

## **NOTICE OF THE REGULAR MEETING OF THE PLAN COMMISSION**

The regular meeting of the Plan Commission is scheduled for  
Thursday, July 16, 2020 beginning at 7:00 p.m.

A copy of the agenda for this meeting is attached hereto and  
can be found at [www.tinleypark.org](http://www.tinleypark.org).

### **NOTICE - MEETING MODIFICATION DUE TO COVID-19**

Pursuant to Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, and Executive Order 2020-39, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on May 29, 2020, the members of the Plan Commission will be participating in the meeting through teleconference.

A livestream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-10 and CDC guidelines, no more than 10 people will be allowed in the Council Chambers at any one time. Anyone in excess of 10 people will be asked to wait in another room with live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments.

***Public comments or requests to speak may also be emailed in advance of the meeting to [clerksoffice@tinleypark.org](mailto:clerksoffice@tinleypark.org) or placed in the Drop Box at the Village Hall by noon on Thursday, July 16, 2020.***

Kristin A. Thirion  
Clerk  
Village of Tinley Park



**AGENDA FOR REGULAR MEETING  
VILLAGE OF TINLEY PARK  
PLAN COMMISSION**

**July 16, 2020 – 7:00 P.M.  
Council Chambers  
Village Hall – 16250 S. Oak Park Avenue**

**Regular Meeting Called to Order**

**Pledge of Allegiance**

**Roll Call Taken**

**Communications**

**Approval of Minutes:** Minutes of the July 2, 2020 Regular Meeting

**ITEM #1      WORKSHOP – Tinley Park Plaza Redevelopment, 15917-16037 S. Harlem Avenue -  
Special Use for Planned Unit Development & Site Plan Approval**

Consider recommending that the Village Board grant Andrew Balzar, Brixmor Property Group, on behalf of Centrol/IA Tinley Park Plaza, LLC (property owner) a Special Use for a Planned Unit Development with exceptions related to Phase I of the redevelopment of Tinley Park Plaza located at 15917-16037 S. Harlem Avenue. The project will include the demolition of 87,000 sq. ft of existing building on the northern portion of the center and the construction of the core and shell of approximately 66,600 sq. ft for retail uses and general improvements to the in-line tenants including façade improvements, landscaping and parking lot improvements.

**Good of the Order**

**Receive Comments from the Public**

**Adjourn Meeting**





**MINUTES OF THE REGULAR MEETING OF THE  
PLAN COMMISSION, VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS**

**July 2, 2020**

The meeting of the Plan Commission, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on July 2, 2020.

At this time, CHAIRMAN GRAY, stated the meeting was being held remotely consistent with Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, Executive Order 2020-39, and Executive Order 2020-44, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on June 26, 2020, the members of the Village Board will be participating in the meeting through teleconference.

A live stream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-43 and CDC guidelines, no more than 50 people or 50% of the maximum capacity will be allowed in the Council Chambers at any one time, so long as attendees comply with social distancing guidelines. Anyone in excess of the maximum limit will be asked to wait in another room with a live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments. CHAIRMAN GRAY confirmed Commissioners and Staff were able to communicate. All replied affirmatively. CHAIRMAN GRAY then addressed ground rules for the effective and clear conduct of Plan Commission business.

Secretary Bennett called the roll.

Present and responding to roll call were the following:

Chairman Garrett Gray (Participated electronically)  
Eduardo Mani (Participated electronically)  
James Gaskill (Participated electronically)  
Kehla West (Participated electronically)  
Steven Vick (Participated electronically)  
Lucas Engel (Participated electronically)

Absent Plan Commissioners: Angela Gatto  
Mary Aitchison

Village Officials and Staff: Paula Wallrich, Interim Community Development Director (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

**CALL TO ORDER**

PLAN COMMISSION CHAIRMAN GRAY called to order the Regular Meeting of the Plan Commission for July 2, 2020 at 7:00 p.m.

**COMMUNICATIONS**

None

**APPROVAL OF MINUTES**

Minutes of the June 18, 2020 Regular Meeting of the Plan Commission were presented for approval. A Motion was made by COMMISSIONER ENGEL, seconded by COMMISSIONER WEST to approve the minutes as presented.

AYE: COMMISSIONERS MANI, VICK, ENGEL GASKILL, WEST and CHAIRMAN GRAY.

NAY: None.

CHAIRMAN GRAY declared the Motion approved by voice vote.

**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**  
**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**  
**SUBJECT: MINUTES OF THE JULY 2, 2020 REGULAR MEETING**

**ITEM #1 PUBLIC HEARING – Text Amendment – Adult Use Business Establishments**

Consider a proposed text amendment to certain sections of the Tinley Park Zoning Ordinance allowing Adult-Use Cannabis Dispensing Organizations in the B-2 and B-3 zoning districts as a Special Use with certain restrictions and eliminate Medical Cannabis Cultivation facilities as a Special Use in the ORI district. Medical Cannabis Dispensing Organizations will still be allowed in the M-1 district but will not be allowed to sell Adult Use Cannabis at those locations.

Present were the following: Chairman Garrett Gray (Participated electronically)  
Eduardo Mani (Participated electronically)  
James Gaskill (Participated electronically)  
Kehla West (Participated electronically)  
Steven Vick (Participated electronically)  
Lucas Engel (Participated electronically)

Absent Plan Commissioners: Angela Gatto  
Mary Aitchison

Village Officials and Staff: Paula Wallrich, Interim Community Development Director (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

Guests: None

A Motion was made by COMMISSIONER WEST, seconded by COMMISSIONER GASKILL to open the public hearing of **Text** Amendment – Adult Use Cannabis Business Establishments

AYE: All Commissioners participated electronically

COMMISSIONERS MANI, GASKILL, WEST, ENGEL, VICK and CHAIRMAN GRAY.

NAY:

None

CHAIRMAN GRAY declared The Motion Approved by voice vote.

CHAIRMAN GRAY noted anyone wishing to speak on this matter will be sworn in before they speak after staff's presentation. The Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

Paula Wallrich, Acting Community Development Director presented the Staff Report. The *Cannabis Regulation and Tax Act* (Public Act 101-0027), hereafter termed as the “Act”, was signed into law by Governor JB Pritzker on June 25, 2019 (amended and adopted as Public Act 101-0593 December 4, 2019). Effective as of January 1, 2020, the Act legalized the possession and private use of cannabis for Illinois residents over 21 years of age. With the adoption of the Act, municipalities may not restrict the private consumption of cannabis that is authorized by the Act. However, municipalities can adopt and enforce local ordinances to regulate the possession and public consumption of cannabis so long as the regulations and penalties are consistent with the Act.

The Act also preserves local zoning authority and authorizes municipalities to prohibit or significantly limit the location of cannabis businesses by ordinance. Municipalities have the authority to enact reasonable zoning regulations that are not in conflict with the act, including the adoption of regulations designating the time, place, manner, and number of cannabis business operations, including minimum distances between cannabis locations through Special Use Permits.

Subsequent to the legalization of cannabis in Illinois, the Village of Tinley Park actively researched, discussed, and enacted local regulations regarding the use and sale of cannabis within corporate limits, including two citizen surveys on whether the Village should allow for the sale of cannabis. On December 17, 2019, the Village Board adopted an ordinance establishing a moratorium on cannabis business establishments. However, at the March 3, 2020 Village Board meeting staff was directed to prepare the necessary amendments to provide appropriate Zoning Ordinance text amendments, licensing, and taxing opportunities to allow for Adult-Use Cannabis Dispensing Facilities within the Village. This memo will address the zoning text amendments, while the recommendations for licensing and taxing will be addressed at the Finance Committee.

Staff has worked closely with the Village attorneys to research current legislation and zoning of other Illinois communities such as Deerfield, Shorewood, Bourbonnais, Oak Forest, and the City of Chicago that have adopted local legislation related to the adult-use of cannabis. Staff also referenced the Illinois Municipal Leagues Model Ordinance (**Exhibit A**) as a guide for the recommended text amendments.

With the adoption of the Act, Adult-Use Cannabis Dispensing Organizations and Adult-Use Cannabis Cultivation Centers may include the sale and growing of medical cannabis. However, Medical Cannabis Dispensing Facilities and Medical Cannabis Cultivation Facilities may not include the sale or growing of adult-use cannabis without reclassifying the definitions as they currently exist in our zoning code. In addition, the Act states the Village cannot prohibit Medical Cannabis Dispensing Facilities in our zoning ordinance but the Village can prohibit Medical Cannabis Cultivation Facilities. Therefore, staff is recommending the more prudent strategy in considering Adult-Use Cannabis uses by allowing the continuation of Medical Cannabis Dispensing Facilities (in the M-1 district) and eliminate or delete regulations allowing Medical Cannabis Cultivation Facilities in the ORI district since they have the ability to grow adult-use cannabis as well. Further, staff is recommending that Adult-Use Cannabis Dispensing Organizations be allowed in B-2 (Community Shopping District) and B-3 (General Business and Commercial District) districts as a Special Use. Further discussion of the appropriate zoning districts and regulations are discussed below.

Staff recognizes the commercial nature of a dispensary and therefore recommends providing for the sale of Adult-Use Cannabis in the business districts instead of the M-1 district as previously designated for Medical Cannabis Dispensing Facility. In review of the business zoning districts, it is apparent that the B-1 (Neighborhood Shopping District) is not an appropriate district for this use primarily due to its proximity to residential uses. The B-1 district is characterized as providing “*convenience goods or personal services for the daily needs of the residents living in adjacent residential neighborhoods*”. The B-3 (General Business and Commercial District) and the B-2 (Community Shopping District) more closely align with the scope and nature of a Cannabis Dispensing Organization.

Of these two commercial districts, the B-3 District is the more compatible district for Adult-Use Cannabis Dispensing Organizations in that it is designed to *accommodate a wide range of specialized commercial uses, including highway-oriented services and commercial types of establishments to serve the needs of motorists. This district is intended to include those uses which would not be compatible in a neighborhood or community-type shopping center.* There are several properties zoned B-3 which are primarily located along major commercial corridors, such as 159<sup>th</sup> Street, Harlem Avenue, LaGrange Road, 191<sup>st</sup> Street, and Oak Park Avenue north of 167<sup>th</sup> Street and south of I-80. Some of these B-3 sites are more appropriate for an Adult-Use Cannabis Dispensing Organization than others due to their proximity to residential uses. Staff is recommending that Adult-Use Cannabis Dispensing Organizations be allowed only on properties with frontage on 159<sup>th</sup> Street, Harlem Avenue, and LaGrange Road because of the commercial nature of these corridors.

The B-2 District may also provide some compatibility with Adult-Use Cannabis Dispensing Organizations, albeit to a lesser extent than the B-3 district due to its definition and the limited amount of property currently zoned B-2 in the Village. The B-2 district is

intended to “provide for a wide variety of related retail-type businesses along with personal uses and other complementary uses. The permitted uses would serve not only nearby residential areas, but also people in neighboring communities and transients for goods and services usually found in larger shopping centers.” The only properties currently zoned B-2 is located along 159<sup>th</sup> Street and Harlem Avenue frontages (Brementowne Shopping Center and the Tinley Park Plaza).

Due to the range and variety of locations in the B-2 and B-3 zoning districts and the unique characteristics associated with Adult-Use Cannabis Dispensing Organizations, Staff is recommending they only be approved as a Special Use. By definition, Special Uses (SUP) “cannot be properly classified in any particular district or districts without consideration, in each case, of the impact of those uses upon neighboring land and of the public need for the particular use at the particular location.” The Village’s Zoning Ordinance further recognizes that private uses are of such nature they are best regulated as Special Uses due to the fact “that their operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities”.

The Zoning Ordinance provides standards for consideration when adopting a Special Use, however due to the unique characteristics of an Adult-Use Cannabis Dispensing, Staff is recommending additional standards to consider when reviewing this SUP as follows:

1. Impact of the proposed facility on existing or planned uses located within the vicinity of the subject property.
2. Proposed structure in which the facility will be located, total square footage, security installations/security plan, and building code compliance.
3. Hours of operation and the anticipated number of customers/employees.
4. Anticipated parking demand based on Section VIII.A.10 for retail uses and available private parking supply.
5. Anticipated traffic generation in the context of adjacent roadway capacity and access to such roadways.
6. Overall site design, including access points and internal site circulation.
7. Proposed signage plan and conformance with Section IX (Sign Regulations) and regulations as outlined in Section V.C.13.
8. Compliance with all requirements provided in Section V.C.13 Adult-use Cannabis Business Establishment, as applicable.
9. Other criteria determined to be necessary to assess compliance with Section V.J. (Special Uses) of this Title.
10. In addition to the Special Use Standards outlined in Section X.J.5., no Special Use for an Adult Cannabis Business Establishment shall be recommended by the Plan Commission unless said Commission shall find:
  - a. That there is sufficient distance (or setback) between the operations of the Special Use and the public right-of-way so that the operations of the SUP do not dominate nor alter the essential character of the street frontage or be detrimental to the overall character of the commercial corridor; and
  - b. That opportunities exist for shared parking to accommodate unexpected parking needs associated with the Special Use.

#### Adult Use Cannabis Dispensing Organization Requirements

In addition to these Special Use standards, staff is recommending certain criteria be met by any business in order to apply for a SUP for an Adult-Use Cannabis Dispensing Organization. The proposed use must satisfy the following criteria to be approved:

1. Facility may not be located within 400 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school or daycare center. This shall not include a daycare home (daycare conducted within a residence) or residential care home. Learning centers or technical and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.
2. Facility may not be located in a dwelling unit or within 100 feet of the property line of a pre-existing property zoned or used for residential purposes.
3. Adult-Use Cannabis Dispensing Organization will be limited to locations with frontage on 159<sup>th</sup> Street, Harlem Avenue, and LaGrange Road.
4. Facility must be located in a standalone building as the sole use of that structure; no co-tenancy with other uses allowed.
5. Facility shall not sell food for consumption on the premises.
6. Facility shall not allow on-site consumption or smoking of cannabis.
7. Facility shall be restricted to the following hours of operation: Monday through Saturday (8:00 a.m. to 9:00 p.m.); Sundays (12:00 p.m. to 6:00 p.m.)
8. Facility shall not be allowed to have a drive-through window or service.
9. Signage shall be limited to: one flat wall sign that does not exceed ten (10) sq. ft. in area; and one identifying sign that does not exceed two sq. ft in area, which identifying sign may include only the dispensary’s address. Such signs shall not be directly illuminated; obstruct the entrance or windows of the recreational cannabis dispensary; include an electronic

message sign or any temporary signs on the exterior of the property. No signage on the exterior of a recreational cannabis dispensary may contain cannabis imagery such as cannabis leaves, plants, smoke, cannabis paraphernalia, or cartoonish imagery oriented towards youth, or any language terms referencing cannabis, or any slang or street terms commonly associated with cannabis. Notwithstanding anything to the contrary, a recreational cannabis dispensary must post a sign with text that is clearly legible and conspicuous immediately adjacent to all entrances that includes the following language: "Persons under the age of 21 are prohibited from entering unless a qualifying patient with a prescription issued under the Compassionate Use Medical Cannabis Program Act."

10. The exterior of all bags, sacks, totes or boxes provided to customers to carry cannabis out of the recreational cannabis dispensary must be opaque and without text or graphics advertising or identifying the contents of the products contained within.
11. Facility shall install building enhancements, such as security cameras, lighting, or other improvements, as set forth in the Special Use permit, to ensure the safety of employees and customers of the adult-use cannabis business establishments, as well as its environs. Said improvements shall be determined based on the specific characteristics of the floor plan for an Adult-Use Cannabis Business Establishment and the site on which it is located, consistent with the requirements of the Act.
12. For purposes of determining required parking, said facilities shall be classified as a "Retail Store" per VIII A.10. (Number of Parking Spaces Required) provided, however, that the Village may require that additional parking be provided as a result of the analysis completed through Section X.J. (Special Uses).
13. Petitioner shall file an affidavit with the Village affirming compliance with Section V.C.13.d. (Adult-Use Cannabis Dispensing Organization) as provided herein and all other requirements of the Act.

Staff is also recommending that no more than one Adult-Use Cannabis Dispensing Organizations be permitted within the Village of Tinley Park corporate limits and that they shall register annually with the Village of Tinley Park pursuant to the Village Municipal Code.

#### **RECOMMENDATION:**

Staff is recommending sections of the Zoning Ordinance be amended as follows:

- Section II.B (Definitions) be amended by deleting the definition for "Medical Cannabis Cultivation Facility" and by adding definitions for Adult-Use Cannabis Business establishment, Adult-Use cannabis craft grower, Adult-Use Cannabis Cultivation Center, Adult-Use Cannabis Dispensing Organization, Adult-Use Cannabis Infuser Organization or Infuser, Adult-Use Cannabis Processing Organization or Processor, Adult-Use Cannabis Transporting Organization or Transporter, and Person in alphabetical order.
- Section V.B (Schedule of Regulations) Schedule I (Schedule of Permitted Uses-By Use Type) be amended by deleting "Medical Cannabis Cultivation Facility" under the heading of "OTHER USES ", and adding Adult-Use Cannabis Dispensing Organization" in the B-2 (Community Shopping District) and B-3 (General Business and Commercial) as a Special Use. All other "Adult-Use Business Establishments" are prohibited.
- Section V.B. Schedule I (Schedule of Permitted Uses-By District) be amended by deleting "Medical Cannabis Cultivation Facility" and the reference "S" (denoting a Special Use), under the heading "ORI Office and Restrict Industrial".
- Section V.B. Schedule I (Schedule of Permitted Uses-By District) be amended by adding "Adult-use cannabis dispensing organization" under the heading "B-2 Community Shopping" and "B-3 General Business & Commercial" with a "S" to denote a Special Use.
- Section XII, Section A. Table 3.A.2. (Prohibited Uses) be amended by adding, "Adult Cannabis Business Establishments" under the heading "Prohibited Uses".
- Section V.C. (Supplementary District Regulations) be amended to add Section 13 "Adult Cannabis Business Establishment" outlining Adult-use Cannabis Business Establishment components to consider when reviewing a Special Use application along with specific criteria for Adult-Use Cannabis Dispensing Organizations that must be met in order to be approved.

CHAIRMAN GRAY asked for comments from the Commissioners.

COMMISSIONER WEST noted staff did an excellent job for the community

COMMISSIONER ENGEL noted staff did an excellent job researching and presenting the amendments within the law and in appropriate locations for the Village of Tinley Park.

CHAIRMAN GRAY noted the he commends staff's research and thought in the amount of investigation that was put into this item.

CHAIRMAN GRAY asked for comments from the Public.

There were none.

A Motion was made by COMMISSIONER GASKILL, seconded by COMMISSIONER VICK to open the public hearing of Text Amendment – Adult Use Cannabis Business Establishments

AYE: All Commissioners participated electronically

COMMISSIONERS MANI, GASKILL, WEST, ENGEL, VICK and CHAIRMAN GRAY.

NAY:

None

CHAIRMAN GRAY declared The Motion Approved by voice call.

A Motion was made by COMMISSIONER WEST, seconded by COMMISSIONER GASKILL to recommend the Village Board amend various sections of the Zoning Ordinance to delete references to Medical Cannabis Cultivation Facility and add appropriate amendments to the Zoning Ordinance as described in this staff report to provide for Adult-Use Cannabis Dispensing Organization in the B-2 (Community Shopping District) and the B-3 (General Business & Commercial District) as a Special Use.

AYE: All Commissioners participated electronically

COMMISSIONERS MANI, GASKILL, WEST, ENGEL, VICK and CHAIRMAN GRAY.

NAY:

None

CHAIRMAN GRAY declared The Motion Approved by roll call.

This item will be heard at the Committee of the Whole on 7/7/2020 and then will be heard at the Village Board on 7/21/2020.

GOOD OF THE ORDER.

There were none.

A Motion was made by COMMISSIONER ENGEL, seconded by COMMISSIONER WEST to adjourn the July 2, 2020 Plan Commission Meeting AT 7:21 pm

AYE: All Commissioners participated electronically

COMMISSIONERS MANI, GASKILL, ENGEL, VICK, WEST and CHAIRMAN GRAY.

NAY:

None

CHAIRMAN GRAY declared The Motion Approved by voice vote.

PLAN COMMISSION CHAIRMAN GRAY declared the meeting adjourned.



# PLAN COMMISSION STAFF REPORT

July 16, 2020 – WORKSHOP

## Petitioner

Brixmor Property Group  
on behalf of Centrol/IA  
Tinley Park Plaza, LLC  
(Property Owner)

## Property Location

15917-15957 S. Harlem  
Avenue

## PIN

28-19-100-057-0000  
28-19-100-058-0000

## Zoning

B-2 Community  
Shopping

## Approvals Sought

Special Use for a Planned  
Unit Development (PUD)  
with Exceptions  
Site Plan Approval

## Project Planner

Paula J. Wallrich, AICP  
Acting Community  
Development Director

## Tinley Park Plaza Redevelopment (PUD)

15917-15957 S. Harlem

## EXECUTIVE SUMMARY



With the uncertainty for the future of the retail market, the redevelopment of **Tinley Park Plaza** is critical for the success of the Harlem Avenue commercial corridor. The antiquated shopping center (constructed in 1974) comprises over 22 acres and approximately 244,132 sq. ft. of retail/service space. Currently it is experiencing vacancies upwards of twenty percent with significant leases expiring within the next few years. Brixmor Property Group is proposing a complete remodel of the plaza. The project is planned in phases with the first phase completed in 2015 involving the construction of a 9,100 sq. ft. multi-tenant retail building at the north end of property. The current proposal (yellow highlighted area) represents the second phase of the project which will involve the demolition of approximately 87,000 sq. ft. of existing buildings (red dashed line) and the construction of approximately 67,110 sq. ft. in new retail space. The proposal includes façade improvements, landscaping and new parking lot reconfiguration/reconstruction. Brixmor anticipates beginning this second phase in fall of 2020 with completion by June 2021. The third phase will involve redevelopment of the southern portion of the center.



A mapping error was discovered in researching the zoning for this parcel. Since 1977 the property has been noted as a Planned Unit Development (PUD) however the property was annexed in 1968 with a B-2 (Community Shopping) zoning designation and there is no record of subsequent zoning for a PUD. Therefore, as part of the zoning entitlement for this property a PUD will be approved.

## EXISTING SITE & PHASING

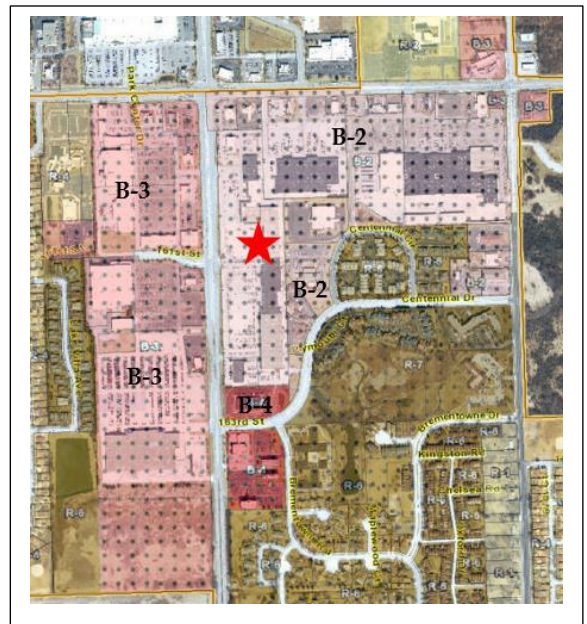
Tinley Park Plaza is a large 244,132 sq. ft shopping plaza occupying over 22 acres. The plaza was approved and began construction in 1974 and began a phase development/occupancy that took approximately 10 years to complete. There have been a series of owners and changes in tenancy over the years, however, this will be the first comprehensive redevelopment of the plaza since its construction.

Upon acquisition Brixmor representatives began discussions with staff to work through various site plan scenarios. In 2015 they presented the first phase of their redevelopment project with the development of the 9,100 sq. ft. multi-tenant retail building in the outlot at the north end of property. In 2019 further discussions with staff resulted in the current proposal which reflects input from staff and current and future tenants. The current proposal for the second phase of this redevelopment project will be anchored by two main tenants: a 25,000 sq. ft. soft good retailer and a 38,436 sq. ft. full service grocer. The total area of commercial space in this phase is 99,910 sq. ft. The demolition proposed with the second phase will end at the north side of the current Rue 21 store. The proposed sidewalk in front of the grocery store will continue to the Rue 21 store and landscaping has been proposed to soften the transition. The third phase will comprise the balance of the plaza to the south with a total area of 121,862 sq. ft. There is also an outlot at the south end of the plaza that comprises 13,260 sq. ft.

## ZONING & NEARBY LAND USES

Tinley Park Plaza is located in the B-2 Community Shopping and is part of one of the Village's major commercial corridors located on Harlem Avenue. It dominates the streetscape of the corridor and represents one of the major gateways to commercial property for the Village. The plaza spans two properties with the north outlot and main plaza building on one parcel (28-19-100-057-0000) and the south outlot occupying a second parcel (28-19-100-058-0000). Per Section III, D. (General Provisions, Lots) every building shall be located on a single lot and in no circumstance can there be more than one principal building on a lot. Therefore, since there are two structures on one parcel (28-19-100-057-0000), a Special Use for a Planned Unit Development is required.

