREE TO THE TERMS ON BOTH PAGES 1 AND 2. ORAL AGREEMENTS OR COMMITMENTS TO LOAN MONEY, EXTEND CREDIT OR TO FORBEAR FROM ENFORCING REPAYMENT OF A DEBT INCLUDING PROMISES TO EXTEND OR RENEW SUCH DEBT ARE NOT ENFORCEABLE. TO PROTECT YOU AND US FROM MISUNDERSTANDING OR DISAPPOINTMENT, ANY AGREEMENTS WE REACH COVERING SUCH MATTERS ARE CONTAINED IN THIS WRITING, WHICH IS THE COMPLETE AND EXCLUSIVE STATEMENT OF THE AGREEMENT BETWEEN US, EXCEPT AS WE MAY LATER AGREE IN WRITING TO MODIFY IT.

## OWNER ("We", "Us")

Advanced Business Systems  
1236 North Monroe Street, Tallahassee, FL 32303

By: X  
Signature of Authorized Signer  
Name: Jenifer Fellers  
Title: Account Executive  
Date: 08/08/2023

## TRANSACTION TERMS

Rental Payment \$ 101 Term 36 months  
(Plus applicable taxes)

☐ Includes 0 copies per month.  
Excess images at .0069 per image.

☐ Rental Payment includes estimated applicable personal property and other similar taxes.

☐ Billing Period: Monthly

The following additional payments are due on the date this Agreement is signed by you:

SECURITY DEPOSIT \$ 0

ADVANCE PAYMENT \*\$ 0 \*Applied to: ☐ first ☐ last  
(Plus applicable taxes)

DOCUMENT FEE \$75.00 (included on first invoice)

## CUSTOMER ("You")

Taylor County Board of County Commissioners  
Full Legal Name

Trade / DBA

201 E Green St

Billing Address

Perry, FL 32347

City/State/Zip

850-843-0912 Theresa Copeland

Contact Name/Phone/E-mail Address

By: X  
Signature of Authorized Signer  
Name: \_\_\_\_\_  
Please Print  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_  
Fed Tax ID: \_\_\_\_\_

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:**

**The Board to consider approval of lease agreement for copier located at the Taylor County Administrative Complex.**



**MEETING DATE REQUESTED:**

**November 6, 2023**

**Statement of Issue:** To lease copier for the Administrative Complex.

**Recommended Action:** Approve

**Fiscal Impact:** \$101 per month for leasing agreement.

**Budgeted Expense:** Yes

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** County Staff respectfully requests approval of extension of leasing agreement for copier located in the Administrative Complex.

**Options:**

**Attachments:** Agreement

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:**



The Board to consider approval of maintenance and supply agreement and accompanying lease agreement for copier located at the Taylor County Public Library.

**MEETING DATE REQUESTED:**

**November 6, 2023**

**Statement of Issue:** To lease copier for the Public Library.

**Recommended Action:** Approve

**Fiscal Impact:** \$402 annually without overage charges for Maintenance and Supply Agreement, \$2,853 annually for lease.

**Budgeted Expense:** Yes

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** The Taylor County Public Library Manager has requested a new maintenance and supply agreement and leasing agreement for the copier located at the Library.

**Options:**

**Attachments:** Agreement





1236 North Monroe St • Tallahassee, FL 32303  
P (850) 222-2308  
F (850) 222-3684  
www.a-b-s.com

## MAINTENANCE AND SUPPLY AGREEMENT - MSA

Includes all parts, labor, toner, developer and fuser oil. Drums and masters are included when maintenance is purchased at equipment point of sale. Does not include paper or staples, unless otherwise stated.

| Type                                | Monthly Minimum Charge | Monthly Allowance | Excess of Allowance Rate | Starting Meter Reading |   |   |
|-------------------------------------|------------------------|-------------------|--------------------------|------------------------|---|---|
|                                     |                        |                   |                          | 1                      | 2 | 3 |
| B&W                                 | \$ 33.50               | 5,000             | \$ 0.0067                |                        |   |   |
| Color                               | \$                     |                   | \$ 0.0372                |                        |   |   |
| Scan                                | \$                     |                   | \$                       |                        |   |   |
| Other                               | \$                     |                   | \$                       |                        |   |   |
| <b>Total Monthly Minimum Charge</b> | <b>\$ 33.50</b>        |                   | <b>Equipment ID:</b>     |                        |   |   |

Invoicing ☒ Monthly ☐ Quarterly ☐ Semi-Annual ☐ Annual

Client Accepts: \_\_\_\_\_

**NetConnect Protection:** Includes reinstallation of print drivers, user account control updates and reconnection of scanning destinations.

☐ Remote Support (\$9.99 per month) ☐ On-Site Support (\$29 per month)

Client Accepts: \_\_\_\_\_

Client Declines: \_\_\_\_\_

**Remote Meter Readings:** ABS will collect your meter readings electronically. Includes auto toner replacement.

☒ Yes! ☐ No thanks

| Mfg.       | Model  | Serial Number | Service Zone | Agreement Period                           |
|------------|--------|---------------|--------------|--|
| 1. Toshiba | 4525AC |               |              | From: ____/____/____<br>To: ____/____/____ |
| 2.         |        |               |              |  |
| 3.         |        |               |              |  |

**Special Instructions:** This agreement includes staples.

|                 |                         |                              |
|-----------------|-------------------------|------------------------------|
| <b>BILL TO:</b> | CLIENT #                | TC31                         |
|                 | COMPANY                 | Taylor County Public Library |
|                 | ADDRESS                 | 403 N Washington St          |
|                 | CITY                    | Perry                        |
|                 | STATE                   | FL                           |
|                 | ZIP                     | 32347                        |
|                 | PHONE                   | (850)838-3512                |
|                 | CONTACT                 | Joanne                       |
|                 | METER REQUESTS CONTACT: |                              |

|                 |                           |      |
|-----------------|---------------------------|------|
| <b>SHIP TO:</b> | CLIENT #                  |      |
|                 | COMPANY                   | SAME |
|                 | ADDRESS                   |      |
|                 | CITY                      |      |
|                 | STATE                     |      |
|                 | ZIP                       |      |
|                 | PHONE                     |      |
|                 | CONTACT                   |      |
|                 | E-MAIL METER REQUESTS TO: |      |

# AGREEMENT



GREATAMERICA FINANCIAL SERVICES CORPORATION  
PAYMENT ADDRESS:  
PO Box 660831, Dallas TX 75266-0831

AGREEMENT NO.: 1902192

## CUSTOMER ("YOU" OR "YOUR")

FULL LEGAL NAME: **Taylor County Board of County Commissioners**

ADDRESS: **201 E Green St PO Box 620 Perry, FL 32347-2737**

**VENDOR (VENDOR IS NOT OUR AGENT AND IS NOT AUTHORIZED BY US TO ACT ON OUR BEHALF OR TO WAIVE OR ALTER ANY PROVISION OF THIS AGREEMENT)**

