



AGENDA FOR REGULAR MEETING VILLAGE OF TINLEY PARK PLAN COMMISSION

**March 5, 2020 – 7:00 P.M.
Council Chambers
Village Hall – 16250 S. Oak Park Avenue**

Regular Meeting Called to Order

Pledge of Allegiance

Roll Call Taken

Communications

Approval of Minutes: Minutes of the February 20, 2020 Regular Meeting

ITEM #1 PUBLIC HEARING: TOP HOSPITALITY LLC D/B/A MARIOTT - COURTYARD & RESIDENCE INN – 9551 & 9555 183rd STREET

Consider recommending that the Village Board grant Top Hospitality LLC (Property Owner) a Map Amendment (rezoning) and Variations from the Zoning Code for two parcels that total approximately 8.7 acres in size at 9551 and 9555 183rd Street (off of White Eagle Drive and south of 183rd Street). The parcels are proposed to be zoned B-3 (General Business & Commercial) upon annexation. Upon Annexation, the granting of these requests will allow for the lots to be developed as two Marriott-brand hotels: Courtyard and Residence Inn. The request will also include a Plat of Resubdivision and Site Plan approval.

ITEM #2 PUBLIC HEARING: WHISTLE BANQUET FACILITY - 7537 159TH STREET

Consider recommending that the Village Board grant Stephanie Mikesell, on behalf of A Whistle Events & Catering), a Special Use Permit for a Banquet Facility located in the Brementowne Mini-Mall at 7537 159th Street in the B-1 (Neighborhood Shopping) zoning district.

ITEM #3 PUBLIC HEARING: TEXT AMENDMENT – MASONRY & SHORT-TERM RENTAL CLARIFICATION

Consider recommending that the Village Board grant a proposed text amendment to the Tinley Park Zoning Ordinance clarifying Section XII.3.A. (Legacy Code Uses) and Section V.B. (Schedule of Regulations) for short-term rental uses and Section V.C.4.B. (Masonry Requirements) for residential masonry requirements. The purpose of this amendment is to clarify portions of two recent code updates for Masonry requirements on residential properties and for short-term rental allowances.

Good of the Order

Receive Comments from the Public

Adjourn Meeting



**MINUTES OF THE REGULAR MEETING OF THE
PLAN COMMISSION, VILLAGE OF TINLEY PARK,
COOK AND WILL COUNTIES, ILLINOIS**

February 20, 2020

The Regular Meeting of the Plan Commission was held in the Council Chambers of Village Hall on February 20, 2020 at 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

Village Officials and Staff: Paula Wallrich, Planning Manager
Dan Ritter, Senior Planner
Douglas Spale, Village Attorney
Barbara Bennett, Commission Secretary

CALL TO ORDER

PLAN COMMISSION CHAIRMAN GRAY called to order the Regular Meeting of the Plan Commission for February 20, 2020 at 7:00 p.m.

COMMUNICATIONS

None

APPROVAL OF MINUTES

Minutes of the January 16, 2020 Regular Meeting of the Plan Commission were presented for approval. A Motion was made by COMMISSIONER FIELDER, seconded by COMMISSIONER AITCHISON to approve the minutes as presented. CHAIRMAN GRAY declared the Motion approved by voice call.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #1 WORKSHOP: TOP HOSPITALITY LLC D/B/A MARRIOTT - COURTYARD & RESIDENCE INN – 9551 & 9555 183rd STREET

Consider recommending that the Village Board grant Top Hospitality LLC (Property Owner) a Map Amendment (rezoning) and Variations from the Zoning Code for two parcels that total approximately 8.7 acres in size at 9551 and 9555 183rd Street (off of White Eagle Drive and south of 183rd Street). The parcels are proposed to be zoned B-3 (General Business & Commercial) upon annexation. Upon annexation, the granting of these requests will allow for the lots to be developed as two Marriott-brand hotels: The Courtyard and Residence Inn. The request will also include a Plat of Resubdivision and Site Plan approval.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

Guests: Chris Patel, Top Hospitality LLC, Partner
Bill Zalewski, Engineer
Tiffany Gorman Thompson, Petitioner Attorney

Daniel Ritter, Senior Planner, presented the Staff Report. He introduced the Petitioner, Top Hospitality LLC, and noted they are requesting Rezoning upon Annexation, Final Plat of Subdivision approval, Variations, and Site Plan approval for their site to be developed with two Marriott brand hotels: The Courtyard and Residence Inn. The subject property is located on the east side of White Eagle Drive and south of 183rd Street. The 8.7-acre subject site is proposed to be subdivided into two lots and zoned to the B-3, General Business and Commercial zoning district.

The Courtyard hotel includes an 83,722 sq. ft. four story building with 125 guest rooms, a banquet hall, meeting rooms, exterior patio, fitness center, indoor pool, lounge with dining area and bar. The Residence Inn hotel is marketed towards extended-stay guests and includes an 87,875 sq. ft. four story building with 118 guest rooms, fitness center, dining room, meeting room, lounge room, indoor pool, outdoor basketball court, and exterior patio. In addition, there is a proposed shared stormwater detention pond and existing wetland area on the site.

The property consists of two vacant parcels totaling 8.7 acres in size. The property is located in unincorporated Cook County and zoned C-4, General Commercial (similar to the Village's B-3 zoning district). The land is undeveloped and has historically been used for farming purposes. There is a small portion of the southwest corner of the subject property

encumbered with an existing wetland that is regulated by the U.S. Army Corps of Engineers. The annexation will include the adjacent unimproved IDOT right-of-way previously planned for the 183rd Street extension and will result in the annexation of a total of 9.15 acres.

To the south of this property is the WLS radio tower site that is also located in unincorporated Cook County (c-4 Zoning District). To the north and east of the property is a parcel zoned ORI (Office and Restricted Industrial): west is a vacant parcel zoned B-3 (General Business & Commercial). The property is nearby the I-80 LaGrange Road northbound exit. Currently existing to the southwest of the property is a Planned Unit Development (PUD) that includes two hotels (Hilton Garden Inn and Country Inn & Suites), two standalone restaurants (Texas Roadhouse and Jumbo Crab), and a third vacant pad that is planned for an additional standalone restaurant.

The site is located within the Urban Design Overlay District (UDOD), which promotes walkability, decreased front yard setbacks, and overall a more urbanized look.

With this proposal there is a Plat of Subdivision. Currently, there are two existing lots that will be divided to accommodate the two hotels. Appropriate easements will be recorded for cross-access, cross-parking, signage, and public utilities as part of the Final Plat approval.

The design of the lots is unique because the Residence Inn/ Lot 2 will not have direct access to the adjacent White Eagle Drive right-of-way and will require permanent access through a cross-access (ingress/egress) easement with the Courtyard/Lot 1. The Zoning Code specifically allows for properties with unique lot, land, or use circumstances to have a lot that does not abut public right-of-way, subject to appropriate cross-access and utility easements. In this case, the lot and site design were chosen due to the existing wetland location, detention location/topography and the large building footprint required for a hotel.

Additionally, the desire to divide the detention pond location made it even more difficult to have a separate right-of-way frontage for the Residence Inn/Lot 2. The lot configuration was designed to roughly divide the parking lots and detention pond based on the supply needed for each site. The shared ownership of the pond ensures responsibility for maintenance by both owners since covenants or a property owner's association can be changed in the future.

The petitioner also hopes to mitigate the existing wetland through the U.S. Army Corps of Engineers in the future to allow for a third lot for use as a restaurant, office, or other commercial use. The land is not currently developable due to the wetland encumbrance and has been included as part of Lot 1.

The Petitioner is requesting annexation into the Village. The Annexation Agreement is scheduled to be reviewed by the Community Development Committee and the Village Board.

Mr. Ritter explained there are two possibilities for zoning this property based on the surrounding zoning and proposed land use: either the B-3 (General Business and Commercial) or the ORI (Office and Restricted Industrial) zoning districts can accommodate the proposed hotel use as a permitted use. While both districts will allow for hotel land uses the assignment of the B-3 zoning district will allow it to serve as an extension of the B-3 designation for the existing hotel properties and undeveloped property along the LaGrange Road corridor.

The B-3 zoning district allows for hotels as a permitted use on lots over five acres in size. The Courtyard parcel (Lot 1) is 5.57 acres and therefore meets the size requirement. The Residence Inn (Lot 2) comprises 3.13 acres and therefore requires a Variation of the five-acre requirement. Staff believes the development of both hotels meets the intent of the lot size zoning requirement.

The B-3 zoning district limits structures to a maximum of three stories and 35 feet in height. The proposed hotels are both proposed at four stories: the proposed heights are 55' 10". Variation requests to allow for additional height have been reviewed in regards to the surrounding area's development pattern and neighboring uses.

The site is located within the Urban Design Overlay District (UDOD), which was designed to promote walkability, lesser front yard setbacks and an overall more urbanized look. A Variation is required due to the unique lot design and lack of a true front yard on the Residence Inn site. Staff has worked with the Petitioner to ensure that the spirit of the UDOD is met where possible. There are three Variation requests regarding the maximum front yard setback, permitted front yard parking, and the maximum number of curb cuts.

The site plan includes the two hotel buildings, drop off canopies, parking, walkways, landscaping, outdoor patios, and dumpster enclosures. There is a shared stormwater detention pond and an existing wetland area located on the site.

The two hotels will be located on separate lots, but the overall project is designed comprehensively. Hotel amenities will be separate, the sites will share curb cut access and the overall parking. Future cross-access has also been established to the vacant lot that wraps around the subject property to the north and east. The cross-access points are proposed at the northeast and southeast corners. If cross-access is not required in the future, the drive aisle connections can be converted to parking stalls.

The hotel will have two driveways off White Eagle Drive. Guests will primarily enter the site at the south entrance which leads to the front entrances of both hotels. Both hotel entrances will have a circular drop-off/check-in location. The Courtyard will have an overhead porte-cochere canopy while the Residence Inn entrance will be open. A separate building entrance on the north side of the Courtyard will allow banquet guests a separate entrance without needing to go through the hotel.

Staff has recommended that the Petitioner investigate adding a boulevard entrance with a center island separating the drive aisles. A boulevard entrance will assist in identifying the driveway as the main entrance and increase the attractiveness of the site overall. This can also assist with installing a shared monument sign that complies with the required setbacks. Depending on the specific design of the entrance, the changes may result in a small reduction of parking spaces.

The current proposal proposed all drive aisles as 24 feet in width instead of the minimum 26 feet requirement. Staff is supportive of a reduction to a 24 feet drive aisle width except for the main aisle accessing White Eagle Drive which serves both hotels and as long as the site allows for proper circulation of a fire truck and full-size semi-truck. The Petitioner has stated they agree to this change and will make the necessary revisions.

The Petitioner has proposed installing a public sidewalk along the White Eagle Drive and private walkways throughout the development.

Mr. Ritter then discussed the proposed 42' X 50' outdoor basketball court on the Residence Inn property at the northwest corner of the building. The court is proposed to be surrounded by an eight feet high brick wall that matches the hotel and an eight-foot-high chain-link fence. Mr. Ritter expressed concern for the proposed basketball court's location. Due to the design and proposed location, it is expected that balls will bounce out of the enclosure and have the potential to cause vehicle damage or injury to guests. Mr. Ritter recommended alternate outdoor activities in lieu of the basketball court.

Dumpster enclosures are placed near the back of the two hotel lots and positioned for easy access to waste trucks.

Mr. Ritter noted that the overall site engineering is preliminary and will require revisions based upon final comments from the Village Engineer, MWRD, and U.S. Army Corps of Engineers.

The proposed landscaping plan is in general conformance with code requirements. Any deficiencies are offset by additional plantings in other areas of the site. Mr. Ritter provided suggestions for landscape revisions to be made prior to the public hearing including:

1. Add additional islands/bufferyard space at the two driveway entrances to comply with the 15-foot bufferyard requirement. This allows for more attractive entrances and additional space for the ground signs to be located. Meeting this requirement will result in a reduction of four proposed parking stalls.
2. Add canopy trees to the two internal islands located between the hotel buildings.
3. Add shrubs around the proposed basketball court wall and fence.

Mr. Ritter then began discussing the architecture and building materials for the two hotels. He noted that the masonry requirement for structures exceeding 80,000 sq. ft. is 25% of each façade to be face brick or decorative stone with the balance of the façade to be constructed of alternate masonry products of which 15% can use non-masonry products for architectural treatments.

Mr. Ritter explained that the proposed hotels meet the recommended minimum of 50% face brick, but the remaining portion of the structure has proposed non-masonry materials exceeding the maximum 15% requirement. The alternative materials utilized are fiber cement board for the Residence Inn and stucco for the Courtyard. Fiber cement board has previously been supported as an alternative to masonry due to its durability, quality, and modern appearance. The primary concern is with the use of stucco on a large portion of the Courtyard building. The Petitioner presented revised plans for fiber cement board to replace the stucco.

The overall design of the building was chosen to meet with each brand's approved corporate design. The Residence Inn is modern in design and has a residential look that is purposeful in regards to their branding. The Courtyard has a modern, box-style design. All roof-top mechanical equipment is proposed to be screened from view of neighboring properties and roadways by the building parapets.

Mr. Ritter expressed concern with the Courtyard building's lack of articulation and dimension in the building above the first floor and recommended using different materials types, colors, and design elements to make for a more interesting design. Mr. Ritter displayed examples of another Courtyard building in Kansas City with a more modern design that included more glazing including a glass tower at one end of the building.

The wall signs proposed on the north, south, and west elevations of both hotels are generally in conformance with Village Code.. The wall signs will each be individually mounted aluminum backed letters. Two ground signs are proposed at the main entrance and located on Lot 1. Staff has recommended revising the two ground signs in exchange for a shared monument sign to be located within a landscaped boulevard at the main entrance. The Petitioner agreed to consider this recommendation and provide a revised plan.

Mr. Ritter then discussed parking noting that the Zoning Code requires one parking space per hotel room plus one parking space for each employee that may be on-site at any time. There are 125 rooms at the Courtyard and 118 rooms at the Residence Inn. The Petitioner has indicated a maximum number of ten employees at the Courtyard and six employees at the Resident Inn. The proposed site plan provides 135 parking spaces on the Courtyard lot and 124 on the Residence Inn lot meeting the required minimum and complying with the Zoning Code. This will be a shared parking lot with a total of 259 spaces. Mr. Ritter noted that there may be a loss off six parking spaces with the introduction of the boulevard entrance and western bufferyard requirements.

Mr. Ritter then discussed the photometric plan which is in compliance with the lighting ordinance for parking lot, walkway, and building-mounted lighting. Off-site light spillage is minimal and within the allowable limits. All light fixtures will be full-cutoff and downcast to avoid any off-site glare. Parking lots, walkways, steps, entrances, and exits are all adequately lit for safety and security purposes. Parking lot lights will be mounted at a height of 25 feet.

CHAIRMAN GRAY asked the Petitioners if they had any comments.

Tiffany Gorman Thompson, Attorney noted they are very excited about this project and they are willing to answer any questions.

CHAIRMAN GRAY asked the commissioner for comments.

COMMISSIONER MANI noted the architecture looks nice. The stucco is a durable material and would be a good product to use if applied correctly.

COMMISSIONER GATTO noted she likes the design of the Kansas City building that Mr. Ritter displayed. Something close to this building would be more acceptable. The basketball court on the northwest side of the building would be better in another spot.

COMMISSIONER FIELDER noted there could be a better use than a basketball court. Basketball courts get run down and there is a lot of upkeep necessary. He questioned if this was a pet-friendly hotel and if it is then this might be a good area for pet use. COMMISSIONER FIELDER questioned what the cost difference to change this design to a design similar to the building in Kansas City. He stated he did not like the proposed architecture and felt it looked like an old design from the 1970's. Regarding the parking, he inquired if there was a designated place for parking of trucks or busses? Mr. Ritter stated similar to other hotels there was not designated parking for these vehicles. They typically park far away from the entrance in unused stalls.

CHAIRMAN GRAY noted it could be dangerous to guests being hit by balls that bounce out of the basketball court. There is also a noise issue for guests that are trying to sleep. Trees could be put in to get a buffer zone around the basketball court but in general not supportive of the basketball court.

Chris Patel, Petitioner noted he will speak with Marriott to see if there could be another use for the basketball court. Mr. Patel noted the cost difference would be significant to change to design to look like the Kansas City building.

CHAIRMAN GRAY inquired about the traffic flow. Mr. Ritter replied that the entrances are designed for two way traffic and that every aisle throughout the site is two-way. A revised auto turn will be required in response to the Fire Departments concern for fire truck access

COMMISSIONER FIELDER inquired if the detention pond would have water in it. Bill Zalewski, Engineer replied that it will be a naturalized wet bottom design. Mr. Ritter noted it will not look like the rendering on the first page of the staff report.

COMMISSIONER AITCHISON noted the proposed design of the building is outdated and she likes the design of the Kansas City building. There should be a better use for the basketball court. She does not feel the basketball court fits with the use and design of the site.

COMMISSIONER VICK noted the height Variation is not an issue, however the parking situation could be an issue. During busy times with concerts and banquets, there could be an issue with parking. What size is the proposed banquet room? He stated that the setback Variation is not an issue for him nor are the landscape deficiencies and that he would not want to take away any parking spaces for landscaping.

Mr. Patel stated the banquet room is 5,000 sq. ft.

CHAIRMAN GRAY agreed that the parking is more important than the additional landscaping. He had a question regarding the wetland on the southeast. Will they be mitigating it after development and how realistic would it be noting how expensive it could be.

Mr. Patel replied they do not know at this time until after the development.

CHAIRMAN GRAY noted the Variance for height is not an issue due to the other buildings in the area. He questioned how far the hotel will be from the subdivision to the east. Mr. Ritter wasn't sure, but thought it was over 600 feet to

homes on the east. He noted there will be landscape buffering along the east property line. He noted there is a vacant parcel between the subject parcel and the residential subdivision and his hope is that the vacant property will develop and provide additional buffering between the hotel and residential uses. He feels that the B-3 makes more sense than the ORI. He questioned whether the decision is final to use the stucco on the building.

COMMISSIONER MANI is an architect and has no problem with the stucco, EIFS is the bigger concern. He feels the shared monument sign is a good addition. Mr. Patel noted they are looking at samples of the fiber cement board for the siding on Courtyard.

COMMISSIONER MANI noted he feels the stucco is fine as long as it is installed correctly.

Mr. Ritter noted that stucco has not been used in the Village recently as a substitute for masonry. It does exist on some older buildings. It can be good though depending on the specifications and how it is installed.

Mr. Patel noted the shared sign will be 5 feet off the right-of-way. Mr. Ritter noted the visibility for the shared sign is better than the two signs and 5 feet would likely be acceptable.

Mr. Ritter identified the Open Items:

1. The Petitioner shall revise the Final Plat of Subdivision and Easements based on staff comments.
2. Discuss proposed B-3 (General Business and Commercial) zoning district upon annexation.
3. Discuss Variation request to permit a hotel to be developed on a lot less than 5 acres in size.
4. Discuss Variation request to permit hotels to exceed a maximum of three stories and 35 feet in height.
5. Discuss three Variation requests from the Urban Design Overlay District in regards to maximum front yard setback, permitted front yard parking, and the maximum number of curb cuts.
6. Revise plans to indicate all proposed structure setbacks.
7. Discuss staff's suggestion of a boulevard entrance at the main (south) driveway.
8. Revise plans to indicate locations of traffic control signage and striping.
 - They have agreed to do the traffic control signage.
9. Revise the primary entrance aisle to the hotels to be a minimum of 26 feet in width.
10. Discuss the Variation request to reduce the minimum drive aisle width to 24 feet from a minimum of 26 feet.
11. Discuss proposed outdoor basketball court location, appearance, and possible alternatives.
 - The Commission expressed concerns about the basketball court and the Petitioner has agreed to speak with Marriott about alternatives.
12. Review the proposed site plan layout, design, pedestrian connections, and traffic circulation.
13. Discuss the proposed Landscape Plan, in regards to deficiencies/required waivers and staff recommendations.
 - a. Agreed to look into recommendations and revise plans.
14. Discuss Variation to permit non-masonry materials to be utilized on greater than 15% of the building. Discuss staff's suggestion to utilize fiber cement board or another high-quality and durable material to replace stucco on the Courtyard building.
 - They agreed to look at other materials.

15. Discuss the overall architectural design of each hotel in regards to Architectural Design standards. Discuss staff's recommendation for changes in building material and additional articulation above the first floor of the courtyard building.
 - They have agreed to look at the design of the Kansas Courtyard architecture. And work with their architect based on the Commission's desire for a less flat and more interesting design.
16. Discuss the setbacks of proposed ground signs and Variation for ground sign setbacks.
17. Discuss the Variation for an off-site sign to allow the location of the Lot 2/Residence Inn ground sign to be placed on the Lot 1/Courtyard site near the shared main entrance.

CHAIRMAN GRAY noted the Public Hearing will be on March 5, 2020.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #2 WORKSHOP: WHISTLE BANQUET FACILITY - 7537 159TH STREET

Consider recommending that the Village Board grant Stephanie Mikesell and Bobby Sanfilippo, on behalf of Whistle Events and Catering, a Special Use Permit for a Banquet Facility located in the Brementowne Mini-Mall at 7537 159th Street in the B-1 (Neighborhood Shopping) zoning district.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

Guests: Mark Mikesell, Petitioner
Robert Sanfilippo, Petitioner

Paula Wallrich, Planning Manager, presented the Staff Report for Whistle Events and Catering (WEC). The Applicants, Stephanie Mikesell and Bobby Sanfilippo, on behalf of Whistle Events and Catering, are requesting a Special Use Permit for a Banquet Facility located in the Brementowne Mini-Mall at 7537 159th Street in the B-1 (Neighborhood Shopping) zoning district.

Ms. Wallrich reported that the property is zoned B-1 (Neighborhood Shopping District) and is located in the Brementowne Mini-Mall. The Village Board recently adopted Ordinance 19-O-48 which limits banquet facilities in the B-1 District to no greater than 4,000 sq. ft. in area. It also requires parking to be provided at a ratio of 1.5 spaces per 100 sq. ft. of usable floor area. It is the intention of the Applicants to restructure the event space currently operating under the business and liquor license of the Whistle Sports Bar & Grill (WSBG) into an independent business operating under the name Whistle Evens and Catering (WSBG).

The WSBG currently operates the event space adjacent to the restaurant/bar under the same business and liquor license as the Whistle Sports Bar & Grill. They would like to run the catering business independent of that. Per the amended code for stand-alone banquet facilities they will need a Special Use to operate independently from WSBG because they are located in a B-1 district.

The Brementowne residential subdivision preceded the Brementowne Mini-Mall. In 1974 the apartment complex immediately to the east of Brementowne Mini-Mall was constructed. The mall is surrounded by residential uses but fronted the 159th Street commercial corridor. The Mall is comprised of 28,400 sq. ft. Of the twelve tenant spaces available there are five vacant spaces. Three of these are retail on the north end of the west side and two of them are office areas on the south side. The WSBG opened in June of 2017. They occupy 4,450 sq. ft. and are located in the northeast corner of the center with approximately 128 seats and an occupancy limit of 166 people. Ms. Wallrich noted that with their success they would like to expand to an event and catering business.

Ms. Wallrich then outlined the chronology of events related to the Special Use request noting that in May of 2019, the Petitioners approached the Village to obtain a liquor license for the new business. At that time, they were unaware that banquet facilities were not allowed in B-1 and therefore could not operate a banquet facility in the Brementowne Mini-mall. Staff outlined the only option they have was to open the banquet business as part of the existing WSBG business with a door connecting the two businesses. Mr. Sanfilippo stated at that time that he wanted an independent business known as WEC. Staff advised them that the only option was to present a Text Amendment to the Village Board. The text amendment process began in June of 2019 when it was presented to the Community Development Committee for review. Ms. Wallrich noted that at that meeting the overwhelming issue was parking in the B-1 district. As a result of that meeting the maximum size for a banquet facility was reduced from 5,000 sf to 4,000 ss. ft. She noted that the B-1 district is the most limited business district due to its close proximity to residential areas. She emphasized the need to make sure there was no parking spillage into the residential areas. She stated that we must be respectful of the residential character of the neighborhoods.

Ms. Wallrich outlined the next step in the process was to take the text amendment to the Plan Commission and then to the Village Board where they also expressed concern about parking in the B-1 district. The Village Board recommended that the parking requirements be changed from 1.0 parking spaces per 100 sq. ft. to 1.5 spaces per 100 sq. ft. The Text Amendment was adopted in September of 2019.

The WBSG submitted their application to extend their business into the adjacent tenant space for an event space. They were told they had to keep a doorway between the two and the plans were approved with the doorway connecting the two spaces. The building permit was issued in September 2019. Upon final inspection it was noticed that the doorway between the two was not installed as required by the approved building plans and the inspection failed. Subsequently a doorway was constructed and on February 6, 2020, the Occupancy Permit was issued. Prior to issuance of the Occupancy Permit the applicants stated they wanted a separate business and liquor license from WBSG however staff again informed them that they needed a Special Use to accomplish that. The applicant filed a Special Use application on February 11, 2020.

Ms. Wallrich then presented the zoning for the project noting that the subject property is zoned B-1 (Neighborhood Shopping District) and is bordered by 159th Street on the north, the 7-11 Convenience store to the west zoned B-3 (General Business and Commercial) and multifamily uses zoned R-5 (Low Density Residential) just south of the 7-11 store. South of the center are single family homes zoned R-4 (Single Family Residential) and immediately east of the subject parcel is an apartment complex (Residences at 159) zoned R-6 (Medium Density Residential).

She noted that the B-1 District is intended “to provide area for retail and service establishments to supply convenience goods or personal services for the daily needs of the residents living in adjacent residential neighborhoods. The district is designed to encourage shopping center with planned off-street parking and loading and to provide for existing individual to small groups of local stores”.

Ms. Wallrich then explained the new definition that was adopted with the new text amendment which defines a Banquet Facility as:

BANQUET FACILITY: “A facility that is available for lease for private events including, but not limited to weddings, anniversaries, corporate or family parties and other similar celebrations. Such use may or may not include on-site kitchen or catering facilities”.

She explained that the applicants have supplied a business plan in the packet which states “Whistle Events and Catering has the objective of providing excellent food and service for everyone’s Catering and Private Party needs. Our target market will be catering and providing a party room to local business and residents”

Ms. Wallrich noted they will not be producing the food there; they will be catering from the outside or from the WSBG.

Ms. Wallrich then instructed the Commission that with Special Use the Commission will be reviewing at the proposed use and evaluate its impact on the surrounding uses.

Ms. Wallrich noted the two standards that she encourages the Commission to look at would be “b” and “f”.

Ms. Wallrich identified the Standards for Special Use.

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community.

Ms. Wallrich noted that Staff’s biggest concern is the parking. There are 185 parking spaces that surround the Brementowne Mini-Mall. She referenced a graphic that indicated there were spaces on the north (54 spaces), west (52 spaces) and the east (51 spaces); there are 28 spaces on the south side of the property. The entrance for The WSBG is on the east side of the building WEC will have its entrance on the north side of the building which includes one vacant tenant space. The remaining commercial tenants primarily use the west parking field where there are two vacant tenant spaces. The south parking area primarily servicing the professional offices where there are two vacant spaces.

Ms. Wallrich then proceeded with a discussion on the parking situation at Brementowne Min-Mall. Overall, without taking individual users, such as restaurants, into consideration, the ±28,400 sq. Ft. center requires 190 parking spaces at a ratio of one parking space per 150 sq. ft. (Section III S.2.) Restaurants are required to provide one space for each three seats plus one space for each employee (Section VIII A.10.) The WSBG has 128 seats/15 employees; therefore 58 spaces are required. Banquet Facilities in the B-1 are required to provide 1.5 parking spaces per 100 sq. ft. The proposed WEC comprises 2120 sq. ft. therefore 32 parking spaces are required. These two uses alone have a total parking requirement of 90 spaces or 47% of the existing parking, leaving 100 spaces for the balance of the tenants in the center (occupied and vacant). Deducting the square footage of these two spaces from the total for the center (28,400 sq. ft. for the Whistle, 6,570 sq. ft. for WEC) results in 21,830 sq. ft. left for remaining tenant or vacant spaces, again without considering the use of the tenant spaces. . This balance of tenant space translates to a parking need of 146 spaces (using the general formula of one parking space per 150 sq. ft.) resulting in a deficit of 46 parking spaces. She noted that even this uses the generic formula of one space per 150 sq. ft. there are two restaurants in the center.

Ms. Wallrich identified a table summarizing the parking statistics:

	AREA (SQ. FT.)	PARKING REQ.	PARKING PROVIDED	PARKING DEFICIENCY
Bremmentowne Mall	28,397	190*	185	5
Whistle Bar/Grill	4,450	58		
WEC	2,120	32		
Other tenants/vacancies	21,830	146		
Total for tenants		236*		46

* Based on general commercial uses at 1 space/150 sf- does not account for special requirements for restaurants, medical or professional offices or personal services

Ms. Wallrich requested the Police Department to do a parking evaluation on a Friday evening at 9:00. The Police stated there was 116 cars parked in the lot. Staff is requesting the Applicant do a Professional Parking Study to make sure the parking does not impact the neighborhood.

CHAIRMAN GRAY invited the Petitioners to comment.

Mr. Mikesell and Mr. Sanfilippo both approached the podium. Mr. Mikesell thanked Paula and the Commission for their time.

Mr. Mikesell stated that he opened the Whistle in 2017 which has been very successful. They want to open an Events and Catering business separate from WSBG. They are already operating the Bar and Grill and the Catering Business. Whether there are two businesses or one business there will be the same parking needed. The other businesses in the Mall don't have a lot of cars at the same time. The Chiropractor has 4-5 cars during the day. The Liquor store has 3-4 cars at any time. The Mexican Restaurant has 10-12 cars and the Grocery store has 10-12 cars. They will be doing bridal showers and funeral lunches during the day and won't be too busy on the event side. He noted that when the restaurant is at capacity with two parties there is still about 20 spaces open. Many of the neighbors from the residential area park on the lot instead of their driveways. We do not want to tow them. They want to operate as separate businesses. They do not see the parking as an issue.

Ms. Wallrich noted that the code requires a Special Use if you wish to operate a banquet facility separate from the existing sports bar. The code was amended purposefully so that the Village Board can consider potential impacts from a banquet use on adjacent uses and in this case to protect adjacent residential property. They can continue to operate as they are as an extension of the WSBG and the parking will be handled through typical enforcement mechanisms. The specific concern regarding parking for this project is if there are vacancies in the Mall that when filled will impact the parking count.

CHAIRMAN GRAY asked for comments from the Commissioners:

COMMISSIONER VICK noted he lives right over there and has patronized some of the businesses. He has noted there is adequate parking in the lot. When there are big games on Sunday the lots are fuller. The peak times for the other businesses are different from the Whistle.

Ms. Wallrich noted the banquet facility has a seating capacity of 78 and a fire capacity of 99.

COMMISSIONER GASKILL noted his concern would be the parking. With the spaces per sq. ft. it takes up half the lot.

COMMISSIONER AITCHISON noted when some business are busy others are not. I have been to the Whistle and have not had a problem with parking. The only concern would be on Sunday when there is a Bear's game.

COMMISSIONER FIELDER noted it is already operating as a banquet facility under the Whistle. Will we have time to prove that parking is not an issue? Can we give them 6 months to see how it works out? At this time the parking is working. If the landlord fills up the Mall it could become a problem. Parking may or may not be an issue if the Mall is full.

Ms. Wallrich replied, the parking situation could continue to be monitored however they are requesting to separate the businesses. The Special Use was created to allow for an independent Banquet Facility which requires a different parking requirement from a restaurant use. They have expressed they do not want to keep the two businesses together. There are 128 seats designed by the architect and a fire occupancy of 166 for WSBG; the event space has 76 seats with an occupancy of 99. Between the two spaces the total is 204 seats designed with a maximum occupancy of 265.

COMMISSIONER GATTO noted she was there on the night of a fight and the parking lot was full. She had to drive around the parking lot three times to get a parking spot. People were parking on the street. This was a night when people were occupying the banquet area. If they are having a banquet facility that holds 90 people and the bar & grill, it could be a problem. I feel they should have a parking study done.

Mr. Mikesell noted he has never had problems with parking on a Sunday night. He noted they could be in touch with Marquette Bank for shared parking. Mr. Ritter noted Marquette Bank is in Orland Park and across a busy 4 lane commercial roadway (159th Street). Ms. Wallrich noted the Ordinances for Orland are similar to Tinley Park and do not allow off premise parking. COMMISSIONER MANI noted if a study on the parking would be done, it would have to be done when the Mall is completely full.

COMMISSIONER VICK noted both spaces are up and operating. The two businesses would need an administrative side to help cut the cost. The parking now is not an issue as they have been operating now.

Ms. Wallrich noted if the vacancies become occupied that could be a problem and we would not want to be in a position to put pressure on an existing business that could result in closing it down. We encouraged the Applicants to apply for a Special Use in the beginning prior to beginning construction and they elected not to do that. There are vacancies and the mall owner will try to get them occupied.

Mr. Mikesell noted there is no room at the Mall for another restaurant. If they do fill up the Mall will they ask him to shut down?

COMMISSIONER GRAY noted the plan all along was to have two separate entities. In June of last year, the ball was rolling on the banquets. Why didn't they wait to see what the protocols are for the Special Use? They do have a good business. A parking study should be conducted by a professional. As other business come in there could be potential for parking problems.

Mr. Mikesell replied they did not realize there was a parking problem when they had already signed the 5-year lease. We did not realize this was a B-1. If we would have known all this we would not have signed the lease. He noted they are open until 2:00 am and the other businesses are not open at that time. We have made \$100,000 in donations to the community and we have a quarter million investment in the property. If he knew he had to do a professional parking study we would have already done that. He will investigate it.

Ms. Wallrich noted the Public Hearing has been noticed for March 5, 2020.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #3 WORKSHOP: WHISTLE BANQUET FACILITY - 7537 159TH STREET – OPEN AND TABLE

Consider recommending that the Village Board grant Stephanie Mikesell, on behalf of Whistle Events and Catering, a Special Use Permit for a Banquet Facility located in the Brementowne Mini-Mall at 7537 159th Street in the B-1 (Neighborhood Shopping) zoning district.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

Guests: Mark Mikesell, Petitioner
Robert SanFilippo, Petitioner

A Motion was made by COMMISSIONER GASKILL, seconded by COMMISSIONER VICK to open the Public Hearing on The Whistle Banquet Facility - 7537 159th Street.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

CHAIRMAN GRAY noted that Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

CHAIRMAN GRAY requested anyone present in the audience who wished to give testimony, comment, engage in cross-examination or ask questions during the Hearing stand and be sworn in.

A Motion was made by COMMISSIONER FIELDER, seconded by COMMISSIONER VICK to table the Public Hearing on The Whistle Banquet Facility - 7537 159th Street to March 5, 2020.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #4 WORKSHOP: TEXT AMENDMENT – MASONRY & SHORT-TERM RENTAL CLARIFICATION

Consider recommending that the Village Board grant a proposed text amendment to the Tinley Park Zoning Ordinance clarifying Section XII.3.A. (Legacy Code Uses) and Section V.B. (Schedule of Regulations) for short-term rental uses and Section V.C.4.B. (Masonry Requirements) for residential masonry requirements. The purpose of this amendment is to clarify portions of two recent code updates for Masonry requirements on residential properties and for short-term rental allowances.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

Daniel Ritter, Senior Planner gave a presentation as noted in the Staff Report. Recently the Village approved two text amendments to the Zoning Code relating to exterior masonry requirements(December 17, 2019; 2019-O-074) and for short-term rental uses (July 2, 2019; 2019-O-035). During the course of drafting and implementing the text changes, staff encountered a few text corrections to ensure the intent behind these codes is clear. This report clarifies the text corrections for each.

Masonry. The masonry requirements for residential properties were generally left as they previously existed in the Comprehensive Building Code and just moved into the Zoning Code. The definition of “masonry” was changed to include precast concrete panels. The definition change was intended for commercial properties to have some additional flexibility. However, based on the code’s wording, it could be interpreted that residential homes are permitted to be constructed with precast concrete panels on the first floor. Staff is proposing a minor wording change to clarify that homes must utilize face brick or decorative stone on the first story on a new home as was originally intended.

Short-term rental. The short-term rental (STR) use text amendment has two clarifications that are needed. First, in the Medium-Density (R-6) and High-Density (R-7) residential zoning districts the regulations do not address STR use in single-family detached, single-family attached and two-family dwellings despite the fact they are allowable uses in those districts. The requirements in other residential zoning districts state that STR units in single-family detached, single-family attached and two-family dwellings “are only permitted when separated 500 feet from all property lot lines” from another STR. That distance requirement needs to be addressed in the Medium-Density (R-6) and High-Density (R-7) residential zoning districts as well. Second, the STR use was not addressed in the Legacy Code and clarification is needed for those zoning districts.

The masonry requirements for residential properties were left as they were previously stated in the building code. The definition of masonry was changed to include pre-cast concrete panels to allow for some flexibility as an alternative masonry material on commercial and industrial structures. Due to the working on the residential masonry section, it can be interpreted

that precast concrete panels can be used to comply with first-floor masonry requirements, which was not the intent. The following change was made.

In all single-family detached, single-family attached, townhomes, and in all single-family semi-detached dwellings, exterior walls shall be constructed of face brick or decorative stone, ~~or other approved masonry products as defined herein~~. Said construction shall commence from the finished grade and shall extend to the uppermost portion of the first story of such dwellings.

Short-Term Rental Background

Following a complaint about a short-term rental property in 2018, staff was directed to look into regulations for short-term rental uses. The proposed text changes were reviewed by Plan Commission in January 2019 and adopted by the Village Board in July 2019 with some minor changes that added requirements to limit the density of short-term rental in a particular area. Short-term rentals are required to obtain a license through the Village Clerk's office and must also comply with applicable zoning district regulations. Staff has identified two issues with the proposed Zoning Code text amendments which were not anticipated during the initial review.

The final adopted use chart and regulations are as follows:

SHORT-TERM RENTAL: A dwelling unit that is used as a primary residence by owners or renters, or portion of such a unit, that is rented for less than 30 days at a time, with the exception of dwelling units owned by the federal government, the state, or any of their agencies or political subdivisions and facilities licensed by the state as health care facilities.

	R-1	R-2	R-3	R-4	R-5	R-6	R-7	B-1	B-2	B-3	B-4	B-5	ORI	M-1	MU-1
Other Uses															
<u>Short-Term Rental, accessory to a dwelling unit</u>	P ^p	P ^p	P ^p	P ^p	P ^p	P ^q	P ^q	X	X	X	X	X	X	X	X

^p Short-term rentals are only permitted when separated five hundred (500) feet on all property lot lines from another short-term rental property line.

^q Short-term rentals in a multi-family cannot exceed twenty-five percent (25%) of the total number of units.

Medium (R-6) and High-Density (R-7) Residential District Homes

The only criteria noted in current STR regulations for Medium-Density Residential (R-6) and High-Density Residential (R-7) zoning districts is "Short-term rentals in a multi-family cannot exceed twenty-five percent (25%) of the total number of units." While this regulation provides guidance for multi-family units in the R-6 & R-7 zoning districts it also permits lower density single-family attached, single-family detached, and townhomes. The requirements for a 500-foot separation between STR properties that applies to other lower-density residential zoning districts, was not applied to those medium-density and high-density residential zoning districts. Staff is recommending the same restrictions for single-family attached, single-family detached, and townhomes in other single family districts also pertain to the R-6 and R-7 districts.

To clarify this portion of the code, staff is proposing the text additions as indicated in red below:

	R-1	R-2	R-3	R-4	R-5	R-6	R-7	B-1	B-2	B-3	B-4	B-5	ORI	M-1	MU-1
Other Uses															
<u>Short-Term Rental, accessory to a dwelling unit</u>	P ^p	P ^p	P ^p	P ^p	P ^p	P ^{p/q}	P ^{p/q}	X	X	X	X	X	X	X	X

^p Short-term rentals located in a single-family detached, single-family attached, single-family semi-detached, and two-family dwellings are only permitted when separated five hundred (500) feet on all property lot lines from another short-term rental property line.

^q Short-term rentals in a multi-family dwellings cannot exceed twenty-five percent (25%) of the total number of units.

Legacy Code Allowance

During the original adoption of the STR regulations, the discussion was focused on traditional residential zoning districts, and did not address STRs in the Legacy Code districts. The Legacy Code encompasses the downtown and Oak Park Avenue corridor between 167th Street and 183rd Street. Within the Legacy Code, all types of housing/dwellings are permitted depending on their specific zoning district (Downtown Core, Downtown Flex, Neighborhood General, etc.) and redevelopment status (Heritage Site or Redevelopment Site). Staff is looking to clarify the regulations for STRs in the Legacy District. Due to the lack of discussion on this topic during the original STR adoption, staff is looking for direction on the matter from the Commission. Options include prohibiting short-term rentals in the Legacy Code districts or allowing the use with conditions similar to the traditional zoning districts that relate to distance separation or a percentage of the total number of units in a multi-family structure.

The advantages of allowing STR in the Legacy District relates to the adjacency of the area to the Metra station, which could be an incentive for visitors to stay in the downtown area and patronize local businesses. While the current licensing requirements of STRs limit rentals to one license per year, that requirement could change in the future and is independent from zoning district decisions. Any allowance of STRs in the Legacy District needs to clearly outline how to regulate the use with a diverse mix of residential uses in the Legacy District (mixed-use, single-family, multi-family, etc.)

By prohibiting STRs, it will eliminate the possibility that STR may negatively impact current or future uses due to the transient nature of the occupants. A “Boarding/Rooming House” is a similar use that is currently prohibited in the Legacy Code Districts.

If Plan Commission wishes to recommend prohibiting STRs in the Legacy Code Districts. “Short-term Rentals” would be added under the list of prohibited uses in Section XII.3.A. (Page 55) of the Legacy Code. If the STRs were to be permitted, staff recommends identifying any conditions that may help mitigate any perceived impact of the use on adjacent properties.

CHAIRMAN GRAY asked for comments from the Commissioners regarding the Legacy Code.

COMMISSIONER MANI, GATTO, FIELDER, AITCHISON, & GASKILL had no comment on prohibiting it.

COMMISSIONER VICK noted it is easy to prohibit. Are there any other towns that have done STR in their downtown?

Ms. Wallrich noted this could be an economic advantage in the downtown. It would be good to wait and see how the demand is.

Mr. Ritter noted there are not towns he is aware of that have treated their downtown differently. It would be good to look at the zoning in general, not just the Legacy district.

CHAIRMAN GRAY noted as demand becomes more concrete you may need to tweak it down the road. It would be good to leave the door open.

Ms. Wallrich noted it could be prohibited now and change it later. It is getting complicated, even if the Board approved it, they can only have one a year.

CHAIRMAN GRAY noted it would be good to visit it later. Prohibiting it now could be the right choice.

There will be a Public Hearing on this March 5, 2020

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #5 WORKSHOP: TEXT AMENDMENT – MASONRY & SHORT-TERM RENTAL CLARIFICATION – OPEN AND TABLE

Consider recommending that the Village Board grant a proposed text amendment to the Tinley Park Zoning Ordinance clarifying Section XII.3.A. (Legacy Code Uses) and Section V.B. (Schedule of Regulations) for short-term rental uses and Section V.C.4.B. (Masonry Requirements) for residential masonry requirements. The purpose of this amendment is to clarify portions of two recent code updates for Masonry requirements on residential properties and for short-term rental allowances.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
 Mary Aitchison
 Eduardo Mani
 Curt Fielder
 James Gaskill
 Angela Gatto
 Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
 Lucas Engel

A Motion was made by COMMISSIONER FIELDER, seconded by COMMISSIONER GASKILL to open the Public Hearing on Text Amendment – Masonry & Short-Term Rental Clarification.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

CHAIRMAN GRAY noted that Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

CHAIRMAN GRAY requested anyone present in the audience who wished to give testimony, comment, engage in cross-examination or ask questions during the Hearing stand and be sworn in.

A Motion was made by COMMISSIONER AITCHISON, seconded by COMMISSIONER GASKILL to table the Public Hearing on Text Amendment – Masonry & Short-Term Rental Clarification to March 5, 2020.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE FEBRUARY 20, 2020 REGULAR MEETING

ITEM #6 PUBLIC HEARING: ZONING MAP UPDATE

Consider recommending that the Village Board adopt the Village's Official Zoning Map reflecting map amendments through December 31, 2019.

Present were the following:

Plan Commissioners: Garrett Gray, Chairman
Mary Aitchison
Eduardo Mani
Curt Fielder
James Gaskill
Angela Gatto
Stephen Vick

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel

A Motion was made by COMMISSIONER GATTO, seconded by COMMISSIONER FIELDER to open the Public Hearing on the 2019 Zoning Map Update.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

CHAIRMAN GRAY noted that Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

CHAIRMAN GRAY requested anyone present in the audience who wished to give testimony, comment, engage in cross-examination or ask questions during the Hearing stand and be sworn in.

Dan Ritter, Senior Planner gave a presentation as noted in the Staff Report. As required by the state to annually update the Zoning Map. Nothing is being rezoned. The is an annual review.

The Illinois Municipal Code (65 ILCS 5/11-13-19) requires municipal authorities to annually publish an Official Zoning Map by March 31st each year.

(65 ILCS 5/11-13-19) (from Ch. 24, par. 11-13-19) Sec. 11-13-19. Except as otherwise provided in this section, the corporate authorities shall cause to be published no later than March 31 of each year a map clearly showing the existing zoning uses, divisions, restrictions, regulations and classifications of such municipality for the preceding calendar year. The map published by the corporate authorities shall be the official zoning map.

The Village's GIS Consultant maintains the on-line map and update's it with any changes throughout the year; however, an official map must still be approved each year. Staff has reviewed the current Zoning Map, made corrections based on map amendments through December 31, 2019, and provided a proposed draft of the Official Zoning Map for the Plan Commission's review.

Changes to the Zoning Map are as follows:

One annexation took place in 2019:

- The Lenny's Food N Fuel property at 19420 Harlem Avenue was annexed per Ordinance 2019-O-055 and is zoned B-3, General Business & Commercial per Ordinance 2019-O-056.

Staff has also identified various corrections to the Official Zoning Map for 2019, including:

- The shopping center property at 7130-7164 183rd Street, commonly referred to Cornerstone Centre, was incorrectly labeled as a Planned Unit Development (PUD), which was removed from the updated Zoning Map. That portion of the shopping center is zoned B-3 and subject to a Unified Sign Plan, but was not approved as a PUD. The shopping center does have a portion zoned B-4 PD (18201-18219 Harlem Avenue, Glen Swilly/Cornerstone Centre PUD), which was correct.
- The Edenbridge Apartments, located at 66th Court and 181st Street, was incorrectly labeled as a PUD and the label was removed from the updated Zoning Map. The subject property was originally zoned R-5A with variations, but it was not a PUD. In 1978 the Zoning Code was rewritten and the R-5A zoning district became R-6. The scrivener's error listing the zoning district as a PUD appears to have been made shortly after that 1978 update.
- The property at 6809 Brementowne Drive was incorrectly listed as R-1 zoning and was corrected to R-6 zoning on the updated Zoning Map. The zoning of the property was originally R-5A (later changed to R-6 as part of the 1978 Zoning Code update) and was approved as a two-family dwelling structure and lot. When the residential properties to the south of the subject lot were rezoned from R-6 to R-1 by the Village in 1994 (94-O-101) the lot was erroneously included in the map change. However, the subject lot was specifically excluded from that rezoning and not listed in the Ordinance due to its unique design and previous approval as a two-family dwelling.

The Village's GIS Consultant, MGP, Inc., has provided an updated map that reflects the corrections and annexation as noted by Staff. The updated map has been included in the Plan Commission packet in draft form.

A Motion was made by COMMISSIONER FIELDER, seconded by COMMISSIONER VICK to recommend approval of the 2019 updated Zoning Map to the Village Board.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved.

A Motion was made by COMMISSIONER FIELDER, seconded by COMMISSIONER GATTO to close the Public Hearing on The Zoning Map Update.

AYES: AITCHISON, MANI, FIELDER, GASKILL, GATTO, VICK & CHAIRMAN GRAY.

NAYS: NONE

CHAIRMAN GRAY declared the Motion approved. This item will be heard by the Village Board on March 3, 2020.

GOOD OF THE ORDER:

Ms. Wallrich, Planning Manager noted the following:

1. The Community Development has appointed a new Building Official, Jim Ostrom
2. The CD Department is finally training on a new software program and will be going live soon. Cashiering will be done in the department to be customer friendly.
3. There is an application for a Thornton Gas Station on 191st and Panduit Drive.
4. Delta Sonic will have some changes to their site on 159th and Oak Park Avenue
5. Dan has finished working on fees and will go into effect on March 1, 2020
6. The 7-Eleven project was approved by the Village Board
7. Holiday Inn will be bringing in their building permit soon.
8. Lenny's on 183rd has their permit in now.

COMMENTS FROM THE COMMISSION:

None at this time.

PUBLIC COMMENT:

None at this time.

ADJOURNMENT:

There being no further business, a Motion was made by PLAN COMMISSIONER FIELDER, seconded by PLAN COMMISSIONER AITCHISON to adjourn the Regular Meeting of the Plan Commission of January 20, 2020 at 9:50 p.m. The Motion was unanimously approved by voice call. PLAN COMMISSION CHAIRMAN GRAY declared the meeting adjourned.



Interoffice Memo

Date: March 5, 2020

To: Plan Commission

From: Kimberly Clarke, AICP
Community Development Director

Subject: The Whistle Public Hearing

The applicant has stated they need more time to prepare a parking study. Therefore, staff is requesting the Plan Commission to continue the public hearing to the March 17th, 2020 meeting.

PLAN COMMISSION STAFF REPORT

March 5, 2020 – Public Hearing

Marriott Hotels: Courtyard and Residence Inn

9551 & 9555 183rd Street

Petitioner

Top Hospitality LLC

Property Location

9551 & 9555 183rd Street
(off of White Eagle Drive)

PIN

27-34-300-013-0000 &
27-34-300-014-0000

Zoning

Current: Unincorporated
Cook County (C-4)

Proposed: B-3, General
Business & Commercial

Approvals Sought

Site Plan Approval
Variations
Plat Approval
Rezoning (Upon
Annexation)

Project Planner

Daniel Ritter, AICP
Senior Planner



EXECUTIVE SUMMARY

The Petitioner, Top Hospitality LLC (Petitioner/Owner), is requesting Rezoning upon Annexation, Final Plat of Subdivision approval, Variations, and Site Plan approval for their site to be developed with two Marriott brand hotels: Courtyard and Residence Inn. The subject property is located on the east side of White Eagle Drive and south of 183rd Street. The 8.7 acre subject site is proposed to be subdivided into two lots and zoned to the B-3, General Business and Commercial zoning district.

The Courtyard hotel includes an **83,722 sq. ft.** four story building with 125 guest rooms, a banquet hall, meeting rooms, exterior patio, fitness center, indoor pool, lounge with dining area and bar. The Residence Inn hotel is marketed towards extended-stay guests and includes an **87,875 sq. ft.** four story building with 118 guest rooms, fitness center, dining room, meeting room, lounge room, indoor pool, outdoor basketball court, and exterior patio. In addition, there is a proposed shared stormwater detention pond and existing wetland area on the site.

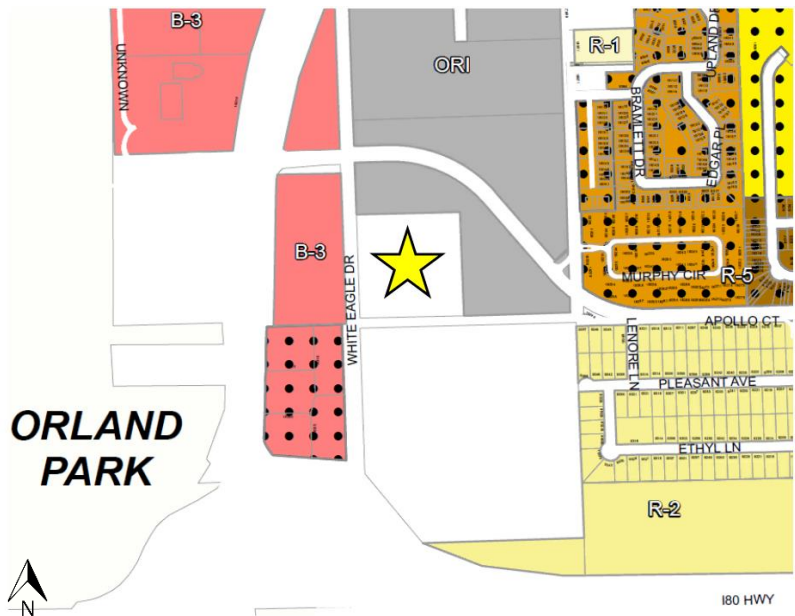
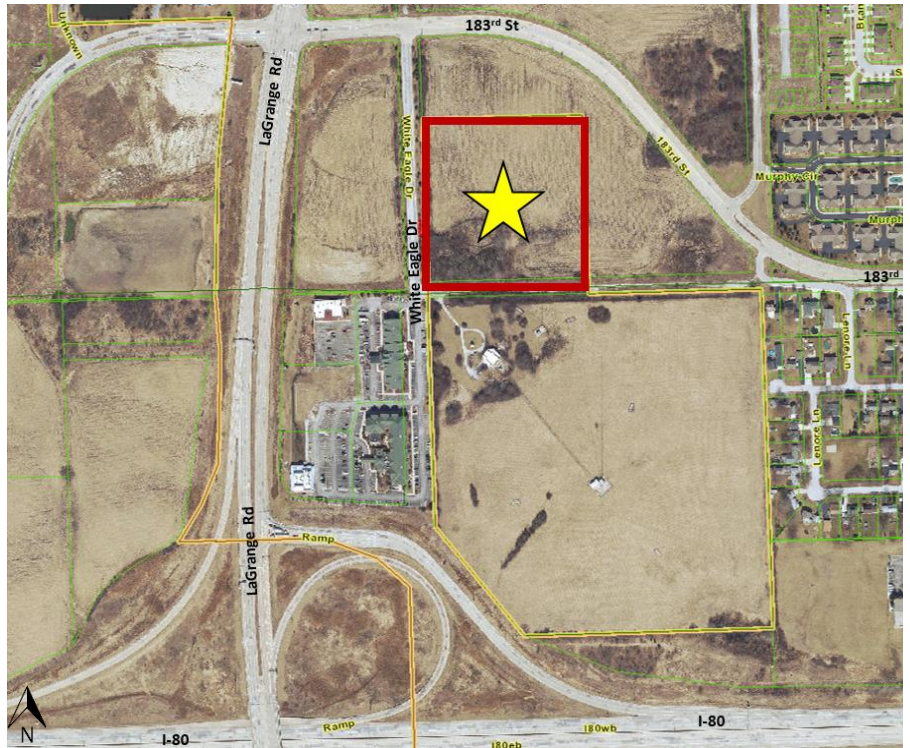
Amendments to the February 20, 2020 Plan Commission Workshop Staff Report are indicated in **Red**. Updated 3D renderings have not been included in the staff report or attached plans but will be available at the Public Hearing. The Courtyard's updated elevations are provided in the architectural renderings as presented below.

EXISTING SITE & ZONING

The property consists of two vacant parcels totaling 8.7 acres in size. The property is located in unincorporated Cook County and zoned C-4, General Commercial (similar to the Village's B-3 zoning district). The land is undeveloped and has historically been used for farming purposes. There is a small portion of the southwest corner of the subject property encumbered with an existing wetland that is regulated by the U.S. Army Corps of Engineers. The annexation will include the adjacent unimproved IDOT right-of-way previously planned for the 183rd Street extension and will result in the annexation of a total of 9.15 acres.

South of the subject site is the WLS radio tower site that is also located in unincorporated Cook County (C-4 Zoning District). To the north and east of the property is a parcel zoned ORI (Office and Restricted Industrial); west is a vacant parcel zoned B-3 (General Business & Commercial). The property is nearby the I-80 LaGrange Road northbound exit. Currently existing to the southwest of the property is a Planned Unit Development (PUD) that includes two hotels (Hilton Garden Inn and Country Inn & Suites), two standalone restaurants (Texas Roadhouse and Jumbo Crab), and a third vacant pad that is planned for an additional standalone restaurant.

The site is located within the Urban Design Overlay District (UDOD), which promotes walkability, decreased front yard setbacks, and overall a more urbanized look.



PROPOSED USE

The Petitioner plans to develop two Marriott brand hotels on the subject property: Courtyard and Residence Inn. The Courtyard hotel includes an **83,722 sq. ft.** four story building with 125 guest rooms, a banquet hall, meeting rooms, exterior patio, fitness center, indoor pool, lounge with dining area and bar. The Residence Inn hotel is marketed towards extended-stay guests and includes an **87,875 sq. ft.** four story building with 118 guest rooms, fitness center, dining room, meeting room, lounge room, indoor pool, outdoor basketball court, and exterior patio. The amenities,

including the dining and bars, are only open to hotel guests. Construction of the two sites will happen simultaneously and will not be phased.

VARIATIONS

Below is the list of Variations from the Zoning Code required based on the currently proposed plans? Each Variation is addressed separately as an open item in the applicable Staff Report sections below.

Lot & Building

1. A Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres.
2. A Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55' 10" tall building (Residence Inn) and a four story 54' 9.5" tall building (Courtyard) instead of the permitted maximum of three stories and 35 feet.
3. A Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24' drive aisle instead of the permitted minimum of 26'.
4. A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize greater than 15% of a non-masonry material (fiber cement board and stucco) on the building exteriors.
5. A 31 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 160 parking spaces required.

Urban Design Overlay District (UDOD)

6. A Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 42.5' to 200' instead of the permitted 20' maximum.
7. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).
8. A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.

Signage

9. A Variation from Section IX.M.2. to permit an off-site sign for Lot 2 to be located on Lot 1 with an approved signage easement
10. A Variation from Section IX.D.2.c. to permit a freestanding sign to be setback five feet from the property line instead of the required ten foot minimum.

FINAL PLAT OF SUBDIVISION

The two existing lots are proposed to be resubdivided through approval of a Final Plat of Subdivision that alters the lot configuration to accommodate the two hotels. Appropriate easements are being recorded for cross-access, cross-parking, signage, and public utilities as part of the final plat approval.

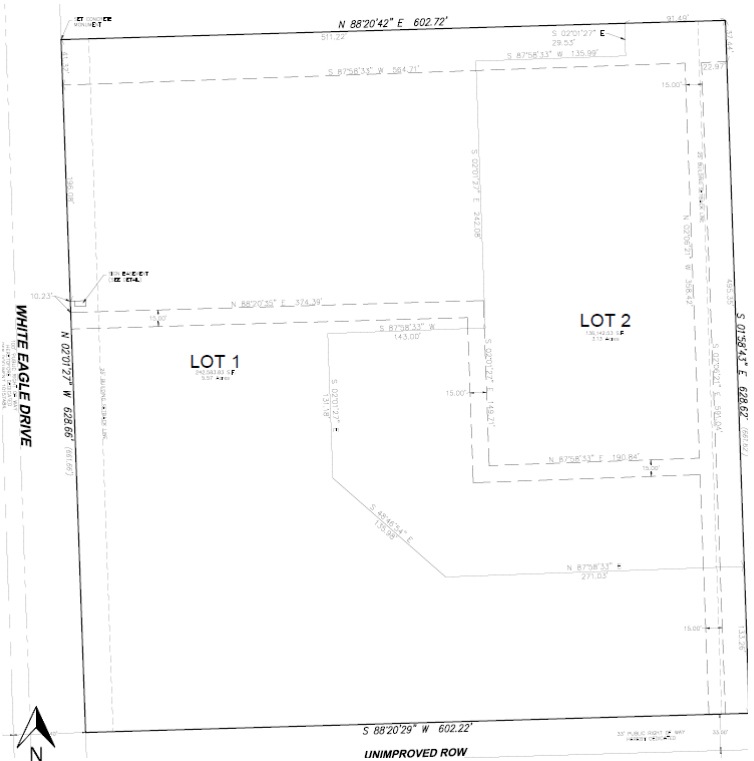
The design of the lots is unique because the Residence Inn/Lot 2 will not have direct access to the adjacent White Eagle Drive right-of-way and will have permanent access through a cross-access (ingress/egress) easement with the Courtyard/Lot 1. The Zoning Code specifically allows for properties with unique lot, land, or use circumstances to have a lot that does not abut the public right-of-way, subject to appropriate cross-access and utility easements. In this case, the lot and site design were chosen due to the existing wetland location, detention location/topography and the large building footprint required for a hotel.

Additionally, the desire to divide the detention pond location made it even more difficult to have a separate right-of-way frontage for the Residence Inn/Lot 2. The lot configuration was designed to roughly divide the parking lots and detention pond based on the supply needed for each site. The shared ownership of the pond ensures responsibility for maintenance by both owners since covenants or a property owner's association (POA) can be changed in the future. Minor revisions are still required for the location of public utility easements, cross-parking language, and cross-access language that the Petitioner has agreed to make prior to the Public Hearing.

The Final Plat of Subdivision has been updated to include cross-parking allowances, revised public utility and drainage easements, and a revised sign easement location and language.

~~Open Item #1: The Petitioner shall revise the Final Plat of Subdivision and Easements based on staff comments.~~

The petitioner also hopes to mitigate the existing wetland through the U.S. Army Corps of Engineers in the future to allow for a third lot for use as a restaurant, office, or other commercial use. The land is not currently developable due to the wetland encumbrance and has been included as part of Lot 1. If the wetland is mitigated in the future, the Petitioner can request to subdivide Lot 1 into two lots at that time.



ANNEXATION & REZONING

The Petitioner is requesting annexation into the Village. The Annexation Agreement is scheduled to be reviewed by the Community Development Committee; it will be scheduled for Village Board review at the same time as all zoning and entitlements requests. While the Plan Commission does not specifically review annexations in themselves, the appropriate zoning district and overall development proposal are reviewed. The annexation will include the adjacent unimproved IDOT right-of-way for a total annexation of 9.15 acres.

There are two possibilities for zoning this property based on the surrounding zoning and proposed land use; either the B-3 (General Business and Commercial) or the ORI (Office and Restricted Industrial) zoning districts can accommodate the proposed hotel use as a permitted use. While both districts will allow for hotel land uses the assignment of the B-3 zoning district will allow it to serve as an extension of the B-3 designation for the existing hotel properties and undeveloped property along the LaGrange Road corridor. The B-3 zoning district is generally described to "accommodate a wide range of specialized commercial uses, including highway-oriented services and commercial types of establishments to serve the needs of motorists." Alternatively the ORI zoning district is intended to provide land for "medium to large office buildings, research activities, and non-objectionable industrial activities which are attractively landscaped and designed to create a "park-like" setting". The zoning of the subject parcel expands current and planned commercial land uses along this major corridor (Rt. 45) which enjoys has valuable commercial potential due to its adjacency to Interstate 80.

The Comprehensive Plan designates the parcel as *Office/Restricted Industrial* however the Comprehensive Plan was approved in 2000, prior to the realignment of 183rd Street and prior to the area's initial development. The realignment of this 4-lane commercial corridor along with the realignment of LaGrange Rd/Rt. 45 created increased opportunities

for commercial development with valuable commercial frontage. The corporate office market is currently struggling for growth, therefore the Village will need to continue to analyze the ORI zoning in this area.

~~Open Item #2: Discuss proposed B-3 (General Business and Commercial) zoning district upon annexation.~~

Lot Size - The B-3 zoning district allows for hotels as a permitted use on lots over five acres in size. The five acre size limit was approved in 1997 to promote the development of larger, full-service hotels. This area limitation is not a recognized limitation in the marketplace; many full-service hotels can be developed on less than 5 acres. The Courtyard parcel (Lot 1) is 5.57 acres and therefore meets the size requirement. The Residence Inn (Lot 2) comprises 3.13 acres and therefore requires a Variation of the five acre requirement. Staff believes the development of both hotels meet the intent of the zoning requirement in providing large full-service hotels by a reputable hotel brand.

~~Open Item #3: Discuss Variation request to permit a hotel to be developed on a lot less than 5 acres in size.~~

Structure Size - The B-3 zoning district limits structures to a maximum of three stories and 35 feet in height. The proposed hotels are both proposed at four stories; the proposed heights are 55' 10" (Residence Inn) and 54' 9.5" (Courtyard).

There are many properties that have been approved in the Village for Variations (or exceptions if part of a PUD) from the Zoning Code's height limitations such as office buildings, hotels, condominiums, and apartments. Variation requests to allow for additional height are have been reviewed in regards to the surrounding area's development pattern and neighboring uses. The property is nearby to two existing three-story hotels, a tall radio tower, and does not have any immediately adjacent single-family residential homes.

~~Open Item #4: Discuss Variation request to permit hotels to exceed a maximum of three stories and 35 feet in height.~~

Urban Design Overlay District (UDOD) - The site is located within the UDOD, which was designed to promote walkability, lesser front yard setbacks, and overall a more urbanized look. The majority of the UDOD requirements are difficult to apply to the proposed development primarily due to the unique lot design and lack of a true front yard on the Residence Inn site. The unique lot design with shared access and frontage along White Eagle Drive was chosen due to the large building footprint, existing site topography, and the existing wetland encumbrance. However, staff has worked with the Petitioner to ensure that the spirit of the UDOD is met where possible. As a result, the Courtyard hotel is positioned near the White Eagle Drive frontage, an interconnected public and private sidewalk system is proposed, and future cross-access to the neighboring undeveloped properties is proposed. Building setbacks are not indicated on the plans and shall be revised to show proposed setbacks for each structure.

~~Open Item #5: Discuss three Variation requests from the Urban Design Overlay District in regards to maximum front yard setback, permitted front yard parking, and the maximum number of curb cuts.~~

~~Open Item #6: Revise plans to indicate all proposed structure setbacks.~~

Plans were revised to indicate specific building setbacks. The Plan Commission did not express concern for the proposed Variations in height due, lot size, or UDOD requirements. As requested, staff confirmed the closest residential structure (Heritage Club Villas) to the hotels will be approximately 808 ft. from the Residence Inn building.

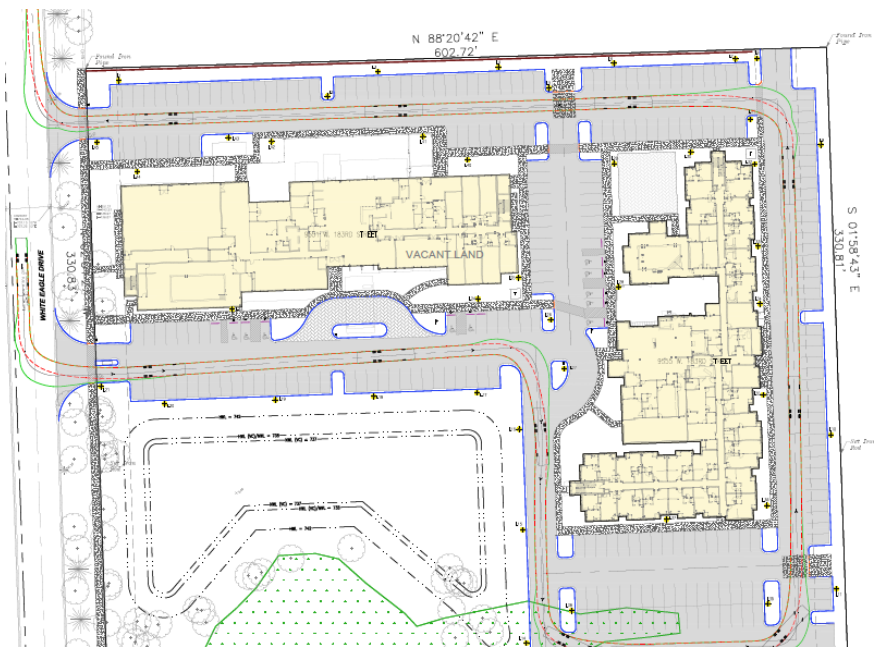
SITE PLAN

The site plan includes the two hotel buildings, drop off canopies, parking, walkways, landscaping, outdoor patios, and dumpster encloses. In addition, there is a shared stormwater detention pond and an existing wetland area located on the site.

Lot Design and Cross-Access – The two hotels will be located on separate lots, but the overall project is being designed cohesively. While hotel amenities will be separate, the sites will share curb cut access and the overall parking field. Proper easements are proposed with the Plat of Resubdivision to ensure if the hotels are owned separately in the future, there are no issues with the parking or access allowances.

Future cross-access has also been established to the vacant lot that wraps around the subject property to the north and east. The cross-access points are proposed at the northeast and southeast corners. If cross-access is not established in the future, the drive aisle connections can be converted to parking stalls.

Site Access and Parking Lot Circulation – The hotel will have two driveways off of White Eagle Drive. Guests will primarily enter the site at the south entrance which leads to the front entrances of both hotels. Both hotel entrances will have a circular drop-off/check-in location. The Courtyard will have an overhead porte-cochere canopy while the Residence Inn entrance will be open. A separate building entrance on the north side of the Courtyard will allow banquet guests a separate entrance without needing to go through the hotel.



Staff has recommended that the Petitioner investigate adding a boulevard entrance with a center island separating the drive aisles. A boulevard entrance will draw attention to the driveway as the main entrance and increase the attractiveness of the site overall. This can also assist with installing a shared monument sign that complies with the

required setbacks. Depending on the specific design of the entrance, the changes may result in a small reduction of parking spaces.

Open Item #7: Discuss staff's suggestion of a boulevard entrance at the main (south) driveway.

Traffic control signage and striping is not shown on the plans. Locations of ADA parking signs, stop signs, stop bars, one-way (for canopy drop-offs) shall be indicated on the plans according to MUTCD requirements.

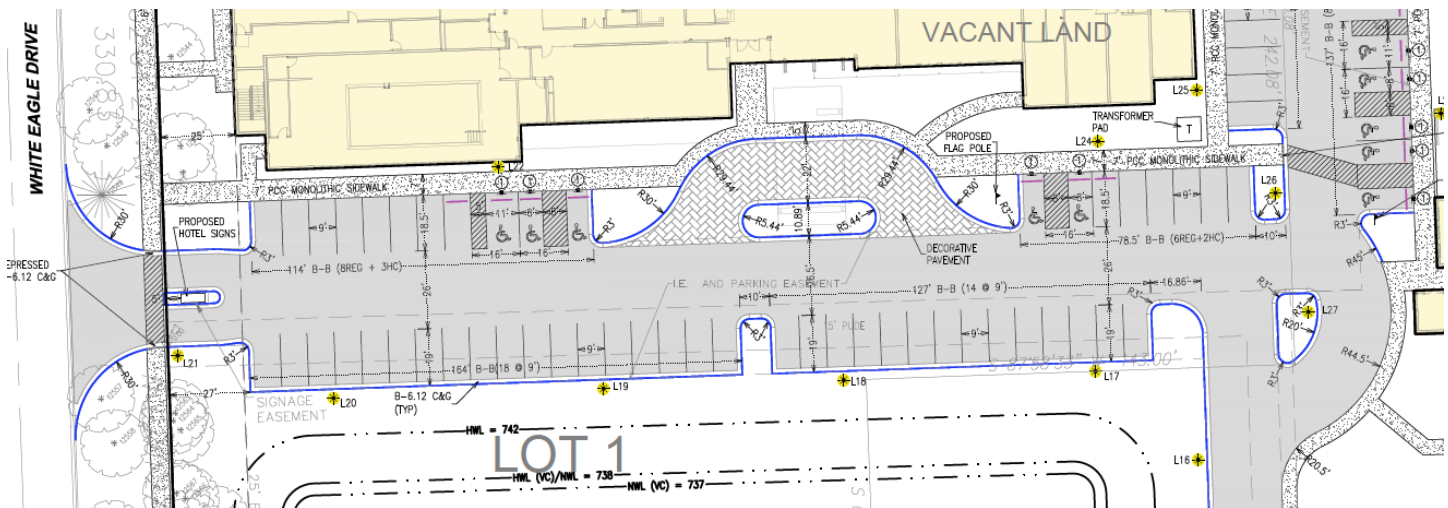
Open Item #8: Revise plans to indicate locations of traffic control signage and striping.

Drive Aisle Width - The current proposal shows all drive aisles as 24 feet in width instead of the minimum 26 feet requirement. The Petitioner has noted that it is difficult to pick up enough space for the 26 feet drive aisle width without eliminating landscape bufferyard, reducing parking stall lengths or needing to install a retaining wall on the detention pond. Staff is supportive of a reduction to a 24 feet drive aisle width as long as the site allows for proper circulation of a fire truck and full-size semi-truck, which is shown in the submitted auto-turn circulation plan. Staff has recommended revising the main access aisle to the two hotel entrances to be 26 feet wide due to the amount of traffic and adjacent parking stalls. The Petitioner has stated they agree to this change and will make the necessary revisions.

Open Item #9: Revise the primary entrance aisle to the hotels to be a minimum of 26 feet in width.

Open Item #10: Discuss the Variation request to reduce the minimum drive aisle width to 24 feet from a minimum of 26 feet.

Plans have been revised with a boulevard entrance and the main entrance drive aisle has been expanded to 26 ft. in width (see image below). Other drive aisle widths remain at 24 ft. A revised autoturn template has been supplied showing proper turning radii for delivery and fire trucks. Traffic control signage and striping has been added to the preliminary engineering plans as well.



Sidewalks – The Petitioner has proposed installing a public sidewalk along the White Eagle Drive and private walkways throughout the development. The public sidewalk will be six feet in width and runs along the east side of White Eagle Drive for the full length of the lot. The private walkways encircle the two buildings and provide continuity within the site and with the public walkway system. Private sidewalks are five feet in width, with an additional two feet added to sidewalks that have parking stalls fronting them. The additional sidewalk width allows for bumper overhang, without blocking the walkway. Crosswalks have been utilized wherever sidewalks cross drive aisles.

Basketball Court – An outdoor basketball court is proposed on the Residence Inn property at the northwest corner of the building. The court is proposed to allow for an on-site outdoor activity as required by the hotel brand. The half-court design is approximately 42 feet long by 50 feet wide. The court is proposed to be surrounded by an eight feet

high brick wall that matches the hotel and an eight foot high chain-link fence. The court is located between the parking lot and the hotel building.

Staff has noted some concerns with the proposed basketball court's location. A standard basketball hoop is ten feet in height and 13.5 feet to the top of the backboard. Due to the design and proposed location, it is expected that balls will bounce out of the enclosure and have the potential to cause vehicle damage or injure other guests. Staff also has concerns about the appearance of the basketball enclosure in regards to the building's architectural design. The wall will cover some windows and architectural features potentially detracting from the building's architectural design. Staff recommended that the Petitioner look at the feasibility of a different location, permitting the activity to be indoors, or utilizing a different type of activity that might have less of a negative visual impact such as a putting green, bocce ball, badminton, bags, etc. One similar example at a newer Residence Inn in Bolingbrook is shown below. This location, while similar, has additional width for spacing from the building and parking lot that allows a buffer and landscaping to be added.

The Petitioner will not be pursuing a basketball court and the area will be designed to accommodate an outdoor game area without any bouncing balls. The specific design for this area has not been specified. The area can either be left open or screened with an open wrought iron style fence. A recommended condition noting that the game area shall be revised and that it will utilize an open design fence that is not chain-link has been added to the site plan approval.

~~Open Item #11: Discuss proposed outdoor basketball court location, appearance, and possible alternatives.~~

Dumpster Enclosures - Dumpster enclosures have been placed near the back of the two hotel lots and positioned for easy access to waste trucks. The enclosures are each constructed of brick matching the buildings.

Engineering – Overall site engineering is preliminary and will require revisions based upon final comments from the Village Engineer, MWRD, and U.S. Army Corps of Engineers. The most notable changes will be based upon the final location of the Village's sanitary main, which will extend from 179th Street to the site. A small portion of the wetland area will be developed and requires approval and mitigation permitted through the U.S. Army Corps of Engineers. Site Plan approval will be conditioned subject to final engineering approvals to clarify this.

~~Open Item #12: Review the proposed site plan layout, design, pedestrian connections, and traffic circulation.~~

Site Plan and Plat approvals have been conditioned to be subject to engineering approvals from the Village Engineer, MWRD, and the U.S. Army Corps of Engineers.

LANDSCAPE

The proposed Landscape Plan is in general conformance with code requirements. Any deficiencies are offset by additional plantings in other areas of the site. The full landscaping analysis from the Village's consultant is shown below in Table A. The consultant expressed they have largely met the intent of the code and added landscaping where possible. The largest deficiency is in regards to interior parking lot landscaping. This requirement can be difficult to meet on smaller parking lots that don't have room for large rows of landscaping and trees. To comply with this interior landscaping code requirement, parking lot islands are required to be added in many of the proposed parking stalls; this may result in a need for the parking lot to be expanded. To meet the 3,970 sq. ft. interior landscaping deficit, 24 parking stalls will need to be converted to landscape islands. The location of the currently proposed islands combined with the bufferyard and foundational landscaping are designed to create an attractive and heavily landscaped site.

Below are staff's suggestions for landscape revisions to be made prior to the public hearing:

1. Add additional islands/bufferyard space at the two driveway entrances to comply with the 15 foot bufferyard requirement. This allows for more attractive entrances and additional space for the ground signs to be located. Meeting this requirement will result in a reduction of **six** proposed parking stalls.

2. Add canopy trees to the two internal islands located between the hotel buildings.
3. Add shrubs around the proposed basketball court wall and fence.

Open Item #13: Discuss the proposed Landscape Plan, in regards to deficiencies/required waivers and staff recommendations.

The Landscape Plan was revised per Plan Commission's suggestions to update the driveway bufferyard widths on the west property line. The increase to the bufferyard near the driveways resulted in a loss of 6 parking spaces from the previous proposal. Trees were unable to be added to the two internal islands due to conflicts with a light pole and flag pole. Landscaping has been proposed surrounding the exterior of the outdoor game area (previously the basketball court).

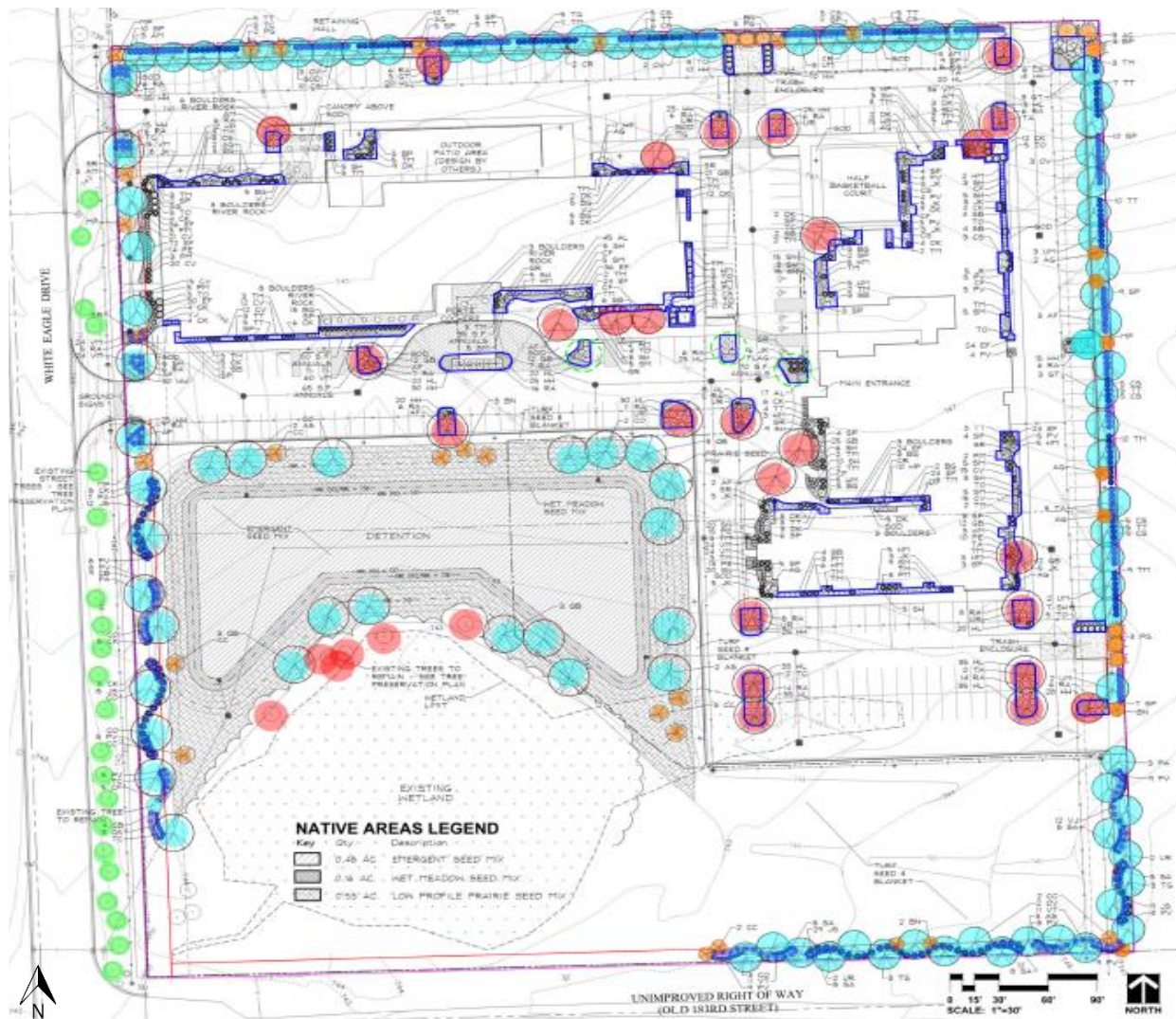


Table A

Please note the following abbreviations: CT = Canopy Tree, US = Understory Tree, SH = Shrub, T = Tree.

BUFFERYARD REQUIREMENTS							
Bufferyard Location	Required Width	Proposed Width	Length	Required Plantings	Proposed Plantings	Deficit	Comments
North ("C" Bufferyard)	10'	10'	575'	29 CT 12 US 115 SH	24 CT 12 US 117 SH	-5 CT - +3 SH	
East ("C" Bufferyard)	10'	10'	595'	30 CT 12 US 119 SH	29 CT 11 US 152 SH	-1 CT -1 US +33 SH	Ornamental grasses included in shrubs.
South ("C" Bufferyard)	10'	varies	575'	29 CT 12 US 115 SH	29 CT 12 US 99 SH	- - -16 SH	Included plantings around detention pond and ornamental grasses.
West ("B" Bufferyard)	15'	10'/15'	570'	16 CT 5 US 80 SH	16 CT 6 US 140 SH	- +1 US +60 SH	Ornamental grasses included in shrubs.
INTERIOR LOT LANDSCAPING REQUIREMENTS							
Location	Requirement		Proposed		Deficit		Comments
Foundation	Landscape coverage along 70% of building foundation that faces public right-of-way; 10' wide landscaped area		70%		-		
Interior	40 canopy trees		32		-8		Credit given to 6 trees to be preserved on north side of existing wetland.
PARKWAY STANDARDS							
Location	Requirement		Required Trees	Proposed Trees	Deficit	Comments	
Parkway	1 Tree per 25 Lineal Feet		21	21*	0	*Existing trees counted.	
PARKING LOT LANDSCAPING STANDARDS							
Location	Requirement		Provided		Deficit		Comments
Parking Lot	15% of parking lot area to be landscaped or 15,700 square feet		11,730 square feet		3,970 sq. ft.		104,685 s.f. of parking lot shown on landscape plan. Credit was given to foundation plantings not facing public R.O.W.
Parking Lot	Screening of adjacent properties and streets.		All lots screened.		-		
Parking Lot Islands	1 tree per 200 square feet (16 required)		2		-2 CT		Islands between 2 buildings can add trees.