In researching the zoning on this property an error was discovered in the zoning map. Since 1977 this parcel has been designated as a PUD on the zoning map however no approval of the Special Use can be found in Village files. It has been determined to be in error despite approvals granted in consideration of the erroneous designation as a PUD. Typically, PUDs are approved as part of a development proposal, where considerations can be made regarding the site plan and architecture of the proposal. The PUD process for new development can be a fairly involved process and include such things as traffic and market studies. However, since the majority of this structure is existing and the new construction generally follows the current site plan, staff



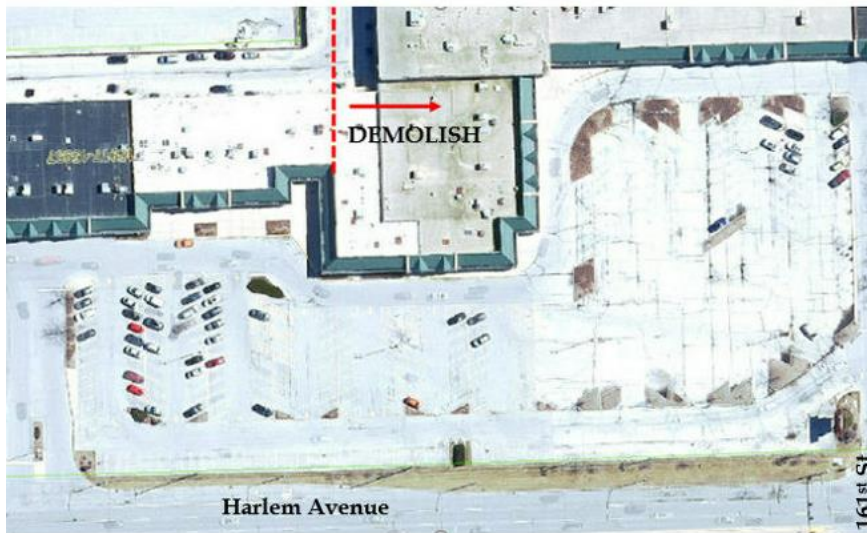


has narrowed the review to primarily a site plan and architecture review. Any exceptions to code are noted for Commission discussion.

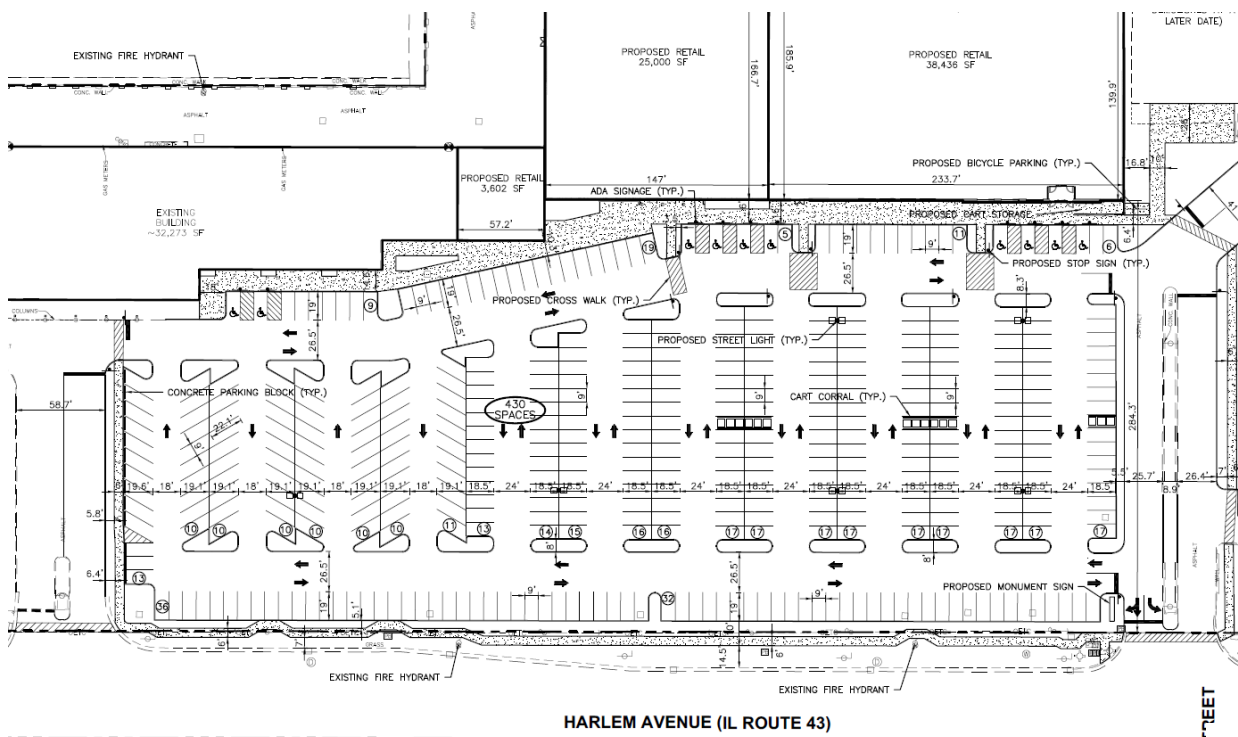
The subject property is zoned B-2 Community Shopping with property to the north and east also zoned B-2 and developed with commercial uses. The property to the west across Harlem Avenue (Park Center Plaza) is zoned B-3 (General Business and Commercial) as is Park Place to the southwest (Previous K-Mart complex). The property to the south is zoned B-4 (Office and Service Business) and is occupied by a medical facility.

## SITE PLAN

### Existing Site:



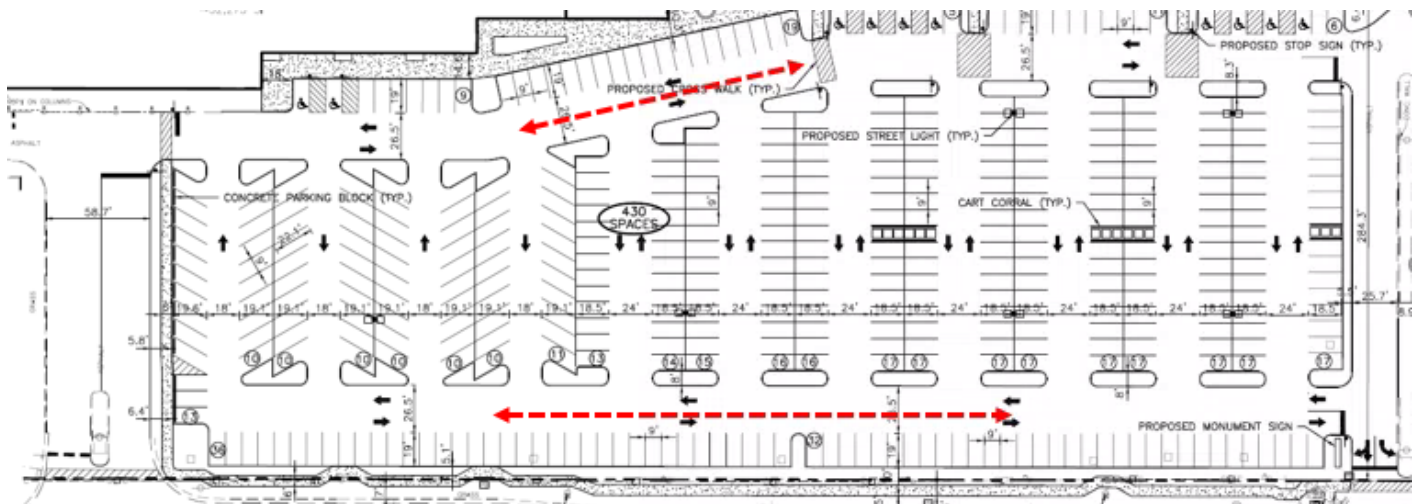
### Proposed Site:



**Parking Layout.** The major changes in the site plan occur in the parking field. The graphic above reflects the main parking lot between the north access from Harlem Avenue and the access at 161<sup>st</sup> Street. The design of the parking aisles has changed from all one-way diagonal parking to now be only diagonal (60°) for the first four (4) north aisles with the balance as traditional perpendicular spaces. The western line of perpendicular parking remains the same as the existing configuration as do all access points to the center from adjacent roadways.

With the demolition of the portion of the building as noted in the aerial photo above, the drive aisle that fronts the in-line stores has changed significantly. This offers the opportunity to create some perpendicular parking spaces along the front of the building. This not only provides a traffic calming measure for the access aisle but it also creates a more pedestrian friendly character for the center, reminiscent of traditional downtowns and a common design element in new life style centers (Bolingbrook Promenade). It also provides additional convenient parking and safer accessible parking spaces. Cross walks have been provided at strategic locations as well as cart corrals.

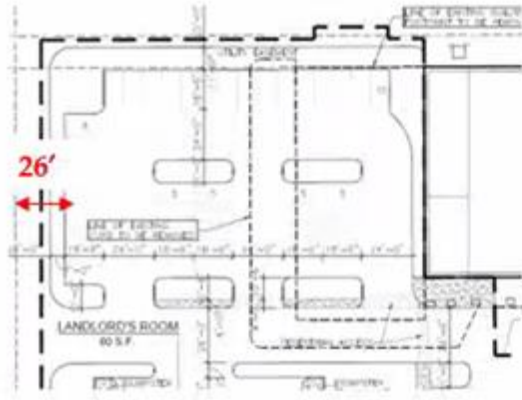
The Village code requires 26' drive aisles in parking lots. The main aisles in the plaza have been designed at 26.5' as noted by the red arrows below. The diagonal parking aisles are 18' as required by code. The aisles in the north parking lot are 26' or greater. The remaining aisles are noted as 24' wide. The Village has approved parking aisles at 24' in other developments such as Sam's Club, Marriott hotels and the Brixmor outlots; none of which have proven problematic to traffic flow. Meeting the 26' requirement code will result in loss of parking and landscape buffers. If the Commission supports this change it will need to be noted as an exception to the Village Code as part of the PUD.



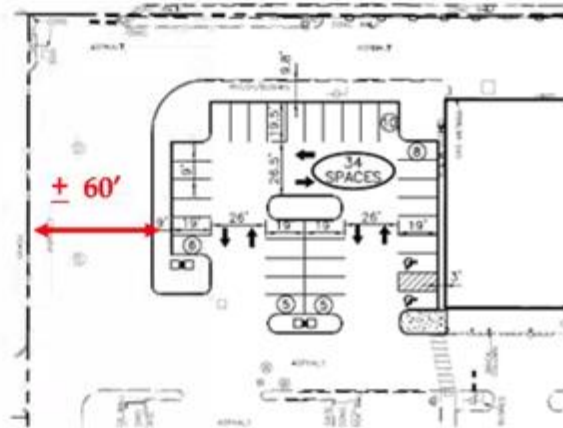
***Open Item #1: Discuss the exception to the required 26' aisle width noted in several areas of the parking fields. If supported by the Commission this will be noted as an exception to the PUD.***

There is also a proposal for changes to the parking field at the north end of the plaza. This lot was revised as part of the north outlot development project (Phase I), however the developer has noted issues with the turning radius and the frequent occurrence of trucks driving over the landscape islands. The trucks have created ruts in the landscaping (see photos below). The proposed layout will enable the turning radii without damage to the landscape areas.

While staff supports some modification to this area to remedy the damage to the landscape area and awkward drive aisle transitions, the width of the east-west aisle is excessive and results in an unsafe transition for vehicles traveling west or east as the aisle increases from the existing 26' wide aisle to over 60'. Staff has recommended the engineers revise this section and the corner radius to minimize driving over the curb. The current proposal also results in a loss of 8 parking spaces.



Existing  
North Lot

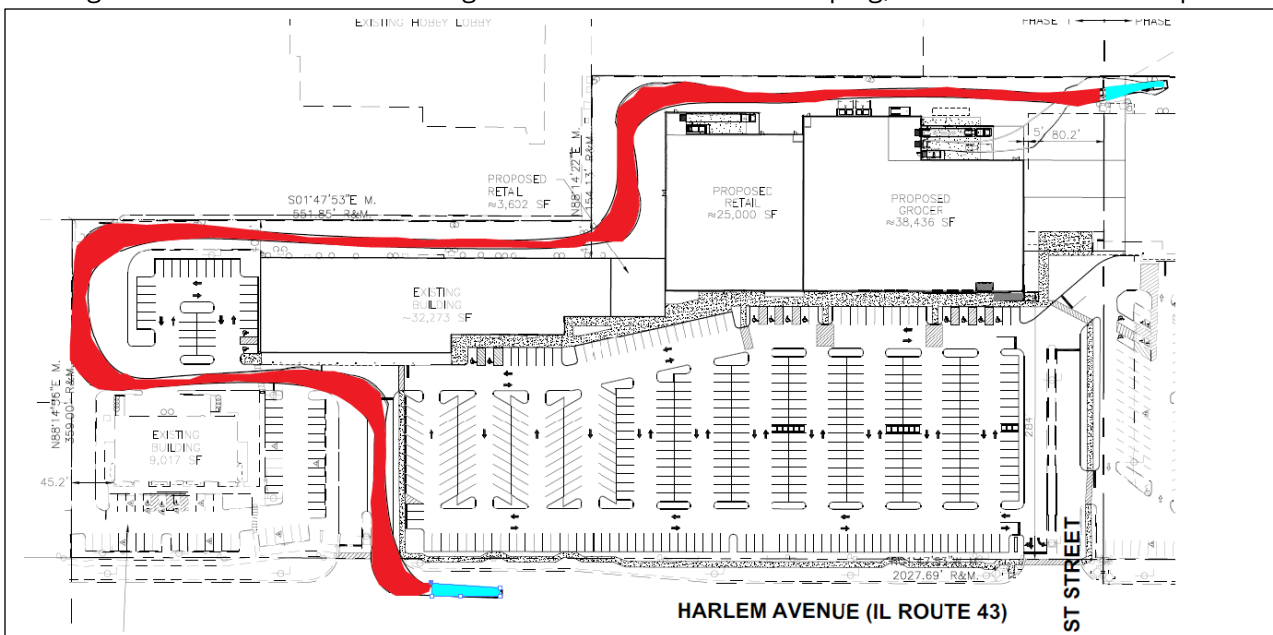


Proposed  
North Lot



**Open Item #2: Revise configuration of east-west access lane to better define and distinguish truck traffic from vehicular traffic.**

Delivery access. The east side, or rear of the building currently functions as the delivery aisle for all the tenants. There are multiple access points depending on where the tenant is located and the configuration of the docks. The additional width of the east-west lane on the north side of the property provides the necessary lane width to accommodate these turning movements without running over the curb and landscaping, however Staff has requested further





explanation of how the access lane will be striped to clarify lane usage for vehicular traffic. Staff has also requested the north parking lot be reconfigured to ensure safe access at the northwest corner of the lot. The grocer has provided a truck study that follows the path shown below but does not encroach in on-coming traffic lanes. These plans will be made available prior to the meeting and will be distributed upon receipt.

### ***Open Item # 3: Finalize delivery access***

Truck Delivery Volume and Schedule. The soft goods store anticipates truck deliveries consistent with other soft goods retailers in the center. The grocer also anticipates deliveries similar to the existing grocery store (Walt's). The current estimate of semi truck deliveries is 7 trucks/day.

Pedestrian access. Staff has worked closely with the developer to ensure adequate pedestrian access is provided to and through the site. A 6' sidewalk traverses the site along Harlem Avenue consistent with the sidewalk provided in the outlot. Due to the narrow parkway along segments of the ROW, the sidewalk encroaches on private property in some areas; this was the situation with the sidewalk for the outlot as well. There is also utility poles and fire hydrants in the way of a straight alignment; therefore, the sidewalk has been designed around some of these encumbrances. Those areas where the public walk encroaches onto private property will require a "Sidewalk and Public Access Easement Agreement" consistent with what was approved with the outlot development.

As part of staff's review of the site plan, pedestrian access between Harlem Avenue and the property's internal walkway was requested and provided. Additional depth to the diagonal parking spaces at the north end of the lot compensates for the bumper overhang on to the sidewalk in that area. Wheel stops have also been provided; this will allow for the full width of the 6' sidewalk to be used and avoid bumper overhang. The sidewalk fronting the stores has been increased to a minimum of 10.3' and as wide as 16' in some areas. Crosswalks are provided at strategic locations to assist with safe crossing of drive aisles and traffic calming.

Bike parking has been provided at the southwest corner of the proposed grocery store.

### ***Open Item #4: A "Sidewalk and Public Access Easement Agreement" will be required to be recorded prior to issuance of a certificate of occupancy as a condition of approval.***

Trash enclosures. There are two trash enclosures at the rear of the grocery store. The trash detail indicates ground face "Oldcastle Burnished Finish" CMU enclosure which is a decorative concrete block. Per code (Section III. U.6.j.) trash enclosures must be "screened on three sides by a masonry wall consistent with the architecture and building material for the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel." The proposal meets the intent of the ordinance. There are several existing unenclosed trash enclosures along the rear of the property. (see photos below) Since these are not located in a defined enclosure they are haphazardly strewn throughout the rear delivery lane. As part of the renovation project all dumpsters will need to be enclosed in appropriate enclosures. Staff is recommending this be a condition of the PUD.

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**Open Item #5: All trash receptacles must be located in appropriate masonry enclosures.**

Mobile generator. The proposed site plan indicates a mobile generator located at the rear of the grocer. All mechanical systems and generators must be located as close as possible to the principal structure and must be screened from view per Section III.H.2. The plans do not indicate any screening.

**Open Item #6: Details for the mobile generator screening must be provided.**

Mechanical systems. All mechanical systems must be screened from view. The applicant has provided elevations (north, east and south) showing some of the roof top RTUs. Staff has requested verification that they cannot be seen from public view. A site line study is being prepared and will be presented at the workshop.

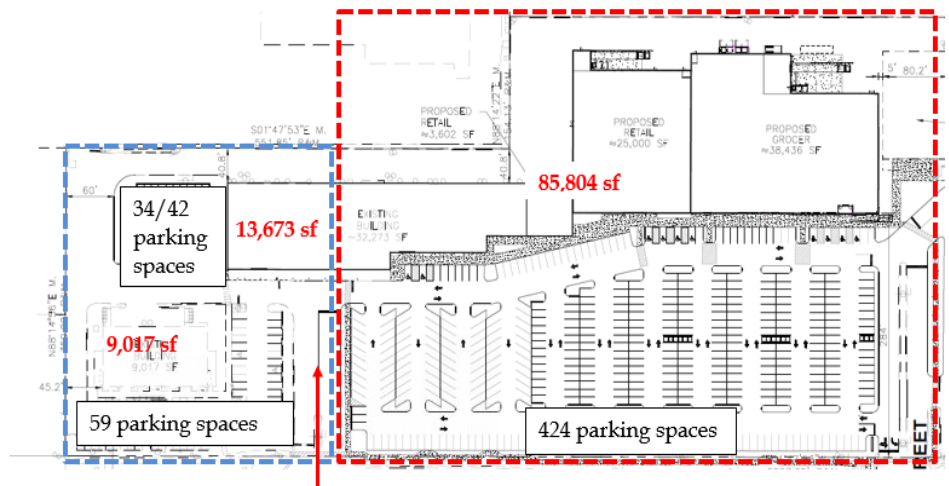
**Open Item #7: Verify rooftop mechanical units are not visible from public view.**

Outdoor Sales Display. The grocer anticipates a need for some seasonal outdoor sales along the frontage of the store and/or in the parking lot. This can be addressed as part of an Outdoor Sales Display Level 1 application which requires administrative approval. Level 1 outdoor sales allows for this temporary use upon administrative approval for seasonal displays between April 15 and October 15. However, the applicant is requesting sales beyond this time frame (for winter holiday displays). This can be provided within the PUD as an exception.

**Open Item #8: Provide for Level 1 Outdoor Sales Display without limitation to the time of year as an exception in the PUD.****PARKING**

Parking is an imperfect science and zoning ordinances do their best to assign ratios based on the average intensity of the uses. In a large multi-tenant plaza such as TPP there are many shared parking opportunities as well as a wide range of intensity of uses amongst its tenancy. The original Tinley Park Plaza PUD was approved with 200,365 sq. ft. gross leasable area and 929 parking spaces resulting in an overall parking ratio of 4.64 parking spaces per 1,000 sq. ft.

of gross leasable floor area for the entire plaza. There are several parking fields separated by access drives for this shopping center; the 4.64 ratio represents an overall ratio regardless of land uses or physical relationship between parking field and destination. Staff has provided an analysis of parking fields divided by the access drive on the north. This assumes that the parking surrounding the outlot has little utility for the in-line tenants south of the access drive especially since the north parking lot can provide parking for the most northern in-line tenant(s). It is also important to note that the introduction of a grocer in this phase shifts some of the parking load from the south parking field (south of the 161<sup>st</sup> Street access) to this phase. As with most grocers there are expectations by the tenant for a certain parking ratio; the developer has stated that the grocer is looking for a 4.5/1,000 sq. ft. ratio to serve their grocery store.



There are 424 parking spaces in the parking field south of the north access drive serving approximately 85,804 sq. ft. of retail space. This translates to a **4.94/1,000 sq. ft.** ratio which exceeds the grocer requirement of 4.5/1,000 sq. ft. There are 59 spaces surrounding the outlot and with the proposed revisions to the north lot there are 34 spaces for a total of 93 parking spaces to serve approximately 22,690 sq. ft of retail space. This translates to a ratio of 4.09/1,000 sq. ft. This is less than the 4.64 ratio approved originally for the center; the decrease is due to the loss of the 8 parking spaces in the north lot. Staff anticipates a redesign of the north parking lot which should maintain the existing number of parking spaces which will increase the ratio to 4.45/1,000 sq. ft. which is more closely aligned with the original 4.64 ratio approved with the original plaza.

Analyzing the parking for this entire area (Phase I & II) results in a total provision of 517 spaces as proposed or 525 spaces if the north lot is revised. The total square footage of retail is 108,494 sq. ft. for a total overall ratio of **4.76/1,000** sq. ft. or **4.83/1,000** sq. ft., both of which exceed the original approved ratio for the center of 4.64 parking spaces per 1,000 SF. As a point of comparison, the Zoning Ordinance requires 6.5 spaces per 1,000sq. ft. of gross leasable floor area for a planned shopping center. However, that ratio dates back to the 80's and 90's .By today's standard this is excessive and is based on 'the day after Thanksgiving' parking counts. If the current standard is applied to this center, a total of 705 parking spaces is needed just for this phase—or 180 additional parking spaces. It is staff's contention that retail locations are often 'overparked' resulting in seas of asphalt that are mostly unused and result in high energy, development and environmental costs. As society continues to trend to more efficient modes of travel and less car dependent shopping patterns, it is Staff's opinion that the relationship and proximity of parking to the uses, along with a balance of green space and good circulation patterns, translates to an appropriate parking ratio as proposed. As an exception to the code it will however still need to be noted as part of the PUD approval.

***Open Item #9: Identify the parking ratio as an exception to the Village parking requirements.***

## **ARCHITECTURE**

The existing architecture of Tinley Park Plaza is outdated and in need of significant remodeling. Staff has worked with the applicant to create an updated and modern look with quality materials that reflect some of the characteristics of the newly constructed outlot. The proposed design of the in-line stores and the existing design of the outlot building are compatible and consistent in architectural style, form, height, exterior building materials, fenestration, storefront systems

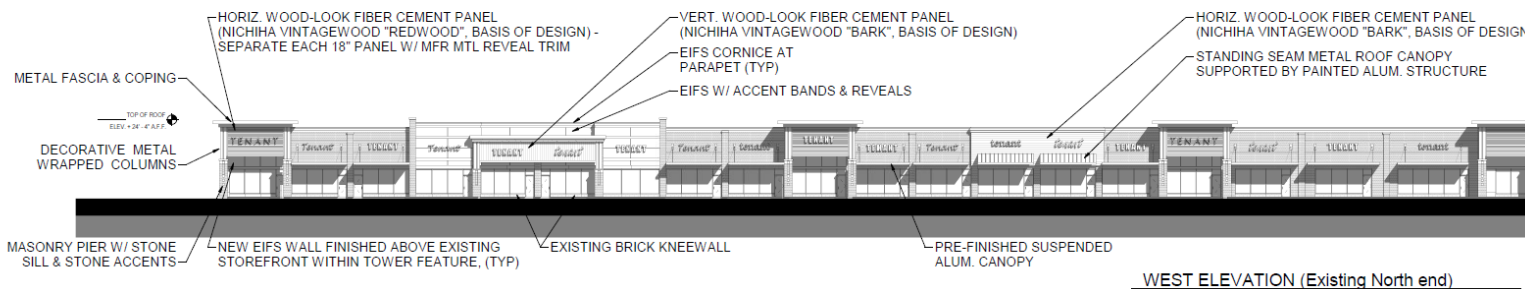




as well as color palettes. The style and building forms, specifically the vertical and horizontal articulation, as seen on the horizontal metal awnings, brick pilasters and stepped tenant facades, promotes continuity between the in-line and outlot stores. Traditional aluminum storefront entry and glazing systems exist on both buildings. In addition, they are of similar height and both use similar exterior materials such as brick, stone accents, and EIFS. The brick veneer, decorative modern wall lighting and earth-tone EIFS colors help create consistent façade treatments throughout the site.