**Advanced Business Systems Tallahassee, FL**

## EQUIPMENT AND PAYMENT TERMS

TYPE, MAKE, MODEL NUMBER, SERIAL NUMBER, AND INCLUDED ACCESSORIES

☐ SEE ATTACHED SCHEDULE

**Toshiba 4525 AC**

EQUIPMENT LOCATION: **As Stated Above**

(\*PLUS TAX)

TERM IN MONTHS: **63**

MONTHLY PAYMENT AMOUNT\*: **\$237.83**

PURCHASE OPTION\*: **Fair Market Value**

## ADDITIONAL TERMS AND CONDITIONS

AGREEMENT. You want us to now pay your Vendor for the equipment and/or software referenced herein ("Equipment") and the amounts your Vendor included on the invoice to us for the Equipment for related installation, training, and/or implementation costs, and you unconditionally agree to pay us the amounts payable under the terms of this agreement ("Agreement") each period by the due date. This Agreement will begin on the date the Equipment is delivered to you or any later date we designate. We may charge you a one-time origination fee of \$125.00. If we do not receive by the due date, at the remittance address indicated on your invoice, any amount payable to us, you will pay a late charge equal to: 1) the greater of ten (10) cents for each dollar overdue or twenty-six dollars (\$26.00); or 2) the highest lawful charge, if less.

**NET AGREEMENT. THIS AGREEMENT IS NON-CANCELABLE FOR THE ENTIRE AGREEMENT TERM. YOU UNDERSTAND WE ARE PAYING FOR THE EQUIPMENT BASED ON YOUR UNCONDITIONAL ACCEPTANCE OF IT AND YOUR PROMISE TO PAY US UNDER THE TERMS OF THIS AGREEMENT, WITHOUT SET-OFFS FOR ANY REASON, EVEN IF THE EQUIPMENT DOES NOT WORK OR IS DAMAGED, EVEN IF IT IS NOT YOUR FAULT.**

**EQUIPMENT USE.** You will keep the Equipment in good working order, use it for business purposes only, and not modify or move it from its initial location without our consent. You must resolve any dispute you may have concerning the Equipment with the manufacturer or Vendor. Payments under this Agreement may include amounts you owe your Vendor under a separate arrangement (for maintenance, service, supplies, etc.), which amounts may be invoiced by us on your Vendor's behalf for your convenience.

**SOFTWARE/DATA.** Except as provided in this paragraph, references to "Equipment" include any software referenced above or installed on the Equipment. We do not own the software and cannot transfer any interest in it to you. We are not responsible for the software or the obligations of you or the licensor under any license agreement. You are solely responsible for protecting and removing any confidential data/images stored on the Equipment prior to its return for any reason.

**NO WARRANTY. WE MAKE NO WARRANTIES, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. YOU HAVE ACCEPTED THE EQUIPMENT "AS-IS". YOU CHOSE THE EQUIPMENT, THE VENDOR AND ANY/ALL SERVICE PROVIDER(S) BASED ON YOUR JUDGMENT. YOU MAY CONTACT YOUR VENDOR FOR A STATEMENT OF THE WARRANTIES, IF ANY, THAT THE MANUFACTURER OR VENDOR IS PROVIDING. WE ASSIGN TO YOU ANY WARRANTIES GIVEN TO US.**

**ASSIGNMENT.** You may not sell, assign or sublease the Equipment or this Agreement without our written consent. We may sell or assign this Agreement or our rights in the Equipment, in whole or in part, to a third party without notice to you. You agree that if we do so, the assignee will have our rights but will not be subject to any claim, defense, or set-off assertable against us or anyone else.

**LAW/FORUM.** This Agreement and any claim related to this Agreement will be governed by Iowa law. Any dispute will be adjudicated in a state or federal court located in Linn County, Iowa. You consent to personal jurisdiction and venue in such courts and waive transfer of venue. Each party waives any right to a jury trial.

**LOSS OR DAMAGE.** You are responsible for any damage to or loss of the Equipment. No such loss or damage will relieve you from your payment obligations hereunder. We are not responsible for, and you will indemnify us against, any claims, losses or damages, including attorney fees, in any way relating to the Equipment or data stored on it. This indemnity will survive the expiration of this Agreement. In no event will we be liable for any consequential or indirect damages.

**INSURANCE.** You agree to maintain commercial general liability insurance acceptable to us. You also agree to: 1) keep the Equipment fully insured against loss at its replacement cost, with us named as loss payee; and 2) provide proof of insurance satisfactory to us no later than 30 days following the commencement of this Agreement, and thereafter upon our written request. If you fail to maintain property loss insurance satisfactory to us and/or you fail to timely provide proof of such insurance, we have the option, but not the obligation, to secure property loss insurance on the Equipment from a carrier of our choosing in such forms and amounts as we deem reasonable to protect our interests. If we secure insurance on the Equipment, we will not name you as an insured party, your interests may not be fully protected, and you will reimburse us the premium which may be higher than the premium you would pay if you obtained insurance, and which may result in a profit to us through an investment in reinsurance. If you are current in all of your obligations under the Agreement at the time of loss, any insurance proceeds received will be applied, at our option, to repair or replace the Equipment, or to pay us the remaining payments due or to become due under this Agreement, plus our booked residual, both discounted at 3% per annum.

**TAXES.** We own the Equipment. You will pay when due, either directly or by reimbursing us, all taxes and fees relating to the Equipment and this Agreement. Sales or use tax due upfront will be payable over the term with a finance charge.

**END OF TERM.** At the end of the term of this Agreement (or any renewal term) (the "End Date"), this Agreement will renew month to month unless a) we receive written notice from you, at least 30 days prior to the End Date, of your intent to return the Equipment, and b) you timely return the Equipment to the location designated by us, at your expense. If a Purchase Option is indicated above and you are not in default on the End Date, you may purchase the Equipment from us "AS IS" for the Purchase Option price. If the returned Equipment is not immediately available for use by another without need of repair, you will reimburse us for all repair costs. You cannot pay off this Agreement or return the Equipment prior to the End Date without our consent. If we consent, we may charge you, in addition to other amounts owed, an early termination fee equal to 5% of the amount we paid for the Equipment.

**DEFAULT/REMEDIES.** If a payment becomes 10+ days past due, or if you otherwise breach this Agreement, you will be in default, and we may require that you return the Equipment to us at your expense and pay us: 1) all past due amounts and 2) all remaining payments for the unexpired term, plus our booked residual, discounted at 3% per annum; and we may disable or repossess the Equipment and use all other legal remedies available to us. You agree to pay all costs and expenses (including reasonable attorney fees) we incur in any dispute with you related to this Agreement. You agree to pay us interest on all past due amounts at the rate of 1.5% per month, or at the highest rate allowed by applicable law, if less.