ARCHITECTURE



*The 3D renderings ABOVE have not been revised and indicate the previous architectural design. Below are the revised elevations and the revised 3D renderings will be available at the Public Hearing.

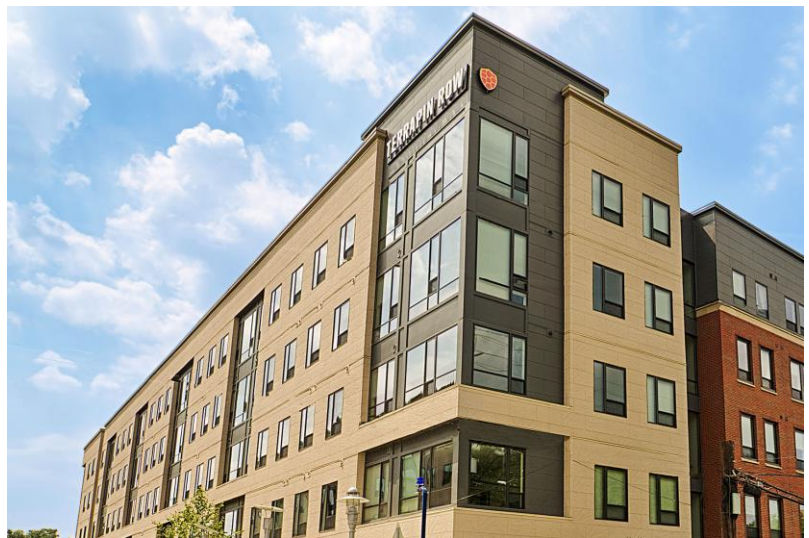
Materials - The masonry code for structures exceeding 80,000 sq. ft. requires 25% of each façade to be face brick or decorative stone with the balance of the façade to be constructed of alternate masonry products of which 15% can use non-masonry products (EIFs, stucco, cement board, etc.) for architectural treatments. However, utilizing the new Architectural Design review standards, staff recommended a minimum of 50% face brick be utilized on the hotels based on the design and building material choices approved on recently approved hotels (Holiday Inn and Woodspring Suites). In addition, the nearby hotels (Country Inn & Suites and Hilton Garden Inn) have also utilized a large amount of face brick. Brick is a preferred material that creates a durable and high-quality building. The remaining exterior material is flexible to allow for some design creativity but must be considered masonry.

The petitioner met the recommended minimum of 50% face brick, but the remaining portion of the structure has proposed non-masonry materials exceeding the maximum 15% requirement. The alternative materials utilized are fiber cement board (43% of the exterior) for the Residence Inn and stucco (41% of the exterior) for the Courtyard. Fiber cement board is an alternative to masonry previously supported due to its durability, quality, and modern appearance. The largest concern is with the use of stucco on a large portion of the Courtyard building. Stucco has not been recently approved as a primary building material. The quality, durability, and appearance of a stucco/EIFS products lack in comparison to brick, stone, or fiber cement siding.



The Petitioner will be utilizing fiber cement board panels on the Courtyard hotel. The panels will be flush-mounted similar to the images on the right. The panels will be 18 inches in height and uniform in color. Fiber cement board requires a Variation from the masonry requirements but is considered a high-quality and durable substitute according to the Village's Building Manager.

Open Item #14: Discuss Variation to permit non-masonry materials to be utilized on greater than 15% of the building. Discuss staff's suggestion to utilize fiber cement board or another high-quality and durable material to replace stucco on the Courtyard building.



Above: Examples of fiber cement panels proposed on the Courtyard.

Architectural Design - The overall designs of the buildings were chosen to meet with each brand's approved corporate design. The Residence Inn is modern in design and has a residential look that is purposeful in regards to their branding (extended-stay oriented). The Courtyard has a modern, box-style design. All roof-top mechanical equipment is proposed to be screened from view of neighboring properties and roadways by the building parapets.

Staff's primary concern with the Courtyard building is a lack of articulation and dimension in the building above the first floor. Additionally there is a lack of different materials and color in the façade. The proposal design creates a harsh and sterile building appearance. The Petitioner has added some windows and additional brick from their first design, but the façades still lack articulation and character. Staff recommends looking at adding different material types, colors, and design elements to make for a more interesting design. An example of a recent Courtyard project in Olathe, Kansas is shown below.

The Revised architecture includes many of the suggestions discussed by staff and recommended by Plan Commission. The architectural changes include the following:

- Wrapped the glass on the south front façade stair towers and added additional glazing above main roof line.
- Stair tower wall has been bumped out slightly to add depth and articulation to the façade.

- Added a tower of brick above entry and extends above main roof line. This breaks up the long front façade and adds an architectural element at the entry way.
- Brick was brought up one floor on the west elevation facing White Eagle Drive.
- Added a modern but more decorative cornice at top of all parapet walls
- Brick color was different (lighter) on the 3D rendering and will be adjusted for the Public Hearing.
- Building material samples will be provided for Commission review at the Public Hearing.



Above: Revised Courtyard Elevations.

Open Item #15: Discuss the overall architectural design of each hotel in regards to Architectural Design standards. Discuss staff's recommendation for changes in building material and additional articulation above the first floor of the courtyard building.

Example: Courtyard Kansas City Olathe – Olathe, KS



SIGNAGE

Wall Signs - Wall signs are proposed on the north, south, and west elevations of both hotels. The wall signs will each be individually mounted aluminum backed letters.



Ground/Freestanding Signs - Two ground signs are proposed at the main entrance and located on Lot 1 (Courtyard lot). The signs will have matching designs with solid brick bases. The brick color will match the brick utilized for each building. The size and height requirements for the proposed ground signs comply with the Zoning Code requirements.

The required setback for ground signs is ten feet from a property line. However, the ground sign locations are currently proposed at somewhere between six inches and one foot from the property line (no setback indicated on the plans). The signs are also located immediately adjacent to the sidewalk and within the "clear vision triangle" which reduces vehicle visibility when stopped at the required stop sign. To alleviate these issues, as well as meet the landscaping requirements, staff has proposed expanding the width of the proposed landscape islands to allow for a more appropriate setback. Alternatively, a boulevard entrance with a center island and shared ground sign can allow for additional setback space. The entrance design creates a more attractive and eye-catching main entrance as well as avoid vehicle visibility concerns in regards to the ground signs. If the ten foot setback requirement cannot be met, the setback must maintain a minimum of five feet to avoid any visibility and safety concerns.

The ground sign was revised to be a shared monument sign and placed in the boulevard entrance median. The sign has been adjusted to be setback five ft. from the property line. A Variation is required for the reduced setback but with the new setback and location, there are no longer staff concerns with visibility. The specific design of the shared monument sign has not been supplied yet, but will be in compliance with the height, size, and material requirements of the Zoning Code.

~~Open Item #16: Discuss the setbacks of proposed ground signs and Variation for ground sign setbacks.~~

Due to the shared access and lack of direct roadway frontage for the Residence Inn site, the ground sign locations for both sites will be on Lot 1 along White Eagle Drive. This will constitute an off-site sign and require a Variation (which will also be permitted for in the Annexation Agreement). Off-site signage is typically prohibited primarily to prevent billboards and off-site advertising. However, the proposed development's layout is unique in regards to its shared access and frontage. The Lot 2 (Residence Inn) sign will be located within an easement on Lot 1. The easement will ensure that Lot 2 has rights to a ground sign located along White Eagle Drive and explain requirement maintenance and liability requirements. A condition can be included in the approval that clarifies that the location of the off-site sign will substitute for the permitted on-site sign and that no additional ground sign is permitted.

~~Open Item #17: Discuss the Variation for an off-site sign to allow the location of the Lot 2/Residence Inn ground sign to be placed on the Lot 1/Courtyard site near the shared main entrance.~~

PARKING

The Zoning Code requires one parking space per hotel room plus one parking space for each employee that may be on-site at any time. There are 125 rooms at the Courtyard and 118 rooms at the Residence Inn. The Petitioner has indicated a maximum number of ten employees at the Courtyard and six employees at the Residence Inn. The

proposed site plan provides 135 parking spaces on the Courtyard lot and 124 on the Residence Inn lot meeting the required minimum and complying with the Zoning Code.

Changes proposed with the west landscaping bufferyard at the two driveway entrances may result in a reduction of up to four parking spaces. Staff has identified areas where the parking stalls may be able to be added. However, if the Courtyard site is reduced below 135 stalls, a parking variation may be required.

Hotels do not typically operate at full-capacity on a day-to-day basis and it is expected that the parking provided (including the potential loss of up to four parking stalls) will be more than sufficient to accommodate guests and employees. Cross-parking allows for flexibility in demand between the sites and avoids any future issues if the two hotels are operated separately. It was also noted that the times when most employees are on-site is typically during the day to clean rooms, which is also when there are the least amount of customers at the property.

Previously the Courtyard's banquet room was looked at as a hotel amenity. However, because the banquet room can be used for any type of event that can include guests not staying at the hotel, the use was determined to require its own parking. The Petitioner has indicated that the majority of events they will have in the banquet room are corporate and held in the afternoon when the hotel has less parking demand. They do not believe additional parking will be required from what has been provided. However, to ensure there are no future issues, they have designed a parking lot extension south of the Residence Inn that will be "land banked". The parking Variation will condition that if parking issues are determined to be occurring, the parking expansion will need to be constructed at that time.

Required Parking for Marriott Hotels		
“Motels, Hotels, and Inns”	One (1) space for each unit, and one (1) space for each employee, plus required parking spaces for bar, restaurant, or affiliated use.	
Banquet Use	One (1) space per 200 square feet (with shared parking opportunities)	
Proposed Parking for Marriott Hotels		
	Courtyard	Residence Inn
TOTAL REQUIRED	125 Rooms + 10 Employees + 25 Banquet = 160 parking spaces	118 Rooms + 6 Employees Max = 124 parking spaces
TOTAL PROVIDED	129 parking spaces (includes 5 ADA)	124 parking spaces (includes 5 ADA)

Open Item #17: Discuss the request for a 31 parking stall Variation to permit the Courtyard to have 129 parking spaces instead of the 160 spaces required. The Variation has a recommended condition that if parking issues were to arise in the future, the land banked parking to the south of the Residence Inn shall be constructed at that time.



LIGHTING

A photometric plan was submitted indicating compliance with the lighting ordinance for parking lot, walkway, and building-mounted lighting. Off-site light spillage is minimal and within the allowable limits. All light fixtures will be full-cutoff and downcast to avoid any off-site glare. Parking lots, walkways, steps, entrances, and exits are all adequately lit for safety and security purposes. Parking lot lights will be mounted at a height of 25 feet.



SUMMARY OF REMAINING OPEN ITEMS/DISCUSSION POINTS

Staff identified the following open items that may require further input or discussion at the Public Hearing:

1. Discuss Variation to permit non-masonry materials to be utilized on greater than 15% of the building. Discuss staff's suggestion to utilize fiber cement board or another high-quality and durable material to replace stucco on the Courtyard building.
2. Discuss the overall architectural design of each hotel in regards to Architectural Design standards. Discuss staff's recommendation for changes in building material and additional articulation above the first floor of the courtyard building.
3. Discuss the request for a 31 parking stall Variation to permit the Courtyard to have 129 parking spaces instead of the 160 spaces required. The Variation would be conditioned that if parking issues were to occur in the future, the land banked parking to the south of the Residence Inn shall be constructed.

STANDARDS FOR REZONING APPROVAL

The Zoning Code does not establish any specific criteria that must be met in order for the Village Board to approve a rezoning request. Likewise, Illinois Statutes does not provide any specific criteria. Historically, Illinois courts have used eight factors enunciated in two court cases. The following “LaSalle Standards” have been supplied for the Commission to consider. Staff has provided the following draft Findings for the Commission’s review. The Commission may adopt the Findings as provided or make modifications per testimony provided at the hearing.

- a. The existing uses and zoning of nearby property;
 - *The B-3 zoning district will allow the Subject Property to serve as an extension of the existing B-3 designation for the hotel properties and undeveloped property along the LaGrange Road corridor. The expansion of 183rd Street and realignment of LaGrange Rd/Rt. 45 created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit.*
- b. The extent to which property values are diminished by the particular zoning;
 - *The area along LaGrange Road are transitioning to commercial uses due to the proximity to I-80. The development will develop vacant farmland and increase the value of the subject property, and likely surrounding properties as well.*
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
 - *The project will contribute directly to the economic development of the community by providing lodging for visitors, providing additional jobs, and providing additional property and hotel/motel taxes where the existing vacant property is generating minimal tax revenue. The hotels will help to fill the needed hotel room demand with a well-known hotel brand.*
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
 - *Hardships of neighboring property owners have not been identified. Lighting, dumpster locations, landscaping, cross-access, and overall site layout were designed to avoid any issues with the neighboring properties. The project will contribute directly to the economic development of the community.*
- e. The suitability of the property for the zoned purpose;
 - *The proposed use as hotels is suitable for the subject property due to the availability of high traffic volumes and available access points. The use is a permitted use subject to the approval of a hotel lot size Variation.*
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
 - *The lot has remained vacant under Cook County’s C-4 (General Commercial) zoning and has never been developed. The existing floodplain makes the lot difficult to develop.*
- g. The public need for the proposed use; and
 - *There is a demand for additional hotel rooms in the area due to the location off of I-80 (east-west) expressway and near various entertainment options.*
- h. The thoroughness with which the municipality has planned and zoned its land use.
 - *The property is identified as Office and Restricted Industrial (ORI) in the 2000 comprehensive plan. Since that time, 183rd Street has been extended and LaGrange Rd/Rt. 45 has been expanded and realigned. These changes have created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit. The corporate office market is currently struggling for growth, therefore the Village will need to continue to analyze the ORI zoning in this area.*

STANDARDS FOR A VARIATION

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff has prepared the following draft responses to the Findings of Fact for consideration. The Commission may adopt the Findings as provided or make modifications per testimony provided at the hearing. Due to the number of Variation (8) staff have aggregated the Findings where possible and have provided reference to the individual Variations by indicating their number within parenthesis. The full list of Variations can be found in the Variations section above or Motion 2 below.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
 - *The property is difficult to develop with the building footprints, natural drainage patterns, and an existing jurisdictional wetland located on the site. The lot configuration is unique in that there is shared driveway access and single road frontage that results in many of the Variations being requested. The Variations allow for a unique site and development that benefits the Village economically and are difficult to meet all requirements.*
2. The plight of the owner is due to unique circumstances.
 - *The property location, single road frontage, drainage topography, existing wetland, and building footprints offer a challenging situation for the development of the parcel. The exterior masonry Variation allows the petitioner to utilize unique and attractive design elements that meet Marriott's corporate design standards and remains visually appealing.*
3. The Variation, if granted, will not alter the essential character of the locality.
 - *The Variations allow for the development to create a unique and high-quality site design with two hotels. The development continues the uses and development trend started with the County Inn & Suites/Hilton Garden Inn development to the west. The Variations allow for a site layout similar to other development along LaGrange Road. The reduced drive aisle width is a standard width in many other municipalities and is not expected to be noticeable to the public.*
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
 - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
 - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
 - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

STANDARDS FOR SITE PLAN AND ARCHITECTURAL APPROVAL

Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval and Architectural Review approval. Specific findings are not required, however the proposed site plan and building design must meet these standards.

Architectural

- a. Building Materials: The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with “Building Articulation” (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it’s the appearance if used on large, blank walls.
- b. Cohesive Building Design: Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. Compatible Architecture: All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. Color: Color choices shall consider the context of the surrounding area and shall not be used for purposes of “attention getting” or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. Sustainable architectural design: The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. Defined Entry: Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. Roof: For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. Building Articulation: Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision

of architectural details such as “belly-bands” (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.

- i. Screen Mechanicals: All mechanical devices shall be screened from all public views.
- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

MOTIONS TO CONSIDER

If the Plan Commission wishes to take action on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative. By making a motion in the affirmative, it does not indicate a specific recommendation in support or against the plan.

Motion 1 (Map Amendment/Rezoning):

"...make a motion to recommend that the Village Board grant the Petitioner, Top Hospitality LLC, a Rezoning (Map Amendment) of the properties located at 9551 & 9555 183rd Street (off of White Eagle Drive, South of 183rd Street) upon annexation to the B-3 (General Business & Commercial) zoning district and adopt the Findings of Fact submitted by the applicant and as proposed by Village Staff in the Staff Report."

Motion 2 (Variations):

"...make a motion to recommend that the Village Board grant the following Variations to the Petitioner, Top Hospitality LLC, at the properties located at 9551 & 9555 183rd Street (off of White Eagle Drive, South of 183rd Street) in the B-3 (General Business & Commercial) Zoning District, in accordance with the plans submitted and listed herein and adopt Findings of Fact as proposed by Village Staff in the Staff Report."

- 1. A 1.87 acre Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres (Residence Inn – Lot 2).*
- 2. A height Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55 ft. 10 in. tall building (Residence Inn) and a four story 54 ft. 9. In. tall building (Courtyard) instead of the permitted maximum of three stories and 35 ft.*
- 3. A two ft. Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24 ft. drive aisle instead of the permitted minimum of 26 ft.*
- 4. A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize fiber cement board siding and panels to comply with the masonry requirements beyond face brick instead of the maximum of 15% of the building exteriors.*
- 5. A 31 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 160 parking spaces required.*
- 6. A front yard setback Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 42.5' to 200' instead of the permitted 20' maximum.*
- 7. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).*
- 8. A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.*
- 9. A Variation from Section IX.M.2. to permit an off-site sign for Lot 2 to be located on Lot 1 with an approved signage easement*
- 10. A Variation from Section IX.D.2.c. to permit a freestanding sign to be setback five feet from the property line instead of the required ten foot minimum.*

Subject to the following Conditions:

- 1. The off-site sign for Lot 2 shall constitute the only ground sign permitted for that lot.*
- 2. An area land banked for parking, as indicate in the plans, shall be constructed if it is determined that the proposed parking is not sufficient to accommodate the hotel or banquet uses.*
- 3. A minimum of 50% face brick shall be utilized on both hotel exteriors, as indicated in the architectural plans.*

Motion 3 (Site Plan):

“...make a motion to grant the Petitioner, Top Hospitality LLC, Site Plan Approval to construct two hotels at 9551 & 9555 183rd Street in the B-3 (General Business & Commercial) Zoning District, in accordance with the plans submitted and listed herein and subject to the following conditions:

- 1. Directional signage and striping is required on the final plans at the hotel drop-off entrances.*
- 2. The outdoor game area shall be revised to utilize either no fencing or an open-style fence such as an aluminum wrought iron design. No chain-link fencing shall be utilized.*
- 3. Site Plan Approval is subject to approval of the Rezoning and Variations by the Village Board.*
- 4. The Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer, MWRD, and the U.S. Army Corp of Engineers.*

[any conditions that the Commission would like to add]

Motion 4 (Final Plat):

“...make a motion to recommend that the Village Board grant approval to the Petitioner, Top Hospitality LLC, Final Plat of Subdivision for the New Horizon Subdivision in accordance with the Final Plat submitted and dated February 27, 2020, subject to the following condition:

- 1. The Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer, MWRD, and the U.S. Army Corp of Engineers.”*

[any conditions that the Commissioners would like to add]

LIST OF REVIEWED PLANS

Submitted Sheet Name		Prepared By	Date On Sheet
G-000 - A-201	Courtyard Architectural Plans	Base4 Arch	1.22.2020 (Revised 2.27.2020)
G-000 – A-607	Residence Inn Architectural Plans	Base4 Arch	1.22.2020 (Revised 2.27.2020)
SP1	New Horizon Preliminary Site Plan	Advantage	1.22.2020 (Revised 2.27.2020)
	Final Site Improvement Plans	Advantage	1.17.2020 (Revised 2.27.2020)
1 of 1	Plat of Annexation	JLH Surveying / Advantage	12.12.2019
1 of 1	Plat of Subdivision	JLH Surveying / Advantage	12.27.19
V1	Autoturn Exhibit	Advantage	11.18.2019 (Revised 2.27.2020)
	Final Landscape Plan	Gary R. Weber Assoc. Inc	2.27.2020
LT-200B	Site Photometrics Staff Review	Base4 Arch	1.16.2020
	Renderings	Base 4 Arch	1.22.2020 (To be Revised by Public Hearing)



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

REQUEST INFORMATION

*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☒ Special Use for: Planned Unit Development
- ☒ Planned Unit Development (PUD) ☐ Concept ☐ Preliminary ☒ Final ☐ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for _____
- ☒ Annexation
- ☒ Rezoning (Map Amendment) From R-1 to B-3
- ☒ Plat (Subdivision, Consolidation, Public Easement) ☒ Preliminary ☒ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: _____

PROJECT & PROPERTY INFORMATION

Project Name: New Horizon

Project Description: Development of two hotels: 1. Courtyard by Marriott 2. Residence Inn Marriott

Project Address: 18300 96th Avenue Property Index No. (PIN): 27-34-300-002-0000

Zoning District: B-3 Lot Dimensions & Area: see attached surveys

Estimated Project Cost: \$ 32,745,000

OWNER OF RECORD INFORMATION

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Top Hospitality LLC Company: same

Street Address: 2730 University Blvd. City, State & Zip: Houston, TX 77005

E-Mail Address: hjethani@gmail.com Phone Number: 

APPLICANT INFORMATION

- ☒ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: _____ Company: _____

Relation To Project: _____

Street Address: _____ City, State & Zip: _____

E-Mail Address: _____ Phone Number: _____



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize Mahoney Silverman & Goss LLC (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: _____

Property Owner Name (Print): HARESH JETHANI, MANAGER OF TOP HOSPITALITY LLC

Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: _____

Manager of Top Hospitality, LLC.

Property Owner Name (Print): _____

Applicant Signature:
(If other than Owner) _____

Applicant's Name (Print): _____

Date: _____

07/15/2019 .



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize Thakor Patel (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: _____

Property Owner Name (Print): HARESH JETHANI, MANAGER OF TOP HOSPITALITY LLC.

Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: _____

Property Owner Name (Print): _____

Applicant Signature:
(If other than Owner) _____

Applicant's Name (Print): _____

Date: 07/16/2019

TOTAL PAYMENT DUE

2018 Second Installment Property Tax Bill - Cook County Electronic Bill

\$97.16

By 08/01/2019

Property Index Number (PIN)	Volume	Code	Tax Year	(Payable In)	Township	Classification
27-34-300-002-0000	147	28022	2018	(2019)	ORLAND	2-39

IF PAYING LATE,
PLEASE PAY08/02/2019-09/01/2019
\$98.6209/02/2019-10/01/2019
\$100.0810/02/2019-11/01/2019
\$101.54**LATE INTEREST IS 1.5% PER
MONTH, BY STATE LAW**

TAXING DISTRICT BREAKDOWN

Taxing Districts	2018 Tax	2018 Rate	2018 %	Pension	2017 Tax
MISCELLANEOUS TAXES					
South Cook Mosquito Abatement Harvey	0.38	0.017	0.19%		0.36
Metro Water Reclamation Dist of Chicago	8.91	0.396	4.34%	1.01	9.05
Tinley Park Park District	11.21	0.498	5.46%		10.69
Miscellaneous Taxes Total	20.50	0.911	9.99%		20.10
SCHOOL TAXES					
Moraine Valley College 524 Palos Hills	8.64	0.384	4.21%		8.21
Consolidated HS District 230 Orland Park	54.56	2.425	26.59%	1.05	51.46
Kirby School District 140 (Tinley Park)	106.56	4.736	51.93%	0.67	100.98
School Taxes Total	169.76	7.545	82.73%		160.65
MUNICIPALITY/TOWNSHIP TAXES					
Road & Bridge Orland	0.83	0.037	0.40%		0.79
General Assistance Orland	0.14	0.006	0.07%		0.14
Town of Orland	1.60	0.071	0.78%	0.13	1.49
Municipality/Township Taxes Total	2.57	0.114	1.25%		2.42
COOK COUNTY TAXES					
Cook County Forest Preserve District	1.35	0.060	0.66%	0.04	1.40
Consolidated Elections	0.00	0.000	0.00%		0.70
County of Cook	7.17	0.319	3.50%	2.45	7.33
Cook County Public Safety	2.77	0.123	1.35%		2.45
Cook County Health Facilities	1.06	0.047	0.52%		1.35
Cook County Taxes Total	12.35	0.549	6.03%		13.23
(Do not pay these totals)	205.18	9.119	100.00%		196.40

TAX CALCULATOR

2017 Assessed Value	2,250	2018 Total Tax Before Exemptions	205.18
		Homeowner's Exemption	.00
		Senior Citizen Exemption	.00
2018 Assessed Value	2,250	Senior Freeze Exemption	.00
2018 State Equalizer	X 2.9109		
2018 Equalized Assessed Value (EAV)		2018 Total Tax After Exemptions	205.18
	6,550	First Installment	108.02
2018 Local Tax Rate	X 9.119%	Second Installment +	97.16
2018 Total Tax Before Exemptions		Total 2018 Tax (Payable in 2019)	205.18
	205.18		

IMPORTANT MESSAGES

PROPERTY LOCATION

18300 96TH AVE
TINLEY PARK IL

MAILING ADDRESS

TOP HOSPITALITY LLC
502 PRATT AVE N
SCHAUMBURG IL 60193-4555

*** Please see 2018 Second Installment Payment Coupon next page ***

VILLAGE OF TINLEY PARK

APPLICATION FOR SITE PLAN APPROVAL

PROJECT NAME: New Horizon

LOCATION: 18300 96th Avenue

The undersigned hereby requests that the Plan Commission and/or the Village Board of the Village of Tinley Park, Illinois consider authorizing Site Plan Approval for the project described within.

APPLICANT INFORMATION

Name: Haresh Jethani
Company: Top Hospitality, LLC
Mailing Address: 2730 University Blvd., Houston, TX 77005
Phone (Office): [REDACTED]
Phone (Cell): _____
Fax: _____
Email: hjethani@gmail.com

If the Applicant is not the property owner, describe the nature of the Applicant's interest in the property and/or the relationship to the property owner:

PROPERTY INFORMATION

Property Address: 18300 96th Avenue, Tinley Park, IL
PIN(s): 27-34-300-002-0000
Existing Land Use: Vacant
Zoning District: B-3
Lot Dimensions: see attached surveys
Property Owner(s): Top Hospitality, LLC
Mailing Address: 2730 University Blvd., Houston, TX 77005

APPLICATION INFORMATION

Description of proposed project (use additional attachments as necessary):

Development of two hotels: 1. Courtyard by Marriott 2. Residence Inn Marriott

Is the Applicant aware of any variations required from the terms of the Zoning Ordinance? If yes, please explain and note that a separate Variation Application is required with the submittal.

☒ No ☐ Yes: _____

The Applicant certifies that all of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.

Signature of Applicant

Date

VILLAGE OF TINLEY PARK

SITE PLAN APPROVAL CONTACT INFORMATION

PROJECT NAME: New Horizon

LOCATION: 18300 96th Avenue

In order to expedite your site plan submission through the planning process, the Village of Tinley Park requires the following contact information. Please provide the information requested and return to the Planning Department. Your prompt attention is greatly appreciated.

CURRENT PROPERTY OWNER OF RECORD

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 2730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax: [REDACTED]
Email: hjethani@gmail.com

PROJECT ARCHITECT

Name: [REDACTED]
Company: Base 4
Address: 2901 Clint Moore Rd., #114, Boca Raton, FL 33496
Phone: [REDACTED]
Fax: [REDACTED]
Email: [REDACTED]

PROJECT ENGINEER

Name: Thakor Patel
Company: Advantage Consulting Engineers
Address: 80 Main St., #17, Lemont, IL 60439
Phone: [REDACTED]
Fax: [REDACTED]
Email: patel@aceng.us

PROJECT LANDSCAPE ARCHITECT

Name: [REDACTED]
Company: Gary R. Weber Associates Inc.
Address: 402 W. Liberty Dr., Wheaton, IL 60182
Phone: [REDACTED]
Fax: [REDACTED]
Email: [REDACTED]

ATTORNEY

Name: Tiffany Gorman Thompson
Company: Mahoney, Silverman & Cross, LLC
Address: 822 Infantry Drive, Suite 100, Joliet, IL 60435
Phone: [REDACTED]
Fax: [REDACTED]
Email: tthompson@msclawfirm.com

END USER

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax: [REDACTED]
Email: hjethani@gmail.com

VILLAGE OF TINLEY PARK

SITE PLAN APPROVAL RESPONSIBLE PARTIES

PROJECT NAME: New Horizon

LOCATION: 18300 96th Avenue

Please provide name, address and telephone number of the person/firm that will be responsible for payment of plan review, engineering, landscaping, attorney and building permit fees in the space provided below. If only one party will be responsible for all fees, please list that party's contact information under "General Billing."

GENERAL BILLING

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

RESPONSIBLE FOR PLAN REVIEW FEES

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

RESPONSIBLE FOR BUILDING PERMIT FEES

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

RESPONSIBLE FOR ATTORNEY FEES

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

RESPONSIBLE FOR ENGINEERING/ CONSTRUCTION OVERSIGHT FEES

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

RESPONSIBLE FOR LANDSCAPE REVIEW FEES

Name: Haresh Jethani
Company: Top Hospitality, LLC
Address: 730 University Blvd. Houston, TX 77005
Phone: [REDACTED]
Fax:
Email: hjethani@gmail.com

**PETITION REQUESTING ANNEXATION
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

See Attached

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:
- ☐ That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)
- ☒ That there are no electors residing in the described territory. (Property is vacant)

WHEREFORE, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

PRINTED NAME(S) of OWNER(S)

HARESH JETHANI
Manager and Member
VISAY BHAGIA
Member
HARDIK PATEL
member

SIGNED NAME(S) of OWNER(S)

[Redacted Signature]

ADDRESS

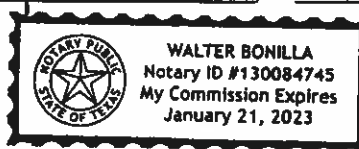
2730 University, Houston TX 77005
5304 Valarie, Bellare TX 7740
360 Jennifer Ln, Roselle IL 6001

I, HARESH JETHANI, *manager and member of Top Hospitality LLC*, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true and correct.

Petitioner Signature: _____

To Be Completed by a Notary Public:

Subscribed and sworn to before me this 11 day of July, 2019



**PETITION REQUESTING ANNEXATION
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

See attached "Exhibit A - Legal Description"

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:
☐ That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)
☒ That there are no electors residing in the described territory. (Property is vacant)

WHEREFORE, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

<u>PRINTED NAME(S) of OWNER(S)</u>	<u>SIGNED NAME(S) of OWNER(S)</u>	<u>ADDRESS</u>
TOP HOSPITALITY LLC		2730 University Blvd. Houston, TX 77002
_____	_____	_____
_____	_____	_____
_____	_____	_____

I, Haresh Jethani, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true.

Petitioner Signature: _____ Manager of Top Hospitality, LLC

To Be Completed by a Notary Public:

Subscribed and sworn to before me this 16th day of July, 2019





Project Name: Marriott/New Horizon Hotels (Courtyard & Residence Inn)

Project #: B4-157-1801/1901

Project Narrative

Red: Base4 Response

Date: 2019.12.13

Comments Received: 2019.11.25

1. A Project Narrative is required to be submitted with the project. This narrative explains the overall project, company, brands, project phasing, investment, and any other information the Plan Commission or Village Board might find relevant.

Project Narrative:

Marriott/New Horizon Hotels, a project by TOP Hospitality is set to provide two Marriot Brand Hotels on a 9.15-parcel, located at 9551 & 9555 183RD Street, Village of Tinley Park, Illinois.

The first one, a Courtyard Hotel with a 32,876 sq ft. building and the second, a Residence Inn with 26,033 sq. ft. which will provide 125 and 118 guestrooms respectively; parking stalls will also be included to accommodate all guestroom guests and staff members, all as per local jurisdiction requirements. Both are designed to provide public spaces, meeting rooms, exterior patios, fitness center, indoor pool, lounge with dining area and bar.

The current design for both Tinley Park hotels represents TOP Hospitality and Marriott's intention to promote economic growth through a modern yet rooted to the Brand's style hotel.

Courtyard's minimalist design uses clean lines, recesses and protrusion to achieve this modern design look, while also maintaining the Brand's identity. Brick will be the main finish material, achieving 60% to comply with city requisites. Other materials include Stucco and metal panel which will tone down the brick to make everything look balanced. The construction type is currently 3-B and it is designed to have 4 floors (45'-8" to roof).

Residence Inn's design has a more complex design based on the Brand's identity standards for these types of hotels. Sloped roofs and a more private and extended front of house area will provide a more opened space for guests, color combinations will be used to tackle and achieve a more modern look on this project. Like Courtyard, brick will also be the main finish material up to a 56%, following up with Hardie Plank Siding in different shades of gray and blue, tones will transition smoothly towards the brick at first 3 floors. The construction type is also 3-B, it's designed to have 4 floors as well.

Construction material for these buildings currently includes Wood framed walls, hollow core floors and roof, stem wall footing and CMU walls for elevator and stairs.

YOUR GLOBAL HOTEL DESIGN PARTNER

BASE4

2901 Clint Moore Road, #114 Boca Raton, Florida 33496

Phone: 1.888.901.8008 | Email: info@base-4.com | Website: www.base-4.com

TOP HOSPITALITY



PROJECT: NEW HORIZON
EXPERIENCE THE NEXT LEVEL

We believe in providing experiences that have lasting effects.

We do this by building premium real estate assets that host spaces and services with customer experience at the core.

Patrons. Guests. Investors. Team Members. Community. Our Customers.

We pursue opportunities in unique urban locations with one core goal – provide our customers a higher level of experience.

EXPERIENCE THE NEXT LEVEL.

JOIN US.



| EXECUTIVE SUMMARY

The Property

The Numbers

The Return

The Timeline

The Location

| THE BRAND

Courtyard by Marriott

Residence Inn by Marriott

| THE TEAM

Overview

Key Strengths

COURTYARD[®]

BY MARRIOTT

ADDRESS	183 rd & 96 th (La Grange) Avenue, Tinley Park, IL
TARGET OPEN	Q1 2021
# OF KEYS	125
MEETING/EVENT SPACE	4,000 sqft.
FOOD & BEVERAGE	Bistro Bar & Restaurant
HOTEL AMENITIES	Business Center, Fitness Center, Pool
RETAIL	Shop
CONSTRUCTION	TBD
DEVELOPMENT	TOP HOSPITALITY
MANAGEMENT	TOP HOSPITALITY
OWNERSHIP	Fee Simple

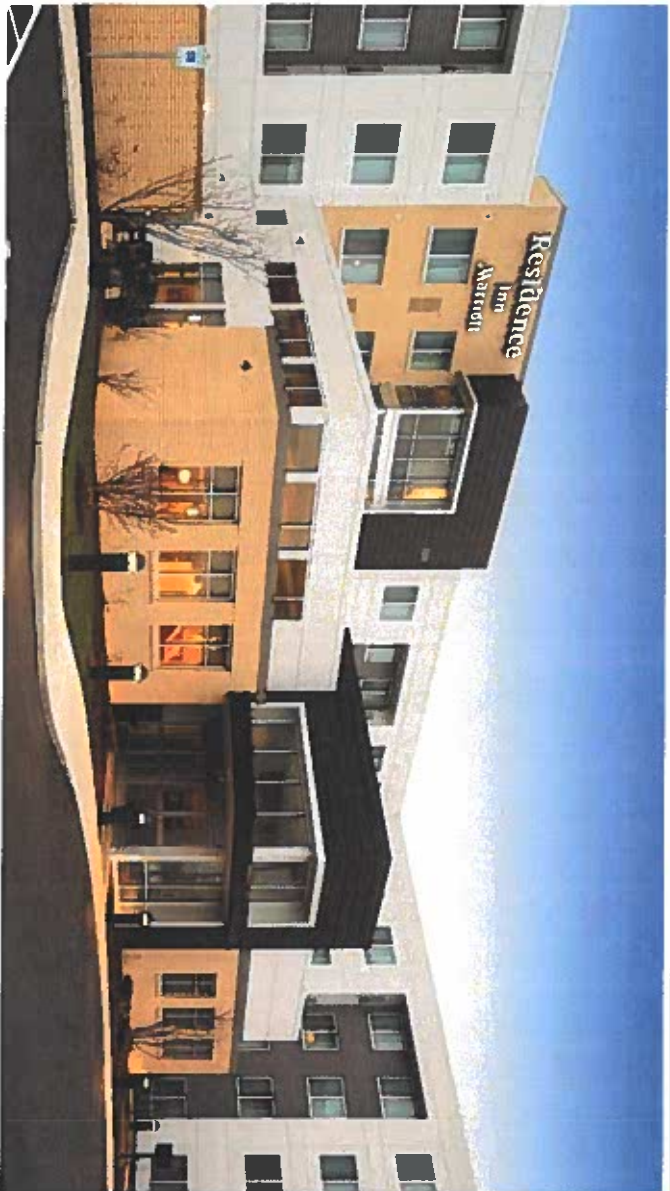


MARRIOTT
BONVOY

Residence INN[®]

BY MARRIOTT

ADDRESS	183 rd & 96 th (La Grange) Avenue, Tinley Park, IL
TARGET OPEN	Q2 2021
# OF KEYS	118
MEETING/EVENT SPACE	500 sqft.
FOOD & BEVERAGE	Lobby Bar
HOTEL AMENITIES	Business Center, Fitness Center, Pool
RETAIL	Shop
CONSTRUCTION	TBD
DEVELOPMENT	TOP Hospitality
MANAGEMENT	TOP HOSPITALITY
OWNERSHIP	Fee Simple



COURTYARD[®]

BY MARRIOTT

key count

125

gross square footage

84,000

DEVELOPMENT BUDGET

	\$ / KEY		%
LAND ACQUISITION	\$ 1,200,000	\$ 9,600	6.6 %
CONSULTANTS & FEES	\$ 1,325,000	\$ 10,600	7.3 %
GENERAL CONSTRUCTION	\$ 11,250,000	\$ 90,000	62 %
FF&E + OS&E	\$ 3,055,000	\$ 24,400	16.8 %
MARRIOTT LICENSE FEE	\$ 75,000	\$ 600	0.4 %
INTEREST + CLOSING COSTS	\$ 500,000	\$ 4,000	2.8 %
PRE-OPENING EXPENSES	\$ 250,000	\$ 2,000	1.4 %
CONTINGENCY	\$ 500,000	\$ 4,000	2.8 %
TOTAL PROJECT BUDGET	\$ 18,155,000	\$ 145,240	100%

Residence INN[®]

BY MARRIOTT

key count

118

gross square footage

85,000

DEVELOPMENT BUDGET

	\$ / KEY		%
LAND ACQUISITION	\$ 1,800,000	\$ 15,254	10 %
CONSULTANTS & FEES	\$ 1,300,000	\$ 11,017	7.2 %
GENERAL CONSTRUCTION	\$ 10,750,000	\$ 91,102	59.5 %
FF&E + OS&E	\$ 2,980,000	\$ 25,254	16.5 %
MARRIOTT LICENSE FEE	\$ 75,000	\$ 636	0.4 %
INTEREST + CLOSING COSTS	\$ 500,000	\$ 4,237	2.8 %
PRE-OPENING EXPENSES	\$ 150,000	\$ 1,271	0.8 %
CONTINGENCY	\$ 500,000	\$ 4,237	2.8 %
TOTAL PROJECT BUDGET	\$ 18,055,000	\$ 153,008	100%

COURTYARD®

BY MARRIOTT

3-YEAR PRO FORMA	YEAR 1	YEAR 2	YEAR 3
Occupancy	72.30 %	75.60 %	76.60 %
ADR	\$129.67	\$133.73	\$137.92
RevPAR	\$93.75	\$101.10	\$108.41
Number of Rooms	125	125	125
Days in Period	365	365	365
Available Rooms	45,625	45,625	45,625
Occupied Rooms	32,987	34,493	35,862

REVENUE			
Rooms	\$ 4,277,424	\$ 4,612,749	\$ 4,946,087
F&B	\$ 744,912	\$ 880,912	\$ 1,000,100
Telecommunications	\$ 5,405	\$ 6,780	\$ 8,970
Other	\$ 12,278	\$ 14,567	\$ 15,679
TOTAL	\$ 5,040,019	\$ 5,515,008	\$ 5,970,836

DEPARTMENTAL EXPENSES			
Rooms	\$ 983,808	\$ 1,060,932	\$ 1,137,600
F&B	\$ 501,692	\$ 591,230	\$ 690,989
Telecommunications	\$ 6,756	\$ 7,540	\$ 8,190
TOTAL	\$ 1,492,256	\$ 1,669,702	\$ 1,836,779

GROSS OPERATING PROFIT	\$ 4,056,212	\$ 4,454,076	\$ 4,833,236
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UNDISTRIBUTED OPERATING EXPENSES			
Admin & General	\$ 299,420	\$ 348,000	\$ 350,890
Management Fees	\$ 151,201	\$ 165,450	\$ 179,125
Franchise Fees	\$ 554,402	\$ 606,651	\$ 656,792
Sales & Marketing	\$ 160,456	\$ 120,890	\$ 125,890
Utility Costs	\$ 256,645	\$ 276,765	\$ 296,765
Property Operation & Maintenance	\$ 171,097	\$ 184,510	\$ 197,843
TOTAL	\$ 1,693,221	\$ 1,702,266	\$ 1,807,306

HOUSE PROFIT	\$ 2,462,991	\$ 2,751,810	\$ 3,025,930
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FIXED EXPENSES			
Insurance	\$ 43,980	\$ 43,980	\$ 45,980
Property Taxes	\$ 250,790	\$ 265,790	\$ 270,000
FF&E Replacement	\$ 201,601	\$ 220,600	\$ 238,833
Loan Payment	\$ 669,300	\$ 669,300	\$ 669,300
TOTAL	\$ 1,166,671	\$ 1,199,670	\$ 1,224,113

NET OPERATING INCOME	\$ 1,297,320	\$ 1,552,139	\$ 1,801,817
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Residence IN.

BY MARRIOTT

3-YEAR PRO FORMA	YEAR 1	YEAR 2	YEAR 3
Occupancy	73.60 %	76.60 %	78.60 %
ADR	\$129.67	\$135.73	\$141.92
RevPAR	\$95.44	\$103.97	\$111.55
Number of Rooms	118	118	118
Days in Period	365	365	365
Available Rooms	43,070	43,070	43,070
Occupied Rooms	31,700	32,992	33,854

REVENUE			
Rooms	\$ 4,110,539	\$ 4,478,004	\$ 4,804,560
F&B	\$ 0	\$ 0	\$ 0
Telecommunications	\$ 4,405	\$ 5,780	\$ 6,970
Other	\$ 12,278	\$ 14,567	\$ 15,679
TOTAL	\$ 4,127,222	\$ 4,498,351	\$ 4,827,209

DEPARTMENTAL EXPENSES			
Rooms	\$ 822,108	\$ 895,601	\$ 960,912
F&B	\$ 4,500	\$ 5,000	\$ 7,000
Telecommunications	\$ 6,756	\$ 7,540	\$ 8,190
TOTAL	\$ 833,364	\$ 908,141	\$ 976,102

GROSS OPERATING PROFIT	\$ 3,305,114	\$ 3,602,750	\$ 3,866,297
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UNDISTRIBUTED OPERATING EXPENSES			
Admin & General	\$ 205,527	\$ 223,900	\$ 240,228
Management Fees	\$ 123,817	\$ 134,951	\$ 144,816
Franchise Fees	\$ 453,994	\$ 494,819	\$ 530,993
Sales & Marketing	\$ 123,316	\$ 134,340	\$ 144,137
Utility Costs	\$ 246,632	\$ 268,680	\$ 288,274
Property Operation & Maintenance	\$ 123,316	\$ 134,340	\$ 144,137
TOTAL	\$ 1,276,603	\$ 1,391,030	\$ 1,492,584

HOUSE PROFIT	\$ 2,028,511	\$ 2,211,720	\$ 2,373,712
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FIXED EXPENSES			
Insurance	\$ 50,980	\$ 51,980	\$ 52,980
Property Taxes	\$ 250,790	\$ 265,790	\$ 270,000
FF&E Replacement	\$ 165,089	\$ 179,934	\$ 193,088
Loan Payment	\$ 663,300	\$ 663,300	\$ 663,300
TOTAL	\$ 1,130,169	\$ 1,161,004	\$ 1,179,368

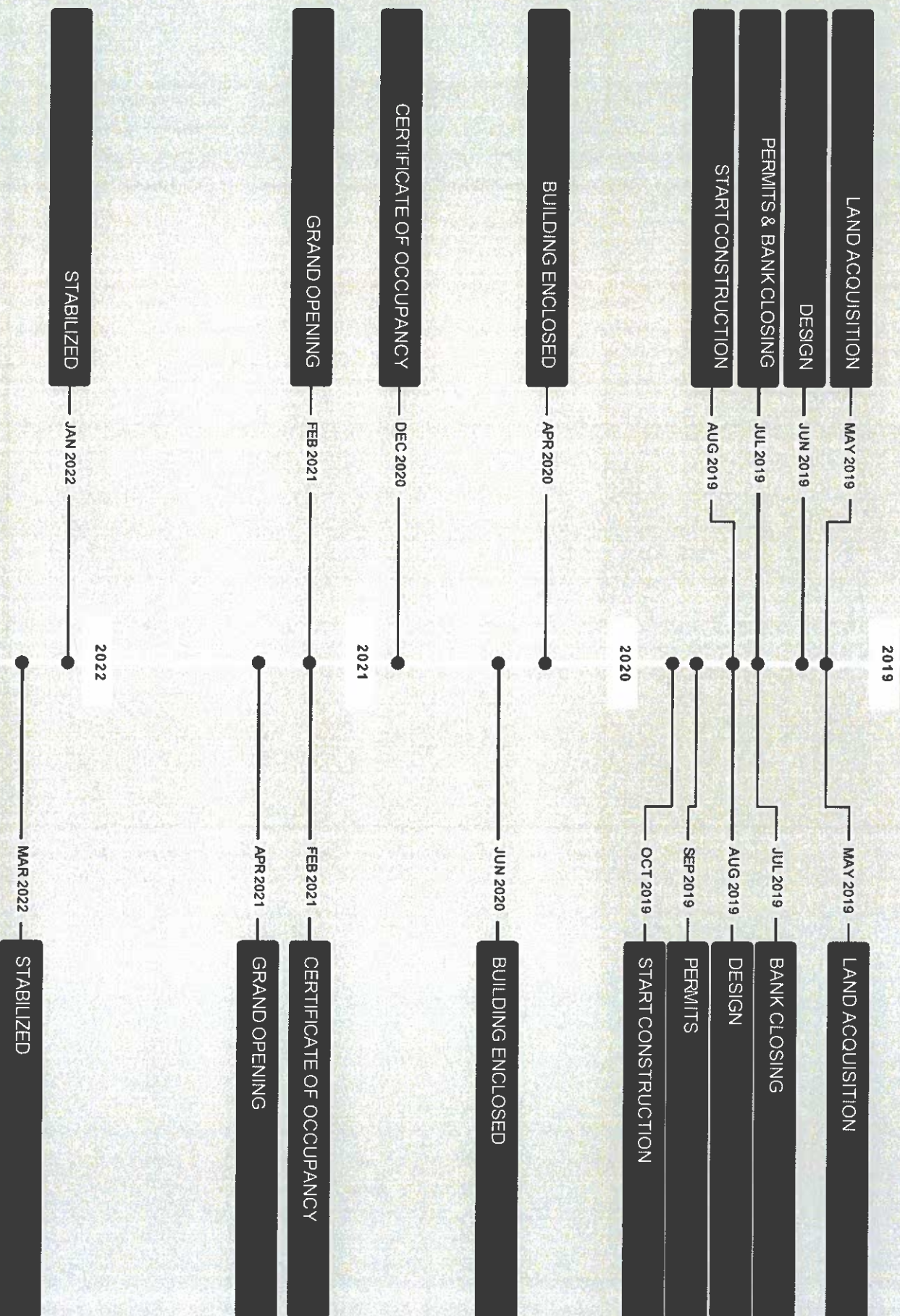
NET OPERATING INCOME	\$ 898,353	\$ 1,050,716	\$ 1,194,344
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COURTYARD[®]

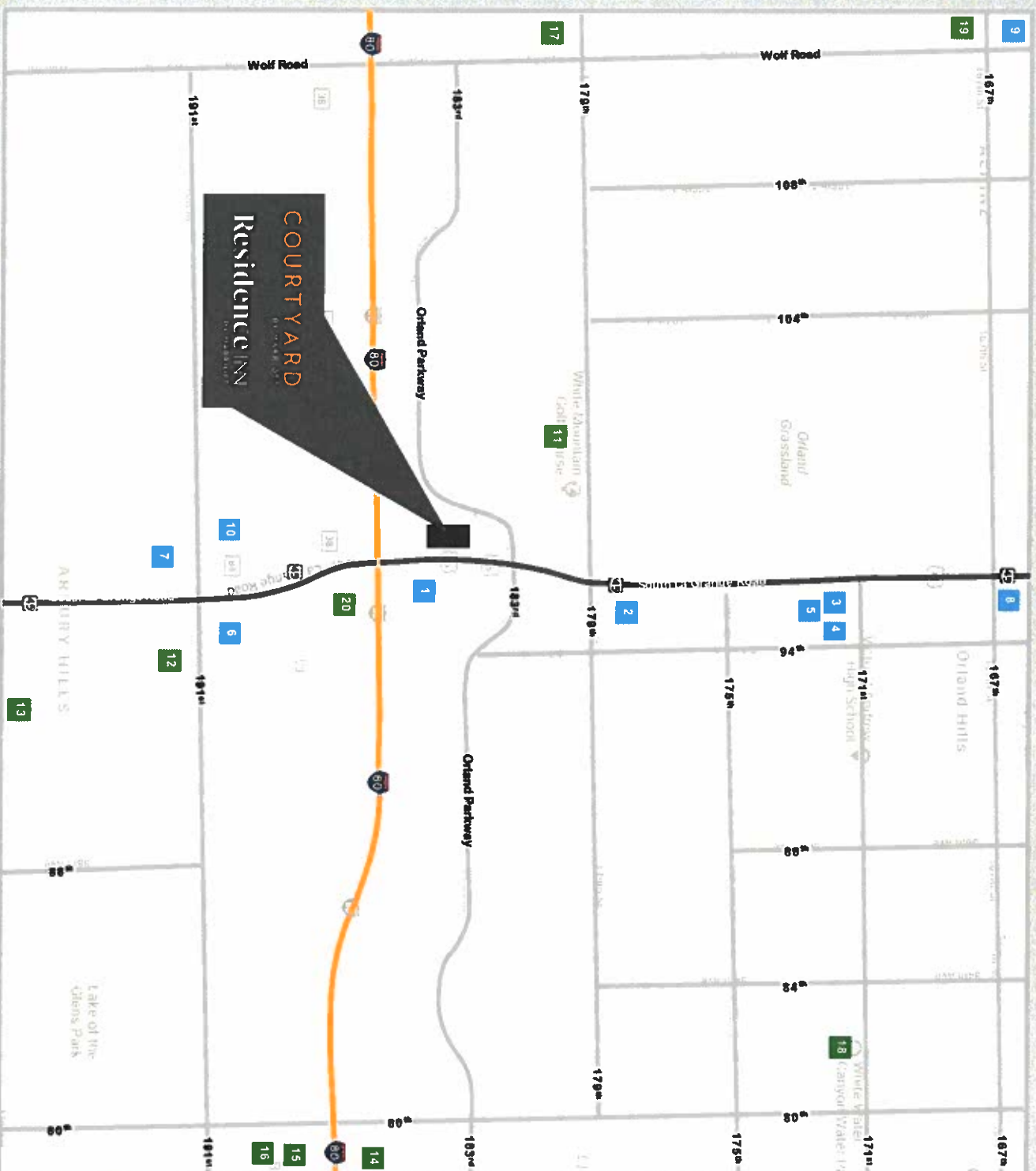
BY MARRIOTT

Residence IN[®]

BY MARRIOTT



TINLEY PARK, IL



RESTAURANTS

- 1 Texas Roadhouse
- 2 Saigon Restaurant
- 3 Lou Malnati's Pizzeria
- 4 Tribes Alehouse & Grill
- 5 Frankie's Ristorante
- 6 DOC's Smokehouse & Craft Beer
- 7 Mr. Benny's Steak & Lobster
- 8 Ottimo
- 9 Q Restaurant
- 10 Legends Bar & Grill

BANQUETS & ATTRACTIONS

- 11 White Mountain Golf Course
- 12 Tuscan Falls Banquets
- 13 Frankfort Township Event Centre
- 14 Tinley Park Convention Center
- 15 The Odyssey Venue
- 16 Hollywood Casino Amphitheatre
- 17 Psych Escape Room
- 18 White Water Canyon WaterPark
- 19 Sportsplex
- 20 Thunder Bowl

Residence IN.

BY MARRIOTT

COURTYARD

BY MARRIOTT

Marriott's largest brand by distribution, Courtyard® has a legacy of impressive performance that includes consistent delivery of high returns and solid RevPAR to owners. Courtyard owners also benefit from Marriott's robust demand generation engine that drives top-line revenue while maximizing bottom-line savings.

Courtyard has long led the industry when it comes to meeting the needs of the modern business traveler. Since breaking into the market 35 years ago as a brand built for business, Courtyard has continuously evolved, pushing the boundaries of design, style and service in the upscale category.

Courtyard has introduced game-changing amenities like The Bistro—a leading fast casual restaurant and collaborative lobby spaces. With a new, more flexible prototype that fits a wide range of site needs and the largest global rooms pipeline in the Marriott portfolio, Courtyard is poised to deliver owners even greater success in the future.

FRANCHISE HOTEL PERFORMANCE*

Average Occupancy Rate:



Average Daily Room Rate: \$138.31



Average RevPAR: \$101.54

Average RevPAR Index: 110.2



Loyal Customer Base:



Marriott Rewards® Member Paid Nights represent 55.9% of total Courtyard Nights



Lower Cost Bookings: Marriott's channels generate 69.7% of Courtyard's reservations



EXTERIOR

- Arrival experience includes an optional porte-cochere and enhanced lighting.
- Modern exterior offers color and material options adaptable to your location.



LOBBY

- The newly designed lobby lounge focuses on an elevated evening experience with special seating options to work or relax.
- The Bistro, provides guests the opportunity to expand their horizons through fresh, seasonal menu items for breakfast and dinner, signature crafted cocktails, and wine tasting opportunities.
- An extension of the lobby, the Bistro Terrace, features a community fire pit and upgraded outdoor seating area.
- The 24/7 Market offers "grab and go" options, creating additional revenue opportunities for the property.
- The décor package, C'nergy, provides a more flexible set of color palette options for the lobby and creates cohesiveness with the guest room décor.



GUEST ROOMS

- The smartly designed room features a luggage drop, tech drop to charge and store your electronics, a hospitality cabinet, movable workspace and outlets where most needed. Guests also enjoy the LoungeAround™ sofa which offers a modern way of working and relaxing.
- Other guest room amenities include a 42" inch flat-panel television, in-room refrigerator and an optional microwave.
- The spacious, upgraded bathroom features an integrated walk-in shower.
- The décor package, C'nergy, features tone-on-tone décor with subtle color accents to differentiate the relaxation areas from the rejuvenation areas.



OTHER AMENITIES

- Expansive, redesigned fitness experience: 1,000 square feet of appropriate space for cardio, stretching and strength activities.
- Optional indoor or outdoor pool.
- Scalable meeting space options to meet the demands of your market.



SOCIALIZE



DINE + DRINK



RELAX



BUSINESS CENTER



FITNESS & POOL



WIFI CONNECT

Residence INN

BY MARRIOTT

Residence Inn by Marriott invented and continues to define the Extended Stay lodging category in North America. With over 760 locations worldwide and twice the footprint of its next largest competitor, Residence Inn's high awareness brings huge occupancy premiums and legendary RevPAR Index compared to the category.

Approximately one third of all business travel room nights are part of an 'extended stay.' With its unique culture and service model that recognizes the different needs of long-stay guests, Residence Inn® is optimally positioned to serve this large market segment. The latest prototype evolves the guest suite by expanding the bathroom and re-orienting the living, working, cooking and dining spaces. A fresh new décor package provides contemporary appeal, while a new bar option creates additional revenue opportunities.

Building on its solid performance record and powered by Marriott's peerless sales, marketing and operations engine, Residence Inn is primed to extend its leadership throughout Central America, Europe and the Middle East.

② franchise hotel performance*

Average Occupancy Rate: 79.3% 1.1

Average Extended Stay Occupancy: 70.3% 1.1

Average Daily Room Rate: \$144.00

Average RevPAR: \$114.25

Average Extended Stay RevPAR: \$56.41

Average RevPAR Index: 119.3

Loyal Customer Base:

Marriott Rewards® Member Paid Nights represent 60.5% of total Residence Inn Nights

Lower Cost Bookings:

Marriott's channels generate 69.8% of Residence Inn's reservations



guest suite

- Spacious suites offer zones for working, relaxing, eating and sleeping.
- Every suite features a fully equipped kitchen with full-sized refrigerator, stove, microwave, dishwasher and coffeemaker for preparing meals.
- A redesigned desk, located by the window offers natural light and room to spread out.
- A separate dressing area offers an innovative luggage landing zone.
- A large, one-compartment bathroom with a six-foot walk-in shower creates a spacious upscale feel.
- Neuhaus, the new décor package, features 4 different options to furnish and finish combinations.

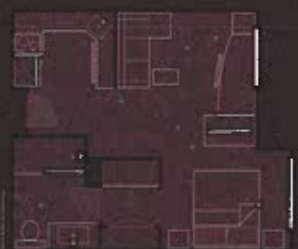
public areas

- Flexible seating options offer the choice to connect or just hang out.
- Complimentary hot breakfast with healthy and indulgent options.
- The outdoor living room with a fire pit and high-end grill offer shared social spaces.
- A bar option is encouraged, if supported by the market, with programming to help maximize profitability.
- The décor package, Neuhaus, features contemporary updates.
- The 24/7 Market offers "grab and go" items and creates additional revenue opportunities for the property.

other amenities

- The Residence Inn Mix™ evening events offer guests an engaging environment to relax with a complimentary offering of premium beer and wine while connecting with others over small bites and local area flavors
- An enhanced fitness center equipped with televisions and a pool allow guests to keep fit while away from home. Residence Inn Runs, a partnership with Under Armour's Map My Fitness app, maps local routes to allow guests to run like a local during their stay.
- Scalable meeting space options to meet the demands of your market.
- On-site laundry offers an added convenience to extended stay guests.





STUDIO

Approximate square feet: 450
 Studio features a full kitchen with refrigerator, stove, microwave, and coffee maker. It also includes a living area with a sofa and a bedroom with a queen bed. The unit is fully furnished and ready for occupancy.

1 BEDROOM

- Average 545 sq ft
- Sleeps 1-4 people
- Spacious living room with sofa bed
- Full kitchen with refrigerator, stove, microwave, and coffee maker
- In-unit washer and dryer
- Fully equipped bathroom with separate shower and tub
- Hardwood floors throughout
- Central air conditioning and heating
- Pet friendly
- 2 bedrooms



2 BEDROOM

Approximate square feet: 750
 2 Bedroom features a full kitchen with refrigerator, stove, microwave, and coffee maker. It also includes a living area with a sofa and two bedrooms, each with a queen bed. The unit is fully furnished and ready for occupancy.



PENTHOUSE

- Average 1,200 sq ft
- Sleeps 6-8 people
- Spacious living room with sofa bed
- Full kitchen with refrigerator, stove, microwave, and coffee maker
- In-unit washer and dryer
- Fully equipped bathroom with separate shower and tub
- Hardwood floors throughout
- Central air conditioning and heating
- Pet friendly
- 3 bedrooms



LIVE

- Spacious studio, one and two bedroom suites
- Fully equipped in-suite kitchens with full-sized refrigerator, stove, microwave and coffeemaker
- Free grocery delivery

- Convenient 24-hour market
- Dry cleaning and on-site laundry
- Complimentary Paul Mitchell® products

WORK

- Free Wi-Fi in all suites and lobbies
- Private meeting spaces for events and family gatherings

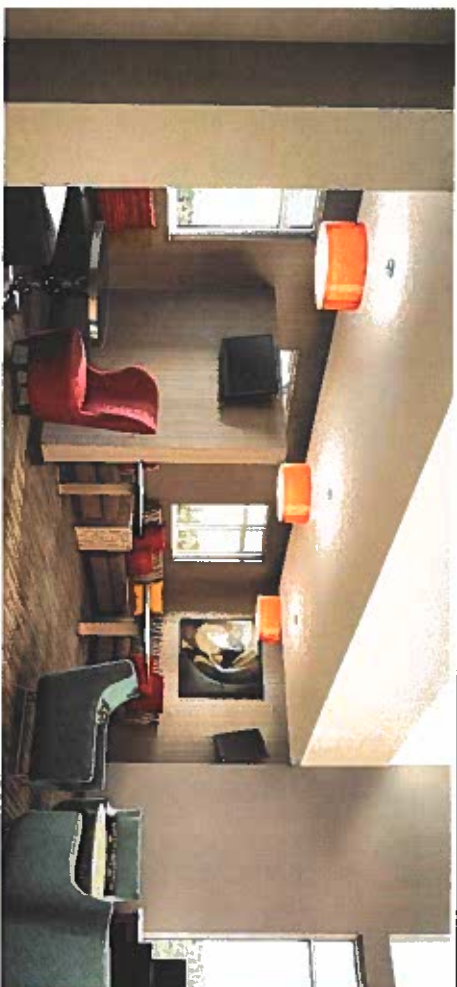
- Business center services including free Wi-Fi and access to computers, printers, and fax

RELAX

- Discover the Residence Inn Mix >
- Free daily hot breakfast which rotates a wide selection of healthy choices
- Lower rates for longer stays
- Refreshing pools

- Fitness center equipped with TVs
- Modern lobby to relax outside your suite
- Outdoor spaces with barbeque and fire pits
- Pet accepted*

*Additional fees apply, see your hotel for details



Key Strengths



**Enormous
project management &
hospitality experience**



**Disciplined, organized &
calculated risk taker with
responsibility to the investor**



**Contacts & relationships
across the hotel sector
& building divisions**



**Negotiating experience with
contractors, franchisor,
partners & vendors**

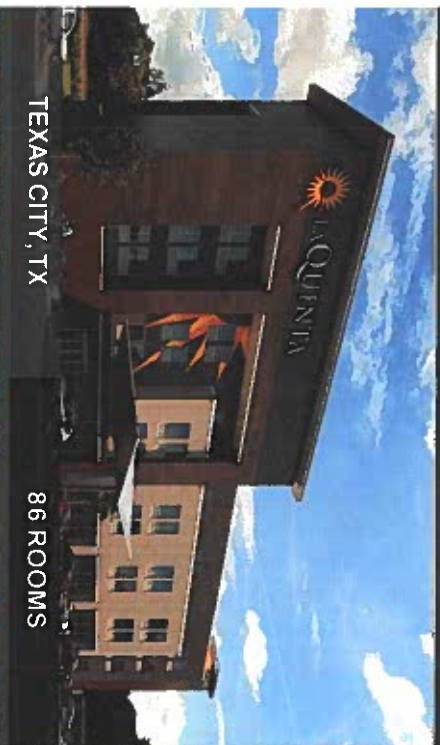


**Extensive knowledge of
product, equipment & current
market trends**



**Extensive development
experience in hospitality
sector within multiple brands**

Under Development & Construction

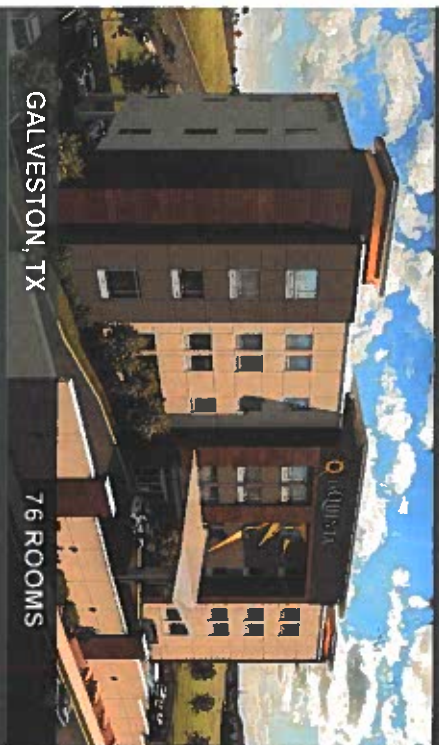


TEXAS CITY, TX

86 ROOMS

LaQuinta Del Sol

OPENING 2019



GALVESTON, TX

76 ROOMS

LaQuinta Inn & Suites

OPENING 2020



WAUKEGAN, IL

102 ROOMS

Home2 Suites by Hilton

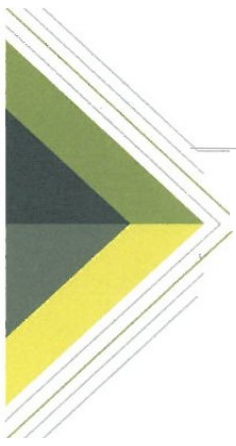
OPENING 2021

Budget
Courtyard Marriott - Tinley Park

Budget
Residence Inn - Marriott - Tinley Park

Item	Amount	Item	Amount
Land	\$1,200,000	Land	\$1,800,000
Architect and Interior Design	\$250,000	Architect and Interior Design	\$250,000
Development Fee	\$500,000	Development Fee	\$500,000
Marriott Lisence Fee	\$75,000	Marriott Lisence Fee	\$75,000
Construction Permits	\$200,000	Construction Permits	\$175,000
IEPA Permit	\$125,000	IEPA Permit	\$125,000
Civil Engineer	\$60,000	Civil Engineer	\$60,000
Testing and Survey	\$20,000	Testing and Survey	\$20,000
Hard Constrcution Cost	\$9,100,000	Hard Constrcution Cost	\$9,000,000
FF&E	\$1,900,000	FF&E	\$2,400,000
Exterior Signage	\$125,000	Exterior Signage	\$125,000
Interior Signage	\$45,000	Interior Signage	\$45,000
Door Locks	\$75,000	Door Locks	\$60,000
Landsacping	\$50,000	Landsacping	\$50,000
OS&E	\$200,000	OS&E	\$200,000
Laundry Equipment	\$75,000	Laundry Equipment	\$75,000
Kitchen/Bar Equipment	\$175,000	Kitchen/Bar Equipment	\$50,000
PMS	\$75,000	PMS	\$75,000
POS	\$35,000	POS	\$35,000
Banquet	\$100,000	Banquet	\$0
IT - Wifi/phones/security	\$250,000	IT - Wifi/phones/security	\$250,000
Tvs	\$120,000	Tvs	\$120,000
TV provider	\$50,000	TV provider	\$50,000
Pre Opening	\$250,000	Pre Opening	\$150,000
Interest	\$500,000	Interest	\$500,000
Contingency	\$500,000	Contingency	\$500,000
Total	\$16,055,000	Total	\$16,690,000

Total Project Cost	\$32,745,000
---------------------------	---------------------



ADVANTAGE

CONSULTING ENGINEERS

February 27, 2020

Daniel Ritter, AICP
Village of Tinley Park
16250 South Oak Park Avenue
Tinley Park, Illinois 60477

New Horizon Hotels Tinley Park, Illinois (ACE # 18-036)

Dear Dan:

We received your comment via email dated February 21, 2020 for the above mention development. Our responses to your comments area listed below:

1. Courtyard Materials - A minimum of 50% face brick should continue to be utilized. However, look at alternative materials to utilize on the exterior of Courtyard. Fiber cement siding is an odd look but utilizing fiber cement panels or concrete panels work as well and give the building a more modern look. Alternatively, utilizing a different type of brick or stone can work. Some stucco can be acceptable, however the use of it should be somewhat limited.

Minimum 50% face brick has been maintained. The Courtyard will not use Fiber Cement Siding, the proposed Nichiha Illumination Panel is a rainscreen system using fiber cement panels. This system does not have the lap siding look but rather a metal panel type look.

2. Courtyard Design - The overall look and design of the Courtyard building was not preferred. It does appear to have a boxy and harsh look. This has been a comment staff has supplied in each of the last two review letters. Look to make changes in building material and additional articulation above the first floor of the building. Better use of different materials, colors, windows, façade breaks and vertical elements (see Olathe, KS example). I have also attached an example of the recently approved Holiday Inn as an example of a building that had similar issues.

Further development of the exterior design has been done by wrapping the full height glazing on the site entry stair tower around the front elevation as well as a brick tower over the main entry. Brick on the end elevation facing the main site entry has also been increased to improve proportions. Cornices have also been provided at all parapets. See response to comment #1 above regarding materials.

3. Basketball Court - The Plan Commission had concerns about the location and design of the outdoor basketball court. If the basketball court is going to work, it would need to be moved to another location. Alternatively, we suggest looking at other options that don't include bouncing balls that are likely to leave the enclosed space. Another activity could utilize a more attractive fencing type rather than a brick wall and chain-link fencing.

Marriott has approved the use of life-size games in the area formerly shown as a basketball court. This area is under development but will likely provide a mix of concrete paving and grass to support the games that will be chosen. No games will be chosen that include opportunity for balls or similar items to occasionally enter the parking area. A 4' tall brick wall has been provided to enclose the space and mask views of the gaming area from the entry drive and parking area.

4. Banquet Parking - The parking-related with the banquet area was not previously addressed and was assumed as an amenity of the hotel. As discussed at the meeting though, this does function as an additional use. Our parking requirements would require 25 parking stalls for the banquet use (1 stall per 200 sq. ft.) We can be flexible with the parking, but this was a Plan Commission concern. If you think parking will work as proposed, we would recommend requesting the Parking Variation be conditioned on "land banking" parking on the area that is south of the Residence Inn (area not in the wetland). You can show a couple of land banked rows of parking (usually shown as lighter or dotted lines). This would only have to be built if it was determined that there was not enough parking for the hotels and banquet use after construction.

Often hotel meeting rooms are used during the day when hotel guest parking is at it's lowest. Also typical occupancy is not 100% so if it were say 80% and parking is 1:1 then there would enough parking spaces be available on a standard day. Also meeting guests could also be hotel guests and there likely are very few instances when the entire hotel will be full and a meeting will be held that would cause a parking issue. If the parking issue occurs frequently, the anticipated land banking parking spaces will be added.

Site Plan, Parking, Signs, etc.

5. Revise plans to indicate all proposed structure setbacks from the lot lines.

All proposed setbacks from lot lines are added.

6. Revise plans to indicate locations of traffic control signage and striping.

Traffic control signs and striping added on site plan

7. Revised ground/monument sign drawings.

Monument signs have been reduced in size to meet requirements

8. Indicate the ground sign setback on the plans.

The ground sign setback of 5 feet added to site plan.

9. Revise the site plan parking counts.

The parking count listed on site plan is updated.

10. Landscaping

- a. Add canopy trees to the two internal islands located between the hotel buildings.
- b. Add shrubs and landscaping around the proposed outdoor activity area.

Canopy trees in these islands conflict with a flag location and a light pole location. We have added labels for clarity. By "outdoor activity area" we are assuming you are referencing the basketball court area of the Residence Inn. We have added a row of arborvitae to west side and a row of upright ornamental grasses to the narrow strip along the north.

Plat of Subdivision

11. Relocate the sign easement to the newly purposed location in the island.

Sign easement is relocated to new location in island

12. Add sign easement language.

Sign easement language is added.

13. The Public Utility and Drainage (P.U. & D.) easement location should be labeled as such on the plat.

The PUDE labels are added.

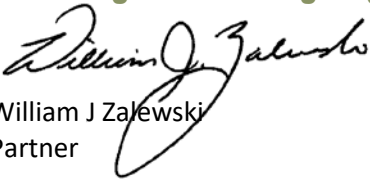
14. The cross-parking easement language was not included on the plat (may be easiest just to include with the cross-access easement language).

The cross-parking easement language added within ingress-egress easement provisions.

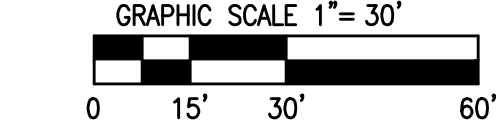
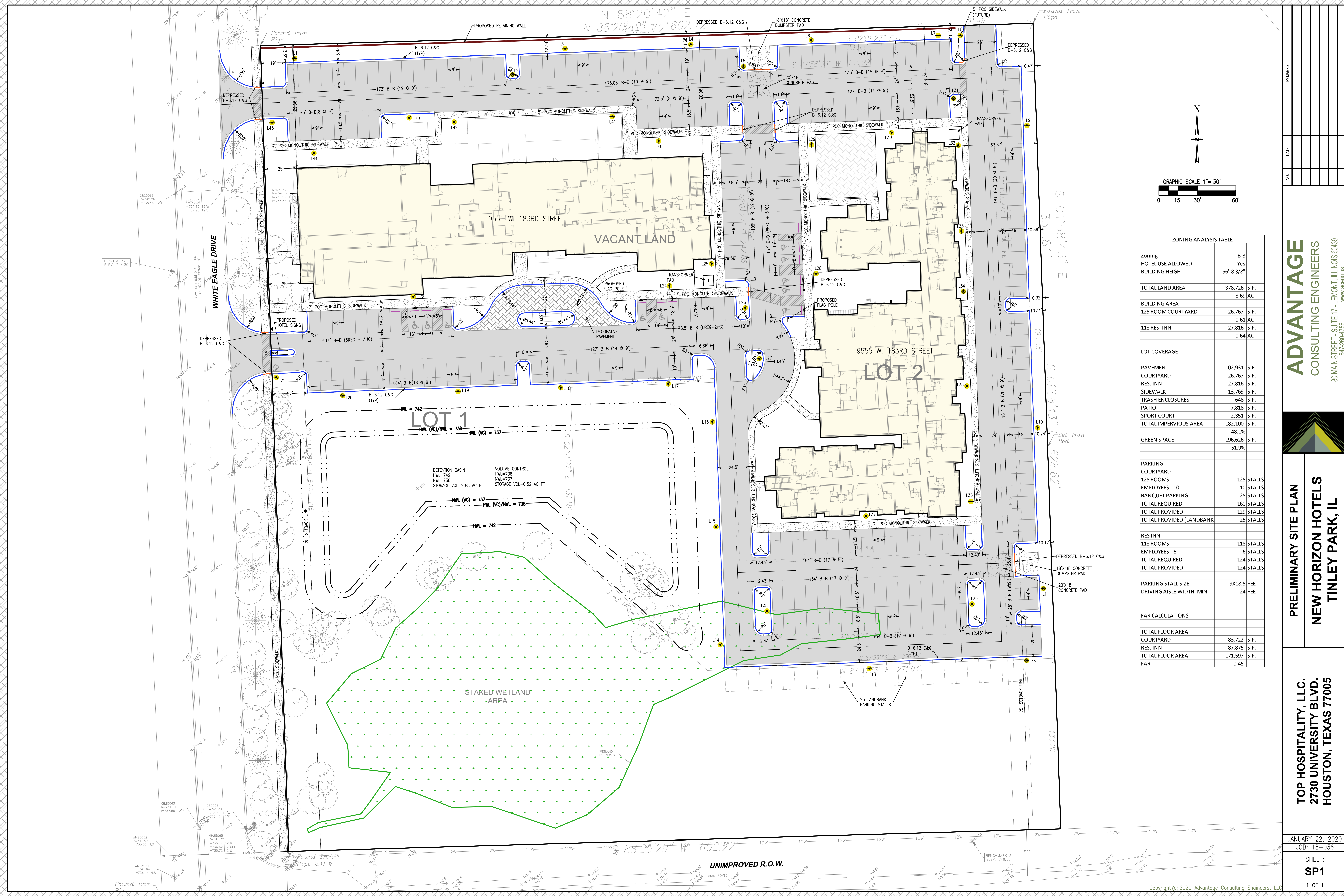
If you should have any questions regarding our responses please do not hesitate to contact our office at 847-260-4758.

Very Truly Yours,

Advantage Consulting Engineers



William J Zalewski
Partner



ZONING ANALYSIS TABLE	
Zoning	B-3
HOTEL USE ALLOWED	Yes
BUILDING HEIGHT	56'-8 3/8"
TOTAL LAND AREA	378,726 S.F. 8.69 AC
BUILDING AREA	
125 ROOM COURTYARD	26,767 S.F. 0.61 AC
118 RES. INN	27,816 S.F. 0.64 AC
LOT COVERAGE	
PAVEMENT	102,931 S.F.
COURTYARD	26,767 S.F.
RES. INN	27,816 S.F.
SIDEWALK	13,769 S.F.
TRASH ENCLOSURES	648 S.F.
PATIO	7,818 S.F.
SPORT COURT	2,351 S.F.
TOTAL IMPERVIOUS AREA	182,100 S.F. 48.1%
GREEN SPACE	196,626 S.F. 51.9%
PARKING	
COURTYARD	
125 ROOMS	125 STALLS
EMPLOYEES - 10	10 STALLS
BANQUET PARKING	25 STALLS
TOTAL REQUIRED	160 STALLS
TOTAL PROVIDED	129 STALLS
TOTAL PROVIDED (LANOBANK)	25 STALLS
RES INN	
118 ROOMS	118 STALLS
EMPLOYEES - 6	6 STALLS
TOTAL REQUIRED	124 STALLS
TOTAL PROVIDED	124 STALLS
PARKING STALL SIZE	9X18.5 FEET
DRIVING AISLE WIDTH, MIN	24 FEET
FAR CALCULATIONS	
TOTAL FLOOR AREA	
COURTYARD	83,722 S.F.
RES. INN	87,875 S.F.
TOTAL FLOOR AREA	171,597 S.F.
FAR	0.45

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
631-260-7758 WWW.ADVANTAGE-IL.COM

PRELIMINARY SITE PLAN
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005

JANUARY 22, 2020
JOB: 18-036
SHEET:
SP1
1 OF 1



Contractors shall send all bidding questions and RFIs to the general contractor. The GC shall then forward inquiries to the appointed Base4 Construction Administration Project Manager, who will be introduced at the beginning of bidding and construction phase. Please reference the project number and project title in your email subject line to ensure that your request is forwarded to the proper team.

OWNER:
Kris Patel/ Krishna Gandhi (HOS Management)
kris.patel@hosmanagement.com/
krishan@hosmanagement.com
1000 Towne Center Blvd. Suite 503, Pooler,
GA 31322
T: 912.604.7824 / F: 912.344.4705

ARCHITECT CONTACT:
BASE4
Rick Muniz
+1 954.812.6650
rickm@base-4.com

STRUCTURAL CONTACT:
BASE4
Adam J Ginsburg, PE, SSECB
(561) 206-4469
adamg@base-4.com

MEP CONTACT:
BASE4
Garry Vermaas, PhD, PE
(615) 613-3605
garryv@base-4.com

CIVIL ENGINEER CONTACT:
Kevin M Berry, PE, LEED AP
(843) 881-0525
(843) 224-2250
berryk@earthsourceeng.com

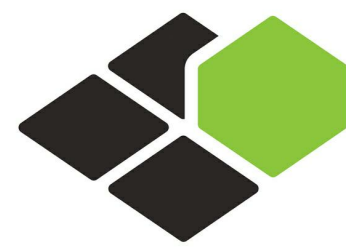
INTERIOR DESIGN CONTACT:
BASE4
Luci and Lindsey
lucil@base-4.com
lindseyb@base-4.com
1.888.901.8008
Savannah, Georgia, USA

REPI/SC CONTACT:
Wilkes Evans (Piedmont Construction Group)
478.405.8907 - O | 478.951.2881 - C |
478.314.3434 - D
107 Gateway Dr., Ste. B | Macon, GA 31210
wevans@piedmontconstructiongroup.com

COURTYARD

BY MARRIOTT

MARRIOT PROJECT NO: 10837
COURTYARD MARRIOTT, TINLEY PARK, IL
BASE4 PROJECT NO : B4-157-1801
DECOR PACKAGE : Gen 6.0 CYenergy design schemes
MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND
RESIDENCE INN) - 9551 & 9555 183rd STREET



BASE⁴

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP
Hospitality**
143 Wheeling Road
Wheeling IL 60090
312 404 6735

COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,
REVISION DATE: 2019.08.24

ID	ISSUED	DESCRIPTION
AO	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

**ISSUED FOR PC STAFF
REVIEW**

CURRENT ISSUE DATE
2020.01.22

DRAWN BY
RC

CHECKED BY
RB/DDP

PROJECT NO.
B4-157-1801

SHEET NAME

TITLE SHEET

DRAWINGS NO.

G-000

COURTYARD MARRIOTT

<p>LOCATION</p> <p>MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND RESIDENCE INN) - 9551 & 9555 183rd STREET</p>



BUILDING STORIES	4 STORIES
BUILDING HEIGHT LIMITATIONS	75'-0"
SITE ACERAGE	2,69 ACRES

SHEET INDEX ARCH	
SHEET NUMBER	SHEET NAME

General:	
G-000	TITLE SHEET
G-001	SHEET INDEX
General: 2	
Architectural	
A-001	DUMPSITE/SITE DETAILS
A-002	MONUMENT SIGN DETAILS
A-010	PORTE COCHERE DETAILS
A-012A	OUTDOOR PATIO FLOOR PLANS
A-012B	OUTDOOR PATIO ELEVATIONS AND FIRE PIT DETAILS
A-012C	EXTERIOR COURTYARD LOGGIA/ TRELLIS
A-013A	BUILDING CANOPIES
A-013B	BUILDING CANOPY ELEVATIONS
A-013C	CANOPY PLAN AND ELEVATIONS
A-101	1ST FLOOR PLAN
A-102	2ND FLOOR PLAN
A-103	3RD FLOOR PLAN
A-104	4TH FLOOR PLAN
A-105	ROOF LEVEL PLAN
A-200	EXTERIOR ELEVATIONS-1
A-201	EXTERIOR ELEVATIONS-2
Architectural: 16	
Grand total: 18	

<p>Seal:</p> 	
<p>Owner:</p>	<p>TOP Hospitality</p> <p>143 Wheeling Road Wheeling IL 60090 312 404 6735</p>
<p>COURTYARD BY MARRIOTT</p> <p>TINLEY PARK, IL</p> <p>PROTOTYPE VERSION: GEN 6 REVISION DATE: 2018.08.24</p>	

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE	
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DRAWN BY RC

CHECKED BY RB/DDP

SHEET NAME

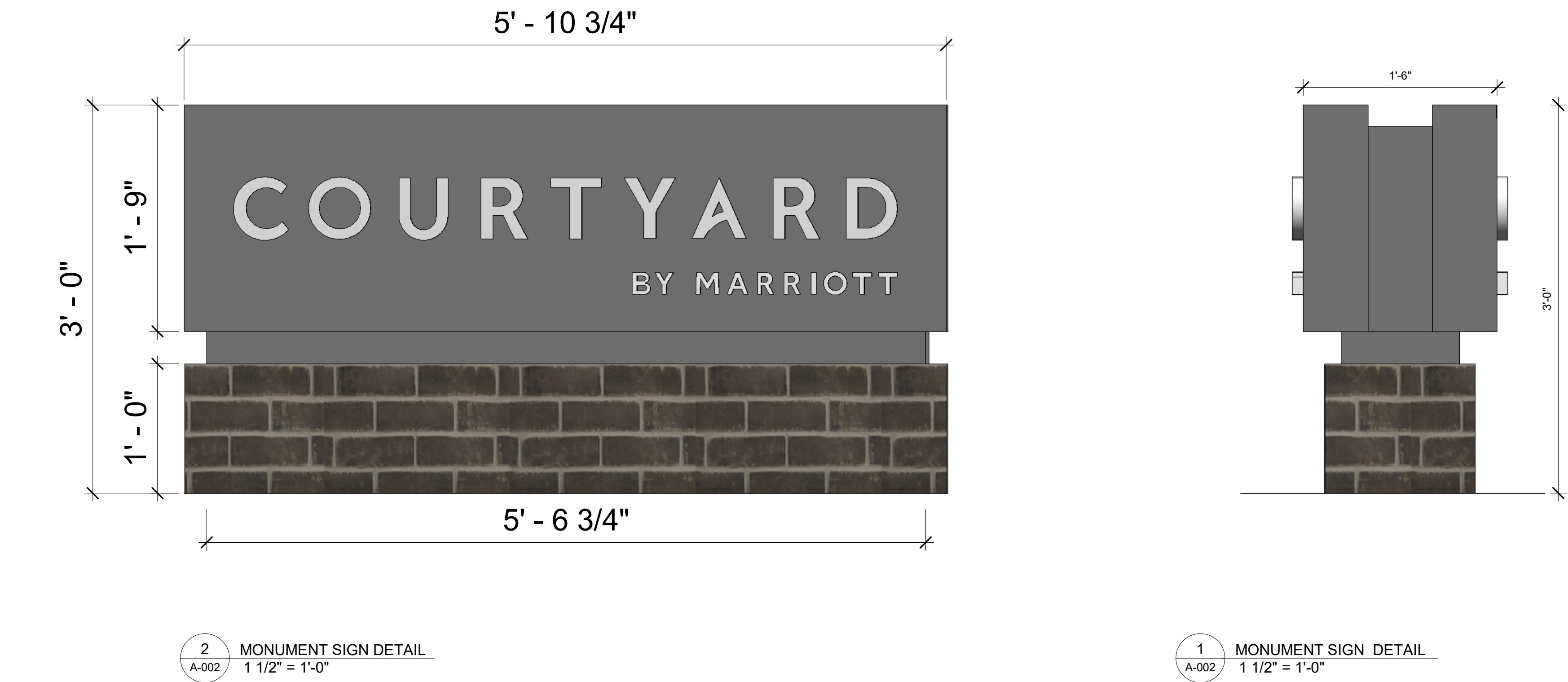
SHEET INDEX

DRAWINGS NO.