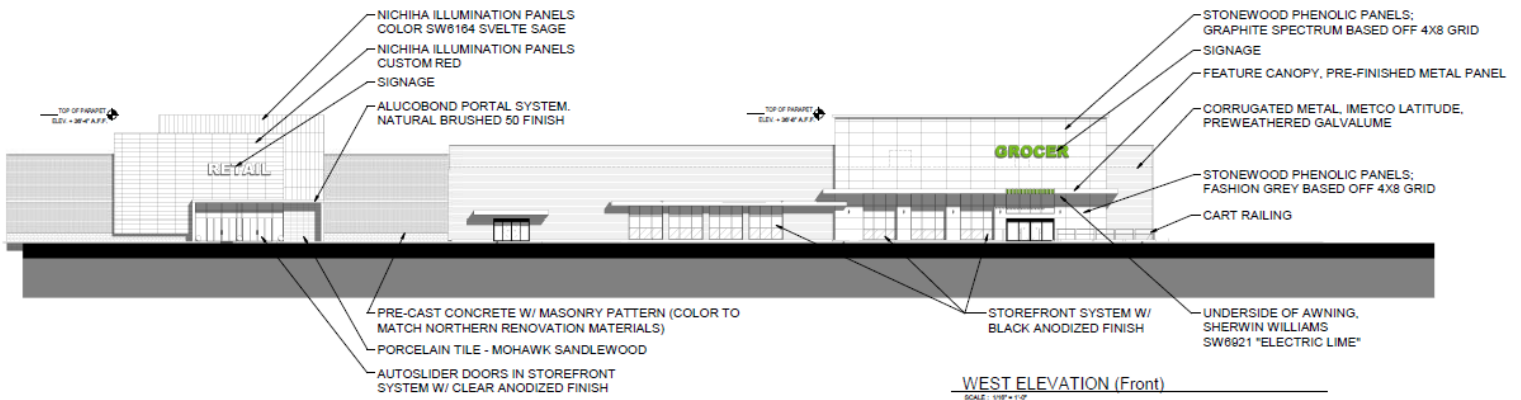


For the proposed building size, the code requires that 25% of the building façade utilize face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material. Alternate building materials can comprise no greater than 15% of any façade. The proposed façade of the in-line store retains the existing brick knee wall and introduces a combination of brick, horizontal wood-look fiber cement panel, stone and EIFS accent bands and reveals. The façade includes accents of suspended metal canopies and standing seam metal roofs in strategic locations.



The two larger lease spaces at the south end of this phase deviate from the in-line tenant architecture to reflect some of the unique branding of the future soft goods retailer and grocer. While distinct in style, they maintain an aesthetic connection to the rest of the center through the sleek modern look of the building materials which reflect an architectural style with appropriate scale, massing and height. The soft goods tenant utilizes pre-cast concrete with a masonry pattern with porcelain tile accent areas near the entryway. The large scored panels at the entryway provide a backlit illumination panel that provides a dramatic effect in evening hours. The alucobond portal system pronounces the entryway with a distinguished brushed metal finish. The grocer also utilizes Stonewood phenolic panels (cementitious panels) in grey with corrugated metal and “electric lime” banding under the awnings for a striking

yet understated accent. These materials represent a new trend in building materials that are durable, cost effective and modern in aesthetic.



The percentage of the building materials for the overall west façade is reflected below. It does not meet the 25% brick requirement (16% is brick or stone) or the 75% alternate masonry material (13% is pre-cast). A total of 15% of the façade can be used for architectural accents. There are several building material types listed that are not masonry that comprise 71% of the façade. These materials are listed as approved alternated materials (fiber cement, metal, phenolic panels, EIFS and tile) and are typically used as accents and therefore are limited to 15% of the façade. In the proposed architecture some of these materials represent the primary façade treatment (such as metal or phenolic panels) and therefore necessarily exceed the 15% that was designed for accent treatments. The use of these 'accent materials' (fiber cement, phenolic panels and metal represent a modern architectural style to the façade. The pre-cast concrete panel meets code requirements with its masonry pattern and constitutes less than 15% of the façade (13% is proposed).

WEST ELEVATION MATERIAL PERCENTAGE		
MATERIAL	AREA	% OF (TOTAL-GLASS)
BRICK/ STONE	2940 SQ. FT.	16%
PRE-CAST WITH MASONRY PATTERN	2310 SQ. FT.	13%
FIBER CEMENT	3517 SQ. FT.	19%
METAL	5385 SQ. FT.	29%
PHENOLIC PANELS	2775 SQ. FT.	15%
E.I.F.S.	1251 SQ.FT.	7%
PORCELAIN TILE	156 SQ. FT.	1%
TOTAL - GLASS	18,314 SQ. FT.	

Overall the west façade of this renovation phase is consistent with the design guidelines outlined in Section III.U. which requires attention to cohesive building design through the use of architectural style and building materials; compatible architecture with appropriate rhythm along the entire length of the façade in terms of scale, massing and setback; building articulation by introducing opportunities for shadow patterns with varied setbacks and canopies; and the screening of mechanical systems and trash enclosures.



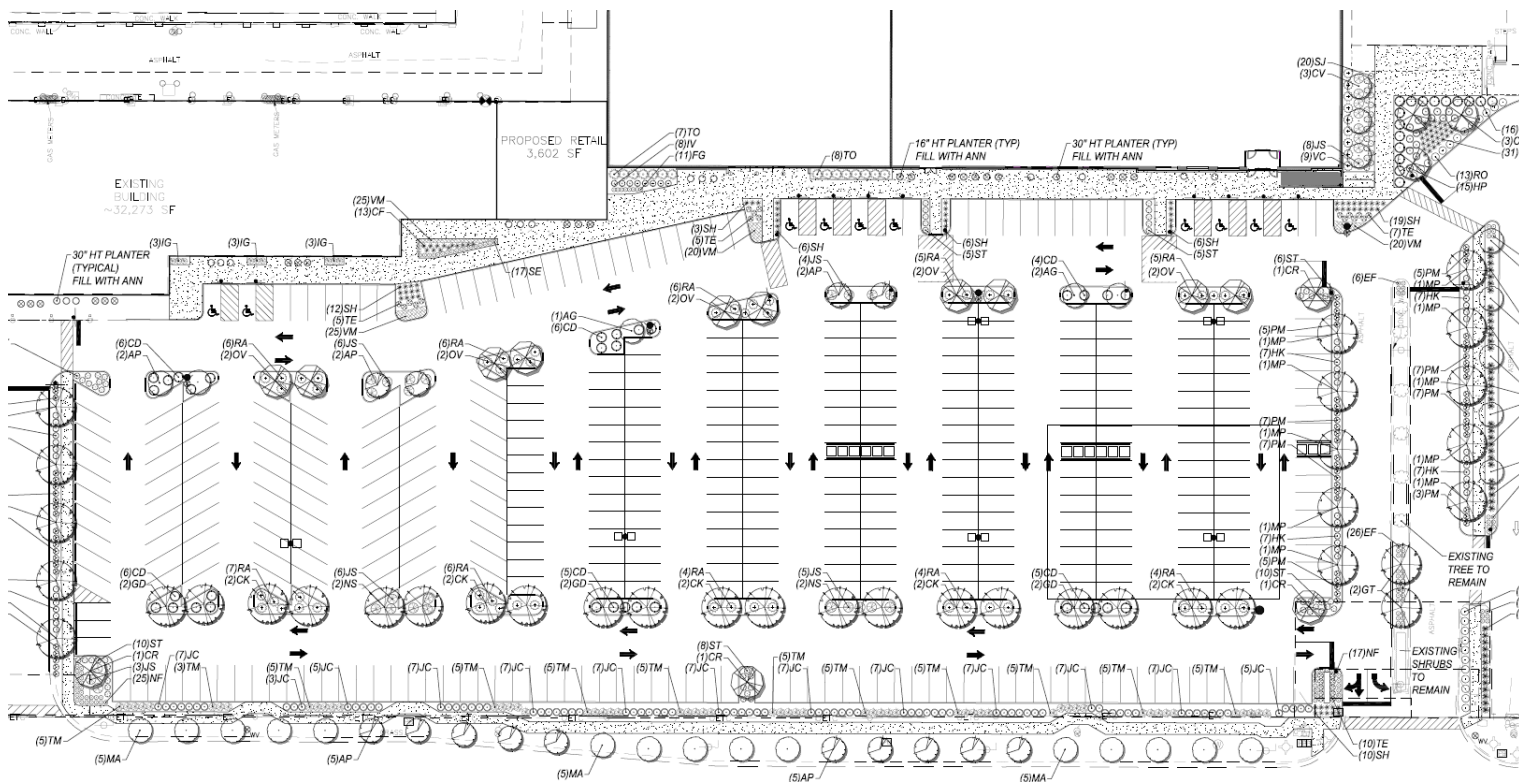
**Open Item #10: Discuss the appropriateness of the proposed building materials; identify any deviation from code as an exception to the PUD.**

## LIGHTING

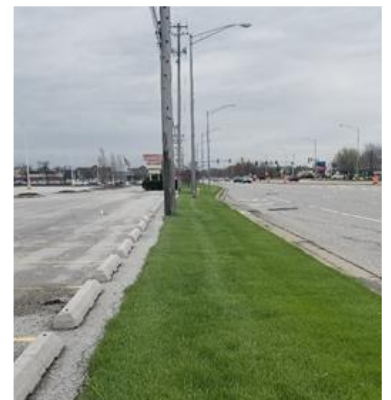
A Photometric Plan has been provided that provides light readings for the property as well as cut sheets for the selected light fixtures and standards. The light fixtures limit off-site glare and are consistent with lighting established in the outlot. The parking field in front of the grocer represents the highest footcandles; the readings at the majority of the property line meet ordinance limits of 2 footcandles. The tallest light standard is 40' which is consistent with existing poles in the parking lot. The maximum height allowed per ordinance is 25'. If the Commission approves this height variation it will be noted as an exception in the PUD ordinance. There are flood lights highlighting the front of the grocery store.

**Open Item #11: Identify the height of existing and proposed lighting standards as exceeding code limits of 15'.**

## LANDSCAPING



The proposed landscape plan represents an improvement over existing conditions. Attempts have been made to meet landscape requirements especially with respect to bufferyards. Staff has prioritized entryways and foundation planting with a sensitivity to retain viewsheds from Harlem Avenue. With the increased sidewalk and pedestrian friendly character along the front façade, low accent plantings and movable planters have been prioritized here that will animate the sidewalk zone. While most of the areas in front of the in-line tenants and soft goods store have included planting beds the area in front of the grocery store is provided with only movable planters; permanent planting beds are required to meet code requirements. All foundation planting beds must have a curbed edge to retain mulch.







### HARLEM AVENUE FRONTAGE

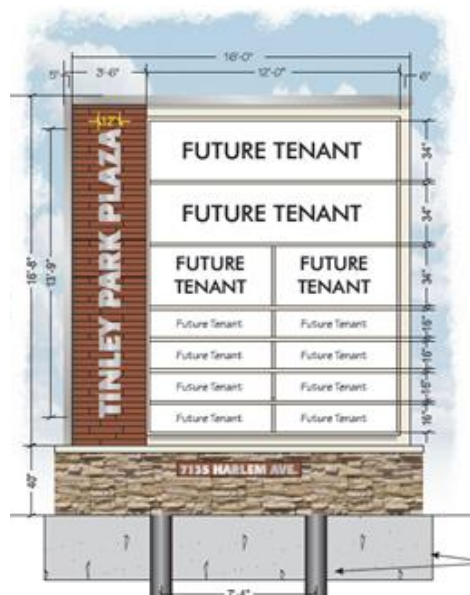
Due to the limited parkway area along Harlem Avenue and constraints of the existing parking field/access configuration, staff supports increasing the size of shade trees from 2.5" cal. to 4" as a means to mitigate the deficiencies in bufferyard plantings; this will also provide for a more instant dramatic impact. The bufferyard for the east property line is accomplished with the existing solid wood fence. Any deficiencies in the fence will need to be corrected as a condition of PUD approval. All parking islands have been increased from the original proposal to a minimum width of 3.5' with many meeting the 9' width requirements. All planting areas will be irrigated; planting areas along the foundation will be required to have couplers to allow for easy irrigation of movable planters.

**Open Item #12: The fence at the east property line must be in good repair as a condition of the PUD. Discuss the recommendation for additional foundation plantings in front of the grocer.**

### SIGNAGE



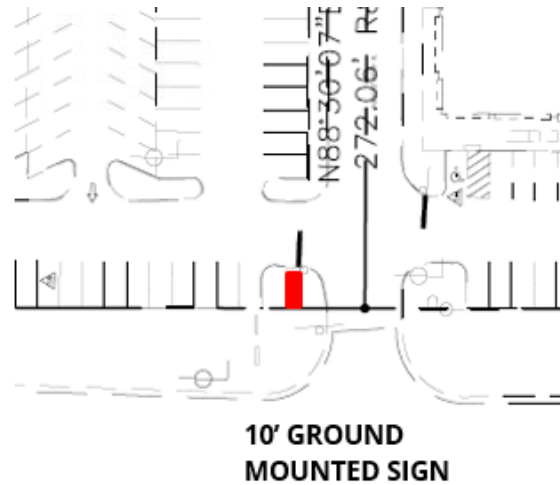
Currently there are 4 ground mounted signs on the property. The main pylon sign (as pictured to the left) located at the 161<sup>st</sup> Street access, will be removed and replaced with a 20' multi-tenant sign (picture below) ground mounted sign. The maximum height allowed for ground mounted signs is 10'; however, there is precedent for a 20' tall free-standing sign for the shopping center across the street. This exception will need to be recognized as part of the PUD approval.



The overall frontage of the plaza exceeds 1,000 l.f. and therefore is allowed three (3) freestanding signs directly adjacent to the public frontage. Currently there are four (4) freestanding signs on the property. With the three signs proposed as part of this phase, the Walt's

freestanding sign will need to be removed as part of the terms of their lease. This will be made a condition of the PUD.

Free-standing signs must be set back a minimum of ten feet (10') from the property lines and shall not obstruct clear sight triangles near intersections. The proposed 20' ground mounted sign and the 10' ground sign at the south end of the plaza do not meet these requirements. The 20' sign cannot meet the required setback without closing the access from the parking lot to the 161<sup>st</sup> Street access therefore this exception will need to be noted as part of the PUD approval. The same configuration exists for the 10' sign at the south end of the plaza and will also require an exception. The 10' ground sign at the north entrance from Harlem does meet the 10' setback requirement.



The applicant has been encouraged to submit a comprehensive sign package for wall signs however one has not been submitted and therefore will not be approved as part of the PUD

**Open Item #13: Consideration of an exception for the height of the 20' ground sign and the 10' required setback for the 20' and the 10' ground sign at the south end of the center.**

## ENGINEERING-FIRE

Preliminary engineering is still under review. Fire Department has approved the proposed plans.

**Open Item #14: Condition approvals on engineering approval.**

## RECOMMENDATION

The following open items are recommended for discussion at the workshop:

Open Item	Recommended Action
#1	<b>Discuss the exception to the required 26' aisle width noted in several areas of the parking fields. If supported by the Commission this will be noted as an exception to the PUD.</b>
#2	<b>Revise configuration of east-west access lane to better define and distinguish truck traffic from vehicular traffic.</b>
#3	<b>Finalize delivery access.</b>
#4	<b>A "Sidewalk and Public Access Easement Agreement" will be required to be recorded prior to issuance of a certificate of occupancy as a condition of approval.</b>

<b>#5</b>	<b><i>All trash receptacles must be located in appropriate masonry enclosures.</i></b>
<b>#6</b>	<b><i>Details for the mobile generator screening must be provided.</i></b>
<b>#7</b>	<b><i>Verify rooftop mechanical units are not visible from public view.</i></b>
<b>#8</b>	<b><i>Provide for Level 1 Outdoor Sales Display without limitation to the time of year as an exception in the PUD.</i></b>
<b>#9</b>	<b><i>Identify the parking ratio as an exception to the Village parking requirements.</i></b>
<b>#10</b>	<b><i>Discuss the appropriateness of the proposed building materials; identify any deviation from code as an exception to the PUD.</i></b>
<b>#11</b>	<b><i>Identify the height of existing and proposed lighting standards as exceeding code limits of 15'.</i></b>
<b>#12</b>	<b><i>The fence at the east property line must be in good repair as a condition of the PUD. Discuss the recommendation for additional foundation plantings in front of the grocer.</i></b>
<b>#13</b>	<b><i>Consideration of an exception for the height of the 20' ground sign and the 10' required setback for the 20' and the 10' ground sign at the south end of the center.</i></b>
<b>#14</b>	<b><i>Condition approvals on engineering approval.</i></b>

## LIST OF REVIEWED PLANS

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Submitted Sheet Name		Prepared By	Date On Sheet





Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☐ Special Use for: \_\_\_\_\_
- ☒ Planned Unit Development (PUD) ☐ Concept ☒ Preliminary ☐ Final ☒ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for \_\_\_\_\_
- ☐ Annexation
- ☐ Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_
- ☐ Plat (Subdivision, Consolidation, Public Easement) ☐ Preliminary ☐ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Tinley Park Plaza Redevelopment Project

Project Description: See attached Exhibit A

Project Address: 7135 Harlem Avenue Property Index No. (PIN): 28-19-100-057 and -058

Zoning District: B-2 Lot Dimensions & Area: 513' x 2,207' (approx.); 962,

Estimated Project Cost: \$ \_\_\_\_\_

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Centro/IA Tinley Park Plaza, LLC Company: c/o Brixmor Property Group

Street Address: 8700 West Bryn Mawr Avenue; Suite City, State & Zip: Chicago, IL 60631

E-Mail Address: Andrew.Balzer@brixmor.com Phone Number: [REDACTED]

**APPLICANT INFORMATION**

- ☒ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: ANDY BALZER Company: BRIXMOR PROPERTY GROUP

Relation To Project: PROJECT DIRECTOR, RE/DEVELOPMENT

Street Address: 8700W. BRYN MAWR AVE.; SUITE 1000-S City, State & Zip: CHICAGO, IL 60631

E-Mail Address: andrew.balzer@brixmor.com Phone Number: [REDACTED]



VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize N/A (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: N/A

Property Owner Name (Print): N/A

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): Andy Balzer for Centro/IA Tinley Park Plaza, LLC

Applicant Signature:  
(If other than Owner)

Applicant's Name (Print): Andy Balzer for Centro/IA Tinley Park Plaza, LLC

Date: April 10, 2020



## VILLAGE OF TINLEY PARK, ILLINOIS PLANNED UNIT DEVELOPMENT (PUD) ADDENDUM

### APPLICATION & SUBMITTAL REQUIREMENTS

The following information is being provided in order to assist applicants with the submission of **Planned Unit Development (PUD)** plans and support documentation for staff review prior to placement on a Plan Commission agenda or meeting. A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete, it may delay and review or hearing of the materials until a complete application package is received. Submittal requirements may be modified based upon the particular nature and scope of the specific request.

Section VII of the Zoning Code details the purpose, procedures, submittal requirements and standards that must be met to receive different levels of approval for a Planned Unit Development (PUD). Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements and receive some preliminary feedback on concept plans prior to making a submittal.

- ☒ Schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, and explain the difference between concept, preliminary and final approval.
- ☒ General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- ☒ Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied. All beneficiaries of a property must be disclosed. **TITLE POLICY TO BE SUBMITTED SEPARATELY**
- ☒ A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on all existing and proposed uses, densities, expected traffic, differences from existing zoning code allowances, the general nature of the development and how the resulting code flexibility will benefit the Village. **INCLUDED WITH EXHIBIT A.**
- ☒ Preliminary/Final plans in conjunction with the Site Plan checklist (site plan, landscaping, engineering, etc.) and Plat of Subdivision of the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- ☒ Site Plan or interior layout plans that indicate how the property and site will be utilized.
- ☒ Responses to all Standards and Criteria for Planned Unit Developments (PUDs) on the following page (can be submitted along with the narrative, but all standards must be covered). **INCLUDED WITH EXHIBIT A.**
- ☒ Additional PUD standard responses based on if the PUD is residential, commercial, or industrial. Please respond to the appropriate PUD standards and criteria in section 7-C of the zoning code on a separate page. **INCLUDED WITH EXHIBIT A.**
- ☒ \$500 PUD Special Use Hearing fee. **\$500 SITE PLAN REVIEW FEE ALSO INCLUDED (\$1000 TOTAL)**

## **STANDARDS AND CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUD)**

Section VII.C of the Village of Tinley Park Zoning Ordinance establishes standards and criteria for all Planned Developments. In order for a Planned Unit Development to be approved, the Petitioner must respond to and confirm each of the following general provisions by indicating the facts supporting such findings. If a general provision cannot be met, please state the reason and indicate if a variation will be requested for that item. In order to thoroughly respond to the following items, please label and answer each question on a separate page and attach additional pages as necessary. Please provide factual evidence that the proposed Planned Unit Development (PUD) meets the statements below. If additional space is needed, you may provide the responses on a separate document or page.

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village.**

See attached Exhibit A.

- B. The planned development will not substantially injure or damage the use, value and enjoyment of the surrounding property nor hinder or prevent the development of surrounding property in accordance with the land use plan of the Village.**

See attached Exhibit A.

- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated.**

See attached Exhibit A.

- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police and fire protection.**

See attached Exhibit A.

- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer.**

See attached Exhibit A.

- F. The street system serving the planned development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the planned development will be adequate to serve the residents or occupants of the proposed development.**

**See attached Exhibit A.**

- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities or common open space, the developer shall provide and submit as part of the application the method and arrangement whereby these private facilities shall be operated and maintained.**

**See attached Exhibit A.**

- H. The general development plan shall contain such proposed covenants, easements and other provisions relating to the bulk, location and density of residential buildings, non-residential uses and structures and public facilities as are necessary for the welfare of the planned development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the land owners within the development.**

**See attached Exhibit A.**

- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion.**

**See attached Exhibit A.**

- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.**

**See attached Exhibit A.**

## **EXHIBIT A**

### **CENTRO/IA TINLEY PARK PLAZA, LLC PLANNED UNIT DEVELOPMENT APPLICATION**

#### **PROPERTY PROJECT DESCRIPTION**

Centro/IA Tinley Park Plaza, LLC, a Delaware limited liability company (the “Applicant”) is seeking approval of a project site plan and planned unit development for the property commonly known as the Tinley Park Plaza Shopping Center at 7135 South Harlem Avenue (the “Property”). The Property is a rectangular-shaped, approximately 962,000 square foot (22.08 acres) parcel that is zoned B-2. The Property is currently improved with an approximately 248,000 square foot shopping center that was built in 1987. The shopping center is comprised of one large, in line building and several out parcels. Service, restaurant and retail tenants ranging from about 800 square feet to 39,000 square feet occupy the center.

Faced with significant existing and prospective vacancies, the Applicant proposes to undertake a major capital investment in the Property. The work includes demolition of approximately 87,000 square feet of existing buildings on roughly the north half of the shopping center, the construction of the core and shell of a new space to accommodate an approximately 38,500 square foot grocery tenant, an approximately 25,000 square foot retail tenant, approximately 3,600 square feet of spec tenant space and certain general center improvements (façade, landscaping, and parking lot upgrades and rehabilitation) (the “Project”). The Project budget is about \$21 million. Provided that the Applicant is able to secure tax increment financing assistance from the Village and secure all necessary approvals, the Applicant intends to commence the Project in Q3 2020, deliver the core and shell space to the grocer and retail tenants by Q1 2021 and complete the remaining improvements by Q2 2021.

#### **REQUESTED DEVIATIONS**

In furtherance of the Project, the Applicant is seeking four deviations from the Zoning Ordinance as part of its request for approval of a planned unit development. First, the Applicant is seeking approval of 24 foot drive aisles instead of the 26 foot required drive aisles. Second, the Applicant is seeking, on behalf of its grocery tenant, approval of a Level 3 Outdoor Sales Display. Third, the Applicant is seeking, on behalf of its grocery tenant, approval of outdoor collection/storage lockers to facilitate customers’ pick up and return of merchandise. Finally, the Applicant is seeking a reduction in landscaping coverage of the site from the required 10% to 6%.

#### **ADHERENCE TO STANDARDS FOR A PLANNED UNIT DEVELOPMENT**

The Applicant meets that standards for approval of a planned unit development for the Property as follows:

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the

purpose and intent of this Ordinance and with the Comprehensive Plan of the Village.

*The Property is greater than five acres and is under the single ownership and control of the applicant, Centro/IA Tinley Park Plaza, LLC.*

- B. The planned development will not substantially injure or damage the use, value and enjoyment of the surrounding property nor hinder or prevent the development of surrounding property in accordance with the land use plan of the Village.

*The proposed Project will not be injurious to the use and enjoyment of other property in the immediate vicinity, and it will not impair property values within the surrounding area. As noted, the Property has been operated as a large, retail shopping center for over 30 years. It is zoned for medium intensity business uses. Surrounding land uses are business and commercial uses. The implementation of the Project will be wholly consistent with nearby land uses and will not adversely affect their use or enjoyment.*

*In addition, the proposed Project will likely enhance property values in the surrounding area. The large capital investment being made here will almost certainly raise the Property's value. That increase should in turn raise the property value of other nearby, similarly improved parcels.*

*Finally, the proposed Project will not impede normal and orderly development in the surrounding area and improvements of surrounding property in accordance with the Village's land use plan. The Property already functions as a retail shopping center which is consistent with the land plan set forth in the Village's 2000 Comprehensive Plan. The Applicant is not substantially increasing the square footage of the shopping center and is not introducing any uses which would be incompatible with surrounding uses. In fact, the rehabilitation of the shopping center will likely further orderly development of surrounding properties as other property owners take advantage of increased retail opportunities in the area.*

- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated.

*The Property is improved with a retail shopping center with a variety of retail, service and hospitality tenants. The Applicant proposes to add a grocery store tenant, national clothing store tenant and unidentified smaller tenants to the center. Both meet a demand for these types of retail services in the Village. In addition, these tenants will attract new tenants to the center based on the high traffic volume they generate.*

- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police and fire protection.