**UCC.** You agree that this Agreement is (and/or shall be treated as) a "Finance Lease" as that term is defined in Article 2A of the Uniform Commercial Code ("UCC"). You agree to forgo the rights and remedies provided under sections 507-522 of Article 2A of the UCC.

**MISCELLANEOUS.** This Agreement is the entire agreement between you and us relating to the Equipment and supersedes any prior representations or agreements, including any purchase orders. Amounts payable under this Agreement may include a profit to us. The parties agree that the original hereof for enforcement and perfection purposes, and the sole "record" constituting "chattel paper" under the UCC, is the paper copy hereof bearing (i) the original or a copy of either your manual signature or an electronically applied indication of your intent to enter into this Agreement, and (ii) our original manual signature. If any provision of this Agreement is unenforceable, the other provisions herein shall remain in full force and effect to the fullest extent permitted by law. Any change must be in writing signed by each party.

## APPLICABLE TO GOVERNMENTAL ENTITIES ONLY

You hereby represent and warrant to us that as of the date of the Agreement: (a) the individual who executed the Agreement had full power and authority to execute the Agreement on your behalf; (b) all required procedures necessary to make the Agreement a legal and binding obligation against you have been followed; (c) the Equipment will be operated and controlled by you and will be used for essential government purposes for the entire term of the Agreement; (d) that all payments due and payable for the current fiscal year are within the current budget and are within an available, unexhausted, and unencumbered appropriation; (e) you intend to pay all amounts payable under the terms of the Agreement when due, if funds are legally available to do so; (f) your obligations to remit amounts under the Agreement constitute a current expense and not a debt under applicable state law; (g) no provision of the Agreement constitutes a pledge of your tax or general revenues; and (h) you will comply with any applicable information reporting requirements of the tax code, which may include 8039-G or 8038-GC Information Returns. If funds are not appropriated to pay amounts due under the Agreement for any future fiscal period, you shall have the right to return the Equipment and terminate the Agreement on the last day of the fiscal period for which funds were available, without penalty or additional expense to you (other than the expense of returning the Equipment to the location designated by us), provided that at least thirty (30) days prior to the start of the fiscal period for which funds were not appropriated, your Chief Executive Officer (or Legal Counsel) delivers to us a certificate (or opinion) certifying that (a) you are a state or a fully constituted political subdivision or agency of the state in which you are located; (b) funds have not been appropriated for the applicable fiscal period to pay amounts due under the Agreement; (c) such non-appropriation did not result from any act or failure to act by you; and (d) you have exhausted all funds legally available for the payment of amounts due under the Agreement. You agree that this paragraph shall only apply if, and to the extent that, state law precludes you from entering into the Agreement if the Agreement constitutes a multi-year unconditional payment obligation.

## OWNER ("WE", "US", "OUR")

THIS AGREEMENT IS NON-CANCELABLE FOR THE FULL AGREEMENT TERM. THIS AGREEMENT IS BINDING WHEN WE EXECUTE THIS AGREEMENT AND PAY FOR THE EQUIPMENT.

OWNER: **GreatAmerica Financial Services Corporation**

## CUSTOMER'S AUTHORIZED SIGNATURE

CUSTOMER: **(As Stated Above)**

SIGNATURE:

DATE:

SIGNATURE: **X**

DATE:

PRINT NAME & TITLE:

PRINT NAME & TITLE:

## CERTIFICATE OF DELIVERY AND ACCEPTANCE

The Customer hereby certifies that all the Equipment: 1) has been received, installed, and inspected, and 2) is fully operational and unconditionally accepted.

SIGNATURE: **X**

NAME AND TITLE:

DATE:





# ADVANCED BUSINESS SYSTEMS

1236 North Monroe Street • Tallahassee, FL 32303  
(850)222-2308 • FAX (850) 222-3684 • www.a-b-s.com

|                 |                |                              |              |    |                 |                |         |             |              |            |
|-----------------|----------------|------------------------------|--------------|----|-----------------|----------------|---------|-------------|--------------|------------|
| <b>BILL TO:</b> | <b>COMPANY</b> | Taylor County Public Library |              |    | <b>SHIP TO:</b> | <b>COMPANY</b> | SAME    |             |              |            |
|                 | <b>ADDRESS</b> | 403 N Washington St          |              |    |                 | <b>ADDRESS</b> |         |             |              |            |
|                 | <b>CITY</b>    | Perry                        | <b>STATE</b> | FL |                 | <b>ZIP</b>     | 32347   | <b>CITY</b> | <b>STATE</b> | <b>ZIP</b> |
|                 | <b>PHONE #</b> | (850)838-3512 CONTACT Joanne |              |    |                 | <b>PHONE #</b> | CONTACT |             |              |            |
|                 | <b>FAX #</b>   | EMAIL                        |              |    |                 | <b>FAX #</b>   | EMAIL   |             |              |            |

| MODEL  | SERIAL # | I.D. # | EQUIPMENT DESCRIPTION | PRICE        |
|--------|----------|--------|-----------------------|--------------|
| 4525AC |          |        | 45 ppm color copier   | as per lease |
|        |          |        |                       |              |
|        |          |        |                       |              |
|        |          |        |                       |              |
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|  |                       |               |  |
|--|-----------------------|---------------|--|
| <b>WARRANTY:</b>   | <b>DRUM WARRANTY:</b> | <b>P.O. #</b> | <b>SALES TAX</b>                           |
| <b>METER READING:</b>  |                       |               |  |
| <b>Terms Of Purchase</b> — Terms of this agreement are payment in full upon installation of equipment indicated above (unless otherwise specified). Mail payment to: 1236 North Monroe Street, Tallahassee, FL 32303 |                       |               | Setup, Delivery, Installation and Training |
| <b>BUYER'S ACCEPTANCE</b>  |                       | <b>DATE</b>   | <b>TOTAL</b>                               |
| <b>SALES REPRESENTATIVE SIGNATURE</b>  |                       | <b>DATE</b>   | Less Deposit Received with Order           |
| <b>ADVANCED BUSINESS SYSTEMS OFFICER APPROVAL</b>  |                       | <b>DATE</b>   | <b>BALANCE DUE</b> as per lease            |

THIS IS A BINDING OFFER not subject to cancellation. No modifications or additions therefore shall be binding upon the seller unless expressly consented to in writing by an officer of the Corporation. Title shall remain with seller until payment is made in full. Advanced Business Systems warrants that the goods covered by this order when delivered to buyer will be of merchantable quality and free from defects in workmanship and materials for the period specified above under ordinary use and conditions. Advanced Business Systems shall not be liable for failure to deliver or delays in delivery occasioned by causes beyond its control, including, without limitation, strikes, lock-outs, fires, embargoes, product shortages, war or other outbreak of hostilities. Buyer understands that payments not made in accordance with specified terms will be subject to the current established service charges of Advanced Business Systems. This contract shall be governed by and construed according to the laws of the State where merchandise is to be delivered. If the customer defaults hereunder: (1) Advanced Business Systems, in addition to other remedies, may repossess the equipment without notice; and (2) the Customer agrees to pay Advanced Business Systems costs and expenses of collection and/or repossession, including the maximum attorneys' fees permitted by law. Purchaser warrants that all items listed herein as trade-in equipment to be free and clear of all liens and encumbrances and purchaser further warrants he has authority to trade this equipment in for equipment listed herein.