G-001

G-001

A-001



MONUMENT SPECIFICATIONS

Monument Specifications:
Construction: Aluminum angle frame with .125" aluminum shoe-box style faces
Face Construction: Routed aluminum with backer panel
Retainer: Bleed face
Illumination: GE White LED's
Exterior Finish: Paint Pantone® 426 C gray, satin finish, and Pantone® 877 C Silver, satin finish
Interior Finish: Paint reflective white

Monument Face Specifications:
Face Construction: Routed aluminum with backer panel
Face Decoration: Paint Pantone® 426 C gray, satin finish
Backer Panel: .118" white solar grade polycarbonate
* "Courtyard" and "Marriott" to appear white during the day and illuminate white at nighttime.

Pole Cover Specifications:
* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)
Construction: Aluminum angle frame with .080" aluminum skins
Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish

GENERAL NOTES-SITE PLAN

GENERAL NOTES:

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE COVER SHEET FOR CONTACT INFORMATION
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER. SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
- PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION
- G.C. TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES. ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWERS, SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL)
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADII
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

BASE4
2901 CLINT MOORE ROAD, #114
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+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:

Owner:
TOP Hospitality
143 Wheeling Road
Wheeling IL 80090
312 404 6735

COURTYARD
BY MARRIOTT
TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6;
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ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

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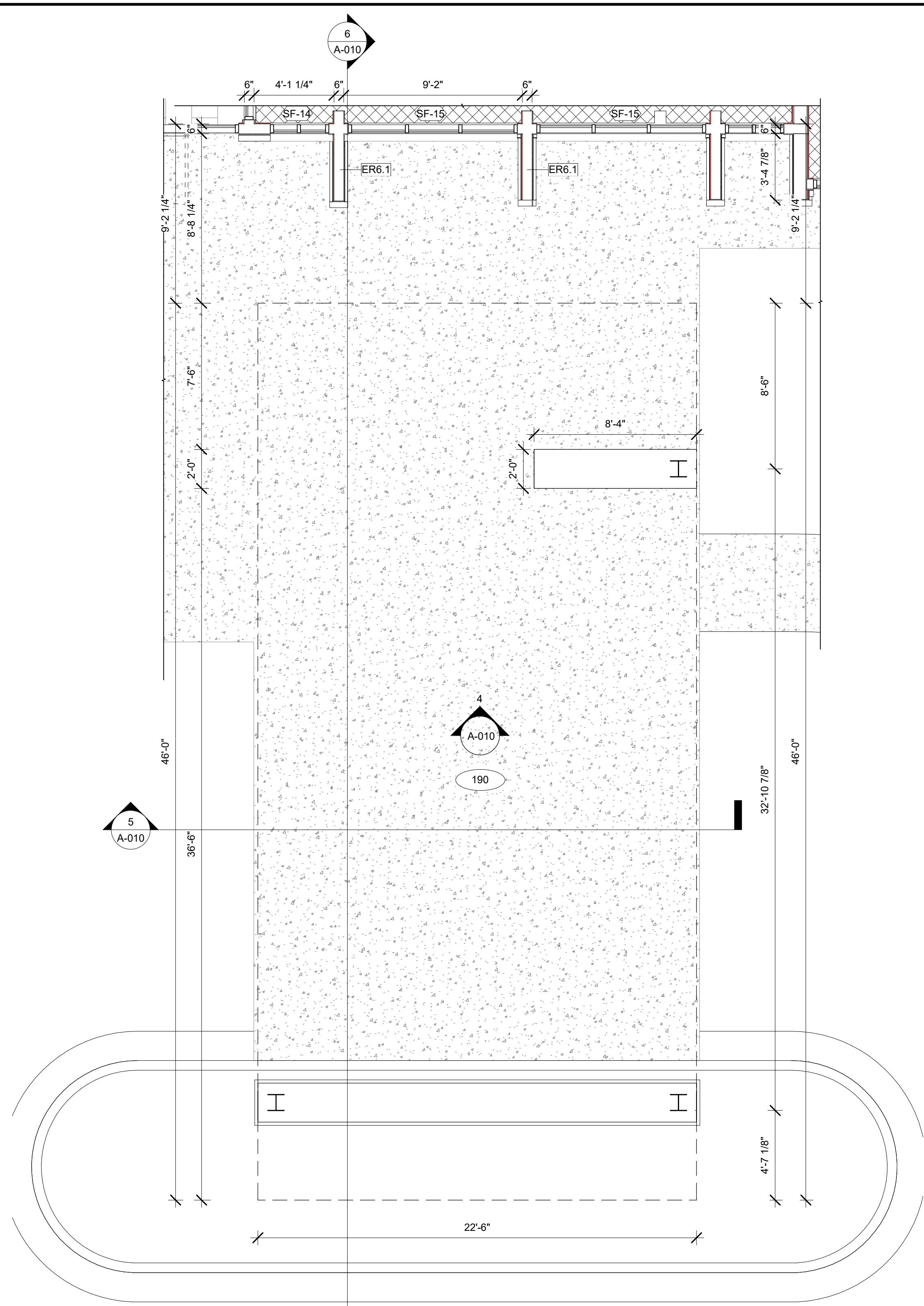
PROJECT NO.
B4-157-1801

SHEET NAME

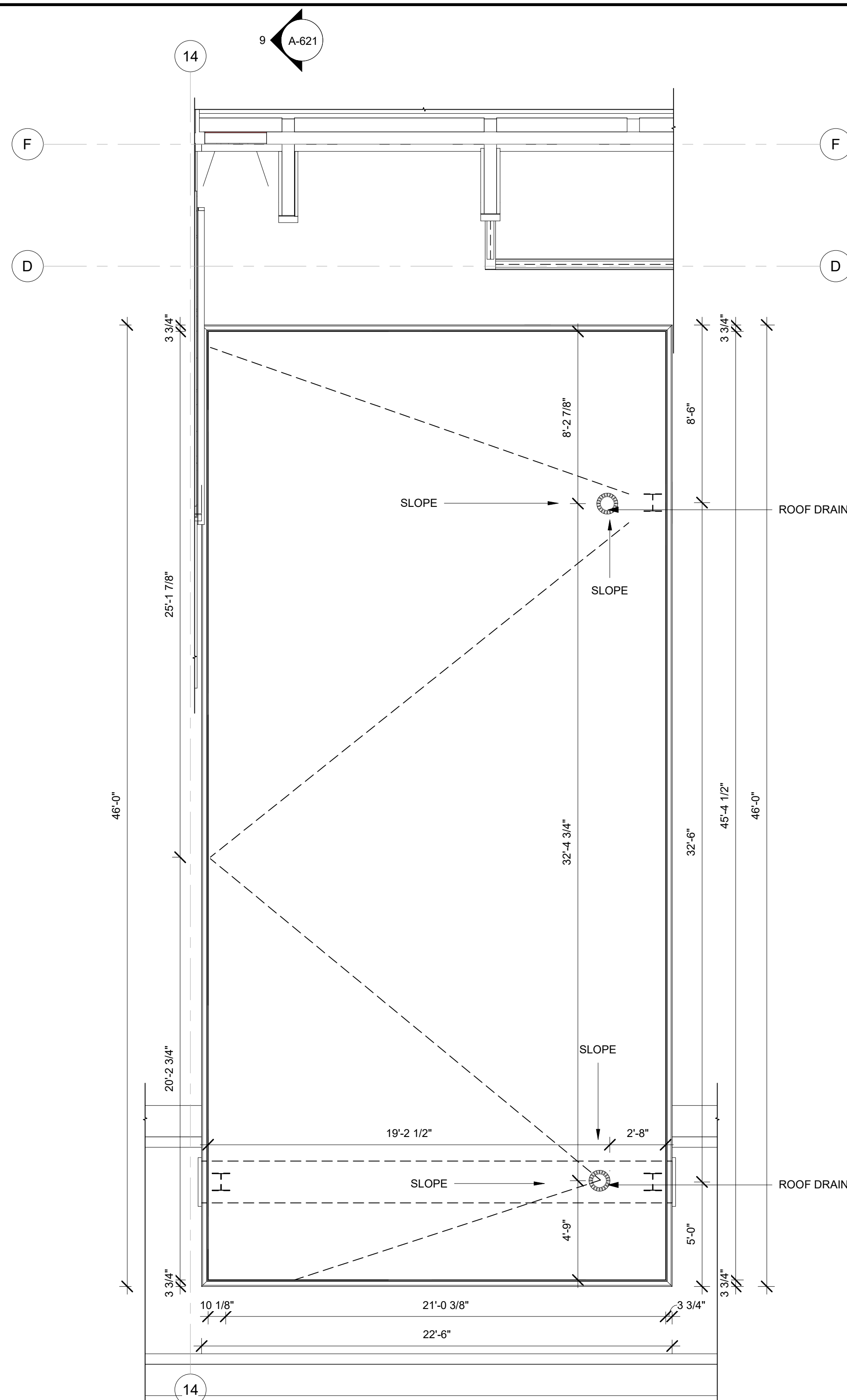
MONUMENT SIGN DETAIL

DRAWINGS NO.
A-002

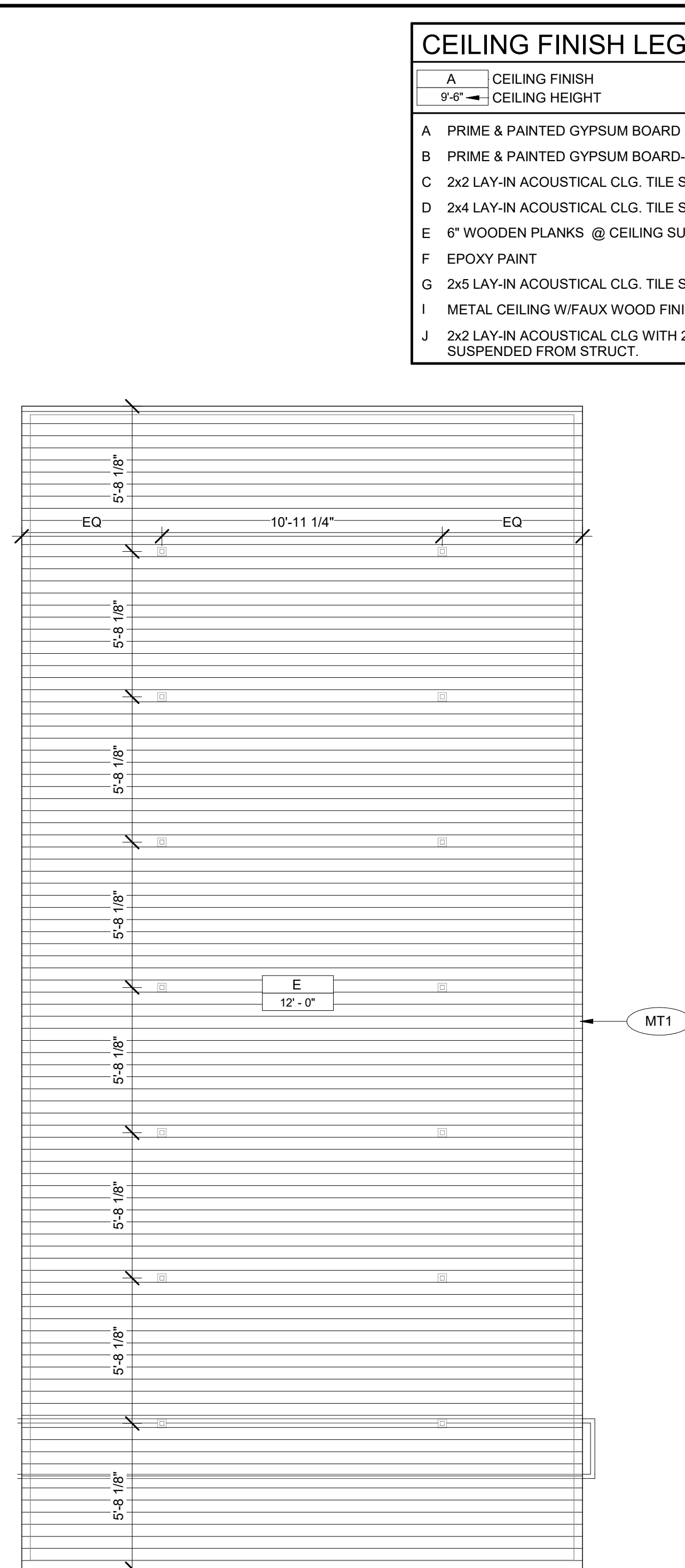
LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR : EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%



1 ENLARGED PORTE COCHERE - FLOOR PLAN
1/4" = 1'-0"



2 ENLARGED PORTE COCHERE - ROOF PLAN
1/4" = 1'-0"



3 ENLARGED PORTE COCHERE - RCP PLAN
1/4" = 1'-0"

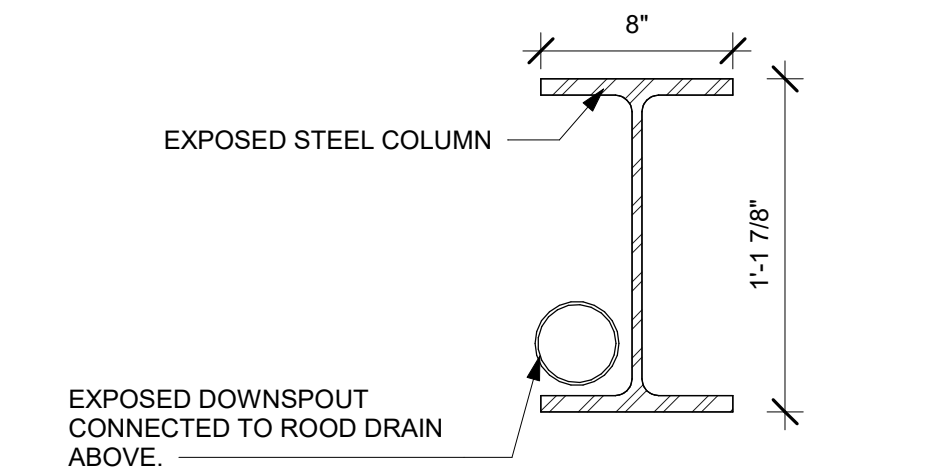
CEILING FINISH LEGEND	
A	CEILING FINISH
9'-6"	CEILING HEIGHT
A PRIME & PAINTED GYPSUM BOARD	
B PRIME & PAINTED GYPSUM BOARD- MOISTURE RESISTANT	
C 2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.	
D 2x4 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.	
E 6" WOODEN PLANKS @ CEILING SUSPENDED FROM STRUCT.	
F EPOXY PAINT	
G 2x5 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.	
I METAL CEILING W/FAUX WOOD FINISH; REFER TO SPEC M-3	
J 2x2 LAY-IN ACOUSTICAL CLG WITH 2 1/4" METAL STUD, TILE SUSPENDED FROM STRUCT.	

GENERAL FLOOR PLAN NOTES	
BASE4 NOTES	
1.	ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2.	INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3.	PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4.	GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5.	REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
6.	REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7.	REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS.
PROJECT NOTES	
1.	REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2.	REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3.	REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
4.	REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

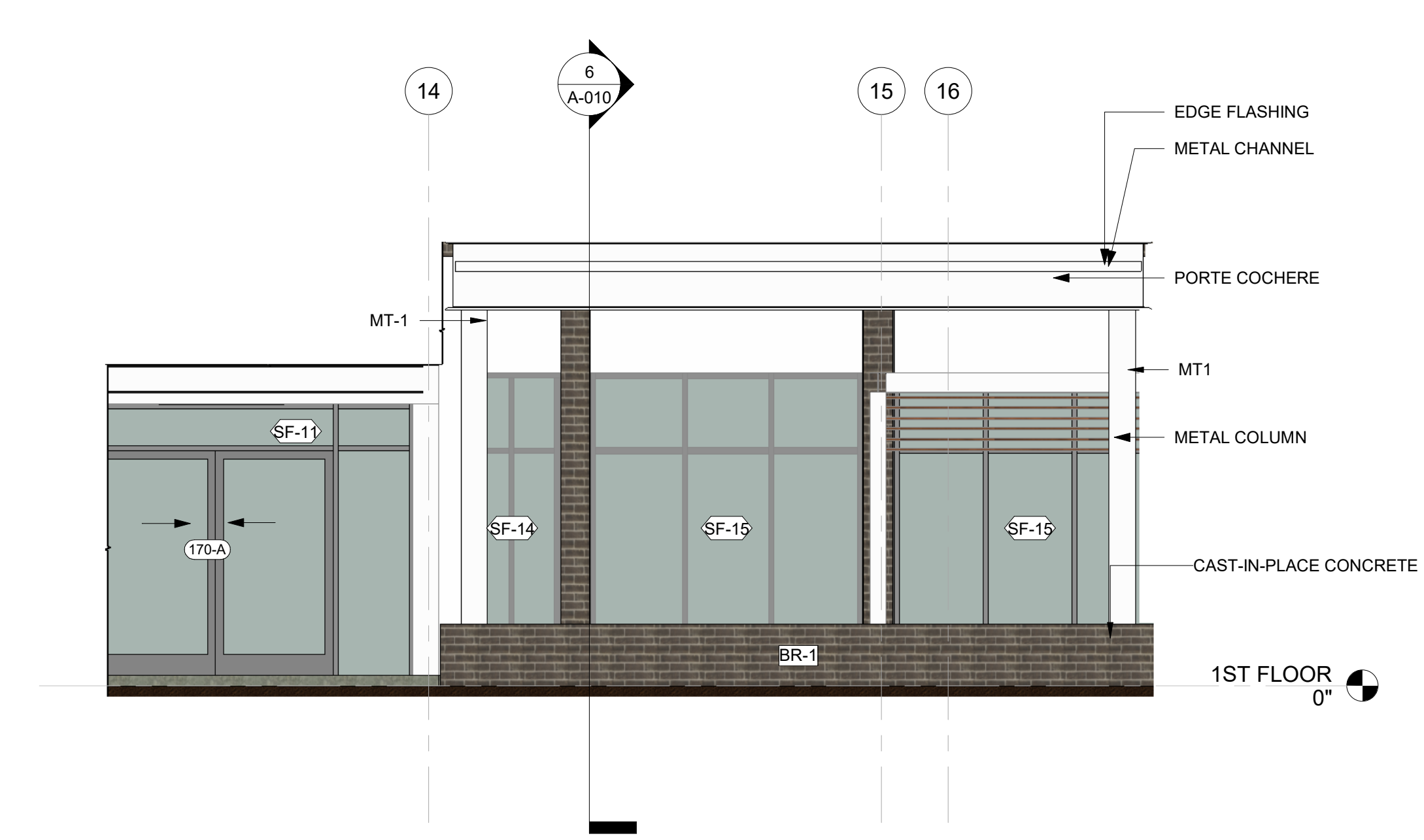
GENERAL RCP NOTES	
BASE4 NOTES	
1.	REFER TO PLUMBING, MECHANICAL, ELECTRICAL FOR LOCATIONS OF RELATED ITEMS.
2.	COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.
3.	REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.
4.	CEILING CONTROL JOINTS TO BE 50'-0" MAX. EITHER DIRECTION OR TO LIMIT AREAS TO 2500 SF.
5.	REFER TO CEILING DETAILS FOR FURTHER INFORMATION.
6.	ALL ACT TILE CENTERED IN ROOM.
7.	USE 9/16TH GRID ON SUSPENDED GRID SYSTEM.
PROJECT NOTES	
1.	REFER TO DESIGN STANDARDS FOR REQUIREMENTS REALATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
2.	BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN. CENTER OF CEILING TILE TO ALIGN WITH CENTER OF CORRIDORS, TYP.
3.	CENTER LIGHT FIXTURES IN CENTER OF CEILING TILE.

GENERAL NOTE - ENLARGED	
BASE4 NOTES	
1.	CO-ORDINATE POWER, DATA, AND CABLE REQUIREMENTS WITH FINAL EQUIPMENT SELECTIONS.
2.	EXERCISE MILLWORK ALSO AVAILABLE AS FF & E ITEMS.
3.	ALL EXTERIOR CORNERS IN CORRIDORS SHALL HAVE FULL HEIGHT CORNER GUARDS.

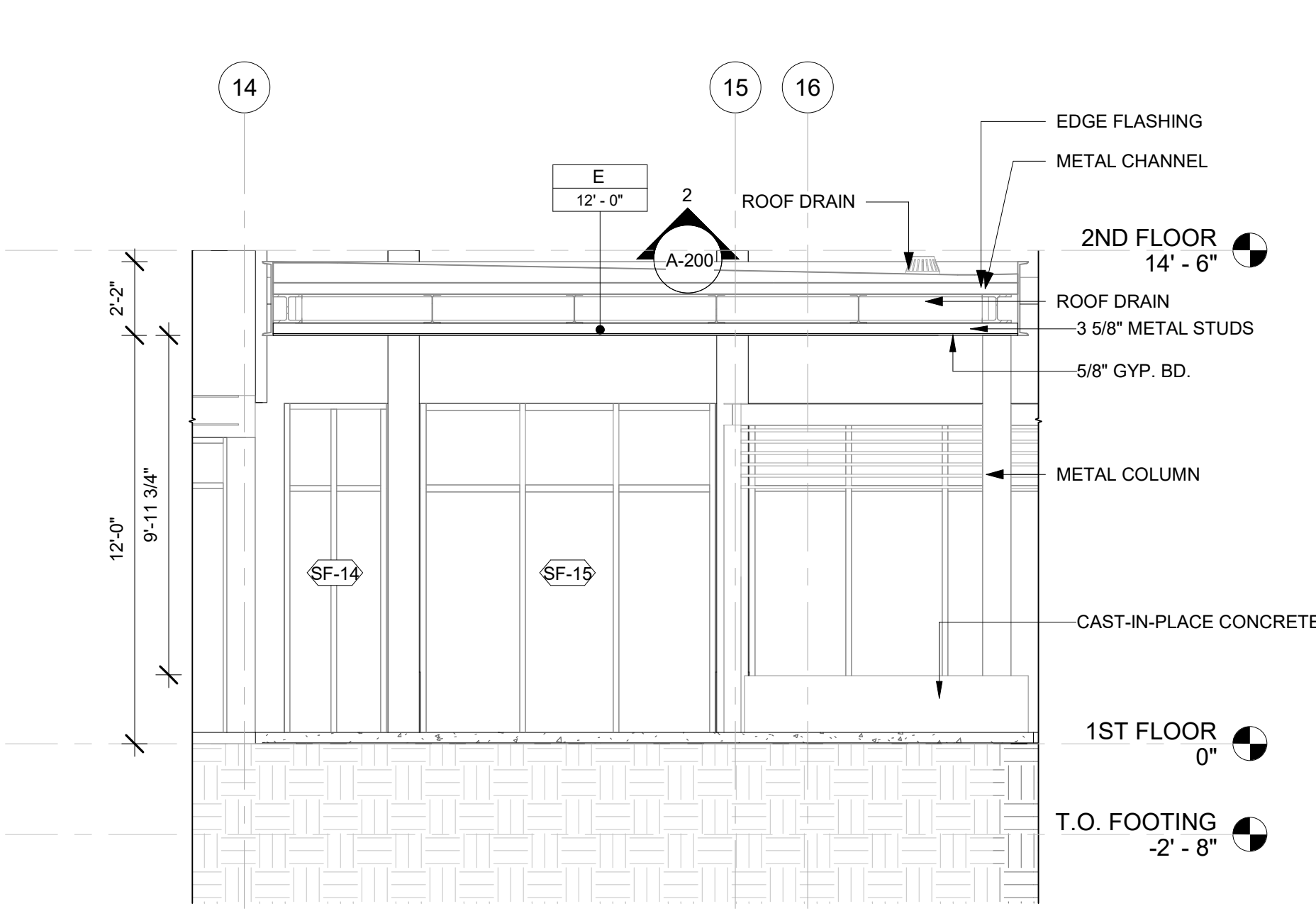
GENERAL NOTE FOR LEGENDS	
BASE4 NOTES	
1.	REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
2.	REFER "Courtyard Gen 6 Cynergy Interior Finish Index-ID" FOR FINISHES.
3.	REFER "22-224000b-C-Plumbing Fixture Matrix_Gen 6_Cynergy" FOR RESTROOM ACCESSORIES.



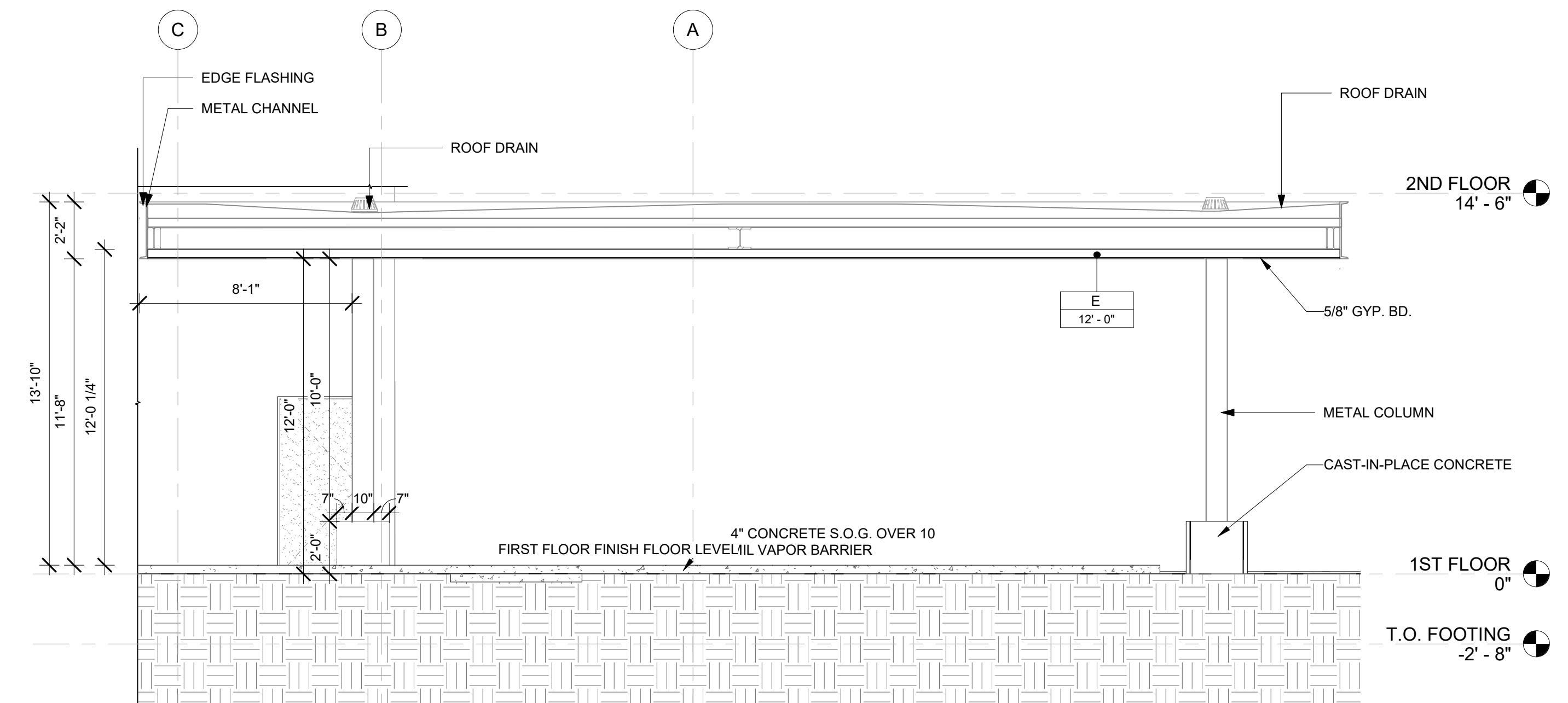
7 PORTE COCHERE COLUMN DETAIL
1 1/2" = 1'-0"



4 PORTE COCHERE FRONT ELEVATION
1/4" = 1'-0"

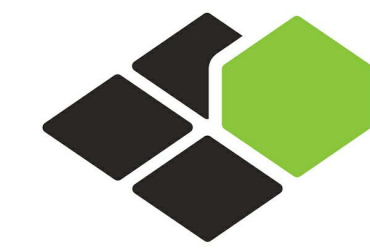


5 PORTE COCHERE SECTION 1
1/4" = 1'-0"



6 PORTE COCHERE SECTION 2
1/4" = 1'-0"

8 KEYPLAN PORTE COCHERE
1" = 50'-0"



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Seal:



Owner:

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312 404 6735

COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6;
REVISION DATE: 2019.06.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

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RB/DDP

PROJECT NO.
B4-157-1801

SHEET NAME

PORTE COCHERE DETAILS

DRAWINGS NO.

A-010



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5453 NW 106TH DR
CORAL SPRINGS, FL 33076

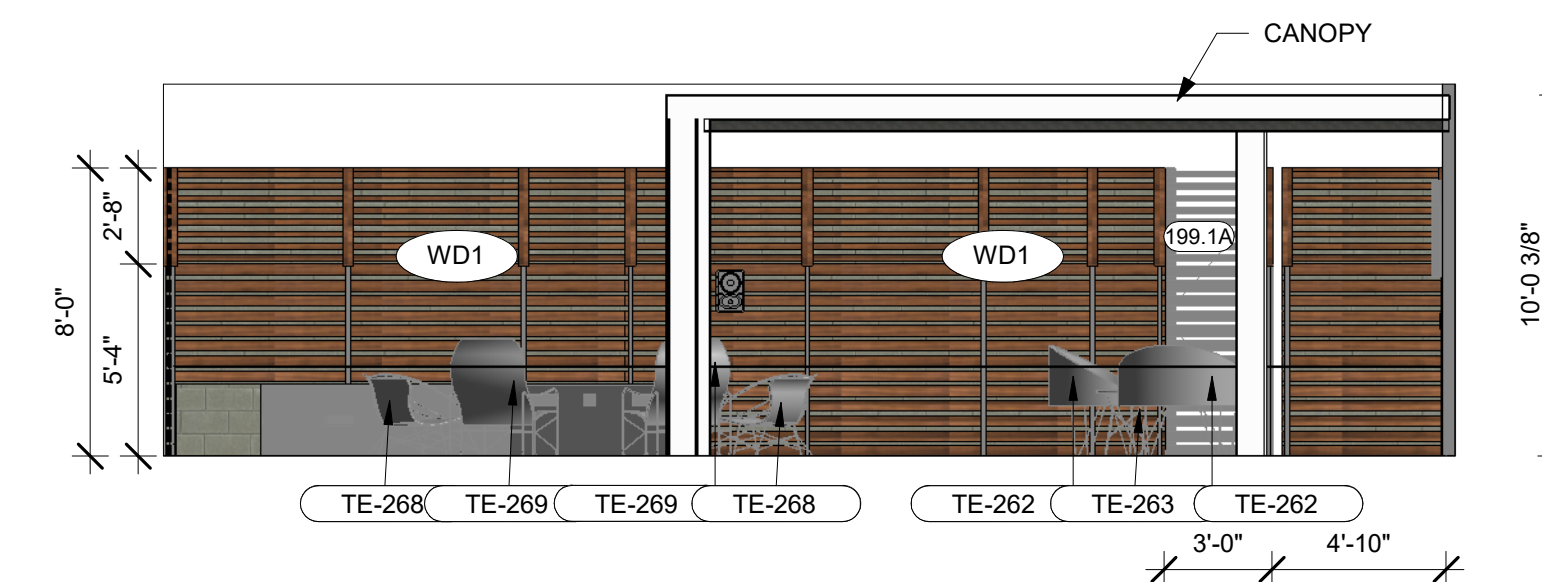
RICARDO JAVIER
MANIZ GUILLET
001023672
STATE OF ILLINOIS

TOP
Hospitality
143 Wheeling Road
Wheeling IL 60090
312 404 6735

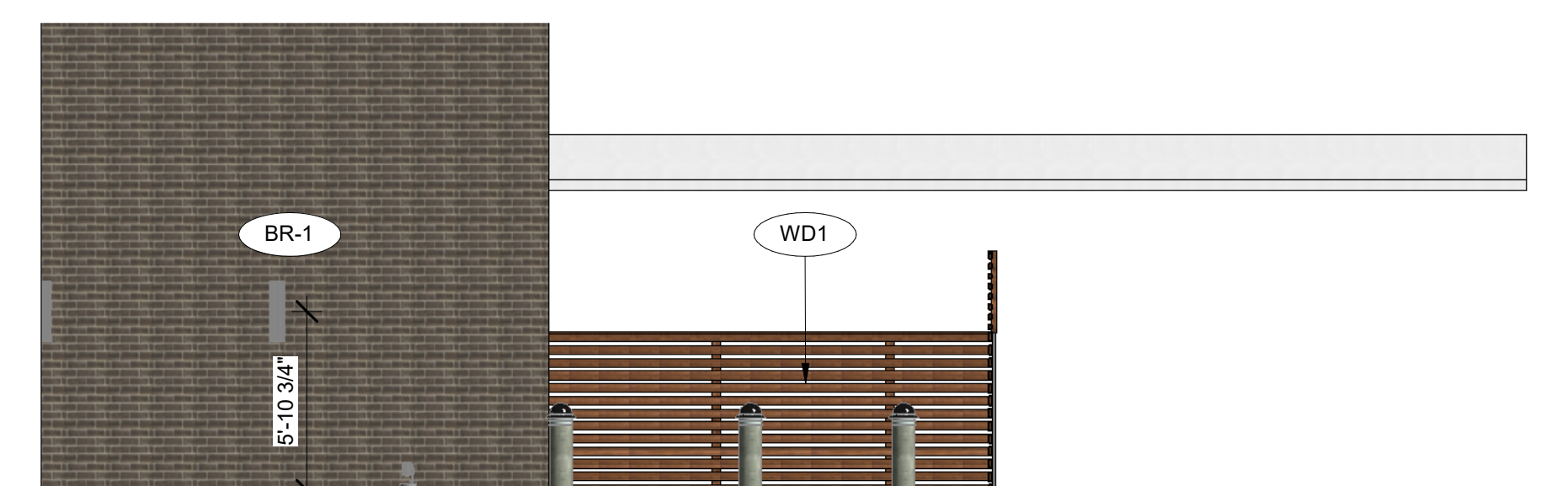
TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6

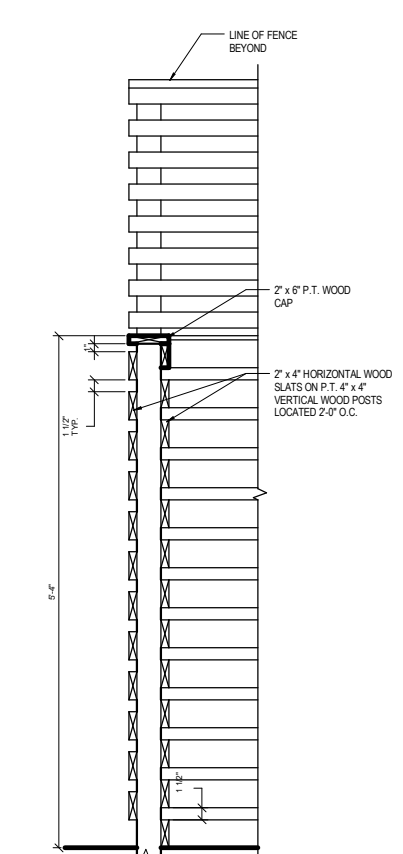
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A0	2019.12.13	ISSUED FOR PERMIT



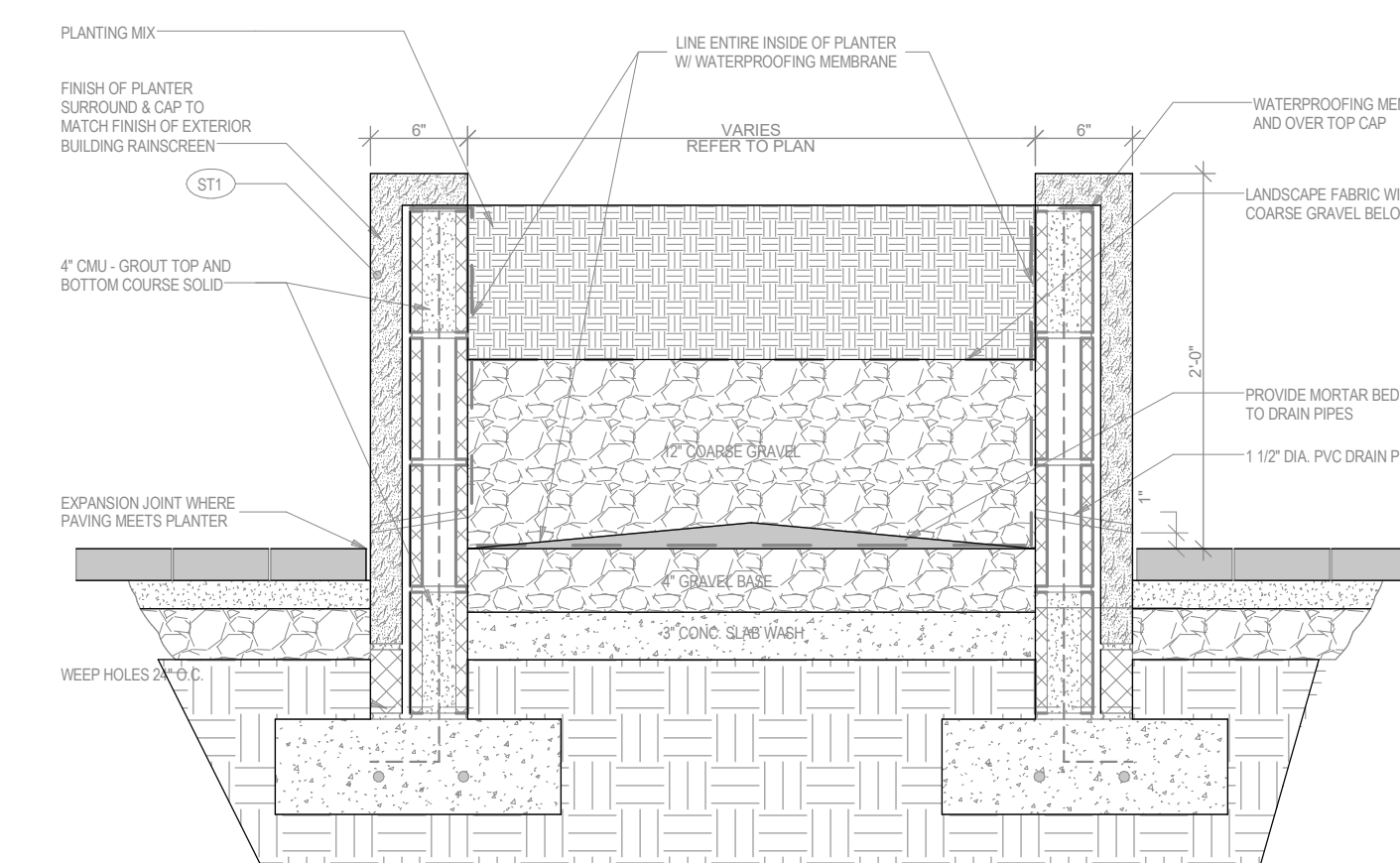
2	EAST ELEVATION
A-012B	3/16" = 1'-0"



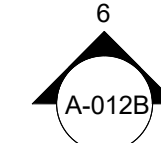
4 WEST ELEVATION
A-012B 3/16" = 1'-0"



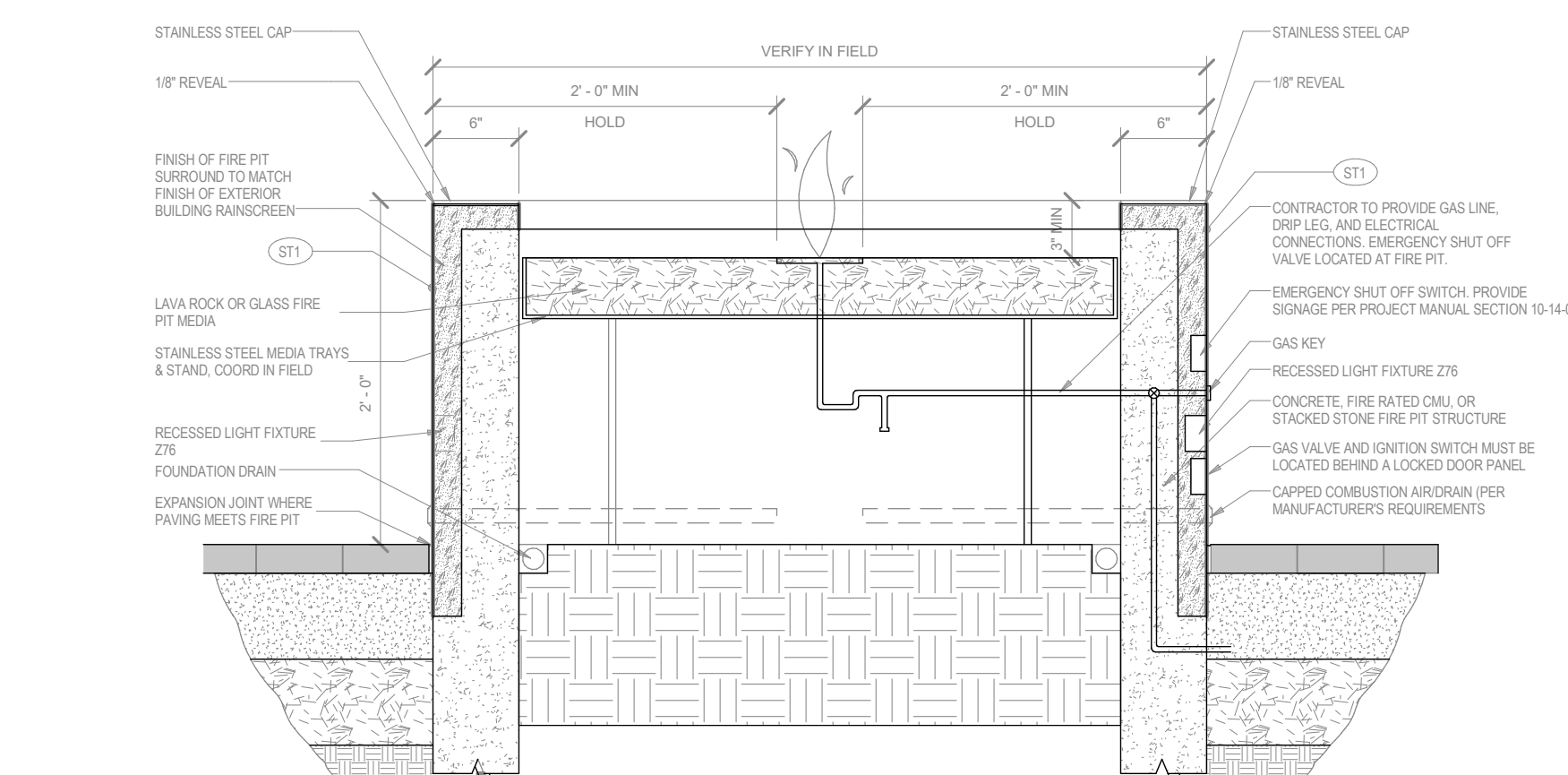
8 FENCE DETAIL 2
A-012B 1/2" = 1'-0"



9 PLANTER DETAIL
A-012A/A-012B 1" = 1'-0"



5 FIRE PIT PLAN
A-012B 1/2" = 1'-0"



10 FIRE PIT DETAIL
A-012B/A-012B 1" = 1'-0"

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CHECKED BY	RB/DD
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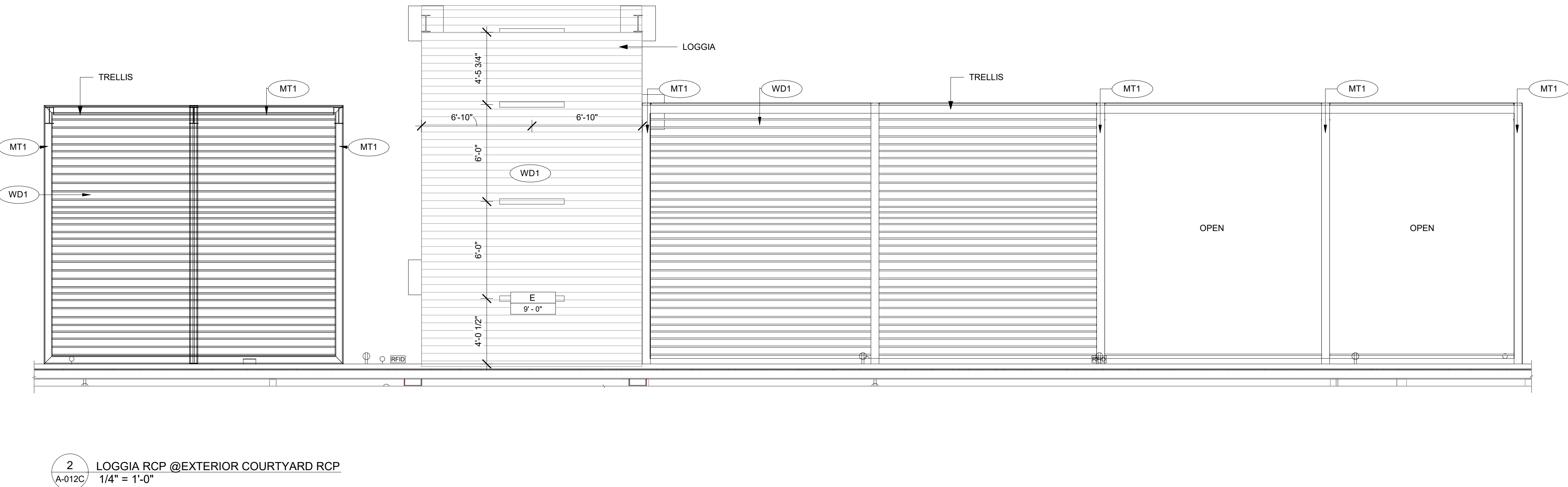
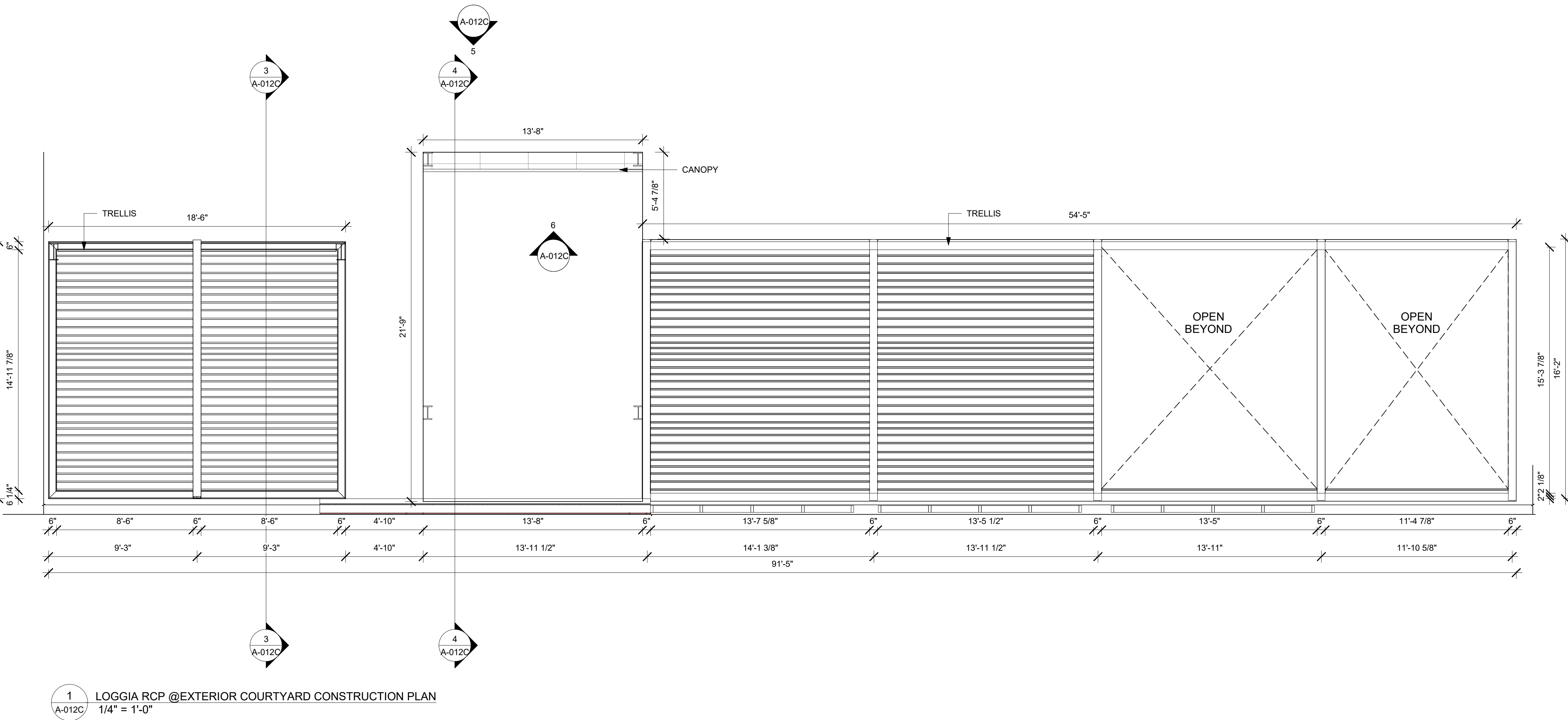
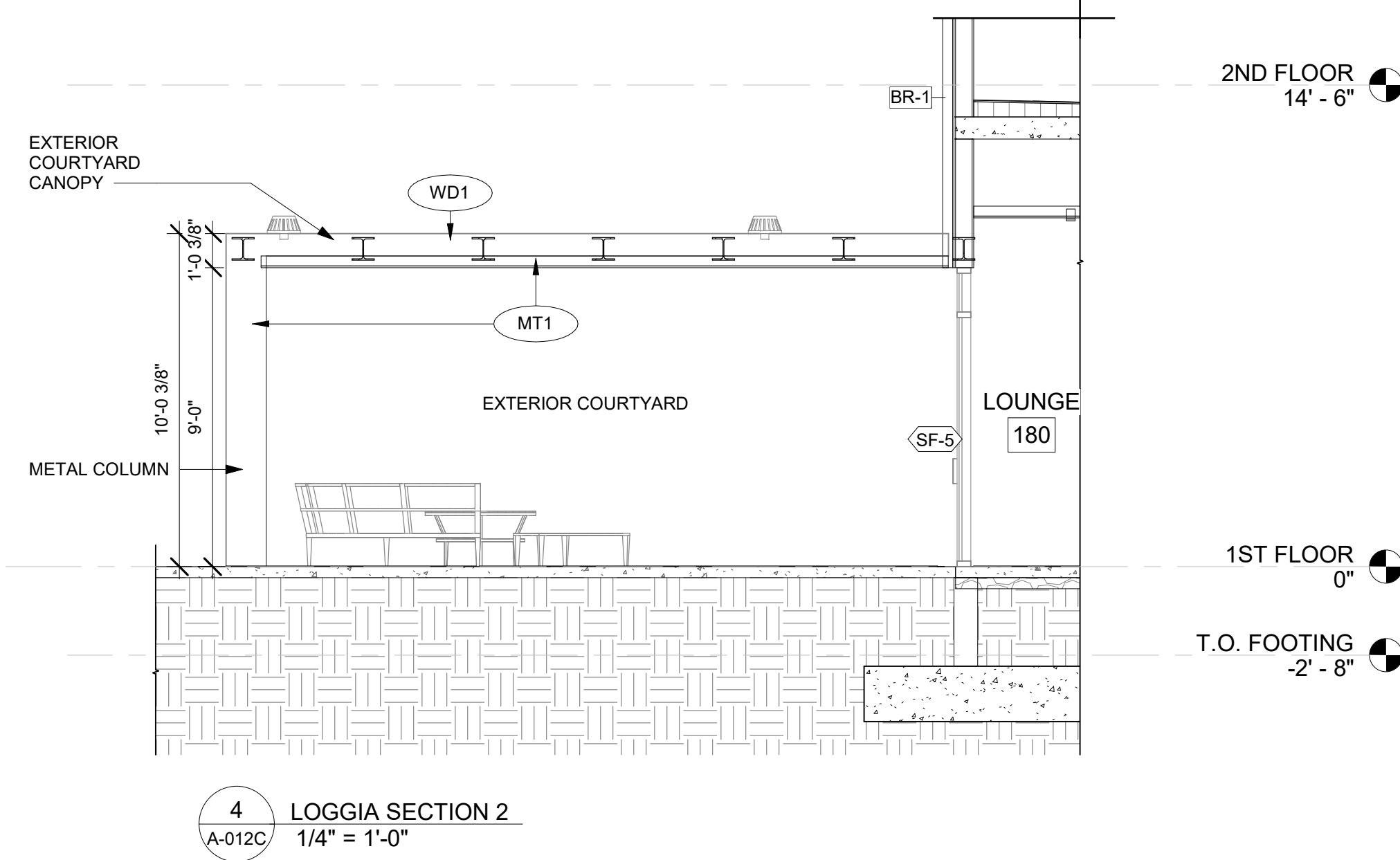
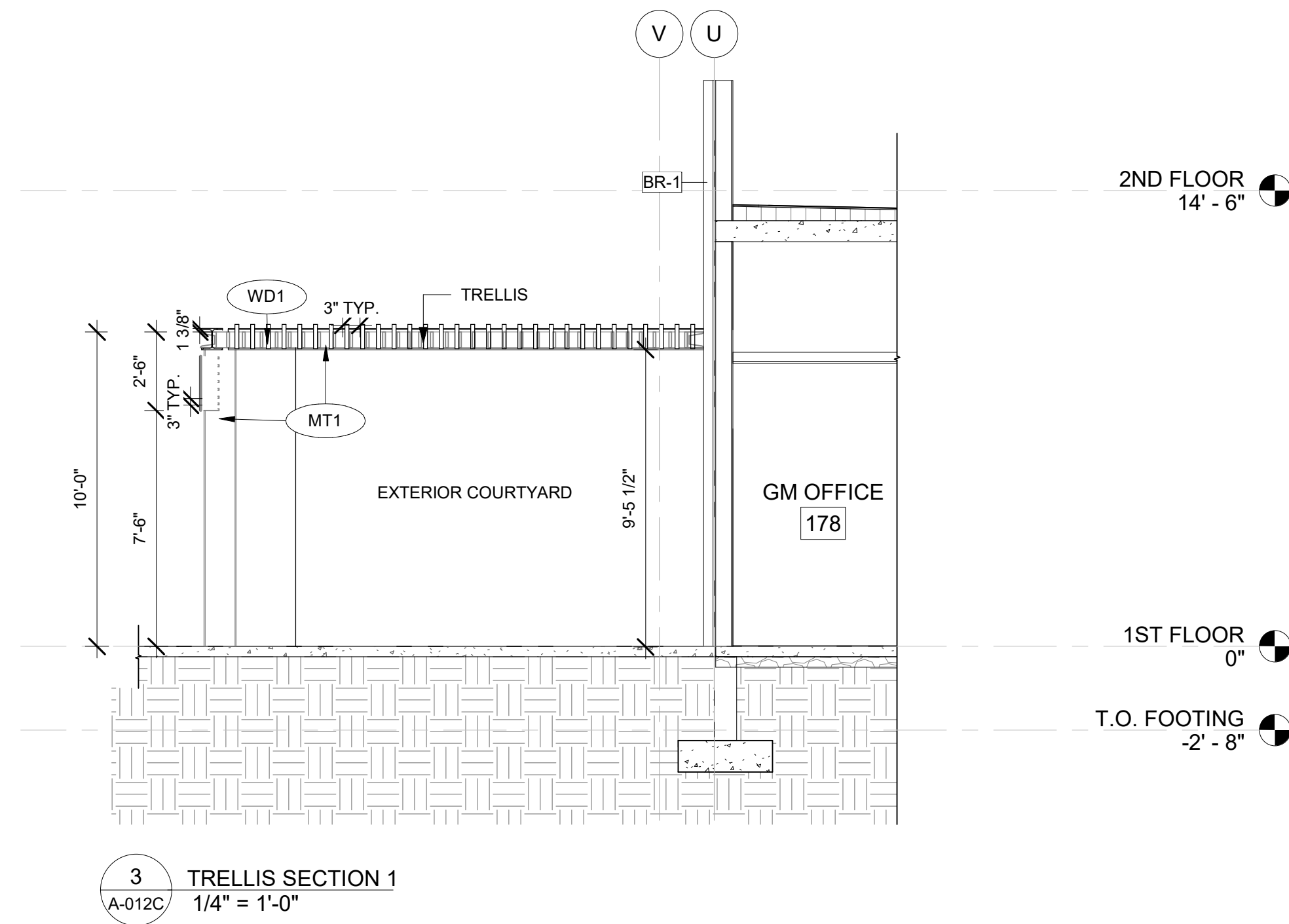
PROJECT NO.	B4-157-1801
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SHEET NAME

OUTDOOR PATIO ELEVATIONS AND FIRE PIT DETAILS

DRAWINGS NO.

A-012B



GENERAL RCP NOTES

BASE4 NOTES

1. REFER TO PLUMBING, MECHANICAL, ELECTRICAL FOR LOCATIONS OF RELATED ITEMS.
2. COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.
3. REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.
4. CEILING CONTROL JOINTS TO BE 50'-0" MAX. EITHER DIRECTION OR TO LIMIT AREAS TO 2500 SF.
5. REFER TO CEILING DETAILS FOR FURTHER INFORMATION.
6. ALL ACT TILE CENTERED IN ROOM.
7. USE 9/16TH GRID ON SUSPENDED GRID SYSTEM.

PROJECT NOTES

1. REFER TO DESIGN STANDARDS FOR REQUIREMENTS REALATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
2. BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN. CENTER OF CEILING TILE TO ALIGN WITH CENTER OF CORRIDORS, TYP.
3. CENTER LIGHT FIXTURES IN CENTER OF CEILING TILE.

GENERAL FLOOR PLAN NOTES

BASE4 NOTES

1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES.
6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7. REFER G-002S-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS.

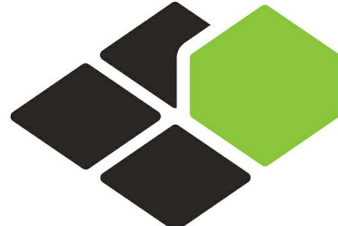
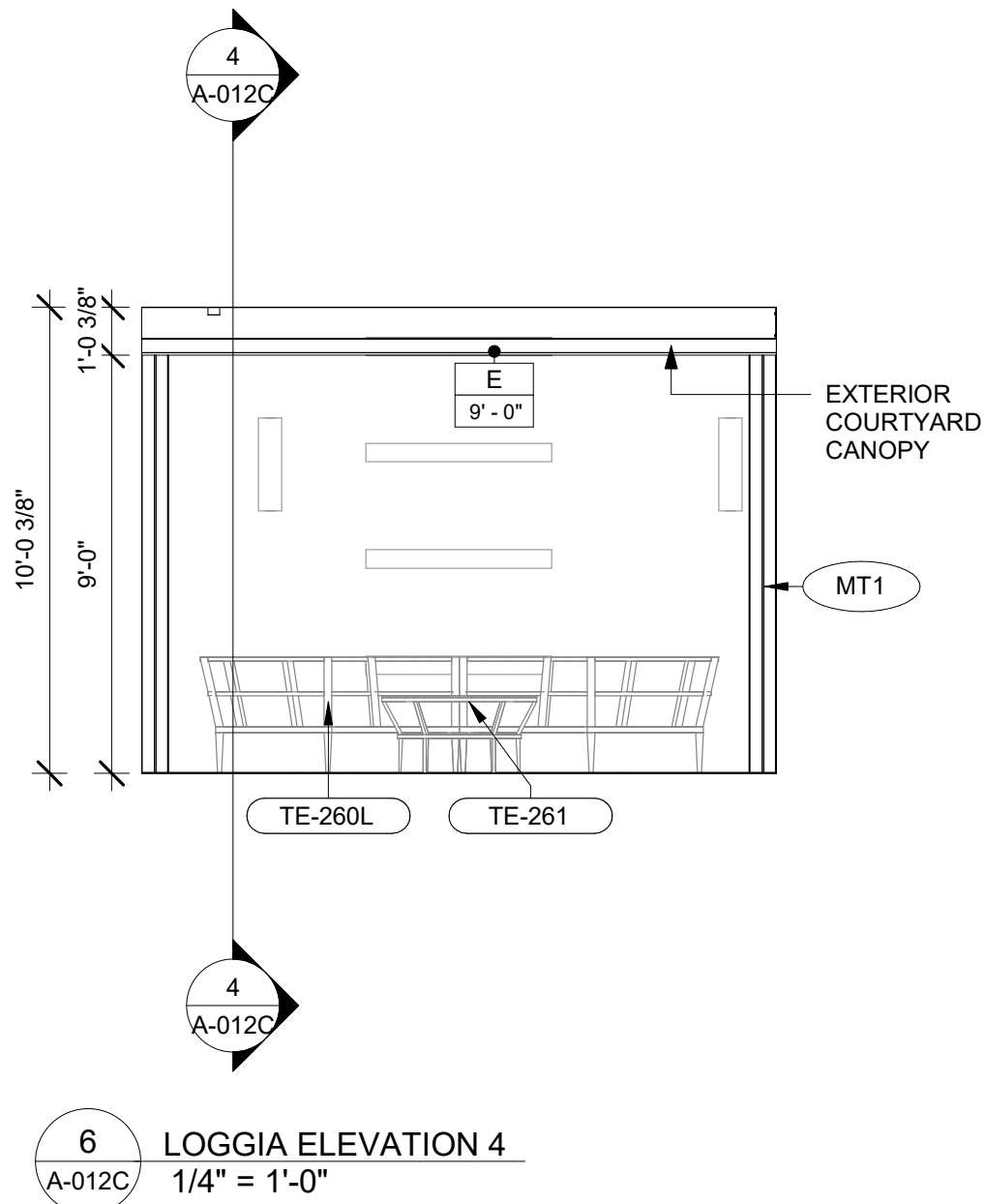
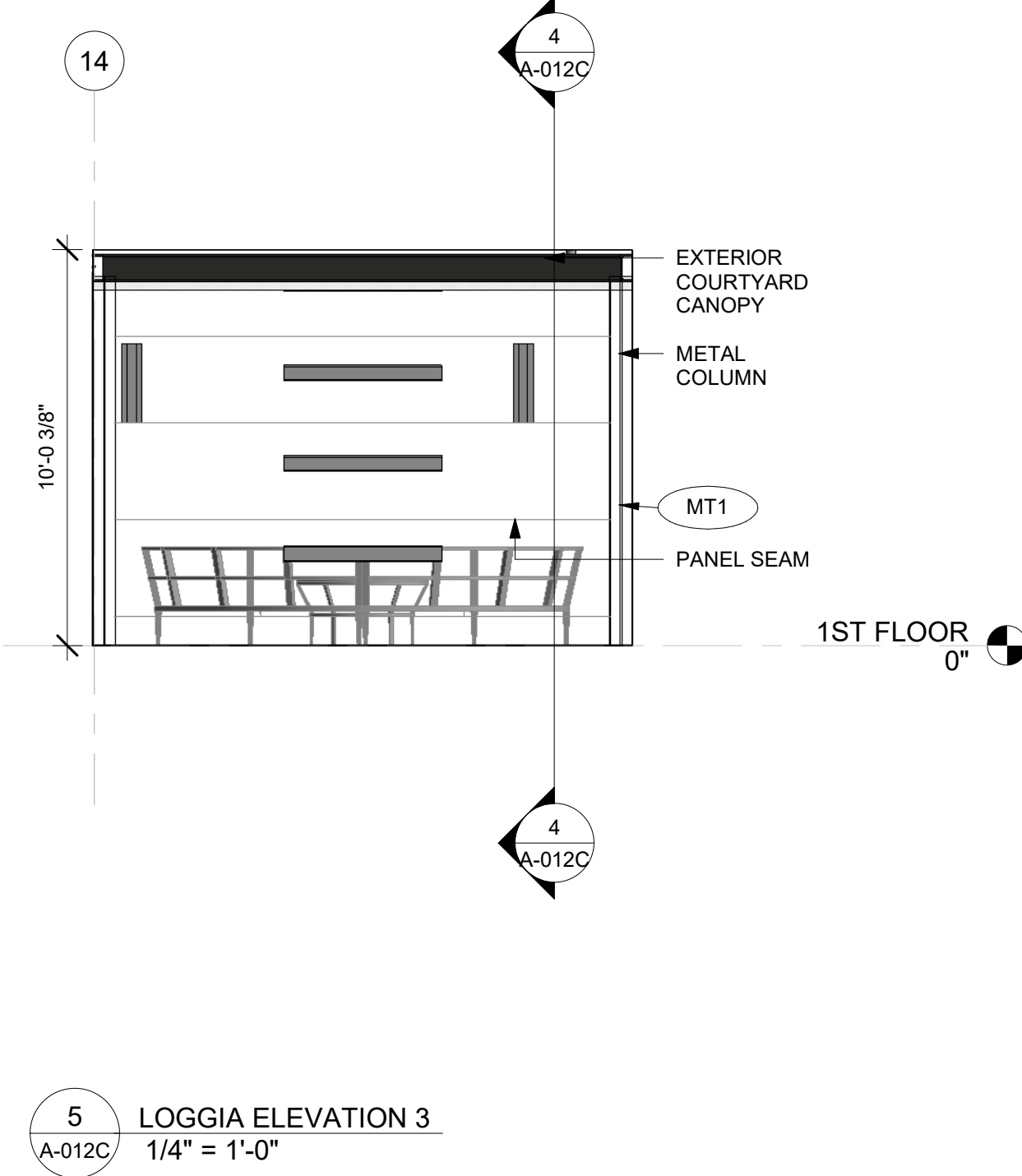
PROJECT NOTES

1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3. REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
4. REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

GENERAL NOTE FOR LEGENDS

BASE4 NOTES

1. REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
2. REFER "Courtyard Gen 6 C/Nergy Interior Finish Index-ID" FOR FINISHES.
3. REFER "22-224000b-C-Plumbing Fixture Matrix_Gen 6_C/Nergy" FOR RESTROOM ACCESSORIES.



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Seal:



Owner:

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Hospitality
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COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,
REVISION DATE: 2019.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

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PROJECT NO.

B4-157-1801

SHEET NAME

EXTERIOR
COURTYARD
LOGGIA/ TRELLIS

DRAWINGS NO.

A-012C



RICARDO J. MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

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143 Wheeling Road
Wheeling IL 60090
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WILEY PARK, IL

PROTOTYPE VERSION: GEN 6,
REVISION DATE: 2018.08.24

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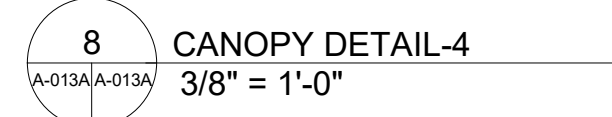
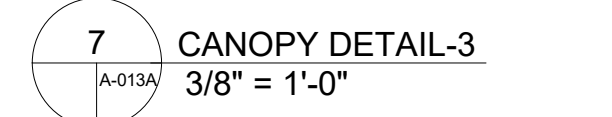
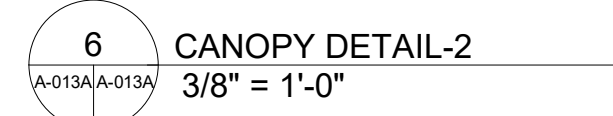
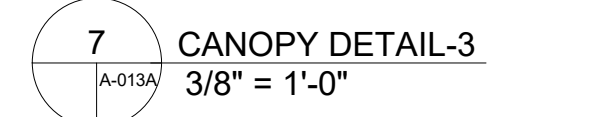
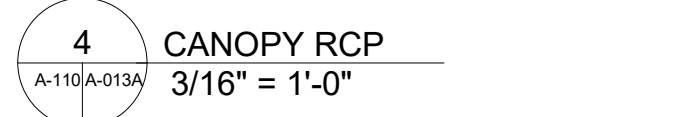
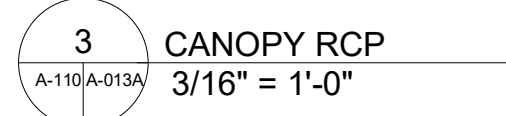
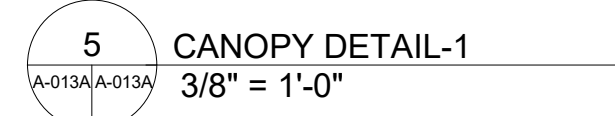
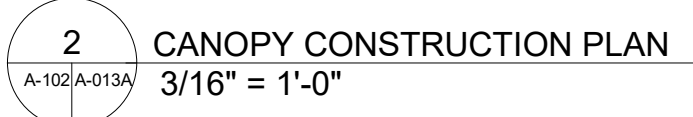
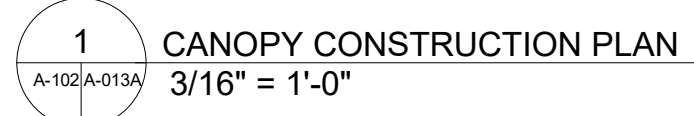
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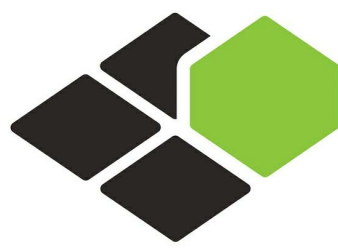
SHEET NAME

BUILDING CANOPIES

DRAWINGS NO.

A-013A





BASE⁴

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Owner:

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COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,
REVISION DATE: 2019.08.24

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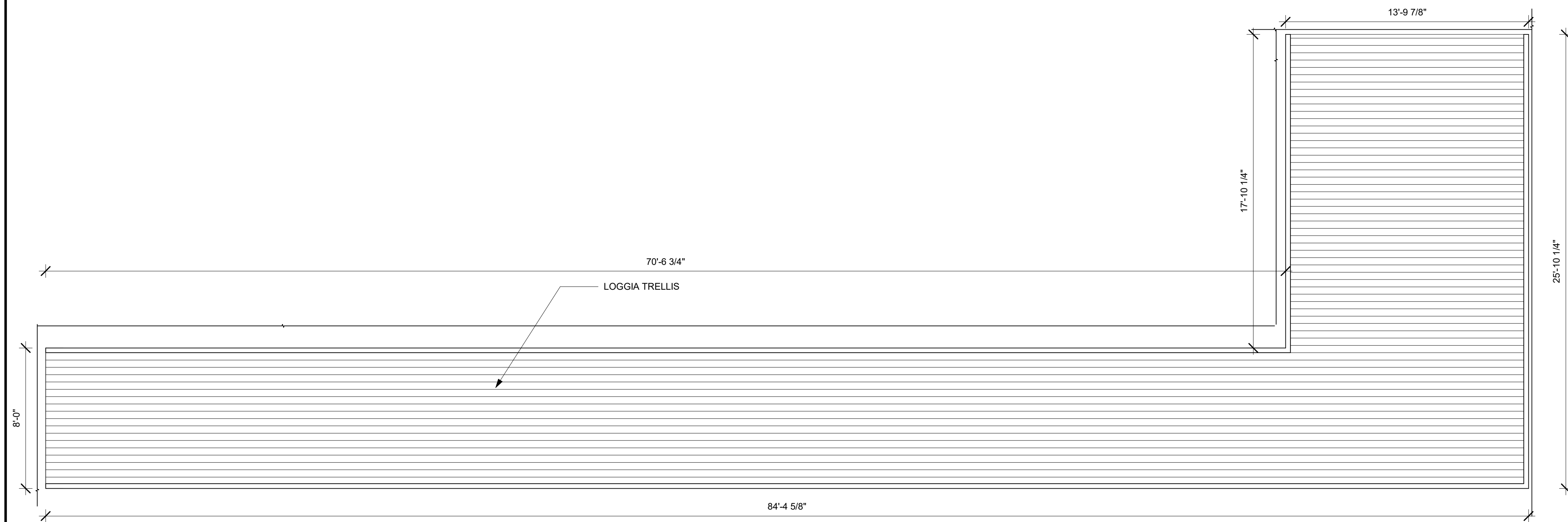
PROJECT NO.
B4-157-1801

SHEET NAME

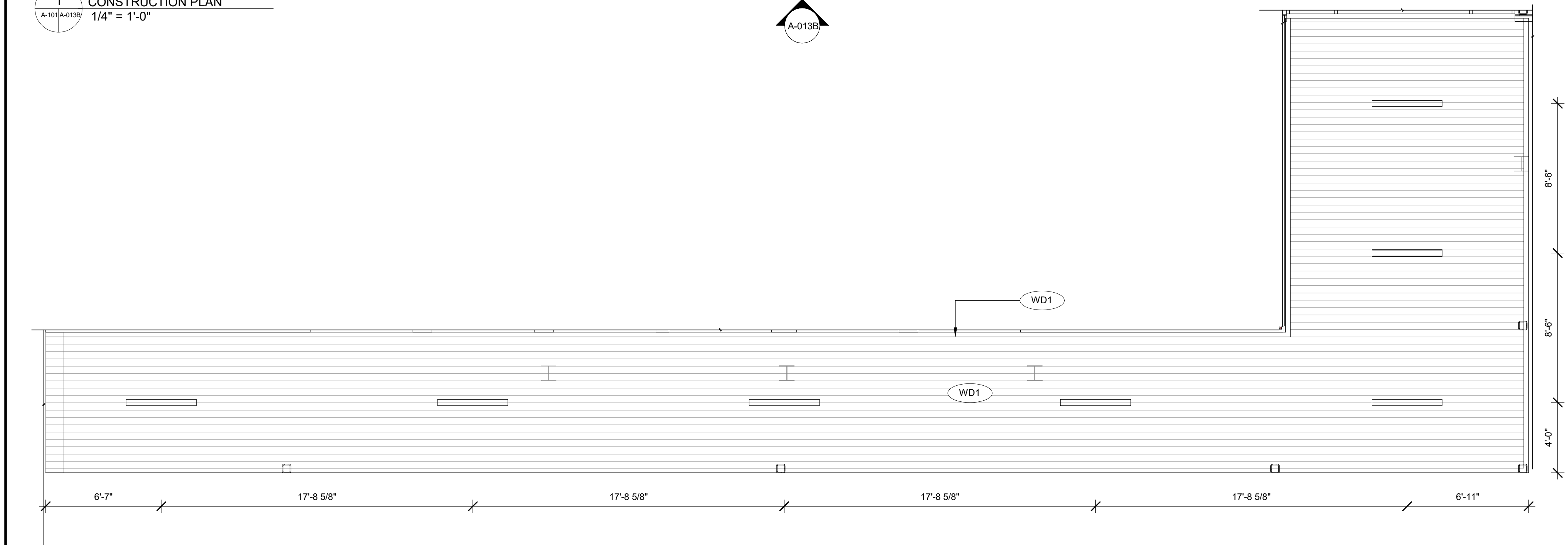
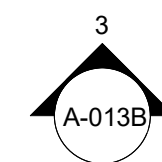
**BUILDING CANOPY
ELEVATIONS**

DRAWINGS NO.