*The existing Property, which has functioned as a shopping center for decades, has more than adequate utilities, drainage and other facilities necessary to operate.*

*The Applicant is making a significant investment in the shopping center which will result in an upgrade of the entire center. Moreover, the changes to the shopping center should not place any greater burden on the Village's police and fire protection services. In fact, because the new improvements are being made in accordance with updated fire codes, the shopping center may place even less of a burden on fire protection services.*

- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer.

*The Applicant has proposed an aggressive, but very achievable, construction schedule for the Project. The Applicant has years of experience with this type of construction, has hired architectural, engineering and other contractors with similarly extensive experience and it will be well positioned to keep the schedule that has been presented to the Village.*

- F. The street system serving the planned development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the planned development will be adequate to serve the residents or occupants of the proposed development.

*The Property has functioned as a large, retail shopping center for decades. The Applicant has consolidated the access points along Harlem Avenue to ensure smooth and efficient traffic flow. The main entrance is under signalized control while the other entrances are located to take advantage of traffic breaks at lights to the north and south. The Applicant is not proposing any significant increases in square footage or intensity of uses. Accordingly, the existing points of ingress and egress should be more than sufficient to minimize any traffic congestion resulting from the shopping center's operations. In addition, the internal layout of the shopping center is already designed to allow for safe and efficient movement of pedestrian and vehicular traffic. With one exception, none of the work proposed by the Applicant will change the layout of the shopping center. In order to ensure that traffic does not back up at the main entrance, the Applicant is extending the center landscape island at the main entrance so that vehicles travelling from the south have to fully enter the property before accessing the parking fields. Finally, the surrounding street system is more than sufficient to handle the traffic generated by the shopping center.*

- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities or common open space, the developer shall provide and submit as part of the application the method and arrangement whereby these private facilities shall be operated and maintained.

*The Property has functioned as a large, retail shopping center for decades. No new private streets, private recreational facilities or common open space are being proposed as part of the Project. As noted above, even though all points of ingress/egress are common driveways, no new driveways are proposed as part of*

*the Project, and the Applicant is in fact improving the main access drive to minimize traffic congestion on Harlem Avenue, particularly from north-bound traffic.*

- H. The general development plan shall contain such proposed covenants, easements and other provisions relating to the bulk, location and density of residential buildings, non- residential uses and structures and public facilities as are necessary for the welfare of the planned development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the land owners within the development.

*The Applicant anticipates that the planned unit development will include provisions regarding the bulk, density and location of improvements on the Property. In addition, the Property is under single ownership and control so no covenants between and among property owners are needed. There are no public facilities on the Property. The Applicant has granted easements to utilities as may be necessary to ensure the necessary services to the Property and its occupants.*

- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion.

*The Applicant suggests that security for the completion of the Project is not warranted under the circumstances. The Applicant is a well capitalized company with extensive construction experience. The Applicant also does not intend to commence construction until it is certain the tax increment financing assistance is available as well as other necessary sources of funding.*

- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.

*The Applicant is code deviations as part of its planned unit development application as described above..*

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**Village President**  
Jacob C. Vandenberg

**Village Clerk**  
Kristin A. Thirion

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**Senior Community Center**  
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May 29, 2020

Mr. Andrew Balzer, Project Director  
Brixmor Property Group  
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Chicago, IL 60631

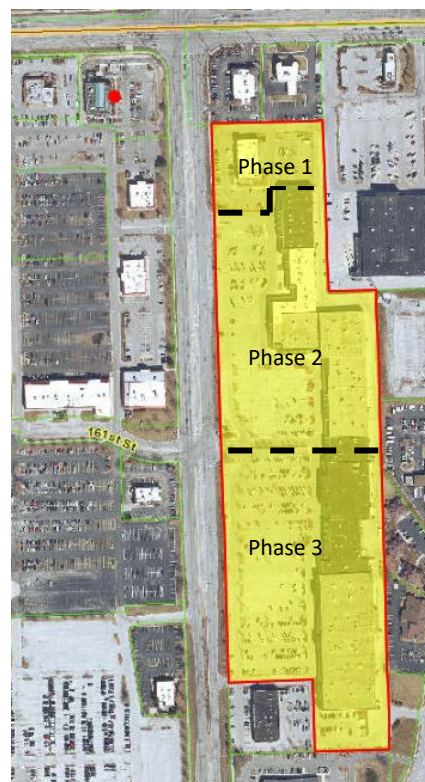
via email  
[Andrew.balzer@brixmor.com](mailto:Andrew.balzer@brixmor.com)

**RE: Staff Review: 15917-16037 Harlem Avenue  
Tinley Park Plaza Redevelopment**

Andrew:

This letter represents the Village's staff's first review of the above-referenced project that was submitted on April 14, 2020. The proposed project includes the demolition of approximately 87,000 sq. ft. of the existing shopping center and the construction of ~63,400 sq. ft. new retail space to accommodate a ~38,500 square foot grocery tenant, a ~25,000 square foot retail tenant, and ~3,600 square feet of spec tenant space. The project also includes façade improvements for the ~33,000 sq. ft. in-line tenant space north of the new construction, parking lot upgrades and landscaping.

The project is part of a phase redevelopment of the parcel with Phase 1 completed in 2015 with the demolition of 7,290 sq. ft. of existing retail space at the north end of the plaza, the construction of a 9,100 sq. ft. multi-tenant retail structure as an outlot and improvements to the parking at the north end of the in-line stores. The current proposal constitutes Phase 2 and the south end of the plaza will complete the project with Phase 3 which may include additional outlots.





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The project will include the approval of a Planned Unit Development with deviations.

The staff review process involves a full site plan review by all appropriate Village departments so that the Petitioner may better understand the various Village codes as they relate to the proposed use as well as any corrections or information that may be needed. Note: The plans are subject to Building Permit and final engineering review following Plan Commission review and Village Board approval; other various Staff comments may arise during Building Permit Review.

Please see the following pages for Staff Review Comments, information about the next steps, and the tentative schedule for meetings and approvals. **Along with the plan revisions, a written reply in the form of a Response Letter must be sent to my attention, addressing all of the items identified below.**

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## ZONING COMMENTS

### Zoning Notes

1. Planned Unit Development/Special Use- The project is an existing retail center constructed in 1987. The Village has erroneously noted the property as a Planned Unit Development (PUD) on the official zoning map and has operated under the assumption of this status for years including the approval of amendments to the PUD as various developments have occurred on the site. Therefore, as part of the zoning entitlement for this property a PUD will be approved, albeit the process and submittal obligations will be abbreviated.
2. Exceptions- The applicant has noted several exceptions to Village Code as part of the proposed plan including:
  - i. Decreased aisle widths
  - ii. Decreased parking space depth
  - iii. Decreased landscape buffers and interior lot landscaping
  - iv. Exterior masonry requirements
  - v. Free standing sign setback

These exceptions will be discussed in further detail under the relevant sections below.

3. In the application there is mention of a need for "Level 3 Outdoor Sales Display" on behalf of the grocery tenant. Please provide more information regarding this request including such information as to what will be displayed, what and where is the area to be located, and what is the time period needed for display. We will be considering this as part of the PUD proposal.
4. There is also mention of the need for outdoor collection/storage lockers. Please provide information on these regarding size, location and an example of what they look like.
5. Cross access and cross parking easements will need to be platted as part of the final plan approval (unless current easements provided adequate coverage in light of the site plan changes).

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## PLANNING

The Community Development Department reviewed the plans and offers the following comments:

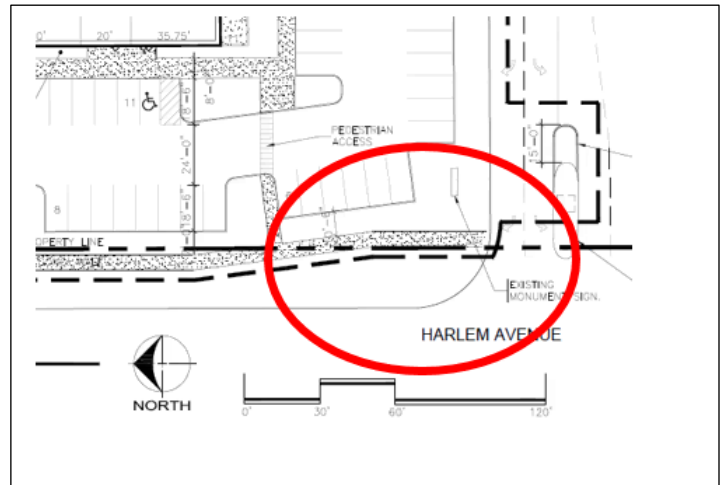
**SITE PLAN** - Site Plan review is subject to the standards listed in Section III.U. of the Zoning Code. Please refer to this section for complete submittal requirements and site design standards.

1. Parking lot design. There has been a significant redesign of the current parking lot for Phase 2. Currently the property functions with a one-way diagonal parking system. The proposed design reflects perpendicular parking yielding a total of 447 spaces. Due to the access from Harlem at the north end of this phase (which provides a separation between the outlot and north end of the in-line tenants) the parking field functionally serves approximately 86,000 sq. ft. of the structure. This results in a parking ratio of  $\pm 5.2$  parking spaces per 1,000 sq. ft. thereby exceeding the 4.5/1000 sq. ft requested by the grocery store. Taking this analysis further and looking at the ratio for the north end of the in-line tenants (14,000 sq. ft.) and adding it to the 9,100 sq. ft of the outlot building with the 101 associated parking spaces (north parking lot and outlot parking) the ratio for this area results in a 4.4/1000 sq. ft. for that portion of the plaza. *The overall ratio on the premises of the combined phase 1 & 2 is 4.8/1000 sq. ft. exceeding the requirements of the grocer.*

The importance of this calculation is the understanding that there will be some loss in parking spaces in Phase 2 as a result of the following:

- a. The north and south ends of this phase which border entry ways need to reflect the landscape requirements for screening of parking areas. A minimum of 7 feet is required to ensure survivability of canopy trees.
- b. The depth of the parking spaces must be 18.5' for perpendicular parking.
- c. The aisle width is required to be 26'.
- d. The west row of parking requires a landscape buffer. No dimensions are provided for these parking spaces. Please provide. Staff questions the utility of these spaces and recommends revising plans to include the landscape buffer required along the west property line and increase the length of the east-west aisles. Staff also questions the utility of the western access from the parking lot to the 161<sup>st</sup> street access. If this access is closed it may yield a few more spaces. If it is to remain open it must meet the 26' requirement.
- e. The minimum landscape island width requirement is 10'.
- f. Please provide a redesign of the parking field to accommodate the issues noted above.

2. Sidewalks: A 6' public walk must be provided in the Harlem Avenue right-of-way. We understand that the parkway narrows toward the north end. The sidewalk will need to come onto private property at that point and a public access easement agreement will be required similar to what was designed for the outlot. (see graphic) Attached is a copy of the agreement for the outlot, that can be modified for this property. A sidewalk will also need to run along the two accessways from Harlem Avenue. Due to the limited area a carriage walk may be considered in these locations. Preference would be to have the walk on both sides of the accessway but we are open to looking at one side as a minimum.



Crosswalks will need to be provided where traffic lanes are crossed Landscaping will also need to be accommodated in this area. The graphic below is provided to illustrate the areas that need sidewalks (dashed lines )as well as to illustrate that we are looking for consistency with the Plaza across the street (arrows) .

3. Internal sidewalks: Per Section III.U.3.d. "the Site Plan provides for the safe movement of pedestrians within the site." The sidewalk fronting the in-line stores as well as the new retail stores must be wide enough to accommodate ADA access and landscaping. The sidewalk in front of the grocery store is only 11'; if outdoor sales area or lockers also need to be in this area the 11' is inadequate. Foundation planting is also required (see landscaping below) in this area and will improve and help animate the sidewalk zone. There are also two pinch points at the corner of where the two new smaller retailers are located. This area is reduced to 7.2'. Staff recommends truncating the corner or rounding it which might also provide opportunities for interesting architecture and better vantage points for the future retailer.
4. Bike parking: Per Section III.U.6.3. "Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways, a crosswalk shall be provided that is distinguished by a different pavement material or color." Areas shall be dedicated for bike parking.
5. Traffic Control Signage/Striping – Traffic control signage and striping such as stop signs, stop bars and cross walks are required to be shown on the plans. Per Section III.T of the Zoning Code, all traffic control devices (signs and striping) on commercial sites shall follow applicable state MUTCD requirements. Details can be included on the site plan or preliminary engineering plans.
6. Truck Turning Template – Fire and delivery truck circulation shall be shown on the plans.
7. Trash Enclosures- Please indicate location of all trash enclosures and compactors as well as specifications noted building material for the masonry enclosure.
8. Cart Corral- Indicate location and size of all cart storage



**ARCHITECTURE-** Architectural Plan review is subject to the design standards listed in Section III of the Zoning Code. Please refer to this section for complete submittal requirements and architectural design standards. Building material requirements are outlined in Section V.C.7.

9. Building Material Samples – Please note that building material samples are required to be submitted with your resubmittal.
10. Exterior Building Materials– The building material types and percentages are not indicated on the proposed elevations. It does appear a variety of materials and while staff is generally supportive of the proposed architecture of the in-line minor tenants the percentage of masonry must be indicated as well as a general listing of all façade materials exclusive of any glazing.

For the proposed building size, the code requires that 25% of the building utilize face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material as defined below.

*MASONRY: Brick, stone, or architectural/decorative concrete block (split face, fluted or smooth). Tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed where brick is required. Pre-cast concrete wall panels are included in this definition provided the structure includes architectural interest through the use of approved alternate building materials, use of alternate colors or scoring patterns as outlined in the Architectural and Site Design Standards.*

Per Section V.C.7.g. the following alternate building materials may be used for architectural treatments, decoration or architectural accents provided they do not constitute more than 15% of any façade:

- (1) Architectural steel
- (2) Stone
- (3) Glass exposed aggregate panels
- (4) Extruded or architecturally finished concrete
- (5) Cast in place concrete
- (6) Wood and engineered wood
- (7) Exterior Insulation Finishing System (E.F.I.S), stucco, or Dryvit
- (8) Fiber cement siding
- (9) Cedar Shingle
- (10) Equivalent or better materials or any combination of the above.

Further section h. states the following materials are not permitted as exterior building materials:

- (1) Adhered masonry veneer shall not be permitted for exterior wall coverings unless used over an existing full-width structurally sound wall assembly.
- (2) Vinyl siding.
- (3) Common concrete block (C.M.U.) or cinder block.
- (4) Aluminum siding.

Please provide a detailed list of how your proposed architecture conforms or deviates from the building material requirements. Overall staff is supportive of the in-line tenant architecture and materials however staff will need to provide information to the Commission/Board on any deviations from Code.

11. In-line tenant Façade: Staff generally supports the proposed architecture however there shall be some consistency with the existing design of the outlot and the Jr. Boxes (to be discusses below). The outlot is located within the same viewshed as the in-line tenants and therefore the architect is encouraged to find ways to provide compatibility between the two façade treatments. This can be accomplished though architectural style, building material, site planning, lighting, signage or landscaping. Per Section III. U. 6. c.: “Where a

*development includes outlots they shall be designed with compatible and consistent architecture with the primary building(s). Site lighting, landscaping, and architecture shall reflect a consistent design statement throughout the development."*

12. Jr. Box Retail Façade

- a. Grocer- staff understands the need to maintain the prototypical architecture of this client. Please provide corrected elevations and rendering per discussion. Percentages for building materials is also required.
- b. Clothing retailer- staff understands the need to maintain prototypical architecture of this client however a quick review of existing stores does not indicate this as a recognized architecture. Except for the use of red there does not appear to be an established design. The proposal provides little architectural detail or articulation of the front façade. This unit functions as the transition between the in-line stores and the grocer. Please refer to the architectural standards in Section III. U. 6. c. :  
*"Compatible Architecture: All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures, and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing, and setback."*

13. North/south facades -As stated in our recent phone call, staff is concerned about the north and south facades. The north façade has high visibility and the elevation offers little visual interest; the south side of the grocery store also provides minimal architectural interest. Both facades may benefit with wrapping the front façade design and materials further along the respective facades. We understand that Phase 3 may abut this south façade of the grocery store however there may be opportunity to carry some of the front façade materials further east along this façade.

14. Mechanical Equipment – No RTU and roof-mounted mechanical equipment are indicated on the proposed plans. All equipment locations shall be shown on the plans and shall be screened from view from all adjacent properties and right-of-ways.

**LIGHTING-**

15. Photometric Plan – The lighting plan is under review. Please ensure the proposed lighting plan conforms with Section V.C.9.e. (Glare). The foot candle lighting levels at property lines must not exceed 2.p horizontal foot-candle.

16. Light Fixture Cut Sheets – The specific building lighting fixtures shall be noted on the plans and the fixture cut sheets supplied. All light fixtures shall be downcast and full-cutoff so that the lighting sources are not visible and minimize glare or light spillage (especially off-site). Staff encourages some uniformity with the existing poles of the outlot unless existing lighting standards are expected to remain. There is opportunity to 'rebrand' the site with new lighting in the parking lot as well as along the façade.

**SIGNAGE-**

17. Wall Signs- No information is provided on the wall signs. See Section IX defines regulations for wall signs. Multi-tenant structures must be placed in accordance with an established center line for all signs. If you plan to conform with these regulations you do not need to provide any further information. If you are seeking an approval of a uniform sign plan please provide. Sign permits are required separate from the building permit or zoning entitlement process.

18. Free-standing Sign – The overall frontage of the plaza exceeds 1,000 l.f. and therefore is allowed three (3) freestanding signs directly adjacent to the public frontage. Currently there are four (4) freestanding signs on the property. Plans have been provide to replace the freestanding sign at 161<sup>st</sup> Street. It is our understanding that the Walts freestanding sign will be removed as part of their lease termination. This will be made a condition of the PUD. The free-standing sign must be set back a minimum of ten feet (10') from the property lines and shall not obstruct clear sight triangles near intersections. If the setback cannot be accomplished with your design proposal it will need to be noted as an exception. The ground sign as proposed is 28 feet in height. The

maximum allowed sign height is 10 feet. There is precedent for a 20' free standing sign across the street. Staff can support a sign of this height. Please note that the background color of a multi-panel sign must be consistent. Font typeface and color are allowed to differ per the tenant's preference.

## LANDSCAPING

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The Village Landscape Architect conducted a review of the plans and offers the following comments. Staff provided the review prior prematurely and prior to staff review. Attached is the area calculations used for the review. Underline/italicized sections indicate changes made by staff:

### ***Compliance with the Municipal Code:***

1. Section 158.07 of the Municipal Code requires a bufferyard on the west and east sides of the subject property. Proposed plantings do not meet Code on the west side; *adjustments to the parking lot layout will be required to meet the intent of the buffer requirements.* The east side appears to include a concrete wall in lieu of the existing wood fence to achieve screening in the east bufferyard.
2. Section 158.14.10 of the Municipal Code requires a 10' wide landscape area to front 70% of the side of all buildings which front dedicated streets (in this case, the west building elevations). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. *Planting areas in strategic areas along the frontage is recommended along with movable pots.*
3. Section 158.14.11 of the Municipal Code requires 1 tree per 10,000 square feet of lot area for commercial development (in this case, ~275,176 s.f.). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings.
4. Section 158.19.2 of the Municipal Code requires parkway plantings at an intensity of 1 tree per 25 feet of frontage. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings.
5. Section 158.20.1(b) of the Municipal Code requires all parking to be screened from the view of adjacent properties and streets by plantings, berming or low fence/wall. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings.
6. Section 158.20.1(i) of the Municipal Code requires at least 15% of the parking lot shall be covered by landscaping. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings.

### ***General Comments:***

7. Plantings should be included on long landscape island on the north side of the entry drive of 161<sup>st</sup> Street. Deficiencies in canopy tree plantings could occur in here, but this islands width would need to be increased to ensure trees survive (ideally, min. of 7' from back of curb to back of curb).
8. Existing trees to be preserved should labeled, and tree preservation techniques should be shown.
9. Foundation plantings are required. If not room for 70% foundation plantings, moveable planters or shade trees (as shown in architectural rendering) could be utilized.
10. Upsizing of plant material may be required to achieve the various deficiencies outlined in Table A below. *Shade*



trees upsized from 2.5" to 4" cal.

11. Details on fence on east property line needed (existing fence, or new fence).
12. If new site signage being installed, details needed in order to properly calculate required plantings. Freestanding sign is required to provide landscaping around the base of the sign equal to two (2) square feet per each one (1) square foot of freestanding sign face area, but in no case shall the total area of landscaping be less than 20 square feet and need not be greater than 200 square feet.
13. Two shrubs in each landscape island looks ineffective. Extra shrubs added to landscape islands could be an opportunity to make up for canopy tree deficiencies that will be difficult to achieve. The islands must be a minimum of 10' in width.
14. The open area at the south end of the proposed grocer has not been provided with any landscape detail. Please provide information as to how this area will be developed.

**Existing Conditions Photographs:**



Gaps in existing street trees (appears trees used to exist but were removed)



Parking to be screened by continuous shrub hedge



Existing parkway trees along Harlem Ave.



Existing trees at entry – tree preservation plan necessary to identify which trees to remain.

**Table A**

Please review the landscape requirements within the following tables. Deficiencies must be addressed in a revised Landscape Plan. Please note the following abbreviations: CT = Canopy Tree, US = Understory Tree, SH = Shrub, T = Tree.

INTERIOR LOT LANDSCAPING REQUIREMENTS				
Location	Requirement	Proposed	Deficit	Comments
Foundation	Landscape coverage along 70% of building foundation that faces public right-of-way; 10' wide landscaped area (442 LF x 70% = <b>310 LF REQUIRED</b> )	0% (0 LF)	<b>-310 LF</b>	
Interior	31 canopy trees (304,810 s.f./10,000 s.f.)	0 CT	<b>-31 CT</b>	

PARKWAY STANDARDS					
Location	Requirement	Required Trees	Proposed Trees	Deficit	Comments
Parkway	1 Tree per 25 Lineal Feet Along Harlem Avenue	25	12 existing	-13	Parkway trees will need to be ornamental trees to avoid overhead utility lines.

PARKING LOT LANDSCAPING STANDARDS				
Location	Requirement	Provided	Deficit	Comments
Parking Lot	15% of parking lot (176,965 s.f.) to be landscaped or 26,545 square feet	10,800 square feet	- 15,745 square feet	Service lane on east side of building <i>not included</i> in total parking lot area.
Parking Lot	Continuous screening of adjacent properties and streets – 620 LF required.	0 LF	-620 LF	Plantings would need to occur in public R.O.W. and require final Village approval
Parking Lot Islands	1 tree and 1 shrub per 200 square feet of island (10,800 s.f.) or 54 CT and 54 SH	42 CT 84 SH	-10 CT +30 SH	

SIGNAGE LANDSCAPING STANDARDS				
Location	Requirement	Provided	Deficit	Comments
Ground-Mounted Signs	2 sq. ft. of landscaping for each 1 sq. ft. of sign face	Unknown / Not Provided	Unknown	Planting details for all signs need to be provided.

## ENGINEERING & PUBLIC WORKS DEPARTMENT

The Village Engineer and the Public Works Department reviewed the plans and offers the following comments:

*After reviewing the Preliminary Site Improvement Plans dated 4/14/2020 and the ALTA/NSPS Land Title & Topographic Survey dated 3/20/2020 for the proposed 1,884 and 25,000 square foot Proposed Retail and 38,436 Grocer building and related*

*site improvements at 15917 South Harlem Avenue by Brixmor Property Groups , LLC. We offer the following comments based on this preliminary submittal:*

1. An MWRD permit for the sanitary sewer connection/improvements and a copy of the previously submitted/approved stormwater management submittal will be required. On-site Volume Control calculations may need to be provided as well based on MWRD requirements. The full MWRD submittal with calculations will need to be provided to the Village. If stormwater detention has previously been provided for this site under a separate permit, any new WMO requirements may need to be met. A copy of the previously approved narrative/stormwater report must be provided by the Developer during final engineering review.
2. Identify if the sanitary sewers are new or existing.
3. Correct the north arrow on Site Plan portion of the Cover Sheet.
4. The maximum ponding depth for site grading shall be 6 inches.
5. All stormwater/drainage for the development shall be maintained or directed within the current limits of the site. As stated above, if it is within the limits of a previously approved development, a copy of the approved stormwater report shall be provided.
6. An IEPA permit will be required for any watermain constructed on-site. Further details will be necessary for any new watermain/service improvements.
7. Only sanitary sewer and water service installations do not require MWRD/IEPA permits. Existing water and sewer services should be shown on the plans. If they are being replaced, sewer services shall be cut and capped at the main and water services shall have the corp stop closed, service line cut on the house side of the corp stop and the line and b-box removed and restored. Tap on fees will be required for new services.
8. Any and all work within State (Harlem Avenue) or County Right of Ways will require submittals, approval and permit acquisitions by the Developer for this work. The Village shall receive copies of all the submittals, coordination letters and the issued permit between the parties.
9. Any construction/reconstruction in flood zones will require submittals, coordination and approval by the Developer with FEMA. The Village shall receive copies of all the submittals, coordination letters and sign-offs between the parties. ALTA/NSPS confirmed this property is not located in floodplain/floodway.
10. New developments will require watermain installations to be looped around the entire site in a public utility easement (minimum 15' width). The connection of the watermain stub shall be shown with a valve in vault where the tap is made. Existing parcel is currently inside complete watermain loop. If new watermain is required, it shall be located in a public utility easement.
11. All public sanitary sewer shall be in public utility easements (minimum 15' width). Existing and proposed sewers appear to be within public utility easements, but final layout will need to be confirmed.
12. The Village requires utility crossings on existing Village roadways not intended to be improved to be directionally bored. If existing utilities will not allow this to occur, any open cutting of utilities across Village roadways will need to be coordinated with the Public Works Department and a Right of Way Permit Application submitted and approved. A cash bond will be required for open cutting the street. See Village Standards for details. This may include open cutting the road half at a time, doing all work during off peak hours or submitting a Detour Plan for review and approval.
13. Sidewalks are required along the right of way line of all parcels abutting public roadways. Sidewalks shall 6' wide.
14. AutoTurn Analysis shall be utilized and provided to confirm the proposed turning radii, access to dumpsters, fire truck movements, etc. are feasible.
15. Street lighting shall be provided for construction of all new roadway/access roadways. The Village LED requirements should be followed.
16. Stop signs shall be installed at all exists to existing roadways.
17. All driveway improvements along roadways where existing or proposed street lights are located, the Village requires a run of 2" rigid conduit be installed under the driveway aprons and extend a minimum of two (2') feet beyond the back of curb on both sides should repairs need to be made to Village street lights.