### ADVANCED BUSINESS SYSTEMS

#### Performance Guarantees

**No-Risk Lifetime Performance Guarantee** — If, at any time, your equipment fails to perform to "your expectations", Advanced Business Systems will replace it with a similar system free of charge.

**Service Response Time Guarantee** — Our average response time is under four hours during regular business hours, Monday through Friday, 8:30 a.m. to 5:00 p.m., excluding holidays. If the elapsed time from when your call is placed and our service technician arrives at your office exceeds four business hours, you will get a five percent credit voucher toward your next supply purchase from Advanced Business Systems.

**Equity Guarantee** — If in the future you choose to upgrade your present equipment, you may apply the original investment amount (equity) as a discount towards the purchase of new equipment as follows:

|                  |      |       |       |       |       |       |         |
|------------------|------|-------|-------|-------|-------|-------|---------|
| Age (in months)  | 12   | 13-24 | 25-36 | 37-48 | 49-60 | 61-70 | over 70 |
| Upgrade Discount | 100% | 60%   | 40%   | 30%   | 20%   | 15%   | 10%     |

**Supplies Guarantee** — Our supplies are guaranteed to meet all rigid manufacturer specifications. Supplies are competitively priced and kept in our inventory for immediate shipment.

Guarantees apply to new equipment continuously covered by our Maintenance and Supply Program.

**Performance Guarantee:** Accepts \_\_\_\_\_ Declines \_\_\_\_\_

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:**

The Board to consider approval of draft letter of support for the Taylor County Development Authority.



**MEETING DATE REQUESTED:**

**November 6, 2023**

**Statement of Issue:** To provide letter of support for Legislative Appropriation Request.

**Recommended Action:** Approve

**Fiscal Impact:** N/A

**Budgeted Expense:** N/A

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** Taylor Brown, Economic Development Director has requested a letter from Taylor County Board of County Commissioners to support Appropriation Request for additional funding.

**Options:**

**Attachments:** Draft Letter



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court  
Post Office Box 620  
Perry, Florida 32348  
(850) 838-3506 Phone  
(850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator  
201 East Green Street  
Perry, Florida 32347  
(850) 838-3500, extension 7 Phone  
(850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney  
Post Office Box 167  
Perry, Florida 32348  
(850) 584-6113 Phone  
(850) 584-2433 Fax

Monday, November 06, 2023

Senator Corey Simon

Representative Jason Shoaf

Florida State Legislature  
402/404 South Monroe Street  
Tallahassee, FL 32399-1100

Dear Senator Simon & Representative Shoaf,

The Taylor County Commission wishes to express our support for the Taylor County Development Authority, in their pursuit of a Local Funding Initiative Request for the fiscal year 2024-2025.

The Taylor County Development Authority (TCDA) was created by an Act of the Florida Legislature in 1959 and has since operated as an independent industrial development authority under the laws of Florida. The TCDA typically receives funding solely from the Taylor County Commission.

However, Taylor County has recently been plagued by two distinct economic hardships simultaneously, including a direct hit by Hurricane Idalia, followed a few weeks later by the closure of the Georgia Pacific Cellulose mill, the community's largest private employer. Taylor County, with a population of 21,815 people, expects to lose nearly 2,000 jobs. The combination of these two events has created a great need for new economic development efforts within the community to counterbalance both the loss of jobs, as well as the anticipated loss in local tax revenues.

This Local Funding Initiative seeks to temporarily increase the capacity of the TCDA to foster economic development within Taylor County in order to counterbalance the negative economic impacts created by these recent economic hardships.

For these reasons, the Taylor County Commission respectfully asks for your consideration for the Taylor County Development Authority's Local Funding Initiative Request for this very worthwhile endeavor.

Sincerely,

Jamie English, Chairman

Taylor County Commission

**TAYLOR COUNTY BOARD OF COMMISSIONERS**

***County Commission Agenda Item***

**SUBJECT/TITLE:** The Board to consider approval of draft letter of support for the City of Perry.



**MEETING DATE REQUESTED:** November 6, 2023

**Statement of Issue:** To provide letter of support for Rural Infrastructure Grant application.

**Recommended Action:** Approve

**Fiscal Impact:** N/A

**Budgeted Expense:** N/A

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 850-838-3500 ext. 6

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** John Hart, City Manager has requested letter from the Taylor County Board of County Commissioners to support grant application in order to fund repairs to the City of Perry's water distribution system.

**Options:**

**Attachments:** Draft Letter  
Email from John Hart, City Manager



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court  
Post Office Box 620  
Perry, Florida 32348  
(850) 838-3506 Phone  
(850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator  
201 East Green Street  
Perry, Florida 32347  
(850) 838-3500, extension 7 Phone  
(850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney  
Post Office Box 167  
Perry, Florida 32348  
(850) 584-6113 Phone  
(850) 584-2433 Fax

November 6, 2023

Florida Department of Economic Opportunity  
Rural Infrastructure Program  
Attn: Pam Portwood, Community Program Manager  
107 East Madison Street, MSC 160  
Tallahassee, FL 32399

Dear Ms. Portwood,

The Taylor County Board of County Commissioners would like to provide our support to the City of Perry, in their pursuit of funding under the Florida Department of Economic Opportunity, Rural Infrastructure Fund.

The funding will be used to make needed repairs to the City of Perry's water distribution system. The top priority will be to replacing the water main and inoperable fire hydrants that serve City residents and businesses.

The Taylor County Board of County Commissioners respectfully asks for your support for the City of Perry's Rural Infrastructure Application for this worthwhile project.

Respectfully,

Jamie English, Chairperson

## TAYLOR COUNTY BOARD OF COMMISSIONERS

### County Commission Agenda Item

**SUBJECT/TITLE:**

Proposed request for funding for environmental consulting services from Due Diligence Associates, Inc.

**Meeting Date:**

November 6, 2023

**Statement of Issue:**

In an abundance of caution and pre-planning, the Citizens Action Task Force wants to ensure that the best environmental protection and positioning for economic re-investing is considered in plans and permitting associated with the pulp plant closure. The Citizens Action Task Force recommends that TCDA or the County contract with an independent subject matter environmental expert to closely review and, potentially, make recommendations regarding FDEP plans, and the plans of corporate ownership, should the pulp plant be permanently shut down. The County Manager, TCDA, Task Force members, SRWMD and FDEP permitting staff have discussed various approaches to get this work done. The Suwannee River Water Management District Executive Director stated that the District may be able to provide funding for these services, but would need a letter from the Taylor County Commissioners requesting the District fund this work.