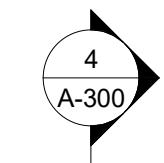
A-013B



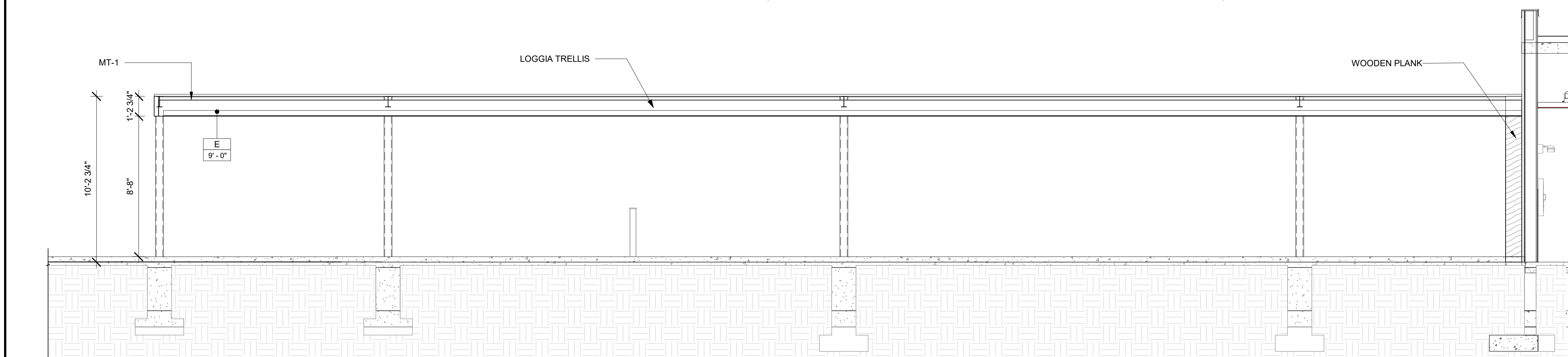
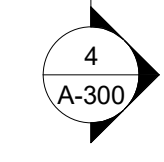
1 ENLARGED LOGGIA- TRELLIS
CONSTRUCTION PLAN
1/4" = 1'-0"



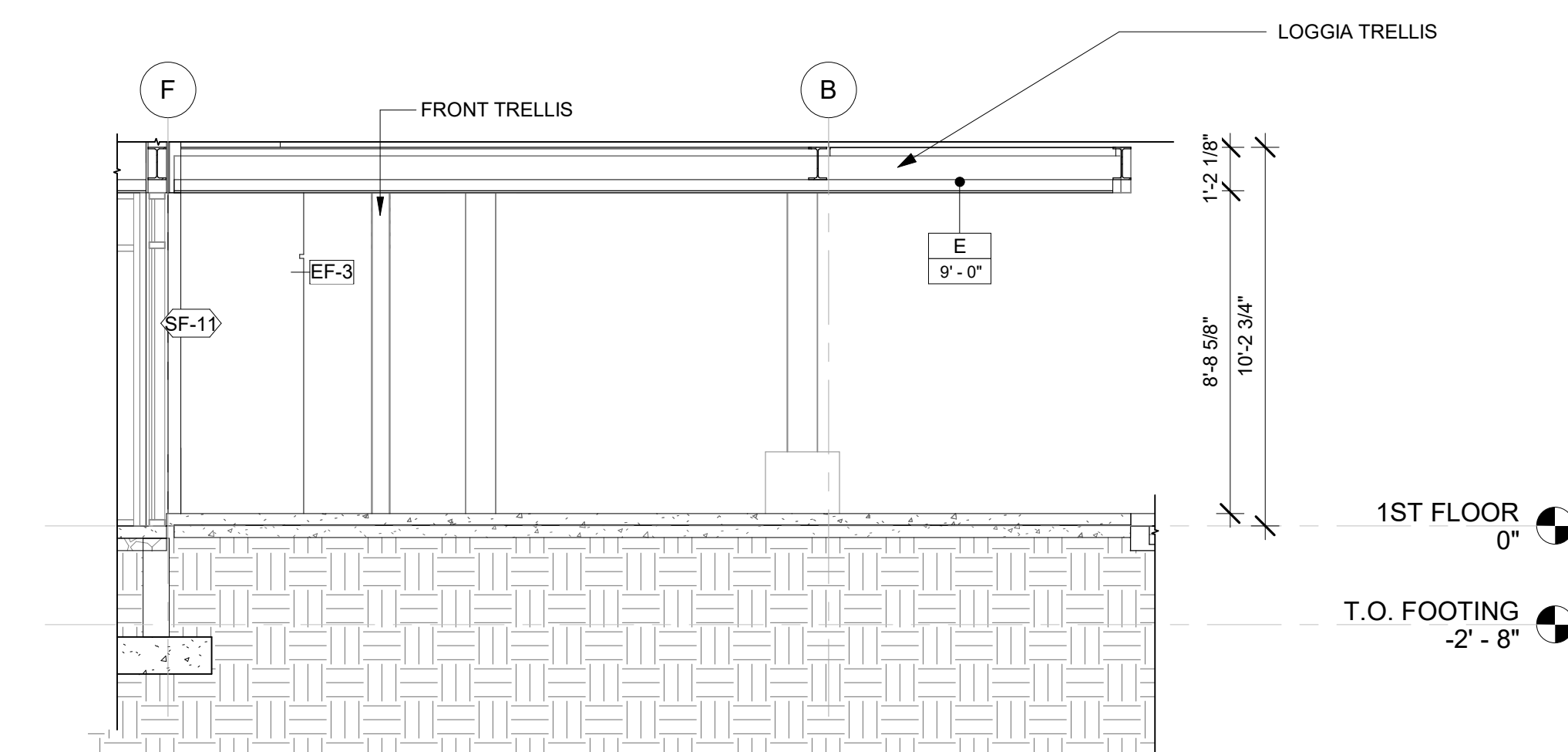
2 ENLARGED LOGGIA- TRELLIS RCP
1/4" = 1'-0"



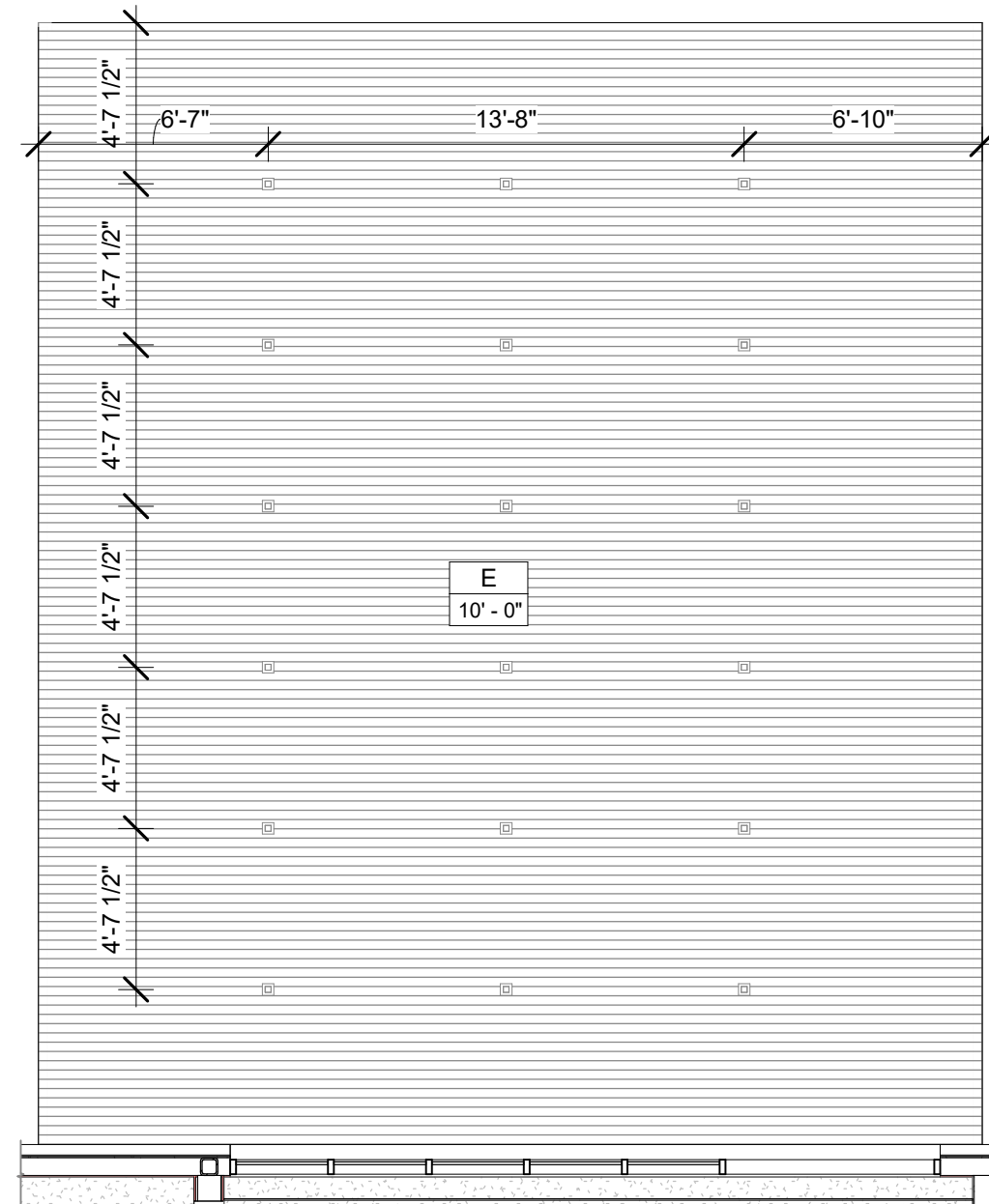
3 LOGGIA- TRELLIS ELEVATION
1/4" = 1'-0"



4 LOGGIA- TRELLIS SECTION - 1
1/4" = 1'-0"



5 LOGGIA- TRELLIS SECTION - 2
1/4" = 1'-0"



3 ENLARGED BANQUET CANOPY RCP PLAN
A-110/A-013C 3/16" = 1'-0"



6 ENLARGED BANQUET ELEVATION
A-013C A-013C 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

BASE4 NOTES

1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2. INTERIOR DOORS TO BE MIN. OF 4' FROM ADJACENT WALLS AS SHOWN ON PLANS
3. PROVIDE SMOKE/HEAT SENSORS IN EXTERIOR CMU WALLS.
4. GYPSUM WALLBOARD JOINTS JOINTS TO BE 3/16" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE RESTROOM, COMMUNICATION ROOM TASKS
6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7. REFER TO G-003-G-003 FOR GUESTROOM MIX/MATRIX AND GENERAL LEGENDS

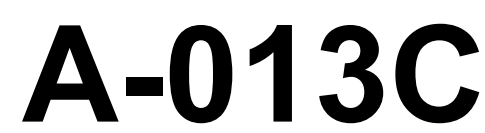
PROJECT NOTES

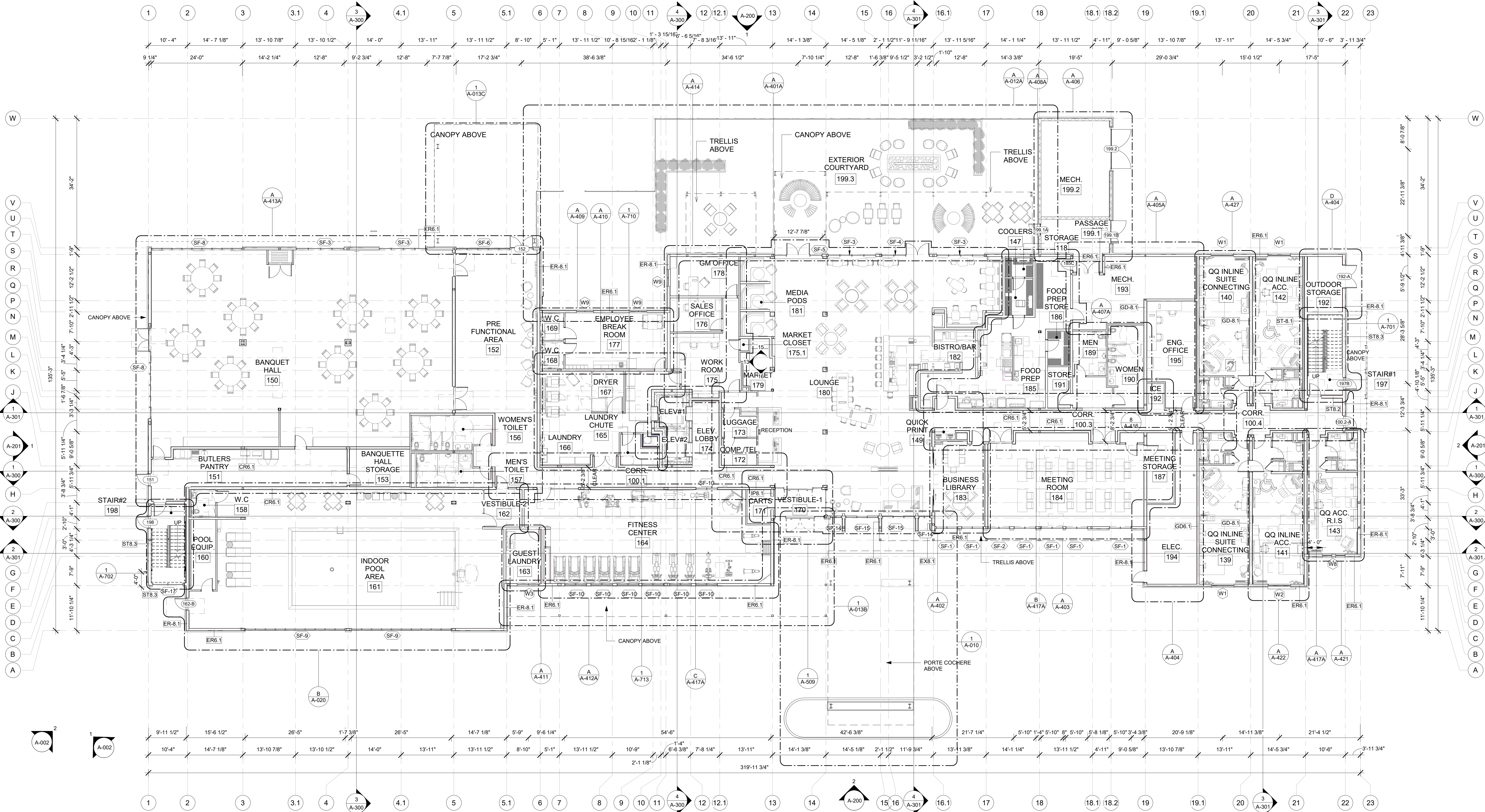
1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATIONS
3. REFER TO FINISH SCHEDULE FOR TYP. ROOM
4. REFER TOHEET G-003 FOR GUESTROOM MIX/MATRIX AND COMMON LEGENDS

GENERAL NOTE FOR LEGENDS

BASE4 NOTES

1. REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
2. REFER "Courtyard Gen 6 Cynergy Interior Finish Index-ID" FOR FINISHES.
3. REFER "22-224000b-C-Plumbing Fixture Matrix_Gen 6_Cynergy" FOR RESTROOM ACCESSORIES.





- GENERAL FLOOR PLAN NOTES**
- BASE4 NOTES**
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
 2. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
 3. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
 4. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
 5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
 6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION
 7. REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENERAL LEGENDS
- PROJECT NOTES**
1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS
 2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION
 3. REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES
 4. REFER TO HEET G-003 FOR GUESTROOM MIX/MATRIX AND COMMON LEGENDS.



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Wheeling IL 60090
312 404 6735

COURTYARD
BY MARRIOTT
TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,
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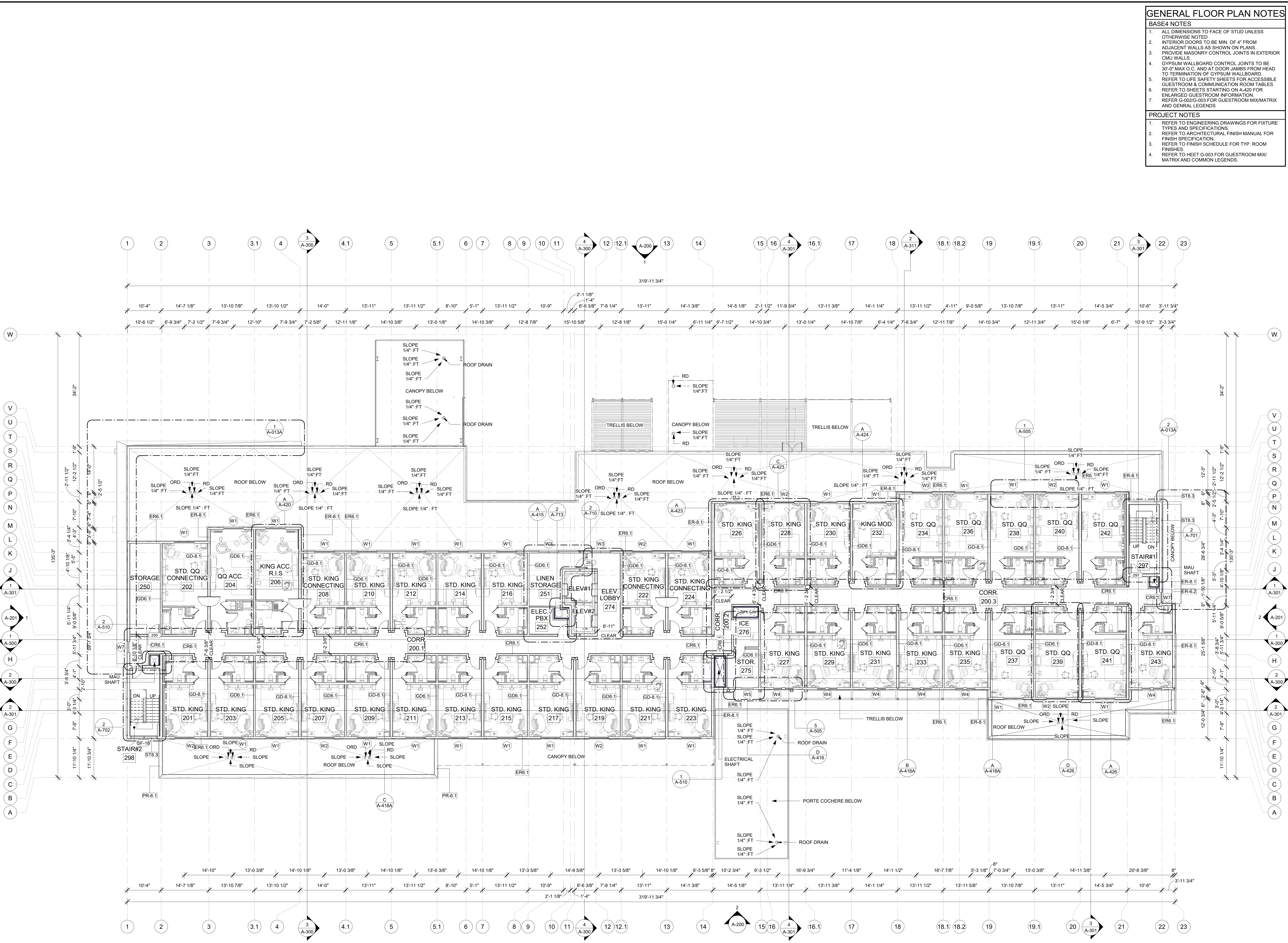
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PROJECT NO.
B4-157-1801

SHEET NAME
1ST FLOOR PLAN

DRAWINGS NO.
A-101




- GENERAL FLOOR PLAN NOTES**
- BASE4 NOTES**
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
 2. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS
 3. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS
 4. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD
 5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
 6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION
 7. REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENERAL LEGENDS
- PROJECT NOTES**
1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS
 2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION
 3. REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES
 4. REFER TO HEET G-003 FOR GUESTROOM MIX/MATRIX AND COMMON LEGENDS



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COURTYARD
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TINLEY PARK, IL

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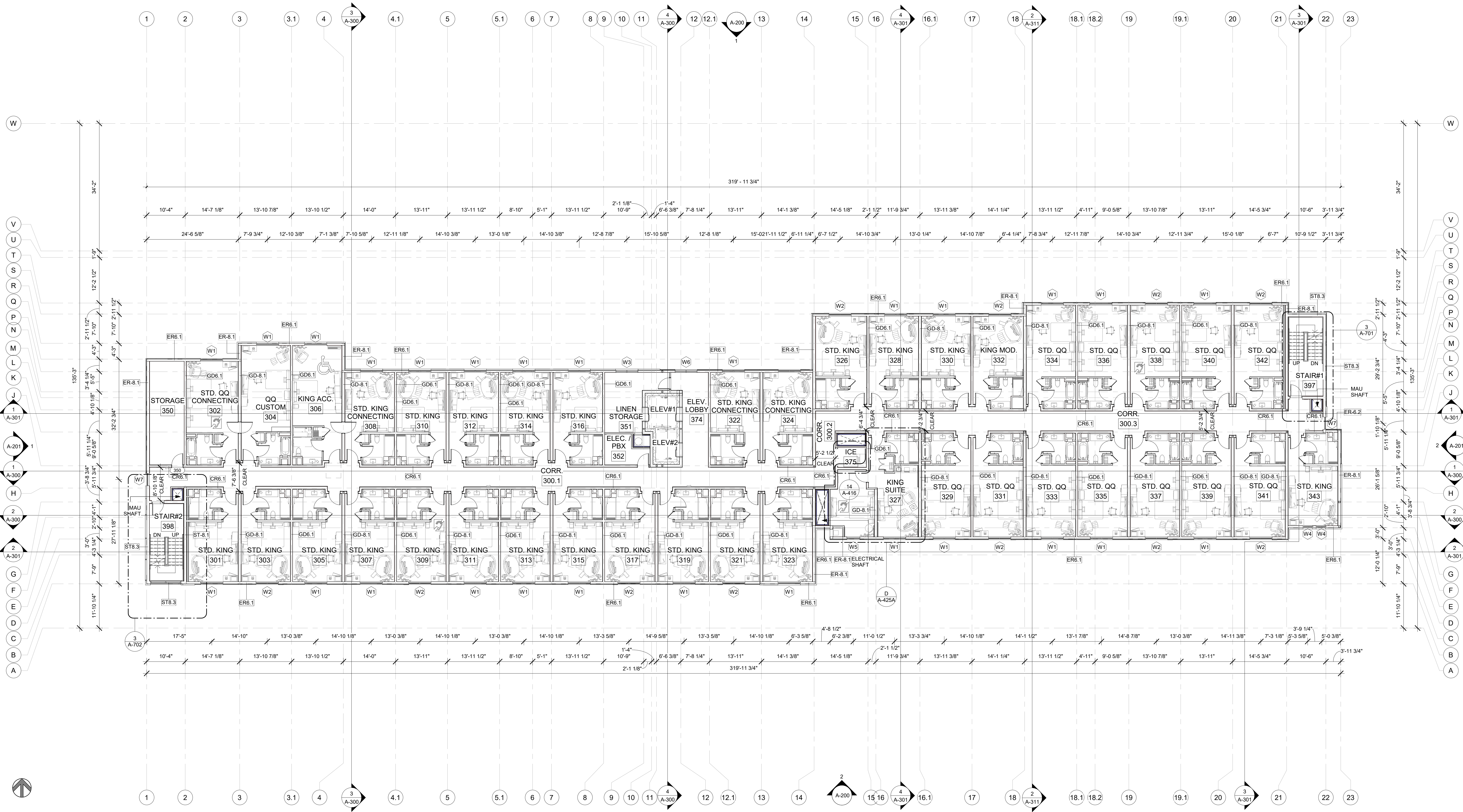
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PROJECT NO.
B4-157-1801

SHEET NAME
2ND FLOOR PLAN

DRAWINGS NO.
A-102



- GENERAL FLOOR PLAN NOTES
- BASE4 NOTES
1.

ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2.

INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3.

PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4.

GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5.

REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
6.

REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7.

REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS
- PROJECT NOTES
1.

REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2.

REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3.

REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
4.

REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

BASE4

2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:

Owner:
TOP Hospitality
143 Wheeling Road
Wheeling IL 60090
312 404 6735

COURTYARD
BY MARRIOTT
TINLEY PARK, IL
PROTOTYPE VERSION: GEN 6,
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE
ISSUED FOR PC STAFF REVIEW

CURRENT ISSUE DATE
2020.01.22

DRAWN BY
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RB/DDP

PROJECT NO.
B4-157-1801

SHEET NAME
3RD FLOOR PLAN

DRAWINGS NO.
A-103

GENERAL FLOOR PLAN NOTES

BASE4 NOTES

1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7. REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS

PROJECT NOTES

1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS
2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3. REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES
4. REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.



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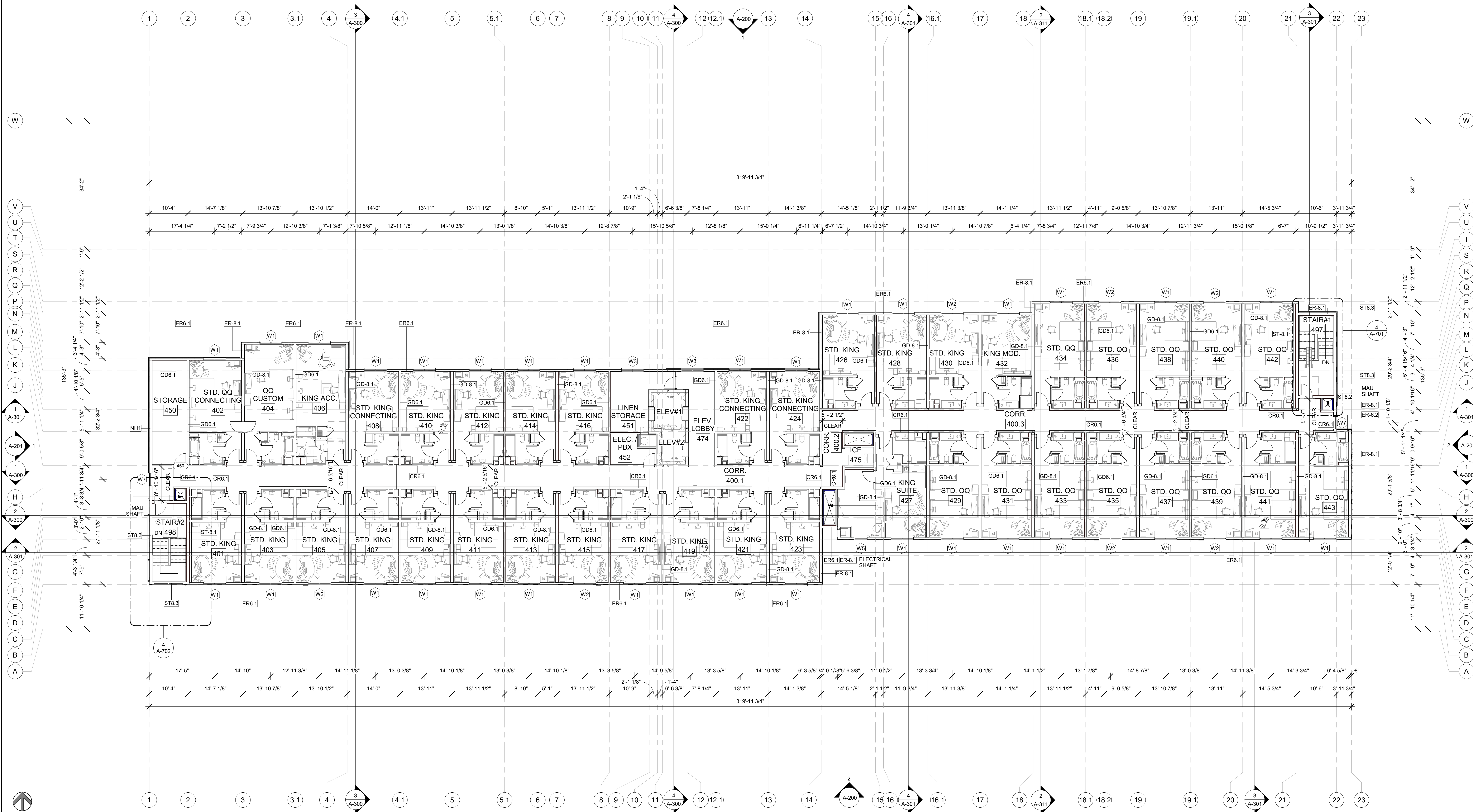
143 Wheeling Road
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COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,
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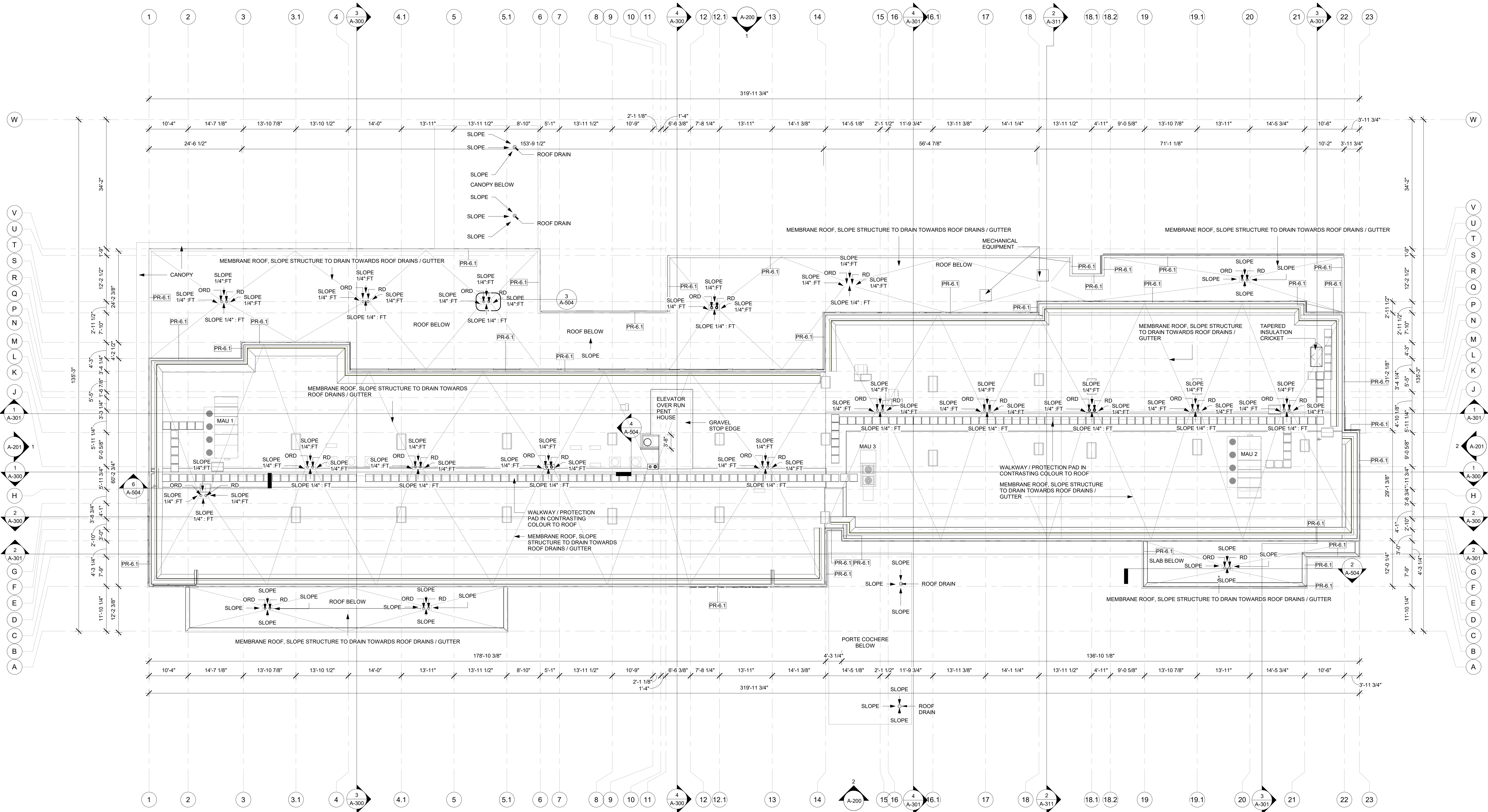
4TH FLOOR PLAN

DRAWINGS NO.

A-104

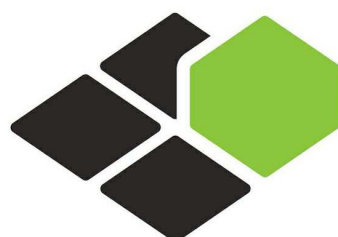


1 ROOF LEVEL PLAN
A-105 3/32" = 1'-0"



GENERAL ROOF NOTES

1. ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE
2. CONTRACTOR TO COORDINATE WITH CHUTE VENDOR, STRUCTURAL ENGINEER, PLANK MFR. AND TRUSS MFR.
3. THE DIMENSION AND LOCATION OF CHUTE DUCT ROOF PENETRATION AND TRUSS SPACING WHERE CHUTE DUCT PENETRATES THE TOWER ROOF.
4. SEE DETAILS FOR ROOF PENETRATION DETAILS.
5. SEE STRUCTURAL FOR ALL TOP-OF-DECK ELEVATIONS, JOIST SIZES ETC. COORDINATE ALL ROOF TOP UBIT LOCATIONS WITH MECHANICAL SEE MECHANICAL/PLUMBING FOR ADDITIONAL INFORMATION
6. PAINT ALL ROOF PENETRATIONS, ROOF TOP EQUIPMENT LADDERS ETC UNLESS EQUIPMENT IS PREFINISHED (COLOR TO BE SELECTED BY THE GENERAL CONTRACTOR)
7. PROVIDE TAPERED INSULATION CRICKETS AT ALL ROOF SLOPE OBSTRUCTIONS
8. PAINT ALL EXPOSED SHROUDS, INSTALL PADS AFTER HVAC EQUIPMENT HAS BEEN INSTALLED
9. ALL WOOD BLOCKING WITH MECHANICAL ENGINEER
10. COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL
11. ANY ROOF FLASHING, METAL FACIA & FORMED CAP FLASHING TO BE FIRESTONE PRODUCT'S ONLY.
12. ALL VENT PIPES, ETC. ENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.



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PROJECT NO.
B4-157-1801

SHEET NAME

ROOF LEVEL PLAN

DRAWINGS NO.

A-105

CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" paint to match Pantone® 426 C gray, satin finish

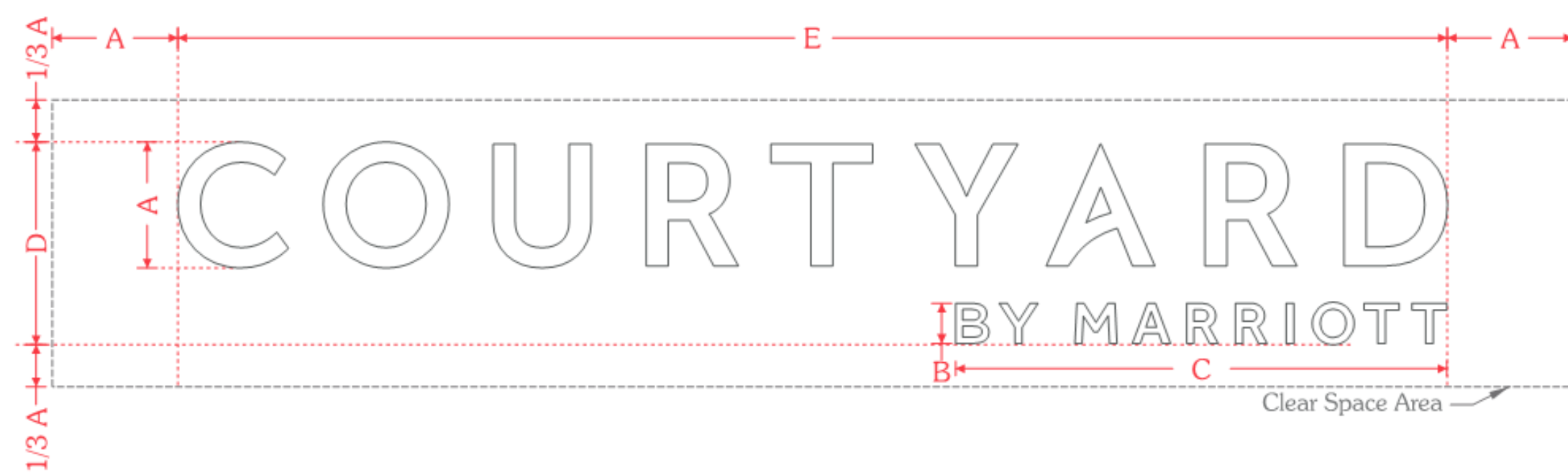
Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 426 C gray, satin finish

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic



Model #	A	B	C	D	E
C-24-CL	24"	8 11/16"	8'-10 9/16"	3'-3 11/16"	20'-2 9/16"
C-30-CL	30"	9 9/16"	9'-9 5/16"	4'-0 5/16"	25'-3 1/4"
C-36-CL	36"	11 7/16"	11'-8 3/4"	4'-9 15/16"	30'-3 7/8"
C-48-CL	48"	15 1/4"	15'-7 11/16"	6'-5 1/4"	40'-5 3/16"

* Letter height determined by the height of the letter "C".

LEGEND - EXTERIOR FINISHES

MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHIHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR ; EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

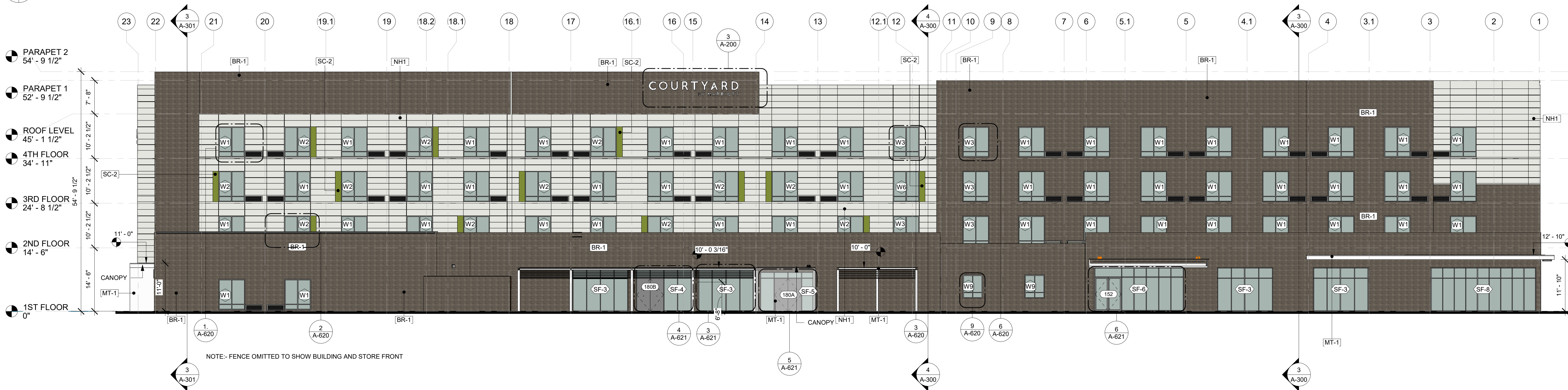
GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

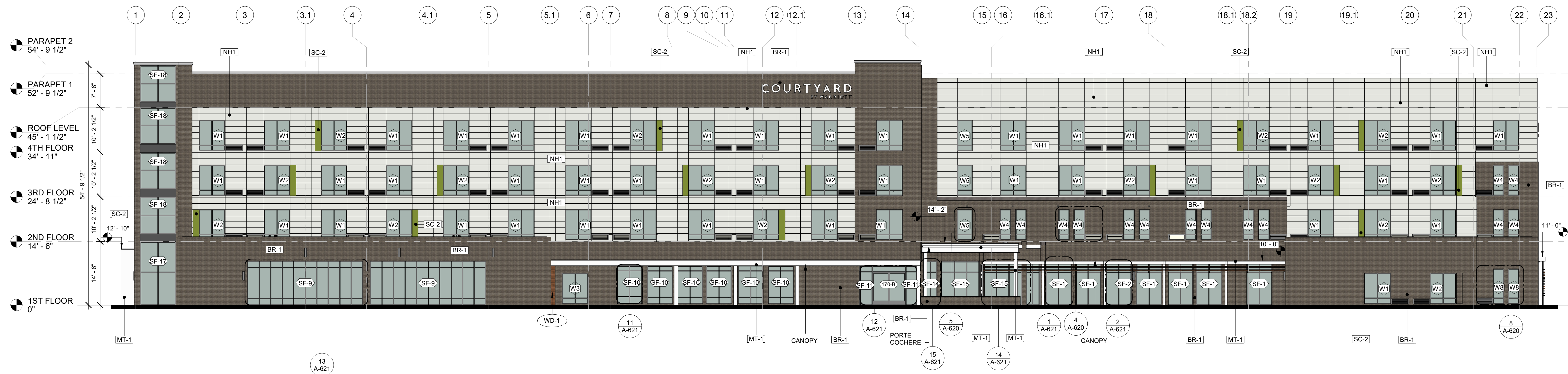
GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPERS RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

3 SIGNAGE
A-200/A-200
1 1/2" = 1'-0"



1 NORTH SIDE ELEVATION
A-200
3/32" = 1'-0"



2 SOUTH SIDE ELEVATION
A-200
3/32" = 1'-0"



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COURTYARD
BY MARRIOTT

TINLEY PARK, IL

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PROJECT NO.
B4-157-1801

SHEET NAME

EXTERIOR ELEVATIONS-1

DRAWINGS NO.

A-200

CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" paint to match Pantone® 426 C gray, satin finish

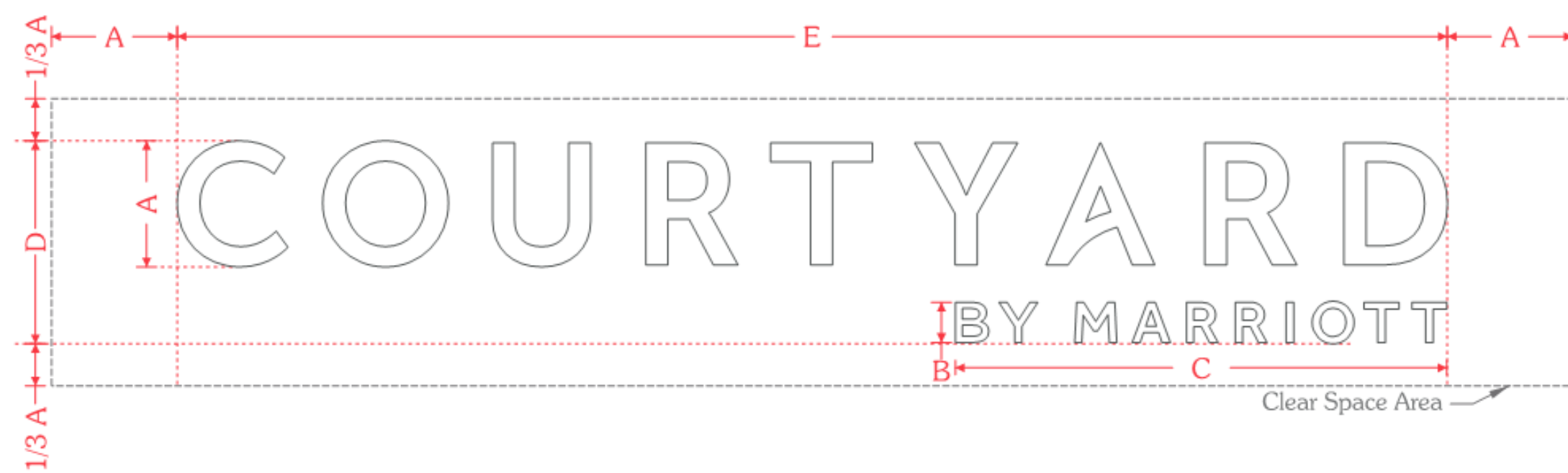
Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 426 C gray, satin finish

Interior Finish: Paint reflective white

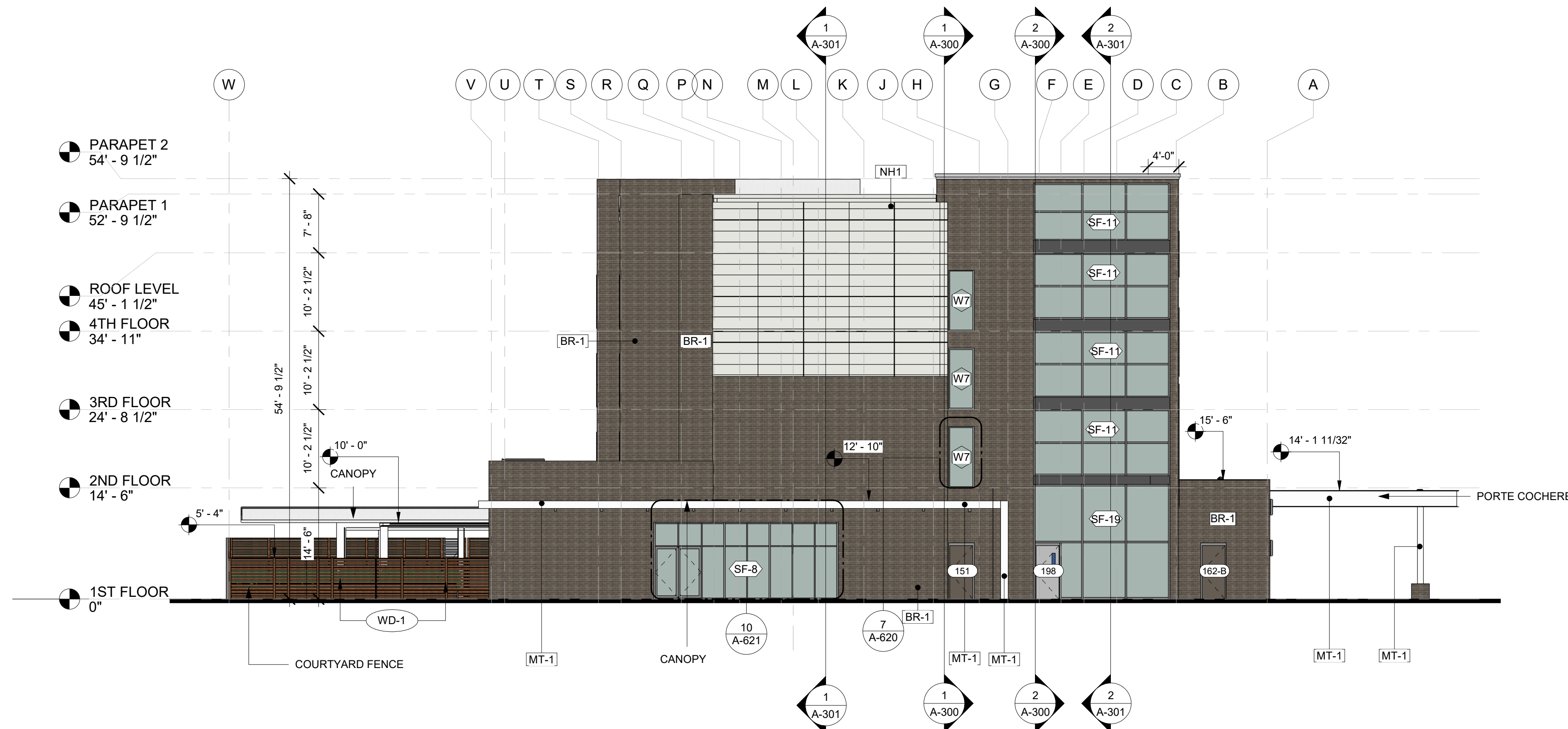
Channel Letter Face Specifications:

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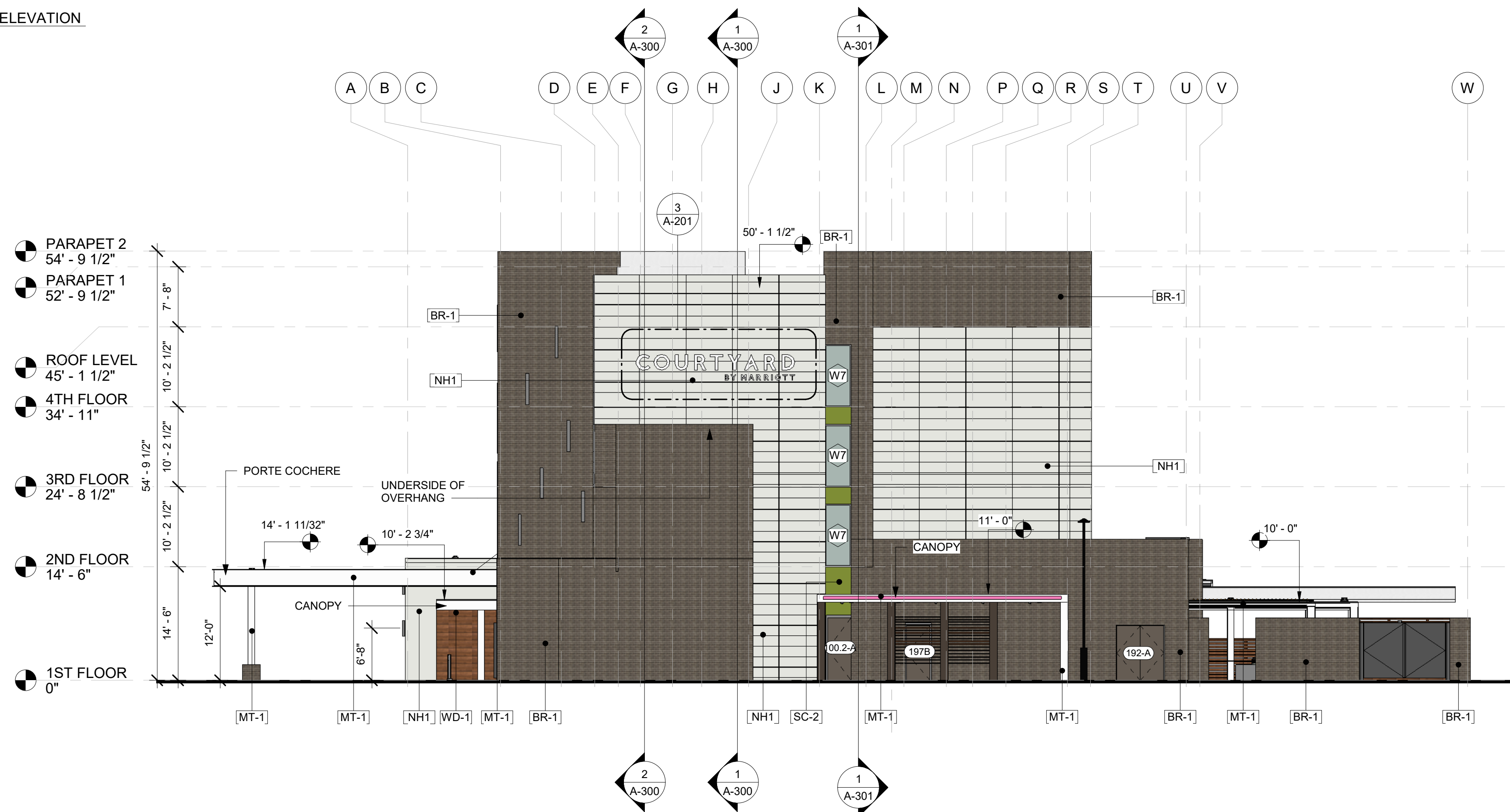


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* Letter height determined by the height of the letter "C".



1 WEST SIDE ELEVATION
3/32" = 1'-0"



2 EAST SIDE ELEVATION
3/32" = 1'-0"

LEGEND - EXTERIOR FINISHES

MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
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CORAL SPRINGS, FL 33076

Seal:



Owner:

TOP
Hospitality
143 Wheeling Road
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312 404 6735

COURTYARD
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6
REVISION DATE: 2019.08.24

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PROJECT NO.

B4-157-1801

SHEET NAME

EXTERIOR
ELEVATIONS-2

DRAWINGS NO.

A-201



Residence INN

BY MARRIOTT

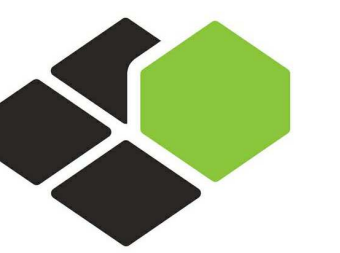
PROTOTYPE VERSION: DESIGN GUIDELINE DRAWINGS - GEN 9
REVISION DATE: 29.04.2019

MARRIOTT PROJECT NO: 12605 RIBM Tinley Park

TINLEY PARK, ILLINOIS

PROJECT NO: B4-157-1901

MARRIOTT /NEW HORIZON HOTELS (COURTYARD
AND RESIDENCE INN) - 9551 & 9555 183RD
STREET



BASE⁴

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5453 NW 106TH DR
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Owner:

**TOP
Hospitality**

143 Wheeling Road
Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2010.04.29

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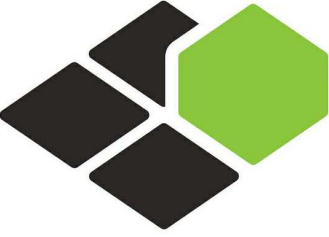
TITLE SHEET

DRAWINGS NO.

G-000

SHEET INDEX GENERAL	
SHEET NUMBER	SHEET NAME
G-000	TITLE SHEET
G-001	SHEET INDEX

SHEET INDEX ARCH	
A-001	DUMPSTER/SITE DETAILS
A-100	1ST FLOOR PLAN
A-101	2ND FLOOR PLAN
A-102	3RD FLOOR PLAN
A-103	4TH FLOOR PLAN
A-104	ROOF LEVEL PLAN
A-600	EXTERIOR ELEVATION & BUILDING SECTION-1
A-601	EXTERIOR ELEVATION & BUILDING SECTION-2
A-602	EXTERIOR ELEVATION & BUILDING SECTION-3
A-603	EXTERIOR ELEVATION & BUILDING SECTION-4
A-604	EXTERIOR ELEVATION
A-605	MONUMENT SIGN (RESIDENCE INN)
A-606	EXTERIOR SIGNAGE (RESIDENCE INN)
A-607	EXTERIOR SIGNAGE (RESIDENCE INN)



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ResidenceINN

BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

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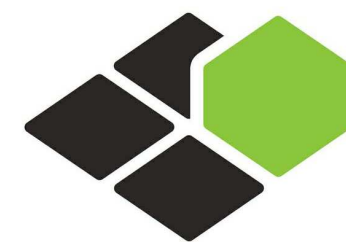
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SHEET NAME

SHEET INDEX

DRAWINGS NO.

G-001



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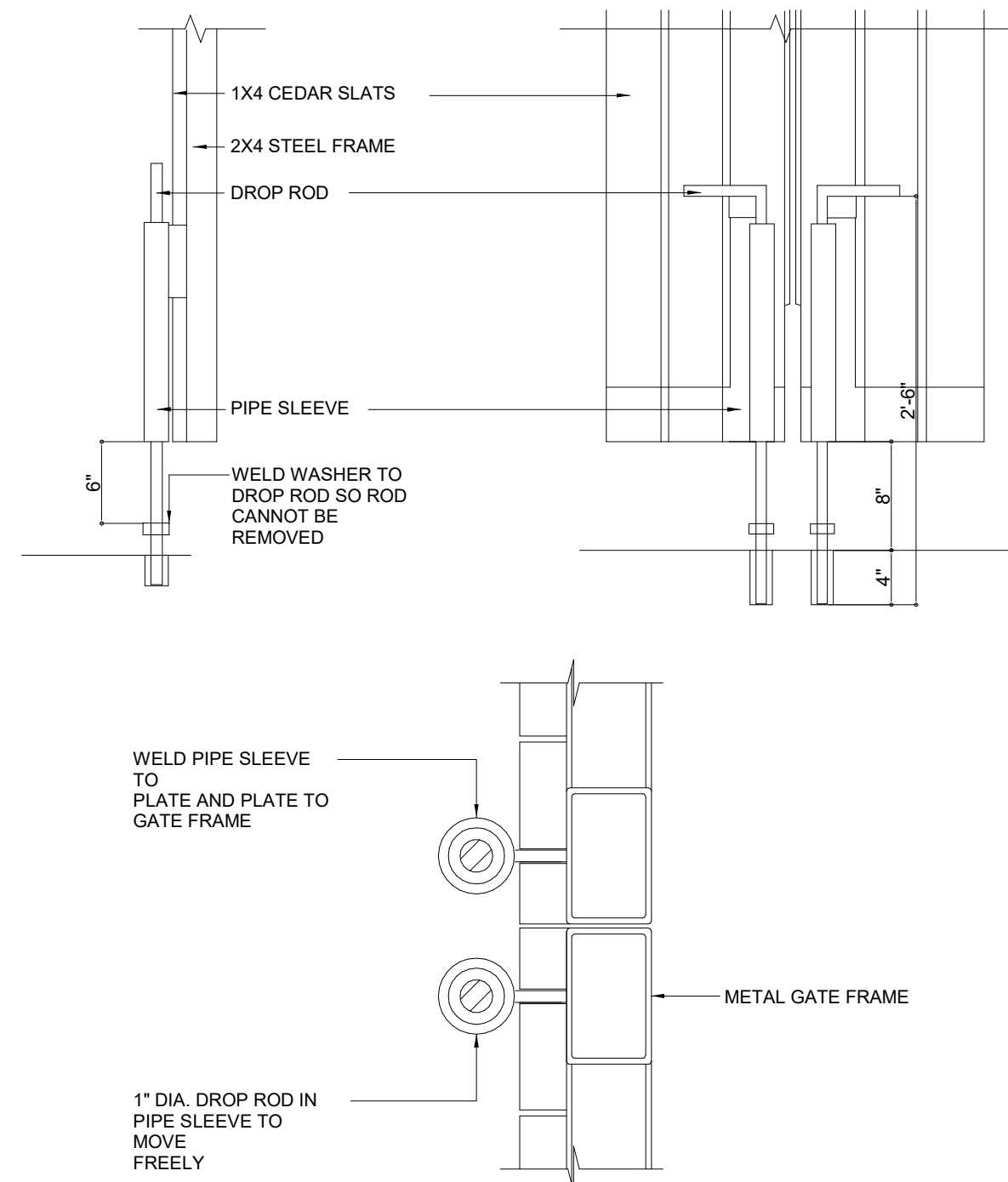
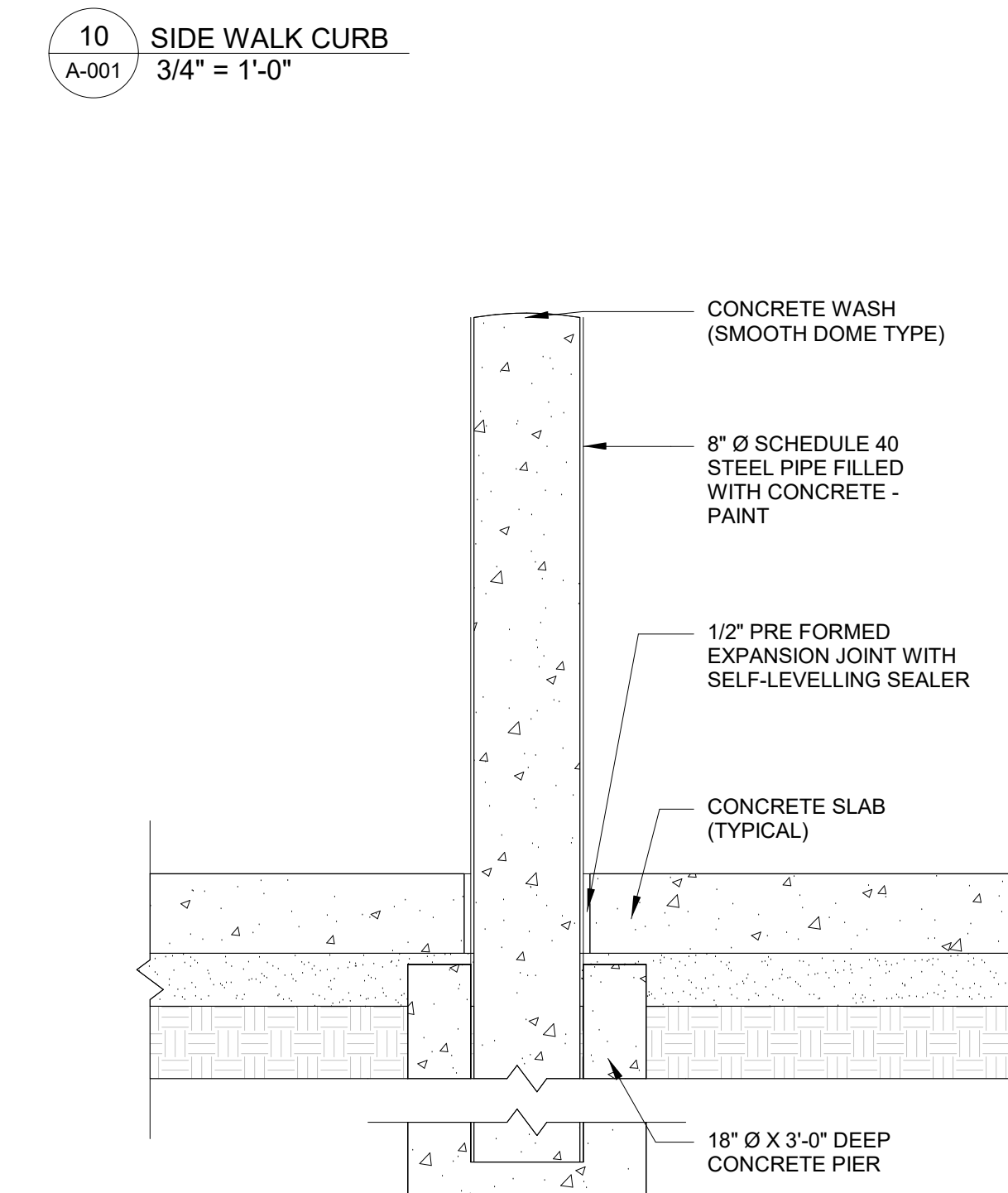
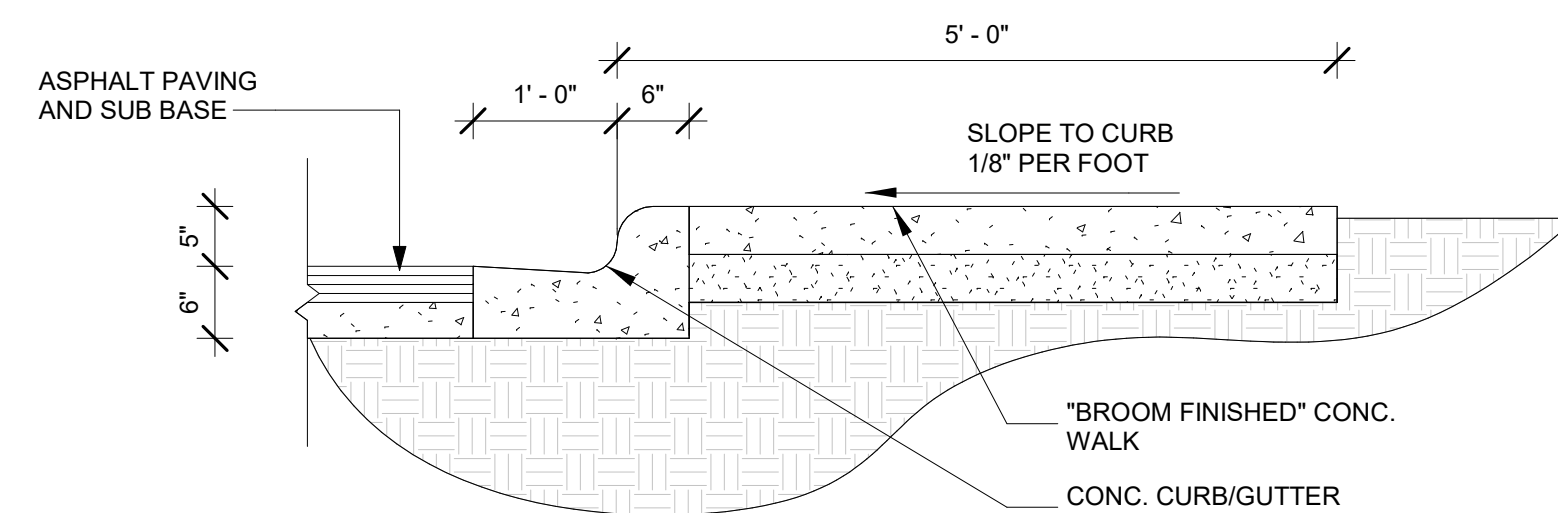
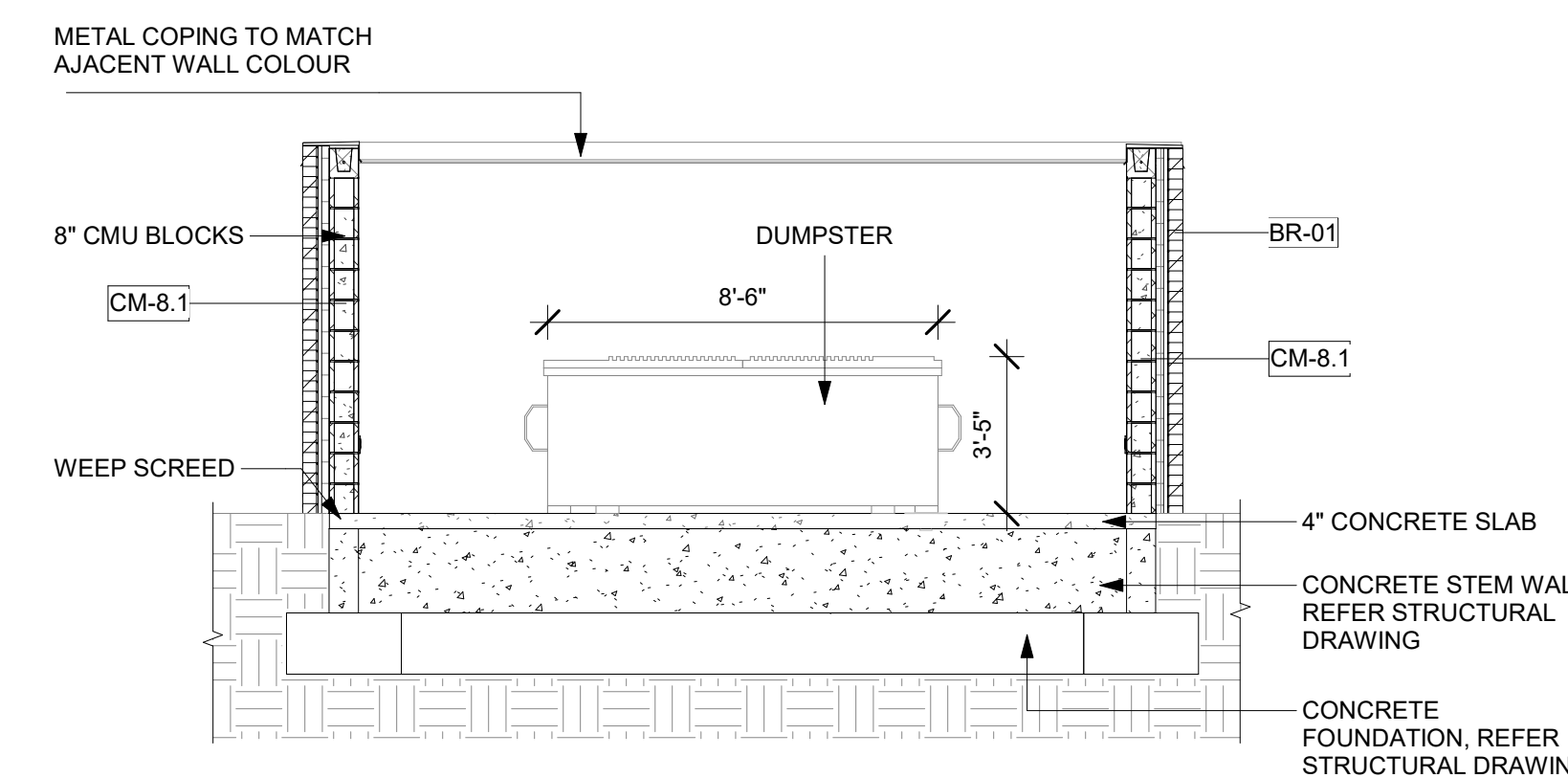
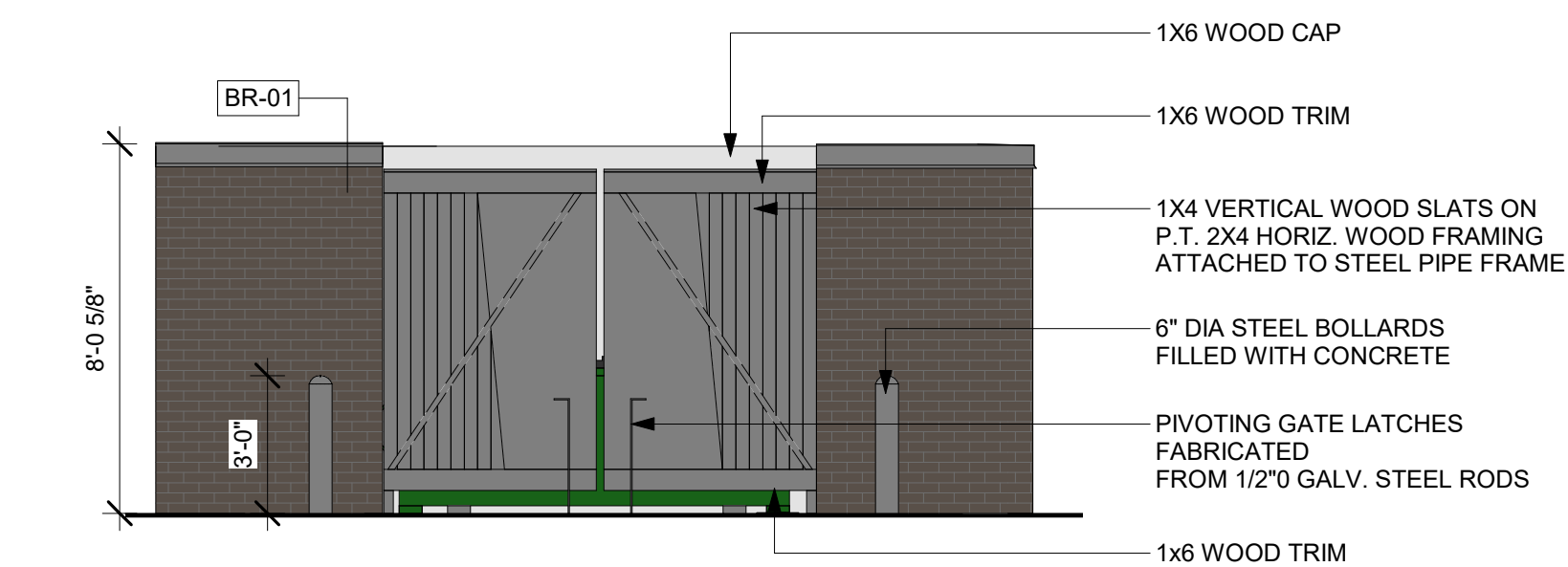
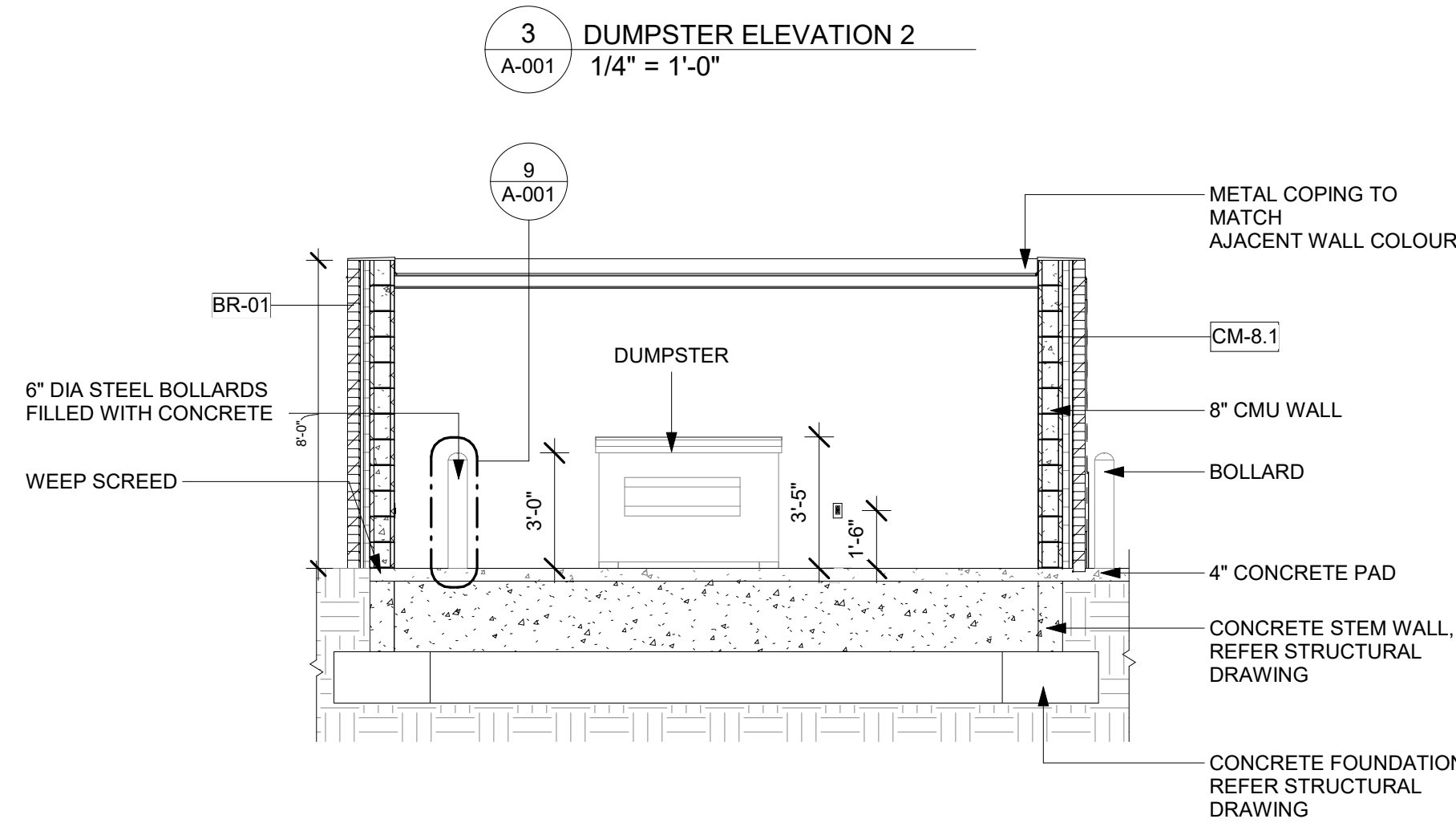
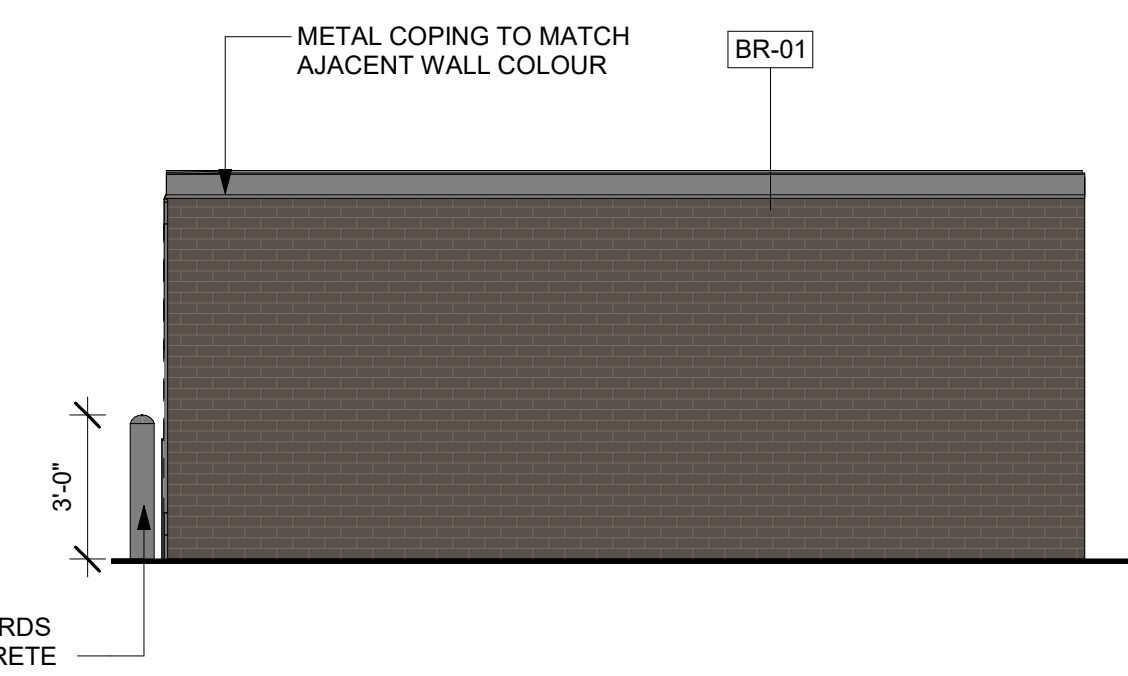
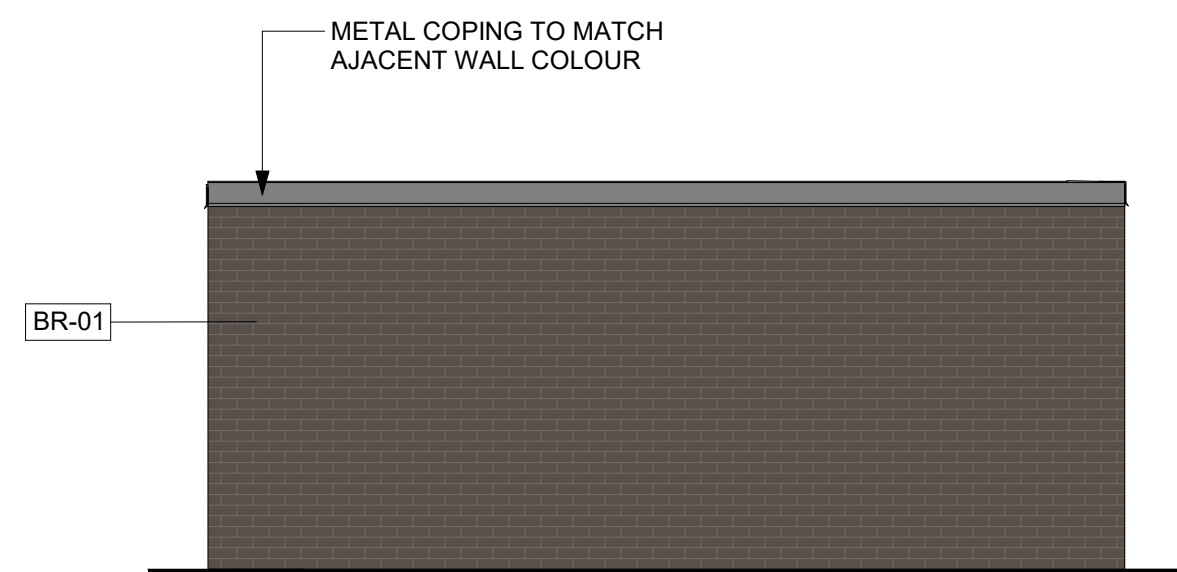
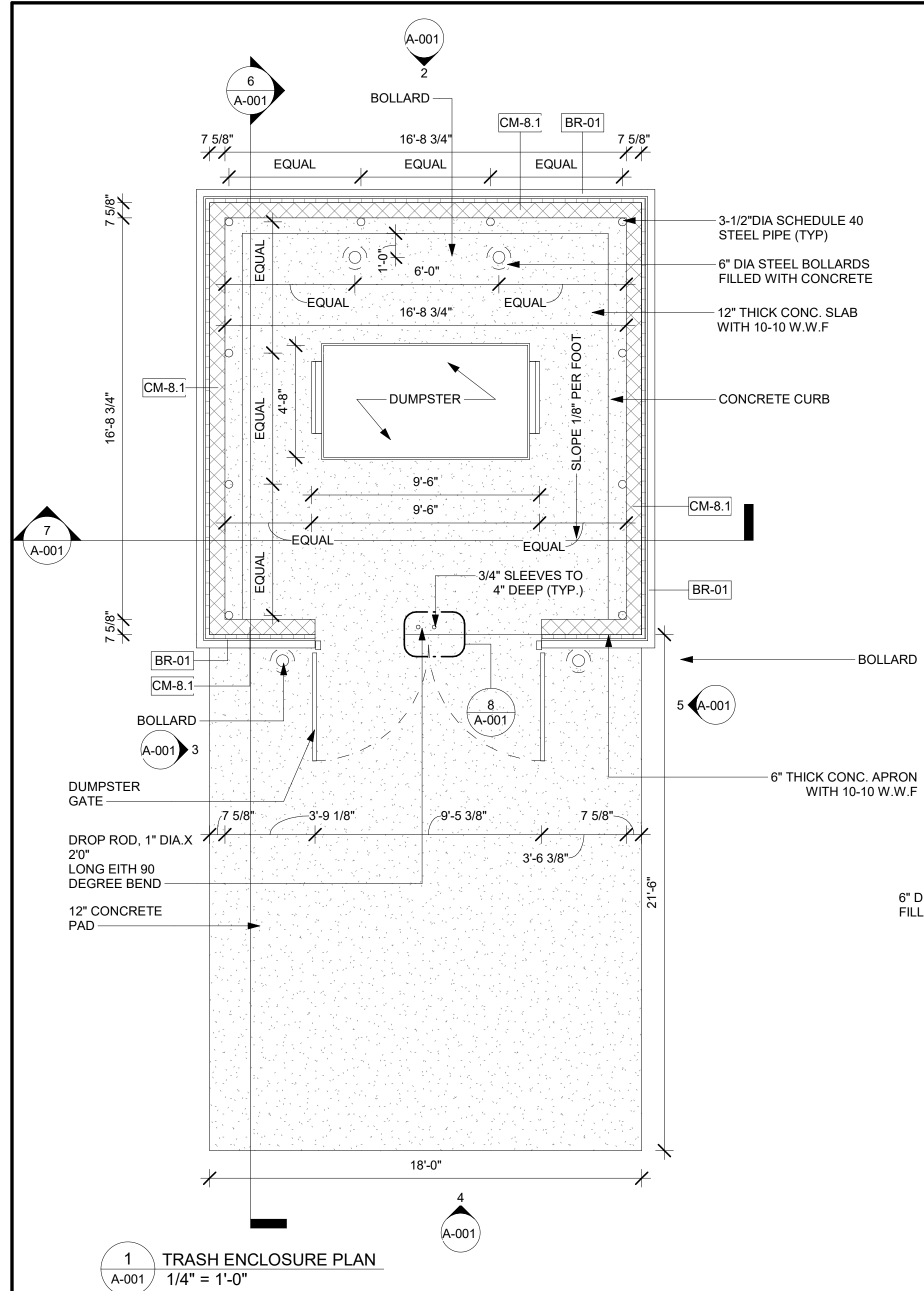
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EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%

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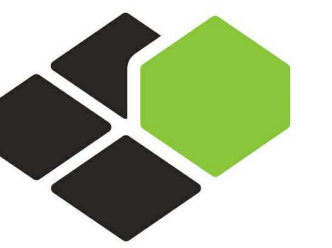
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SHEET NAME

DUMPSTER/SITE
DETAILS

DRAWINGS NO.

A-001



BASE4

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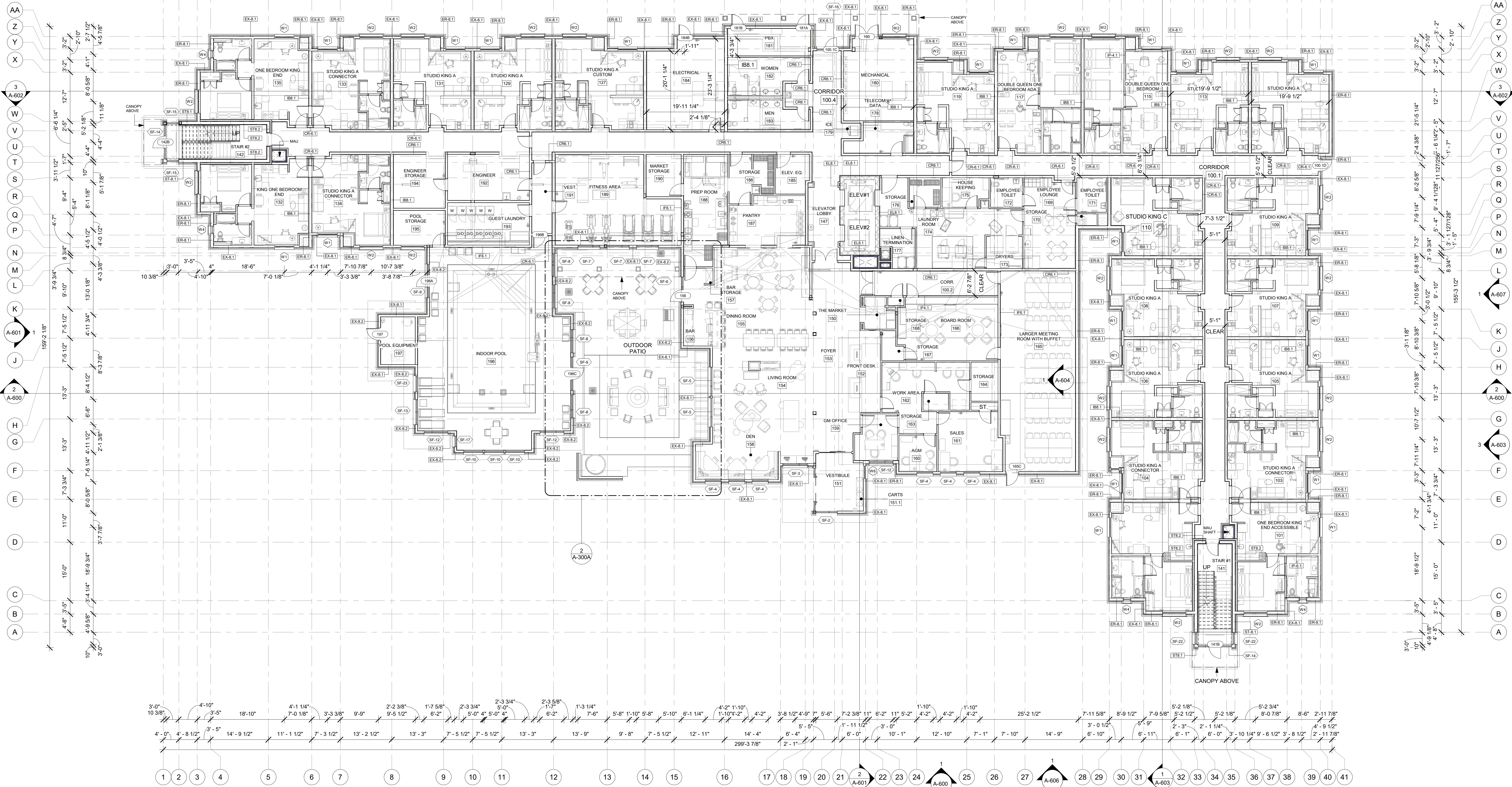
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Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2010.04.29

ISSUE
NO. DELTA ISSUE DATE DESCRIPTION



- GENERAL FLOOR PLAN NOTES**
- BASE4 NOTES
- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
 - EXTERIOR GRIDLINE ALIGNMENT IS ON FACE OF EXTERIOR SHEATHING, CMU, & CONCRETE.
 - INTERIOR GRIDLINE ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS, CMU, & CONCRETE.
 - INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
 - PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
 - GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
 - REFER TO G-002 FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES.
 - REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION.
 - REFER TO SHEET G-005 FOR ACCESSIBLE CLEARANCE LEGEND.

1ST FLOOR PLAN

DRAWINGS NO.