18. Any staging of the infrastructure will need to be reviewed and discussed with Village Staff.
19. Soil boring/testing analysis shall be provided.
20. Construction details utilizing the most recent version of the Village Standards will need to be included in the final engineering set.
21. All plats will be reviewed at a later date. All public utility easements shall be shown on these plats.
22. An Engineer's Opinion of Probable Construction Costs (EOPCC) shall be provided with the final submittal. This cost estimate will be used to determine the Letter of Credit amount for the project, which shall be 125% of the overall project construction cost.
23. As-Built will be required upon completion of the project and final acceptance by the Village. All public improvements will require a one-year warrantee period.

*NOTE: The purpose of the pre-review is to provide pertinent information to the Developer for consideration in the development of the proposed site. As the detail in the submittal is generally minimal, this review is not intended to grant any type of approval or assumed correctness in the submittal. The responsibility remains with the Developer to demonstrate that all aspects of the plans comply with the Village Standards/requirements, whether stated or not in a conceptual review. Similarly, any acknowledgement from the Developer on previous comments does not mean that the plans actually address the comments. Until such time as detailed information is submitted, the Developer is advised that the submittal is simply a concept of land use.*

## **FIRE DEPARTMENT**

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The Fire Department reviewed the plans and offer the following comments. Many of these comments are notes that can be addressed with the building permit submittal but are being sent to your attention now. The Fire Prevention Bureau has the following comments and requirements.

### **Code References:**

- 2012 International Building Code
- 2012 International Fire Code
- 2010 National Fire Alarm Code
- 2013 NFPA 13 - Installation of Sprinkler Systems
- 2003 NFPA 101 - Life Safety Code.
- 2016 Village of Tinley Park Amended Codes

### **1.0 Site Plans**

- a. Plans are to be submitted for access routes for commercial trucking from the north and south rear access drives to the proposed structures.
- b. The submitted plans detail trash compactors for the proposed grocery store and the mercantile shop. Submit details of any other dumpsters that may impede access for fire service vehicles on the rear access drive.

### **1.20 Fire Lane/Fire Department Vehicle Access**

- a. The fire lane agreement is to be reviewed and revised as necessary.

### **2.0 Fire Protection Equipment**

- a. All proposed installations of fire protection systems must have per the Illinois Professional Engineer Act a technical submittal that establishes the scope and standard of quality for materials, workmanship, equipment and systems. This submission must be submitted for review and approval prior to the issuance of any building permit and must be prepared under the direct supervision and responsible charge of a licensed design professional. Form is attached.

- b. The structures will require an approved fire sprinkler system throughout the building including attics and combustibles concealed spaces. A minimum of three sets of fire protection plans with completed permit application is required. A licensed design professional (licensed engineer or a valid NICET level 3 or 4 certification in fire protection technology) must submit all documents. Submitted documents will be reviewed for code compliance by a third party vendor (International Code Council). Fees for this review will be incorporated into the permit fee.
- c. All underground installations for fire protection must be properly flushed and witnessed by the Fire Prevention Bureau. A completed copy of the Underground test certificate must be submitted to the Fire Prevention Bureau.
- d. Clarification is required on whether the current fire service main will be utilized for the proposed structures or will new fire service mains be installed.
- e. The Fire Department Connection must be an approved 5-inch Storz connection.
- f. Standard fire hydrants shall be provided within 300 feet of all exposed parts of all buildings. Distance between hydrants shall be no more than 300 feet as measured along the street right-of-way (2016 Village of Tinley Park Amended Codes, Section 704.3.c). Fire hydrants located on Harlem Ave. exceed the required distance of 300 feet. It is suggested that fire hydrants be placed in the parking islands near the store.
- g. The proposed concrete wall details will be required to be submitted for review. The proposed wall cannot block or impede use of the fire hydrants located at the rear of the building.
- h. An approved fire hydrant must be within 100 feet of the Fire Department Connection.

#### 2.30 Fire Alarm Equipment

- a. Per Section 707.7 of the 2016 Village of Tinley Park Comprehensive Building Code requires normally occupied structures and buildings to have an approved fire alarm system monitored by the Village of Tinley Park.

### NEXT STEPS & TENTATIVE SCHEDULE

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Please note that all future plan submittals should be coordinated through me for distribution and review. To proceed to the Plan Commission stage, a written reply in the form of a Response Letter must be sent to my attention addressing all of the comments within this Staff Review Letter.

The Response Letter must be accompanied by revised plans. In light of the current COVID-19 situation, please submit all revised plans and the response letter electronically via email (10MB limit), or web upload (*please email me to request an upload link*). The revised plans and the Response Letter must be received by **Noon on Monday, June 9, 2020 to maintain the schedule proposed below**. The Village can adjust the schedule as a result of any changes or issues that may arise during this review process as well.

<b>June 18, 2020</b>	<b>Plan Commission Meeting #1</b> (Introduction to Project)
<b>July 2, 2020</b>	<b>Plan Commission Meeting #2</b> (Public Hearing/Vote)
<b>July 21, 2020</b>	<b>Village Board Meeting #1</b> (First Reading/Introduction to Project)
<b>August 4, 2020</b>	<b>Village Board Meeting #2</b> (Second Reading/Vote on Ordinance).

We will not formally schedule a meeting with the Plan Commission until we receive your Response Letter and a revised submittal that addresses the Staff Review Comments. When a first meeting of the Plan Commission is scheduled,

please be prepared to make a brief presentation to the Commission. Staff will prepare a report about the proposed project which is provided to the Commissioners and to the public via the Village website. A copy of the link to the meeting packet will be provided to all Petitioners on the meeting agenda.

If you have any questions or would like to set up a time for a conference call or to discuss these comments further, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Paula J. Wallrich", with a long, sweeping horizontal line extending to the right.

Paula J. Wallrich, AICP  
Acting Director of Community Development

Attachments

**Village President**  
Jacob C. Vandenberg

**Village Clerk**  
Kristin A. Thirion

**Village Trustees**  
Cynthia A. Berg  
William P. Brady  
Michael W. Glotz  
William A. Brennan  
Diane M. Galante  
Michael G. Mueller

**Village Hall**  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477

**Administration**  
(708) 444-5000  
Fax: (708) 444-5099

**Community Development**  
(708) 444-5100  
Fax: (708) 444-5199

**Public Works**  
(708) 444-5500

**Police Department**  
7850 W. 183rd St.  
Tinley Park, IL 60477  
(708) 444-5300  
Non-Emergency  
Fax: (708) 444-5399

**John T. Dunn  
Public Safety Building**  
17355 S. 68th Court  
Tinley Park, IL 60477

**Fire Department**  
(708) 444-5200  
Non-Emergency  
Fax: (708) 444-5299

**EMA**  
(708) 444-5600  
Fax: (708) 444-5699

**Senior Community Center**  
(708) 444-5150



June 22, 2020

Mr. Andrew Balzer, Project Director  
Brixmor Property Group  
8700 Bryn Mawr Avenue, Suite 1000-ST.  
Chicago, IL 60631

via email  
Andrew.balzer@brixmor.com

**RE: Staff Review: 15917-16037 Harlem Avenue  
Tinley Park Plaza Redevelopment**

Andrew:

Thank you for your submittals dated June 8 and June 11. The revised plans were distributed for review and we offer you the following comments in red:

## ZONING COMMENTS

### Zoning Notes

2. Exceptions- The applicant has noted several exceptions to Village Code as part of the proposed plan including:
  - i. Decreased aisle widths
  - ii. Decreased parking space depth- This will no longer be necessary as you have changed all perpendicular stall depth to 18.5 or greater. The angled parking measures 19 feet- please verify these are 60 degrees (75 degrees require 19.5 feet)
  - iii. Decreased landscape buffers and interior lot landscaping
  - iv. Exterior masonry requirements
  - v. Free standing sign setback
3. In the application there is mention of a need for "Level 3 Outdoor Sales Display" on behalf of the grocery tenant. **Response: This is a typical seasonal sales display, consistent with other grocery stores. It will only be seasonal and located on the sidewalk in front of the building and in the parking lot. The grocery tenant will determine what items will be displayed during the time of sale.** You requested Level 3 outdoor sales display which requires application and Plan Commission review for each display. Level 3 is usually for larger products such as pools, gazebos, swingsets and the like. I think your tenant will be fine requesting a Level 1 Outdoor Sales Display which includes the display of seasonal gardening goods or special sales such as sale of potted plants, mulch, clothes racks or small product display racks. These applications are reviewed administratively with in-house staff. The cumulative area of all level 1 outdoor displays shall not exceed 25% of



the tenant frontage of the tenant space to which the outdoor display area is associated and shall not exceed 10' in height. These are limited to April 15<sup>th</sup>-October 15<sup>th</sup>. If you cannot meet these requirements it would be best to address that now. Please note where this will be located on the plan.

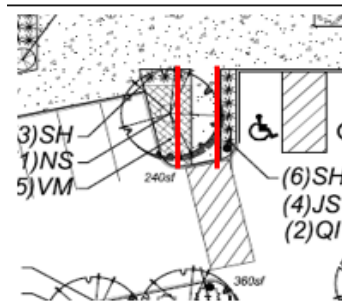
4. ... outdoor collection/storage lockers. If these are to be located outdoors the location must be noted on plan and will be defined as a level 2 and can also be approved administratively. Same rules as a level 1 regarding height and percent coverage of frontage (25%). *they will let me know if outdoor.*
5. Cross access and cross parking easements will need to be platted as part of the final plan approval (unless current easements provided adequate coverage in light of the site plan changes). **Response: This comment has been noted. Cross access easements will be provided separately.** Cross access easements will need to be submitted with this submittal for review. *check into this*

## PLANNING

### SITE PLAN -

#### 1. Parking lot design.

- a. The north and south ends of this phase which border entry ways need to reflect the landscape requirements for screening of parking areas. A minimum of 7 feet is required to ensure survivability of canopy trees. **Response: ...The width of the north landscape island is 11.8' and provides 5.8' of landscape area. The south landscape island provides 5.5' of landscape area. ....however it should be noted that irrigation will be proposed with this project to further support the health of the trees and shrubs.** Staff supports the revision with some minor changes as indicated below. (shift the sidewalk over to the north to increase planting area on the south). We need to keep at least 3.5' in with. The irrigation allows for this deviation. Approvals will be conditioned upon irrigation system – plans must be submitted with permit.



- b. The depth of the parking spaces must be 18.5' for perpendicular parking. **Response: All stall depths are now 18.5' wide** *Verify angled parking meets the requirements (60 degree parking)*
- c. The aisle width is required to be 26'. **Response: The two main access aisles at the east and west sides of the site have been revised to 26' wide, however the interior drive aisles have remained at 24' wide. This is the maximum that they can be to achieve the desired parking ratio and satisfy the tenant parking criteria.** *Staff supports this change*
- d. The west row of parking requires a landscape buffer.... **Response: A minimum 7' wide buffer has been provided at the west side of the property. ...The western access from the parking lot is an existing condition which our client would like to maintain... .Support the change to 7' wide buffer -provided it is irrigated. Support leaving the west access open.**
- e. The minimum landscape island width requirement is 10'. **Response: The minimum width of the interior islands is shown as 8' which is wide enough to accommodate tree growth. Site constraints**

**do not allow for 10' wide islands and as previously mentioned, irrigation will be proposed with the project. Landscape Architect supports the exception provided each island is irrigated.**

2. Sidewalks: A 6' public walk must be provided in the Harlem Avenue right-of-way... and along the two accessways from Harlem Avenue. Crosswalks will need to be provided where traffic lanes are crossed. Landscaping will also need to be accommodated in this area.

**Response: 6' wide sidewalks have been added along the Harlem Avenue right of way and along the two accessways for Harlem Avenue. The sidewalk for the south Harlem Ave accessway is proposed on the south side of the road to avoid impacts to the landscape island. In doing so, 11 diagonal parking stalls for Phase 2 will be removed. Crosswalks have also been added at road crossings as shown on the revised site plan. We acknowledge receipt of the public access agreement for the outlot and will update as required. Sidewalks as proposed are supported. Access agreement to be provided with submittal. Sidewalk at north end will need parking blocks for the 13 spaces in this area to stop cars overhanging the sidewalk.** [revisit](#)

3. Internal sidewalks: Per Section III.U.3.d. "the Site Plan provides for the safe movement of pedestrians within the site." The sidewalk fronting the in-line stores as well as the new retail stores must be wide enough to accommodate ADA access and landscaping. **Response: The sidewalk width in front of the building has been widened to 16.' Additionally, foundation plantings have been added as indicated on the revised Landscape Plan. The pinch point at retailer has been widened to 10', however the building corners have not been truncated and the square corner maintained. These revisions are positive additions to the plan.**

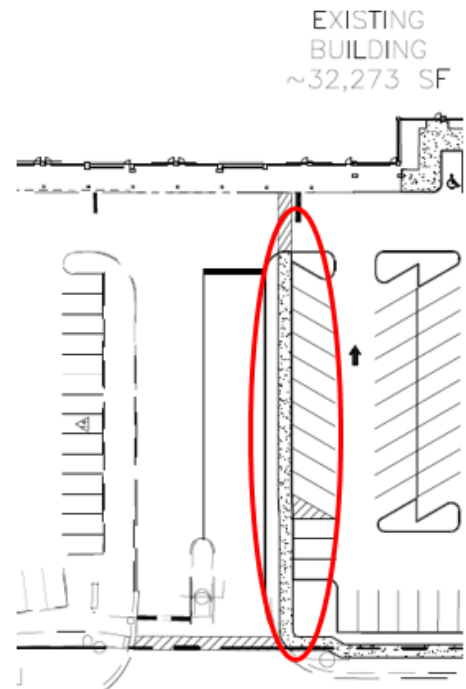
4. Bike parking: ...Areas shall be dedicated for bike parking. **Response: Bicycle parking has been added to the Site Plan at the southwest corner of the proposed Grocery building. So noted.**

5. Traffic Control Signage/Striping – ...Details can be included on the site plan or preliminary engineering plans. **Response: Traffic control signage, stop bars, and cross walk striping have been added to the Site Plan. So noted.**

6. Truck Turning Template – Fire and delivery truck circulation shall be shown on the plans. **Response: A separate exhibit is provided which shows the truck turns. . So noted.**

7. Trash Enclosures- Please indicate location of all trash enclosures and compactors as well as specifications noted building material for the masonry enclosure. **Response: Trash dumpsters (4 total) and compactors (2) are indicated on the east side of the building. These will not be enclosed structures as they are on the back of the building hidden from view. Specifications and building materials are not included. Per code (Section U.6.j. trash enclosures must be "screened on three sides by a masonry wall consistent with the architecture and building material for the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel."**

8. Cart Corral- Indicate location and size of all cart storage. **Response: Cart corral locations are not planned at this time; however, it is anticipated that 4 or 5 will be required. The Commission routinely requests the location of the corrals. I recommend you propose the locations on the plan; if they need to change later we can handle that then. We will need to reflect the true parking count including the corrals.**



## **ARCHITECTURE-**

9. Building Material Samples – Please note that building material samples are required to be submitted with

your resubmittal. **Response:** *Building material samples need to be ordered and will be submitted separately. Staff will need to review this prior to the workshop.*

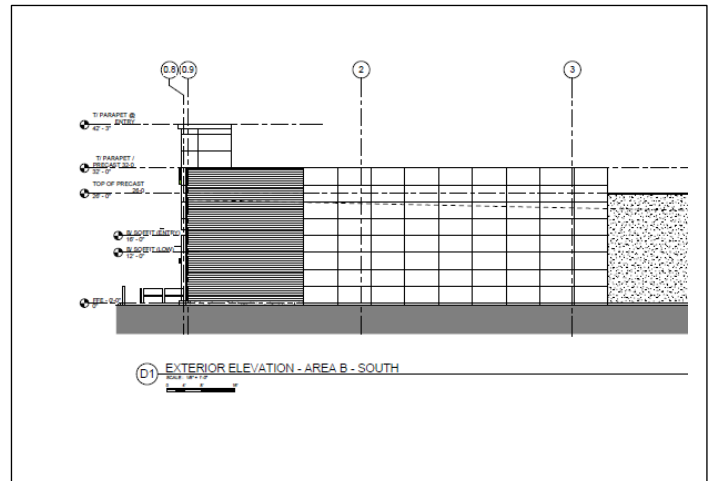
10. Exterior Building Materials – The building material types and percentages are not indicated on the proposed elevations. ...For the proposed building size, the code requires that 25% of the building utilize face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material as defined below. ...Please provide a detailed list of how your proposed architecture conforms or deviates from the building material requirements. Overall staff is supportive of the in-line tenant architecture and materials however staff will need to provide information to the Commission/Board on any deviations from Code. **Response:***Updated elevations with responses to these concerns will be provided under separate cover. Plans received still do not indicate percentages as required by code. Delivered to office .*

11. In-line tenant Façade: Staff generally supports the proposed architecture however there shall be some consistency with the existing design of the outlot and the Jr. Boxes (to be discussed below). The outlot is located within the same viewshed as the in-line tenants and therefore the architect is encouraged to find ways to provide compatibility between the two façade treatments. This can be accomplished through architectural style, building material, site planning, lighting, signage or landscaping. Per Section III. U. 6. c.: *"Where a development includes outlots they shall be designed with compatible and consistent architecture with the primary building(s). Site lighting, landscaping, and architecture shall reflect a consistent design statement throughout the development."* **Response:** *Updated elevations with responses to these concerns will be provided under separate cover. The elevations for the in-line stores has not changed from the first submittal- no updated elevations provided... Please provide information as to how the in-line stores reflect the architecture. building materials of the outlot. We also encourage you to revise the renderings to include the new site plan with wider sidewalks, parking and landscaping. Form cornices pilasters, stone accents color palette complementary. So much linear frontage it helps to break up the monotony. - mimic stone phenolic-stonewood.*

12. Jr. Box Retail Façade

- a. Grocer- ....**Percentages for building materials is also required.**
- b. Clothing retailer- ....The proposal provides little architectural detail or articulation of the front façade. This unit functions as the transition between the in-line stores and the grocer. Please refer to the architectural standards in Section III. U. 6. c. :*"Compatible Architecture: All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures, and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing, and setback."* **Response:***Updated elevations with responses to these concerns will be provided under separate cover. Only the grocer elevation was updated to illustrate its expanded frontage. The new rendering is also not correct in that it indicates a gap at the north end of the clothing retailer. The elevation will be enhanced with more detail including landscaping and parking. Percentages of masonry still required.*  
*Resubmit - they will send new*

13. North/south facades -As stated in our recent phone call, staff is concerned about the north and south facades. The north façade has high visibility and the elevation offers little visual interest; the south side of the grocery store also provides minimal architectural interest. Both facades may benefit with wrapping the front façade design and materials further along the respective facades. We understand that Phase 3 may abut this south façade of the grocery store however there may be opportunity to carry some of the front façade materials further east along this façade. **Response: Updated elevations with responses to these concerns will be provided under separate cover .**



There is limited information provide on these facades. The north façade states information will be provided under separate cover- but not received. It appears the south façade includes a greater 'wrap' of the west architecture and possibly some glazing- but again plans need to be provided. working on north side and south and will send

14. Mechanical Equipment – No RTU and roof-mounted mechanical equipment are indicated on the proposed plans. All equipment locations shall be shown on the plans and shall be screened from view from all adjacent properties and right-of-ways. **Response: Updated elevations with responses to these concerns will be provided under separate cover. Plans not received. will be sending**

#### LIGHTING-

15. Photometric Plan – The lighting plan is under review. Please ensure the proposed lighting plan conforms with Section V.C.9.e. (Glare). The foot candle lighting levels at property lines must not exceed 2.p horizontal foot-candle. **Response:An updated lighting plan has been included which conforms to the Village Code. Noted**
16. Light Fixture Cut Sheets – The specific building lighting fixtures shall be noted on the plans and the fixture cut sheets supplied. All light fixtures shall be downcast and full-cutoff so that the lighting sources are not visible and minimize glare or light spillage (especially off-site). Staff encourages some uniformity with the existing poles of the outlot unless existing lighting standards are expected to remain. There is opportunity to 'rebrand' the site with new lighting in the parking lot as well as along the façade. **Response: An updated lighting plan has been included which conforms to the Village Code. Noted same as the outlot**

#### SIGNAGE-

17. Wall Signs- No information is provided on the wall signs.... **Response: Wall signage will be provided separately with the sign permit application. No plans were submitted.**
18. Free-standing Sign – The overall frontage of the plaza exceeds 1,000 l.f. and therefore is allowed three (3) freestanding signs directly adjacent to the public frontage. Currently there are four (4) freestanding signs on the property. Plans have been provide to replace the freestanding sign at 161st Street. It is our understanding that the Walts freestanding sign will be removed as part of their lease termination. This will be made a condition of the PUD. The free-standing sign must be set back a minimum of ten feet (10') from the property lines and shall not obstruct clear sight triangles near intersections. If the setback cannot be accomplished with your design proposal it will need to be noted as an exception. The ground sign as proposed is 28 feet in height. The maximum allowed sign height is 10 feet. There is precedent for a 20' free standing sign across the street. Staff can support a sign of this height. Please note that the background color of a multi-panel sign must be consistent. Font typeface and color are allowed to differ per the tenant's preference. **Response:The project is proposing one 20' high monument sign near the location of the existing pylon sign to be removed. A wall signage plan is included with this submittal for reference. No wall signage plan received.**



### **Compliance with the Municipal Code:**

1. Section 158.07 of the Municipal Code requires a bufferyard on the west and east sides of the subject property. Proposed plantings do not meet Code on the west side; adjustments to the parking lot layout will be required to meet the intent of the buffer requirements. The east side appears to include a concrete wall in lieu of the existing wood fence to achieve screening in the east bufferyard. **Response: Due to overhead electric lines, 24 understory trees have been provided along with 124 evergreen shrubs along the west property line. The east boundary is screened with an existing wood screen fence that is to remain. Staff supports the revisions and size upgrades for the canopy trees.**
2. Section 158.14.10 of the Municipal Code requires a 10' wide landscape area to front 70% of the side of all buildings which front dedicated streets (in this case, the west building elevations). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. Planting areas in strategic areas along the frontage is recommended along with movable pots. **Response: 3,200 sf of landscape area (5 ornamental trees, 134 shrubs, 54 ornamental grasses, and 32 perennials) have been provided along the frontage of the proposed buildings. Additional landscape area has also been provided to the south of the grocer and in front of the existing Bath & Body Works. Staff supports the revisions provided the planting areas are irrigated and there is a 6" curb around the planters to eliminate mulch from washing out of the planting beds and onto the sidewalk. Also helps with minimizing trash that blows into planting beds.**
3. Section 158.14.11 of the Municipal Code requires 1 tree per 10,000 square feet of lot area for commercial development (in this case, ~275,176 s.f.). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. **Response: 6 existing trees will remain at the 161st entry way and 18 shade trees, 8 ornamental trees, 119 shrubs, 46 ornamental grasses, and 44 perennials have been proposed in open space areas that do not require plant material per other requirements. Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.**
4. Section 158.19.2 of the Municipal Code requires parkway plantings at an intensity of 1 tree per 25 feet of frontage. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. **Response: The existing trees will be in conflict with the proposed walk and will be removed. 25 new understory trees have been provided between the walk and Harlem Ave back of curb. Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.**
5. Section 158.20.1(b) of the Municipal Code requires all parking to be screened from the view of adjacent properties and streets by plantings, berming or low fence/wall. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. **Response: 124 evergreen shrubs have been added along the west property line. Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.**
6. Section 158.20.1(i) of the Municipal Code requires at least 15% of the parking lot shall be covered by landscaping. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. **Response: 13,230 sf (over 7%) of green space has been provided. All canopy trees have been upsized to 4" caliper and additional shrubs, ornamental grasses, and perennials have been added to make up for deficiencies. Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.**

### **General Comments:**

7. Plantings should be included on long landscape island on the north side of the entry drive of 161<sup>st</sup> Street. Deficiencies in canopy tree plantings could occur in here, but this islands width would need to be increased

to ensure trees survive (ideally, min. of 7' from back of curb to back of curb). **Response:** *5 trees and 38 shrubs have been provided in the landscape island along the north side of the 161st Street entry. This planting has also been mirrored on the south side of the entry drive. Staff supports the revisions provided the areas are irrigated.*

8. Existing trees to be preserved should be labeled, and tree preservation techniques should be shown. **Response:***Existing trees and shrubs to remain have been labeled. noted*
9. Foundation plantings are required. If not room for 70% foundation plantings, moveable planters or shade trees (as shown in architectural rendering) could be utilized. **Response:** *3,200 sf of landscape area (5 ornamental trees, 134 shrubs, 54 ornamental grasses, and 32 perennials) have been provided along the frontage of the proposed buildings. Additional landscape area has also been provided to the south of the grocer and in front of the existing Bath & Body Works. Staff supports the revisions provided the planting areas are irrigated and there is a 6" curb around the planters to eliminate mulch from washing out of the planting beds and onto the sidewalk. Also helps with minimizing trash that blows into planting beds.*
10. Upsizing of plant material may be required to achieve the various deficiencies outlined in Table A below. *Shade trees upsized from 2.5" to 4" cal.* **Response:***All canopy trees have been upsized to 4" caliper to make up for deficiencies. noted*
11. Details on fence on east property line needed (existing fence, or new fence). **Response:***Fence at east boundary is an existing wooden screen fence that will remain. A label has been added. Noted Any repairs will need to be made prior to occupancy*
12. If new site signage being installed, details needed in order to properly calculate required plantings. Freestanding sign is required to provide landscaping around the base of the sign equal to two (2) square feet per each one (1) square foot of freestanding sign face area, but in no case shall the total area of landscaping be less than 20 square feet and need not be greater than 200 square feet. **Response:** *Four hundred square feet (10 shrubs, 10 ornamental grasses, and 17 perennials) have been provided. noted*
13. Two shrubs in each landscape island looks ineffective. Extra shrubs added to landscape islands could be an opportunity to make up for canopy tree deficiencies that will be difficult to achieve. The islands must be a minimum of 10' in width. **Response:** *Islands have been filled with as many trees and shrubs/grasses/groundcover as possible. The shrubs selected are low and spreading with the intent for the island to be completely covered once the shrubs are full grown. noted*
14. The open area at the south end of the proposed grocer has not been provided with any landscape detail. Please provide information as to how this area will be developed. **Response:** *Landscape has been added to the south end of the proposed grocer. noted*

## ENGINEERING & PUBLIC WORKS DEPARTMENT

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After reviewing the revised Preliminary Site Improvements Plans dated 6/8/20, we offer the following comments:

1. As previously stated, the MWRD permit for the sanitary sewer connection/improvements will need to be provided prior to approval of the plans. The Utility Plan (C400) shows new proposed sanitary sewers for 2 of the 3 buildings. The Village and MWRD will need discharge calculations in order to confirm the sizing of these services. The sizes will also need to be added to the plans.
2. It appears to be some proposed modifications to the underground stormwater detention on the Utility Plan (C400)

which may require modifications to the previously approved Stormwater Management Report. In order for this to be confirmed, the Village will need a copy of that report to complete the review.