**Recommendation:**

Share information regarding this proposal at the 11/6/23 Taylor County Board of County Commission meeting. We request the County decide at the following BOCC meeting if they wish to pursue this proposal.

**Fiscal Impact:** \$ 0.00 after SRWMD funding

**Budgeted Expense:** Yes ☐ No ☒ N/A ☐

**Submitted By:** Citizens Action Task Force Chair, Michele Curtis

**Contact:** Michele Curtis

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

**History, Facts & Issues:**

The pulp plant site has been in use as an industrial site for over 70 years; first as a large sawmill and then as a pulp manufacturing plant. The pulp plant started operation in 1955.

Environmental standards have changed and generally increased for manufacturing plants to

protect the environment. In many cases, pre-exiting conditions were "grandfathered" by the new standards and have not been addressed. If a re-purposing of the facility occurs, new requirements on old conditions will need to be addressed.

The Citizens Action Task Force wants to ensure that the best environmental protection and positioning for economic re-investing is considered in plans and permitting associated with the pulp plant closure.

**Options:**

1. \_\_\_\_\_
2. \_\_\_\_\_

**Attachments:**

1. [www.DDAnet.com](http://www.DDAnet.com)  
Due Diligence Associates, Inc. Proposal and staff credentials
2. \_\_\_\_\_




## Due Diligence TCDA proposal for consulting associated the Foley Cellulose Mill closure

Chet Thompson <chet@ddanet.com>

Thu 9/21/2023 5:08 PM

To: mrc1218@hotmail.com <mrc1218@hotmail.com>; tcdaperry@gmail.com <tcdaperry@gmail.com>

Cc: Daniel R. Burns <daniel@ddanet.com>

 1 attachments (21 KB)

Taylor County Development Authority consultation proposal copy.pdf;

Michele and Taylor,

Thank you for the opportunity to provide the attached quote to hopefully support the Taylor County community in addressing the unfortunate closure of the Foley Cellulose Mill. We have a standard work agreement (contract) that could be modified to use, but wondered if TCDA already had a standard agreement they need/want to use. Just let us know, and if appropriate we will modify ours and provide it.

Michele I mentioned to you our internal email system has had problems sending to gmail accounts. I will text this proposal to Taylor to ensure he has it.

Again, I am hopeful we can help the community.

Chet Thompson, P.E., Principal  
Due Diligence Associates, Inc.  
2707 Killarney Way Suite 100 / Tallahassee, FL / 32309  
C/850.755.2223 O/850.893.0031 F/850.270.1399  
[chet@ddanet.com](mailto:chet@ddanet.com) / [www.DDAnet.com](http://www.DDAnet.com)



Due Diligence Associates, Inc. (DDA) proposes to Taylor County Development Authority (TCDA) to provide general consultation associated with the shutdown of the Foley Cellulose pulp mill in Perry, Florida. The following is a preliminary proposed work scope to be performed by Chet Thompson, P.E., Principal of DDA:

- 1) Contact permitting agencies to request permit applications and reports associated with the shutdown
- 2) Participate in TCDA planning discussions as requested and available.
- 3) Participate in public meetings noticed by the agencies in connection with permitting the shutdown process
- 4) Reviewing permit applications and reports made available by the agencies associated with the shutdown to advise TCDA regarding the plans protect the groundwater and surface water in the surrounding area
- 5) Provide a written summary letter style report on proposed plans and applications to TCDA, including recommended actions, identification of further needs, and recommended questions for GP and or testing agencies

The estimate of needed consultation is \$2800 (for the 1st month), and \$15,000 - \$25,000 through the end of the calendar year depending on the level of services required. Efforts beyond will need to be reassessed. Chet's schedule is constrained until the week of 10/23/23 to phone call participation only and a maximum of 16 hours. Chet Thompson's billable rate is \$175/hr for consultation services and \$250/hr for field work, in person meeting participation, and any needed consultation beyond 16 hours per month. Travel expenses are billed at cost and prior authorization will be obtained prior to travel. Mileage will be billed at the IRS reimbursement rate.

We anticipate the following specific steps to get started under items No. 1 and 2 above. The time estimated for this is 16 hours.

- Contact FDEP, SRWMD, and EPA indicating DDA's relationship to TCDA, requesting any current available information on the shutdown and requesting to be put on the public distribution list for any actions
- Participate in TCDA planning discussions to define ongoing actions to be taken

Unless GP has been submitting reports and plans in anticipation of their Mill Closure announcement 9/18, we do not anticipate any available signification reports or permit applications within the next 30 days. The inquiry above is intended to access this, if possible and when available.

## Chet D. Thompson, PE

### Summary

Chet joined DDA in 2022 after 35 years with Georgia-Pacific, becoming a DDA partner with Sid and Daniel Burns in 2023, providing due diligence services to real estate investors, asset managers, and lenders for commercial, retail, industrial and multifamily developments, including low income housing, market rate, and historic tax credit projects. DDA specializes in performing commercial property condition assessments and construction loan monitoring for lenders. Construction services include front end cost analysis, construction document reviews and preparation of loan pre-closing reports. Once loans close, DDA monitors construction and renovation activities and provides detailed construction progress reports meeting a wide range of client requirements. DDA is a fully insured national firm, having provided services in over forty-five (45) states and has performed condition assessments from Alaska and Hawaii to the Florida Keys.

### Experience


- Over forty-two (42) years experience in various engineering responsibilities (over thirty-eight (38) years as a Registered Professional Engineer) performing or supervising project management or industrial operations and in responsible charge of various duties including project scope development, cost analysis, construction plan development and implementation, environmental permitting, report preparation, field construction inspection and quality assurance, and permit final as-built certification of completion.
- Over thirty-five (35) years experience developing industrial projects to meet changing environmental regulations in a financially sustainable means to ensure continued business unit viability.
- Six (6) years of experience as a US Navy Civil Engineer Corps Officer leading and managing various construction and facilities maintenance activities, including a tour as a Naval Mobil Construction Battalion equipment company commander.
- Reviewer and commenter on Federal and State environmental regulation development with regulators as an industry representatives to ensure technical and financial viability.
- Experienced in NPDES Industrial Wastewater, Industrial and Construction Stormwater Discharge Permitting, Title V Air Operating and Construction Permitting, US Army Corps of Engineers 404d Permitting, and Florida Environmental Resource Permitting, and then monitoring implementation to completion, ensuring compliance is met to protect the permitted entity.
- Specialized experience in environmental improvement projects addressing attainment of water quality criteria and wetland mitigation.