A-100



ICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Owner:

143 Wheeling Road
Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9
REVISION DATE: 2010.04.29

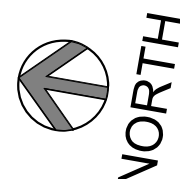
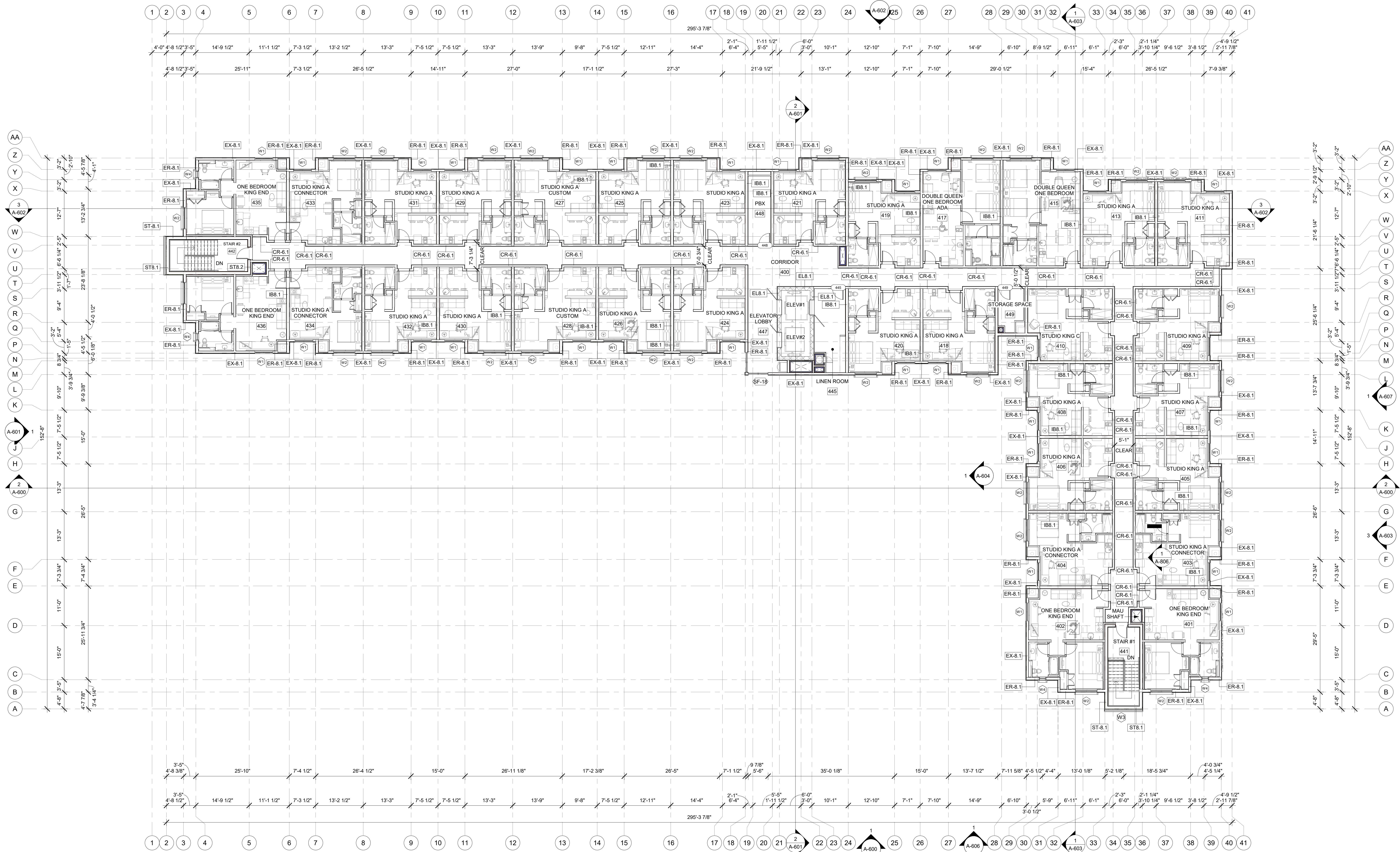
ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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**ISSUED FOR PC STAFF
REVIEW**

SHEET NAME

DRAWINGS NO.

A-103

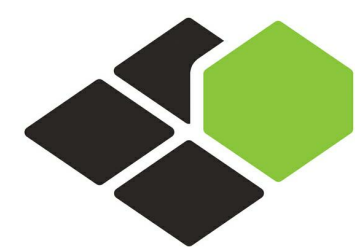


1 4TH FLOOR PLAN
A-103 3/32" = 1'-0"

GENERAL FLOOR PLAN NOTES

BASE4 NOTES

1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2. EXTERIOR GRIDLIN ALIGNMENT IS ON FACE OF EXTERIOR SHEATHING CMU & CONCRETE
3. INTERIOR GRIDLIN ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS CMU & CONCRETE
4. INTERIOR DOORS TO BE MIN. OF 4' FROM EXTERIOR WALL
5. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
6. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD
7. REFER TO G-002 FOR ACCESSIBLE GUESTROOM & BATH COMMUNICATION
8. REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION
9. REFER TO SHEETS STARTING ON G-005 FOR ACCESSIBLE CLEARANCE LEGEND.



BASE4

2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP
Hospitality

143 Wheeling Road
Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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CURRENT ISSUE

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CURRENT ISSUE DATE
2020.01.16

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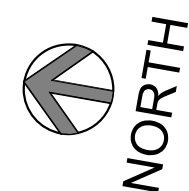
PROJECT NO.
B4-157-1901

SHEET NAME

ROOF LEVEL PLAN

DRAWINGS NO.

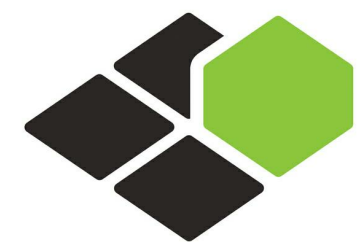
A-104



1
A-104
ROOF PLAN
3/32" = 1'-0"

GENERAL ROOF NOTES

1. ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE
2. CONTRACTOR TO COORDINATE WITH CHUTE VENDOR, STRUCTURAL ENGINEER, PLANK MFR. AND TRUSS MFR.
3. THE DIMENSION AND LOCATION OF CHUTE DUCT ROOF PENETRATION AND TRUSS SPACING WHERE CHUTE DUCT PENETRATES THE TOWER ROOF.
4. SEE DETAILS FOR ROOF PENETRATION DETAILS.
5. SEE STRUCTURAL FOR ALL TOP OF DECK ELEVATIONS, JOIST SIZES, ETC.
6. COORDINATE ALL ROOF TOP UBT LOCATIONS WITH MECHANICAL.
7. SEE MECHANICAL/PLUMBING FOR ADDITIONAL INFORMATION.
8. PAINT ALL ROOF PENETRATIONS, ROOF TOP EQUIPMENT, LADDERS, ETC. UNLESS EQUIPMENT IS PREFINISHED (COLOR TO BE SELECTED BY THE GENERAL CONTRACTOR).
9. PROVIDE TAPERED INSULATION CRICKETS AT ALL ROOF SLOPE OBSTRUCTIONS.
10. PAINT ALL EXPOSED SHROUDS. INSTALL PADS AFTER HVAC EQUIPMENT HAS BEEN INSTALLED.
11. ALL WOOD BLOCKING WITH MECHANICAL ENGINEER.
12. COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL.
13. ANY ROOF FLASHING, METAL FACIA & FORMED CAP FLASHING TO BE FIRESTONE PRODUCTS ONLY.
14. ALL VENT PIPES, ETC. ENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.



BASE4

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5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

TOP
Hospitality

143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2019.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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1	A1	2020.02.04	ISSUED FOR PERMIT
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CURRENT ISSUE DATE
2020.02.04

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SD

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RB/CM

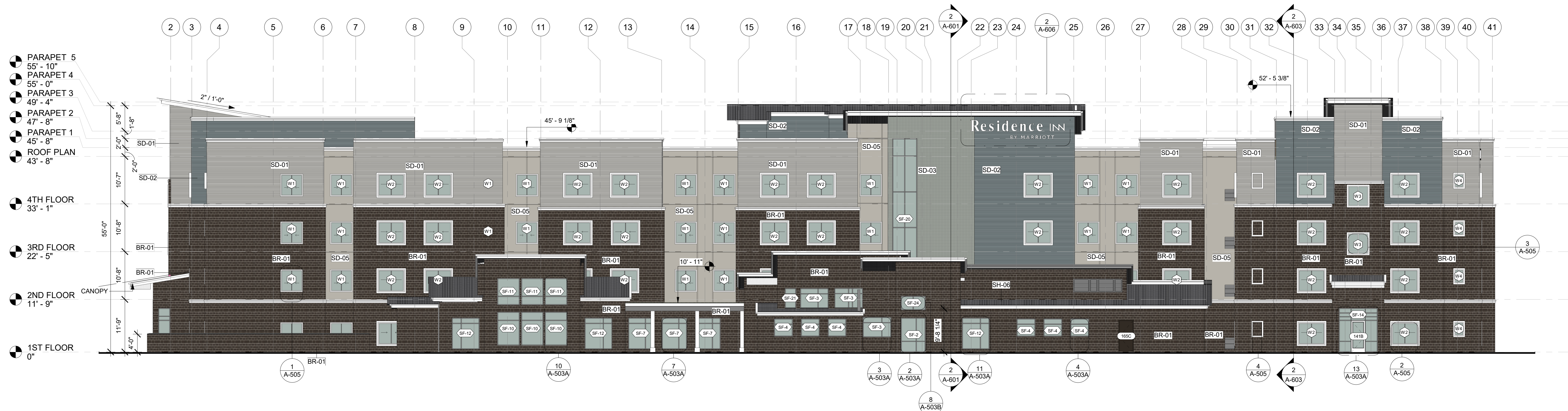
PROJECT NO.
B4-157-1901

SHEET NAME

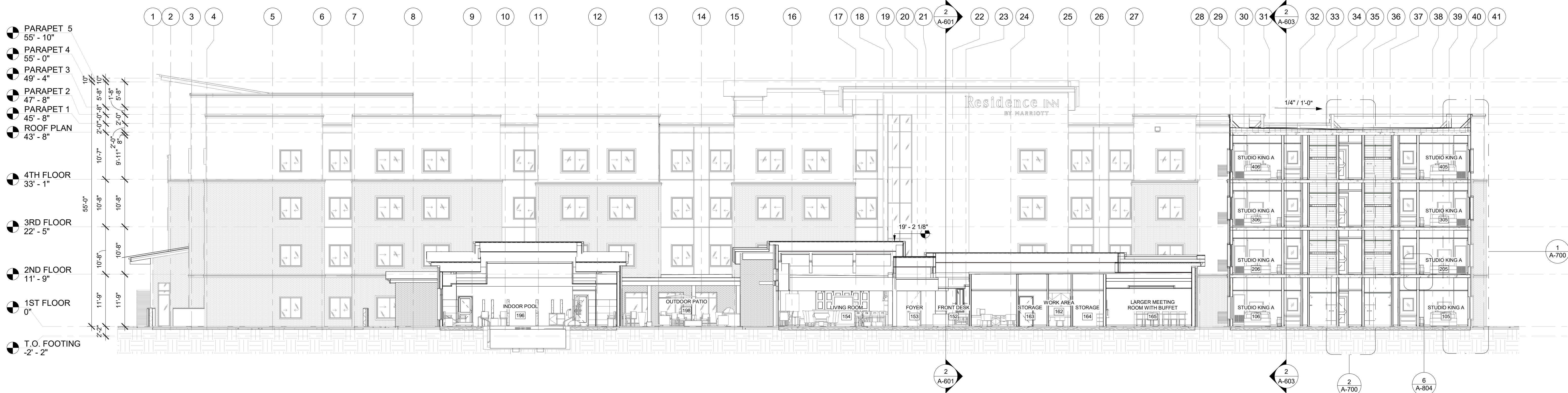
EXTERIOR
ELEVATION &
BUILDING
SECTION-1

DRAWINGS NO.

A-600



1 WEST ELEVATION
A-600 3/32\"/>



2 BUILDING SECTION #5
A-600 3/32\"/>

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL, LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4\"/>

ENERGY CODE INFORMATION

REFERENCED ENERGY CODE: APPLICABLE CODE CHAPTER 3: GENERAL REQUIREMENTS (C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	SLAB-ON-GRADE FLOORS UNHEATED SLABS HEATED SLABS OPAQUE DOORS NONSWINING R-10 for 24\"/>
CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	ROOFS INSUL ENTIRELY ABOVE DECK METAL BUILDING ATTIC AND OTHER WALLS ABOVE GRADE MASS METAL BUILDING METAL FRAMED WALLS BELOW GRADE BELOW GRADE WALLS MASS JOIST/FRAMING R-30 ci R-19 + R-11 LS R-38 R-11.4 ci R-13 + R-13ci R-13 + R-7.5ci R-7.5 ci R-10 ci R-30
	TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS VERTICAL FENESTRATION FIXED FENESTRATION OPERABLE FENESTRATION ENTRANCE DOORS SHGC PROJECTION FACTOR SKYLIGHTS U-FACTOR SHGC U-0.38 U-0.45 U-0.77 U-0.64 N / U-0.64 SEW U-0.50 U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

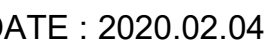
EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%



ICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

deal:



упр

TOP
Hospitality

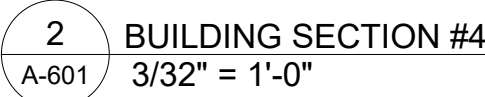
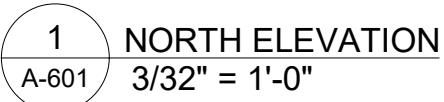
143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
INLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9
REVISION DATE: 2019.04.29

A1	2020.02.04	ISSUED FOR PERMI
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1. REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
2. PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALLED WITH FLASHING GIC IN PLACE AT PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
3. PROVIDE A WINDOW DETAIL WITH INTERIOR (LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
4. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED CITY OF PLANNING DEPARTMENT. THE CITY DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE PERMIT APPLICATION AND THE CONSTRUCTION OF THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A PERMIT FOR OCCUPANCY. THE DEVELOPER WILL BE REQUIRED TO MAKE ANY NECESSARY MODIFICATIONS TO THE CONSTRUCTED BUILDING.
5. ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE SHALL BE ASSEMBLED IN A MANNER THAT MATCHES THE ROOF COLOR. USE PAINT/A COLO THAT BLENDS WITH THE ROOF COLOR.
6. ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF ROOF FINISH ASSEMBLY. ALL STRUCTURAL QUOS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.

13. ELECTRICAL SERVICE INSIDE PARAPETS BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.

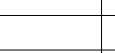




14. SERVICE ENTRANCE TO BE LOCATED IN FRONT OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO BE RESPONSIBLE FOR THE ELECTRICAL SERVICE INSIDE PARAPET WALL.


15. PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET AREAS. ACCESS DOORS MAY BE REQUIRED.

16. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL WIRING TO THE SIGN AND TO THE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL.

17. POWER AND LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

REFERENCED ENERGY CODE: APPLICABLE CODE CHAPTER 3: GENERAL REQUIREMENTS (C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS		SLAB-ON-GRADE FLOORS UNHEATED SLABS HEATED SLABS OPAQUE DOORS NONSWINGING		R-10 for 24" below R-15 for 36" below R-4.75
CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS		TABLE C402.4: BUILDING ENVELOPE PENETRATION REQUIREMENTS		
ROOFS INSUL. ENTIRELY ABOVE DECK METAL BUILDING ATTIC AND OTHER WALLS ABOVE GRADE MASS METAL BUILDING METAL FRAMED	R-30 ci R-19 + R-11 LS R-38 R-11.4 ci R-13 + R-13ci R-13 + R-7.5ci	VERTICAL PENETRATION FIXED PENETRATION OPERABLE PENETRATION ENTRANCE DOORS SHGC PROJECTION FACTOR SKYLIGHTS U-FACTOR SHGC	U-0.38 U-0.45 U-0.77 U-0.64 N / U-0.64 SEW U-0.50 U-0.40	
WALLS BELOW GRADE BELOW GRADE WALLS FLOORS MASS JOIST/FRAMING	R-7.5 ci R-10 ci R-30			

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%

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PROJECT NO. B4 157-1

SHEET NAME

EXTERIOR
ELEVATION &
BUILDING
SECTION-2

DRAWINGS NO.

A-601



BASE4

2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

TOP
Hospitality

143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2019.04.29

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1 A1 2020.02.04 ISSUED FOR PERMIT

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CURRENT ISSUE DATE
2020.02.04

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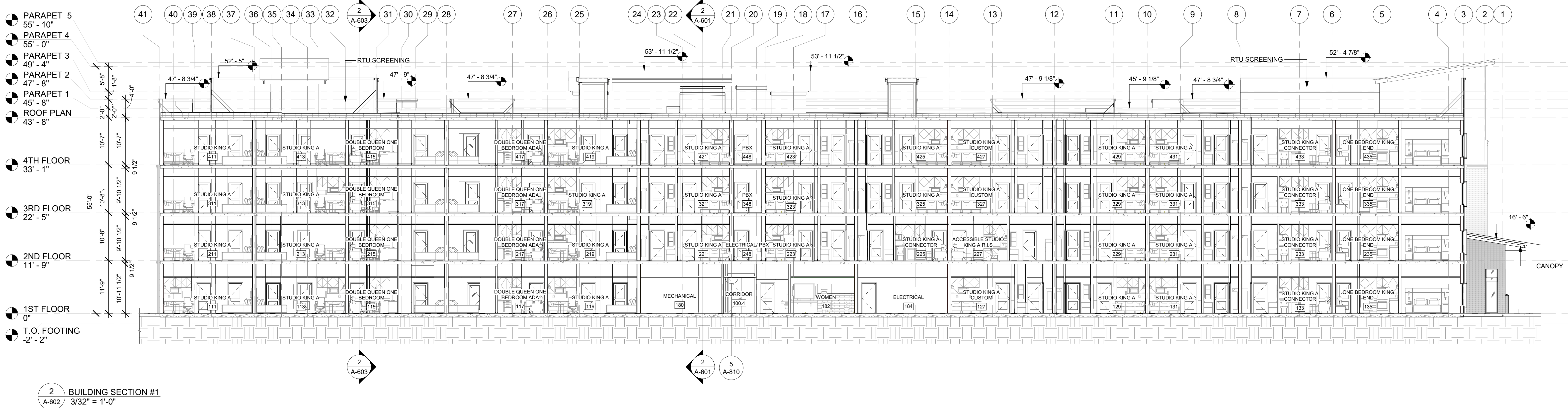
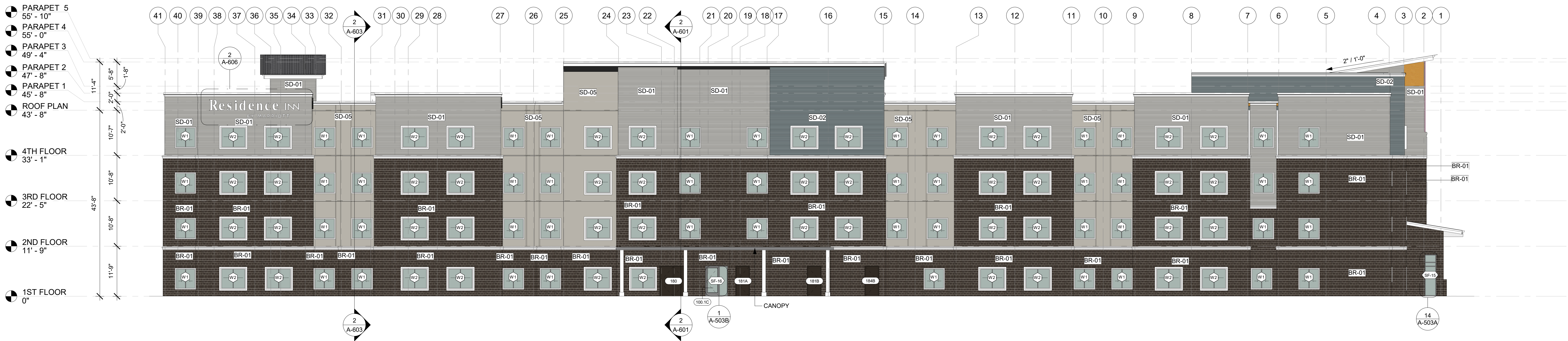
PROJECT NO.
B4-157-1901

SHEET NAME

EXTERIOR
ELEVATION &
BUILDING
SECTION-3

DRAWINGS NO.

A-602



GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL, LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4\"/>

ENERGY CODE INFORMATION

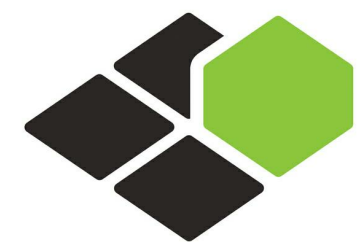
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CHAPTER 3: GENERAL REQUIREMENTS	
(C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	
CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY	
TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	
ROOFS	
INSUL. ENTIRELY ABOVE DECK	R-30 cl
METAL BUILDING	R-19 + R-11 LS
ATTIC AND OTHER	R-38
WALLS ABOVE GRADE	
MASS	R-11.4 cl
METAL BUILDING	R-13 + R-13cl
METAL FRAMED	R-13 + R-7.5cl
WALLS BELOW GRADE	
BELOW GRADE WALLS	R-7.5 cl
MASS	R-10 cl
JOIST/FRAMING	R-30
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	R-10 for 24\"/>
HEATED SLABS	R-15 for 38\"/>
OPAQUE DOORS	
NONSWINGING	R-4.75
TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS	
VERTICAL FENESTRATION	
FIXED FENESTRATION	U-0.38
OPERABLE FENESTRATION	U-0.45
ENTRANCE DOORS	U-0.77
SHGC	
PROJECTION FACTOR	U-0.64 N / U-0.64 SEW
SKYLIGHTS	
U-FACTOR	U-0.50
SHGC	U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
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RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

TOP
Hospitality

143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2019.04.29

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SD

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RB/CM

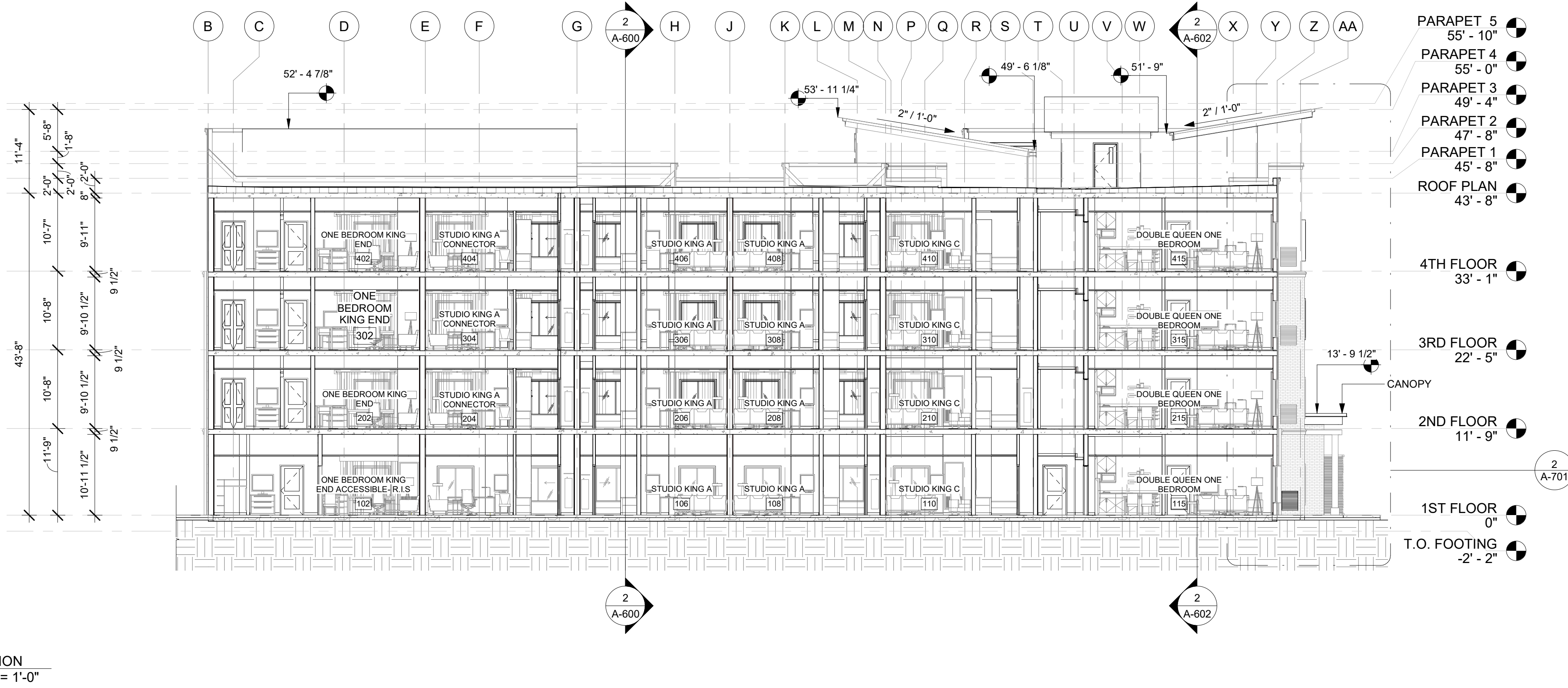
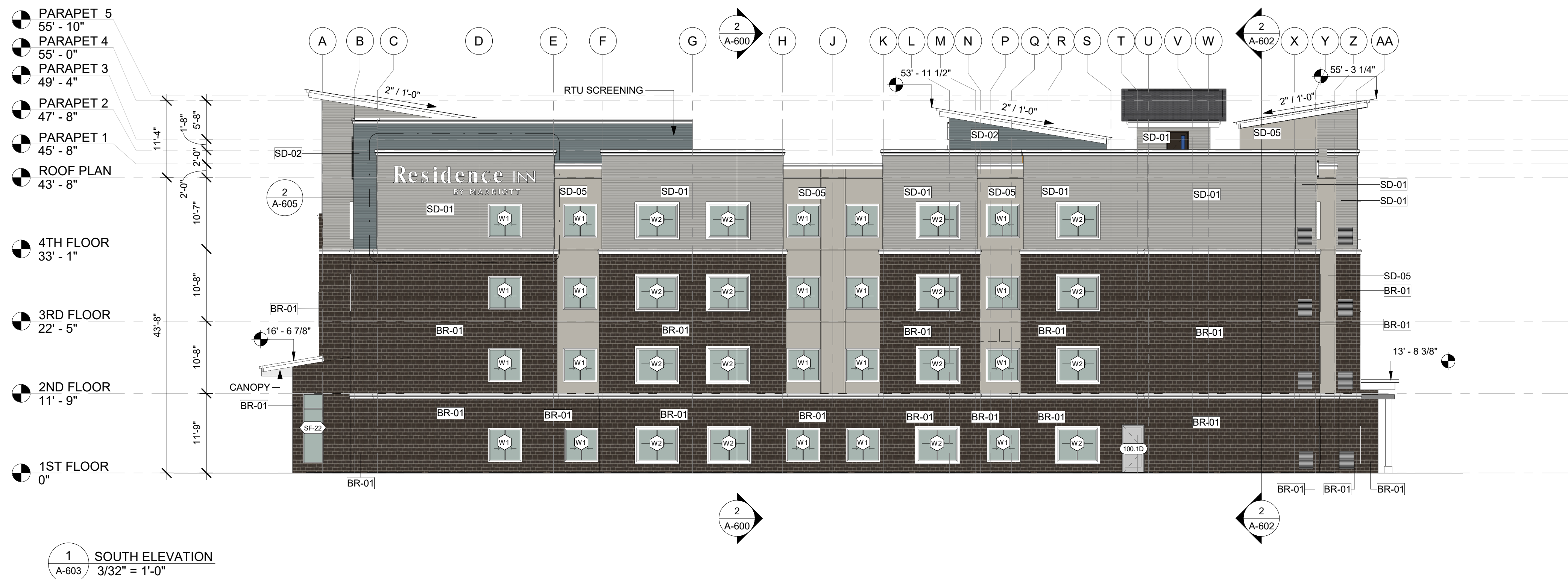
PROJECT NO.
B4-157-1901

SHEET NAME

EXTERIOR
ELEVATION &
BUILDING
SECTION-4

DRAWINGS NO.

A-603



GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. INSIDE PARAPET WALL PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

ENERGY CODE INFORMATION

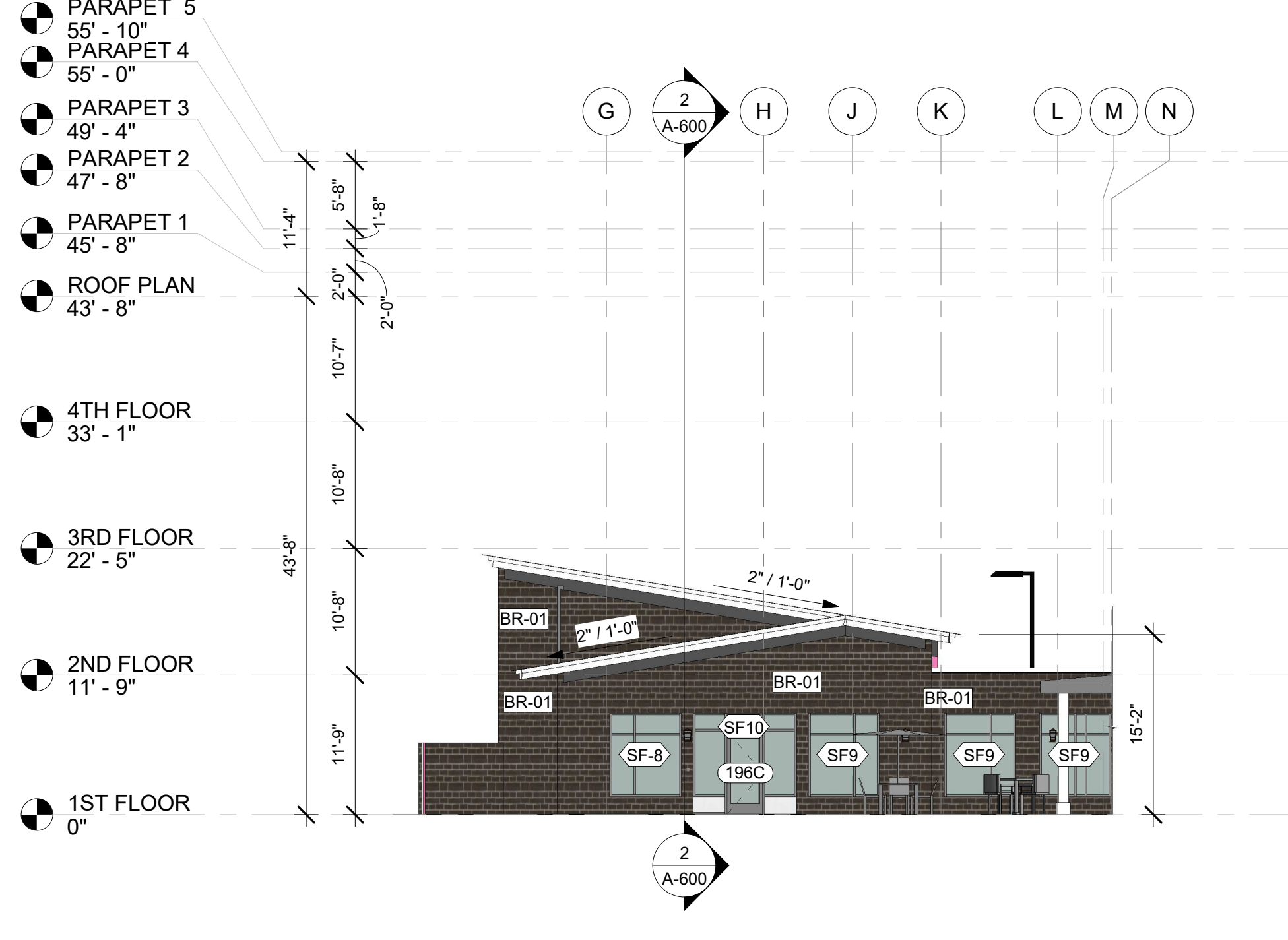
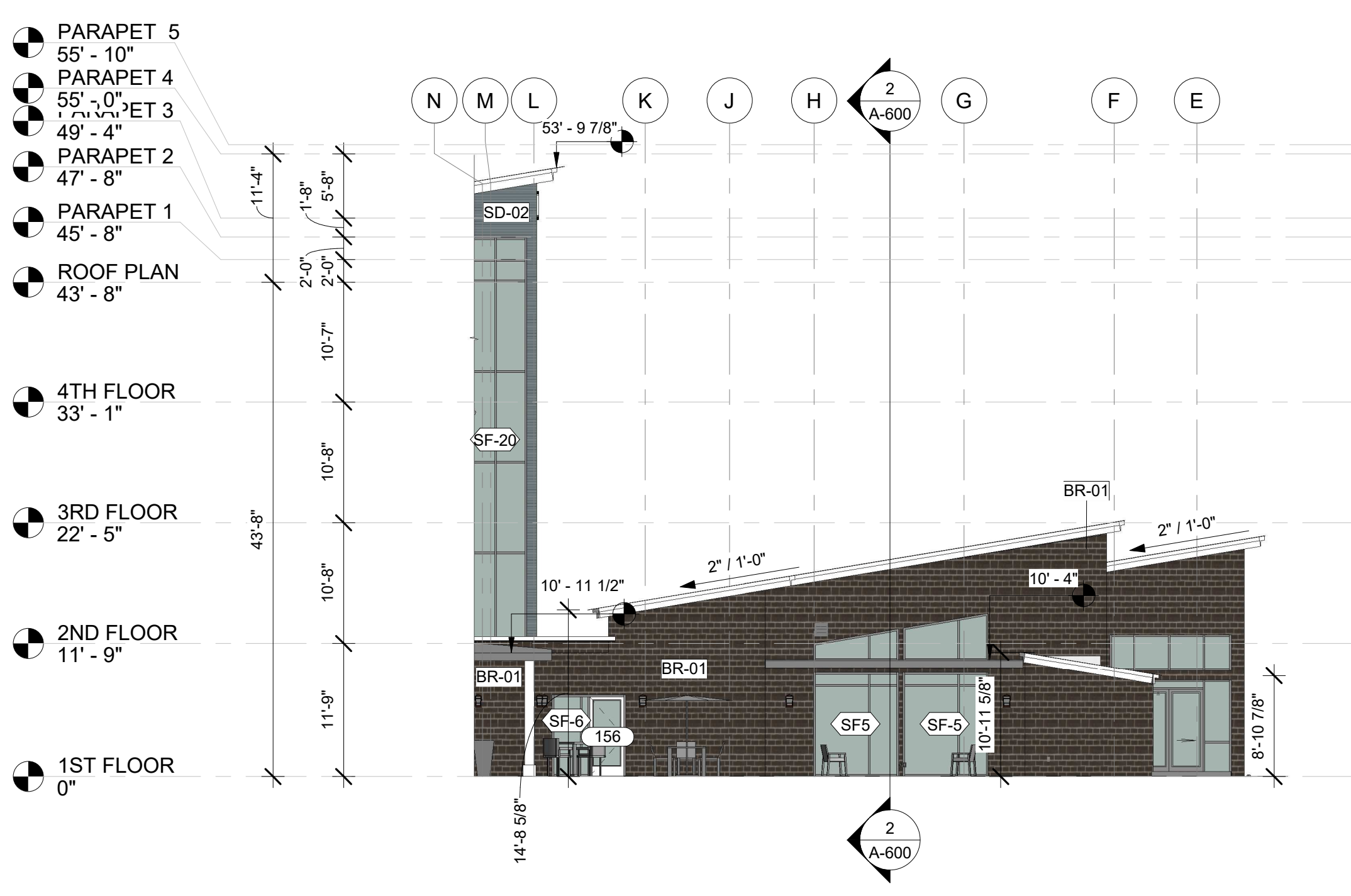
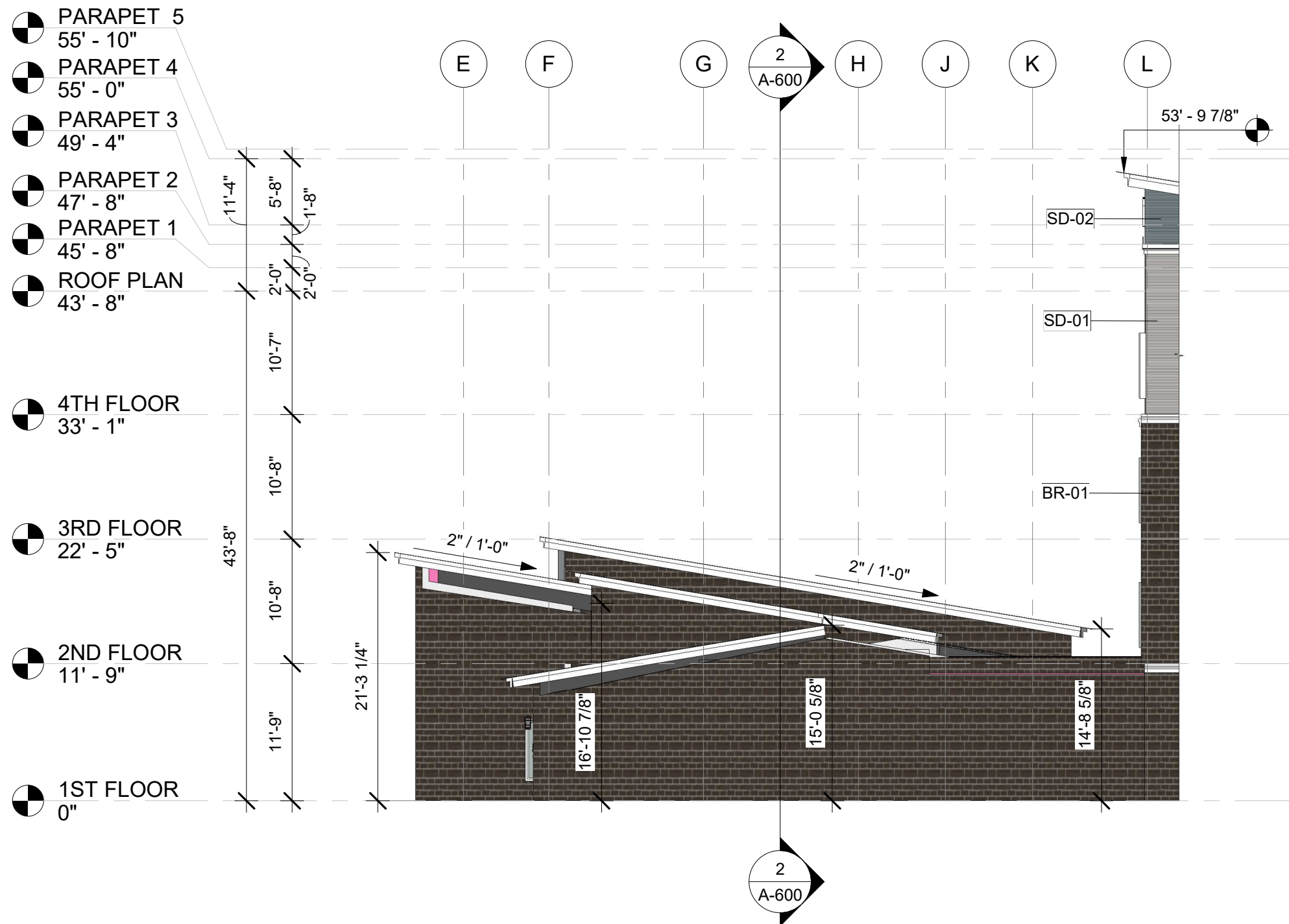
REFERENCED ENERGY CODE: APPLICABLE CODE CHAPTER 3: GENERAL REQUIREMENTS (C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	SLAB-ON-GRADE FLOORS UNHEATED SLABS R-10 for 24" below R-15 for 36" below OPAQUE DOORS NONSWINGING R-4.75
CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	ROOFS INSUL. ENTIRELY ABOVE DECK METAL BUILDING ATTIC AND OTHER WALLS ABOVE GRADE MASS METAL BUILDING METAL FRAMED WALLS BELOW GRADE BELOW GRADE WALLS MASS JOIST/FRAMING
R-30 cl R-19 + R-11 LS R-38 R-11.4 cl R-13 + R-13cl R-13 + R-7.5cl R-7.5 cl R-10 cl R-30	TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS VERTICAL FENESTRATION FIXED FENESTRATION OPERABLE FENESTRATION ENTRANCE DOORS SHGC PROJECTION FACTOR SKYLIGHTS U-FACTOR SHGC U-0.38 U-0.45 U-0.77 U-0.64 N / U-0.64 SEW U-0.50 U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%

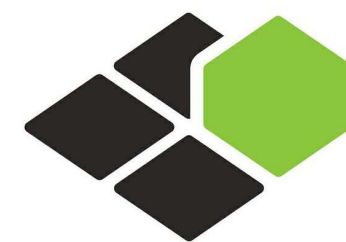


GENERAL NOTES-SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
- SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
- PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
- G.C. TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER. SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
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SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP
Hospitality

143 Wheeling Road
Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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CURRENT ISSUE

ISSUED FOR PC STAFF
REVIEW

CURRENT ISSUE DATE

2020.01.17

DRAWN BY

SD

CHECKED BY

RB/CM

PROJECT NO.

B4-157-1901

SHEET NAME

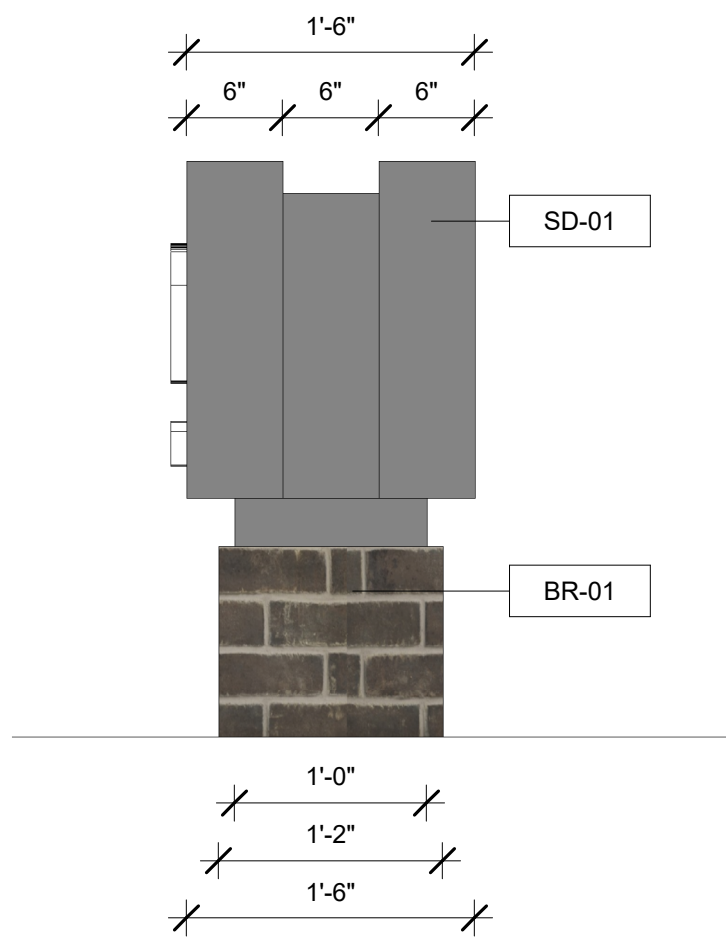
EXTERIOR
ELEVATION

DRAWINGS NO.

A-604



2 MONUMENT ELEVATION
A-605 1" = 1'-0"



3 MONUMENT ELEVATION-2
A-605 1" = 1'-0"

Monument Specifications:

Construction: Aluminum angle frame with .125" aluminum shoe-box style faces
Face Construction: Routed aluminum with backer panel
Retainer: Bleed face
Illumination: GE White LED's
Exterior Finish: Paint Pantone® 425 C Gray, satin finish and Pantone® 877 C Silver, satin finish
Interior Finish: Paint reflective white

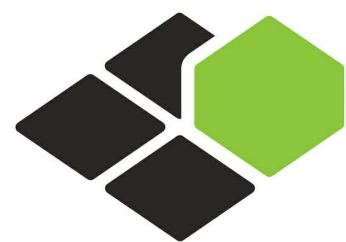
Monument Face Specifications:

Face Construction: Routed aluminum with backer panel
Face Decoration: Pantone® 425 C Gray, satin finish
Backer Panel: .118" white solar grade polycarbonate

* "Residence Inn" and "Marriott" to appear white during the day and illuminate white at night (background does not illuminate)

Pole Cover Specifications:

* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)
Construction: Aluminum angle frame with .080" aluminum skins
Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish



BASE⁴

BASE4
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888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

**TOP
Hospitality**

143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2019.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	Δ1	2020.02.04	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2020.02.04

DRAWN BY
SD

CHECKED BY
RB/CM

PROJECT NO.
B4-157-1901

SHEET NAME

**MONUMENT SIGN
(RESIDENCE INN)**

DRAWINGS NO.

A-605

GENERAL NOTES-SITE PLAN

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SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

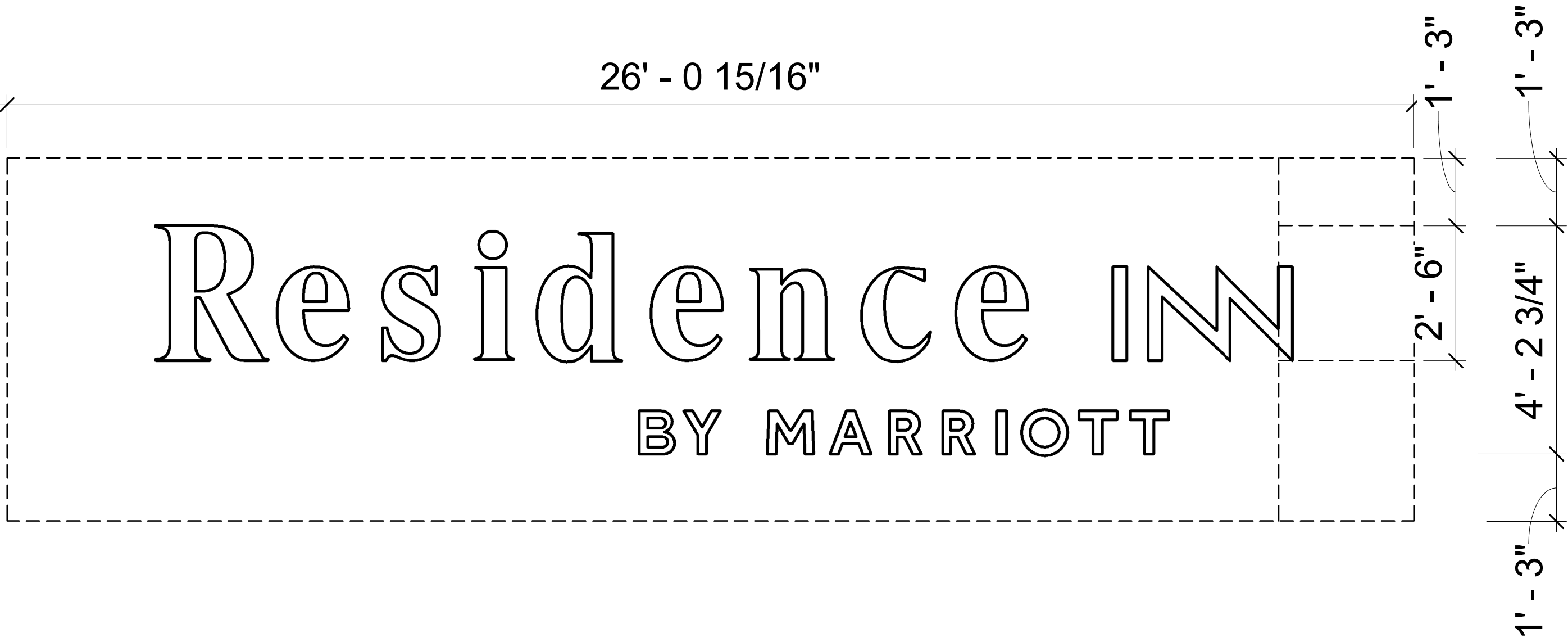
EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%

CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:
Construction: .050" aluminum channel letter with .063" aluminum backs
Face Material: 3/16" 7328 white acrylic
Trim Cap: 1" painted to match Pantone® 425 C Gray
Illumination: GE White LED's as required
Exterior Finish: Paint to match Pantone® 425 C Gray
Interior Finish: Paint reflective white

Channel Letter Face Specifications:
Face Material: 3/16" 7328 white acrylic



	A	B	C	D	E
RI Channel 24	24"	7 11/16"	7'-10 1/4"	3'-4 5/8"	16'-10 5/16"
RI Channel 30	30"	9 9/16"	9'-9 3/4"	4'-2 3/4"	21'-0 15/16"
RI Channel 36	36"	11 1/2"	11'-9 5/16"	5'-0 15/16"	25'-3 1/2"
RI Channel 48	48"	15 5/16"	15'-8 7/16"	6'-9 3/16"	33'-8 11/16"

* Letter height determined by the height of the letter "R".



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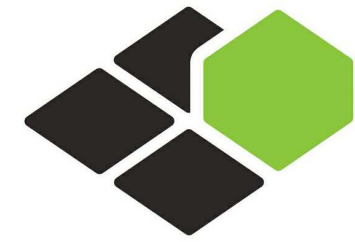
* Letter height determined by the height of the letter "R".



1 ELEVATION 4
A-607 3/32" = 1'-0"

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

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RICARDO J MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP
Hospitality

143 Wheeling Road
Wheeling, Illinois 60090
312 404 6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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DRAWN BY
SD

CHECKED BY
RB/CM

PROJECT NO.
B4-157-1901

SHEET NAME

EXTERIOR
SIGNAGE
(RESIDENCE INN)

DRAWINGS NO.

A-607

FINAL SITE IMPROVEMENT PLANS

FOR

NEW HORIZON HOTELS

9551 & 9555 183RD STREET
TINLEY PARK, ILLINOIS

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

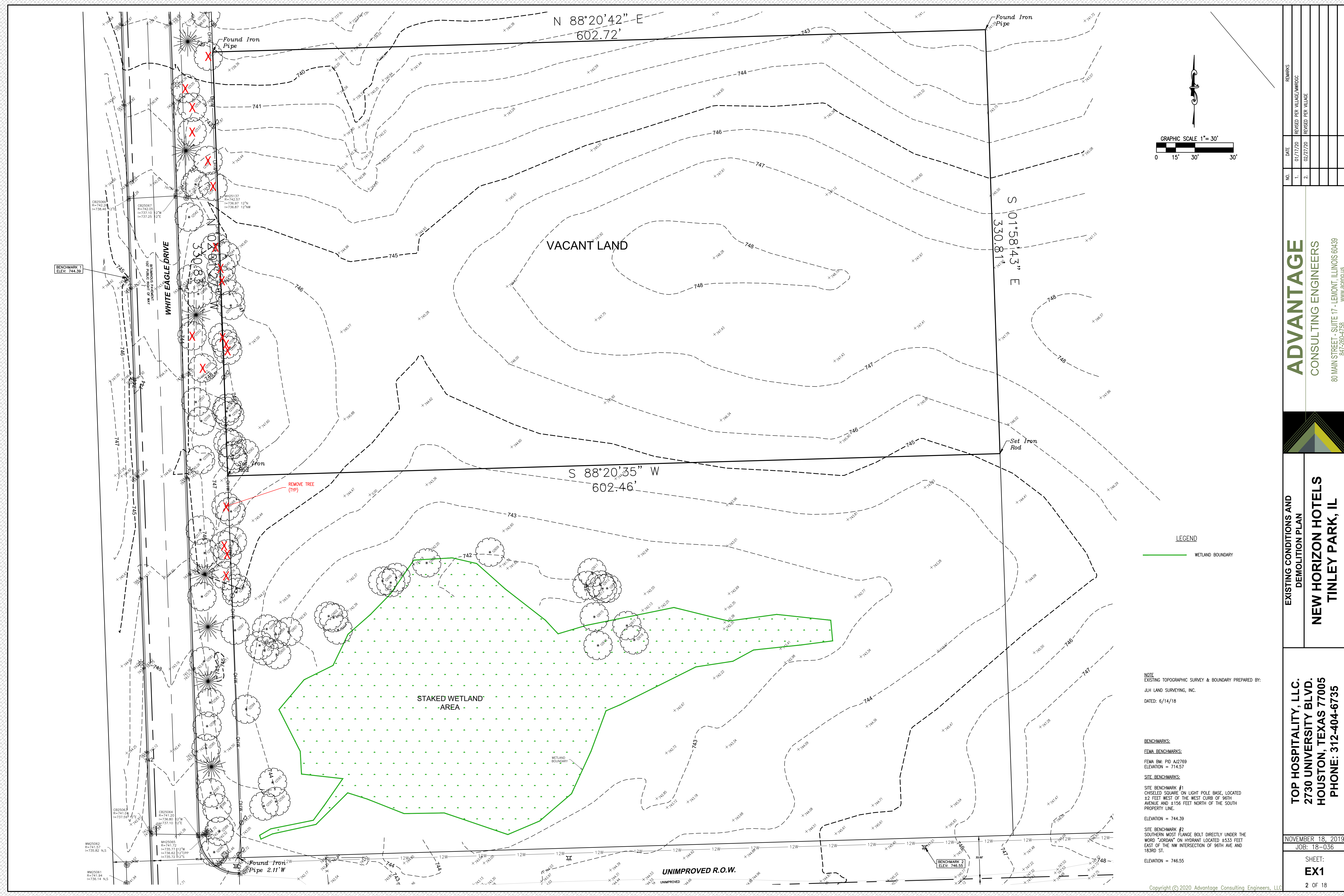
P: (312) 404-6735

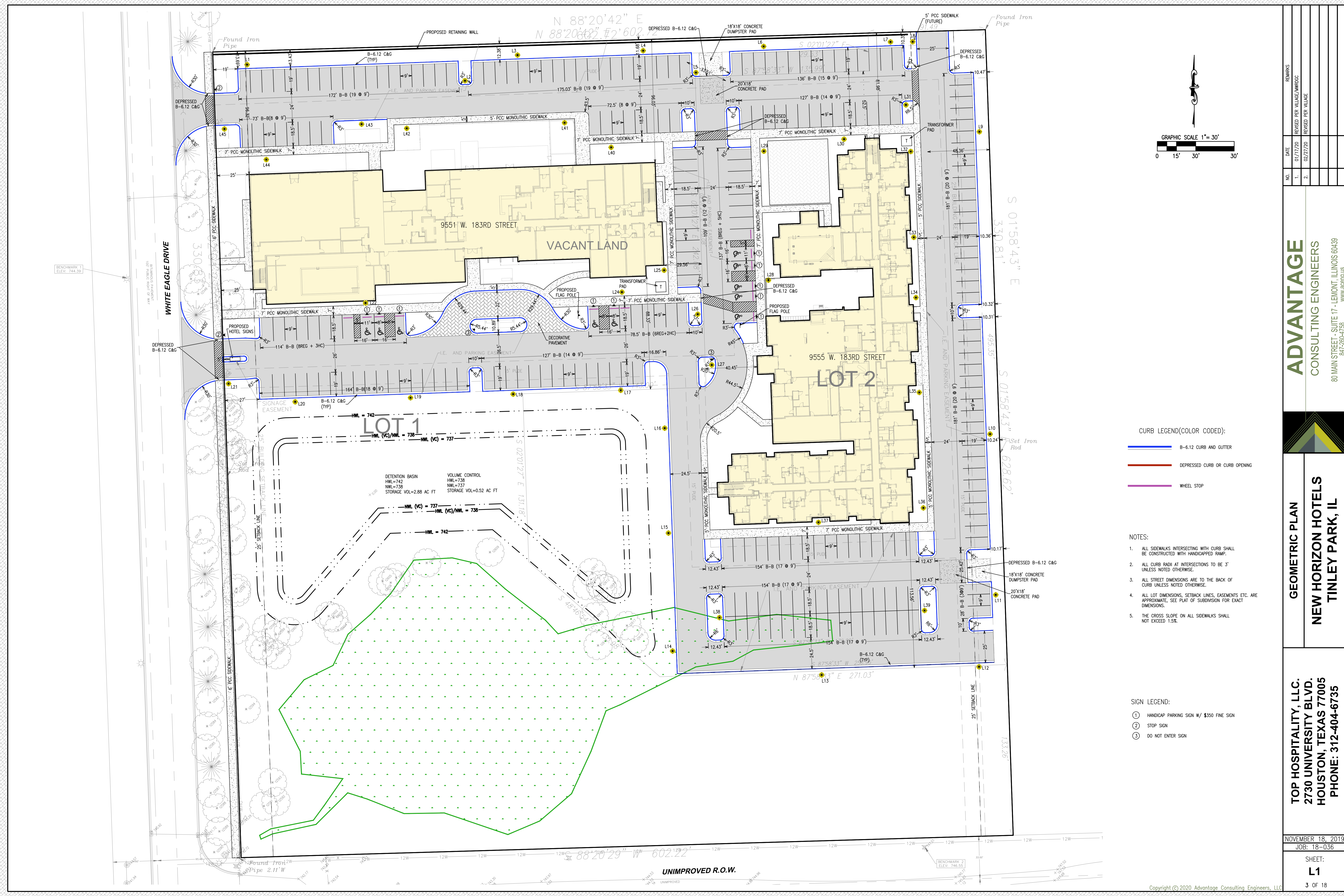
THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR VIEW PDF.

EXISTING TOTAL SITE AREA: 8.69 ACRES
PROPOSED DISTURBED AREA: 8.69 ACRES

[illegible][illegible][illegible]

PROFESSIONAL DESIGN FIRM NO.: 184-007386
EXPIRATION DATE: 4/30/2021
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT
THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.





ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-4758 WWW.ACEPIUS.COM

GEOMETRIC PLAN
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036
SHEET:
L1
3 OF 18

CURB LEGEND(COLOR CODED):

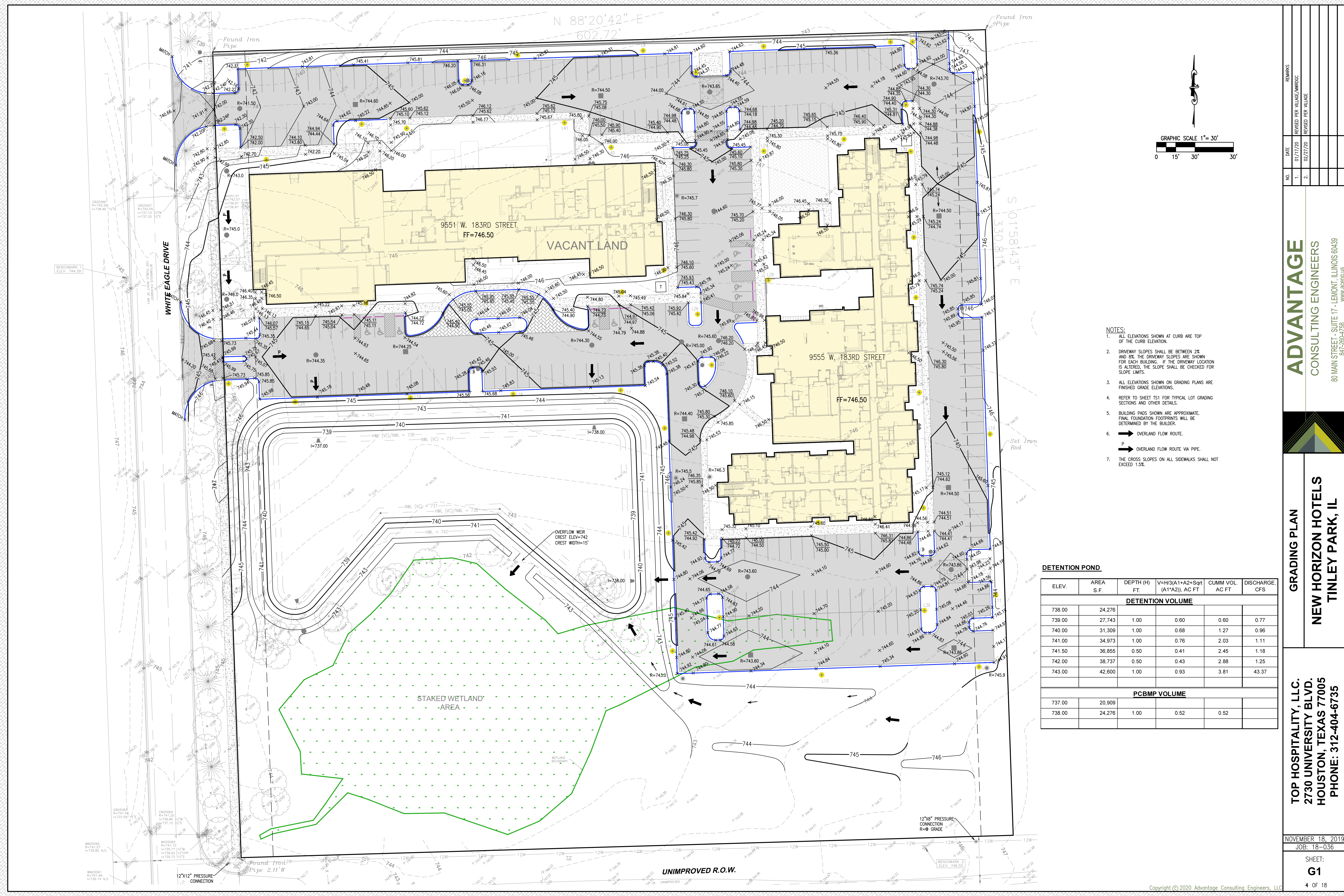
- B-6.12 CURB AND GUTTER
- DEPRESSED CURB OR CURB OPENING
- WHEEL STOP

NOTES:

- ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAPPED RAMP.
- ALL CURB RADI AT INTERSECTIONS TO BE 3' UNLESS NOTED OTHERWISE.
- ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.

SIGN LEGEND:

- HANDICAP PARKING SIGN W/ \$350 FINE SIGN
- STOP SIGN
- DO NOT ENTER SIGN



- NOTES:
1. ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
 2. DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
 3. ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 4. REFER TO SHEET T51 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
 5. BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 6. OVERLAND FLOW ROUTE.
 7. OVERLAND FLOW ROUTE VIA PIPE.
 8. THE CROSS SLOPES ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.

DETENTION POND

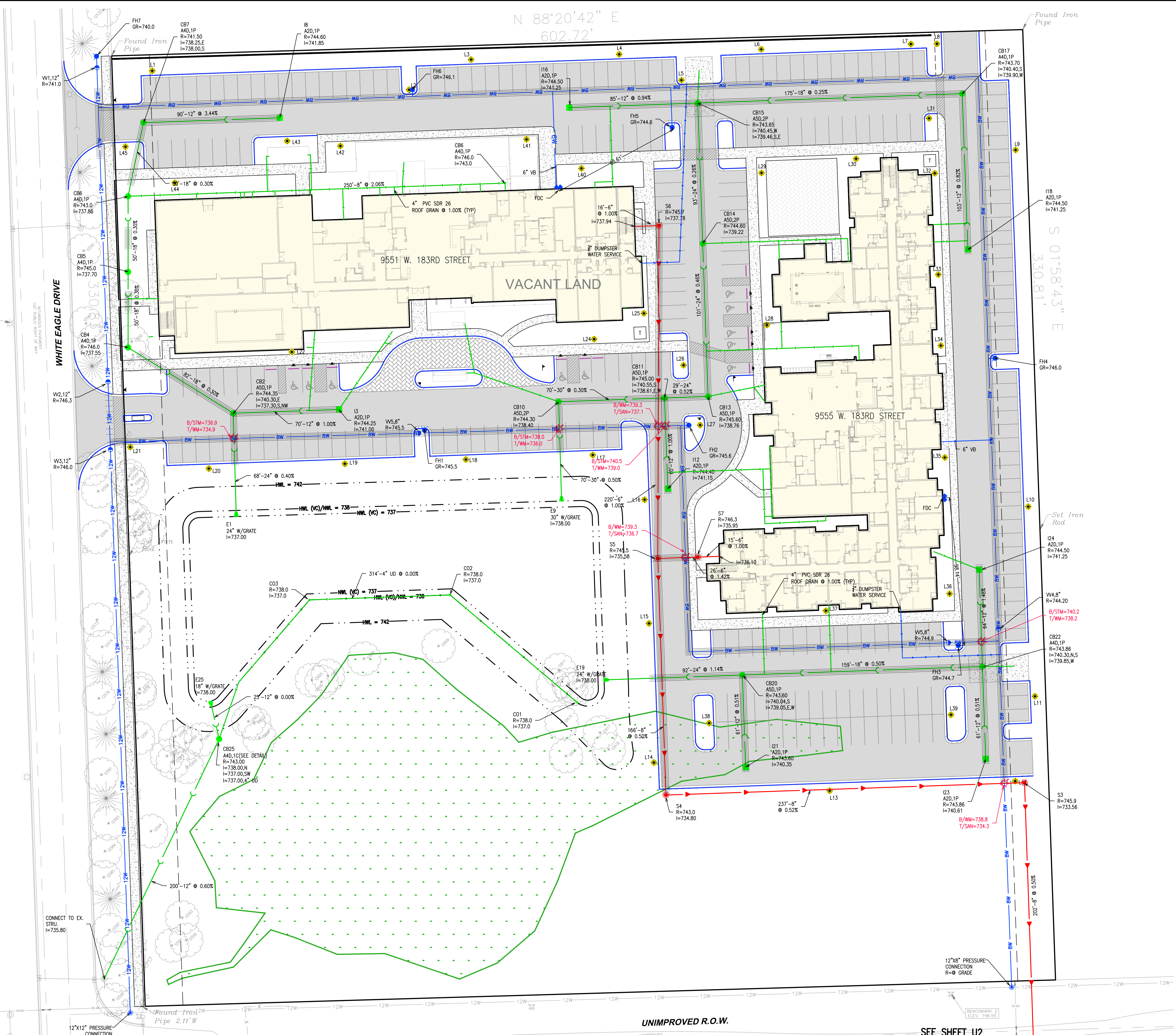
ELEV.	AREA S.F.	DEPTH (H) FT.	$V=H/3(A1+A2+\sqrt{A1A2})$ AC FT	CUMM VOL. AC FT	DISCHARGE CFS
DETENTION VOLUME					
738.00	24,276				
739.00	27,743	1.00	0.60	0.60	0.77
740.00	31,309	1.00	0.68	1.27	0.96
741.00	34,973	1.00	0.76	2.03	1.11
741.50	36,855	0.50	0.41	2.45	1.18
742.00	38,737	0.50	0.43	2.88	1.25
743.00	42,600	1.00	0.93	3.81	43.37
PCBMP VOLUME					
737.00	20,909				
738.00	24,276	1.00	0.52	0.52	

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
WWW.ADVANTAGE-ILL.COM

GRADING PLAN
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036
SHEET:
G1
4 OF 18



- NOTES FOR OVERALL UTILITY PLAN, ALL UTILITY SHEETS, AND PLAN AND PROFILE SHEETS:
- ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 - ALL WATER MAIN SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE.
 - THE UNDERDRAIN SHALL BE PERFORATED PVC SDR 26 OR ADS N-12.
 - THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:
1P: NEENAH R-1712, TYPE D GRATE
1C: NEENAH R-1712, TYPE B CLOSED LID
 - UTILITY STRUCTURE SYMBOL LEGEND:
M36: MANHOLE, STRUCTURE # 36
I: INLET
CB: CATCH BASIN
M: MANHOLE
E: FLARED END SECTION
S: SANITARY MANHOLE
FH: FIRE HYDRANT
VV: VALVE VAULT
PC: PRESSURE CONNECTION
UD: PERFORATED UNDERDRAIN
A40.1P: TYPE A, 4" DIA., TYPE OF FRAME AND GRATE/LID.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
 - LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
 - 1-6" PVC SCH 40 CONDUIT FOR GAS
 - 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
 - ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
 - PIPE CROSSING

REMARKS	
NO.	DATE
1.	01/17/20
2.	02/27/20

ADVANTAGE

CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
WWW.ADVANTAGE-ILL.COM

UTILITY PLAN

NEW HORIZON HOTELS

TINLEY PARK, IL

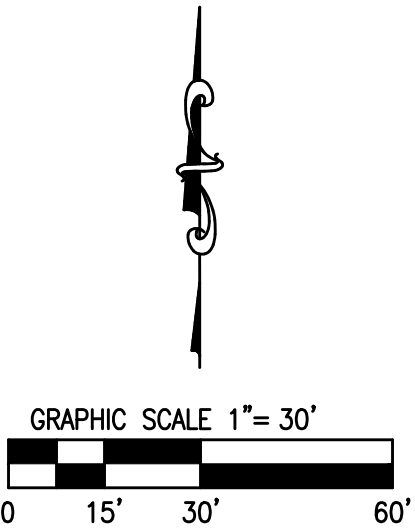
TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036
SHEET: U1
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MARK 2
EV: 746.55

S2
R=0 GRADE
I=732.55

347'-8" @ 0.50%

S1
R=0 GRADE -
I=730.81

347'-8" @ 1.04

CONNECT TO
EXIST. MH
(WATER TIGHT CONNECTION
PER ASTM C-923)
I=727.20

- NOTES: FOR OVERALL UTILITY PLAN, ALL UTILITY SHEETS,
AND PLAN AND PROFILE SHEETS:**
- ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 - ALL WATER MAIN SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE.
 - THE UNDERDRAIN SHALL BE PERFORMED PVC SDR 26 OR ADS N-12.
 - THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:
1P: NEENAH R-1712, TYPE D GRATE
1C: NEENAH R-1712, TYPE B CLOSED LID
 - UTILITY STRUCTURE SYMBOL LEGEND:

M36: MANHOLE, STRUCTURE # 36
CB: CATCH BASIN
M: MANHOLE
E: FLARED END SECTION
S: SANITARY MANHOLE
F: FIRE HYDRANT
V: VALVE VAULT
PC: PRESSURE CONNECTION
UD: PERFORATED UNDERDRAIN
AD: 1P: TYPE A, 4" DIA. TYPE OF FRAME AND GRATE/LID.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
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 - ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
 - PIPE CROSSING

NO.	DATE	REMARKS
1.	01/17/20	REVISED PER VILLAGE/WIRDOCC
2.	02/27/20	REVISED PER VILLAGE

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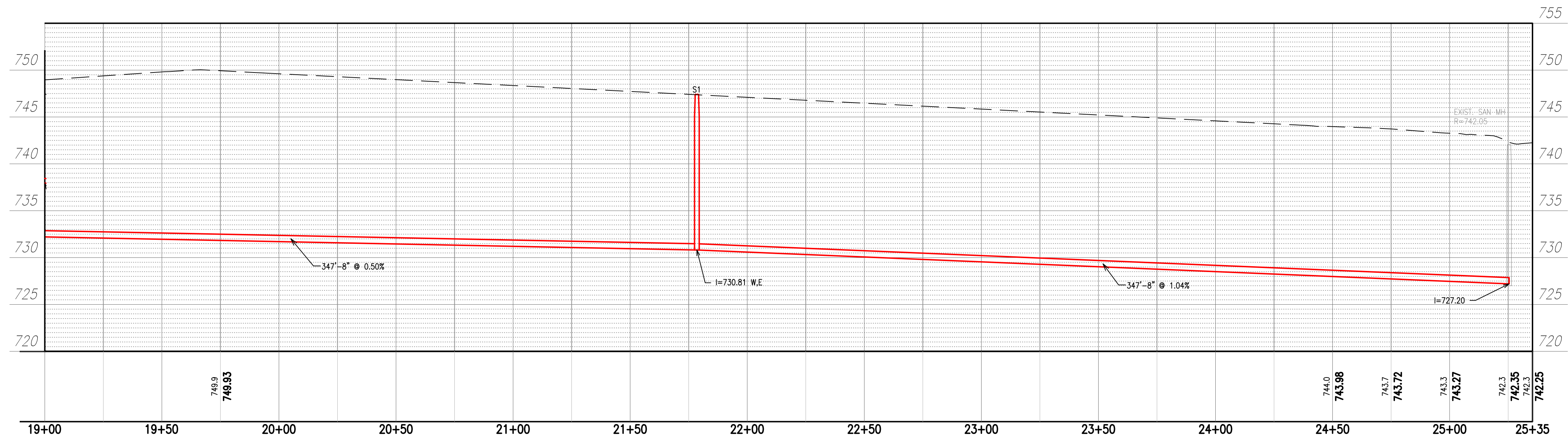
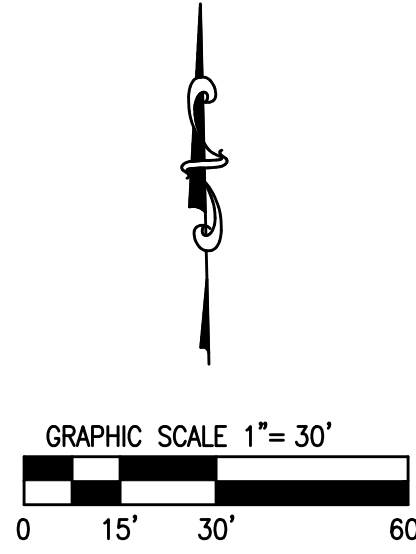
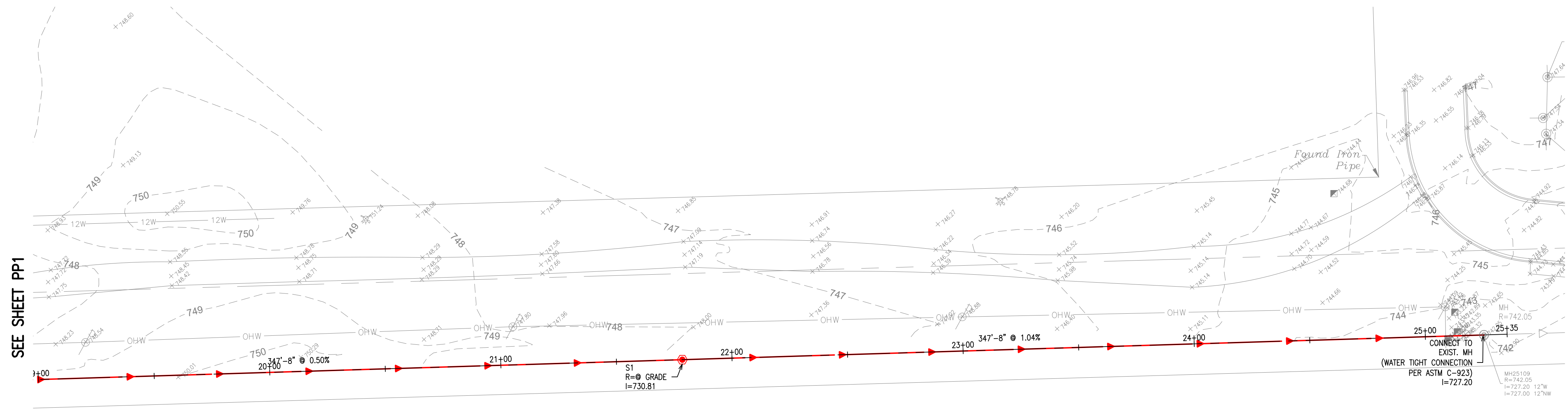
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UTILITY PLAN
NEW HORIZON HOTELS
TINLEY PARK, IL

**TOP HOSPITALITY, LLC.
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HOUSTON, TEXAS 77005
PHONE: 312-404-6735**

NOVEMBER 18, 2019
JOB: 18-036

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REMARKS		DATE	NO.
REVISED PER VILLAGE/WMRDC		01/17/20	1.
REVISED PER VILLAGE		02/27/20	2.