3. The Engineering Department has been informed that existing Domestic/Fire Water Services currently exist on this buildings. Determination will need to be coordinated with the Tinley Park Fire Department.
4. As previously stated, any existing water or sanitary services shall be removed and capped as per Village Standards. Those details will be provided during the Final Engineering review phase.
5. As previously stated, any and all work within State or County right of ways will need to be approved and coordinated with those agencies.
6. The revised Utility Plan (C400) now shows an eight (8") inch watermain loop in the front parking lot. Without a proposed 15' utility easement, this will be considered private. Any repairs or improvements in the future will be the developer/owner's responsibility. The two (2) connections to the existing watermain will be required to be hot taps and include valve and vaults. Please add these callouts/notes to the plan sheet. Watermain shall be ductile iron pipe. Please add that to the Utility Note section.
7. The Photometric Plan appears to show a set of lights behind one of the ADA stalls. Please revise or relocate as necessary.
8. Due to the deliveries being located in the rear of the buildings, we would suggest wall mounted lights to be added for safety matters.
9. Handicapped and fee signage needs to be added to the front of the handicapped stalls.
10. Add a note requiring the installation of stop signs to the Site Notes on C201.
11. Detectable warning plates shall be added to all ADA ramps. Please add that to the Site Notes on C201.
12. Provide a detail for the pavement patching required for the watermain installation.
13. Village hydrant and lighting foundation standard details will be provided during the Final Engineering review phase.

## FIRE DEPARTMENT

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The Fire Department reviewed the revised plans and reports all items satisfied.

## NEXT STEPS & TENTATIVE SCHEDULE

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Please note that all future plan submittals should be coordinated through me for distribution and review. To proceed to the Plan Commission stage, a written reply in the form of a Response Letter must be sent to my attention addressing all of the comments within this Staff Review Letter.

The Response Letter must be accompanied by revised plans. In light of the current COVID-19 situation, please submit all revised plans and the response letter electronically via email (10MB limit), or web upload (*please email me to request an upload link*). **PLEASE SUBMIT THREE (3) FULL SCALE PLANS AS PART OF YOUR FINAL SUBMITTAL.**

In light of the aggressive schedule please contact me directly to discuss submittal deadlines. Currently we are operating under the tentative schedule outlined in brown below. An alternate schedule is noted in Blue for Plan Commission for the zoning entitlements and in Green for the incentive reviews (which have not changed) – These changes do not impact the final approval date.

<b>July 2, 2020 (July 16)</b>	<b>Plan Commission Meeting #1</b> (Introduction to Project)
<b>July 16, 2020 (Aug 6)</b>	<b>Plan Commission Meeting #2</b> (Public Hearing/Vote)
<b>August 4, 2020 (Aug. 18 or Sept. 1)</b>	<b>Village Board Meeting #1</b> (First Reading/Introduction to Project)
<b>August 10, 2020</b>	<b>ECC meeting for incentive discussion</b>
<b>September 1, 2020</b>	<b>COW- disc of incentive agreement with Village Board</b>

We will not formally schedule a meeting with the Plan Commission until we receive your Response Letter and a revised submittal that addresses the Staff Review Comments. When a first meeting of the Plan Commission is scheduled, please be prepared to make a brief presentation to the Commission. Staff will prepare a report about the proposed project which is provided to the Commissioners and to the public via the Village website. A copy of the link to the meeting packet will be provided to all Petitioners on the meeting agenda.

If you have any questions or would like to set up a time for a conference call or to discuss these comments further, please do not hesitate to contact me -708-793-0291

Sincerely,

A handwritten signature in black ink, appearing to read "Paula J. Wallrich", with a long, sweeping horizontal line extending to the right.

Paula J. Wallrich, AICP  
Acting Director of Community Development

Attachments



July 2, 2020

Paula J. Wallrich, AICP  
Acting Director of Community Development

Village of Tinley Park  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477

**RE: 15917-16037 Harlem Avenue  
Tinley Park Plaza Redevelopment**

Dear Ms. Wallrich,

In reference to the above-mentioned project, we have received the comment letter dated June 22, 2020, and have worked to address the concerns. The following are your comments and our disposition to those comments.

**Zoning Comments**

1. Exceptions- The applicant has noted several exceptions to Village Code as part of the proposed plan including:
  - i. Decreased aisle widths
  - ii. Decreased parking space depth- *This will no longer be necessary as you have changed all perpendicular stall depth to 18.5 or greater. The angled parking measures 19 feet- please verify these are 60 degrees (75 degrees require 19.5 feet)*
  - iii. Decreased landscape buffers and interior lot landscaping
  - iv. Exterior masonry requirements
  - v. Free standing sign setback

**Response:** *We have verified that the angle parking stalls are 60 degrees.*

3. In the application there is mention of a need for "Level 3 Outdoor Sales Display" on behalf of the grocery tenant. *You requested Level 3 outdoor sales display which requires application and Plan Commission review for each display. Level 3 is usually for larger products such as pools, gazebos, swingsets and the like. I think your tenant will be fine requesting a Level 1 Outdoor Sales Display which includes the display of seasonal gardening goods or special sales such as sale of potted plants, mulch, clothes racks or small product display racks. These applications are reviewed administratively with in-house staff. The cumulative area of all level 1 outdoor displays shall not exceed 25% of the tenant frontage of the tenant space to which the outdoor display area is associated and shall not exceed 10' in height. These are limited to April 15th-October 15th. If you cannot meet these requirements it would be best to address that now. Please note where this will be located on the plan.*

Woolpert, Inc.  
1815 South Meyers Road, Suite 950  
Oakbrook Terrace, IL 60181  
630.424.9080 [www.woolpert.com](http://www.woolpert.com)



**Response:** *Per our comment review call with you on 6/24, we will change our request to a Level 1 Outdoor Sales Display. In doing so, we understand that the tenant will still be allowed to display seasonal items during the holiday season which falls outside the April 15<sup>th</sup> to October 15<sup>th</sup> window.*

4. outdoor collection/storage lockers. *If these are to be located outdoors the location must be noted on plan and will be defined as a level 2 and can also be approved administratively. Same rules as a level 1 regarding height and percent coverage of frontage (25%).*

**Response:** *My client has indicated that storage lockers will be located indoors. Should the tenant choose to locate them outdoor at a later time, we would like to understand the procedure for them to do so.*

5. Cross access and cross parking easements will need to be platted as part of the final plan approval (unless current easements provided adequate coverage in light of the site plan changes).

**Response:** *Per our comment review call on 6/24, the cross access and cross parking easements will not be required as the property is under single ownership.*

**Planning-**  
**SITE PLAN**

1. Parking lot design.
- a. The north and south ends of this phase which border entry ways need to reflect the landscape requirements for screening of parking areas. A minimum of 7 feet is required to ensure survivability of canopy trees. *Staff supports the revision with some minor changes as indicated below. (shift the sidewalk over to the north to increase planting area on the south). We need to keep at least 3.5' in with. The irrigation allows for this deviation. Approvals will be conditioned upon irrigation system – plans must be submitted with permit.*

**Response:** *We have shifted the sidewalk to the north as requested. The Landscape Plan has been updated to increase the planting area on the south. We acknowledge the irrigation allowance. Irrigation plans will be submitted with the Building Permit drawings.*

- b. The depth of the parking spaces must be 18.5' for perpendicular parking. *All stall depths are now 18.5' wide. Verify angled parking meets the requirements (60 degree parking)*

**Response:** *We have verified that the angled parking meets the 60 degree angle requirement.*

- c. The aisle width is required to be 26'. *Staff supports this change*

**Response:** *No response required.*

- d. The west row of parking requires a landscape buffer. *Support the change to 7' wide buffer -provided it is irrigated. Support leaving the west access open.*

**Response:** *Noted. This buffer area will be irrigated.*

e. The minimum landscape island width requirement is 10.' *Landscape Architect supports the exception provided each island is irrigated.*

**Response:** *Correct. Each island will be irrigated with the project.*

2. Sidewalks: A 6' public walk must be provided in the Harlem Avenue right-of-way... and along the two accessways from Harlem Avenue. Crosswalks will need to be provided where traffic lanes are crossed. Landscaping will also need to be accommodated in this area. *Sidewalks as proposed are supported. Access agreement to be provided with submittal. Sidewalk at north end will need parking blocks for the 13 spaces in this area to stop cars overhanging the sidewalk.*

**Response:** *An access agreement is included with this submittal. Parking blocks have been added for the 13 spaces at the north end as requested.*

3. Internal sidewalks: Per Section III.U.3.d. "the Site Plan provides for the safe movement of pedestrians within the site." The sidewalk fronting the in-line stores as well as the new retail stores must be wide enough to accommodate ADA access and landscaping. *These revisions are positive additions to the plan.*

**Response:** *Comment has been acknowledged.*

4. Bike parking: Areas shall be dedicated for bike parking. *So noted.*

**Response:** *No response required.*

5. Traffic Control Signage/Striping – ...Details can be included on the site plan or preliminary engineering plans. *So noted.*

**Response:** *No response required.*

6. Truck Turning Template – Fire and delivery truck circulation shall be shown on the plans. *So noted.*

**Response:** *No response required.*

7. Trash Enclosures- Please indicate location of all trash enclosures and compactors as well as specifications noted building material for the masonry enclosure. *Per code (Section U.6.j. trash enclosures must be "screened on three sides by a masonry wall consistent with the architecture and building material for the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel."*

**Response:** *Trash enclosure has been added to the site plan.*

8. Cart Corral- Indicate location and size of all cart storage. *I recommend you propose the locations on the plan; if they need to change later we can handle that then. We will need to reflect the true parking count including the corrals.*

**Response:** *Proposed cart corral locations have been added to the site plan.*

## **ARCHITECTURE**

9. Building Material Samples – Please note that building material samples are required to be submitted with your resubmittal. *Staff will need to review this prior to the workshop.*

**Response:** *Material samples are being provided.*

10. Exterior Building Materials – The building material types and percentages are not indicated on the proposed elevations. ...For the proposed building size, the code requires that 25% of the building utilize face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material as defined below. ...Please provide a detailed list of how your proposed architecture conforms or deviates from the building material requirements. Overall staff is supportive of the in-line tenant architecture and materials however staff will need to provide information to the Commission/Board on any deviations from Code. *Plans received still do not indicate percentages as required by code.*

**Response:** *Material percentages have been added to the overall elevation.*

11. In-line tenant Façade: Staff generally supports the proposed architecture however there shall be some consistency with the existing design of the outlot and the Jr. Boxes (to be discussed below). The outlot is located within the same viewshed as the in-line tenants and therefore the architect is encouraged to find ways to provide compatibility between the two façade treatments. This can be accomplished through architectural style, building material, site planning, lighting, signage or landscaping. Per Section III. U. 6. c.: “Where a development includes outlots they shall be designed with compatible and consistent architecture with the primary building(s). Site lighting, landscaping, and architecture shall reflect a consistent design statement throughout the development.” *The elevations for the in-line stores has not changed from the first submittal- no updated elevations provided... Please provide information as to how the in-line stores reflect the architecture. building materials of the outlot. We also encourage you to revise the renderings to include the new site plan with wider sidewalks, parking and landscaping*

**Response:** *The proposed design of the in-line stores and the existing design of the out lot buildings are compatible and consistent in architectural style, form, height, exterior building materials, storefront systems and color palettes. The style and building forms, specifically the vertical and horizontal articulation, as seen on the horizontal metal awnings, brick pilasters and stepped tenant facades, promotes continuity between the in-line and out lot stores. Traditional aluminum storefront entry and glazing systems exist on both buildings. In addition, they are of similar height and both use exterior materials such as brick, stone accents, and EIFS. The brick veneer, decorative modern wall lighting and earth-tone EIFS colors help create consistent façade treatments throughout the site.*

12. Jr. Box Retail Façade  
a. Grocer... *Percentages for building materials is also required*

**Response:** *Material percentages have been added for the overall elevation.*

b. Clothing retailer...The proposal provides little architectural detail or articulation of the front façade. This unit functions as the transition between the in-line stores and the grocer. Please refer to the architectural standards in Section III. U. 6. c. :“Compatible Architecture: All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures, and

streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing, and setback." *Only the grocer elevation was updated to illustrate its expanded frontage. The new rendering is also not correct in that it indicates a gap at the north end of the clothing retailer. The elevation will be enhanced with more detail including landscaping and parking. Percentages of masonry still required.*

**Response:** *The elevations and perspective drawings have been revised to indicate all proposed building materials. This retail building includes vertical and horizontal articulation which can best be understood by the perspective drawing included in the resubmittal. The walls to the left and right of the main entry façade include a brick pattern to maintain an aesthetic connection to the adjacent architecture and the outlot buildings. The building scale, massing and height is appropriate as a transition between the retail inline stores and the new grocery anchor.*

13. North/south facades -As stated in our recent phone call, staff is concerned about the north and south facades. The north façade has high visibility and the elevation offers little visual interest; the south side of the grocery store also provides minimal architectural interest. Both facades may benefit with wrapping the front façade design and materials further along the respective facades. We understand that Phase 3 may about this south façade of the grocery store however there may be opportunity to carry some of the front façade materials further east along this façade. *There is limited information provide on these facades. The north façade states information will be provided under separate cover- but not received. It appears the south façade includes a greater 'wrap' of the west architecture and possibly some glazing- but again plans need to be provided.*

**Response:** *Elevations have been included to show additional design elements and all materials.*

14. Mechanical Equipment – No RTU and roof-mounted mechanical equipment are indicated on the proposed plans. All equipment locations shall be shown on the plans and shall be screened from view from all adjacent properties and right-of-ways. *Plans not received.*

**Response:** *RTUs have been included on the elevations.*

#### **LIGHTING**

15. Photometric Plan – The lighting plan is under review. Please ensure the proposed lighting plan conforms with Section V.C.9.e. (Glare). The foot candle lighting levels at property lines must not exceed 2.p horizontal foot-candle. *Noted.*

**Response:** *A revised Photometric Plan has been included with this submittal which meets the Code requirement.*

16. Light Fixture Cut Sheets – The specific building lighting fixtures shall be noted on the plans and the fixture cut sheets supplied. All light fixtures shall be downcast and full-cutoff so that the lighting sources are not visible and minimize glare or light spillage (especially off-site). Staff encourages some uniformity with the existing poles of the out lot unless existing lighting standards are expected to remain. There is opportunity to 'rebrand' the site with new lighting in the parking lot as well as along the façade. *Noted.*

**Response:** *Separate lighting fixture cut sheets have been included with this submittal. The fixtures selected are in conformance with the out lot lighting.*

### **SIGNAGE**

17. Wall Signs- No information is provided on the wall signs. *No plans were submitted.*

***Response: Wall signage will be provided separately with the sign permit application.***

18. Free-standing Sign – The overall frontage of the plaza exceeds 1,000 l.f. and therefore is allowed three (3) freestanding signs directly adjacent to the public frontage. Currently there are four (4) freestanding signs on the property. Plans have been provide to replace the freestanding sign at 161st Street. It is our understanding that the Walts freestanding sign will be removed as part of their lease termination. This will be made a condition of the PUD. The free-standing sign must be set back a minimum of ten feet (10') from the property lines and shall not obstruct clear sight triangles near intersections. If the setback cannot be accomplished with your design proposal it will need to be noted as an exception. The ground sign as proposed is 28 feet in height. The maximum allowed sign height is 10 feet. There is precedent for a 20' free standing sign across the street. Staff can support a sign of this height. Please note that the background color of a multi-panel sign must be consistent. Font typeface and color are allowed to differ per the tenant's preference. *No wall signage plan received.*

***Response: We have included color elevations of the free standing signs. These include one 20 ft pylon sign and two 10 ft pylon signs.***

### **LANDSCAPING**

1. Section 158.07 of the Municipal Code requires a bufferyard on the west and east sides of the subject property. Proposed plantings do not meet Code on the west side; adjustments to the parking lot layout will be required to meet the intent of the buffer requirements. The east side appears to include a concrete wall in lieu of the existing wood fence to achieve screening in the east bufferyard. *Staff supports the revisions and size upgrades for the canopy trees.*

***Response: Due to overhead electric lines, 25 understory trees have been provided along with 141 evergreen shrubs along the west property line. The east boundary is screened with an existing wood fence that is to remain.***

2. Section 158.14.10 of the Municipal Code requires a 10' wide landscape area to front 70% of the side of all buildings which front dedicated streets (in this case, the west building elevations). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. Planting areas in strategic areas along the frontage is recommended along with movable pots. *Staff supports the revisions provided the planting areas are irrigated and there is a 6" curb around the planters to eliminate mulch from washing out of the planting beds and onto the sidewalk. Also helps with minimizing trash that blows into planting beds.*

***Response: 150 linear feet of landscape (32 shrubs, 24 ornamental grasses, 42 perennials & groundcover) along with 48 movable planters have been provided along the frontage of the proposed buildings. Additional landscape area has also been provided to the north and south of the proposed buildings.***

3. Section 158.14.11 of the Municipal Code requires 1 tree per 10,000 square feet of lot area for commercial development (in this case, ~275,176 s.f.). Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. *Staff*



*supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.*

**Response:** *6 existing trees will remain at the 161st entry way and 18 shade trees, 8 ornamental trees, 119 shrubs, 46 ornamental grasses, and 44 perennials have been proposed in open space areas that do not require plant material per other requirements.*

4. Section 158.19.2 of the Municipal Code requires parkway plantings at an intensity of 1 tree per 25 feet of frontage. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. *Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.*

**Response:** *The existing trees will be in conflict with the proposed walk and will be removed. 25 new understory trees have been provided between the walk and Harlem Ave back of curb.*

5. Section 158.20.1(b) of the Municipal Code requires all parking to be screened from the view of adjacent properties and streets by plantings, berming or low fence/wall. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. *Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.*

**Response:** *141 evergreen shrubs have been added along the west property line.*

6. Section 158.20.1(i) of the Municipal Code requires at least 15% of the parking lot shall be covered by landscaping. Proposed plantings do not meet Code. Refer to Table A below for an audit of required and proposed plantings. *Staff supports the revisions and size upgrades for the canopy trees provided the planting areas are irrigated.*

**Response:** *13,230 sf (over 7%) of green space has been provided. All canopy trees have been upsized to 4" caliper and additional shrubs, ornamental grasses, and perennials have been added to make up for deficiencies.*

**General Comments:**

7. Plantings should be included on long landscape island on the north side of the entry drive of 161st Street. Deficiencies in canopy tree plantings could occur in here, but this islands width would need to be increased to ensure trees survive (ideally, min. of 7' from back of curb to back of curb). *Staff supports the revisions provided the areas are irrigated.*

**Response:** *5 trees and 38 shrubs have been provided in the landscape island along the north side of the 161st Street entry. This planting has also been mirrored on the south side of the entry drive.*

8. Existing trees to be preserved should be labeled, and tree preservation techniques should be shown. *Noted.*

**Response:** *Existing trees and shrubs to remain have been labeled.*

9. Foundation plantings are required. If not room for 70% foundation plantings, moveable planters or shade trees (as shown in architectural rendering) could be utilized. *Staff supports the revisions provided the planting areas are irrigated and there is a 6" curb around the planters to eliminate mulch from washing out of the planting beds and onto the sidewalk. Also helps with minimizing trash that blows into planting beds*

**Response:** *150 linear feet of landscape (32 shrubs, 24 ornamental grasses, 42 perennials & groundcover) along with 48 movable planters have been provided along the frontage of the proposed buildings. Additional landscape area has also been provided to the north and south of the proposed buildings.*

10. Upsizing of plant material may be required to achieve the various deficiencies outlined in Table A below. Shade trees upsized from 2.5" to 4" cal. *noted*

**Response:** *All canopy trees have been upsized to 4" caliper to make up for deficiencies.*

11. Details on fence on east property line needed (existing fence, or new fence). *Noted Any repairs will need to be made prior to occupancy.*

**Response:** *A note has been added to the Site Plan indicating that any damaged sections of the existing fence shall be repaired with the project.*

12. If new site signage being installed, details needed in order to properly calculate required plantings. Freestanding sign is required to provide landscaping around the base of the sign equal to two (2) square feet per each one (1) square foot of freestanding sign face area, but in no case shall the total area of landscaping be less than 20 square feet and need not be greater than 200 square feet. *Noted.*

**Response:** *Four hundred square feet (10 shrubs, 10 ornamental grasses, and 17 perennials) have been provided.*

13. Two shrubs in each landscape island looks ineffective. Extra shrubs added to landscape islands could be an opportunity to make up for canopy tree deficiencies that will be difficult to achieve. The islands must be a minimum of 10' in width. *noted*

**Response:** *Islands have been filled with as many trees and shrubs/grasses/groundcover as possible. The shrubs selected are low and spreading with the intent for the island to be completely covered once the shrubs are full grown.*

14. The open area at the south end of the proposed grocer has not been provided with any landscape detail. Please provide information as to how this area will be developed. *noted*

**Response:** *Landscape has been added to the south end of the proposed grocer.*

#### **ENGINEERING & PUBLIC WORKS DEPARTMENT**

1. As previously stated, the MWRD permit for the sanitary sewer connection/improvements will need to be provided prior to approval of the plans. The Utility Plan (C400) shows new proposed sanitary sewers for 2 of the 3 buildings. The Village and MWRD will need discharge calculations in order to confirm the sizing of these services. The sizes will also need to be added to the plans.

**Response:** *Sanitary services will be provided for all 3 buildings. We will provide discharge calculations to the Village for review for sizing. Sewer sizes will be included with the final engineering plans.*

2. It appear to be some proposed modifications to the underground stormwater detention on the Utility Plan (C400) which may require modifications to the previously approved Stormwater Management Report. In order for this to be confirmed, the Village will need a copy of that report to complete the review.

**Response:** *The proposed underground detention areas will be new and there are no modifications proposed to existing detention facilities. Stormwater volume calculations have been included with this submittal.*

3. The Engineering Department has been informed that existing Domestic/Fire Water Services currently exist on this buildings. Determination will need to be coordinated with the Tinley Park Fire Department.

**Response:** *Acknowledged.*

4. As previously stated, any existing water or sanitary services shall be removed and capped as per Village Standards. Those details will be provided during the Final Engineering review phase.

**Response:** *Acknowledged.*

5. As previously stated, any and all work within State or County right of ways will need to be approved and coordinated with those agencies.

**Response:** *Acknowledged.*

6. The revised Utility Plan (C400) now shows an eight (8") inch watermain loop in the front parking lot. Without a proposed 15' utility easement, this will be considered private. Any repairs or improvements in the future will be the developer/owner's responsibility. The two (2) connections to the existing watermain will be required to be hot taps and include valve and vaults. Please add these callouts/notes to the plan sheet. Watermain shall be ductile iron pipe. Please add that to the Utility Note section.

**Response:** *Noted. This is intended to be a private watermain. Watermain connection and material call-outs have been added to the plans.*

7. The Photometric Plan appears to show a set of lights behind one of the ADA stalls. Please revise or relocate as necessary.