### Education

Virginia Military Institute | Lexington, VA  
Bachelor of Civil Engineering: 1981

### Registrations & Certifications

- State of Florida Professional Engineer License No. 38426, Expires 02/28/25
- State of California Professional Engineer (Inactive)
- Florida Department of Environmental Protection Qualified Stormwater Management Inspector

| TAYLOR COUNTY BOARD OF COMMISSIONERS   |  |
|--|--|
| County Commission Agenda Item  |  |
| <b>SUBJECT/TITLE:</b><br><br> | <b>Request to appoint two members of the Board of County Commissioners (one member and one alternate) to the Taylor County Canvassing Board for the 2024 Election Cycle.</b> |
| <b>MEETING DATE REQUESTED:</b>   | November 6, 2023   |

**Statement of Issue:**  
**Recommended Action:**

**Fiscal Impact:**

**Budgeted Expense:**

**Submitted By:** Dana Southerland

**Contact:** Dana Southerland

#### **SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** The two members appointed must be commissioners who are not scheduled to appear on the ballot during the 2024 election cycle and who are not planning on being an active participant in any campaign on behalf of a candidate or an issue that might be on the ballot.

**Options:**

**Attachments:**

*The Bishop Law Firm, P.A.*  
*Attorneys at Law*

CONRAD C. BISHOP, JR.  
CONRAD C. "SONNY" BISHOP, III

POST OFFICE BOX 167  
411 N. WASHINGTON STREET  
PERRY, FLORIDA 32348

IN MEMORIAL OF  
KATHLEEN MCCARTHY BISHOP 1966-2013

(850) 584-6113  
FAX (850) 584-2433

October 30, 2023

VIA E-MAIL

Ms. Lawanda Pemberton  
County Administrator  
201 E. Green Street  
Perry, Florida 32347

Re: Opioid Class Action Settlement Notice

Dear LaWanda:

Please be advised that I read the recent e-mail from Mr. Romano.


It would be my position that the County participate in the settlement.

So, if the Board agrees, we don't do anything right now.

I would put this on the agenda for the next regular meeting if I were you.

Thank you and I hope you are doing fine.

Respectfully,



Conrad C. Bishop, Jr.

CCB/kp

Cc: Hon. Gary Knowles (via e-mail)  
Ms. Salina Grubbs (via e-mail)



## LaWanda Pemberton

---

**From:** Eric Romano <eric@romanolawgroup.com>  
**Sent:** Monday, October 30, 2023 11:44 AM  
**To:** LaWanda Pemberton; lawbishop@fairpoint.net  
**Cc:** opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com  
**Subject:** RE: Opioid Class Action Settlement Notice

LaWanda,

The AG's office expects to issue Walmart and Year 2 settlement payments in the next 2 weeks. If you have any other questions, let us know.



### Eric Romano

Board Certified by the Florida Bar and the  
National Board of Trial Advocacy in  
Criminal Trial Law

#### ROMANO LAW GROUP

801 Spencer Drive  
West Palm Beach, FL 33409  
(561) 533-6700  
[romanolawgroup.com](http://romanolawgroup.com)

---

**From:** Eric Romano  
**Sent:** Monday, October 30, 2023 9:42 AM  
**To:** LaWanda Pemberton <LPemberton@taylorcountygov.com>; lawbishop@fairpoint.net  
**Cc:** opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com  
**Subject:** RE: Opioid Class Action Settlement Notice

Hi LaWanda. No, I have not received an update regarding the Walmart funding I'll reach out to our contact at the AG's office for an update.



### Eric Romano

Board Certified by the Florida Bar and the  
National Board of Trial Advocacy in  
Criminal Trial Law

#### ROMANO LAW GROUP

801 Spencer Drive  
West Palm Beach, FL 33409  
(561) 533-6700  
[romanolawgroup.com](http://romanolawgroup.com)

**From:** LaWanda Pemberton <[LPemberton@taylorcountygov.com](mailto:LPemberton@taylorcountygov.com)>  
**Sent:** Monday, October 30, 2023 8:32 AM  
**To:** Eric Romano <[eric@romanolawgroup.com](mailto:eric@romanolawgroup.com)>; [lawbishop@fairpoint.net](mailto:lawbishop@fairpoint.net)  
**Cc:** [opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com](mailto:opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com)  
**Subject:** RE: Opioid Class Action Settlement Notice

Thank you ! Have you received an update regarding the WalMart settlement funding ?

LaWanda Pemberton  
County Administrator  
Taylor County Board of County Commissioners  
<http://www.taylorcountygov.com>



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**From:** Eric Romano <[eric@romanolawgroup.com](mailto:eric@romanolawgroup.com)>  
**Sent:** Friday, October 27, 2023 9:43 AM  
**To:** LaWanda Pemberton <[LPemberton@taylorcountygov.com](mailto:LPemberton@taylorcountygov.com)>; [lawbishop@fairpoint.net](mailto:lawbishop@fairpoint.net)  
**Cc:** [opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com](mailto:opioidlitigationtaylorcountyz10639208@rlg.filevineapp.com)  
**Subject:** FW: Opioid Class Action Settlement Notice

Conrad and LaWanda,

You may have recently received the below email regarding a national settlement with McKinsey & Company on behalf of governmental entities nationwide. Your city/county is included in the settlement class. To participate in the settlement, you do NOT need to take any action at this time, as you are automatically included unless you opt out. The allocation of funds has not yet been determined by the court, but it will follow a similar formula to that used for previous opioid settlements. If you do not want to participate in this settlement, you can opt out. If you choose to opt out, the deadline to do so is January 5, 2024.

At this time, we recommend that you remain in the class and participate in this settlement. Once the court approves an allocation plan, we will update you regarding the expected amount and timing of payment to your subdivision. You can obtain additional information at [www.McKinseySubdivisionClassAction.com](http://www.McKinseySubdivisionClassAction.com). We will continue to update you as additional information becomes available. In the meantime, please let us know if you have any questions.



## **Eric Romano**

Board Certified by the Florida Bar and the  
National Board of Trial Advocacy in  
Criminal Trial Law

**ROMANO LAW GROUP**



801 Spencer Drive  
West Palm Beach, FL 33409  
(561) 533-6700  
[romanolawgroup.com](http://romanolawgroup.com)

**From:** McKinsey Opiate Consultant Litigation Notice Administrator <[noreply@mckinseysubdivisionclassaction.com](mailto:noreply@mckinseysubdivisionclassaction.com)>  
**Sent:** Wednesday, October 25, 2023 9:31 PM  
**To:** Eric Romano <[eric@romanolawgroup.com](mailto:eric@romanolawgroup.com)>  
**Subject:** Opioid Class Action Settlement Notice

You don't often get email from [noreply@mckinseysubdivisionclassaction.com](mailto:noreply@mckinseysubdivisionclassaction.com). [Learn why this is important](#)

## **IF YOU ARE A POLITICAL SUBDIVISION YOU MAY BE ENTITLED TO RECEIVE A PAYMENT FROM AN OPIOIDS CLASS ACTION SETTLEMENT**

A settlement has been reached in a class-action lawsuit against McKinsey & Company, Inc. and related entities claiming that McKinsey played a central role in the opioid crisis by advising opioid manufacturers and other industry participants how to sell as many prescription opioids as possible. McKinsey denies the allegations. This Notice summarizes Class Members' rights and options regarding the Settlement.