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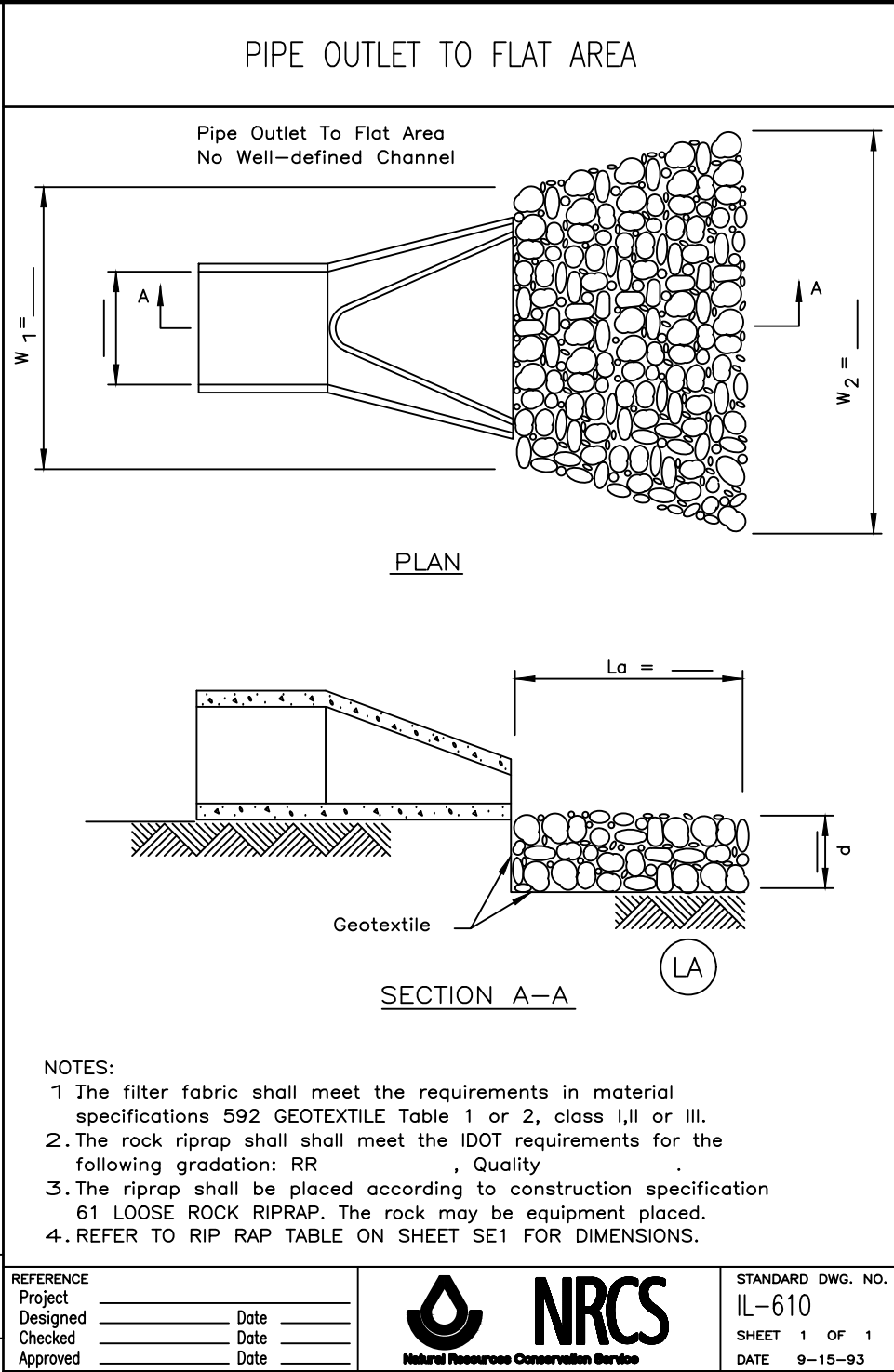
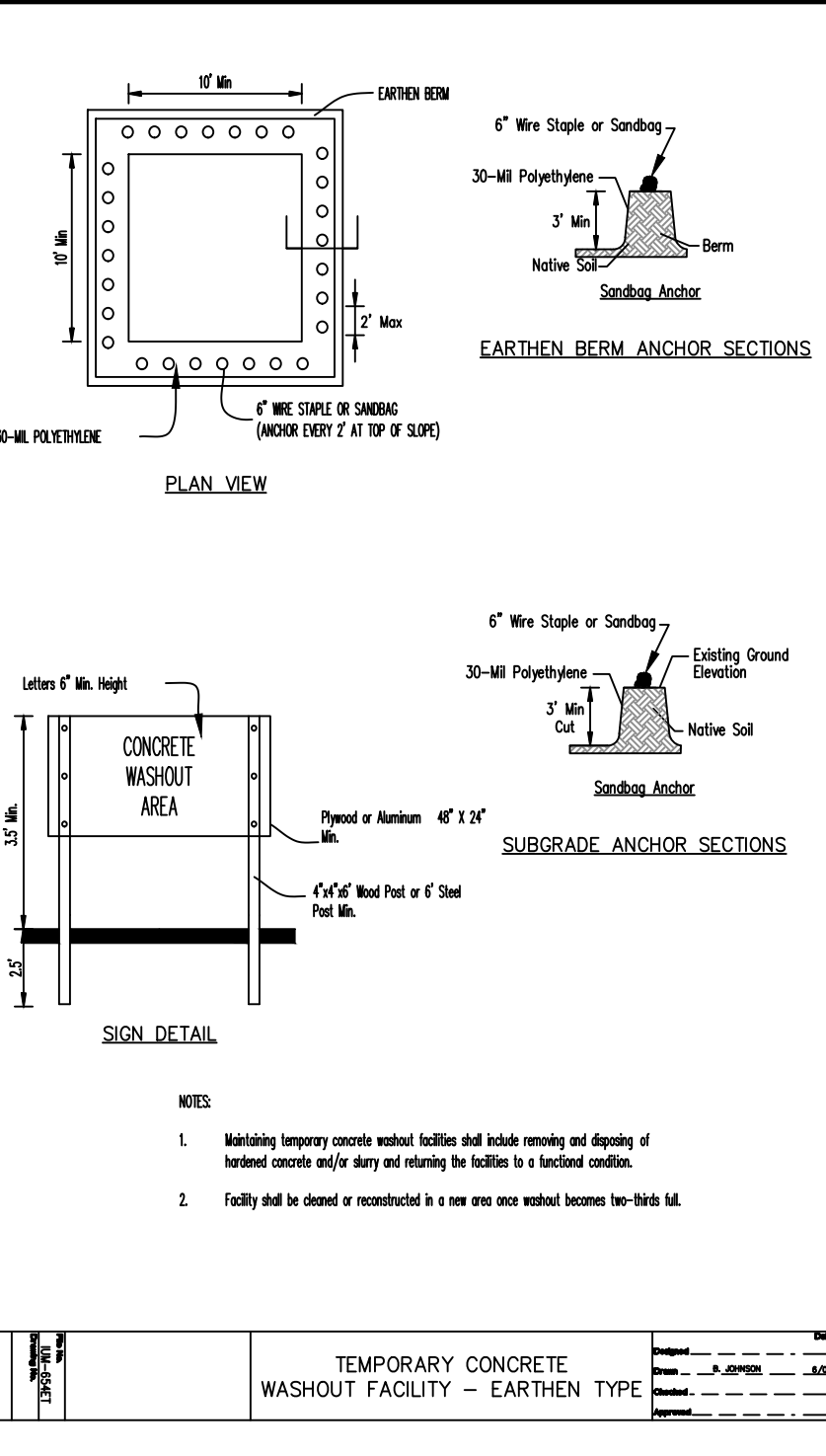
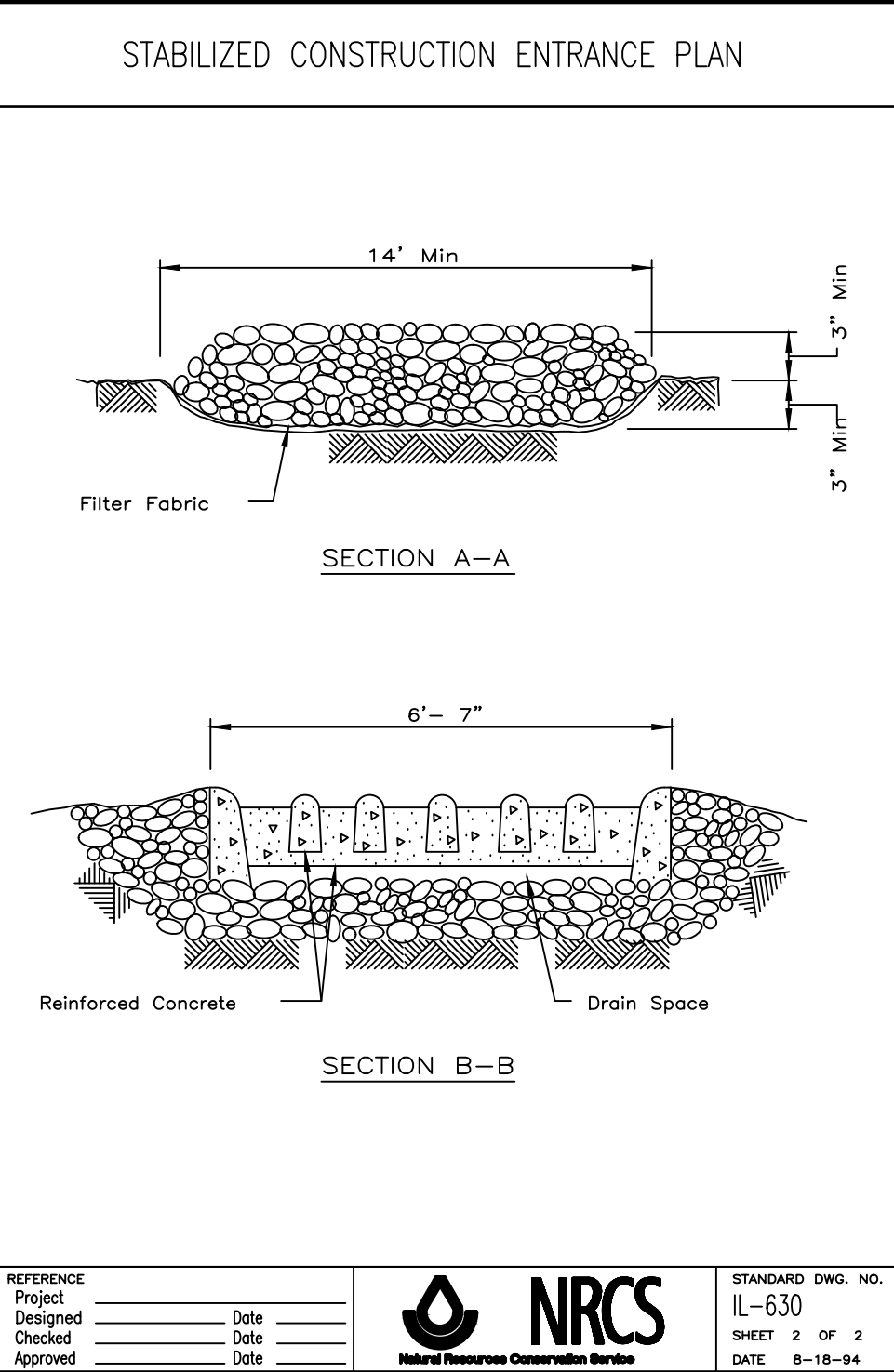
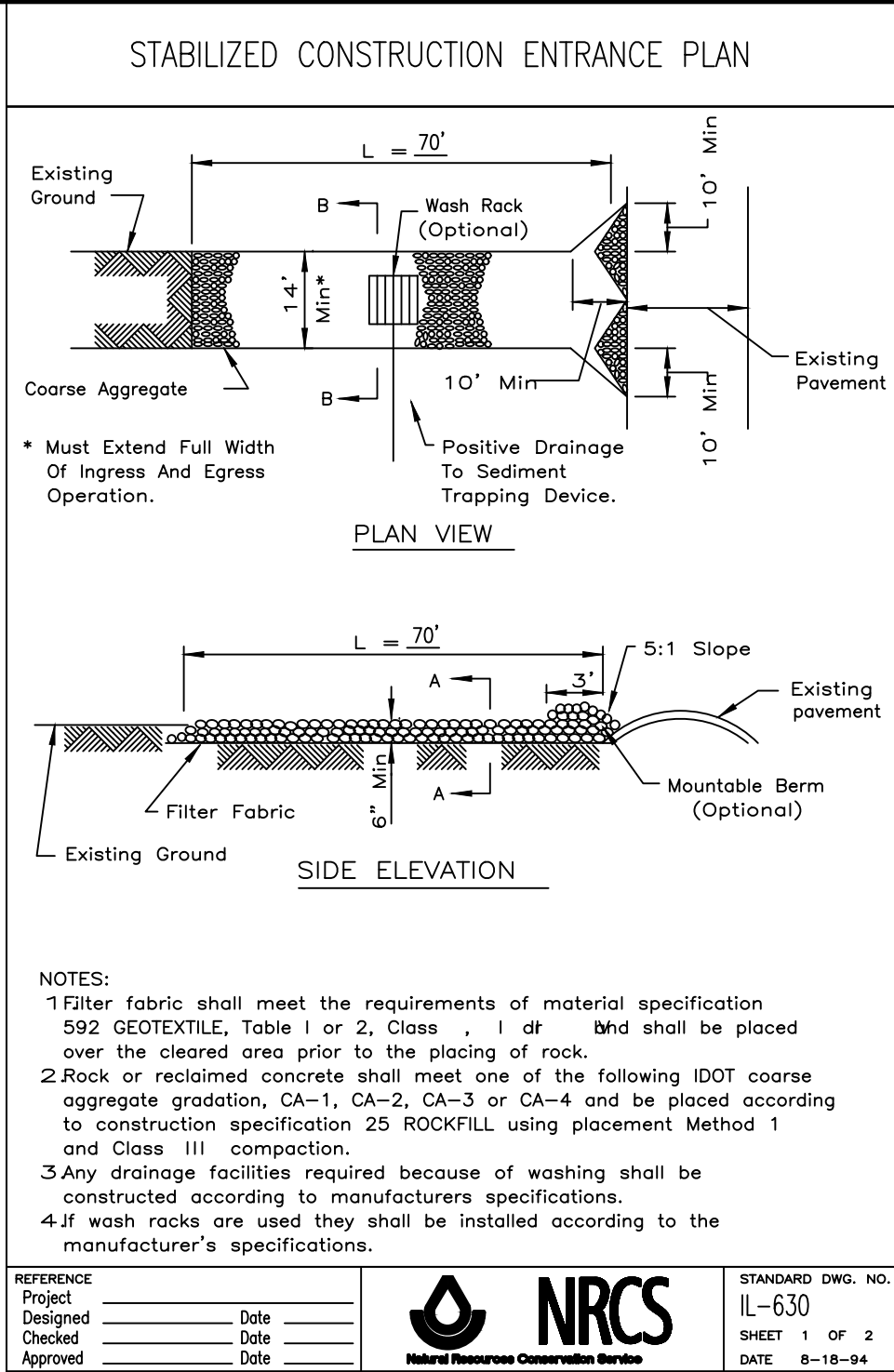
PLAN & PROFILE

NEW HORIZON HOTELS
TINLEY PARK, IL

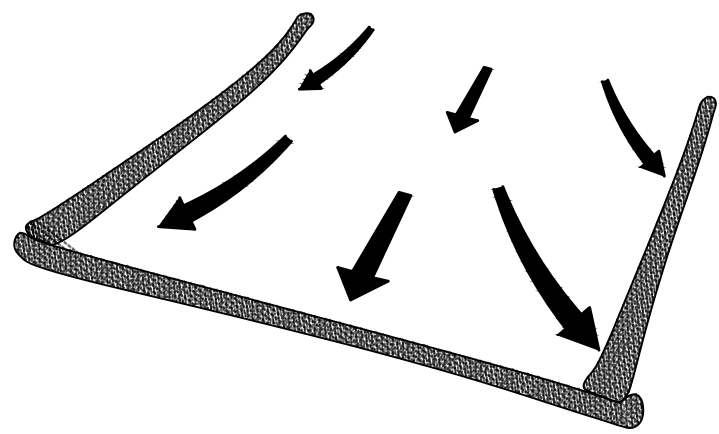
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NOVEMBER 18, 2019
JOB: 18-036

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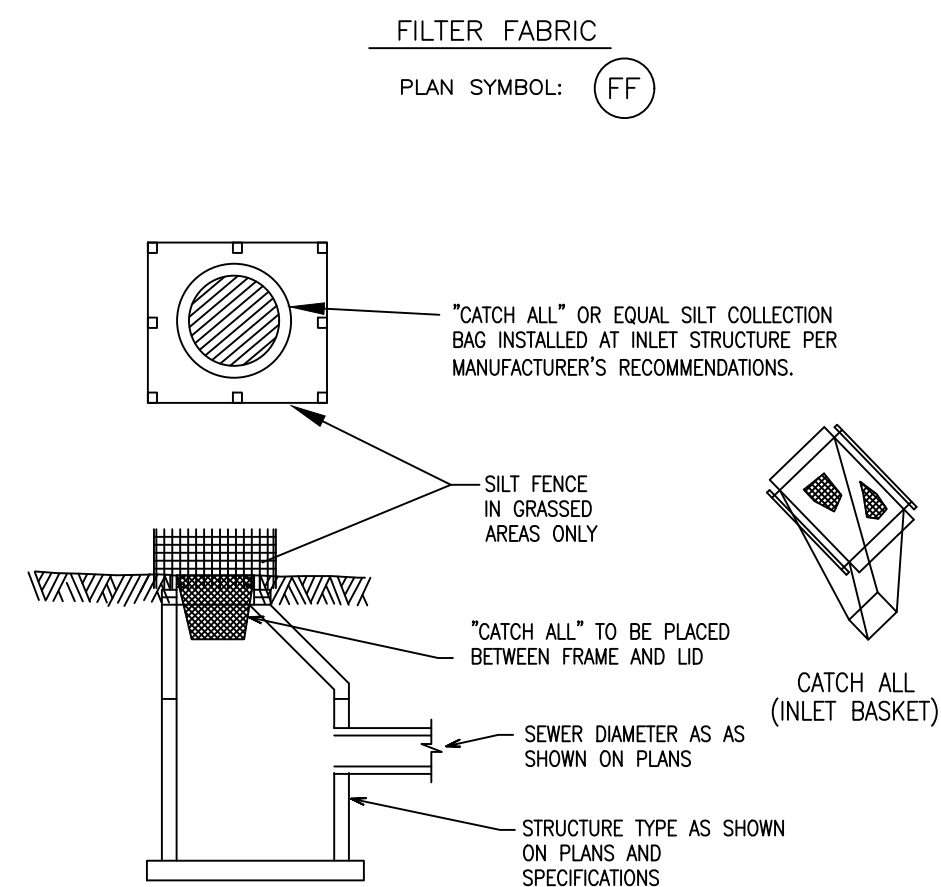
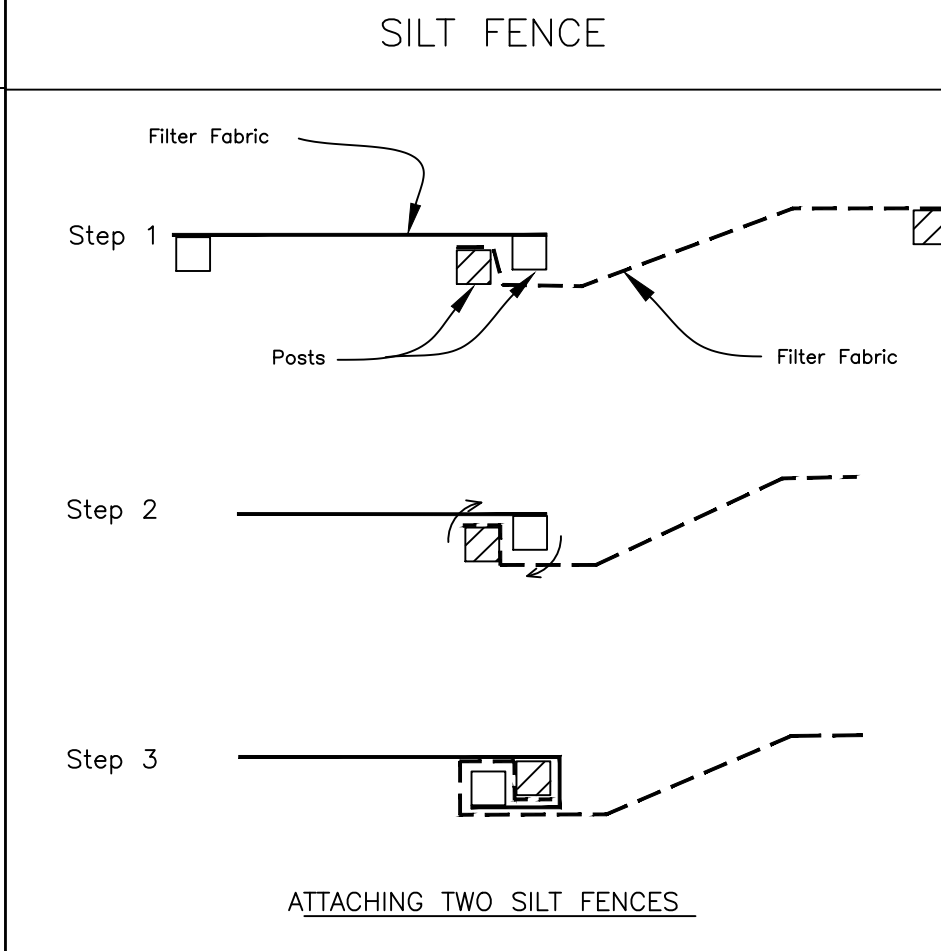
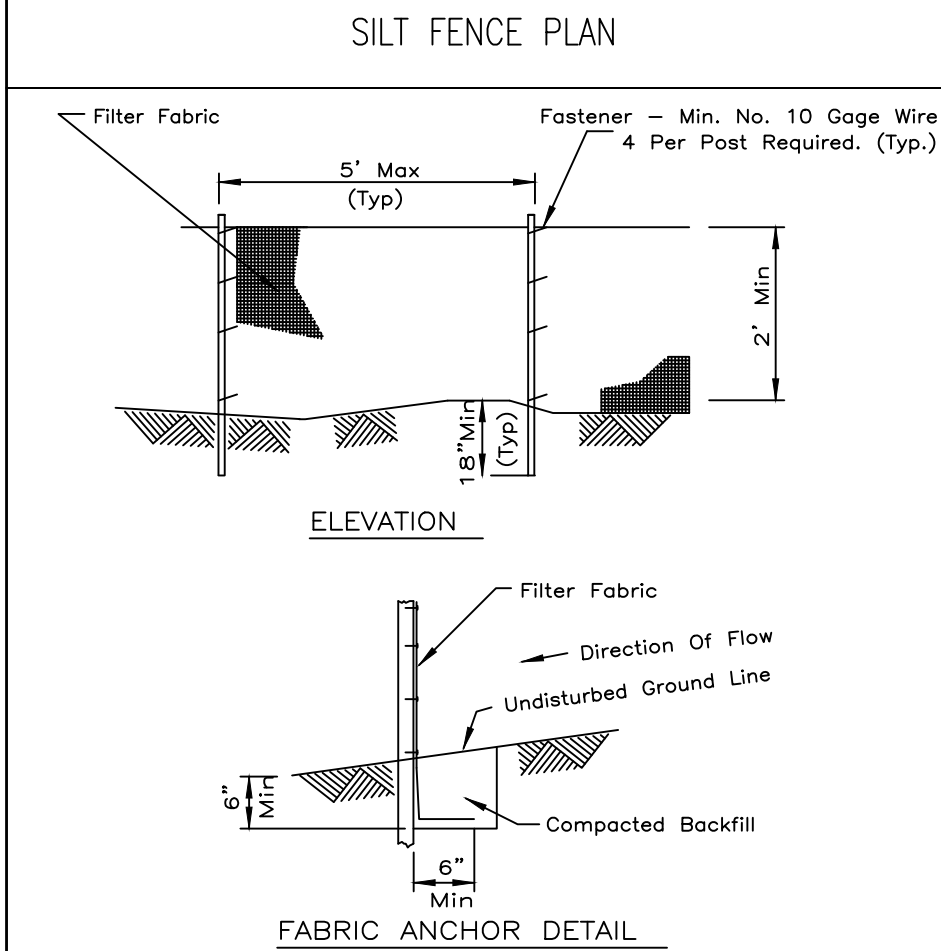


SILTORM PERIMETER CONTROL SPECIFICATIONS



PERIMETER CONTROL:

PLACE SILTORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6". SITE PREPARATION IS MINIMAL, AND THERE IS NO STAKING OR TRENCHING REQUIREMENT FOR GRADES UNDER 12%. ARRANGE THE SILTORM PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW. ENSURE GROUND CONTACT.



SILTORM INSTALLATION SPECIFICATIONS

SILTORM HEIGHTS INSTALLED		
NOMINAL DIAMETER, D	INSTALLED HEIGHT OF SINGLE SILTORM	INSTALLED HEIGHT OF STACKED SILTORM
9"	7.5"	15"
12"	9.5"	19"
18"	14.5"	29"
24"	19"	38"

MINIMUM SPECIFICATION FOR SILTORM		
PROPERTY	UNITS	RANGE
PH	PH	5.0-8.5
MOISTURE CONTENT	% WET WEIGHT BASIS	<20
PARTICLE SIZE	% PASSING SELECTED MESH SIZE, DRY WEIGHT BASIS	1 1/2"-2"-90% FINES = 10% MAX. PARTICLE SIZE 2"

SILTORM CAN BE PLACED IN DITCHES OR AT THE TOP, ON THE FACE, OR AT THE TOE OF A SLOPE AS SEDIMENT TRAPPING DEVICE. SILTORM CAN ALSO SERVE TO REMOVE SEDIMENT FROM RUNOFF AND RELEASE FILTERED WATER AS SHEET FLOW.

SILTORM INSTALLATION ON A SLOPE SHALL BE PLACED ALONG OR ON THE GROUND CONTOUR, WHERE POSSIBLE. SILTORM APPLIED TO THE TOE OF A SLOPE SHOULD BE PLACED 10 FEET AWAY FROM THE TOE IN ORDER TO PROVIDE SPACE FOR SEDIMENT STORAGE. MAXIMUM DRAINAGE AREA SHALL BE 1/2 ACRE PER 100 LF OF SILTORM.

FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 15 ACRES, AT SITES WHICH OUTFALL TO EXCEPTIONAL WATER OR SEDIMENT-IMPAIRED STREAMS, THE MAXIMUM DRAINAGE AREA SHALL BE LIMITED TO 10 ACRES.

SILTORM SHALL BE PLACED PERPENDICULAR TO THE FLOW OF WATER. SILTORM SHALL CONTINUE UP THE SIDE SLOPES TO THE TOP OF BANK OR A MAXIMUM OF 3 FEET ABOVE THE INSTALLED HEIGHT. SILTORM SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS ARE PERMANENTLY STABILIZED.

SILTORM IS SUPPLIED AND INSTALLED IN DIAMETERS OF 9", 12", 18" OR 24" DIAMETER TOLERANCES ARE 2". SILTORM WILL FLATTEN OUT TO AN OVAL WHEN IN PLACE, THUS THE INSTALLED HEIGHT WILL BE LESS THAN NOMINAL DIAMETER.

SILTORM SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND SHALL BE REMOVED AND REPLACED IF SIGNS OF UNDERCUTTING OR DOWNSTREAM SPACING RILLS ARE OBSERVED.

SILTORM SHOULD BE REMOVED FROM SLOPES AFTER STABILIZATION IS COMPLETE. THIS MAY BE ACCOMPLISHED BY CUTTING THE SILTORM OPEN AND SPREADING THE FILL MATERIAL ON THE SITE. SILTORM APPLIED IN DITCH SHALL BE COMPLETELY REMOVED.

SILTORM DITCH CHECK DAM ESTIMATED QUANTITIES

LENGTH (FT)	V - DITCH (1)			TRAPEZOIDAL DITCH (2)		
	24" SILTORM (INSTALLED HEIGHT 19")	12" SILTORM (INSTALLED HEIGHT 19")	18" SILTORM (INSTALLED HEIGHT 29")	24" SILTORM (INSTALLED HEIGHT 19")	12" SILTORM (INSTALLED HEIGHT 19")	18" SILTORM (INSTALLED HEIGHT 29")
20	60	48	24	72	60	

- (1) ESTIMATED QUANTITIES BASED ON A 4:1 SIDE SLOPE. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION
- (2) ESTIMATED QUANTITIES BASED ON A 4 FT BOTTOM WIDTH, 4 FT DEPTH, AND 4:1 SIDE SLOPES. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION

DITCH CHECK:

PLACE SILTORM PERPENDICULAR TO CONCENTRATED FLOW. STAKE THE SILTORM EVERY 4' AND OVERLAP THE ENDS BY 2" INSTALLED WITH A SLIGHT SADDLING, AND STAKE EVERY 4'.

SILTORM SPACING FOR DITCH APPLICATION	
DITCH SLOPE	MAXIMUM SILTORM SPACING
2%	80'
3%	80'
4%	50'
5%	30'
6%	20'
GREATER THAN 6%	20'

BASED ON INSTALLED HEIGHT OF 19".
SEE TABLE ON EC-SIA-6 FOR OTHER HEIGHTS

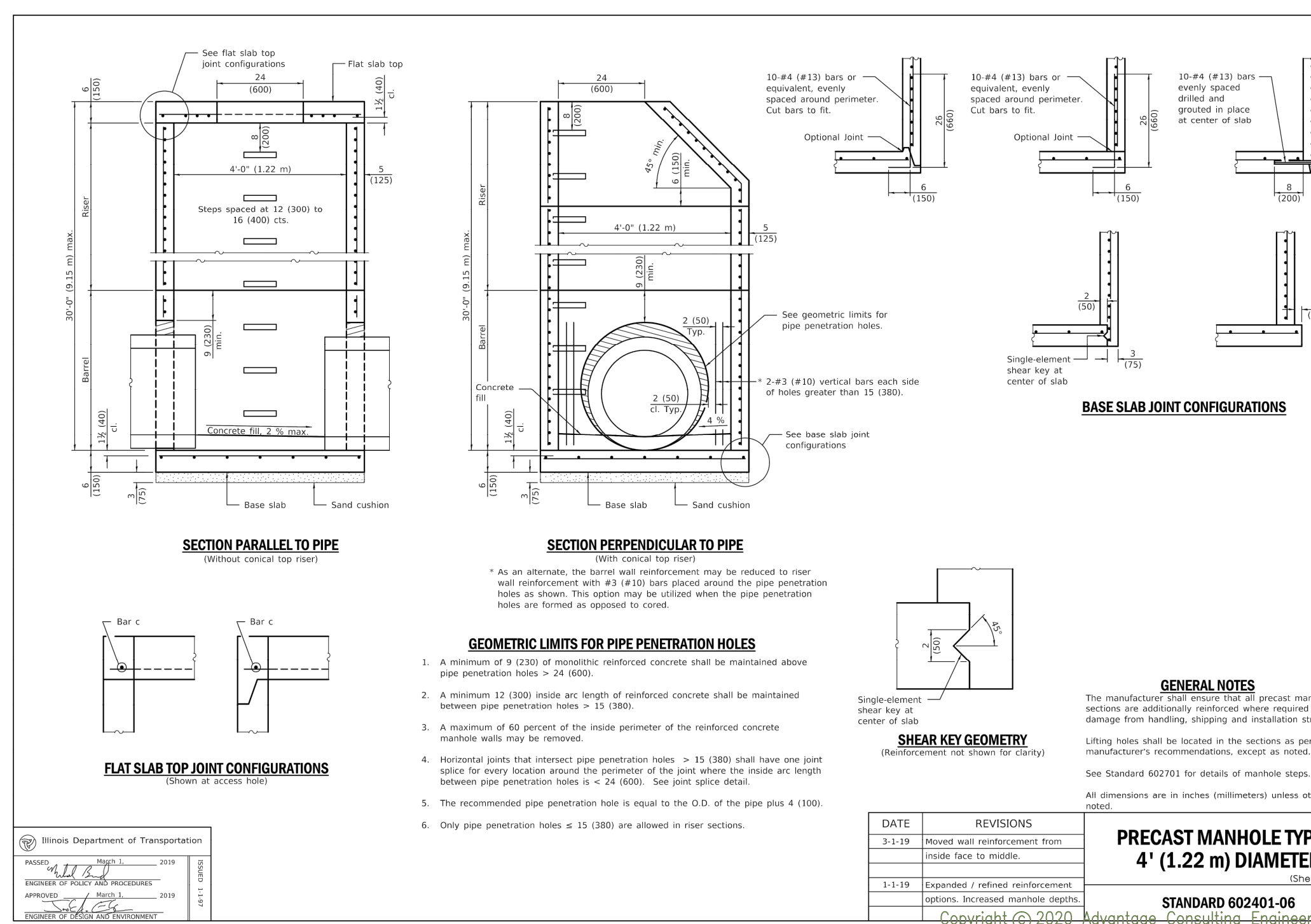
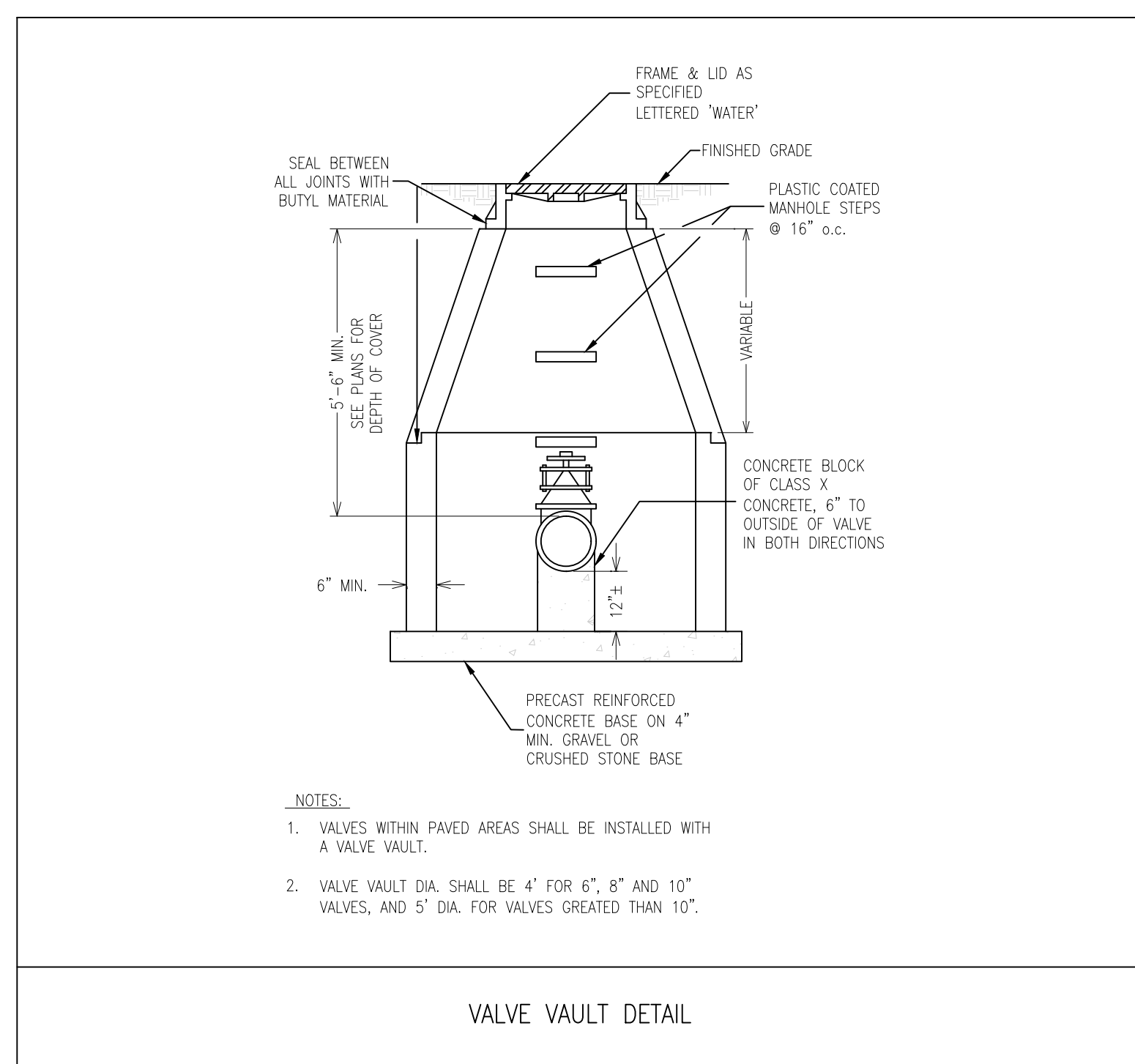
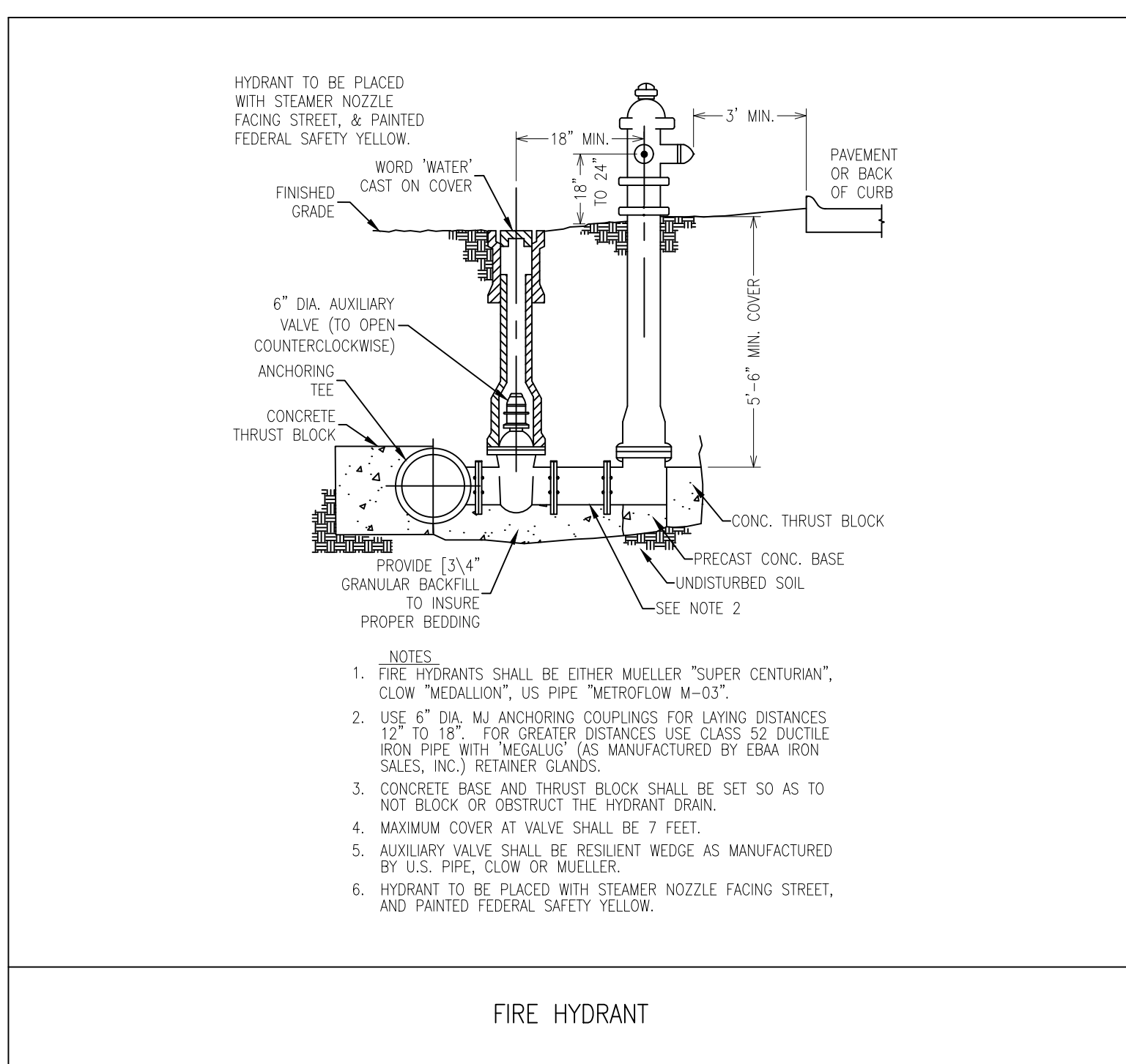
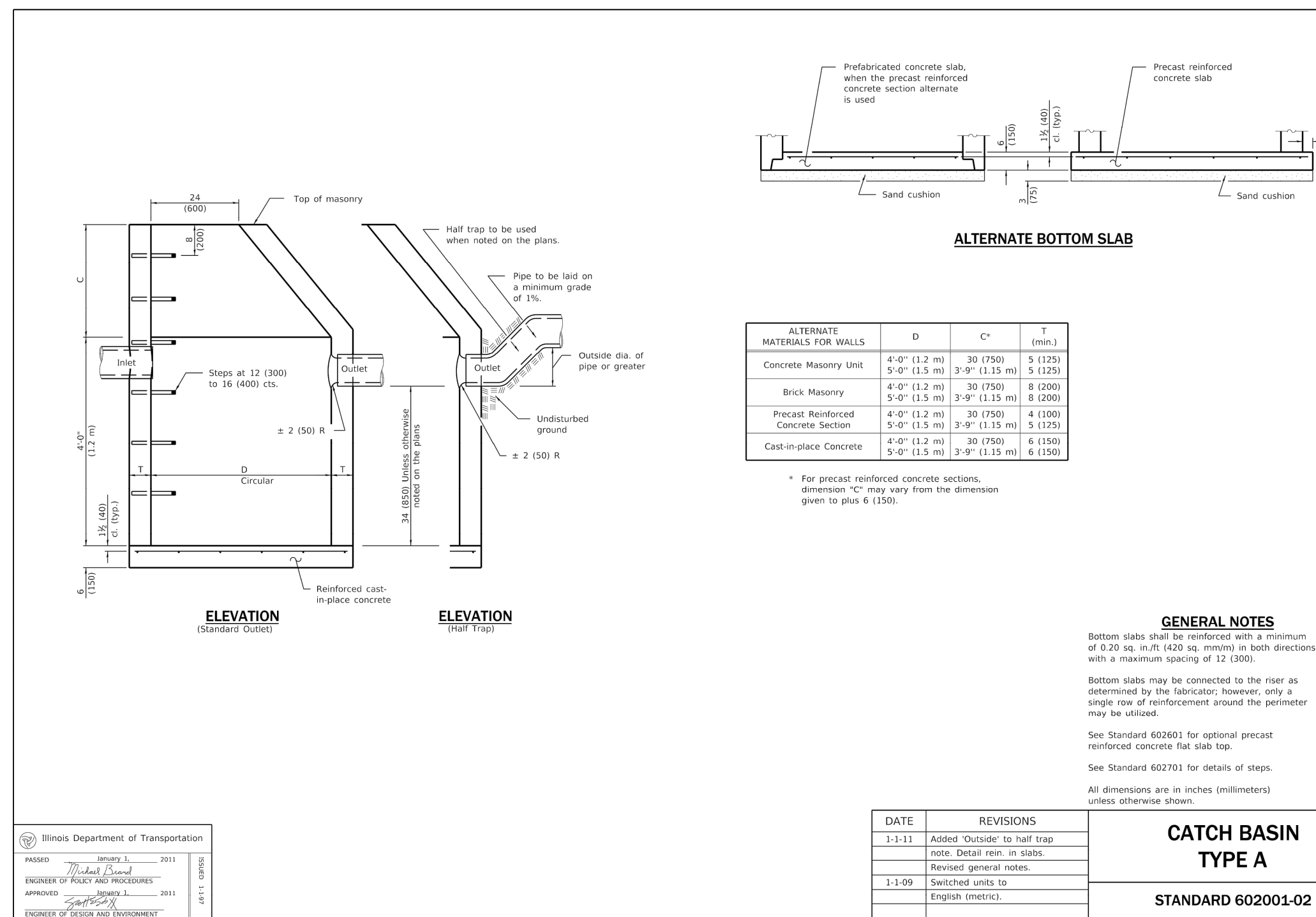
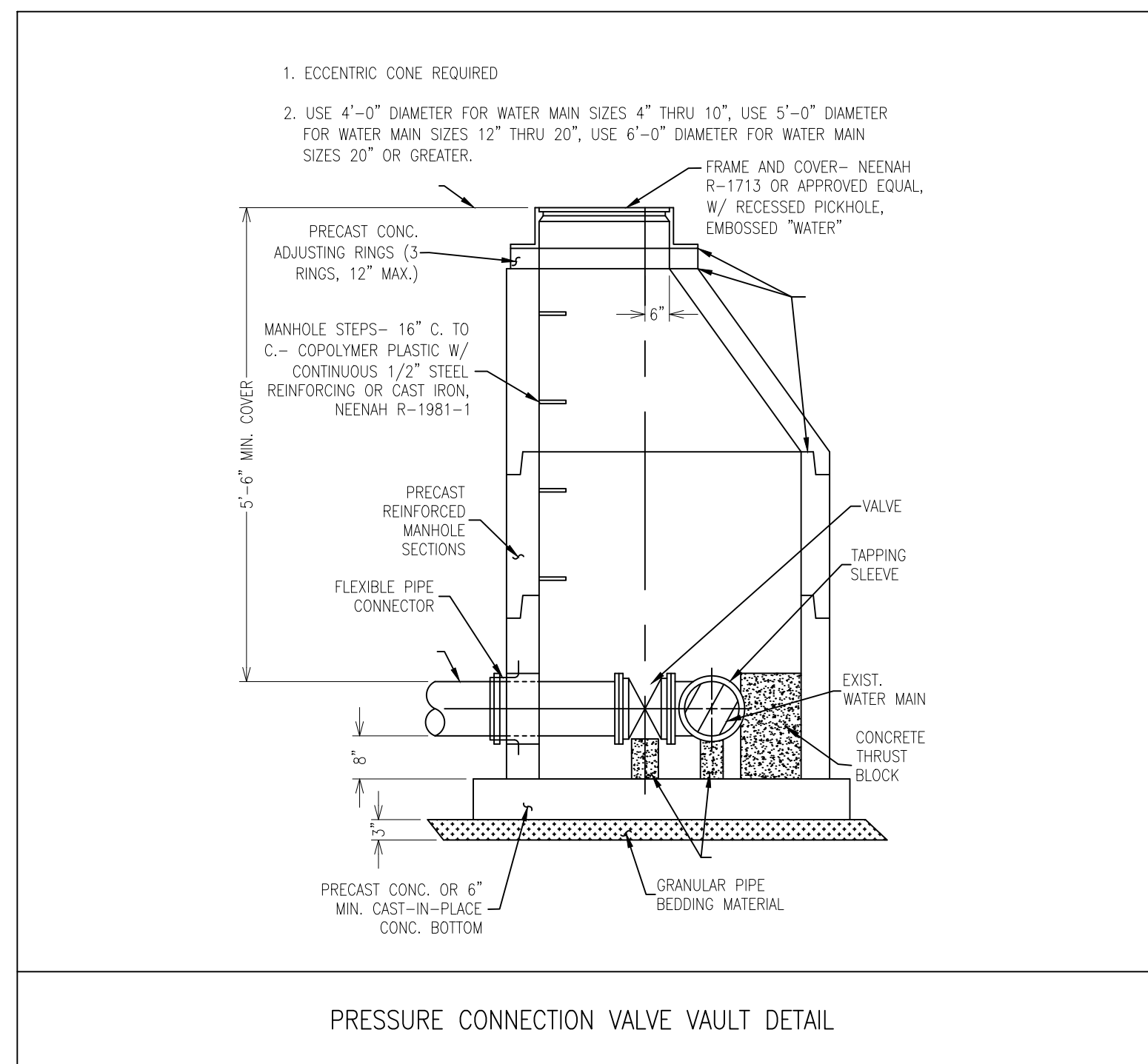
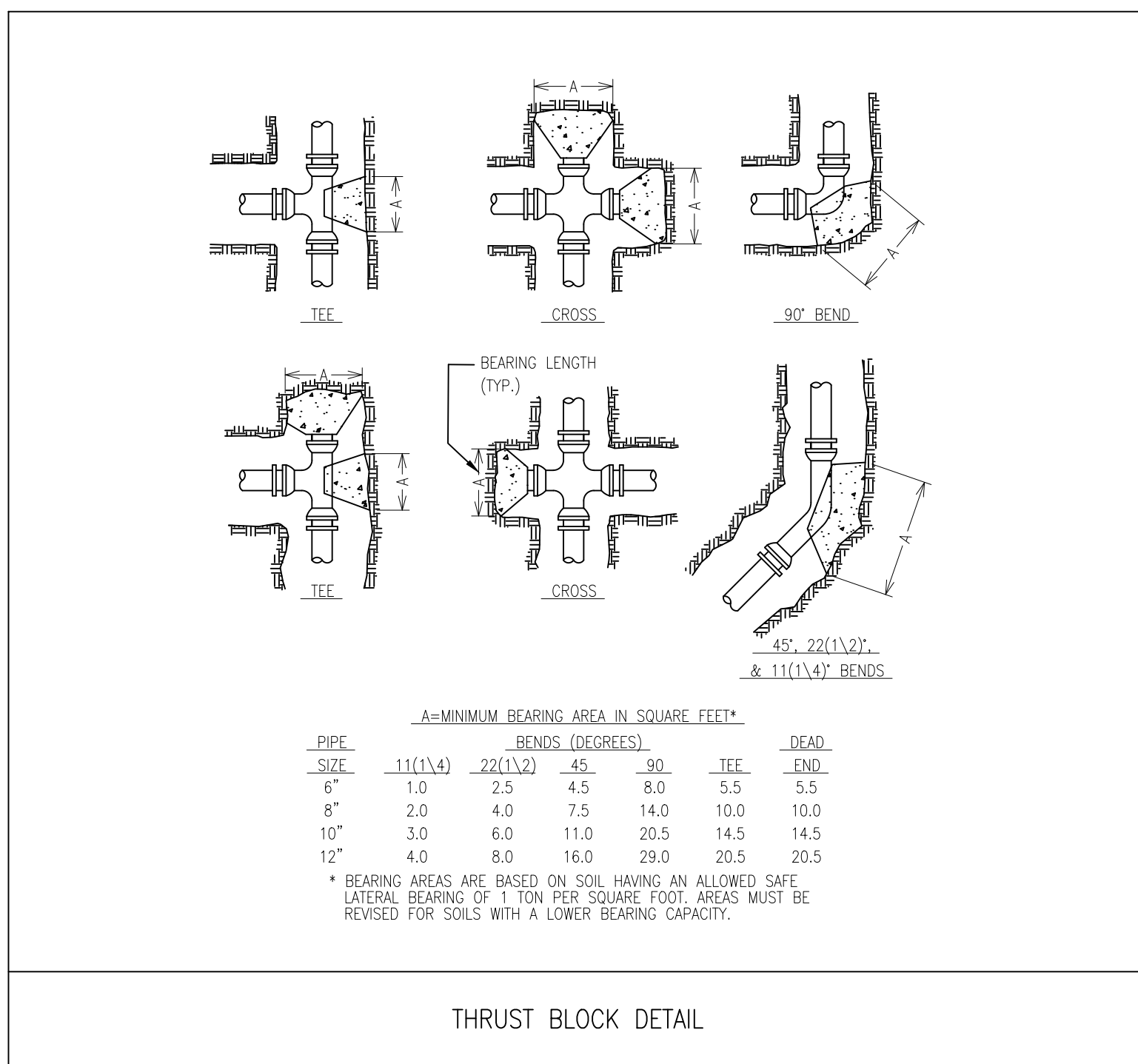
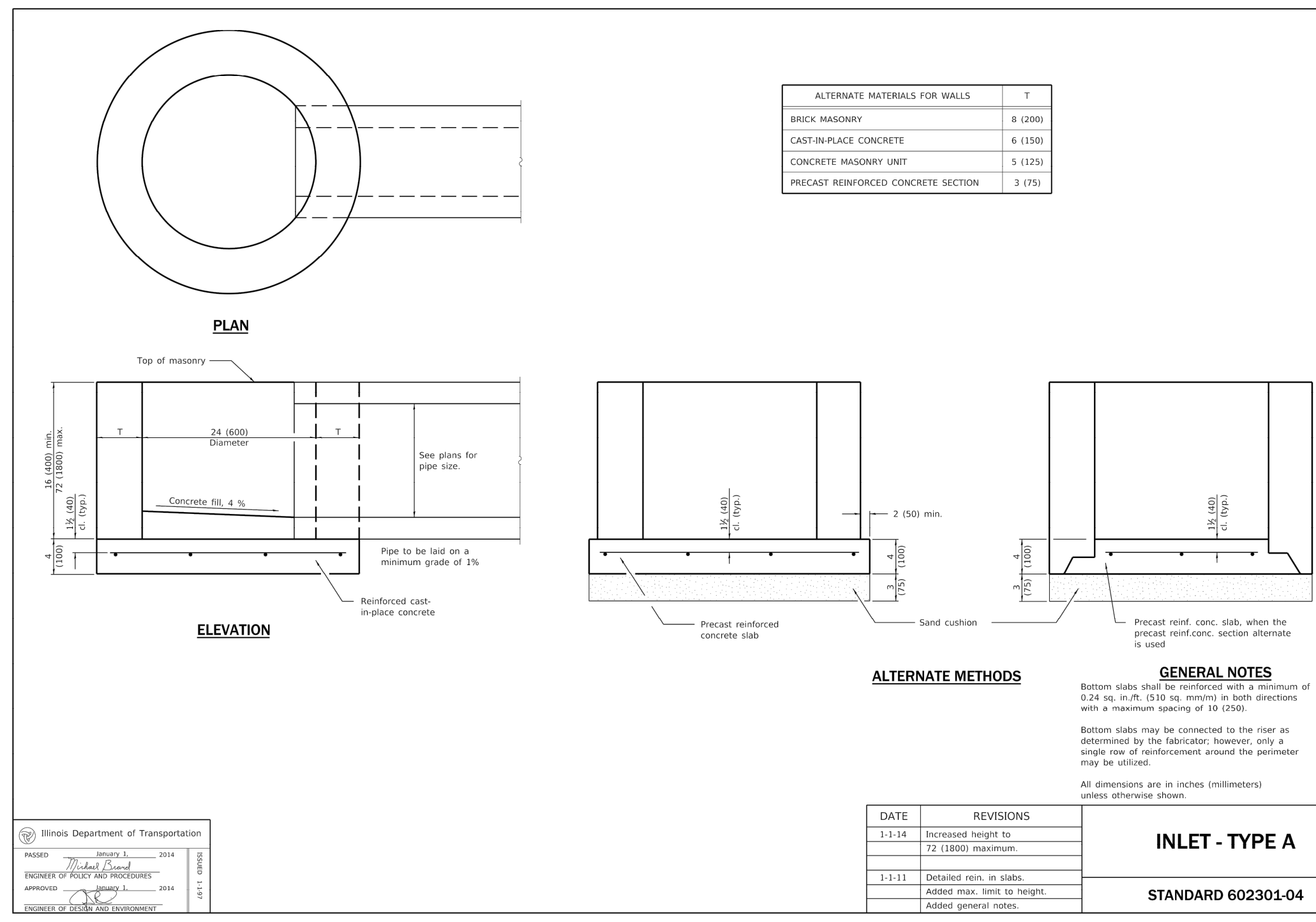
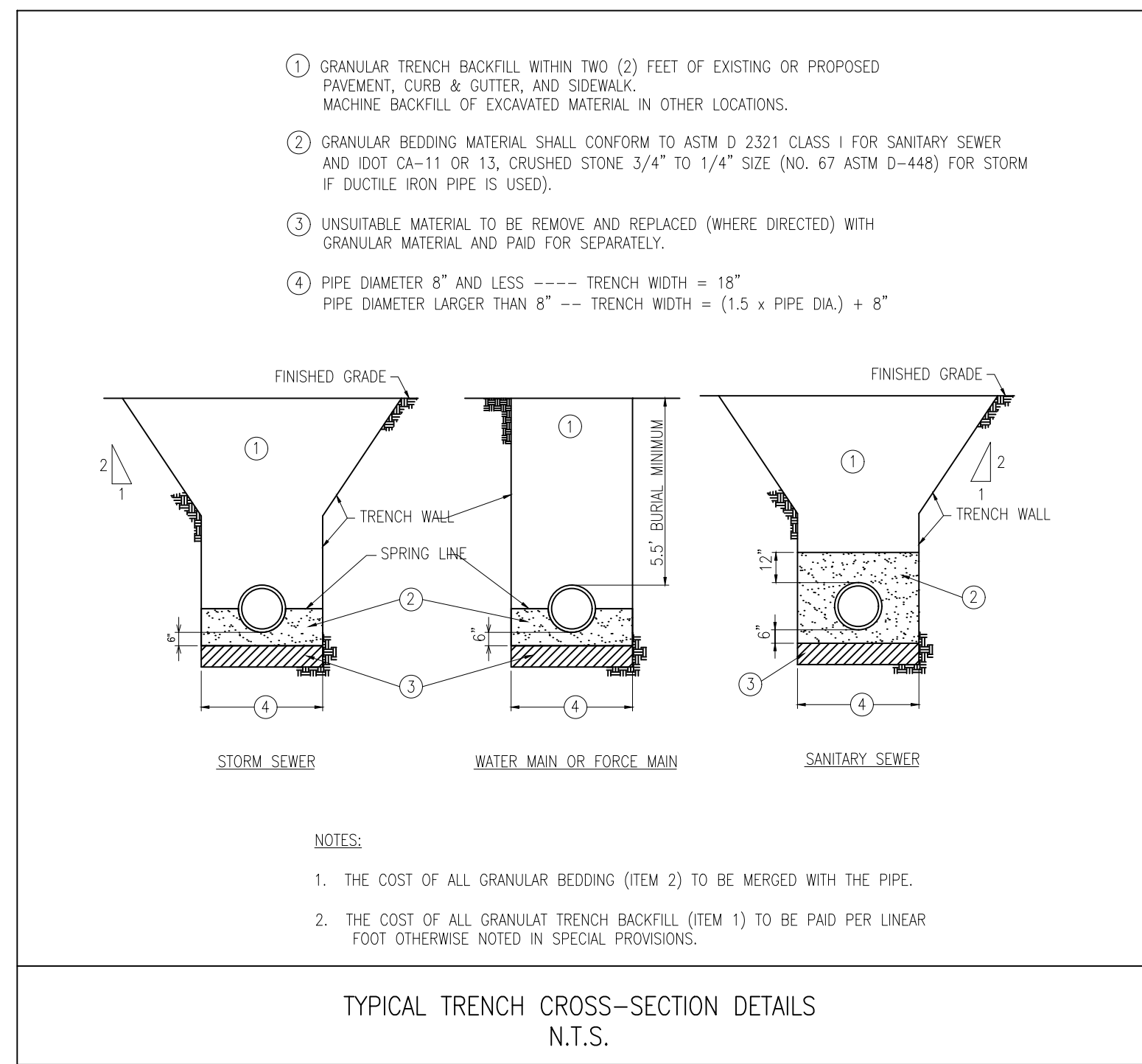
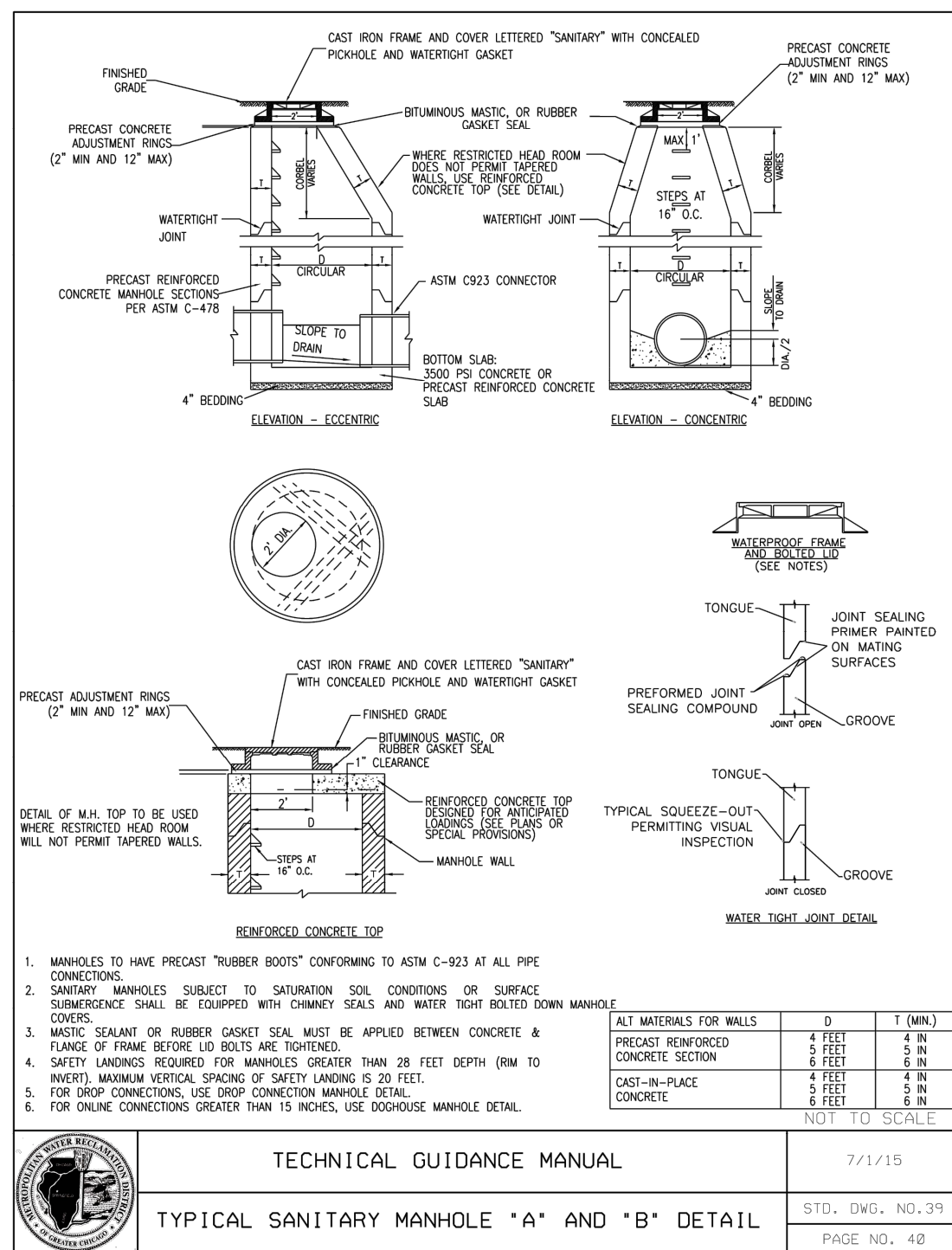


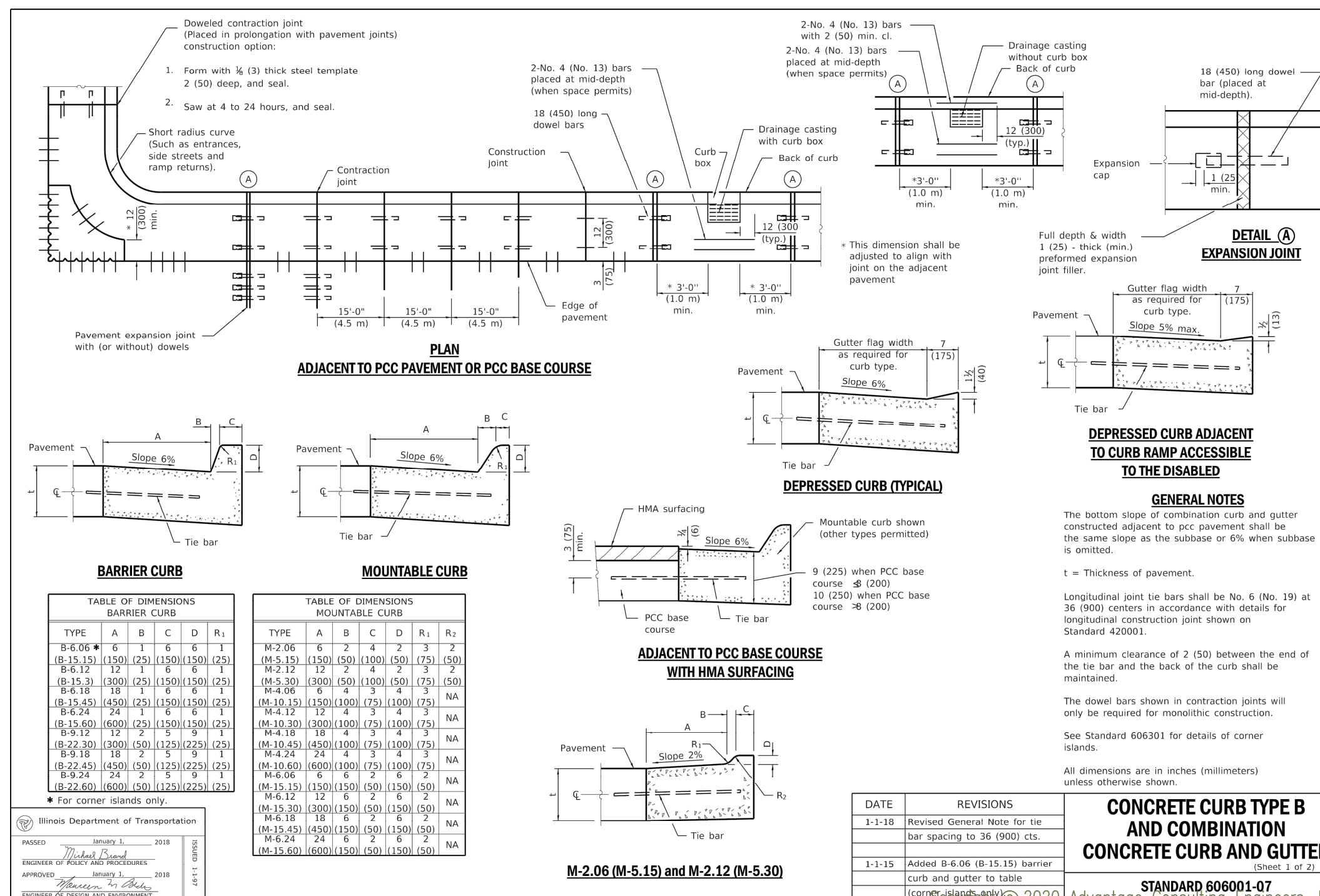
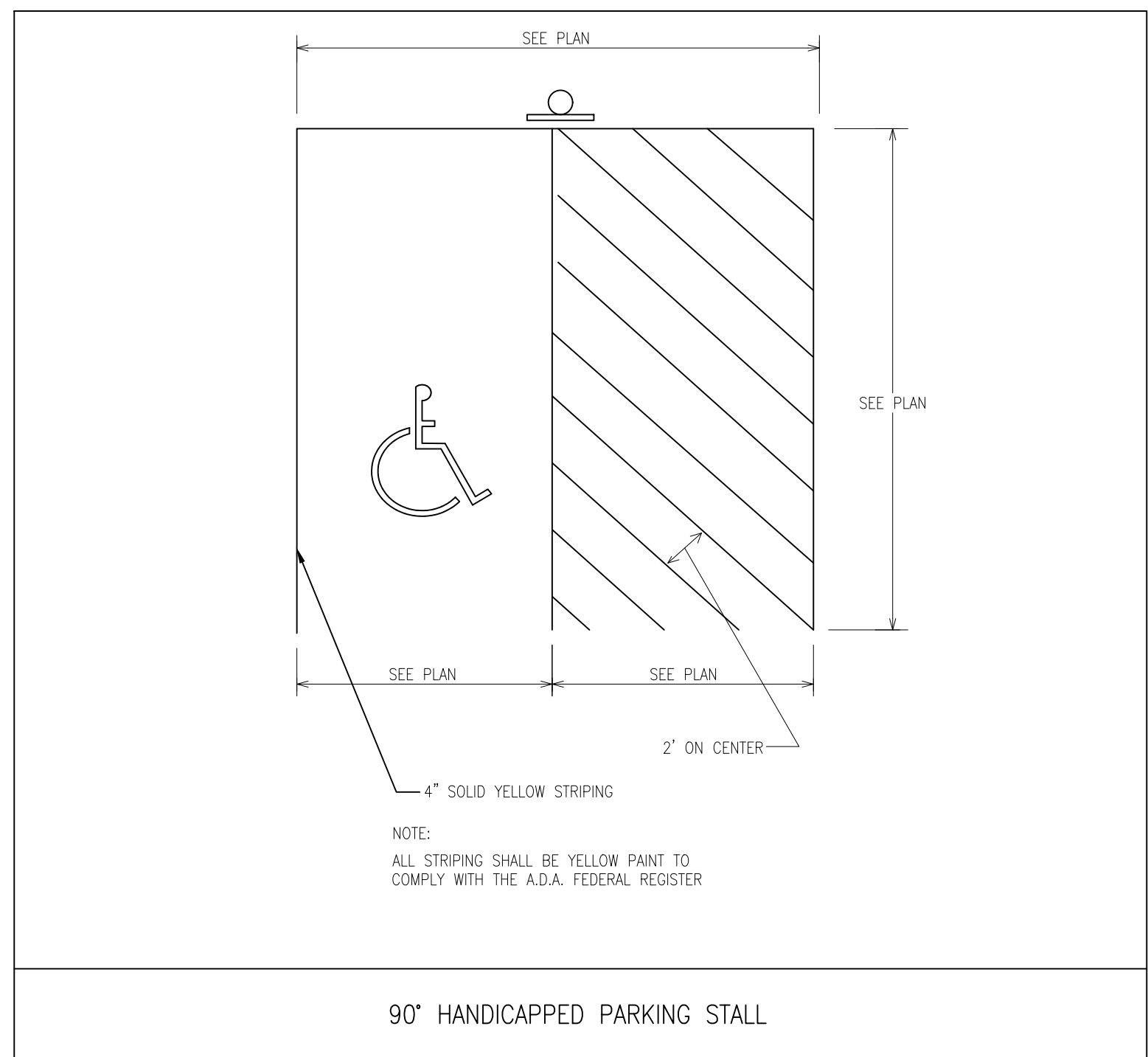
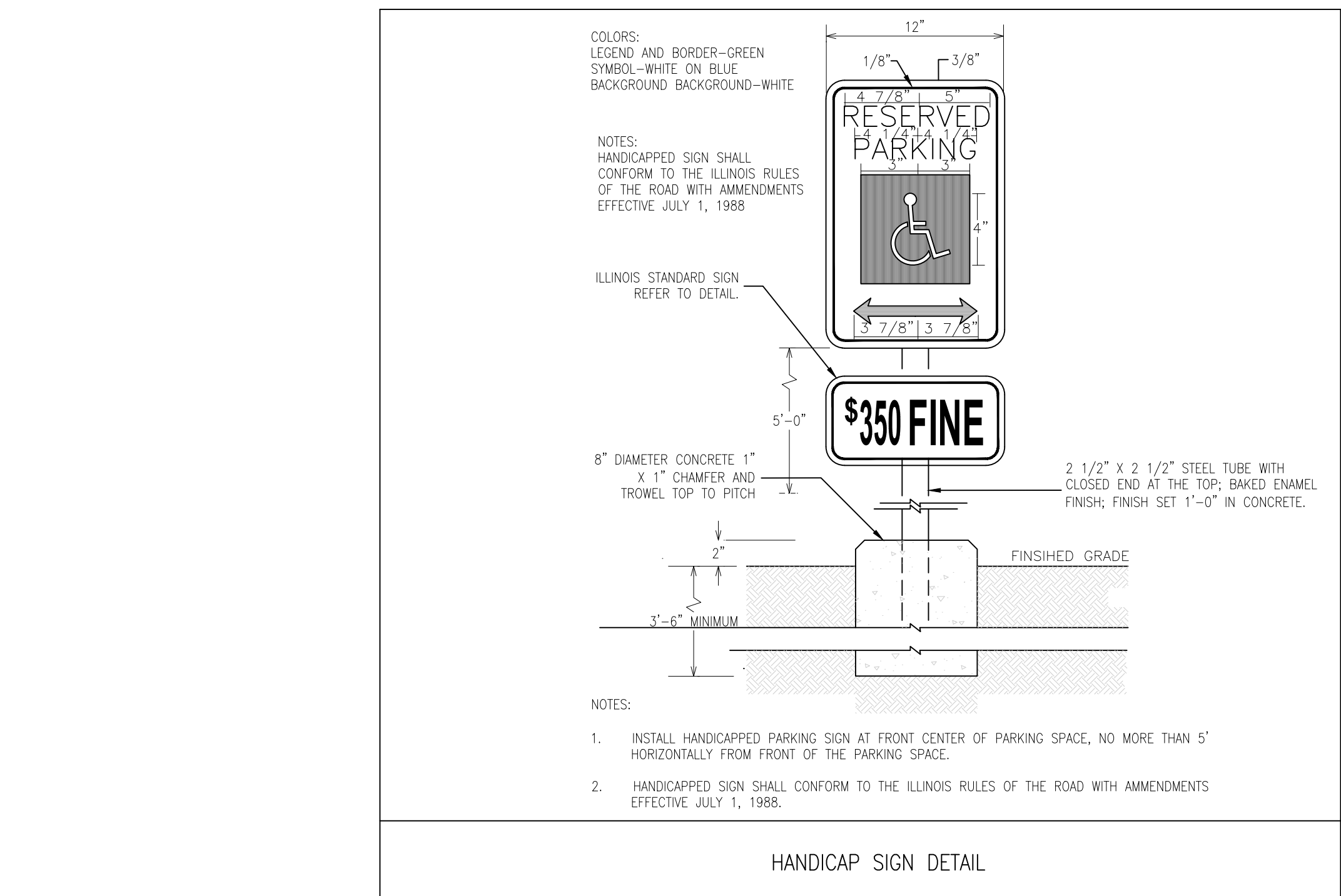
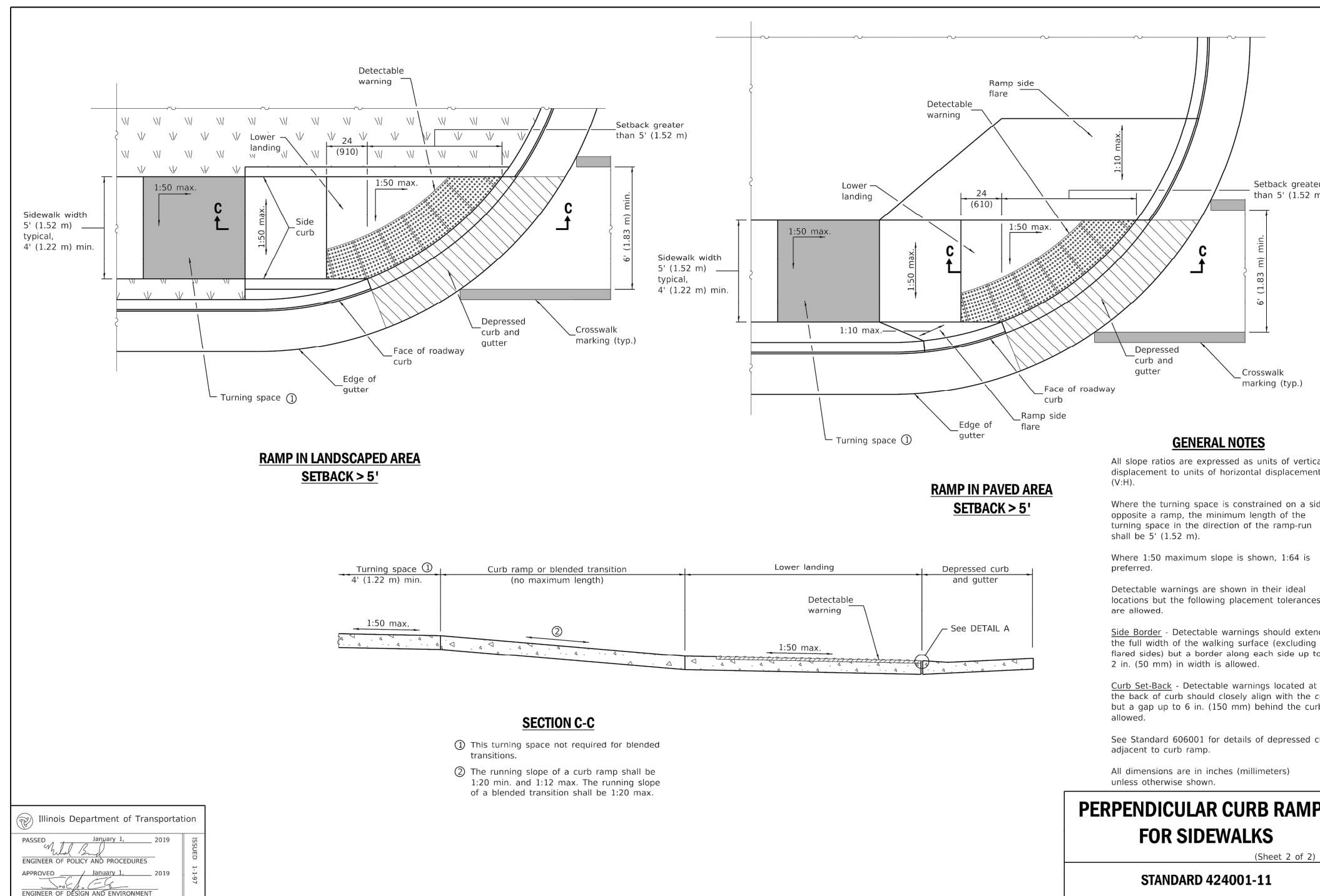
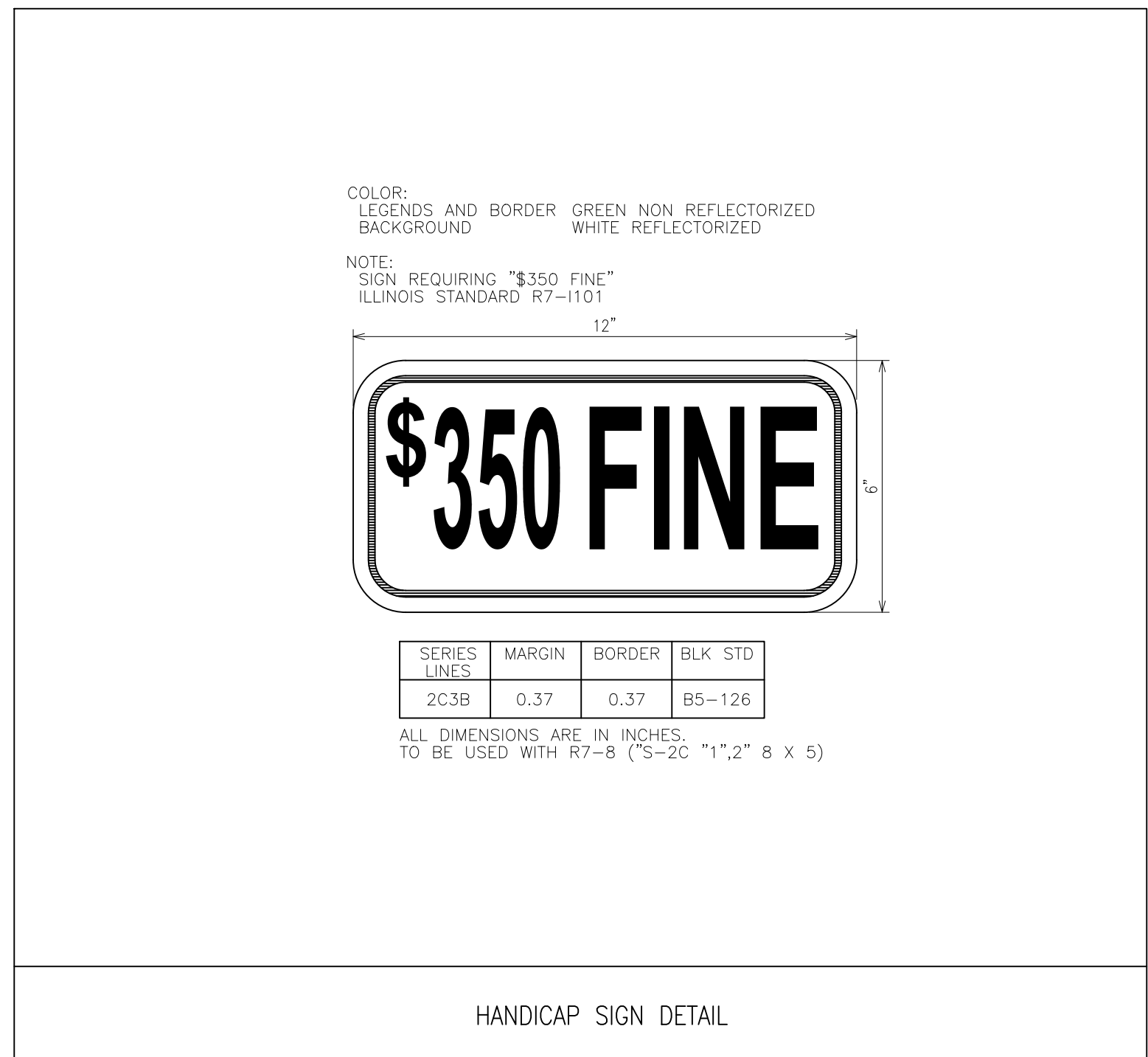
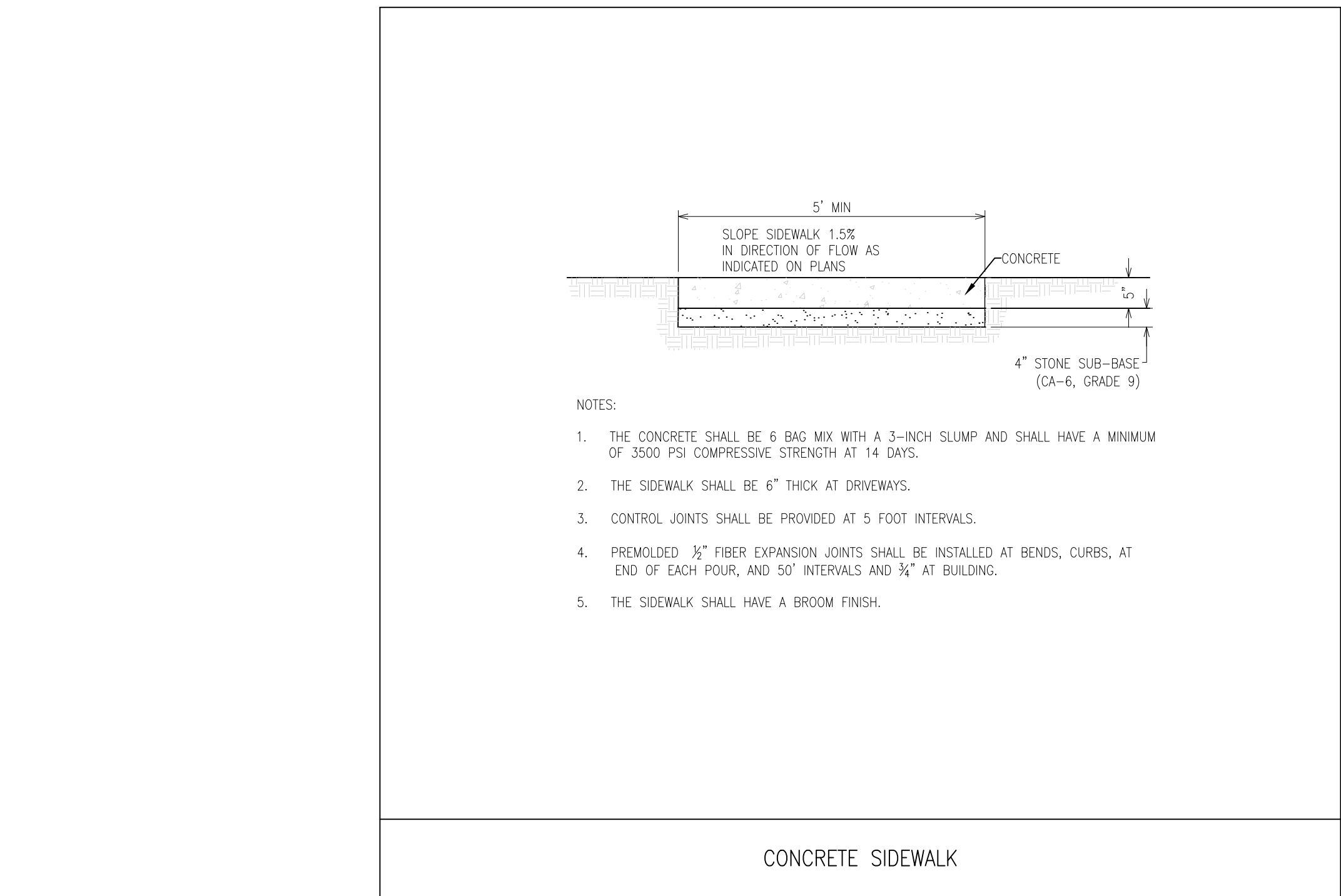
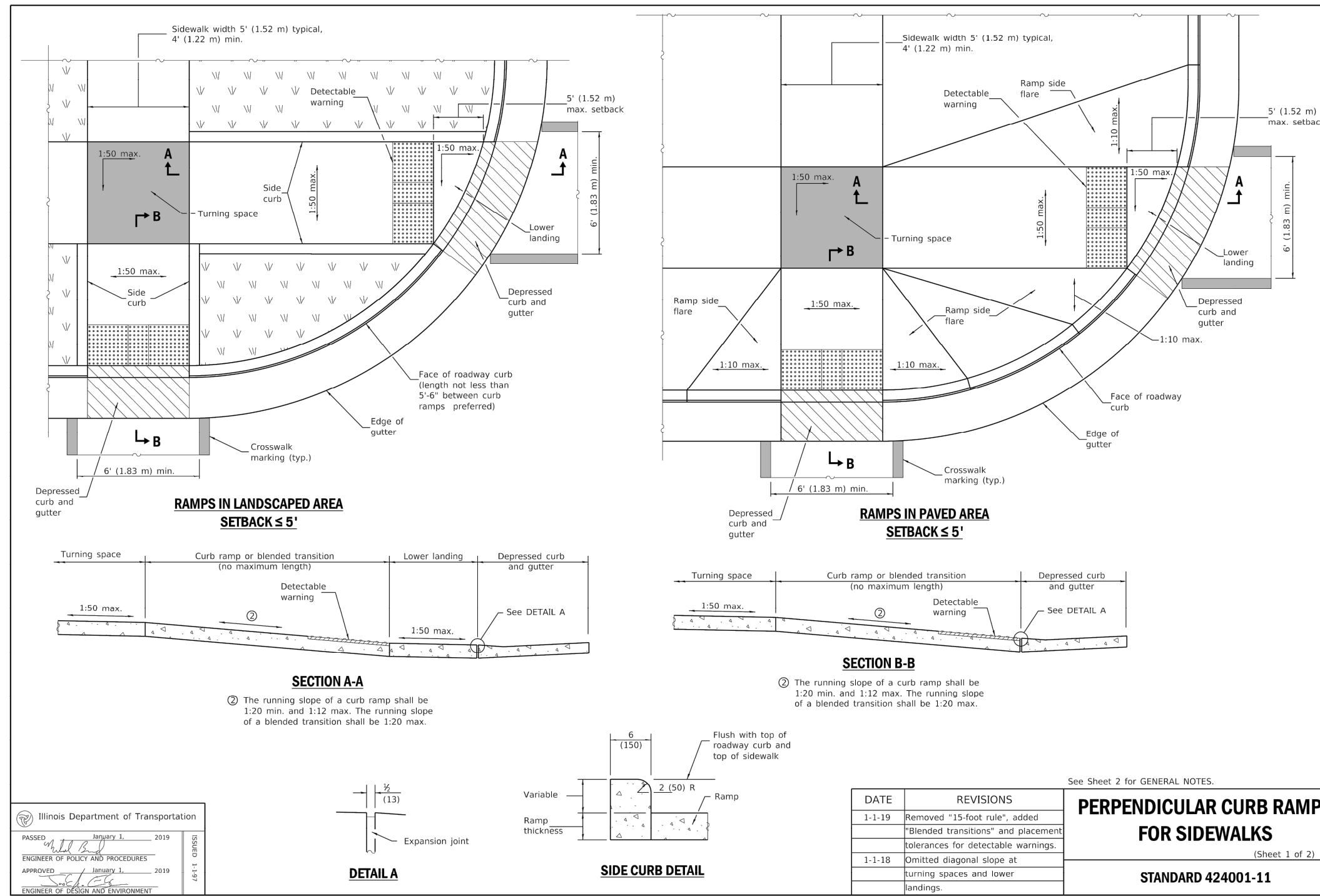
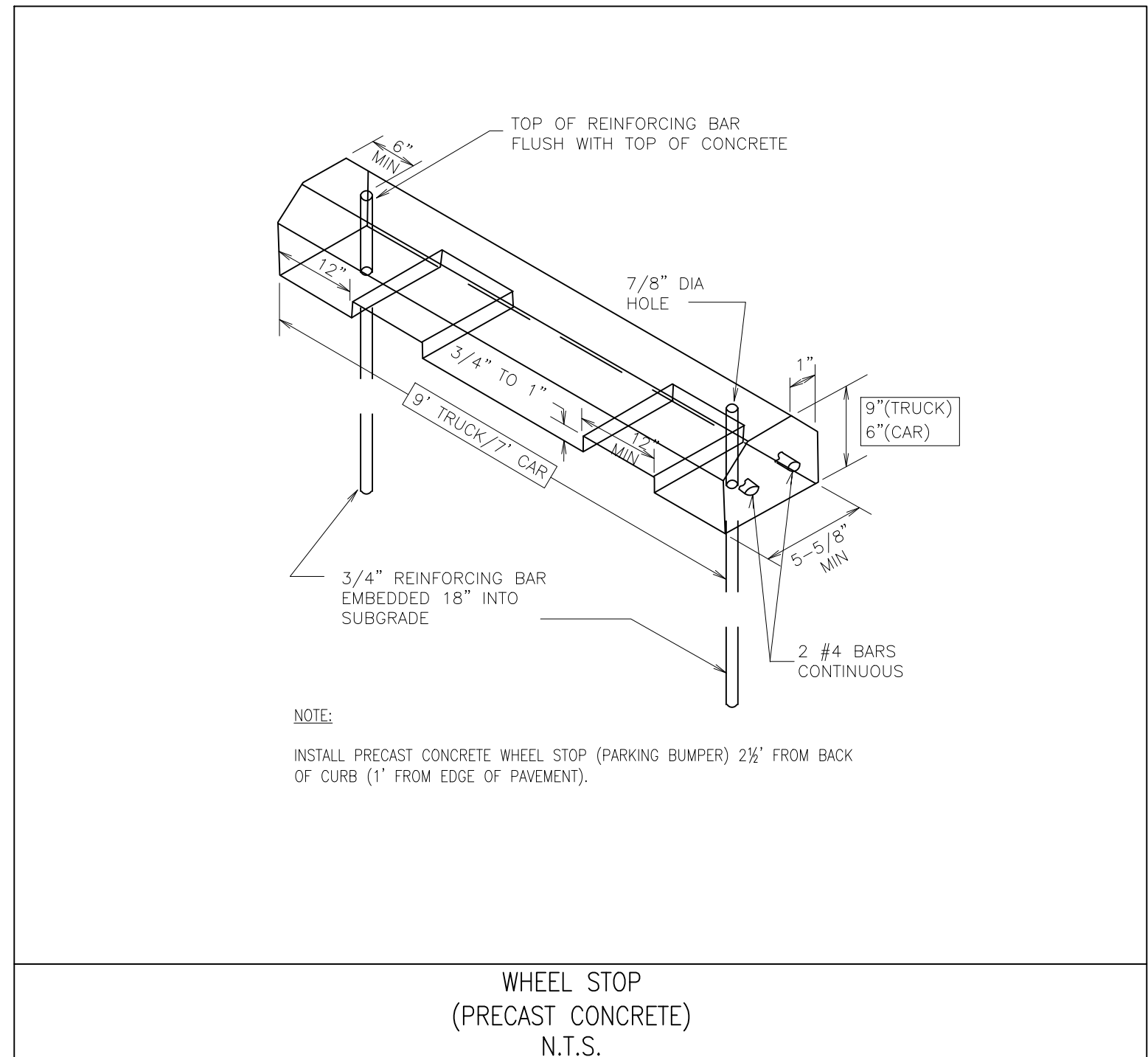
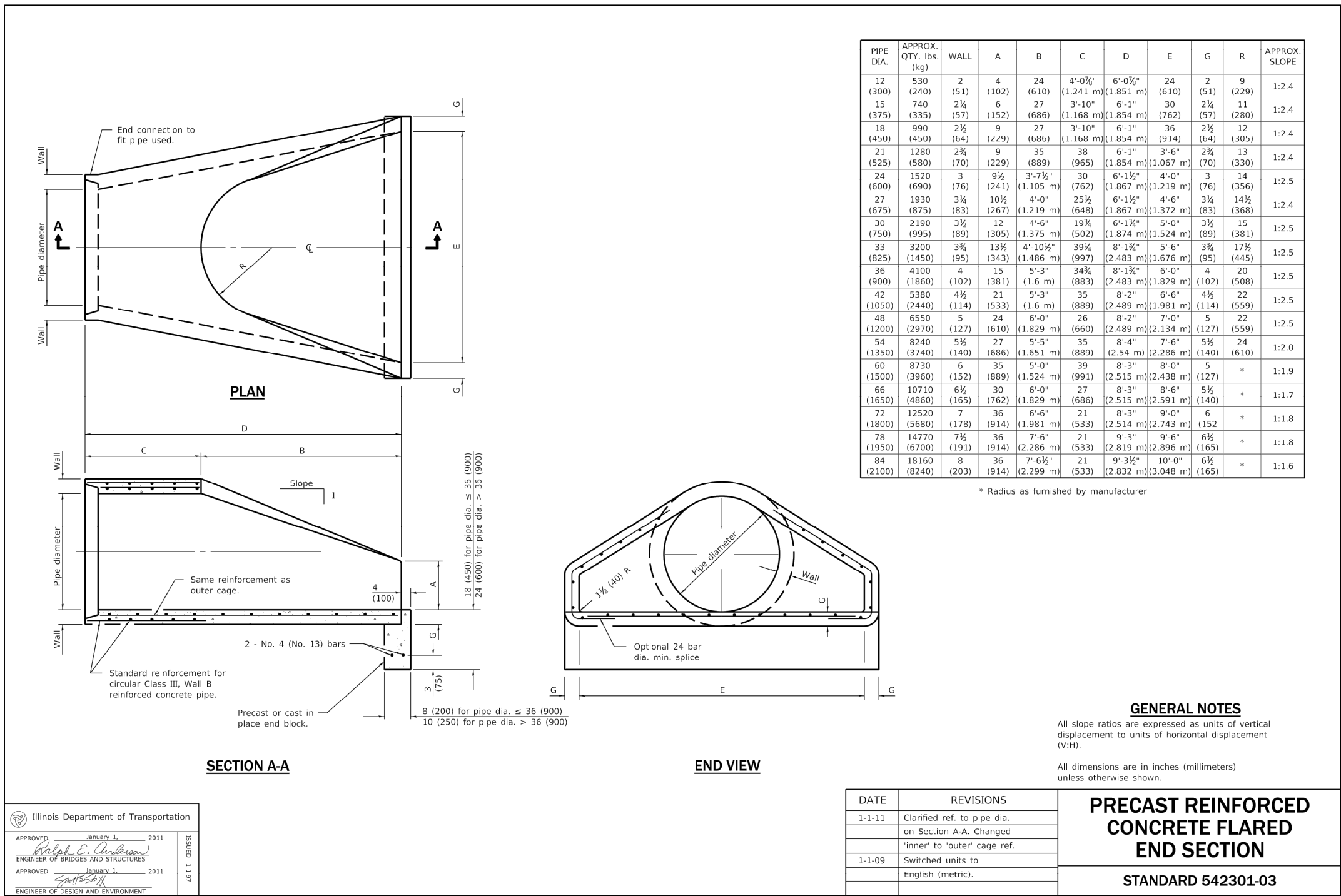
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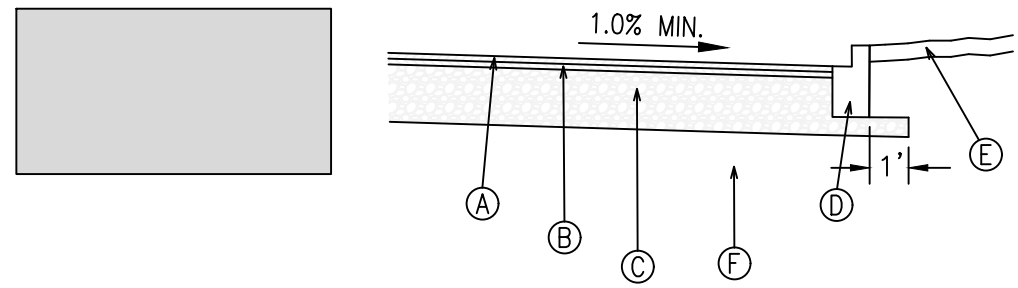
SOIL EROSION AND
SEDIMENT CONTROL PLAN
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