**Response:** *An updated Photometric Plan has been included for your review.*

8. Due to the deliveries being located in the rear of the buildings, we would suggest wall mounted lights to be added for safety matters.

**Response:** *Wall packs will be incorporated on the rear of the building and are reflected in the updated Photometric Plan.*

9. Handicapped and fee signage needs to be added to the front of the handicapped stalls.

**Response:** *This has been added.*

10. Add a note requiring the installation of stop signs to the Site Notes on C201.

**Response:** *This notation has been added.*

11. Detectable warning plates shall be added to all ADA ramps. Please add that to the Site Notes on C201.

**Response:** *This has been added to the Site Notes.*

12. Provide a detail for the pavement patching required for the watermain installation.

**Response:** *A pavement patching details will be included with the final engineering plans.*

13. Village hydrant and lighting foundation standard details will be provided during the Final Engineering review phase.

**Response:** *Acknowledged.*

If you have any additional comments please do not hesitate to contact me at my office at (630) 424-9080.

Sincerely,



Ryan Walter, PE



APR 14 2020

BL-2020-04-0030 1

Village of Tinley Park  
Community Development Dept  
16250 S. Oak Park Ave  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
PLANNING AND ZONING GENERAL APPLICATION

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☐ Special Use for: \_\_\_\_\_
- ☒ Planned Unit Development (PUD) ☐ Concept ☒ Preliminary ☐ Final ☒ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for \_\_\_\_\_
- ☐ Annexation
- ☐ Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_
- ☐ Plat (Subdivision, Consolidation, Public Easement) ☐ Preliminary ☐ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Tinley Park Plaza Redevelopment Project

Project Description: See attached Exhibit A

Project Address: 7135 Harlem Avenue Property Index No. (PIN): 28-19-100-057 and -058

Zoning District: B-2 Lot Dimensions & Area: 513' x 2,207' (approx.); 962,

Estimated Project Cost: \$ \_\_\_\_\_

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Centro/IA Tinley Park Plaza, LLC Company: c/o Brixmor Property Group

Street Address: 8700 West Bryn Mawr Avenue; Suite City, State & Zip: Chicago, IL 60631

E-Mail Address: Andrew.Balzer@brixmor.com Phone Number: \_\_\_\_\_

**APPLICANT INFORMATION**

- ☒ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: ANDY BALZER Company: BRIXMOR PROPERTY GROUP

Relation To Project: PROJECT DIRECTOR, RE/DEVELOPMENT

Street Address: 8700 W. BRYN MAWR AVE., SUITE 1000-3 City, State & Zip: CHICAGO, IL 60631

E-Mail Address: andrew.balzer@brixmor.com Phone Number: \_\_\_\_\_





Village of Tinley Park  
Community Development Dept  
16250 S Oak Park Ave.  
Tinley Park, IL 60477  
708 444-5100

## VILLAGE OF TINLEY PARK, ILLINOIS PLANNING AND ZONING GENERAL APPLICATION

### Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized repetitive.

I hereby authorize N/A (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: N/A

Property Owner Name (Print): N/A

### Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): Andy Balzer for Centro/IA Tinley Park Plaza, LLC

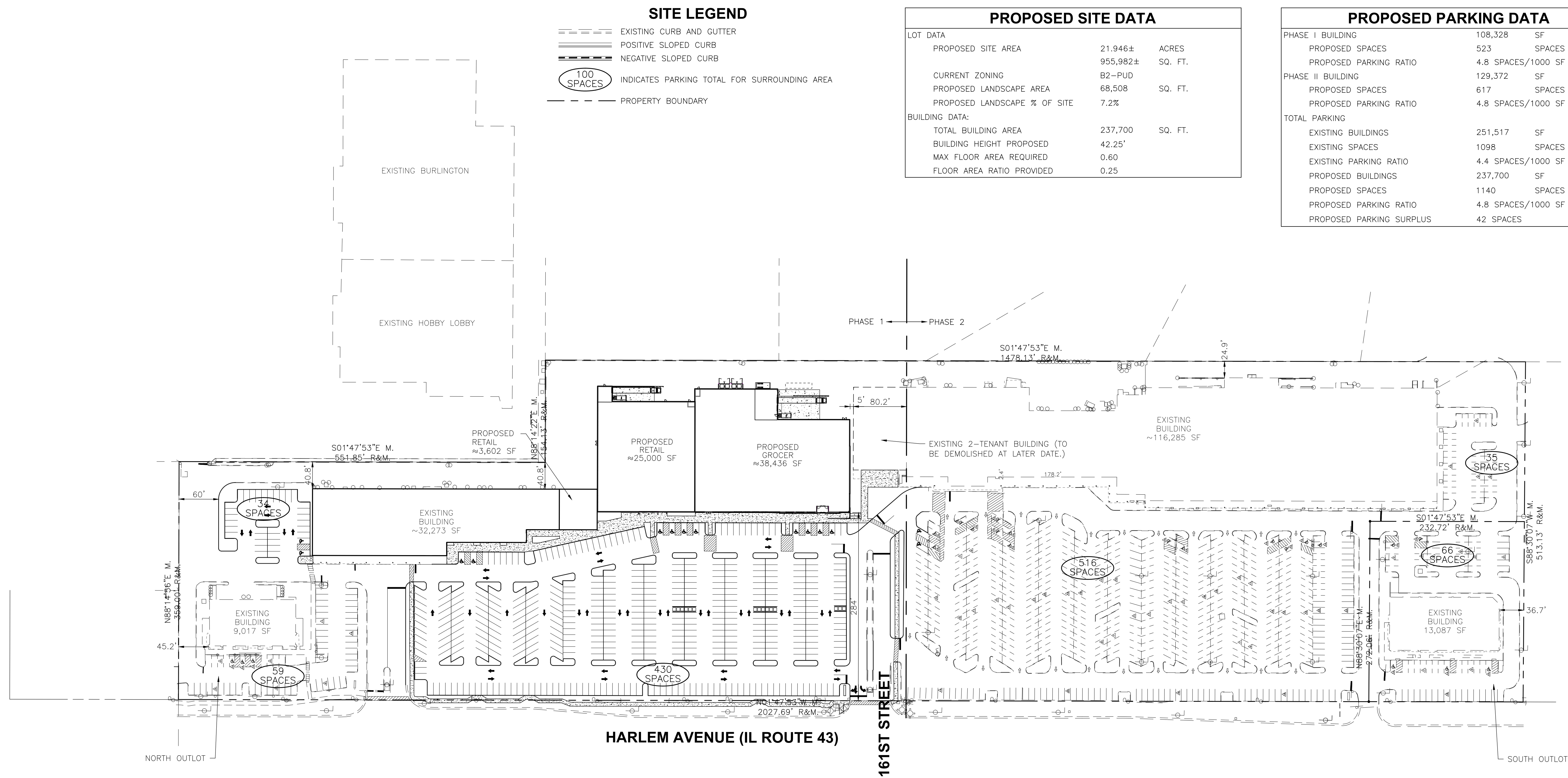
Applicant Signature:  
(If other than Owner)

Applicant's Name (Print): Andy Balzer for Centro/IA Tinley Park Plaza, LLC

Date: April 10, 2020


[illegible]

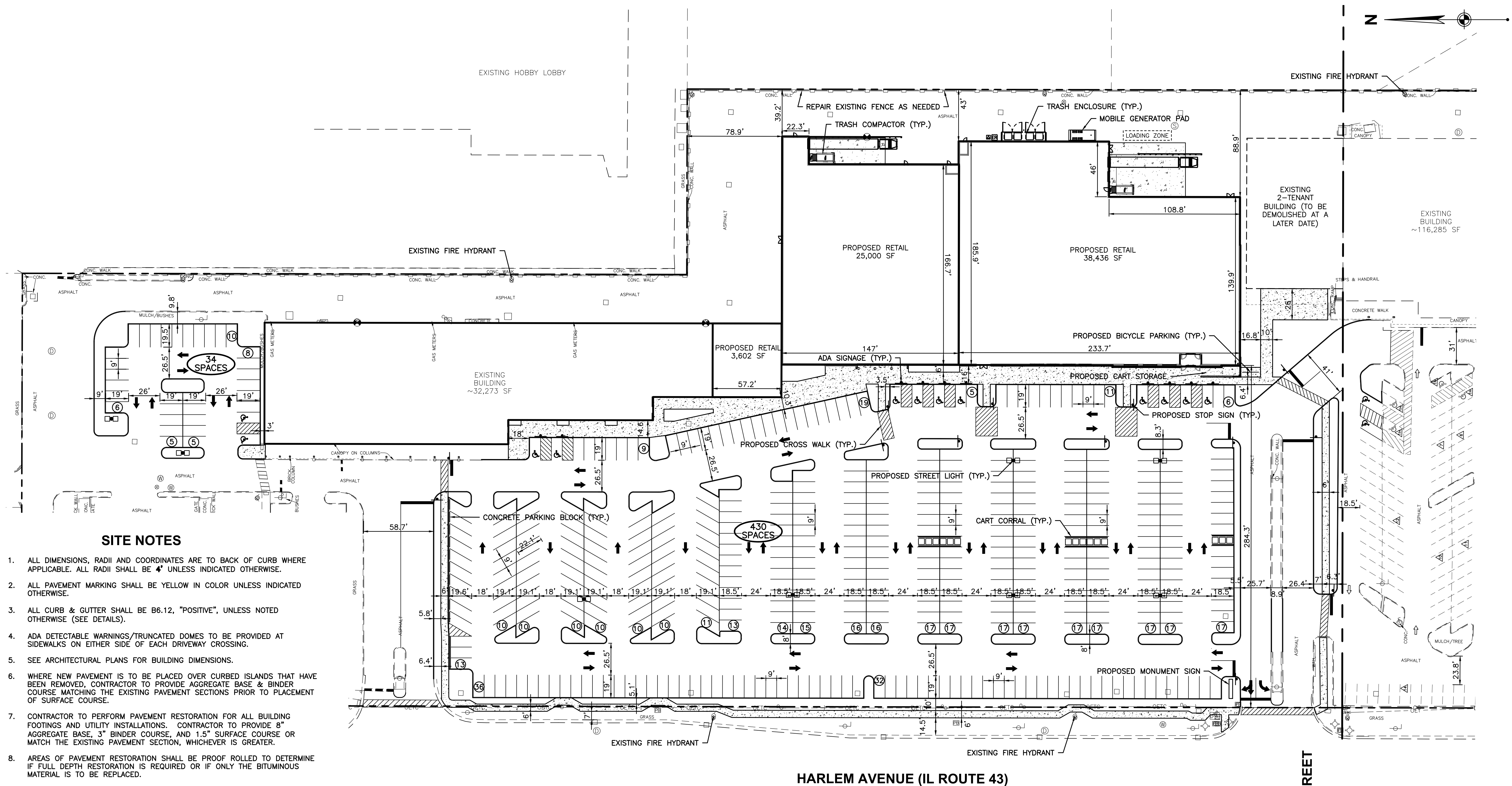




PROPOSED SITE DATA		
LOT DATA		
PROPOSED SITE AREA	21.946±	ACRES
	955,982±	SQ. FT.
CURRENT ZONING	B2-PUD	
PROPOSED LANDSCAPE AREA	68,508	SQ. FT.
PROPOSED LANDSCAPE % OF SITE	7.2%	
BUILDING DATA:		
TOTAL BUILDING AREA	237,700	SQ. FT.
BUILDING HEIGHT PROPOSED	42.25'	
MAX FLOOR AREA REQUIRED	0.60	
FLOOR AREA RATIO PROVIDED	0.25	







PROPOSED PARKING DATA		
PHASE I BUILDING	108,328	SF
PROPOSED SPACES	523	SPACES
PROPOSED PARKING RATIO	4.8 SPACES/1000 SF	
PHASE II BUILDING	129,372	SF
PROPOSED SPACES	617	SPACES
PROPOSED PARKING RATIO	4.8 SPACES/1000 SF	
TOTAL PARKING		
EXISTING BUILDINGS	251,517	SF
EXISTING SPACES	1098	SPACES
EXISTING PARKING RATIO	4.4 SPACES/1000 SF	
PROPOSED BUILDINGS	237,700	SF
PROPOSED SPACES	1140	SPACES
PROPOSED PARKING RATIO	4.8 SPACES/1000 SF	
PROPOSED PARKING SURPLUS	42 SPACES	

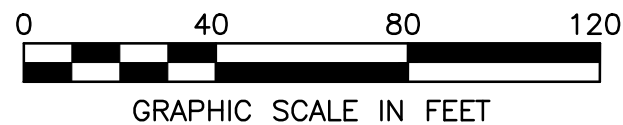
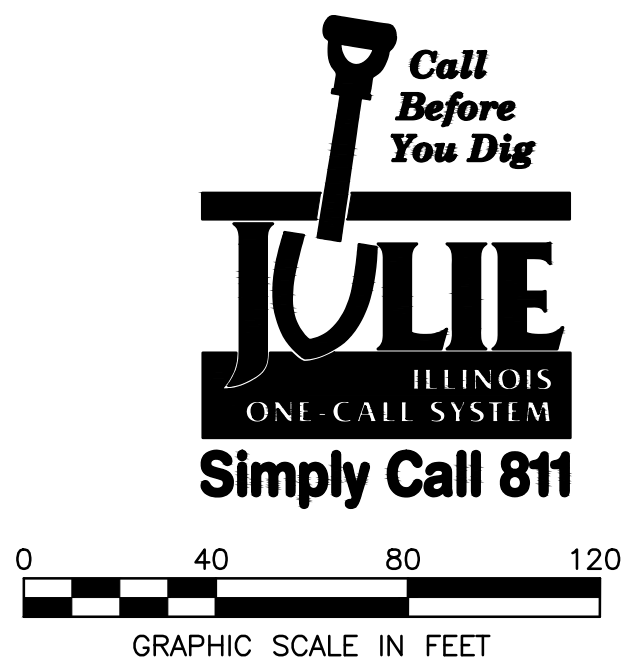
<div><div>SITE IMPROVEMENT PLANS</div><div>TINLEY PARK PLAZA</div><div>19917 SOUTH HARLEM AVENUE</div><div>TINLEY PARK, COOK COUNTY, ILLINOIS 60477</div><div>OVERALL SITE PLAN</div></div>	<div><div></div><div>1815 South Meyers Road</div><div>Suite 950</div><div>Oakbrook Terrace, IL 60181</div><div>630.424.9080</div><div>FAX: 630.495.3731</div></div>	PROJECT No:			
		080500			
		DATE	04/14/20		
		DES.	RW		
		DR.	DH		
		CKD.	TR		
SHEET NO.					
C200					




PARKING DATA		
PHASE I BUILDING	108,328	SF
PROPOSED SPACES	523	SPACES
PROPOSED PARKING RATIO	4.8 SPACES/1000 SF	

## SITE LEGEND

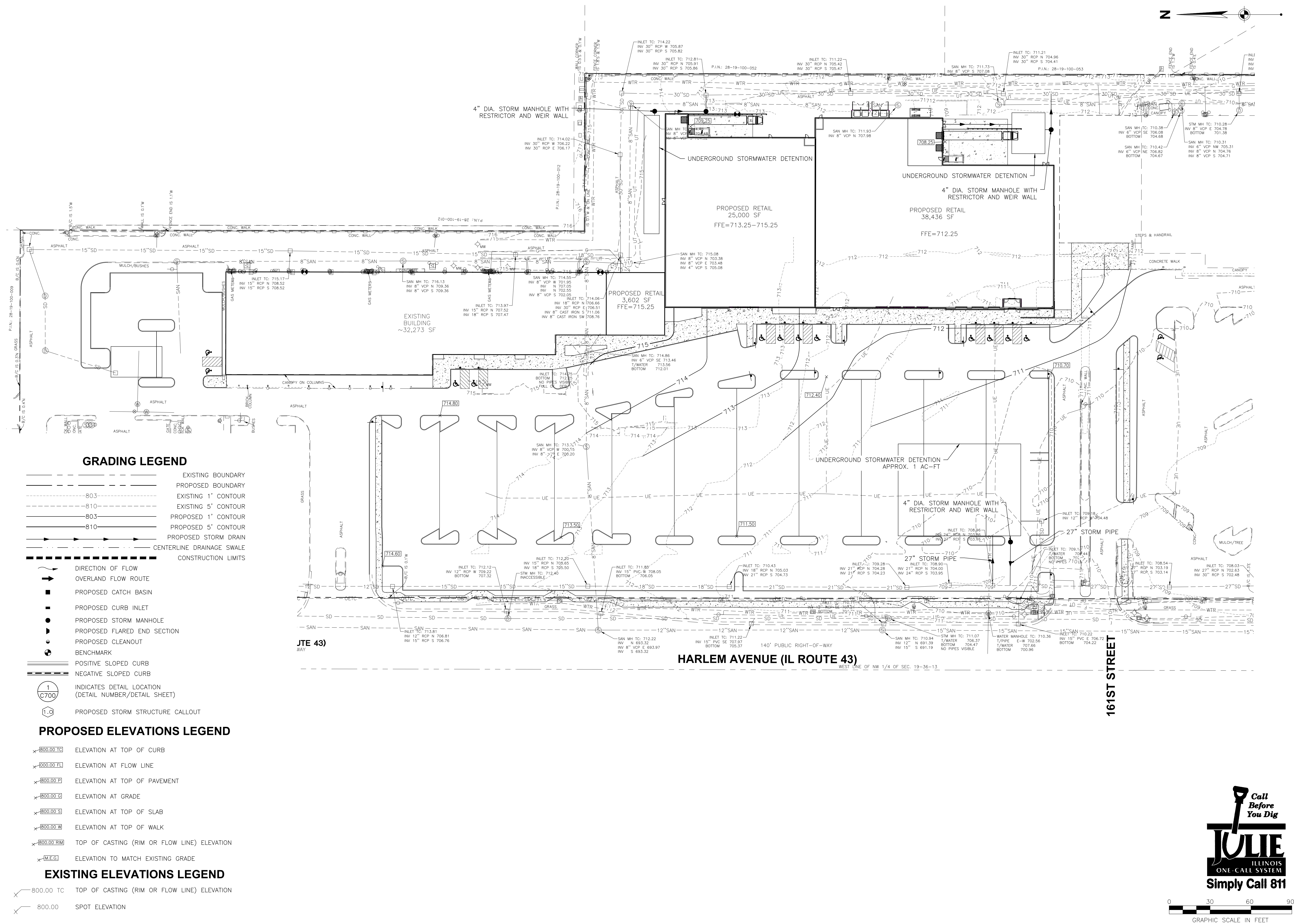
-  EXISTING CURB AND GUTTER  
 POSITIVE SLOPED CURB  
 NEGATIVE SLOPED CURB  
 INDICATES ROW PARKING COUNT  
 INDICATES PARKING TOTAL FOR SURROUNDING AREA  
 PROPERTY BOUNDARY



<div><div>SITE IMPROVEMENT PLANS</div><div>TINLEY PARK PLAZA</div><div>15917 SOUTH HARLEM AVENUE</div><div>TINLEY PARK, COOK COUNTY, ILLINOIS 60477</div></div>	<div><div><div>WOOLPERT</div><div>ARCHITECTURE   ENGINEERING   INTERIOR</div></div><div>1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9080 FAX: 630.495.3731</div></div>	PROJECT No: 050800	No.	DATE	REVISION
		DATE 04/14/20			
		DES. RW			
		DR. DH			
		CKD. TR			
<div><div>SITE PLAN</div></div>		2	07/02/20	VILLAGE PRELIMINARY RESUBMITTAL	
		1	06/08/20	VILLAGE PRELIMINARY RESUBMITTAL	

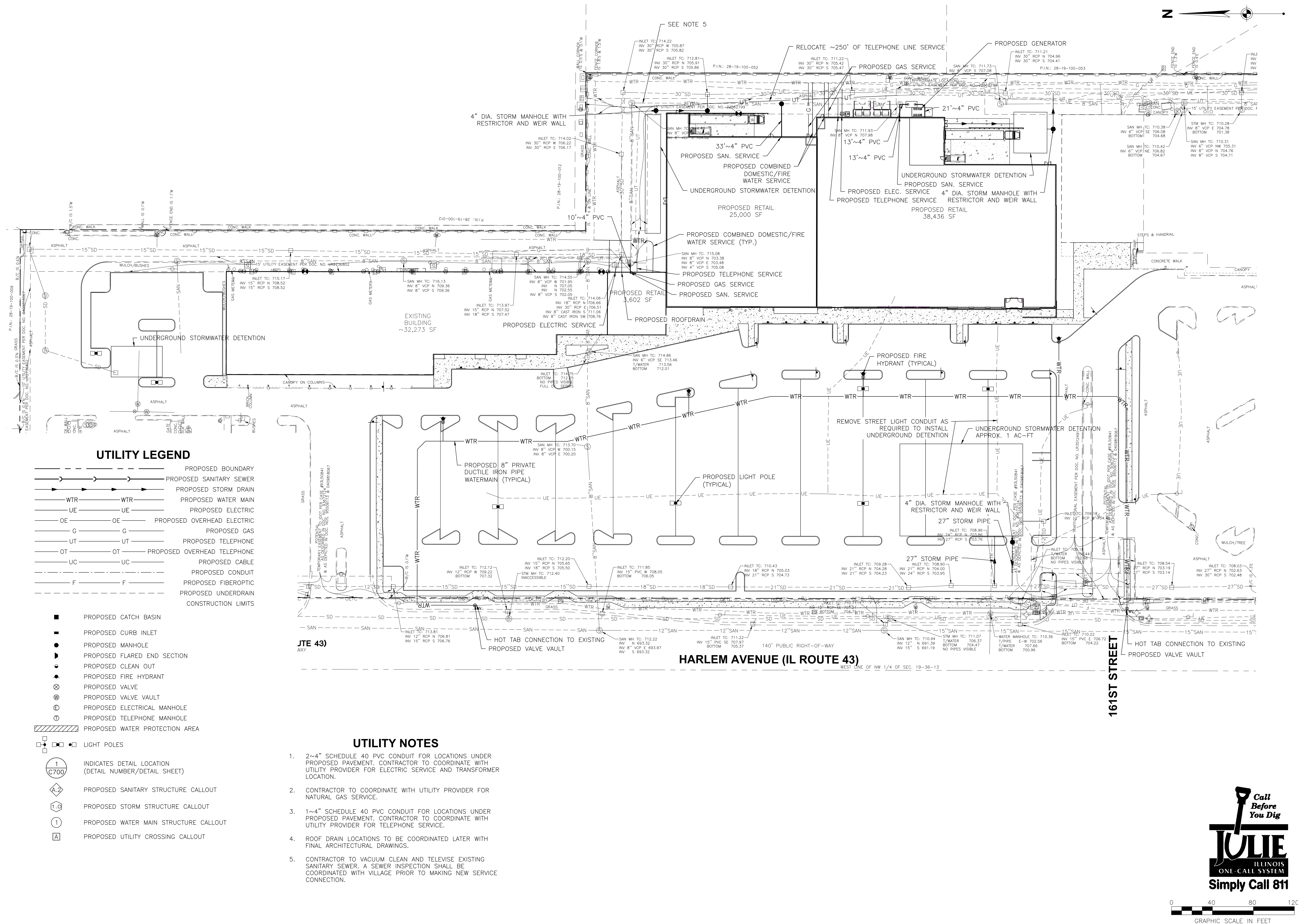
SHEET NO.