Entities that are (1) a General Purpose Government (including a municipality, county, county subdivision, city, town, township, parish, village, borough, gore, or any other entity that provides municipal-type government), (2) a Special District within a State, or (3) any other subdivision, subdivision official (acting in an official capacity on behalf of the subdivision), or sub-entity of a State, may be part of the Class. Sub-entities of Indiana, American Samoa, the Commonwealth of Guam, the Commonwealth of the Northern Mariana Islands, or the U.S. Virgin Islands, or a school district, are not part of the Class.

A \$207 million settlement fund will be allocated among Class Members using the formula for payments to Subdivisions from the prior Opioids settlements, and will pay attorneys' fees and costs as awarded by the Court. The fees and costs will not exceed 15% of the fund. Class Members who want to be represented by their own lawyer in this case may hire one at their own expense.

For complete information on the Settlement, including allocation formulas, visit the Settlement website at [www.McKinseySubdivisionClassAction.com](http://www.McKinseySubdivisionClassAction.com).

**WHAT ARE THE RIGHTS AND OPTIONS OF CLASS MEMBERS?** Class Members do not need to take any action to receive their share of the Settlement. If they were eligible to receive distributions under the MDL 2804 national opioid settlements, then they may be eligible to receive them

here. Class Members who want to keep their rights to sue McKinsey on any opioid-related claims must exclude themselves from the Class by **January 5, 2024**, by visiting [www.McKinseySubdivisionClassAction.com](http://www.McKinseySubdivisionClassAction.com) and following the instructions to submit an “exclusion request.”

**THIS IS ONLY A SUMMARY.** For more information, the Settlement terms and Class Member rights and options, visit [www.McKinseySubdivisionClassAction.com](http://www.McKinseySubdivisionClassAction.com), contact the administrator by phone at 1-888-575-4125 or by mail to *McKinsey Opiate Consultant Litigation*, P.O. Box 2200, Portland, OR 97208-2200, or contact Class Counsel, Robbins Geller, by phone at (800) 449-4900 or by email at [settlementinfo@rgrdlaw.com](mailto:settlementinfo@rgrdlaw.com).

**PLEASE DO NOT CONTACT THE COURT OR MCKINSEY FOR INFORMATION OR ADVICE.**

AJ370\_v02

You are subscribed to this email as [eric@romanolawgroup.com](mailto:eric@romanolawgroup.com).

Click here to modify your [preferences](#) or [unsubscribe](#).

□



**TAYLOR COUNTY BOARD OF COMMISSIONERS*****County Commission Agenda Item*****SUBJECT/TITLE:**

THE BOARD TO CONSIDER WAIVER OF FEMA HOUSING PERMITTING FEES THROUGH DECEMBER 2023.

**MEETING DATE REQUESTED:**

NOVEMBER 6, 2023

**Statement of Issue:** TO WAIVE PERMITTING FEES FOR TEMPORARY HOUSING DUE TO HURRICANE IDALIA.

**Recommended Action:** APPROVE

**Fiscal Impact:** TBD

**Budgeted Expense:** NO

**Submitted By:** LAWANDA PEMBERTON, COUNTY ADMINISTRATOR

**Contact:** 850-838-3500 EXT. 6

**SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS**

**History, Facts & Issues:** HURRICANE IDALIA HAS IMPACTED TAYLOR COUNTY CITIZENS WITH DAMAGE TO HOMES AND PROPERTY.

FEMA IS PROVIDING CITIZENS WITH TEMPORARY HOUSING DUE TO DAMAGES CAUSE BY HURRICANE IDALIA AND IS REQUESTING WAIVER OF FEES THROUGH DECEMBER 2023.

**Options:** APPROVE/ NOT APPROVE

**Attachments:** EMAIL FROM FEMA REPRESENTATIVE

## Marsha Durden

---

**From:** LaWanda Pemberton  
**Sent:** Monday, October 30, 2023 8:31 AM  
**To:** Marsha Durden; Agenda  
**Subject:** FW: Taylor County

Placeholder for 11/6 please.

LaWanda Pemberton  
County Administrator  
Taylor County Board of County Commissioners  
<http://www.taylorcountygov.com>



**From:** Kayi, Varsha <varsha.kayi@fema.dhs.gov>  
**Sent:** Friday, October 27, 2023 12:01 PM  
**To:** Suhail Chhabra <Suhail.Chhabra@em.myflorida.com>; LaWanda Pemberton <LPemberton@taylorcountygov.com>  
**Subject:** RE: Taylor County

Good afternoon all,

Thank you for consideration in this matter. We'd request a waiver of permitting fees through the end of Dec. 2023 (approx. 2 months).

Many thanks,

Varsha Kayi  
Deployable Field Counsel | Regional and Field Operations Legal Division | FEMA Office of Chief Counsel  
Mobile: (202) 856-2412  
[varsha.kayi@fema.dhs.gov](mailto:varsha.kayi@fema.dhs.gov)

Federal Emergency Management Agency  
[fema.gov](http://fema.gov)

**From:** Suhail Chhabra <Suhail.Chhabra@em.myflorida.com>  
**Sent:** Friday, October 27, 2023 11:46 AM  
**To:** LaWanda Pemberton <LPemberton@taylorcountygov.com>  
**Cc:** Kayi, Varsha <varsha.kayi@fema.dhs.gov>  
**Subject:** RE: Taylor County

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Good Morning again:

I just spoke to Ms. Kayi and she will confirm the end date soon.

Sincerely,



**Suhail Chhabra**

*Deputy General Counsel*

Florida Division of Emergency Management

2555 Shumard Oak Blvd., Room 170C, Tallahassee, FL 32399

850-815-4183 (Office)

850-756-6659 (Mobile)

[Suhail.Chhabra@em.myflorida.com](mailto:Suhail.Chhabra@em.myflorida.com)

Most written communications to or from state employees are deemed as 'public records' obtainable by the public upon request. Emails sent to me at this email address may be considered 'public records' and will only be withheld from disclosure if deemed confidential pursuant to the laws of the State of Florida.

**From:** LaWanda Pemberton <[LPemberton@taylorcountygov.com](mailto:LPemberton@taylorcountygov.com)>

**Sent:** Friday, October 27, 2023 11:44 AM

**To:** Suhail Chhabra <[Suhail.Chhabra@em.myflorida.com](mailto:Suhail.Chhabra@em.myflorida.com)>

**Subject:** RE: Taylor County

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Good morning,

Can you please confirm the end date for fee waivers in other affected counties ?