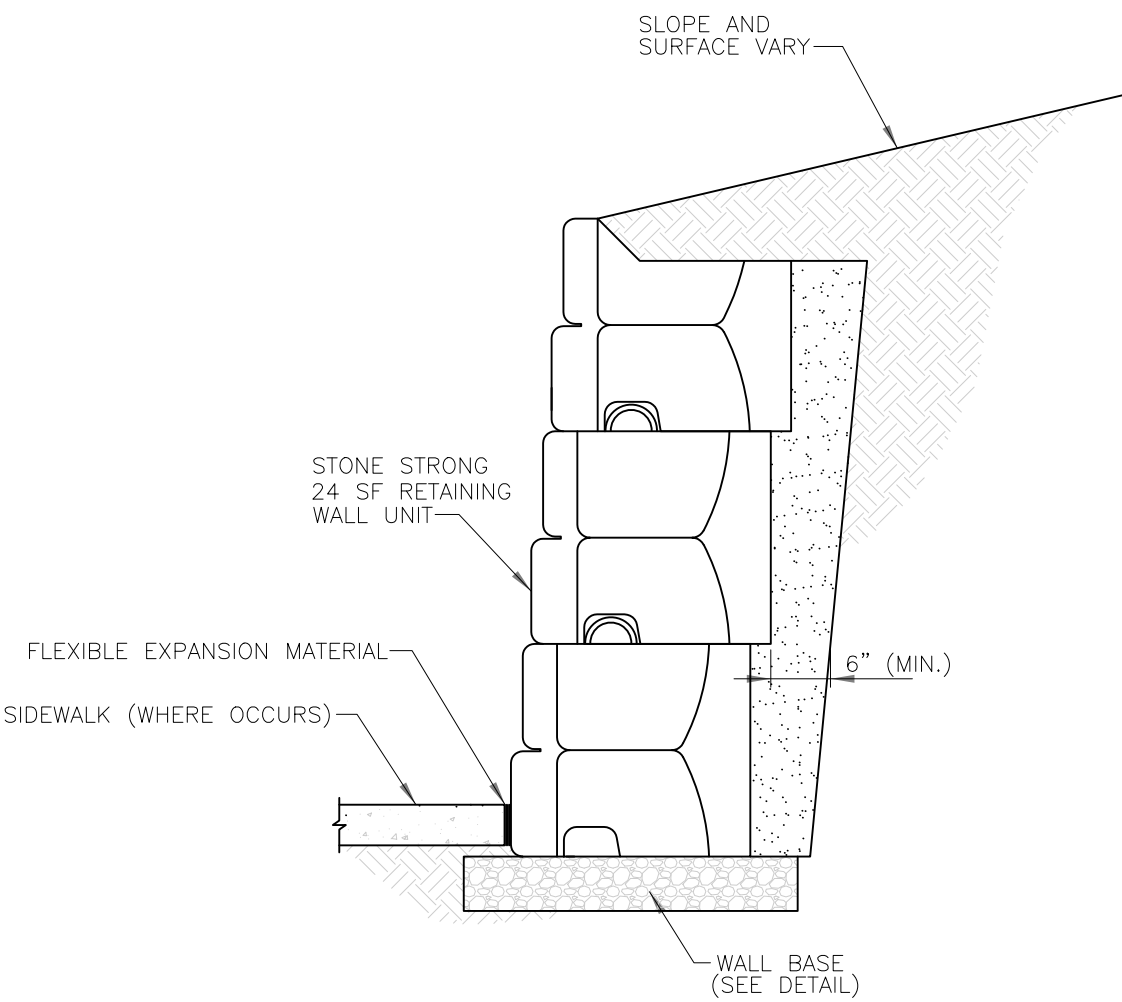
NOVEMBER 18, 2019
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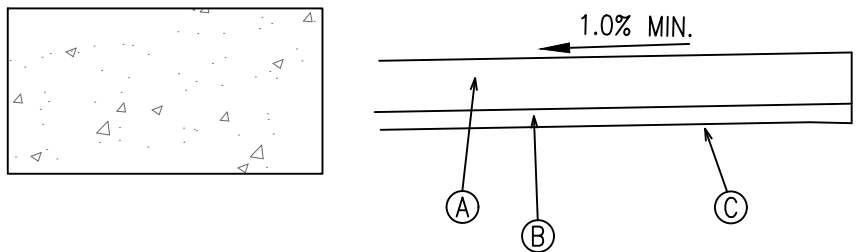




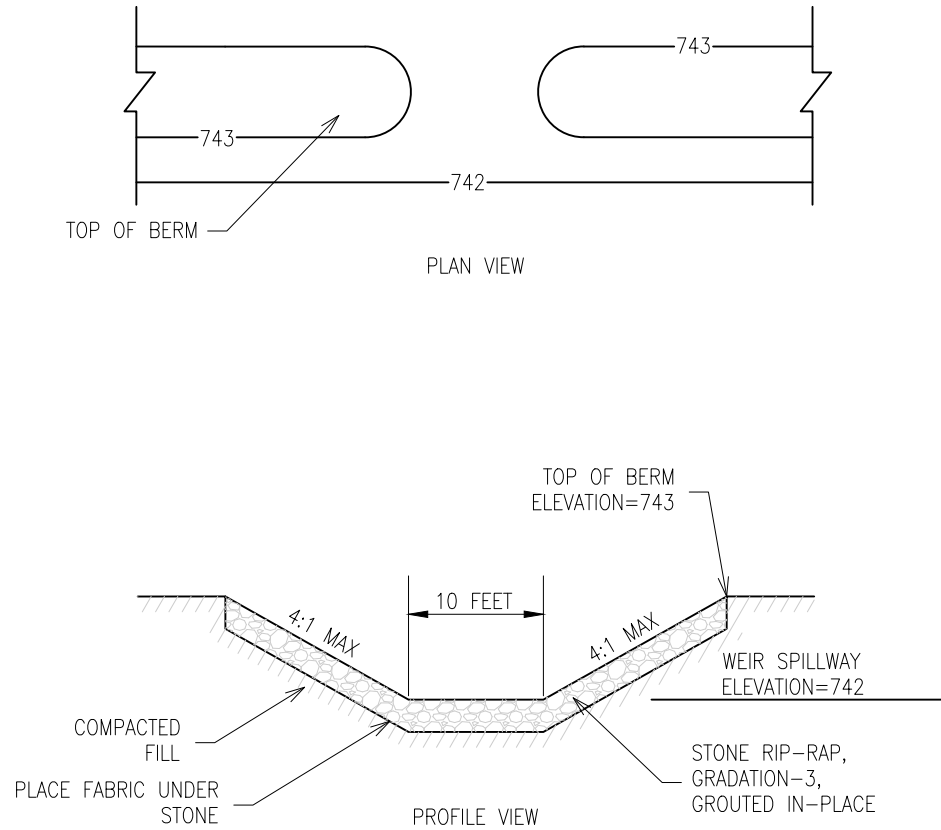
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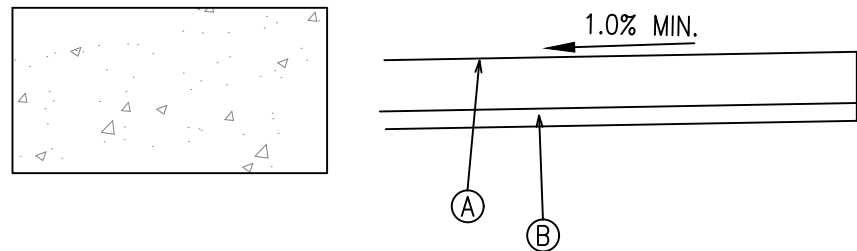
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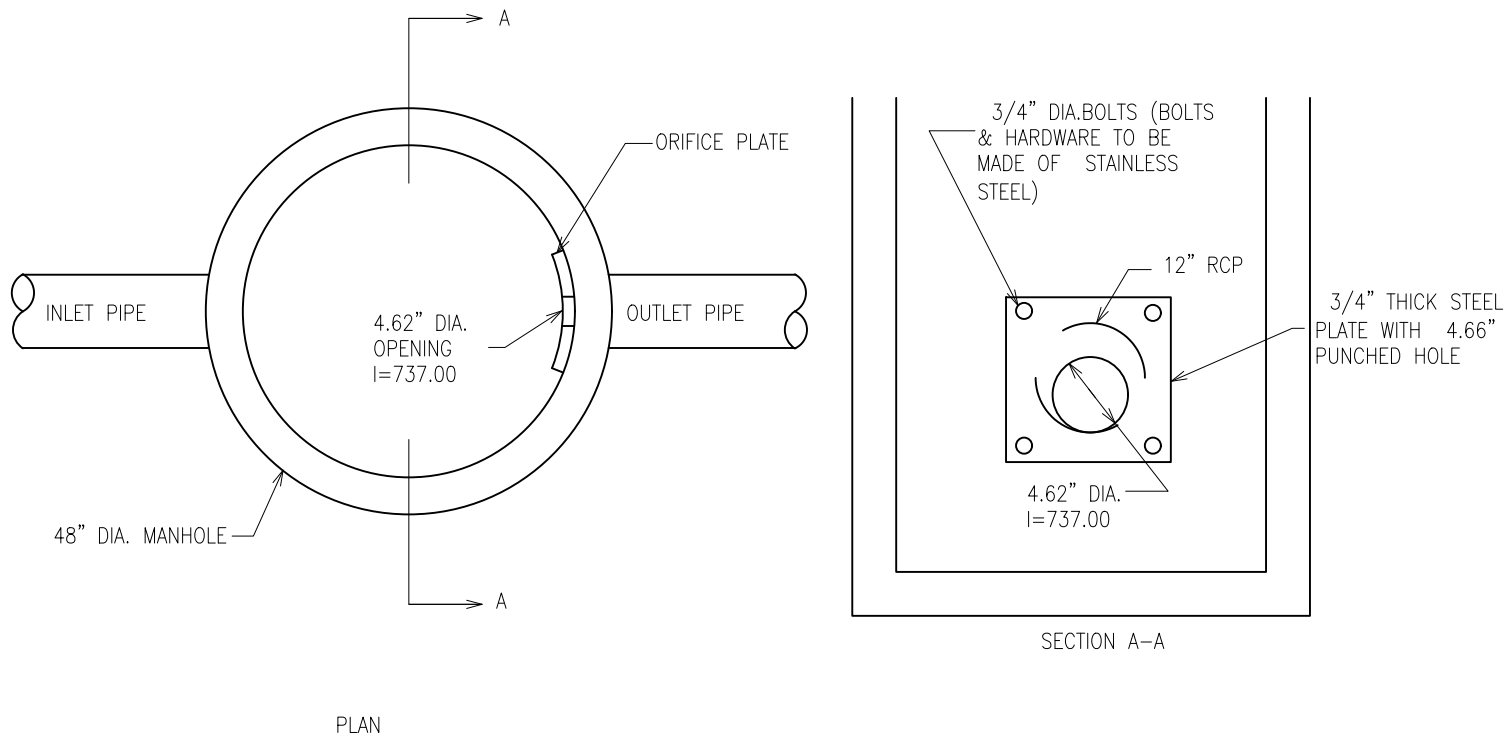
CONCRETE DRIVEWAY SECTION
N.T.S.



OVERFLOW WEIR



DUMPSTER PAD SECTION
N.T.S.



RESTRICTOR DETAIL

REMARKS		DATE	NO.
REVISED PER VILLAGE/WMRDC		01/17/20	1.
REVISED PER VILLAGE		02/27/20	2.

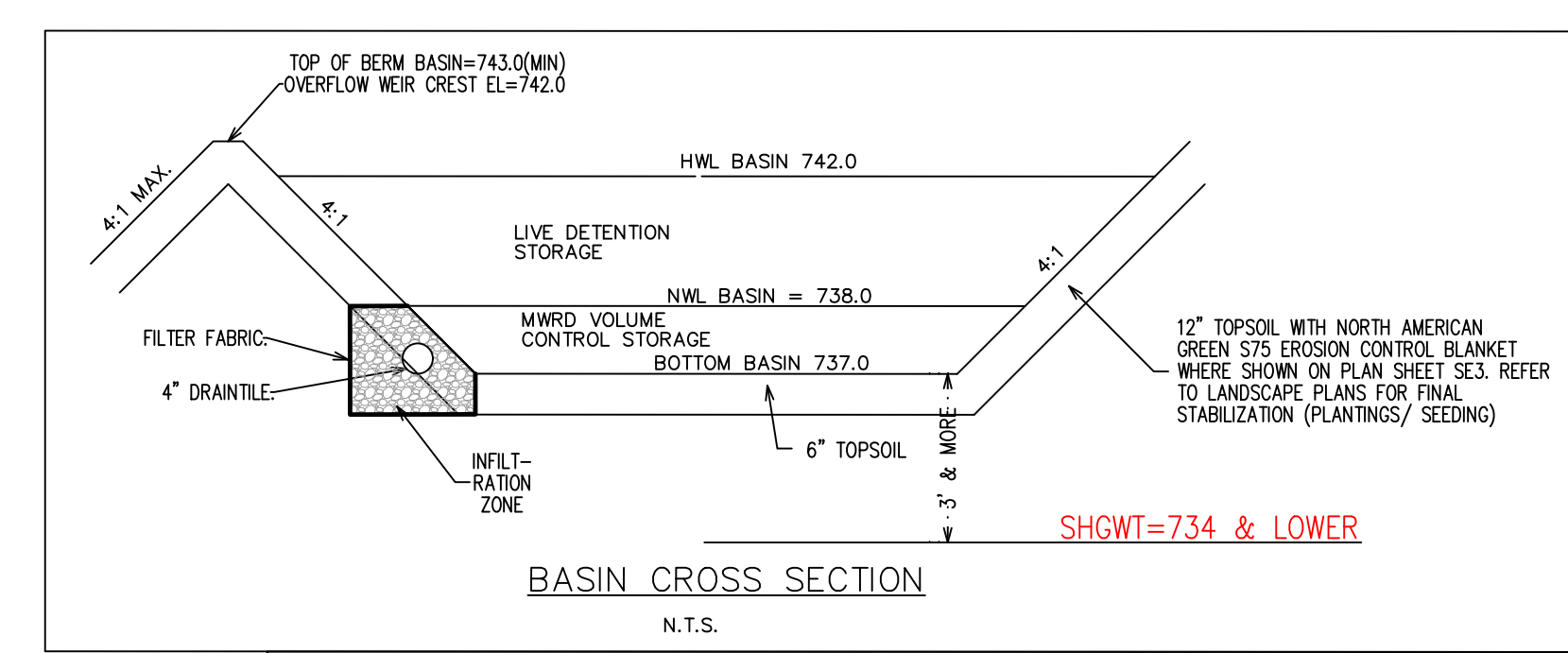
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DETAILS
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036

SHEET:
D3



MWRD SUMMARY	
LEGEND	
	IMPERVIOUS AREA
	PERVIOUS AREA
	UNRESTRICTED AREA
	VOLUME CONTROL AREA
	OFFSITE AREA
	DRAINAGE AREA BOUNDARY

DETENTION AND RETENTION SUMMARY:	
BASIN:	
BASIN BOTTOM= 737.0	
NWL= 738.0	
HWL= 742.0	
TAILWATER ELEVATION=N/A	
DETENTION VOLUME PROVIDED = 2.88 AC-FT	
DETENTION VOLUME REQUIRED = 2.88 AC-FT	
VOLUME CONTROL PROVIDED= 0.48 AC-FT	
VOLUME CONTROL REQUIRED= 0.52 AC-FT	

SUMMARY:	
TOTAL PROPERTY OWNERSHIP = 8.69 AC.	
TOTAL DEVELOPMENT AREA = 7.21 AC + 1.48 AC (U/S AREA) = 8.69 AC	
AREA TRIBUTARY TO BASIN = 8.47 AC.	
PROPOSED IMPERVIOUS AREA = 5.70 AC	
UPSTREAM AREA = 1.06 AC. BYPASS THROUGH OVERFLOW WEIR	
HWL AREA = 1.05 AC.	
UNRESTRICTED AREA = 0.22 AC.	

REMARKS	
1.	REVISED PER VILLAGE/MWRDC
2.	REVISED PER VILLAGE

DATE	01/17/20
NO.	1.
NO.	2.

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DRAINAGE AREA EXHIBIT

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036
SHEET:
DR1
16 OF 18

PIN: 27-34-300-013-0000
27-34-300-014-0000

LEGAL DESCRIPTION:

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

And

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

EXAMPLE MAINTENANCE PLAN FOR X DEVELOPMENT

The Owner of the NEW HORIZON HOTELS, with facilities as shown on this exhibit (Exhibit R), shall assume responsibility for the following perpetual maintenance activities:

- General
Regular inspections and routine maintenance of general areas shall be performed on a monthly or as-needed basis. Specific items of concern include:
 - Litter and debris shall be controlled
 - Landscape areas shall be maintained with regular mowing and restored with appropriate seeding/vegetation as necessary.
 - Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations
 - Rip-rap areas shall be repaired with the addition of new riprap, as necessary, of similar size and shape
 - Roads shall be swept, vacuumed and/or washed on a regular basis

- Storm Management Facilities
All components of the storm water management facilities shall be checked monthly between March and November and maintained as necessary to ensure proper performance. It is critical that all inflows and outflows to the detention facility are clean and performing as designed. In addition, the design volume of the detention facility shall also be maintained. Inspections for the following specific items should be conducted monthly between March and November:

- Side Slopes/Embankments/Emergency Overflow Structure
- Inspect embankments for settlement and erosion
 - Remove woody growth from the embankment
 - Any breaks, hire Registered Professional Engineer for design resolution
 - Seed and sod any eroded areas
 - Sign of piping (leakage) or seepage, repair
 - Stabilize emergency overflow structure if erosion observed
 - Remove obstructions blocking emergency overflow spillway

- Vegetated Areas
- Regular mowing to control vegetation, no cutting of negative vegetation
 - Need for planting, reseeding or sodding. Supplement alternative native vegetation if a significant portion has not been established (50% of the surface area). Reseed with alternative grass species if original grass cover has not successfully established.
 - Evidence of grazing, motorbikes, or other vehicles, repair
 - Check for invasive vegetation, remove where possible
 - All vegetation must be maintained per the approved planting plan

- Outlet Control Structure
- Inspect restrictor and remove debris if clogged or discharge reduced
 - Remove accumulated sediment at outlet
 - Scour and erosion at outlet, repair and reseed
 - Any ice damage to outlet of pipe, repair if necessary
 - Condition of trash tracks, remove debris
 - Outlet channel conditions downstream Access for Maintenance Equipment
 - Remove any obstructions placed in maintenance easements

- Safety Features
- Access controls to hazardous areas
 - Fences
 - Loose or damaged posts
 - Loose or broken wires
 - Condition of gates
 - Signs

- Detention Volume
- Inspect all storm water detention facilities to ensure that the constructed volume for detention is maintained. No sediment, topsoil, or other dumping into the facility shall be allowed. Specific locations in the storm water management system, designed to accumulate sediment, shall be dredged as necessary to prevent sediment from reaching the invert of any gravity outlet pipe.

- Volume Control Facility
Routine inspections and maintenance of volume control facilities shall be performed by the Owner on a yearly or as-needed basis. Specific items of concern include:
 - Facility shall be inspected yearly using the monitoring well to verify the system is functioning properly.
 - Surface of permeable pavement shall be cleaned with low-pressure power washer.
 - Accumulated sediment from surface shall be vacuumed out and disposed of properly.
 - Appropriate signage shall be repaired if damaged or illegible.

- Storm water Collection System
The Owner shall perform monthly inspections of all components of the stormwater collection system. The monthly inspection shall occur between March and November and include the following specific areas of concern:

- Storm Sewers/Manholes
- Remove accumulated leaves and other debris from gates
 - Reset covers/lids on as-needed basis
 - Remove accumulated sediment from manhole bottom when 50% of sump is filled

- Storm Sewers/Culverts
- Visually inspect pipes by removing manhole lids, make repairs as necessary
 - Storm sewers and culverts shall be checked for siltation deposits at inlets, outlets, and within the conduit, clean out as necessary
 - Restore rip rap at outfalls if erosion observed
 - Restore rip rap at outfalls
 - Replant and reseed any eroded areas

- Overland Flow Routes (Ditches/Slopes)
- Annual visual inspections shall be performed that verify the design capacity of the overland flow routes is maintained. The slope and cross-sectional area of the ditch/swale shall be verified during this inspection.
 - Remove any obstructions that have been placed in the drainage path
 - Seed and sod any eroded areas
 - Restore rip rap as necessary
 - Regrade to provide positive drainage as necessary
 - Regular mowing to control vegetation

- Vegetated Areas
Need for planting, reseeding, or sodding. Supplement alternative native vegetation if a significant portion has not been established (50% of the surface area after second growing season). Reseed with alternative native grass species if original grass cover has not successfully established.
- Evidence of grazing, motorbikes, or other vehicles, repair.
- Check for invasive vegetation, remove when possible.
- Regular mowing to control vegetation; it is recommended that native vegetation remain uncut.
- Dead or damaged non-native grassy areas - repair with seeding with fertilization or seeding with mulch.
- Compensatory storage area shall be reseeded with appropriate vegetation according to the approved planting plan.

- Qualified Sewer Construction
Performed manhole inspections once every five years; make repairs as necessary.
- Perform sewer inspections once every five years; make repairs as necessary.
- Perform regular cleaning so that each sewer segment is cleaned once every 5 years.
- Remove any obstructions placed in maintenance easements that may impede maintenance equipment access.

ADVANTAGE
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEWISTON, ILLINOIS 60439
847-260-4758 WWW.ADVANTAGEILL.COM

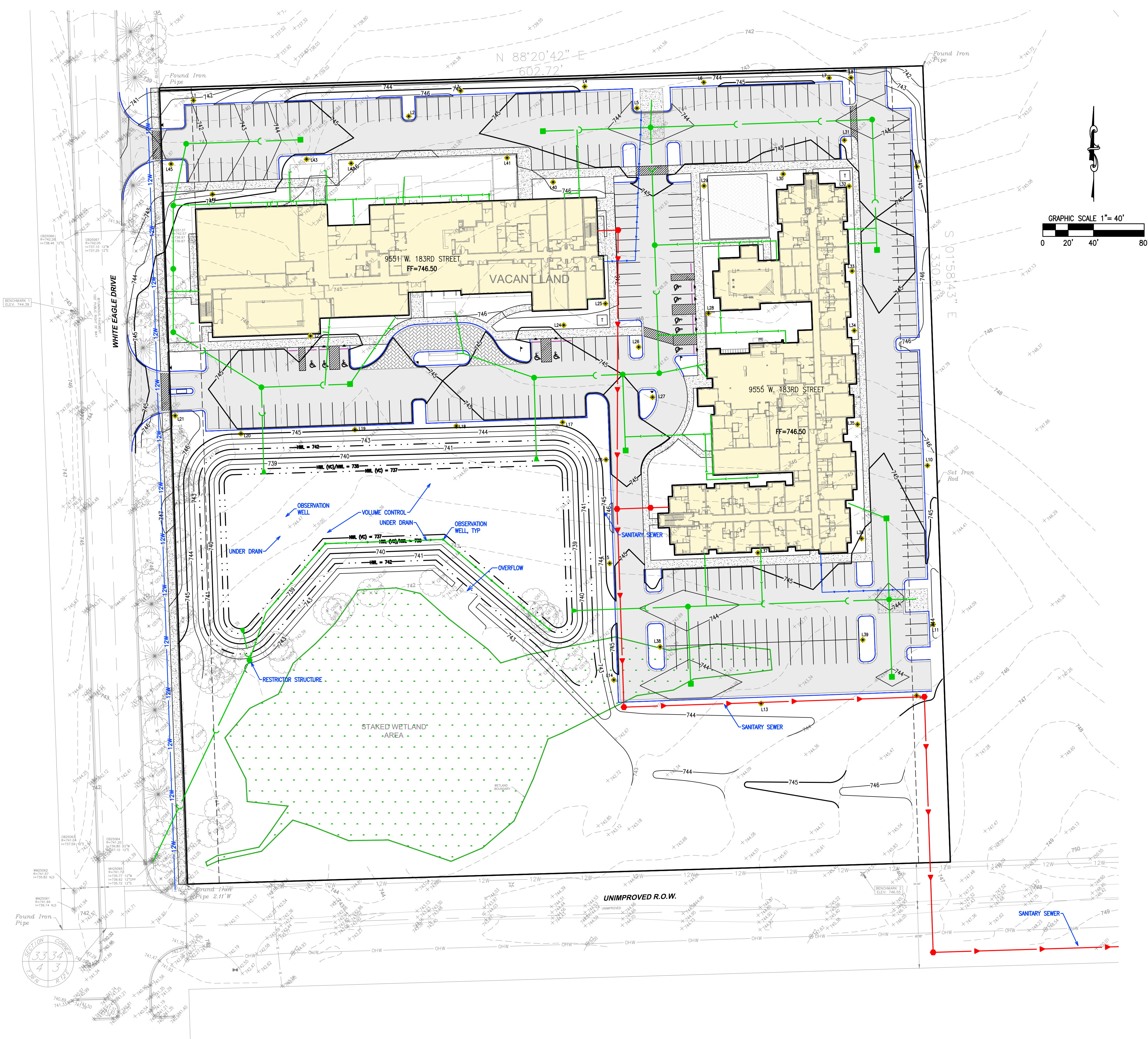
EXHIBIT R
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036

SHEET:
DR2

17 OF 18

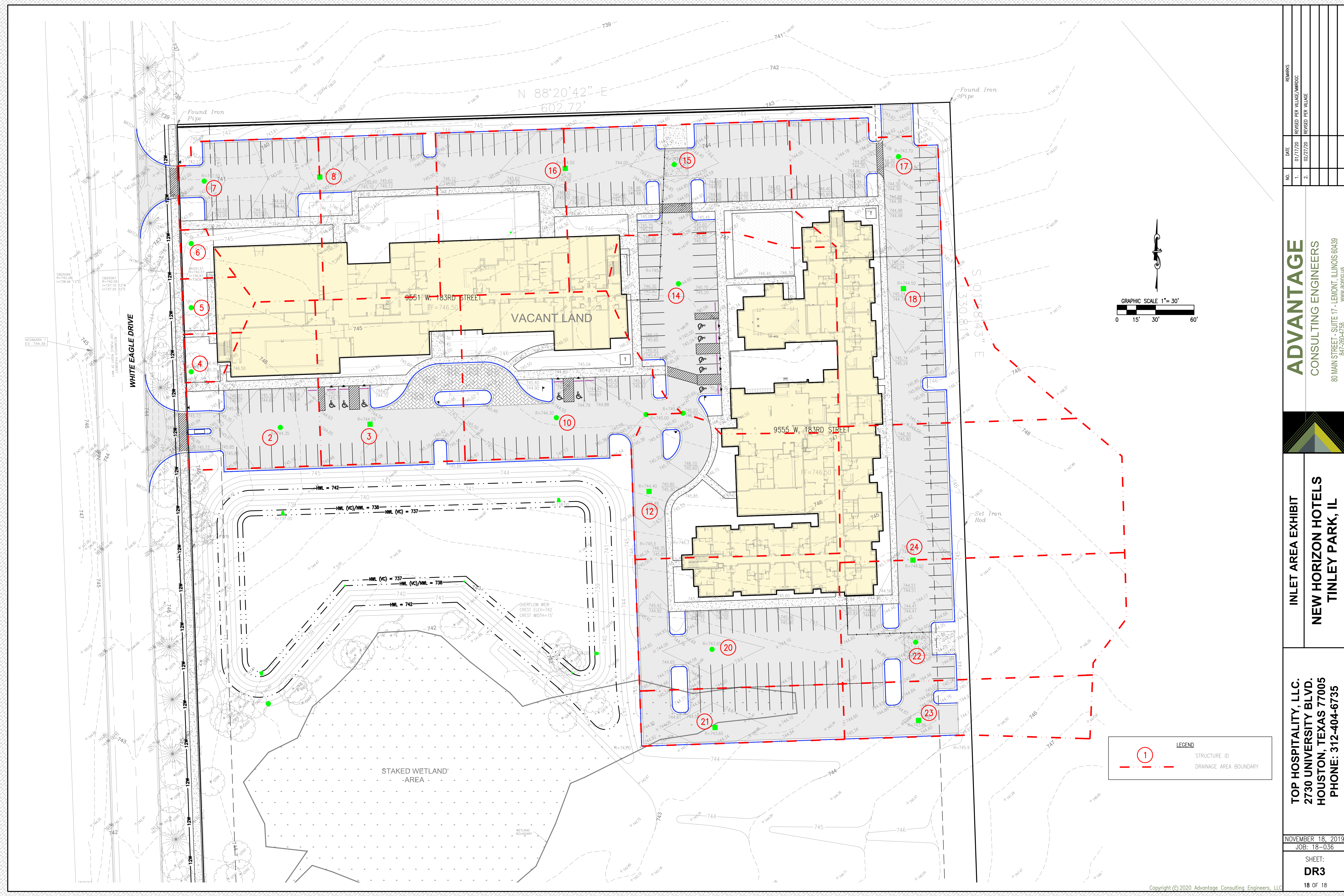


PROPERTY LOCATION: SECTION 34, TOWNSHIP 36N, RANGE 12E
PROPERTY ADDRESS: 9551-9555 WEST 183RD STREET, TINLEY PARK, IL
TOTAL CONTIGUOUS OWNERSHIP: 8.69 ACRES
PROJECT AREA: 8.69 ACRES

OWNER WILL OWN AND MAINTAIN ALL
STORM SEWERS, DETENTION BASIN AND
SANITARY SEWERS

STORM WATER VOLUME SUMMARY:

DETENTION VOLUME REQUIRED:	2.88 AC FT
DETENTION VOLUME PROVIDED:	2.88 AC FT
VOLUME CONTROL REQUIRED:	0.48 AC FT
VOLUME CONTROL PROVIDED:	0.52 AC FT



ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
817-260-4758
WWW.ACEPIUS.COM

INLET AREA EXHIBIT
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036
SHEET:
DR3
18 OF 18

NO.	DATE	REMARKS	
		REVISED PER	VILLAGE/WMRSC
1.	01/17/20		
2.	02/27/20		

LEGEND

1

STRUCTURE ID

DRAINAGE AREA BOUNDARY



GRAPHIC SCALE 1"= 30'

0 15' 30' 60'

Final Landscape Plan

RESIDENCE INN & COURTYARD

by MARRIOTT

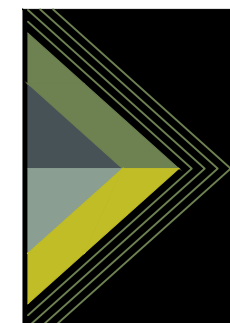
Tinley Park, Illinois

February 27, 2020

CONSULTANTS:



LANDSCAPE ARCHITECT:
GARY R. WEBER ASSOCIATES, INC
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187



CIVIL ENGINEER:
ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439

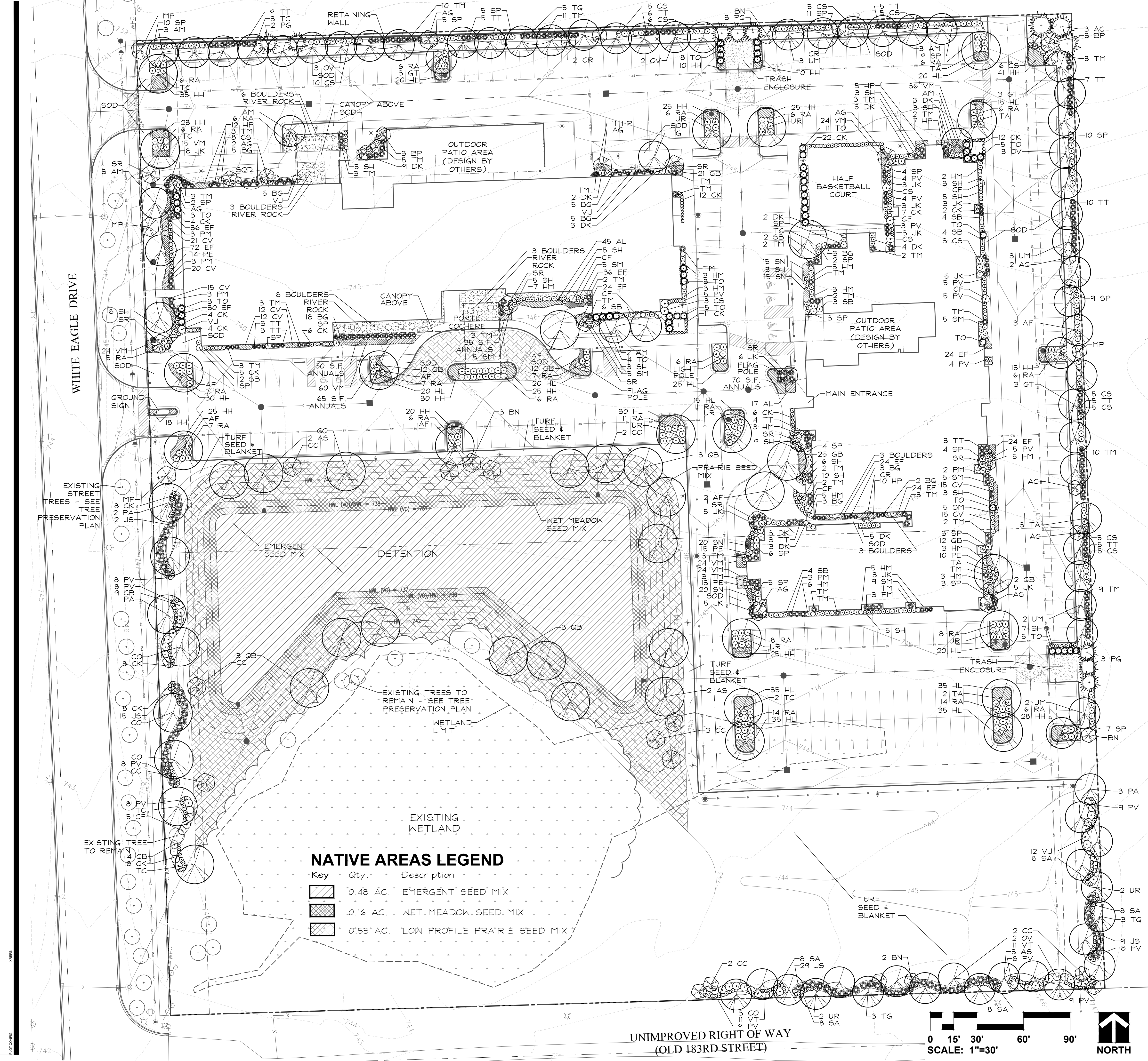


LOCATION MAP

SCALE: 1"=300'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	FINAL LANDSCAPE PLAN
2	TREE INVENTORY / PRESERVATION PLAN
3	LANDSCAPE SPECIFICATIONS



PLANT LIST

Key	Qty	Botanical/Common Name	Size	Remarks
SHADE TREES				
AF	10	Acer x freemanii 'Jeffers Red'	2 1/2" Cal.	
AM	13	Acer mizabel 'Morton'	2 1/2" Cal.	
AS	7	Acer saccharum 'Sugar Maple'	2 1/2" Cal.	
CO	9	Celtis occidentalis 'Common Hackberry'	2 1/2" Cal.	
GT	9	Gleditsia triacanthos 'Skyline'	2 1/2" Cal.	
OV	10	Ostrya virginiana 'Ironwood'	2 1/2" Cal.	
PA	6	Platanus x acerifolia 'Morton Circle'	2 1/2" Cal.	
GB	9	Quercus bicolor 'Swamp White Oak'	2 1/2" Cal.	
TA	8	Tilia americana 'Redmond'	2 1/2" Cal.	
TC	10	Tilia cordata 'Greenspire'	2 1/2" Cal.	
TG	12	Tilia tomentosa 'Green Mountain'	2 1/2" Cal.	
UM	10	Ulmus 'Morton'	2 1/2" Cal.	
UR	10	Ulmus 'Regal'	2 1/2" Cal.	
ORNAMENTAL TREES				
AG	12	Amelanchier grandiflora 'Apple Serviceberry'	6' Ht.	Multi-Stem
BN	7	Betula nigra 'River Birch'	6' Ht.	Multi-Stem
BP	6	Betula populifolia 'Whitespire'	6' Ht.	Multi-Stem
CC	10	Cercis canadensis 'Redbud'	6' Ht.	Multi-Stem
CR	4	Cercis canadensis 'Covey'	6' Ht.	Multi-Stem
MP	4	Malus 'Prairie Fire'	6' Ht.	Multi-Stem
SR	9	Syringa reticulata 'Ivory Silk'	6' Ht.	Multi-Stem
EVERGREEN TREES				
AC	3	Abies concolor 'White Fir'	6' Ht.	
PG	8	Picea glauca 'Denata'	6' Ht.	
TO	50	Thuja occidentalis 'Techny'	5' Ht.	
DECIDUOUS SHRUBS				
CB	13	Cornus sericea 'Bailey'	36" Ht.	5' O.C.
CF	11	Cornus sericea 'Flavirima'	36" Ht.	5' O.C.
CS	73	Cornus sericea 'Fernald'	30" Ht.	4' O.C.
DK	39	Diervilla lonicera 'Kodiak'	24" Ht.	3' O.C.
HM	51	Hydrangea macrophylla 'Bailmer'	24" Ht.	3' O.C.
SB	25	Spiraea betulifolia 'Ito'	24" Ht.	3' O.C.
SM	39	Spiraea media 'Shirabiki'	24" Ht.	3' O.C.
SP	106	Syringa patula 'Miss Kim'	30" Ht.	4' O.C.
RA	187	Rhus aromatica 'Gro-Low'	30" Ht.	4' O.C.
VT	22	Viburnum trilobum 'Redwing'	36" Ht.	5' O.C.
VJ	15	Viburnum x juddii 'Judd Viburnum'	36" Ht.	5' O.C.
EVERGREEN SHRUBS				
BG	49	Buxus x 'Glennae'	24" Wide	3' O.C.
JK	49	Juniperus chinensis 'Kallay's Compact'	24" Wide	4' O.C.
JS	65	Juniperus x pfitzeriana 'Sea Green'	30" Wide	5' O.C.
PM	17	Pinus mugo 'Valley Cushion'	24" Wide	3' O.C.
TM	114	Taxus x media 'Densiformis'	24" Wide	4' O.C.
TT	69	Taxus x media 'Taunton'	24" Wide	4' O.C.
ORNAMENTAL GRASSES				
CK	127	Calamagrostis x acutiflora 'Karl Foerster'	#1	30" O.C.
FE	52	Festuca ovina 'Fountain Grass'	#1	24" O.C.
PV	110	Panicum virgatum 'Rotstrahlbusch'	#1	30" O.C.
SA	40	Sesleria autumnalis 'Autumn Moor Grass'	#1	30" O.C.
SH	83	Shaniorhiza heterophylla 'Prairie Dropseed'	#1	24" O.C.
PERENNIALS				
AL	62	Allium 'Lilium' 'Summer Beauty'	#1	18" O.C.
CV	110	Coreopsis verticillata 'Zagreb'	#1	18" O.C.
GB	94	Geranium x 'Brookside'	#1	18" O.C.
HP	45	Hosta 'Patriot'	#1	24" O.C.
HH	385	Hemerocallis 'Happy Returns'	#1	18" O.C.
HL	375	Hemerocallis 'Little Wine Cup'	#1	18" O.C.
SN	70	Salvia nemorosa 'East Friesland'	#1	12" O.C.
GROUNDCOVERS				
EF	294	Euonymus fortunei var. 'Coloratus'	#SP4	12" O.C.
VM	207	Vincetoxicum 'Doris Blue'	#SP4	12" O.C.
ANNUALS				
220	Spring Daffodil Bulbs	1/5.F	12" O.C.	
440	Summer Purple and Pink Sunpatiens	2/5.F	6" O.C.	
440	Fall Red and Yellow Mums	2/5.F	6" O.C.	
440	Winter Flowering Kale	1/5.F	12" O.C.	
MISC. MATERIALS				
182	Shredded Hardwood Mulch	C.Y.		
1,703	SOD	S.Y.		
0.95	Turf Seed & Erosion Control Blanket	AC.		
24	2 1/2" River Rock	C.Y.	4" Depth	
26	Granite Boulders 24"-48"	EA	Natural Colors	

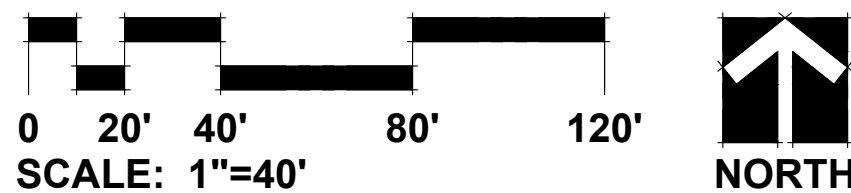
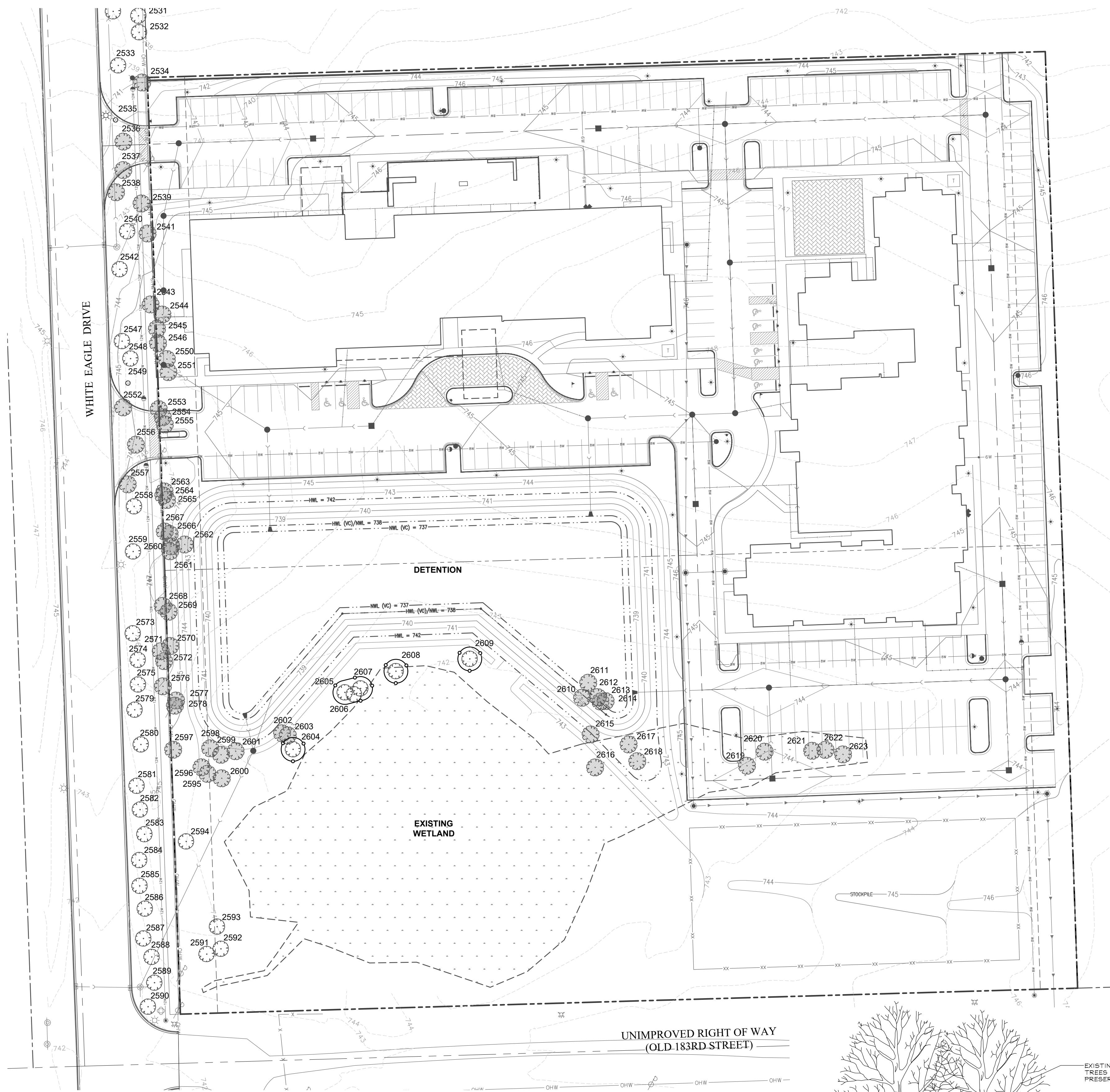
GRWA
GARY R. WEBER
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ADVANTAGE CONSULTING
ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439

MARRIOTT / NEW HORIZON HOTELS TINLEY PARK, ILLINOIS FINAL LANDSCAPE PLAN

4	2.27.2020
3	1.23.2020
2	12.12.2019
1	11.01.2019

DATE	8.01.2019
PROJECT NO.	AC1830
DRAWN	GFB/TRC
CHECKED	JCT
SHEET NO.	

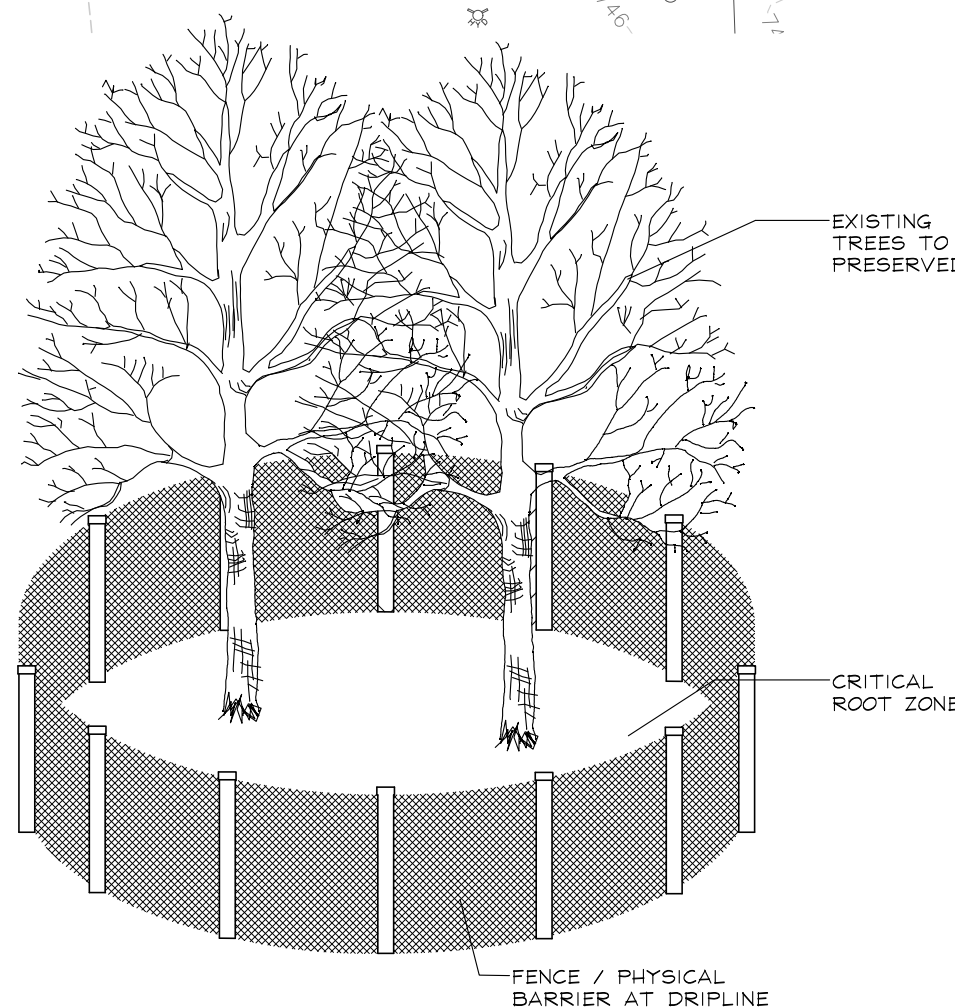


LEGEND

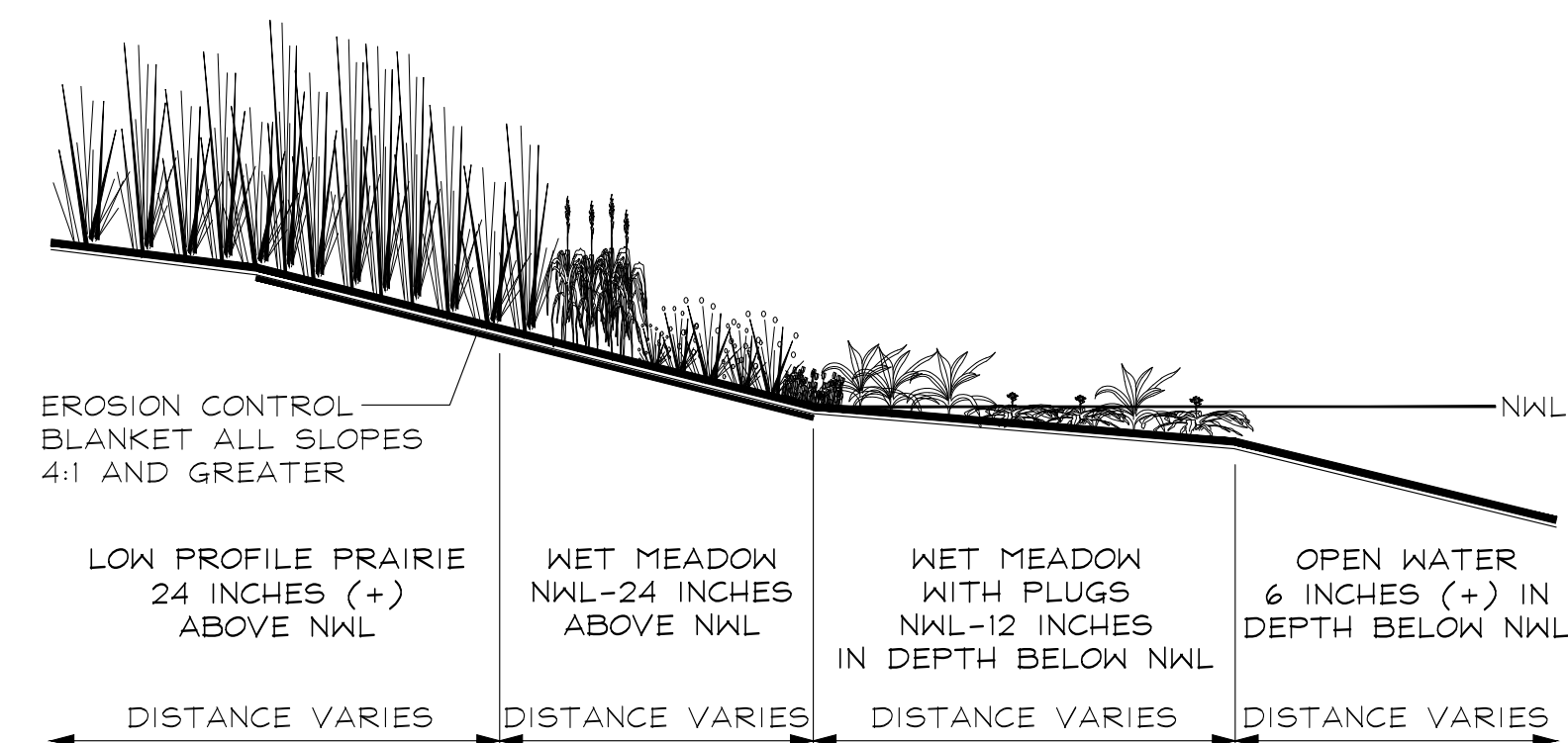
- 123 TREE TO BE PRESERVED
- 123 TREE TO BE REMOVED
- TREE PROTECTION FENCE

TREE PRESERVATION NOTES

- 48" high snow fence or wood barriers shall extend to the dripline of the tree or tree mass whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
- All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of the professional Arborist, Landscape Architect or Horticulturist.
- Broken or badly bruised branches shall be removed with a clean cut, if recommended by the professional Arborist, Landscape Architect or Horticulturist.
- Care shall be exercised by the contractors to protect all overhead limbs and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
- Contractors shall protect trees and vegetation against spills or discharge of fuels, lubricating oils, hydraulic fluids, anti-freeze and coolants, calcium chloride, lime and all other similar hydrocarbons, organic chemicals, and other materials which can be harmful.
- When underground utilities are proposed within 5' of a preserved tree trunk, they must be augered if possible.



TREE PRESERVATION DETAIL
(NOT TO SCALE)
SEE NOTES



PLANT COMMUNITY SECTION
NOT TO SCALE

TREE INVENTORY

TAG NO.	BOTANICAL NAME	COMMON NAME	SIZE (dib in inches, confer in ft high)	HEALTH/STRUCTURE	NOTES	PRESERVE/REMOVE
2530	<i>Picea pungens</i>	Colorado Blue Spruce	15' high	Good		Preserve
2531	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8.8, 4.4, 3	Poor, dead limb, insect damage	With thorns	Preserve
2532	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8.8	Fair, dead wood	With thorns	Preserve
2533	<i>Picea pungens</i>	Colorado Blue Spruce	20' high	Good		Preserve
2534	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8.10, 6.5	Poor, cavity, low dead wood	With thorns	Remove
2535	<i>Pyrus calleryana</i>	Pear	7	Good		Preserve
2536	<i>Melus sp.</i>	Crabapple	6	Fair, shrub-like growth, dead wood		Remove
2537	<i>Melus sp.</i>	Crabapple	6	Good		Remove
2538	<i>Picea pungens</i>	Colorado Blue Spruce	20' high	Good		Remove
2539	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, slight lean	With thorns	Preserve
2540	<i>Melus sp.</i>	Crabapple	5.4	Good		Preserve
2541	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	10.10, 5.5, 5.4	Poor, cavity, dead limbs	With thorns	Remove
2542	<i>Pyrus calleryana</i>	Pear	5	Fair, trunk scar		Preserve
2543	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, dead wood, overgrown	With thorns	Remove
2544	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6.4	Fair, dead wood	With thorns	Remove
2545	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	10	Poor, strong lean, overgrown, dead wood	With thorns	Remove
2546	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8.7, 8	Poor, dead leader, cavity, dead wood	With thorns	Remove
2547	<i>Pyrus calleryana</i>	Pear	7	Good		Preserve
2548	<i>Pyrus calleryana</i>	Pear	6	Fair, trunk damage		Preserve
2549	<i>Picea pungens</i>	Colorado Blue Spruce	15' high	Good		Preserve
2550	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, lean	With thorns	Remove
2551	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, lean	With thorns	Remove
2552	<i>Pyrus calleryana</i>	Pear	10	Good		Remove
2553	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, overgrown	With thorns	Remove
2554	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, overgrown	With thorns	Remove
2555	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, overgrown	With thorns	Remove
2556	<i>Picea pungens</i>	Colorado Blue Spruce	20' high	Fair, browning		Remove
2557	<i>Pyrus calleryana</i>	Pear	8	Good		Remove
2558	<i>Pyrus calleryana</i>	Pear	7	Good		Preserve
2559	<i>Pyrus calleryana</i>	Pear	10	Good		Preserve
2560	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2561	<i>Ulmus americana</i>	American Elm	6	Poor, crown damage		Remove
2562	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	10	Fair, overgrown, dead wood	With thorns	Remove
2563	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2564	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2565	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2566	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2567	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2568	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, broken limb, cavity	With thorns	Remove
2569	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	9	Poor, dead limbs, leaning, cavity	With thorns	Remove
2570	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, dead wood	With thorns	Remove
2571	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	9	Fair, fused leaders, dead wood	With thorns	Remove
2572	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	5.4	Fair, dead wood	With thorns	Remove
2573	<i>Pyrus calleryana</i>	Pear	10	Good		Preserve
2574	<i>Picea pungens</i>	Colorado Blue Spruce	15' high	Fair, browning		Preserve
2575	<i>Abies concolor</i>	White Fir	15' high	Fair, browning		Preserve
2576	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	11.7, 8.5, 8	Poor, leaning, dead leader, dead wood	With thorns	Remove
2577	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, dead wood	With thorns	Remove
2578	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, dead wood	With thorns	Remove
2579	<i>Pyrus calleryana</i>	Pear	10	Good		Preserve
2580	<i>Abies concolor</i>	White Fir	20' high	Fair, browning		Preserve
2581	<i>Pyrus calleryana</i>	Pear	11	Good		Preserve
2582	<i>Picea pungens</i>	Colorado Blue Spruce	20' high	Good		Preserve
2583	<i>Pyrus calleryana</i>	Pear	10	Good		Preserve
2584	<i>Pyrus calleryana</i>	Pear	11	Good		Preserve
2585	<i>Melus sp.</i>	Crabapple	6	Fair, dead wood		Preserve
2586	<i>Abies concolor</i>	White Fir	20' high	Good		Preserve
2587	<i>Pyrus calleryana</i>	Pear	7	Good		Preserve
2588	<i>Melus sp.</i>	Crabapple	3	Poor, shrub-like, dead wood		Preserve
2589	<i>Melus sp.</i>	Crabapple	3.4	Poor, shrub-like, dead wood		Preserve
2590	<i>Pyrus calleryana</i>	Pear	9	Good		Preserve
2591	<i>Ulmus americana</i>	American Elm	7	Good		Preserve
2592	<i>Ulmus americana</i>	American Elm	8.9	Good		Preserve
2593	<i>Populus deltoides</i>	Eastern Cottonwood	9	Good		Preserve
2594	<i>Ulmus americana</i>	American Elm	10	Fair, dead wood		Preserve
2595	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, overgrown, dead wood	With thorns	Remove
2596	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Fair, overgrown, dead wood	With thorns	Remove
2597	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	7	Fair, overgrown, dead wood	With thorns	Remove
2598	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Good	With thorns	Remove
2599	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	6	Poor, excessive dead wood	With thorns	Remove
2600	<i>Ulmus americana</i>	American Elm	6	Good		Remove
2601	<i>Crataegus crus-galli</i>	Cockspur Hawthorn	8	Fair, dead wood	With thorns	Remove
2602	<i>Ulmus americana</i>	American Elm	7	Fair, dead wood		Remove
2603	<i>Ulmus americana</i>	American Elm	7	Fair, dead wood		Remove
2604	<i>Ulmus americana</i>	American Elm	8	Good		Preserve
2605	<i>Populus deltoides</i>	Eastern Cottonwood	8	Fair, dead wood		Preserve
2606	<i>Populus deltoides</i>	Eastern Cottonwood	9	Good		Preserve
2607	<i>Populus deltoides</i>	Eastern Cottonwood	8	Good		Preserve
2608	<i>Populus deltoides</i>	Eastern Cottonwood	9	Good		Preserve
2609	<i>Populus deltoides</i>	Eastern Cottonwood	10	Fair, dead wood		Preserve
2610	<i>Populus deltoides</i>	Eastern Cottonwood	10	Good		Remove
2611	<i>Populus deltoides</i>	Eastern Cottonwood	9	Fair, slight lean		Remove
2612	<i>Populus deltoides</i>	Eastern Cottonwood	18	Fair, dead wood		Remove
2613	<i>Populus deltoides</i>	Eastern Cottonwood	10	Fair, dead wood		Remove
2614	<i>Populus deltoides</i>	Eastern Cottonwood	9	Fair, dead wood		Remove
2615	<i>Ulmus americana</i>	American Elm	10	Fair, dead wood		Remove
2616	<i>Populus deltoides</i>	Eastern Cottonwood	28	Fair, dead wood		Remove
2617	<i>Ulmus americana</i>	American Elm	11	Fair, dead wood		Remove
2618	<i>Populus deltoides</i>	Eastern Cottonwood	10	Fair, dead wood		Remove
2619	<i>Populus deltoides</i>	Eastern Cottonwood	14, 10	Fair, dead wood	No tag	Remove
2620	<i>Populus deltoides</i>	Eastern Cottonwood	10	Fair, dead wood	No tag	Remove
2621	<i>Populus deltoides</i>	Eastern Cottonwood	12	Fair, dead wood	No tag	Remove
2622	<i>Salix nigra</i>	Black Willow	16	Poor, strong lean, dead wood	No tag	Remove
2623	<i>Populus deltoides</i>	Eastern Cottonwood	10	Fair, dead wood	No tag	Remove

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



GARY R. WEBER
ASSOCIATES, INC.
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LANDSCAPE ARCHITECTURE
402 WEST LIBERTY DRIVE
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197

CIVIL ENGINEER
ADVANTAGE CONSULTING
ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439

MARRIOTT / NEW HORIZON HOTELS

TINLEY PARK, ILLINOIS

TREE INVENTORY / PRESERVATION PLAN

4	2.27.2020
3	1.23.2020
2	12.12.2019
1	11.01.2019

DATE	8.01.2019
PROJECT NO.	AC1830
DRAWN	GFB/TRC
CHECKED	JCT
SHEET NO.	

2 OF 3



LANDSCAPE WORK PART 1 – GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual, native, and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. Permits which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.

B. Quality Control Procedures:

1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material. Landscape Architect shall secure approval from the City of Batavia for substitutions by submitting an excerpt of the appropriate plan sheet or replacement plan sheet proposing the substitution to the City of Batavia for review.
3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.

B. Maintenance Instruction – Landscape Work

Submit two (2) copies of type/printed instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.

- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.

- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.

- B. Utilities: Review underground utility location maps and plans; notify local utility location services demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.

- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.

- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

C. Native Planting Area Performance Criteria

1st Full Growing Season: 90% of cover crop shall be established. There shall be no bare areas greater than two (2) square feet in seeded areas. At least 25% of vegetation coverage shall be native, non-invasive species. At least 50% of the emergent species, if planted as plugs shall be alive and apparent.

2nd Full Growing Season: All areas with the exception of emergent zones shall exhibit full vegetative cover. At least 50% of the vegetation coverage shall be native, non-invasive species.

3rd Full Growing Season: At least 75% of vegetation coverage shall be native, non-invasive species. Non-native species shall constitute no more than 25% relative areal coverage of the planted area. Non-native/ Invasive species for this project shall include but are not limited to the following: *Amaranthus* (Common 4 Giant Ragweed), *Cirsium arvense* (Canada Thistle), *Dipsacus laciniatus* (Cut-leaved Teasel), *Dipsacus sylvestris* (Common Teasel), *Lythrum salicaria* (Purple Loosestrife), *Melilotus* sp. (Sweet Clover), *Phalaris arundinacea* (Reed Canary Grass), *Phragmites australis* (Giant Reed), *Polygonum cuspidatum* (Fallopia japonica) (Japanese Knotweed), *Rhynchos cathartica* 4 *frangula* (Common 4 Glossy Buckthorn), *Typa* sp. (Broadleaf, Narrowleaf, and Hybrid Cattail).

At least 90% of all woody vegetation planted within the boundaries of naturalized basins shall be alive and in healthy condition at the end of each growing season.

LANDSCAPE WORK PART 2 – PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant), and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 LAWN SEED MIXTURE

Gross Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture – 5 lbs./1,000 sq. ft.
50% Kentucky Bluegrass 98/85
15% Cutter Perennial Ryegrass
10% Spartan Hard Fescue
10% Edge Perennial Ryegrass
10% Express Perennial Ryegrass
5% Pennlawn Creeping Red Fescue

- B. Temporary Lawn Seed Mixture – 5 lbs./1,000 sq.ft.
40% Kentucky Bluegrass 98/85
40% Perennial Ryegrass
20% Annual Ryegrass

2.3 NATIVE PLANTING MIXTURES

Provide fresh, clean, new crop of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable supplier (approved by Landscape Architect) that has collected from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Any material sourced from outside this ecoregion must be approved by the Landscape Architect prior to installation.

It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.

A. Temporary Cover Crop:

Cover crops shall be installed in all planting areas containing dry mesic, mesic, and wet mesic soils to, stabilize soils, and combat weed pressure during the germination and establishment of the native seeding area.

For spring plantings use Seed Oats at the specified rate below:

Botanical Name	Common Name	lbs./AC
<i>Avena sativa</i>	Seed Oats	30.0 lbs.

For fall or dormant plantings, use Regreen at the specified rates below:

Botanical Name	Common Name	lbs./AC
<i>Triticum aestivum</i>	Regreen	10.0 lbs.

B. Emergent Plantings – Stormwater Basin Bottoms in areas with 6" water depth

Botanical Name	Common Name	lbs./AC	Plugs/AC
<i>Acorus calamus</i>	Sweet Flag	0.500	494
<i>Alisma subcordatum</i>	Water Plantain	1.250	
<i>Eleocharis obtusa</i>	Blunt Spike Rush	0.375	
<i>Eleocharis palustris</i>	Marsh Spike Rush	0.375	
<i>Glyceria grandis</i>	Reed Manna Grass	0.375	
<i>Hibiscus laevis</i>	Rose Mallow	0.250	
<i>Iris virginica shrevei</i>	Blue Flag	0.500	494
<i>Juncus effusus</i>	Common Rush	0.500	
<i>Leersia Oryzoides</i>	Rice Cut Grass	1.250	494
<i>Pontederia Cordata</i>	Pickersweed	0.250	494
<i>Sagittaria latifolia</i>	Common Arrowhead	1.250	494
<i>Scirpus acutus</i>	Hardstem Bulrush	0.250	988
<i>Scirpus pungens</i>	Chairmakers Rush	0.250	
<i>Scirpus validus</i>	Great Bulrush	0.250	988
<i>Spartanium eurycarpum</i>	Bur Reed	1.000	988
Total:		8.625	5434

Note: If emergent zone is permanently flooded seeding will be impossible and live plugs shall be installed at the specified rate. Plugs are specified at a standard 38 cell flat and shall measure 2.25" x 5" with a volume of 11.30 inches. Substitution of plug size must be approved by the Landscape Architect prior to installation.

C. Wet Meadow Seed Mixture – Lower slopes of basin

Botanical Name	Common Name	lbs./AC
Grasses and Sedges		
<i>Carex bebbii</i>	Bebbs Oval Sedge	0.250
<i>Carex bicknellii</i>	Bicknells Sedge	0.125
<i>Carex brevior</i>	Plains Oval Sedge	0.125
<i>Carex cristatella</i>	Crested Oval Sedge	0.260
<i>Carex molesta</i>	Field Oval Sedge	0.250
<i>Carex normalis</i>	Spreading Oval Sedge	0.015
<i>Carex scoparia</i>	Pointed Broom Sedge	0.190
<i>Carex stipata</i>	Common Fox Sedge	0.060
<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.250
<i>Elymus virginicus</i>	Virginia Wild Rye	3.000
<i>Glyceria striata</i>	Faul manna grass	0.130
<i>Juncus dudleyi</i>	Dudleys Rush	0.020
<i>Juncus torreyi</i>	Torreys Rush	0.020
<i>Panicum virgatum</i>	Switch Grass	3.000
<i>Scirpus atrovirens</i>	Dark Green Rush	0.060
<i>Scirpus cyperinus</i>	Wool Grass	0.030
Total Grasses and Sedges:		7.721

Wildflowers/Broadleaves

<i>Asclepias incarnata</i>	Swamp Milkweed	0.125
<i>Bidens cernua</i>	Nodding Bur Marigold	0.190
<i>Boltonia asteroides</i>	False Aster	0.031
<i>Chamaecrista fasciculata</i>	Partridge pea	0.188
<i>Euthamia graminifolia</i>	Grassleaved Goldenrod	0.300
<i>Eupatorium perfoliatum</i>	Common Boneset	0.015
<i>Helenium autumnale</i>	Sheszeweed	0.063
<i>Iris virginica shrevei</i>	Blue Flag	1.000
<i>Loebelia siphilitica</i>	Great Blue Lobelia	0.031
<i>Mimulus ringens</i>	Monkey Flower	0.031
<i>Symphyotrichum novae-angliae</i>	New England Aster	0.250
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.063
<i>Rudebeckia fulgida var.sulviantii</i>	Showy Black-Eyed Susan	0.250
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Wildflowers/Broadleaves:		3.337
Total Wet Meadow Seed Mixture:		10.758

D. Low Profile Prairie With Flowers Seed Mixture – Upper Basin Slopes

Botanical Name	Common Name	lbs./AC
Grasses		
<i>Bouteloua curtipendula</i>	Side Oats Grama	8.000
<i>Panicum virgatum</i>	Prairie Switch Grass	0.125
<i>Elymus trachycaulis</i>	Slender Wheatgrass	2.000
<i>Elymus canadensis</i>	Prairie Wild Rye	1.000
<i>Scirpachyrium scoparium</i>	Little Blue Stem	6.000
Total Grasses:		17.125

Wildflowers/Broadleaves

<i>Allium cernuum</i>	Nodding Wild Onion	0.190
<i>Amarpha canescens</i>	Lead Plant	0.125
<i>Asclepias tuberosa</i>	Butterflyweed	0.500
<i>Asclepias canadensis</i>	Whorled Milkweed	0.063
<i>Astragalus canadensis</i>	Canada Milk Vetch	0.063
<i>Coreopsis palmata</i>	Prairie Coreopsis	0.025
<i>Echinacea pallida</i>	Pale Purple Coneflower	1.000
<i>Echinacea purpurea</i>	Purple Coneflower	0.500
<i>Eryngium yuccifolium</i>	Rattlesnake Master	0.125
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	0.125
<i>Liatris aspera</i>	Rough Blazing Star	0.250
<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.188
<i>Monarda fistulosa</i>	Prairie Bergamot	0.063
<i>Parthenium integrifolium</i>	Wild Quinine	0.016
<i>Penstemon digitalis</i>	Foxglove Beardtongue	0.125
<i>Petalostemum candidum</i>	White Prairie Clover	0.125
<i>Petalostemum purpureum</i>	Purple Prairie Clover	0.156
<i>Pentstemon arguta</i>	Prairie Cinquefoil	0.031
<i>Pycnanthemum tenuifolium</i>	Slender Mt. Mint	0.031
<i>Ratibida pinnata</i>	Yellow Coneflower	0.125
<i>Rudebeckia fulgida var.sulviantii</i>	Showy Black-Eyed Susan	0.500
<i>Rudebeckia hirta</i>	Black-Eyed Susan	0.500
<i>Rudebeckia subtomentosa</i>	Sweet Black-Eyed Susan	0.063
<i>Symphyotrichum laevis</i>	Smooth Blue Aster	0.063
<i>Tradescantia ohioensis</i>	Spiderwort	0.063
<i>Verbena stricta</i>	Hoary Vervain	0.125
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Wildflowers/Broadleaves:		5.640
Total Lo Pro Prairie Seed Mixture:		22.765

2.4 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.5 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species provided. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and coniferous shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to application requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.6 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in I.3.C.

2.7 EROSION CONTROL

- A. Erosion Control Blanket: North American Green S150, or equivalent approved equal.
- B. Shoreline Erosion Control Blanket: North American Green SC150, or approved equal. To be installed per manufacturer's recommendations.

2.8 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 – EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

A. Sodding New Lawns

1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
4. Lay sod within 24 hours from time of stripping.
5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work silted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
6. Water sod thoroughly with a fine spray immediately after planting.

B. Seeding New Lawns

1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.
5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Sow not less than specified rate.
7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

C. Seeding Native Areas

1. The period for planting prairie seed shall be from April 1 to June 15 or September 15 to just before the first frost. Seeding outside of these timeframes must be approved by the landscape architect.
2. The General Contractor and Native Landscape Contractor shall be responsible for performing all work necessary to achieve and maintain an acceptable seeded prior to seeding. All areas must be properly prepared before seeding begins. Equipment having low unit pressure ground contact shall be utilized within the planting areas.
3. If present, compacted soils shall be disked or raked prior to seeding. Remedial measures for the access area may, at the direction of the Wetland Consultant, involve ripping from 12 to 18 inches of the soil horizon prior to diskings.
4. Prior to seeding, planting areas shall have at least twelve inches of clean un-compacted topsoil. Clumps, clods, stones over 2" diameter, roots and other extraneous matter shall be removed and disposed of legally off-site.
5. Granular mycorrhizal inoculant shall be installed with the seed mix at a rate of 40lbs./acre. Inoculant can be loaded under seed, worked into seed or added into spray tanks. Native areas shall not receive fertilizer.
6. Contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices, including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.
7. Except where site conditions preclude their use, seeding shall be performed using a Truax drill, Truax Trillion seeder, or comparable equipment designed specifically for installation of native seed. For areas where site conditions preclude the use of specialized equipment, seed may be installed through hand broadcasting and followed by light raking. Hand broadcast seed shall be spread at twice the specified rate. Other methods of seed installation may be used with prior approval from the Landscape Architect.
8. Prior to starting work, all seeding equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate. In general, the optimum seeding depth is 0.25 inch below the soil surface. Areas where the seed has not been incorporated into the soil to the proper depths will not be accepted, and no compensation for materials or labor for the rejected work will be made by the Owner.
9. Seeding and soil tracking/firming shall not be done during periods of rain, severe drought, high winds, excessive moisture, frozen ground, or other conditions that preclude satisfactory results.
10. Wet mesic and emergent areas shall be planted, and seed allowed to germinate (if possible), prior to flooding with significant amounts of water. Any areas of significant permanent water located within the planting area will receive live plugs in lieu of seed.
11. After the seeding operation is completed, install erosion control blanket per manufacturer's specifications.
12. Emergent plugs shall be planted in natural groupings within designed areas containing saturated soils or shallow inundation. Plants within groupings shall be planted at 2 foot centers.
13. Emergent plugs shall not be planted less than the specified rate and shall be protected with goose enclosures surrounding all natural groupings of plugs.

E. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

F. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.

- C. Native Planting areas are to be mowed only once per spring during the initial three-year establishment period.

3.4 NATIVE LANDSCAPED AREAS CONTINUED MONITORING & MAINTENANCE

A. Monitoring

The Owner's Environmental Specialist shall inspect the plantings and provide a copy of the planting locations, species, and quantities for verification.

The Owner's Environmental Specialist shall inspect the plantings at least twice per year during the three-year term of the establishment, to determine compliance with the minimum annual performance criteria (See 1.5C Guarantees). A monitoring report will be provided to the Army Corps of Engineers (ACE) by January 31st following each inspection.

B. Maintenance:

First Season

With the exception of the emergent area, native seeding areas should be mowed to a height of 6" to control annual nonnative and invasive species early in the growing season. Mowing, including weed whipping, should be conducted during prior to weed seed production. Mowing height and timing may need to be adjusted per target species. Small quantities of undesirable plant species, shall be controlled by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all above-ground and below-ground stems, roots and flower masses prior to development of seeds. Herbicide should be applied as necessary by a trained and licensed operator that is consistent in the identification of native and nonnative herbaceous plants. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Second Season

Control of undesirable plant species during the second growing season shall consist primarily of precise herbicide application. Mowing and weed whipping shall be conducted as needed during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Third Season

Seasonal mowing and herbicide will continue as above but should be reduced over time. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

C. Long Term Wetland and Prairie Management/Maintenance

A final compliance report and Long-Term Operation and Maintenance Plan shall be submitted by the Developer/Owner's Environmental Specialist no less than 60 days prior to the expiration of any landscape Cash Bond or Letter of Credit posted for the native areas. Final acceptance and release shall be determined by the County or Municipality upon inspection of the site to verify compliance.

The Long -Term Operation and Maintenance Plan shall be written to include guidelines and schedules for mowing, application of herbicide, debris/litter removal and inspection schedule for storm structures and sediment removal.

3.5 CLEAN UP AND PROTECTION

- A. During landscape work, stone materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

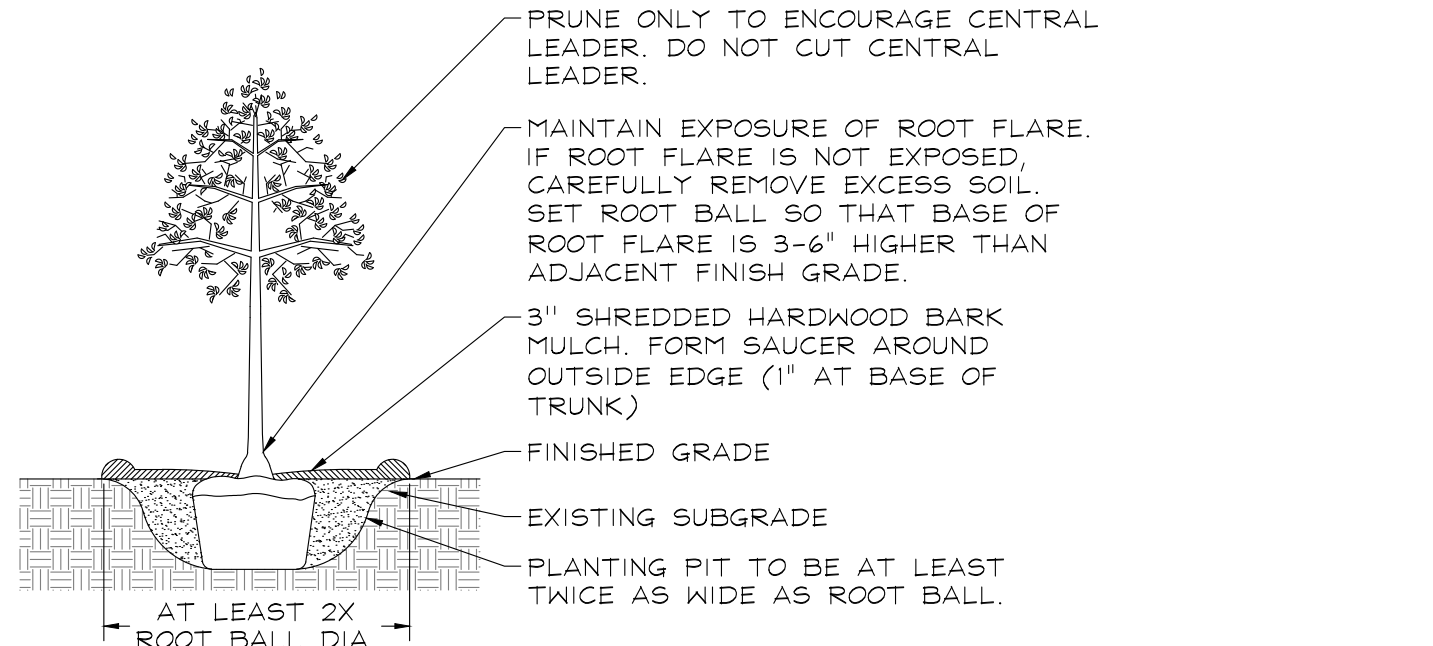
3.6 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within Five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.