THANK YOU

LaWanda Pemberton

County Administrator

Taylor County Board of County Commissioners

<http://www.taylorcountygov.com>



**From:** Suhail Chhabra <[Suhail.Chhabra@em.myflorida.com](mailto:Suhail.Chhabra@em.myflorida.com)>

**Sent:** Friday, October 27, 2023 11:42 AM

**To:** Kayi, Varsha <[varsha.kayi@fema.dhs.gov](mailto:varsha.kayi@fema.dhs.gov)>; LaWanda Pemberton <[LPemberton@taylorcountygov.com](mailto:LPemberton@taylorcountygov.com)>

**Cc:** Stephanie Stachowicz <[Stephanie.Stachowicz@em.myflorida.com](mailto:Stephanie.Stachowicz@em.myflorida.com)>

**Subject:** RE: Taylor County

Good Morning All:

Ms. Kayi, I spoke with Ms. Pemberton from Taylor county this morning and requested if Taylor County can extend their permitting fee waiver (attached). Ms. Pemberton, the waiver previously issued is attached and you can consider this our formal request to please extend this waiver so that FEMA and DEM can continue to work in this direction for the benefit of the impacted residents. Please let me know if you have any questions or concerns moving forward.

Sincerely,



**Suhail Chhabra**

*Deputy General Counsel*

Florida Division of Emergency Management

2555 Shumard Oak Blvd., Room 170C, Tallahassee, FL 32399

850-815-4183 (Office)

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[Suhail.Chhabra@em.myflorida.com](mailto:Suhail.Chhabra@em.myflorida.com)

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**From:** Kayi, Varsha <[varsha.kayi@fema.dhs.gov](mailto:varsha.kayi@fema.dhs.gov)>

**Sent:** Friday, October 27, 2023 11:07 AM

**To:** Suhail Chhabra <[Suhail.Chhabra@em.myflorida.com](mailto:Suhail.Chhabra@em.myflorida.com)>

**Subject:** Taylor County

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Suhail,

First of all, thank you for your coordination with Perry City and Gilchrist county. I wanted to touch base about Taylor County as we ran into another hurdle with them. They had waived their permitting fee for storm related permits from Hurricane Idalia through September. They stated that we can request another waiver at their Board meeting on Nov. 6. However, as you know, we do not want to delay housing the survivors of Florida. I am reaching out to see if the State has made any requests to get this permitting fee waiver extended or if that's something that can be coordinated now.

I believe all other counties have waived their permitted fees for the benefit of the FL residents who were impacted. Please let me know if you have any questions or would like to schedule a call.

Many thanks,

Varsha Kayi

Deployable Field Counsel | Regional and Field Operations Legal Division | FEMA Office of Chief Counsel

Mobile: (202) 856-2412

[varsha.kayi@fema.dhs.gov](mailto:varsha.kayi@fema.dhs.gov)

Federal Emergency Management Agency  
[fema.gov](https://www.fema.gov)

## TAYLOR COUNTY BOARD OF COMMISSIONERS

### County Commission Agenda Item

**SUBJECT/TITLE:**

The Board to consider approval of letter requesting waiver of match to the Economic Development Administration and the request to prepare a short and long term recovery plan.

**MEETING DATE REQUESTED:**

November 6, 2023

**Statement of Issue:** To request waiver of match for economic recovery plan.

**Recommended Action:** Approve

**Fiscal Impact:** N/A

**Budgeted Expense:** N/A

**Submitted By:** LaWanda Pemberton, County Administrator

**Contact:** 838-3500 X 6

### SUPPLEMENTAL MATERIAL / ISSUE ANALYSIS

**History, Facts & Issues:** The County Administrator and Taylor County Development Authority Director recently participated in a call with the North Florida Regional Planning Council and the Florida Economic Development Representative regarding grant funding available in order to complete a short term end long term economic recovery plan related to the closure of the Georgia Pacific Foley Cellulose mill. The County Administrator has requested consideration of a grant match waiver and respectfully requests that the Board of County Commissioners formally approve the completing of the economic recovery plan and the letter requesting the match waiver.

**Options:** Approve/Not Approve

**Attachments:** Draft Letter  
Email from Gregory Vaday, Economic Development Administration



## TAYLOR COUNTY BOARD OF COUNTY COMMISSIONERS

GARY KNOWLES, Clerk of Court  
Post Office Box 620  
Perry, Florida 32348  
(850) 838-3506 Phone  
(850) 838-3549 Fax

LAWANDA PEMBERTON, County Administrator  
201 East Green Street  
Perry, Florida 32347  
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(850) 838-3501 Fax

CONRAD C. BISHOP, JR., County Attorney  
Post Office Box 167  
Perry, Florida 32348  
(850) 584-6113 Phone  
(850) 584-2433 Fax

November 6, 2023

Gregory Vaday  
Florida Economic Development Representative  
Economic Development Administration  
U.S. Department of Commerce

Dear Mr. Vaday,

As you know, Hurricane Idalia made landfall as a Category 4 hurricane in Keaton Beach, Taylor County with sustained winds of 125 mph (200 km/h) on August 30, 2023. Hurricane Idalia has caused widespread destruction throughout Taylor County, including public properties. In addition, the Georgia Pacific-Foley cellulose mill has announced plans to permanently cease operations in November.

The revenue from the Georgia-Pacific Foley mill represents 28% of the current fiscal year's General Fund. With such an uncertain financial future any unbudgeted expenditures are a cause for concern.

Taylor County Board of County Commissioners respectfully requests consideration of waiver of match for grant funding that will be utilized to complete a short and long term economic recovery plan on behalf of Taylor County. Taylor County has set the ad valorem tax millage for the current fiscal year and this rate cannot be changed at this time. In addition, Taylor County would like to preserve any borrowing capacity for possible future needs.

Thank you in advance for your consideration. Please do not hesitate to reach out if you have any questions or comments.

Respectfully,

Jamie English, Chairperson

**From:** Vaday, Gregory (Federal) <GVaday@eda.gov>

**Sent:** Thursday, October 19, 2023 8:35 AM

**To:** LaWanda Pemberton <LPemberton@taylorcountygov.com>; taylor@tcdaperry.com; koons@ncfrpc.org; yeatter@ncfrpc.org

**Subject:** EDA Call with Taylor County

LaWanda, Taylor, Scott and Lauren,

Thank you all for meeting with me yesterday to discuss a possible EDA grant resources to support economic recovery in Taylor County. Further to our conversation I wanted to advise you all that EDA could consider an EDA investment rate of up to 100 percent of total project costs. This determination by EDA would require a letter requesting the higher grant rate from EDA and establishing the rationale for the request. You have previously discussed the twin disasters in Taylor County and the letter would also need to indicate that Taylor County has exhausted its effective taxing and borrowing capacity.

Please let me know if you have any questions or would like to continue our EDA application discussion.

Thanks,

Greg



**Gregory Vaday**  
*Florida Economic Development Representative*  
Atlanta Regional Office  
Economic Development Administration  
U.S. Department of Commerce

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gvaday@eda.gov / 772 521 4371 / eda.gov

401 West Peachtree Street NW, Suite 1820, Atlanta GA 30308