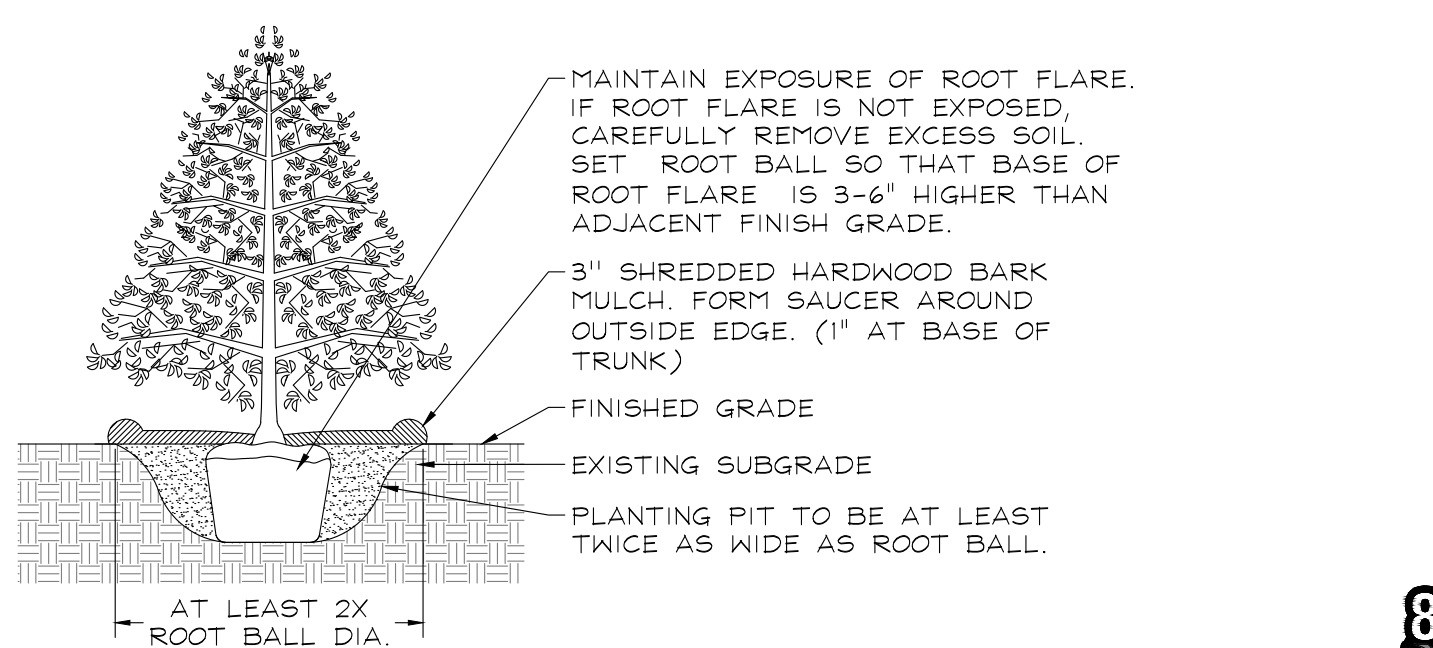
PLANTING DETAILS



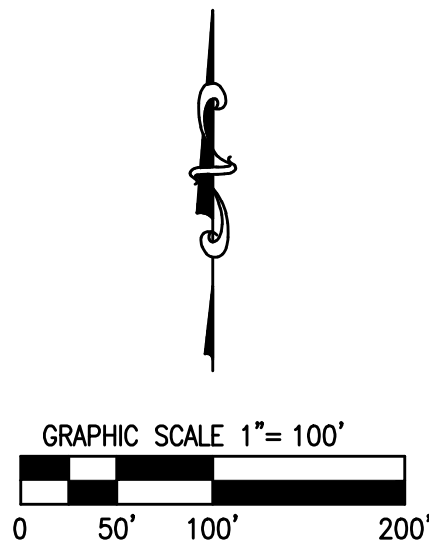
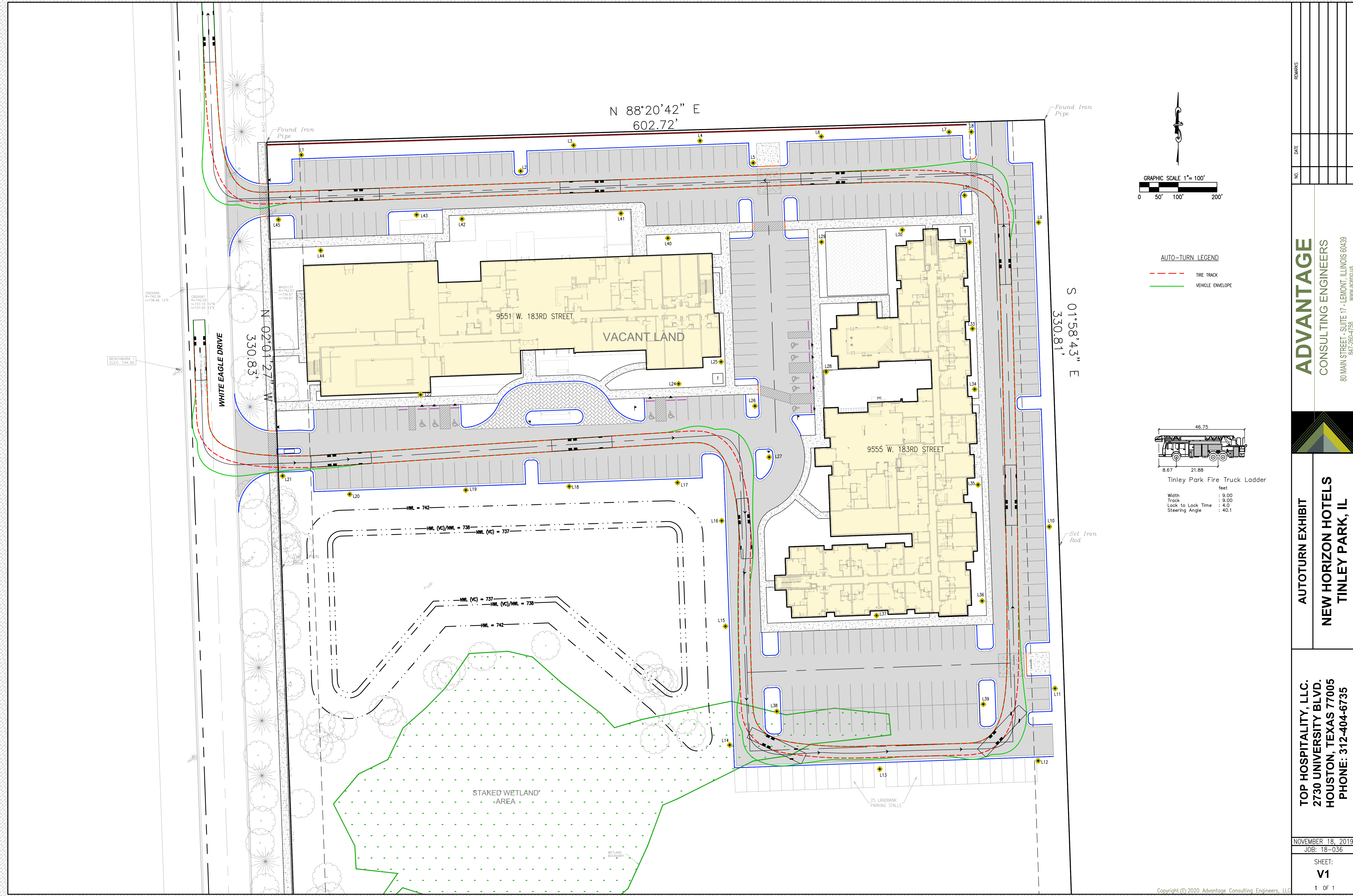
PERENNIALS AND GROUNDCOVERS
NOT TO SCALE



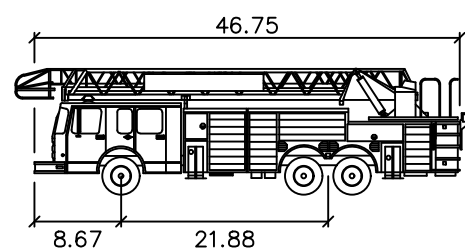
DECIDUOUS TREES
NOT TO SCALE



EVERGREEN



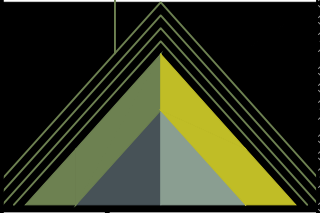
AUTO-TURN LEGEND
TIRE TRACK
VEHICLE ENVELOPE



Tinley Park Fire Truck Ladder
feet
Width : 9.00
Track : 9.00
Lock to Lock Time : 4.0
Steering Angle : 40.1

NO.	DATE	REMARKS

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-1758
WWW.ACEENGINEERS.COM

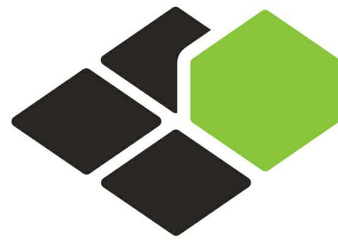


AUTOTURN EXHIBIT
NEW HORIZON HOTELS
TINLEY PARK, IL

TOP HOSPITALITY, LLC.
2730 UNIVERSITY BLVD.
HOUSTON, TEXAS 77005
PHONE: 312-404-6735

NOVEMBER 18, 2019
JOB: 18-036

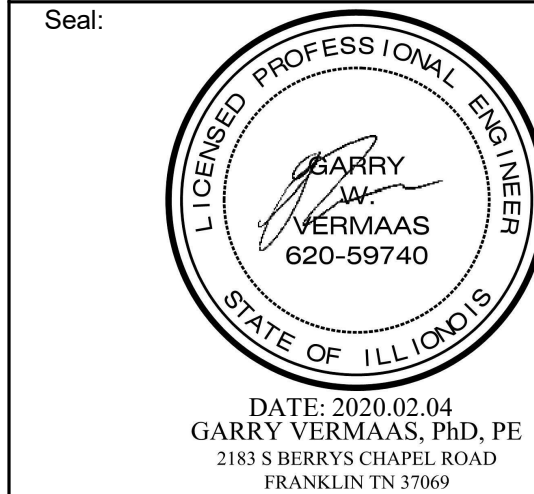
SHEET:
V1
1 OF 1



BASE4

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2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com
RICARDO J. MUNIZ-GUILLET, AIA
5453 NW 106TH DR
CORAL SPRINGS, FL 33076

MEP ENGINEER
GARRY VERMAAS PhD, PE
2183 S BERRYS CHAPEL ROAD
FRANKLIN, TN 37069



Owner:
TOP Hospitality
143 WHEELING ROAD
WHEELING, ILLINOIS 60090
312.404.6735

Residence INN
BY MARRIOTT

9555 83RD STREET,
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISION DATE: 2019.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	L0	2020.02.04	ISSUED FOR PERMIT

CURRENT ISSUE

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2020.02.04

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PROJECT NO.
B4-157-1901

SHEET NAME

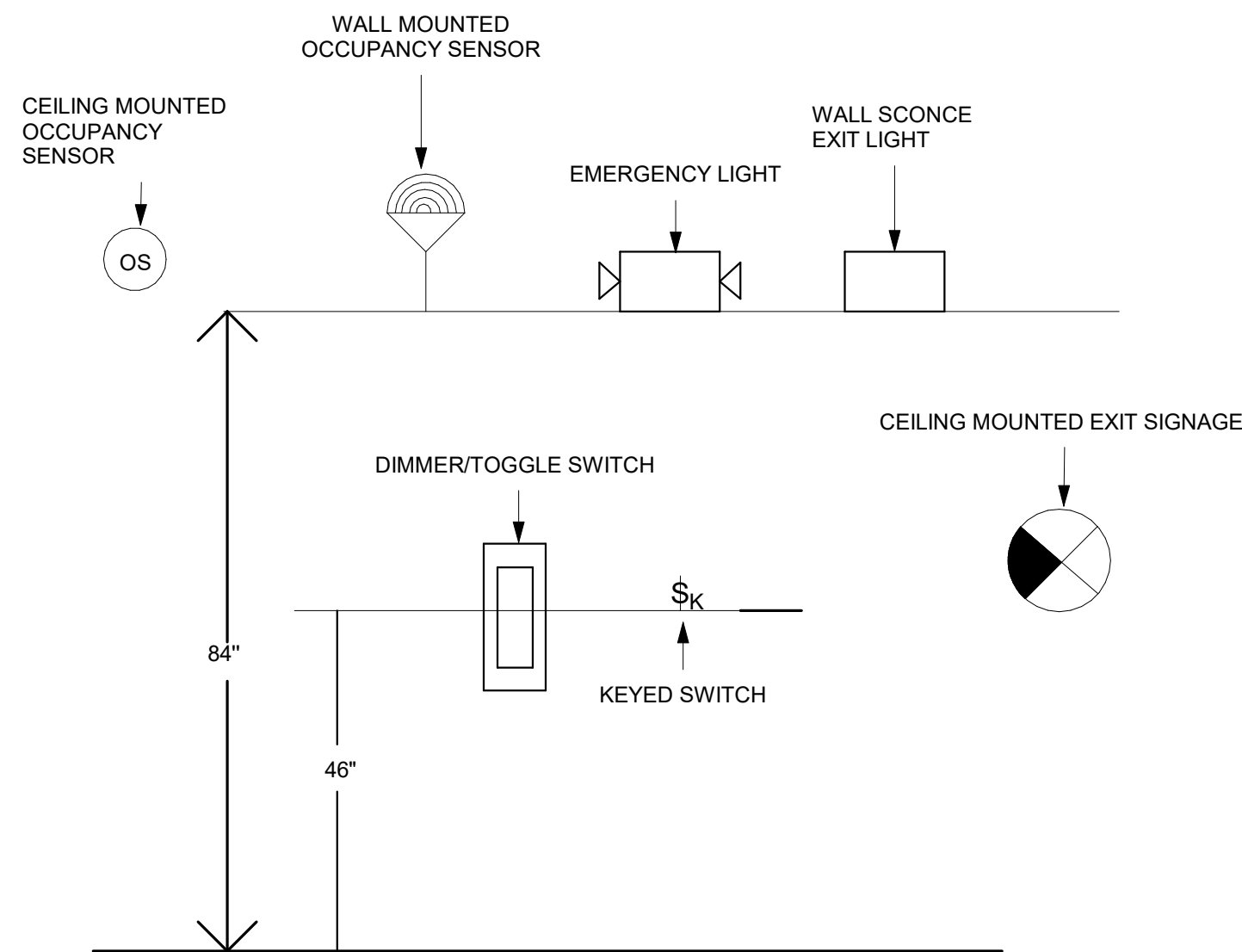
GENERAL NOTES,
LEGENDS AND
ABBREVIATIONS

DRAWINGS NO.

LT-001

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FOLLOWING CODES/STANDARDS:NATIONAL FIRE PROTECTION ASSOCIATION, INTERNATIONAL ENERGY CONSERVATION CODE, NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE ORDINANCES, REGULATIONS AND THE AUTHORITY HAVING JURISDICTION.
- ALL ELECTRICAL WORK PROVIDED FOR THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CRITERIA:
 - TRADE SIZE CONDUIT SMALLER THAN 1/2" INCH SHALL NOT BE USED.
 - CONDUIT ABOVE GRADE AND NOT EXPOSED TO WEATHER SHALL BE PVC, EMT & MC.
 - CONDUIT BELOW GRADE AND PENETRATIONS AT GRADE SHALL BE SCHEDULE 40 PVC EXCEPT TURNS.
 - CONDUIT ABOVE GRADE AND EXPOSED TO WEATHER SHALL BE SCHEDULE 80 PVC.
 - WIRE SIZE SMALLER THAN #12 AWG, BRANCH CIRCUIT WIRING PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE COPPER; FEEDER & SERVICE WIRING SHALL BE ALUMINUM.
 - CONDUCTORS AMPACITY OF NONMETALLIC SHEATHED CABLE IS LIMITED TO THE 60 DEGREE CONTRACTOR SHALL REFER NEC TABLE 310.15(B)(16). ALL OTHER CONDUCTORS SHALL HAVE A MINIMUM TEMPERATURE RATING OF 75 DEGREES C. (TYPE THWN OR TYPE THHN), 98% COPPER OR ALUMINUM.
 - WHERE POSSIBLE, EXCEPT AS SHOWN OTHERWISE ON THE DRAWINGS,ALL CONDUIT SHALL BE RUN CONCEALED BELOW GRADE,WITHIN WALLS OR ABOVE CEILING.
 - CONDUCTORS #12 AWG AND SMALLER SHALL BE SOLID. CONDUCTOR 10# AWG AND LARGER SHALL BE STRANDED. CONDUCTOR #12 AWG MAY BE SOLID OR STRANDED, EXCEPT THAT ONLY #12 AWG SOLID OR ONLY #12 AWG STRANDED SHALL BE USED.
 - MOUNTING HEIGHT OF WALL MOUNTED CONTROLS AND RECEPTACLES SHALL FOLLOW THE GIVEN DIAGRAM BELOW. UNLESS COMPARABLE CONTROLS OR OUTLETS (THAT PERFORM THE SAME FUNCTIONS) ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE.



- CONTRACTOR SHALL:
 - OBTAIN AND PAY ALL INSURANCE, FEES, PERMITS, ASSOCIATION DUES, ROYALTIES, AND TAXES OF WHATEVER NATURE WHICH SHALL APPLY TO THE WORK.
 - PAY ALL INSPECTION FEES AS REQUIRED BY LAW OR ORDINANCE.
 - HOLD THE OWNER HARMLESS FROM ANY DAMAGE AND EXPENSE ARISING FROM ANY VIOLATION OF THE LAWS, RULES, OR ORDINANCES.
 - PROVIDE MATERIALS THAT ARE NEW AND FREE OF DEFECTS AND UL LISTED FOR THE INTENDED APPLICATION.
 - TAKE MEASUREMENTS AND MAKE LAYOUTS AS REQUIRED FOR PROPER INSTALLATION AND COMPLETION OF WORK IF THE ELECTRICAL DRAWINGS ARE NOT TO BE SCALED WHERE SPECIFIC DETAILS AND DIMENSIONS FOR ELECTRICAL WORK ARE NOT SHOWN IN DRAWINGS.
 - INSPECT SITE FOR FIELD VERIFICATION OF ALL ASPECTS OF THE PROJECT PRIOR TO BIDDING.
 - EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID.
 - BE REQUIRED TO FURNISH, INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL ELECTRICAL ITEMS SHOWN ON ANY OF THE ARCHITECTURAL, PLUMBING, AIR CONDITIONING, SPRINKLER DRAWINGS WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUITABILITY OF THE WORK OF OTHER TRADES OR OTHER CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE AT HIS EXPENSE, ALL LIGHTING WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS TO PERFORM ALL WORK NECESSARY FOR THE COMPLETE EXECUTION OF THE LIGHTING WORK AS SHOWN ON THE DRAWINGS.
- DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL OF THE MINOR ITEMS. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN THE EXACT LOCATIONS. THE CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK. CHECK DRAWINGS OF ALL TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AND MAINTAIN MAXIMUM HEAD ROOM, OR SPACES OR CONDITIONS AT ALL POINTS. WHERE HEAD ROOM OR SPACES OR CONDITIONS APPEAR INADEQUATE, ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE FIELD MODIFICATIONS IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF VARIOUS TRADES OR FOR PROPER EXECUTION OF WORK. WHERE DISCREPANCIES OCCUR, THE ARCHITECTURAL REFLECTED CEILING PLANS TAKE PRECEDENCE OVER THE ELECTRICAL LIGHTING FOR LOCATION AND ORIENTATION OF LIGHTING FIXTURES.
- ALL DISCREPANCIES OF DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING IN AMPLE TIME TO PERMIT REVISIONS PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID CONSTITUTES ACCEPTANCE OF FIELD CONDITIONS AND ELECTRICAL DRAWINGS.
- PROVIDE MEANS FURNISH AND INSTALL COMPLETE AND READY FOR USE.
- DRAWINGS DO NOT NECESSARILY INDICATE THE ACTUAL ROUTES OF CONDUIT. WHERE INDICATED, THEY SHALL BE FOLLOWED AS CLOSELY AS PROPER COORDINATION WITH THE WORK OF OTHER TRADES AND SPACES WILL PERMIT. WHERE CONDUIT RUNS ARE NOT SHOWN ON THE DRAWINGS, COORDINATE CONDUIT RUNS WITH THE WORK OF OTHER TRADES AND STRUCTURE. SIMPLY INSTALLATION WHERE POSSIBLE, BUT SUBJECT TO APPROVAL OF ARCHITECT FOR VISUAL AND STRUCTURAL REASONS. IT IS NOT WITHIN THE SCOPE OF THE DRAWINGS TO SHOW ALL NECESSARY OFFSETS, BENDS, PULL BOXES, AND OBSTRUCTIONS. THE DRAWINGS ARE NOT INTENDED TO BE SCALED AND REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.

- LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT PROVIDED UNDER THE ELECTRICAL CONTRACTORS SCOPE OF WORK SHALL BE PERFORMED IN A NEAT AND FIRST CLASS WORKMANSHIP LIKE MANNER BY THOSE EXPERIENCED AND QUALIFIED OF THE PROPER TRADE AND SHALL BE IN COMPLIANCE WITH THE SPECIFIC REQUIREMENTS OF THE CONTRACT DRAWINGS, AND ALL CODES, ORDINANCES OF STATUTES, ETC. APPLICABLE.
- ALL MOUNTING HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR UNLESS OTHERWISE NOTED.
- PROVIDE TEMPORARY LIGHTING, POWER, AND WIRING SYSTEMS FOR USE OF ALL TRADES, ADEQUATE FOR ENTIRE NEEDS OF THE PROJECT.
- PROVIDE LIGHT FIXTURES AS SELECTED BY ARCHITECT, OR AS SPECIFIED.
- PROVIDE ALL WIRING DEVICES.
- IDENTIFY CLEARLY ON A TYPE WRITTEN FORM ALL CIRCUITS AND EQUIPMENT TO CORRESPOND WITH THE PLANS AND PANEL SCHEDULE AND ATTACH INSIDE THE PERTAINING PANEL.
- ALL EQUIPMENTS AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER.
- AT COMPLETION OF JOB THE ELECTRICAL CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE DRAWINGS SHOWING THE EXACT ELECTRICAL INSTALLATION, WRITTEN MAINTENANCE INSTRUCTIONS AND SCHEDULE OF ROUTINE MAINTENANCE AS WELL AS ANY OTHER CLOSE OUT ITEMS REQUIRED BY THE CONTRACT DOCUMENTS.
- BEFORE BIDDING THE JOB THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ANY EXISTING CONDITIONS.
- ALL ELECTRICAL SWITCHES, CONTROLS, ETC. IN ALL AREAS ARE TO BE AT A.D.A. ACCESSIBILITY CODE COMPLAINT HEIGHT.
- CIRCUIT NUMBERS SHOWN ON THE DRAWINGS ARE FOR REFERENCE ONLY. BALANCE LOADS AMONG PHASES IN NEW PANEL BOARDS TO WITHIN 10% OF EACH OTHER.
- FEEDER CONDUCTORS SHALL BE SIZED BY ENGINEER.
- AT COMPLETION OF WORK, CONTRACTOR SHALL CLEAN UP AND REMOVE ALL DEBRIS AND MATERIALS NOT INSTALLED IN WORK, LEAVING PREMISES CLEAN.
- THE FRANCHISE BRAND STANDARD DESIGN DOCUMENT SHALL BE CONSIDER AS AN INTEGRAL PART OF CONSTRUCTION DOCUMENTS. ALL CONTRACTOR SHALL ENSURE THEY OBTAIN,READ AND FAMILIARIZE THEMSELVES WITH THE BRAND STANDARD DOCUMENT BEFORE BIDDING AND ALSO THROUGHOUT THE CONSTRUCTION STAGE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FRANCHISE BRAND STANDARDS, THE CONTRACTOR SHALL ISSUE AN RFI TO THE AOR AND EOR.
- ELECTRICAL CONTRACTOR TO COORDINATE WITH CONTROLS MANUFACTURER FOR EXACT INSTALLATION AND WIRING DETAILS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTROLS COMPATIBILITY WITH ALL COMPONENTS PURCHASED ON SITE. ANY SUBSTITUTIONS MADE NEED TO BE VERIFIED BY THE ELECTRICAL CONTRACTOR PRIOR TO PURCHASE TO BE COMPATIBLE WITH SYSTEM.
- THE WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DOCUMENTS FOR THE EXACT LOCATION OF LIGHT FIXTURES, EQUIPMENT, DEVICES, ETC. TO ASSURE PROPER PLACEMENT OF SAD DEVICES AND EQUIPMENT. SWITCHES SHALL BE PLACED ON LATCH SIDE OF ALL DOOR OPENINGS. WHERE A CONFLICT EXISTS BETWEEN ANY TWO DOCUMENTS, NOTIFY THE ARCHITECT PRIOR TO ANY INSTALLATION FOR RESOLUTION.
- REFER TO ARCHITECTURAL AND INTERIOR DESIGN REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES SHOWN.
- REFER TO PROJECT MASTER LIGHT FIXTURE MATRIX FOR FIXTURE DETAILS. ALL EMERGENCY LIGHTING FIXTURES SHOWN SHALL OPERATE AS UNSWITCHED NIGHT LIGHT FIXTURES, UNLESS NOTED OTHERWISE. WHERE REQUIRED BY LOCAL AUTHORITY, PROVIDE 24 HOUR POWER TO ALL EGRESS AND EXIT LIGHT FIXTURES.

LIGHTING NOTES

- REFER TO ENLARGE POWER PLAN SHEET FOR PANEL LOCATIONS.
- REFER TYPICAL GUESTROOM PLAN FOR DETAILED ROOM LAYOUT, REFER TO FULL FLOOR POWER AND LIGHTING PLANS FOR EXACT CIRCUITING INFORMATION.
- PROVIDE #12 - 1/2" C BETWEEN CORRESPONDING 3-WAY/4-WAY SWITCHES.
- COORDINATE EXACT LOCATION OF COVE LIGHTING WITH ARCHITECTURAL AND LIGHTING DESIGN DRAWINGS.
- COORDINATE EXACT LOCATION OF TABLE AND HEADBOARD LIGHTING WITH ARCHITECTURAL DRAWINGS.
- PROVIDE DIMMING CONTROLS FOR REGISTRATION DESK, LOBBY, SERVERY, BREAKFAST AND HOME2 MARKET.
- REFER TO ARCHITECTURAL AND LIGHTING DESIGN DRAWING REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES SHOWN.
- REFER TO PROJECT MASTER LIGHT FIXTURE SCHEDULE FOR LIGHT DETAILS.
- ALL EMERGENCY LIGHTING FIXTURES SHOWN SHALL OPERATE AS UNSWITCHED NIGHT LIGHT FIXTURES, UNLESS NOTED OTHERWISE, WHERE REQUIRED BY LOCAL AUTHORITY, PROVIDE 24 HOUR POWER TO ALL EGRESS AND EXIT LIGHT FIXTURES
- ROUTE LIGHTING HOMERUN SERVING EXTERIOR HOTEL SIGNS THROUGH EXTERIOR TIME CLOCK FOR CONTROL. COORDINATE EXACT REQUIREMENTS FOR EXTERIOR HOTEL SIGNS AND LOCATION OF JBOX WITH ARCHITECTURAL DRAWINGS.
- CIRCUIT SHALL SERVE ALL LIGHTING IN THIS GUESTROOM. NO NON-LIGHTING LOADS TO BE SERVED BY THIS CIRCUIT.
- THE LIGHTING SYSTEM SHALL BE COMPATIBLE WITH THE ACOUSTICAL, THERMAL, AND AESTHETIC REQUIREMENTS OF THE HOTEL BUILDING. IT MUST COMPLY WITH APPLICABLE CODES. ADEQUATE CONTROL AND FLEXIBILITY IN LIGHTING ARRANGEMENTS ARE VERY DESIRABLE.
- THE LIGHTING DESIGN, INCLUDING LAYOUT AND LIGHTING FIXTURES, IN PUBLIC SPACES SUCH AS THE GUEST KITCHEN AREA, LOBBY, GUEST ROOMS, CORRIDORS AND OTHER PUBLIC SPACES HAS BEEN PROVIDED AS PER DESIGN REQUIREMENT.
- ALL HARD-WIRED FIXTURES SHALL BE INSTALLED BY THE CONTRACTOR.
- ALL EXTERIOR LIGHTING INCLUDING BUILDING LIGHTING, SITE LIGHTING, LANDSCAPE LIGHTING, EXTERIOR BUILDING AND GROUND SIGNAGE TO BE CONTROLLED BY PHOTO CELL.

SITE LIGHTING NOTES

- FLOOD LIGHTS - ADJUST & AIM LIGHTS TO GRAZE TEXTURED WALL SURFACE.
- SITE LIGHTING POLES - INDICATE TO BE CENTERED ON PARKING STRIPES TO PROTECT FROM CAR OVERHANG DAMAGE.
- THE SITE PLANS ARE REPRESENTATIVE OF THE MINIMUM DESIGN CRITERIA. CENTER PARKING LOT LIGHTING POLES ON PARKING STRIPES TO PROTECT FROM CAR OVERHANG DAMAGE.
- SITE PLAN AND FOOTPRINT SQUARE FOOTAGE CALCULATIONS ARE SHOWN AND MEET THE CITY AND BRAND STANDARD REQUIREMENT.
- ROUTE LIGHTING HOMERUN THROUGH PHOTO/TIME CONTROL CENTER. PROVIDE PHOTO/TIME CONTROL CENTER FOR EXTERIOR LIGHTS/SIGNAGE.
- FOR SIGNAGE CONTRACTOR SHALL PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. BASE4 HAS PROVIDED JBOX WITH ADEQUATE DEDICATED SEP PANEL CIRCUITRY. CONTRACTOR SHALL PULL CONNECTION AND BROUGHT TO SIGNAGE LOCATION.
- LIGHT BOLLARDS LOCATE IN GROUND 8" FROM EDGE OF SIDEWALK (CENTER TO EDGE), PROVIDE CONCRETE FOUNDATION W/ J-BOX PER MANUF. REQUIREMENTS.
- SITE LIGHTING POLES TO BE LOCATED IN LANDSCAPED AREAS WHEREVER POSSIBLE. IF THE POLES ARE LOCATED IN LAND-SCAPED OR SODDED AREAS - AWAY FROM PARKING AREAS, THEY ARE TO HAVE 8"-12" HIGH CONCRETE BASES. POLE BASES SET IN LINE WITH PARKING STRIPING WHEN POLES ARE LOCATED CLOSE TO PARKING AREAS / SPACES / DRIVES - SPECIFY/INDICATE 30" HIGH CONCRETE BASES. USE PRECAST BASES IF AVAILABLE.

LEGENDS

SYMBOL	
LIGHTING	
	600mmX1200mm (2X4') LIGHTING FIXTURE
	600mmX600mm (2X2') LIGHTING FIXTURE
	300mmX1200mm (1X4') LIGHTING FIXTURE
	STRIP
	DOWN LIGHT
	WALL WASHER DOWNLIGHT
	WALL SCONCE
	CHANDILIER/PENDANT
WIRING DEVICES	
	CIRCUIT BREAKER
	120V OR 208V AC SINGLE POLE 20 AMP SWITCH (ROCKER TYPE) MOUNTED AT 46" AFF ON CENTER, UNO.
	120V OR 208V AC 3-WAY OR 4-WAY 20 AMP SWITCH (ROCKER TYPE) MOUNTED AT 46" AFF ON CENTER, UNO.
	120V OR 208V AC 20 AMP DIMMER SWITCH MOUNTED AT 46" AFF ON CENTER, UNO.
	120V OR 208V AC 20 AMP KEYED SWITCH MOUNTED AT 46" AFF ON CENTER, UNO.
	120V OR 208V WALL OCCUPANCY SENSOR MOUNTED AT 84" AFF ON CENTER, UNO.
	24V OCCUPANCY SENSOR CEILING MOUNTED, UNO.
	120V OR 208V AC 20 AMP TIMER SWITCH MOUNTED AT 46" AFF ON CENTER, UNO.
	GUEST ROOM DOORBELL DISCONNECT SWITCH MOUNTED @ 46" AFF
	ELECTRICAL DIMMER PANEL BOARD

GENERAL LIGHTING CONTROL

- COMMON AREA:
 - LIGHTING PANEL FOR HLA,HLR,HLB: CHECK WITH ELECTRICAL PLAN FOR PROPER PANEL LOCATIONS.
 - CONTROL CHECK:
 - SERVICE CORRIDORS: SWITCH FROM LOCAL PANEL WHENEVER PRACTICAL.
 - LOBBY: DIMMER CONTROL PROGRAMMING MUST ALLOW MINIMUM OF THREE SETTINGS.
 - RESTAURANTS/ MEETING ROOMS/ BOARDROOMS: DIMMER CONTROL WITH LOCAL BYPASS SWITCHING.
 - GENERAL INTERIOR LIGHTING: SWITCH LOCALLY.
 - STAIRWAY AND EXIT LIGHTS: SWITCH FROM PANEL.
 - OUTDOOR POOL SHALL HAVE KEYED REMOTE OR OCCUPANCY SENSOR LIGHT SWITCHES.
 - FITNESS ROOM SHALL HAVE KEYED REMOTE OR OCCUPANCY SENSORS LIGHT SWITCHES.
 - PUBLIC AREAS: CONTROL FROM BACK-OF-HOUSE AREAS
- EXTERIOR LIGHTING: CHECK THE EXTERIOR LIGHTINGS AT THE EVERY EGRESS DOORS.
- EXIT SIGNS: VERIFY 100 FEET MAXIMUM DISTANCE BETWEEN EXITS SIGNS IN CORRIDORS.
- STAIRWAYS: LIGHTS ARE NOT ALLOWED TO BE MANUALLY OPERATED AND MUST REMAIN ON WHEN THE SPACE IS OCCUPIED.
- GUESTROOM/BATHROOM: PROVIDE SEPARATE WALL SWITCH FOR EXHAUST FAN. AN OCCUPANCY/MOTION SENSOR CONTROLLED EXHAUST FAN IS NOT ALLOWED. ILLUMINATED ROCKER SWITCH-PROVIDE A WALL SWITCH IMMEDIATELY ADJACENT TO ENTRANCE OF BATHROOM.
- OFFICES: ALL OFFICE LIGHTING MUST BE CONTROL BY OCCUPANCY SENSOR.
- MECHANICAL ROOMS: LIGHT SWITCH FOR THE ROOM MUST BE IMMEDIATELY ADJACENT TO THE ENTRY DOOR.
- LIGHT REDUCTION CONTROLS: SPACES REQUIRED TO HAVE LIGHT-REDUCTION CONTROLS SHALL HAVE A MANUAL CONTROL THAT ALLOWS THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50 PERCENT. LIGHTING REDUCTION SHALL BE ACHIEVED BY ONE OF THE FOLLOWING OR ANOTHER APPROVED METHOD:
 - CONTROLLING ALL LAMPS OR LUMINAIRES.
 - DUAL SWITCHING OF ALTERNATE ROWS OF LUMINAIRES, ALTERNATE LUMINAIRES OR ALTERNATE LAMPS.
 - SWITCHING THE MIDDLE LAMP LUMINAIRES INDEPENDENTLY OF THE OUTER LAMPS.
 - SWITCHING EACH LUMINAIRE OR EACH LAMP.EXCEPTION: LIGHT REDUCTION CONTROLS ARE NOT REQUIRED IN DAYLIGHT ZONES WITH DAYLIGHT RESPONSIVE CONTROLS.

GUESTROOM:

- HEARING IMPAIRED/ ACCESSIBLE: PROVIDE A DOORBELL (HORN / STROBE) IN EACH ROOM (BATHROOM COMPARTMENT, LIVING ROOM AND BEDROOM), WITH AN ACCESSIBLE SHUT-OFF SWITCH LOCATED ADJACENT TO THE THERMOSTAT.
- HEARING IMPAIRED/ ACCESSIBLE: ENSURE DOORBELL DISCONNECT SWITCH IS PROVIDED AT HEARING IMPAIRED GUESTROOMS. MOUNTED AT 46" AFF. SWITCH TO ACTIVATE AUDIBLE/VISUAL UNIT MOUNTED AT 46" AFF IN HEARING IMPAIRED AND ACCESSIBLE
- GUESTROOMS: CONTRACTOR TO PROVIDE THE PIR OCCUPANCY SENSOR THAT USES HEAT AND MOTION FOR OCCUPANCY LIGHTING CONTROL AND AUTOMATICALLY SWITCH OFF ALL PERMANENTLY INSTALLED LUMINAIRES AND SWITCHED RECEPTACLES WITHIN 20 MINUTES AFTER ALL OCCUPANTS HAVE LEFT THE UNIT. CONTRACTOR SHALL PROVIDE ADDITIONAL BID LINE ITEM FOR INCOM OR SCHNEIDER STANDALONE GUESTROOM ENERGY MANAGEMENT SYSTEM OR APPROVED EQUAL. CONTACT TYLER HAAK AT 412-855-6107 FOR SCHNEIDER STANDALONE GUESTROOM ENERGY MANAGEMENT SYSTEM. THE OCCUPANCY SENSOR CONTROL SYSTEM CAN BE ELIMINATED IF CAPTIVE KEY SYSTEMS ARE USED.

DRAWING INDEX


LIGHTING			
SHEET NUMBER	SHEET NAME	CURRENT ISSUE DATE	CURRENT ISSUE DESCRIPTION
LT-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS	2020.02.04	ISSUED FOR PERMIT
LT-002A	LIGHTING FIXTURE SCHEDULE- PART 1	2020.02.04	ISSUED FOR PERMIT
LT-002B	LIGHTING FIXTURE SCHEDULE- PART 2	2020.02.04	ISSUED FOR PERMIT
LT-002C	LIGHTING FIXTURE SCHEDULE- PART 3	2020.02.04	ISSUED FOR PERMIT
LT-002D	LIGHTING FIXTURE SCHEDULE- PART 4	2020.02.04	ISSUED FOR PERMIT
LT-002E	LIGHTING FIXTURE SCHEDULE- PART 5	2020.02.04	ISSUED FOR PERMIT
LT-003	LIGHTING CONTROL SCHEDULE	2020.02.04	ISSUED FOR PERMIT
LT-101	LIGHTING DETAILS-1	2020.02.04	ISSUED FOR PERMIT
LT-102	LIGHTING DETAILS-2	2020.02.04	ISSUED FOR PERMIT
LT-200A	SITE LIGHTING PLAN	2020.02.04	ISSUED FOR PERMIT
LT-200B	SITE PHOTOMETRICS PLAN	2020.02.04	ISSUED FOR PERMIT
LT-200BB	SITE PHOTOMETRICS PLAN	2020.02.04	ISSUED FOR PERMIT
LT-201	1ST FLOOR LIGHTING PLAN	2020.02.04	ISSUED FOR PERMIT
LT-202	2ND FLOOR LIGHTING PLAN	2020.02.04	ISSUED FOR PERMIT
LT-203	3RD FLOOR LIGHTING PLAN	2020.02.04	ISSUED FOR PERMIT
LT-204	4TH FLOOR LIGHTING PLAN	2020.02.04	ISSUED FOR PERMIT
LT-205	BUILDING EXTERIOR ELEVATION PLAN-1	2020.02.04	ISSUED FOR PERMIT
LT-206	BUILDING EXTERIOR ELEVATION PLAN-2	2020.02.04	ISSUED FOR PERMIT
LT-207	TYPICAL UNIT LIGHTING PLAN-1	2020.02.04	ISSUED FOR PERMIT
LT-208	TYPICAL UNIT LIGHTING PLAN-2	2020.02.04	ISSUED FOR PERMIT
LT-209	DIMMER RISER DIAGRAM	2020.02.04	ISSUED FOR PERMIT

ABBREVIATIONS

A	ADA	AMP	N
AFF	AMERICAN DISABILITIES ACT	AMERICAN DISABILITIES ACT	NF
ATS	ABOVE FINISHED FLOOR	ABOVE FINISHED FLOOR	NFPA
CLG	AUTOMATIC TRANSFER SWITCH	AUTOMATIC TRANSFER SWITCH	NL
CLG	CIRCUIT	CIRCUIT	PH
EM	CEILING	CEILING	PNL
EM	EMERGENCY	EMERGENCY	PWR
JB	JUNCTION BOX	JUNCTION BOX	SW
LTG	LIGHTING	LIGHTING	UG
LTS	LIGHTS	LIGHTS	V
MCB	MAIN CIRCUIT BREAKER	MAIN CIRCUIT BREAKER	W
			WATTS



Seal:



DATE: 2020-02-04
GARRY VERMAAS, PHD., PE
2185 S BERRY'S CHAPEL ROAD
FRANKLIN TN 37069

Residence IN

PROTOTYPE VERSION: DESIGN
GUIDELINE DRAWINGS - GEN 9,
REVISED DATE: 2013-03-22

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	L0	2020.02.04	ISSUED FOR P

CURRENT ISSUE

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CURRENT ISSUE DATE
2020.02.04

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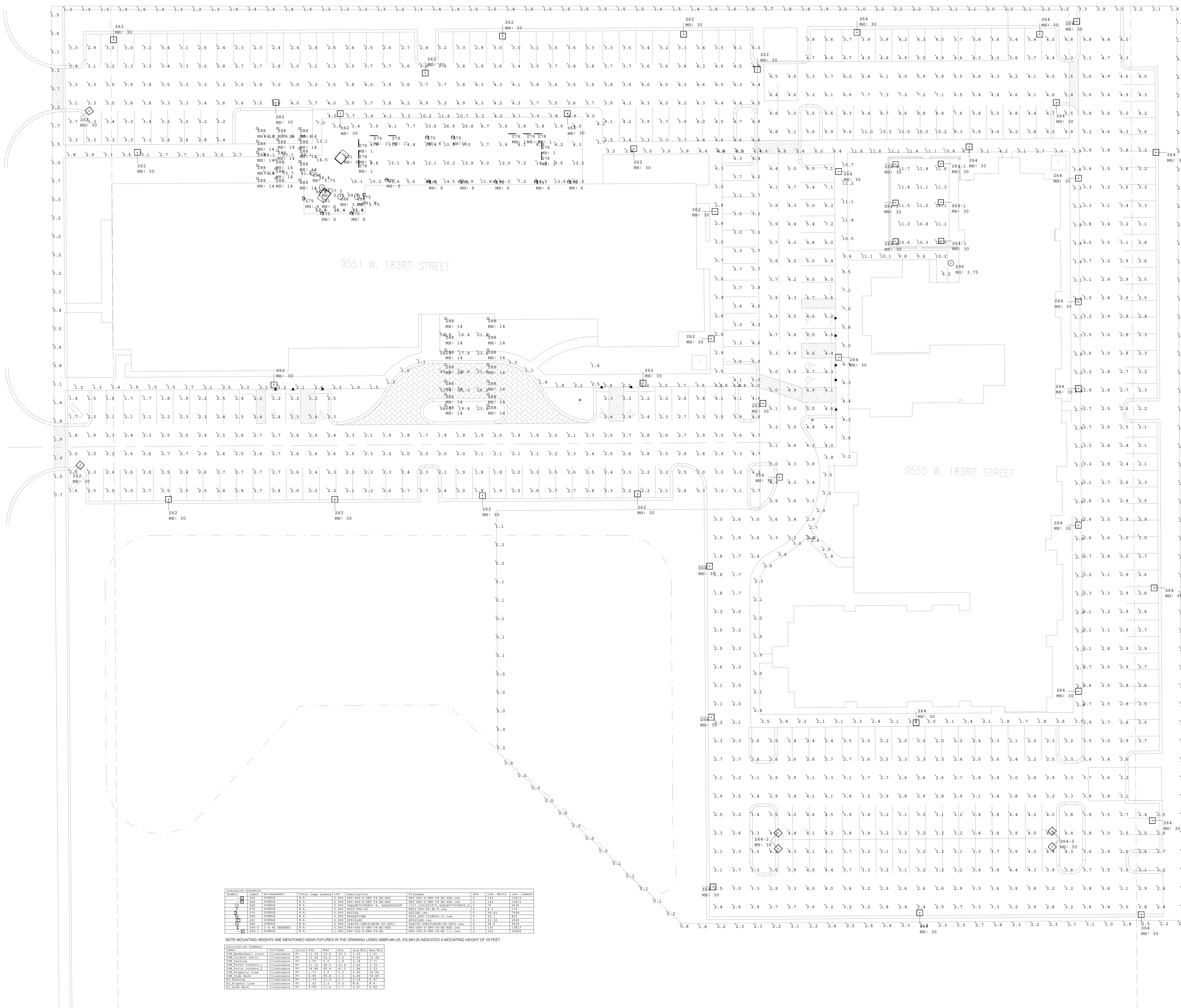
PROJECT NO. B4-157-1901

SHEET NAME

SITE PHOTOMETRICS PLAN

DRAWINGS NO.

LT-200B

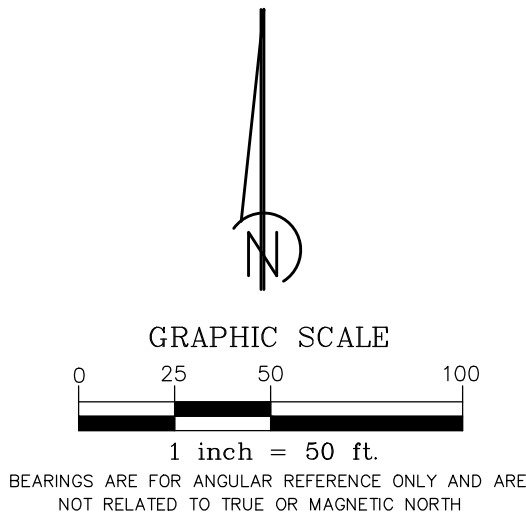
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NOTE: MOUNTING HEIGHTS ARE MENTIONED NEAR FIXTURES IN THE DRAWING USING AB8R, MH:25. EG. MH:25 INDICATES A MOUNTING HEIGHT OF 25 FEET

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CYR_Marketball court	1.00	PC	11.54	12.5	3.1	1.10	1.21
CYR_Outdoor Patio	1.00	PC	13.59	15.5	3.4	1.00	15.44
CYR_Walking	1.00	PC	10.00	11.0	2.8	2.18	3.93
CYR_Porte_couches_1	1.00	PC	32.19	38.3	15.6	2.00	3.74
CYR_Porte_couches_2	1.00	PC	78.88	95.3	4.1	1.88	2.33
CYR_Proprietary Line	1.00	PC	1.37	3.2	0.2	6.85	16.00
CYR_Side Walk	1.00	PC	4.85	59.8	1.0	4.85	59.80
RI_Property Line	1.00	PC	1.00	1.0	0.7	2.18	2.18
RI_Property Line	1.00	PC	1.00	3.3	0.0	N.A.	N.A.
RI_Side Walk	1.00	PC	4.54	11.6	1.7	2.67	6.82

LEGEND

- N North
S South
E East
W West
Degrees
Feet/Minutes
Inches/Seconds
--- Village Limits



LAND AREA:

398,599.13 SF± OR 9.15 ACRES±

PLAT OF ANNEXATION

TO THE VILLAGE OF TINLEY PARK

PIN: 27-34-300-002-0000

ADDRESS: 18300 96TH AVENUE, TINLEY PARK, ILLINOIS 60477

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND THIS PLAT PREPARED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, 2019.

OWNER _____

ADDRESS _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY

THAT _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 2019.

NOTARY PUBLIC _____

VILLAGE BOARD OF TRUSTEES

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

APPROVED AND ACCEPTED BY THE BOARD OF TRUSTEES OF THE VILLAGE TINLEY PARK, COOK COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, 2019.

VILLAGE PRESIDENT _____

ATTEST: VILLAGE CLERK _____

LAND SURVEYOR CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL) SS.

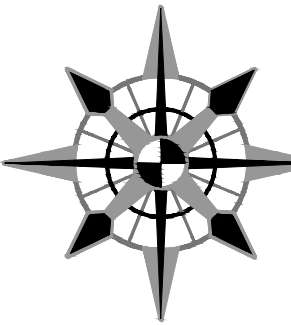
THIS IS TO CERTIFY THAT I, JAMES L. HARPOLE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED HEREIN AND AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY. I FURTHER CERTIFY THAT THE SAID PROPERTY WAS SURVEYED WITHIN THE LAST 18 MONTHS. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS. THEREOF, I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE VILLAGE BOARD RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPILED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SITE FALLS WITHIN ZONE X AS DEFINED BY FLOOD INSURANCE RATE MAP, PANEL NUMBER 17031C0706J HAVING AN EFFECTIVE DATE OF 08/19/2008.

DATED THIS _____ DAY OF _____, 2019.

JAMES L. HARPOLE, ILLINOIS PROFESSIONAL
LAND SURVEYOR NO. 3190

JLH LAND
SURVEYING INC.
Illinois Professional Design Firm No. 184.00720
910 Geneva Street, Shorewood, Illinois 60404
815.729.4000 www.jlhsurvey.com



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CONSULTING ENGINEERS
80 MAIN STREET, SUITE 101, LEANING TOWER, LINCOLN SQUARE
60464-1458
www.advantageus.com

PREPARED FOR:
TOP HOSPITALITY LLC
2730 UNIVERSITY BLVD
HOUSTON, TX 77005
PHONE: 312.404.6735

DATE	REVISIONS	BY
10/21/19	VILLAGE COMMENTS	
12/12/19	VILLAGE COMMENTS	

PLAT OF ANNEXATION
18300 96TH AVENUE
TINLEY PARK, ILLINOIS 60477

PROJ. MGR.: JLH
DRAWN BY: JLH
CHECKED BY: SR
DATE: 07/24/19
SCALE: 1"=50'

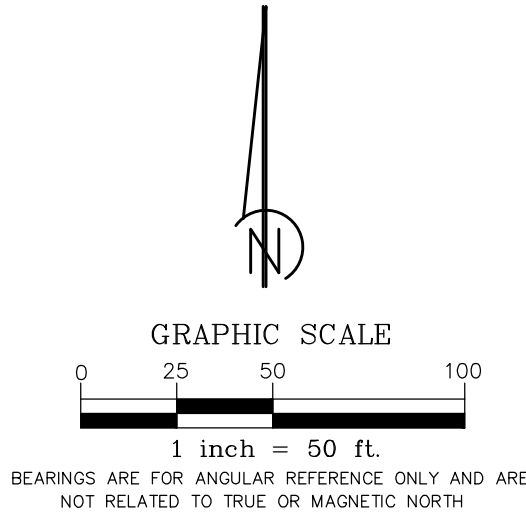
SHEET

1 OF 1

18-632-123

LEGEND
N North
S South
E East
W West
° Degrees
' Feet/Minutes
" Inches/Seconds
ROW Right of Way

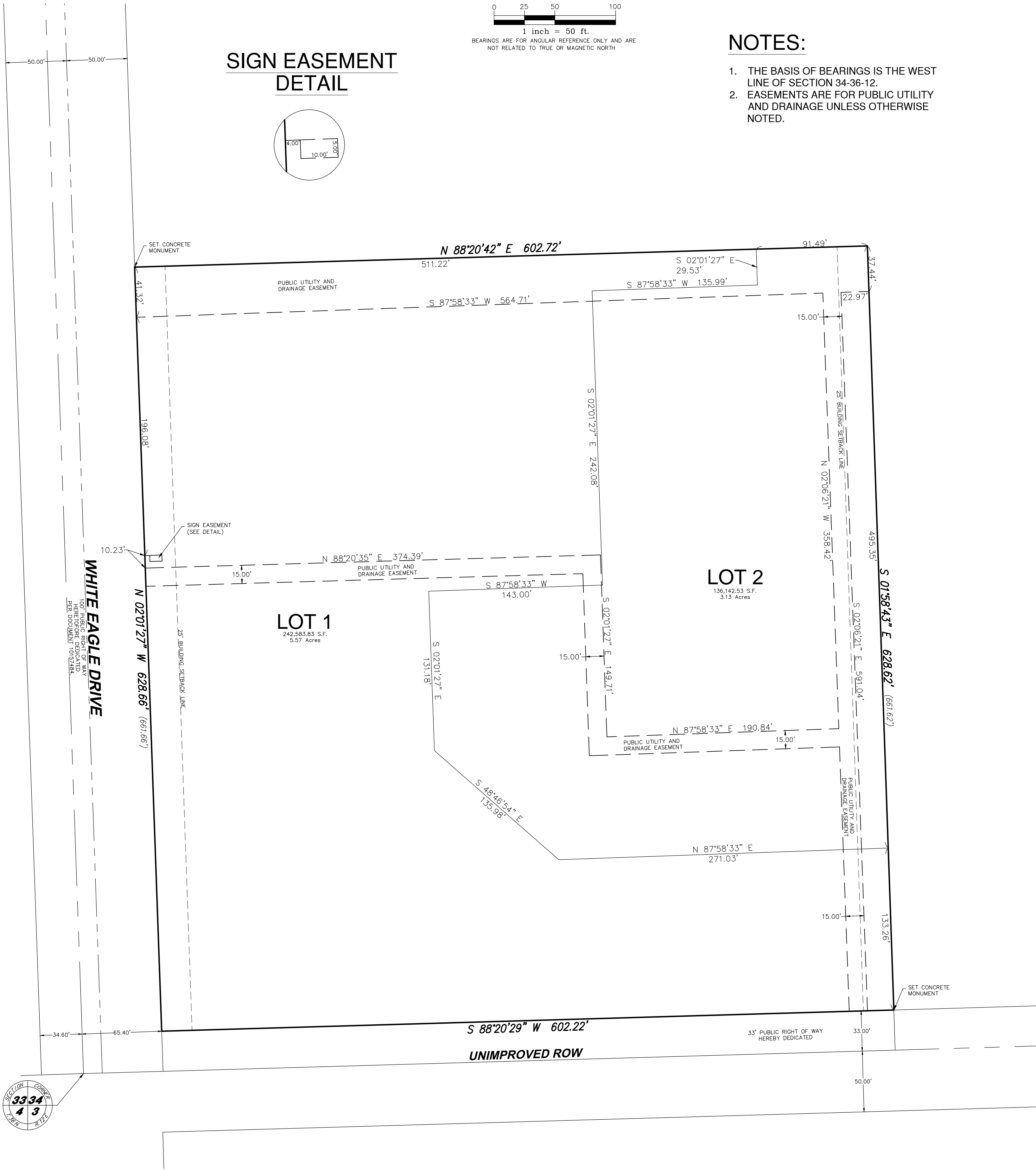
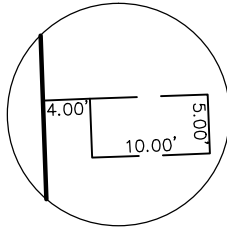
PINS:
27-34-300-002-0000



LAND AREA:
378,726.36 SF± OR 8.7 ACRES±

- NOTES:
- THE BASIS OF BEARINGS IS THE WEST LINE OF SECTION 34-36-12.
 - EASEMENTS ARE FOR PUBLIC UTILITY AND DRAINAGE UNLESS OTHERWISE NOTED.

SIGN EASEMENT
DETAIL



OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND THIS PLAT PREPARED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS ____ DAY OF ____, 2020.

OWNER _____

ADDRESS _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY

THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF ____, 2020.

NOTARY PUBLIC _____

DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

THE UNDERSIGNED HEREBY CERTIFIES THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THIS CONSOLIDATION OR THAT, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION WILL BE MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO TO PUBLIC AREAS OR DRAINS THAT THE OWNER HAS RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO ELIMINATE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY OWNERS BECAUSE OF THIS CONSOLIDATION. THE EXISTING OVERLAND FLOW ROUTES WILL CONFORM TO THE ORIGINAL SUBDIVISION GRADING PLAN AND ACCEPTED ENGINEERING DESIGN, SHOULD AND PONDING OCCUR ON-SITE, IT WILL BE OUR RESPONSIBILITY TO ADDRESS AS PER ALL REQUIREMENTS OF THE VILLAGES CODES, ORDINANCES AND REGULATIONS RELATED TO STORMWATER MANAGEMENT, SOIL EROSION CONTROL AND SITE GRADING.

DATED THIS ____ DAY OF ____, 2020.

OWNER _____ ENGINEER _____

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

DATED THIS ____ DAY OF ____, 2020.

VILLAGE ENGINEER _____

VILLAGE BOARD OF TRUSTEES

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

APPROVED AND ACCEPTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

DATED THIS ____ DAY OF ____, 2020.

VILLAGE PRESIDENT _____

ATTEST: VILLAGE CLERK _____

COOK COUNTY RECORDER'S OFFICE

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF WILL COUNTY AFORESAID ON THE ____ DAY OF ____, A.D., 2020, AT ____ O'CLOCK ____ M.

COOK COUNTY RECORDER _____

LOCATION MAP - NOT TO SCALE



CROSS ACCESS AND PARKING EASEMENT PROVISIONS

A PERPETUAL, NON-EXCLUSIVE EASEMENT FOR VEHICULAR ACCESS AND PARKING IS HEREBY GRANTED OVER AND ACROSS THE PORTIONS OF LOTS 1 AND 2 AS MARKED AND IDENTIFIED AS "CROSS ACCESS AND PARKING EASEMENT" ON THIS PLAT.

THE OWNER(S) OF LOTS 1 AND 2 SHALL, AT ITS (THEIR) SOLE EXPENSE, KEEP AND MAINTAIN THE "CROSS ACCESS AND PARKING EASEMENT" IN GOOD ORDER AND REPAIR, AND IMPROVED WITH A CONTINUOUS IMPERVIOUS MATERIAL (SUCH AS CONCRETE OR ASPHALT) OF SUFFICIENT BEARING STRENGTH SO AS TO ACCOMMODATE VEHICLE TRAFFIC.

NO OBSTRUCTIONS OR BARRIERS SHALL BE ERECTED ON OR ABOUT "CROSS ACCESS AND PARKING EASEMENT" IN ESTABLISHING AND/OR MAINTAINING THE GRADE LEVEL OF THE IMPERVIOUS SURFACE OF THE "CROSS ACCESS AND PARKING EASEMENT" AREA. MAINTENANCE SHALL BE DEEMED TO INCLUDE (BUT NOT BE LIMITED TO) THE REPAIR OF POTHoles AND CRACKS, KEEPING THE SURFACE OF THE EASEMENT AREA FREE OF SNOW AND ICE, AND PROVIDING SURFACE STRIPING FOR THE COORDINATED MOVEMENT AND CIRCULATION OF VEHICLES THROUGH THE EASEMENT AREA.

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED OVER ALL LOTS OF THE PROPERTY DEPICTED HEREON (HEREINAFTER "EASEMENT") TO THE VILLAGE OF TINLEY PARK, ILLINOIS, AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR AGREEMENT FROM THE VILLAGE OF TINLEY PARK, INCLUDING, BUT NOT LIMITED TO, ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY, AND THEIR SUCCESSORS AND ASSIGNS, AND TO OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION, OVER THE PROPERTY, EXCEPTING THEREFROM ANY BUILDINGS (OTHER THAN UTILITY METERS ATTACHED THERETO) ORIGINALLY PLANNED AND/OR CONSTRUCTED WITH THE DEVELOPMENT, AS SHOWN HEREON, FOR THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, INSTALL, REPAIR, INSPECT, REMOVE, EXCHANGE, TEST, REPLACE, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNA TELEVISION SYSTEMS, WATER, STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, UNDER AND THROUGH SAID EASEMENT, AND FOR THE RIGHT TO READ, EXAMINE, INSPECT, INSTALL, OPERATE, MAINTAIN, EXCHANGE, REMOVE, REPAIR, TEST, AND/OR REPLACE VILALGE OWNED UTILITY EQUIPMENT AND METERS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE GRANTORS PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO THE VILLAGE AND ITS AGENTS TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE REASONABLE USE OF SAID EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

ALL CONSTRUCTION OR OTHER WORK PERFORMED BY ANY PERSON OR ENTITY WITHIN THE EASEMENT HEREBY GRANTED SHALL BE PERFORMED IN ACCORDANCE WITH THE VARIOUS REQUIREMENTS OF THE ORDINANCES, CODE, AND REGULATIONS OF THE VILLAGE OF TINLEY PARK AND ALL OTHER APPLICABLE LAW.

SIGN EASEMENT PROVISIONS

A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER, ACROSS AND UPON THE PERIMETER DRIVEWAY, PARKING AREAS AND LANDSCAPED AREA FOR THE PURPOSE OF PROVIDING THE LOT 2 OWNER AND THEIR RESPECTIVE AGENTS REPRESENTING INGRESS AND EGRESS TO, FROM AND BETWEEN THE MONUMENT SIGN FOR PURPOSES OF INSTALLING, CONSTRUCTING, UTILIZING, OPERATING, MAINTAINING, REPAIRING, RECONSTRUCTING, REMOVING, REPLACING AND RENEWING A PROPOSE MONUMENT SIGN AND ASSOCIATED LANDSCAPING. THE MONUMENT SIGN SHALL BE PLACED WITHIN THE BOUNDARY OF THE "MONUMENT SIGN EASEMENT" AS DEFINED ON THIS PLAT OF SUBDIVISION.

LAND SURVEYOR CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL) SS.

THIS IS TO CERTIFY THAT I, JAMES L. HARPOLE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED HEREIN AND AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY. I FURTHER CERTIFY THAT THE SAID PROPERTY WAS SURVEYED WITHIN THE LAST 18 MONTHS. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE VILLAGE BOARD RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPILED WITH IN THE PREPARATION OF THIS PLAT.

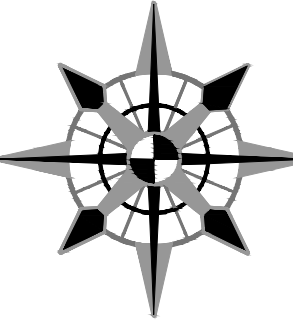
THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

I FURTHER CERTIFY THAT THIS SITE FALLS WITHIN ZONE X AS DEFINED BY FLOOD INSURANCE RATE MAP, PANEL NUMBER 17031C07060 HAVING AN EFFECTIVE DATE OF 08/19/2008.

DATED THIS ____ DAY OF ____, 2020.

JAMES L. HARPOLE, ILLINOIS PROFESSIONAL
LAND SURVEYOR NO. 3190

JLH LAND
SURVEYING INC.
Illinois Professional Design Firm No. 184.007.20
910 Geneva Street, Shorewood, Illinois 60404
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606.264.4458
www.apeplus.com

PREPARED FOR:
TOP HOSPITALITY LLC
2730 UNIVERSITY BLVD
HOUSTON, TX 77005
PHONE: 312.404.6735

DATE	BY	REVISIONS
10/21/19	JLH	VILLAGE COMMENTS
10/22/19	JLH	CROSS ACCESS EASEMENT
12/12/19	JLH	VILLAGE COMMENTS
02/19/20	JLH	REVISED EASEMENTS
02/27/20	JLH	SIGN EASEMENT PROVISIONS

PRELIMINARY PLAT OF SUBDIVISION
18300 96TH AVENUE
TINLEY PARK, ILLINOIS 60477

PROJ. MGR.: JLH
DRAWN BY: JLH
CHECKED BY: SR
DATE:
SCALE: VARIES

SHEET
1 OF 2
18-632-123

LEGEND
N North
S South
E East
W West
° Degrees
' Feet/Minutes
" Inches/Seconds
ROW Right of Way

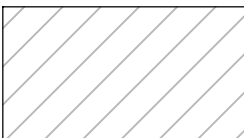
NEW HORIZON SUBDIVISION

BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

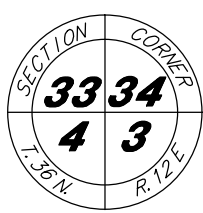
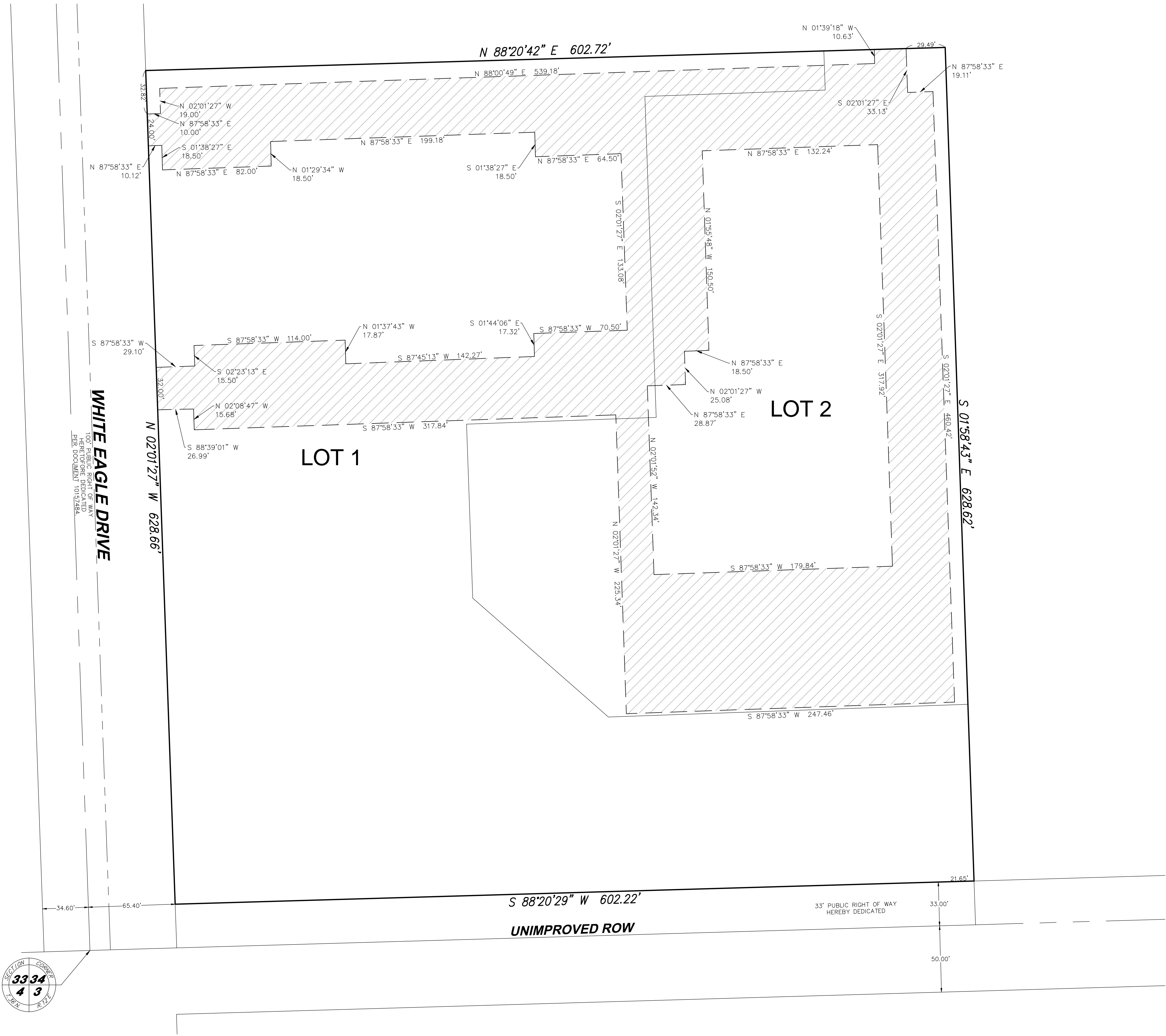
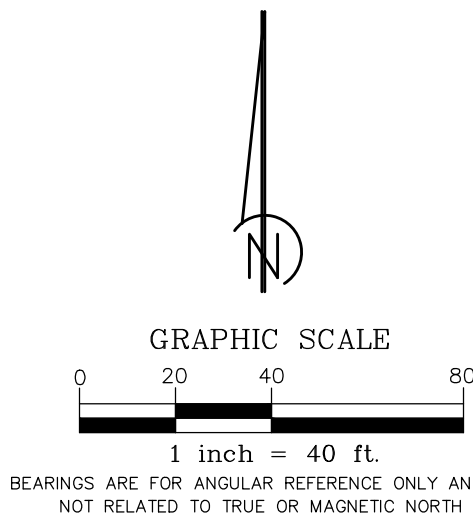
JLH LAND
SURVEYING INC.
Illinois Professional Design Firm No. 184.00720
910 Geneva Street, Shorewood, Illinois 60404
815.729.4000 www.jlsurvey.com

NOTES:

- THE BASIS OF BEARINGS IS THE WEST LINE OF SECTION 34-36-12.



CROSS ACCESS AND PARKING EASEMENT



PRELIMINARY PLAT OF SUBDIVISION

18300 96TH AVENUE

TINLEY PARK, ILLINOIS 60477

SHEET

2 OF 2

18-632-123

PLAN COMMISSION STAFF REPORT

March 5, 2020 – Public Hearing

Petitioner

Village Tinley Park

Municipal Code

Zoning Code

Approvals Sought

Text Amendment

Project Planner

Daniel Ritter, AICP
Senior Planner

Zoning Code Text Amendment Corrections – Short Term Rental and Residential Masonry



EXECUTIVE SUMMARY

Recently, the Village approved two text amendments to the Zoning Code relating to exterior masonry requirements (December 17, 2019; 2019-O-074) and for short-term rental uses (July 2, 2019; 2019-O-035). During the course of drafting and implementing the text changes, staff encountered a few text corrections to ensure the intent behind these codes is clear. This report clarifies the text corrections for each.

Masonry. The masonry requirements for residential properties were generally left as they previously existed in the Comprehensive Building Code and just moved into the Zoning Code. The definition of “masonry” was changed to include precast concrete panels. The definition change was intended for commercial properties to have some additional flexibility. However, based on the code’s wording, it could be interpreted that residential homes are permitted to be constructed with precast concrete panels on the first-floor. Staff is proposing a minor wording change to clarify that homes must utilize face brick or decorative stone on the first story on a new home as was originally intended.

Short –term rental. The short-term rental (STR) use text amendment has two clarifications that are needed. First, in the Medium-Density (R-6) and High-Density (R-7) residential zoning districts the regulations do not address STR use in single-family detached, single-family attached and two-family dwellings despite the fact they are allowable uses in those districts. The requirements in other residential zoning districts state that STR units in single-family detached, single-family attached and two-family dwellings “are only permitted when separated 500 feet from all property lot lines” from another STR. That distance requirement needs to be addressed in the Medium-Density (R-6) and High-Density (R-7) residential zoning districts as well. Second, the STR use was not addressed in the Legacy Code and clarification is needed for those zoning districts.

RESIDENTIAL MASONRY REQUIREMENTS

The masonry requirements for residential properties were left as they were previously stated in the building code. However, the definition of masonry was changed to include pre-cast concrete panels to allow for some flexibility as an alternative masonry material on commercial and industrial structures. However, due to the wording of the residential masonry section, it can be interpreted that precast concrete panels can be used to comply with first-floor masonry requirements, which was not the intent. To rectify this issue, staff is proposing to make the following change to Section V.C.4.B as listed below to clarify that only face brick and decorative stone are permitted materials on the first-floor of new residential homes.

In all single-family detached, single-family attached, townhomes, and in all single-family semi-detached dwellings, exterior walls shall be constructed of face brick or decorative stone, ~~or other approved masonry products as defined herein~~. Said construction shall commence from the finished grade and shall extend to the uppermost portion of the first story of such dwellings.

SHORT-TERM RENTAL DISCUSSION

Short-Term Rental Background

Following a complaint about a short-term rental property in 2018, staff was directed to look into regulations for short-term rental uses. The proposed text changes were reviewed by Plan Commission in January 2019 and adopted by the Village Board in July 2019 with some minor changes that added requirements to limit the density of short-term rental in a particular area. Short-term rentals are required to obtain a license through the Village Clerk's office and must also comply with applicable zoning district regulations. Staff has identified two issues with the proposed Zoning Code text amendments which were not anticipated during the initial review.

The final adopted use chart and regulations are as follows:

SHORT-TERM RENTAL: *A dwelling unit that is used as a primary residence by owners or renters, or portion of such a unit, that is rented for less than 30 days at a time, with the exception of dwelling units owned by the federal government, the state, or any of their agencies or political subdivisions and facilities licensed by the state as health care facilities.*

	R-1	R-2	R-3	R-4	R-5	R-6	R-7	B-1	B-2	B-3	B-4	B-5	ORI	M-1	MU-1
Other Uses															
<u>Short-Term Rental, accessory to a dwelling unit</u>	P ^p	P ^p	P ^p	P ^p	P ^p	P ^q	P ^q	X	X	X	X	X	X	X	X

^p Short-term rentals are only permitted when separated five hundred (500) feet on all property lot lines from another short-term rental property line.

^q Short-term rentals in a multi-family cannot exceed twenty-five percent (25%) of the total number of units.

Medium (R-6) and High-Density (R-7) Residential District Homes

The only criteria noted in current STR regulations for Medium-Density Residential (R-6) and High-Density Residential (R-7) zoning districts is "Short-term rentals in a multi-family cannot exceed twenty-five percent (25%) of the total number of units." While this regulation provides guidance for multi-family units in the R-6 & R-7 zoning districts it also permits lower density single-family attached, single-family detached, and townhomes. The requirements for a 500-foot separation between STR properties that applies to other lower-density residential zoning districts, was not applied to those medium-density and high-density residential zoning districts. Staff is recommending the same restrictions for single-family attached, single-family detached, and townhomes in other single family districts also pertain to the R-6 and R-7 districts.

To clarify this portion of the code, staff is proposing the text additions as indicated in red below:

	R-1	R-2	R-3	R-4	R-5	R-6	R-7	B-1	B-2	B-3	B-4	B-5	ORI	M-1	MU-1
Other Uses															
<u>Short-Term Rental, accessory to a dwelling unit</u>	P ^p	P ^p	P ^p	P ^p	P ^p	P ^{p/q}	P ^{p/q}	X	X	X	X	X	X	X	X

^p Short-term rentals *located in a single-family detached, single-family attached, single-family semi-detached, and two-family dwellings* are only permitted when separated five hundred (500) feet on all property lot lines from another short-term rental property line.

^q Short-term rentals in a multi-family *dwellings* cannot exceed twenty-five percent (25%) of the total number of units.

Legacy Code Allowance

During the original adoption of the STR regulations, the discussion was focused on traditional residential zoning districts, and did not address STRs in the Legacy Code districts. The Legacy Code encompasses the downtown and Oak Park Avenue corridor between 167th Street and 183rd Street. Within the Legacy Code, all types of housing/dwellings are permitted depending on their specific zoning district (Downtown Core, Downtown Flex, Neighborhood General, etc.) and redevelopment status (Heritage Site or Redevelopment Site). Staff is looking to clarify the regulations for STRs in the Legacy District. Due to the lack of discussion on this topic during the original STR adoption, staff is looking for direction on the matter from the Commission. Options include prohibiting short-term rentals in the Legacy Code districts or allowing the use with conditions similar to the traditional zoning districts that relate to distance separation or a percentage of the total number of units in a multi-family structure.

The advantages of allowing STR in the Legacy District relates to adjacency to the Metra station, which could be an incentive for visitors to stay in the downtown area and patronize local businesses. While the current licensing requirements of STRs limit rentals to one license per year, that requirement could change in the future and is independent from zoning district decisions. Any allowance of STRs in the Legacy District needs to clearly outline how to regulate the use with a diverse mix of residential uses in the Legacy District (mixed-use, single family, multi-family, etc.)

By prohibiting STRs, it will eliminate the possibility that STR may negatively impact current or future uses due to the transient nature of the occupants. A "Boarding/Rooming House" is a similar use that is currently prohibited in the Legacy Code Districts.

If Plan Commission wishes to recommend prohibiting STRs in the Legacy Code Districts. "Short-term Rentals" would be added under the list of prohibited uses in Section XII.3.A. (Page 55) of the Legacy Code. If the STRs were to be permitted, staff recommends identifying any conditions that may help mitigate any perceived impact of the use on adjacent properties.

PLAN COMMISSION WORKSHOP DISCUSSION

The Plan Commission workshop discussion focused on the allowance of STR uses in the Legacy Code districts. The Plan Commission felt that if STRs were acceptable, the best location is in the Downtown Core (DC). The Downtown Core could be more of a tourist destination in the future and has easy access to the Metra and downtown Chicago, which might be attractive to visitors. At this time, with the licensing restrictions and lack of demand, the Commission noted that it might be best to prohibit it and reevaluate the restrictions in the future.

RECOMMENDED MOTIONS

Motion 1 – Residential Masonry

“...make a motion to recommend that the Village Board approve Text Amendments to Section V.C.4.B. (Masonry Requirements) of the Village of Tinley Park Zoning Ordinance as indicated in the Staff Report dated February 20, 2020. The proposed Text Amendment will clarify the materials permitted to be utilized on the first story of new residential structures.”

Motion 2 – Short-Term Rental

“...make a motion to recommend that the Village Board approve Text Amendments to Section V.B. Schedule I (Schedule of Permitted Uses) and Section XII.3.A. (Legacy Code Uses) of the Village of Tinley Park Zoning Ordinance as indicated in the Staff Report dated February 20, 2020. The proposed Text Amendment will amend Section V.B. Schedule I to add footnotes to the R-6 and R-7 zoning districts, clarify those footnotes, and to prohibit short-term rentals in the Legacy Code districts.”

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE

NO. _____

**AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE
VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO SHORT-
TERM RENTALS**

**JACOB C. VANDENBERG, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**CYNTHIA A. BERG
WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
MICHAEL W. GLOTZ
MICHAEL G. MUELLER
Board of Trustees**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. _____

**AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE
VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO SHORT-
TERM RENTALS**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) recently passed Ordinance 2019-O-035 amending its Zoning Ordinance to include certain regulations pertaining to the allowable use of residential dwellings as short-term rentals (“STR Requirements”); and

WHEREAS, certain text amendments (“Amendments”) are required for clarification on the intent of the STR Requirements; and

WHEREAS, the proposed Amendments have been referred to the Plan Commission of the Village and have been processed in accordance with the Village of Tinley Park Ordinance; and

WHEREAS, the Plan Commission held a Public Hearing on the proposed Amendments on March 5, 2020, at which time all persons were afforded an opportunity to be heard; and

WHEREAS, the Plan Commission voted **XXX in favor** to recommend said Amendments to the Tinley Park Zoning Ordinance; and

WHEREAS, the Plan Commission of this Village has filed its report of findings and recommendations that the proposed Amendments be granted with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Amendments to the Tinley Park Zoning Ordinance; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the report and findings and recommendations of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely, as if fully recited herein at length.

SECTION 2: That Section V.B. of the Tinley Park Zoning Ordinance entitled “SCHEDULES OF REGULATIONS” is hereby amended by adding the following underlined language as follows:

SCHEDULE I- SCHEDULE OF PERMITTED USE (BY USE TYPE)

	R-1	R-2	R-3	R-4	R-5	R-6	R-7	B-1	B-2	B-3	B-4	B-5	ORI	M-1	MU-1
Other Uses															
<u>Short-Term Rental, accessory to a dwelling unit</u>	P ^P	P ^P	P ^P	P ^P	P ^P	P ^{P/Q}	P ^{P/Q}	X	X	X	X	X	X	X	X

SECTION 3: That Section V.B of the Tinley Park Zoning Ordinance entitled “SCHEDULES OF REGULATIONS” is hereby amended by adding the following underlined language footnotes in alphabetical order as follows:

^P short-term rentals located in a single-family detached, single-family attached, single-family semi-detached, and two-family dwellings are only permitted when separated five hundred (500) feet on all property lot lines from another short-term rental property line.

^Q short-term rentals in a multi-family dwellings cannot exceed twenty-five percent (25%) of the total number of units.

SECTION 4: That Section XII.3.A. Table 3.A.2 (Legacy Code List of Special Uses and Prohibited Uses) of the Tinley Park Zoning Ordinance in the column entitled “Prohibited Uses” is hereby amended by adding “Short-Term Rentals” to the list, shown in alphabetical order.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 17th day of March, 2020.

AYES:

NAYS:

ABSENT:

APPROVED THIS 17th day of March, 2020.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. ____, “AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO SHORT-TERM RENTALS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on March 17, 2020.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 17th day of March, 2020.

KRISTIN A. THIRION, VILLAGE CLERK

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE

NO. _____

**AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE
VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO
RESIDENTIAL MASONRY REQUIREMENTS**

**JACOB C. VANDENBERG, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**CYNTHIA A. BERG
WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
MICHAEL W. GLOTZ
MICHAEL G. MUELLER
Board of Trustees**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. _____

**AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE
VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO
RESIDENTIAL MASONRY REQUIREMENTS**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) recently passed Ordinance 2019-O-74 amending its Zoning Ordinance to include certain regulations pertaining to exterior masonry requirements (“Masonry Requirements”); and

WHEREAS, certain text amendments (“Amendments”) are required for clarification on the intent of the Masonry Requirements; and

WHEREAS, the Village recognizes that the aesthetics of real property has a direct bearing on the economic value of certain real property as well as adjacent and surrounding real property; and

WHEREAS, the appearance of a single parcel of real property can impact not only surrounding real property, but the cumulative impact can serve to enhance or diminish the aesthetics and economics of real property within the Village thereby impacting the general health, welfare, and safety of the Village and its residents; and

WHEREAS, an aesthetically pleasing environment is a clean, healthy and safe environment; and

WHEREAS, the proposed Amendments have been referred to the Plan Commission of the Village and have been processed in accordance with the Village of Tinley Park Ordinance; and

WHEREAS, the Plan Commission held a Public Hearing on the proposed Amendments on March 5, 2020, at which time all persons were afforded an opportunity to be heard; and

WHEREAS, the Plan Commission voted **XXX in favor** to recommend said Amendments to the Tinley Park Zoning Ordinance; and

WHEREAS, the Plan Commission of this Village has filed its report of findings and recommendations that the proposed Amendments be granted with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Amendments to the Tinley Park Zoning Ordinance; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the report and findings and recommendations of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely, as if fully recited herein at length.

SECTION 2: That Section V.C.4. of the Tinley Park Zoning Ordinance entitled “ELEVATIONS AND FACADES FOR RESIDENTIAL DISTRICTS” is hereby amended by adding the following underlined language and deleting the strike-through language, as follows:

B. In all single-family detached, single-family attached, townhomes, and in all single-family semi- detached dwellings, exterior walls shall be constructed of face brick or decorative stone, ~~or other approved masonry products as defined herein~~. Said construction shall commence from the finished grade and shall extend to the uppermost portion of the first story of such dwellings.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 17th day of March, 2020.

AYES:

NAYS:

ABSENT:

APPROVED THIS 17th day of March, 2020.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. ____, “AN ORDINANCE APPROVING TEXT AMENDMENT CLARIFICATIONS TO THE VILLAGE OF TINLEY PARK ZONING ORDINANCE PERTAINING TO RESIDENTIAL MASONRY REQUIREMENTS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on March 17, 2020.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 17th day of March, 2020.

KRISTIN A. THIRION, VILLAGE CLERK