<div>SITE IMPROVEMENT PLANS</div> <div>TINLEY PARK PLAZA</div> <div>15917 SOUTH HARLEM AVENUE</div> <div>TINLEY PARK, COOK COUNTY, ILLINOIS 60477</div>	<div><div><div>W</div><div>WOOLPERT</div><div>ARCHITECTURE   ENGINEERING   GRAPHICAL</div></div><div>1815 South Meyers Road</div><div>Suite 950</div><div>Oakbrook Terrace, IL 60181</div><div>630.424.9080</div><div>FAX: 630.495.3731</div></div>	PROJECT No:	No.	DATE	REVISION
		080800			
		DATE 04/14/20			
		DES. JC			
		DR. JC			
		CKD. RW	2	07/02/20	VILLAGE PRELIMINARY RESUBMITTAL
<div>GRADING PLAN</div>		1	06/08/20	VILLAGE PRELIMINARY RESUBMITTAL	
SHEET NO.		SEAL			
C300					





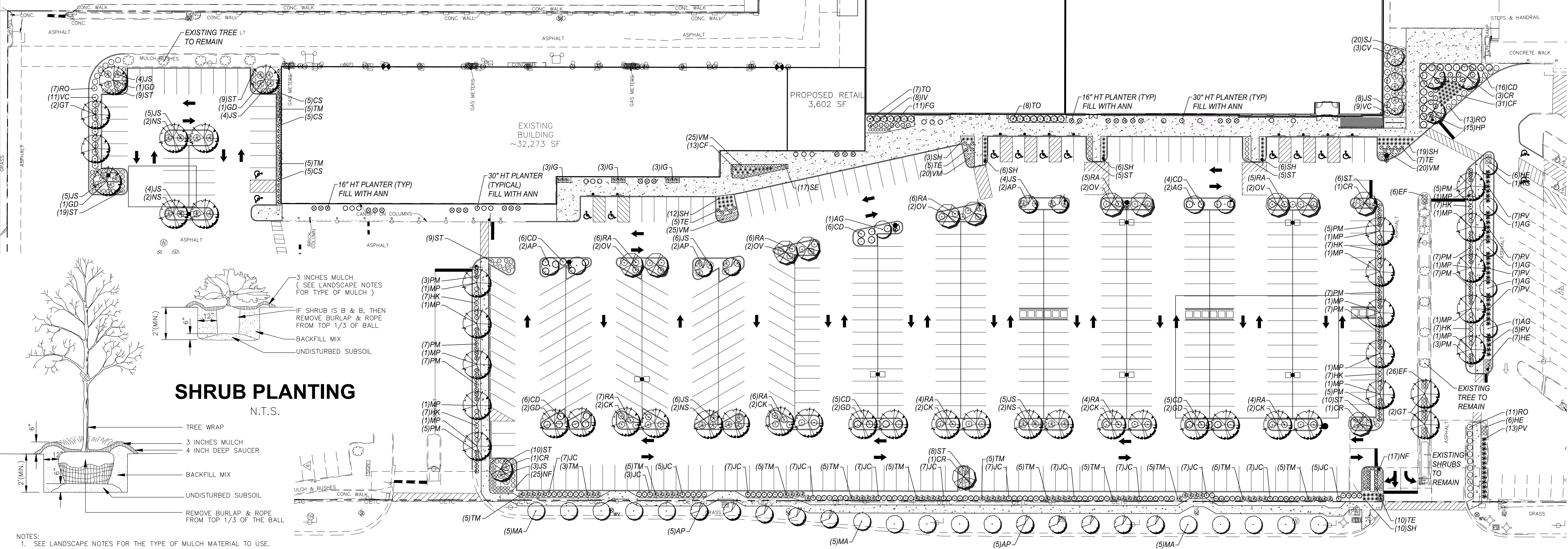
<div>SITE IMPROVEMENT PLANS</div> <div>TINLEY PARK PLAZA</div> <div>15917 SOUTH HARLEM AVENUE</div> <div>TINLEY PARK, COOK COUNTY, ILLINOIS 60477</div> <div>UTILITY PLAN</div>	<div><div><div>W</div><div>WOOLPERT</div><div>ARCHITECTURE   ENGINEERING   GRAPHICAL</div></div><div>1815 South Meyers Road</div><div>Suite 950</div><div>Oakbrook Terrace, IL 60181</div><div>630.424.9080</div><div>FAX: 630.495.3731</div></div>	PROJECT No:			
			080800		
		DATE	04/14/20		
		DES.	JC		
		DR.	JC		
		CKD.	RW		
		No.	DATE	REVISION	
		2	07/02/20	VILLAGE PRELIMINARY RESUBMITTAL	
		1	06/08/20	VILLAGE PRELIMINARY RESUBMITTAL	
				SEAL	
SHEET NO.		C400			



Layout Tab Name: C500 LANDSCAPE PLAN, Images: SnpImage (00B).jpg : Xrefs: 080800--X.dwg; 080800--P.dwg; 080800--TLK.dwg; 080800--C700--LIGHT.dwg; 080800--photometric.dwg; AreaPlan(GrossBuilding)---xblgfloorplanexport.dwg  
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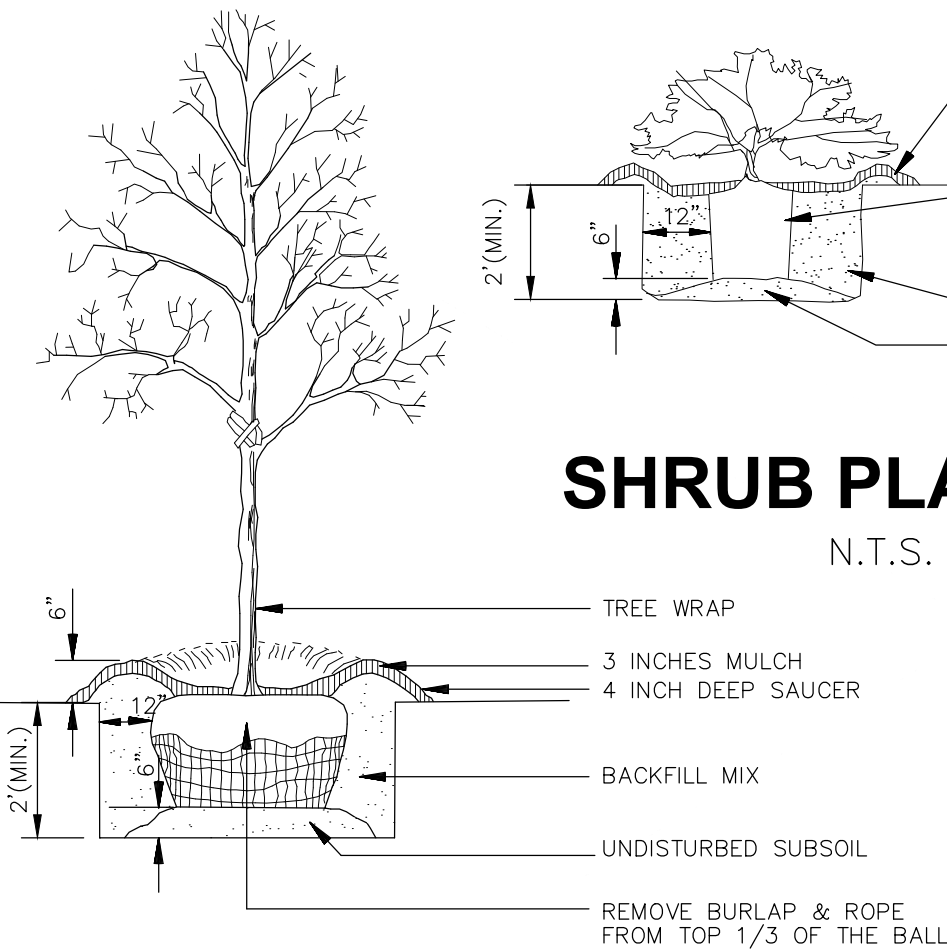
LANDSCAPE NOTES

- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE. TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (I.E. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO SPREADING SEED. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SEED.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- SITE TO BE 100% IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT IS TO BE DESIGN-BUILD. IRRIGATION DESIGN TO BE PROVIDED BY CONTRACTOR.
- PLANTERS TO BE CIVILIAN 30"HTx42"DIA BOWLS SERIES AND 16"HTx43"DIA LOW BOWLS SERIES PAINTED FIBERGLASS. FILL PLANTERS WITH PRO-MIX BX MYCORRHIZA SOILLESS MIX TO 3" FROM TOP OF PLANTER. PLANT WITH SEASONAL COLOR ANNUALS.



SHRUB PLANTING

N.T.S.



NOTES:  
1. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

N.T.S.

PLANT SCHEDULE

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS	TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE							DECIDUOUS SHRUB						
CK	10	Cladrastis kentuckea	Yellowwood	B&B	4" caliper	Full, well shaped	CS	15	Cornus sericea 'Isanti'	Dwarf Redtwig Dogwood	#3 cont.	24"ht. x 24"wd.	Full, vigorous
GT	4	Gleditsia triacanthos var. inermis 'Draves'	Streetkeeper Honeylocust	B&B	4" caliper	Full, well shaped	HP	15	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	#3 cont.	24"ht. x 24"wd.	Full, vigorous
GD	9	Gymnocladus dioica 'Statley Manor'	Fruitless KY Coffeetree	B&B	4" caliper	Full, well shaped	HK	42	Hypericum kalmianum 'Blues Festival'	Blues Festival St Johns Wort	#3 cont.	24"ht. x 24"wd.	Full, vigorous
MP	15	Maclura pomifera 'White Shield'	White Shield Osage Orange	B&B	4" caliper	Full, well shaped	IV	11	Itea virginica 'Little Henry'	Little Henry Sweetpire	#3 cont.	24"ht. x 24"wd.	Full, vigorous
NS	8	Nyssa sylvatica 'Wildfire'	Wildfire Blackgum	B&B	4" caliper	Full, well shaped	RA	53	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 cont.	24"ht. x 24"wd.	Full, vigorous
ORNAMENTAL / EVERGREEN TREE							RO	31	Rosa 'White Mediland'	White Groundcover Rose	#3 cont.	24"ht. x 24"wd.	Full, vigorous
AP	17	Aesculus pavia	Red Buckeye	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, single-stem	SJ	20	Spiraea japonica 'Shirobana'	Shirobana Spirea	#3 cont.	24"ht. x 24"wd.	Full, vigorous
AG	10	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, single-stem	ST	90	Stephanandra incisa 'Crispa'	Lace Shrub	#3 cont.	24"ht. x 24"wd.	Full, vigorous
CV	3	Chionanthus virginicus	White Fringetree	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, multi-stem	VC	20	Viburnum carlesii	Koreanspice Viburnum	#5 cont.	24"ht. x 24"wd.	Full, vigorous
CR	7	Crataegus viridis 'Winter King'	Winter King Hawthorn	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, single-stem	ORNAMENTAL GRASS/PERENNIAL/GROUND COVER						
MA	15	Malus 'Spring Snow'	Spring Snow Crabapple	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, single-stem	CF	44	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	#2 cont.		
OV	10	Ostrya virginiana	Ironwood	B&B	2.5" cal. 8"ht. 4'wd	Full, well shaped, single-stem	EF	32	Euonymus fortunei	Purple Wintercreeper	#2 cont.		Full, vigorous
EVERGREEN SHRUB							FG	8	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#2 cont.		
CD	48	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	#3 cont.	24"ht. x 24"wd.	Full, vigorous	HE	19	Hemerocallis 'Siloam Double Classic'	Repeat Blooming Daylily	#1 cont.		
IG	15	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	#3 cont.	24"ht. x 24"wd.	Full, vigorous	NF	42	Nepeta x fossennii 'Purrsian Blue'	Purrsian Blue Catmint	#1 cont.		
JC	83	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5 cont.	24"ht. x 24"wd.	Full, vigorous	PV	46	Panicum virgatum 'Hot Rod'	Hot Rod Switchgrass	#2 cont.		
JS	50	Juniperus chinensis sargentii 'Viridis'	Green Sargent Juniper	#3 cont.	24"ht. x 24"wd.	Full, vigorous	SE	17	Sedum kamtschaticum var. ellacombeum	Yellow Stonecrop	#1 cont.		
PM	68	Pinus mugo 'Mops'	Dwarf Mugo Pine	#3 cont.	24"ht. x 24"wd.	Full, vigorous	SH	62	Sporobolus heterolepis	Prairie Dropseed	#2 cont.		
TM	68	Taxus x media 'Hicksii'	Hicks Yew	#5 cont.	24"ht. x 24"wd.	Full, vigorous	VM	90	Vinca minor 'Bowles'	Periwinkle	#1 cont.		20 - 30" ht. planters
TE	27	Taxus x media 'Everlow'	Everlow Yew	#3 cont.	24"ht. x 24"wd.	Full, vigorous	ANN	380 SF	Seasonal Color Annuals	Periwinkle	quart		28 - 16" ht. planters
TO	15	Thuja occidentalis 'Boljohn'	Technitno Arborvitae	#5 cont.	36"ht. x 24"wd.	Full, vigorous	* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.						

HARLEM AVENUE (IL ROUTE 43)

LANDSCAPE CODE SUMMARY

INTERIOR LANDSCAPING REQUIREMENTS			
LOCATION	REQUIREMENT	PROPOSED	COMMENT
FOUNDATION	Landscape coverage along 70% of building foundation that faces public R.O.W. 442 LF x 70% = 310 LF	150 LF in ground 48 Planters	32 Shrubs 24 Ornamental Grasses 42 Perennials & Groundcover Multiple movable planters
	1 tree / 10,000 sf 304,810 sf/10,000 sf = 31 trees	32 Trees	6 Existing Trees to remain 18 Canopy Trees 8 Ornamental Trees 119 Shrubs 48 Ornamental Grasses 44 Perennials
PARKWAY STANDARDS			
LOCATION	REQUIREMENT	PROPOSED	COMMENT
PARKWAY	1 tree per 25 linear feet along Harlem Avenue 622 LF/25 = 25 trees	25 Ornamental Trees	Ornamental trees provided due to proximity of overhead electric
PARKING LOT LANDSCAPING STANDARDS			
LOCATION	REQUIREMENT	PROPOSED	COMMENT
PARKING LOT	15% of parking lot (178,965 sf) to be landscaped or 26,545	13,230 SF	Shade trees have been uplized to 4" caliper and additional shrubs, ornamental grasses, and perennials have been added to make up for deficiency
PARKING LOT	Continuous screening of adjacent properties and streets Harlem Avenue = 622 lf	146 Evergreen Shrubs	
PARKING LOT ISLANDS	1 tree and 1 shrub per 200 square feet of island (13,230 sf) or 66 trees & 90 Groundcover and Perennials	43 Canopy Trees 187 Shrubs 43 Ornamental Grasses 90 Groundcover and Perennials	Shade trees have been uplized to 4" caliper and additional shrubs, ornamental grasses, and perennials have been added to make up for deficiency
SIGNAGE LANDSCAPING STANDARDS			
LOCATION	REQUIREMENT	PROPOSED	COMMENT
MONUMENT SIGN	2 square feet of landscaping for each 1 square foot of sign face	400 SF of landscape area around sign	10 Shrubs 10 Ornamental Grasses 17 Perennials

PERMANENT SEED BLEND

6 LBS PER 1000 SF  
90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA) REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL  
10% KENTUCKY BLUEGRASS (POA PRATENSIS) MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR EQUAL  
98% PURITY AND 85% GERMINATION  
95% WEED FREE  
8 LBS 12-12-12 FERTILIZER PER 1000 SF  
1 1/2 BALES OF STRAW PER 1000 SF



**SITE IMPROVEMENT PLANS**  
**TINLEY PARK PLAZA**  
15917 SOUTH HARLEM AVENUE  
TINLEY PARK, COOK COUNTY, ILLINOIS 60477

**LANDSCAPE PLAN**

SHEET NO. **C500**

PROJECT NO:	080800
DATE	04/14/20
DES. DR.	
CKD.	
REVISION	DATE
2	07/02/20 VILLAGE PRELIMINARY RESUBMITTAL
1	06/08/20 VILLAGE PRELIMINARY RESUBMITTAL





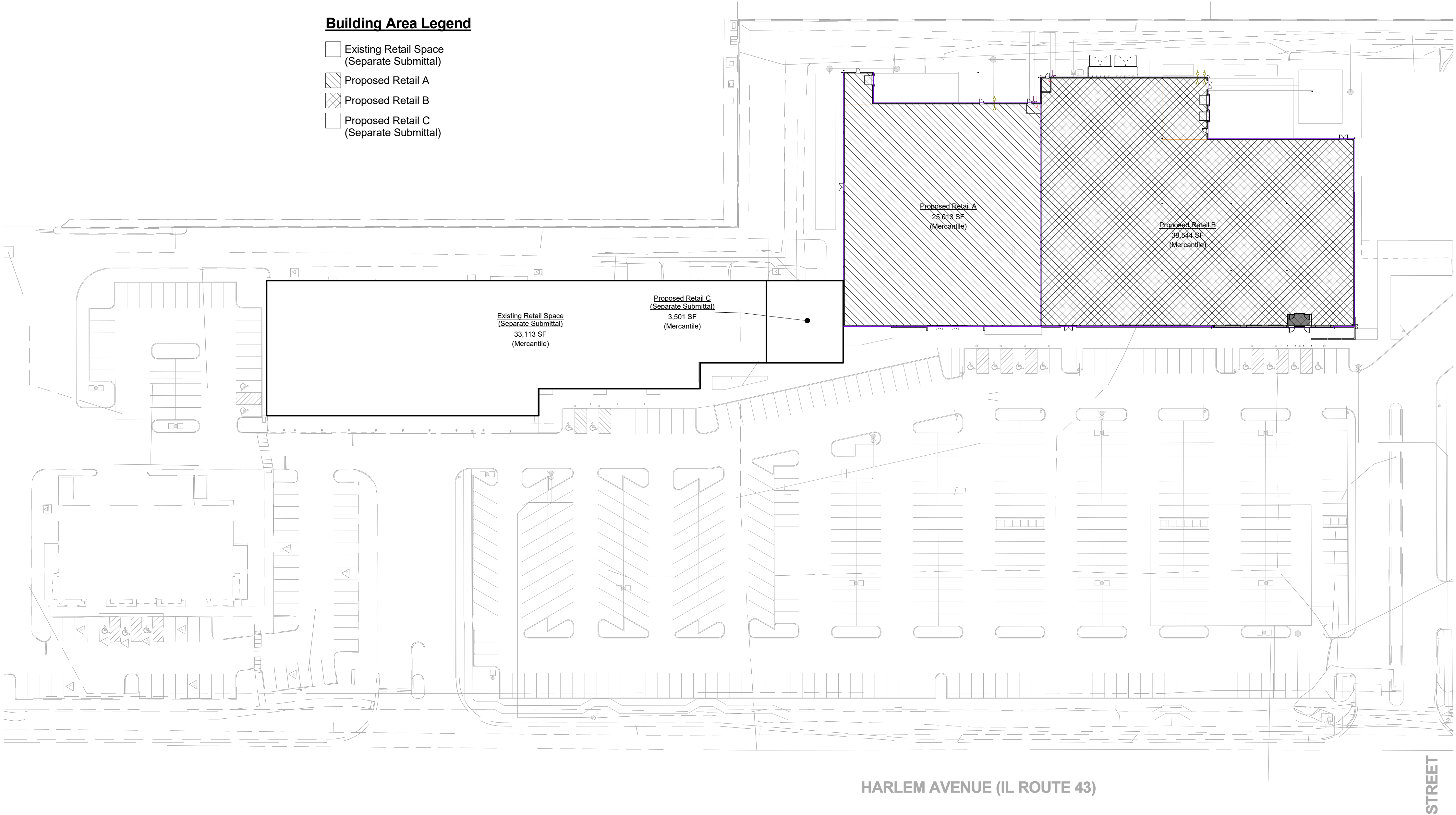






Building Area Legend

- Existing Retail Space  
(Separate Submittal)
- Proposed Retail A
- Proposed Retail B
- Proposed Retail C  
(Separate Submittal)



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'-0"

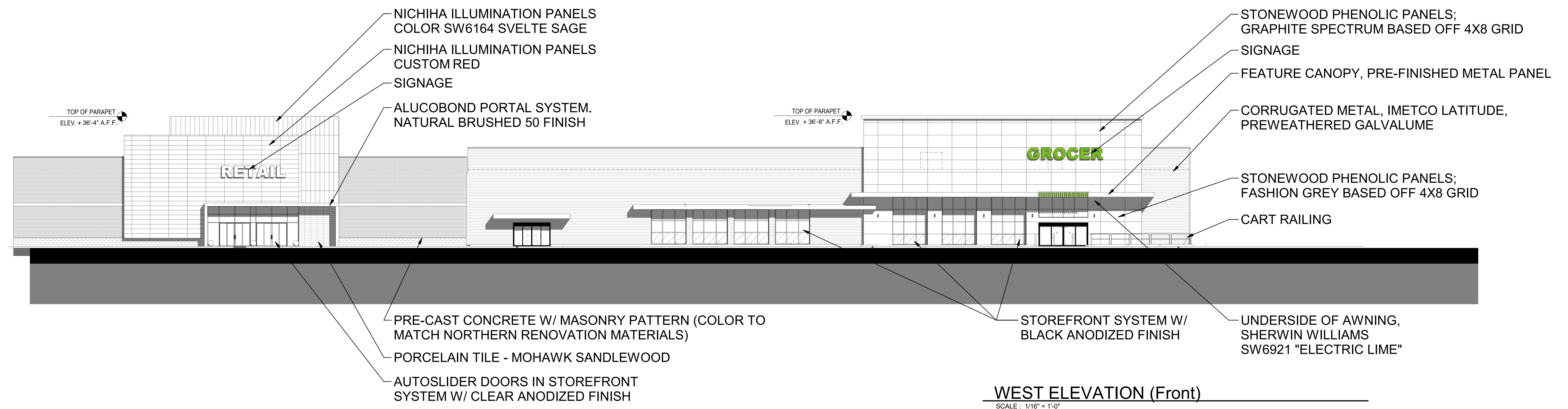
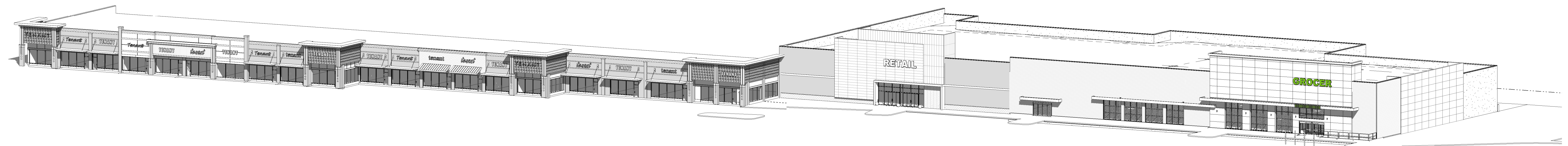
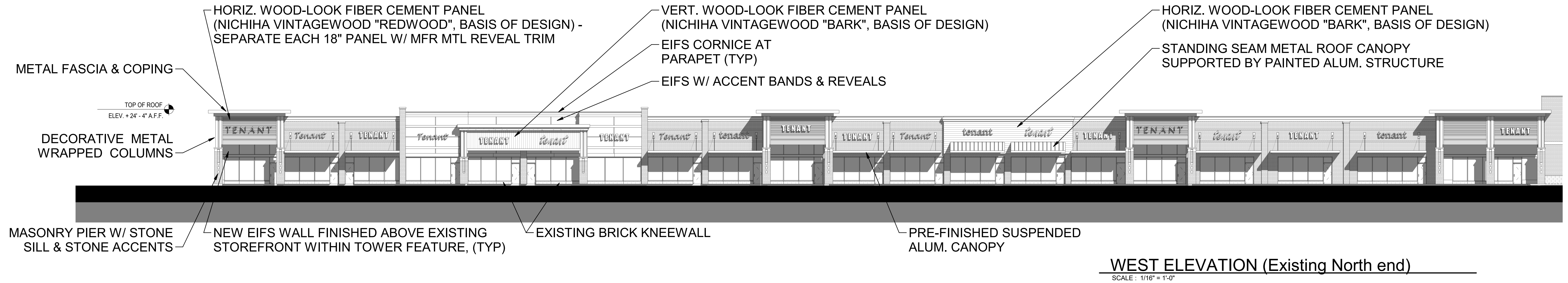


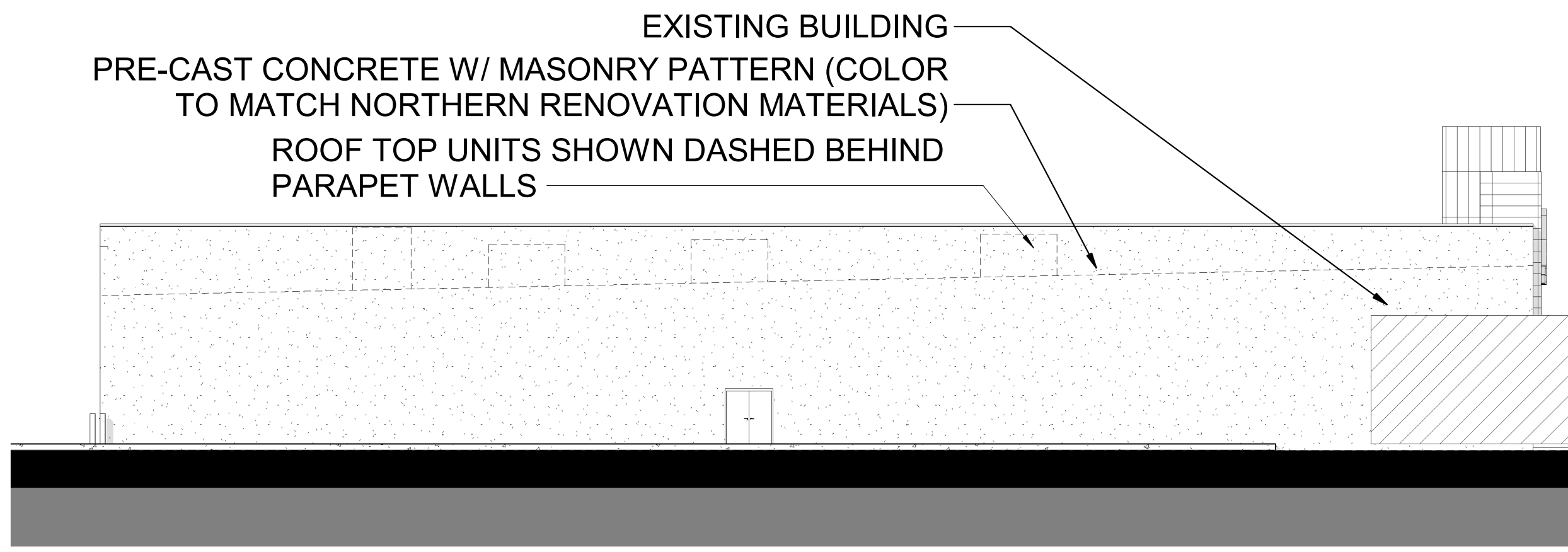
WEST ELEVATION (FRONT) Overall

SCALE : 1" = 30'-0"

WEST ELEVATION MATERIAL PERCENTAGE		
MATERIAL	AREA	% OF (TOTAL-GLASS)
BRICK/ STONE	2940 SQ. FT.	16%
PRE-CAST WITH MASONRY PATTERN	2310 SQ. FT.	13%
FIBER CEMENT	3517 SQ. FT.	19%
METAL	5365 SQ. FT.	29%
PHENOLIC PANELS	2775 SQ. FT.	15%
E.I.F.S.	1251 SQ.FT.	7%
PORCELAIN TILE	156 SQ. FT.	1%
TOTAL - GLASS	18,314 SQ. FT.	







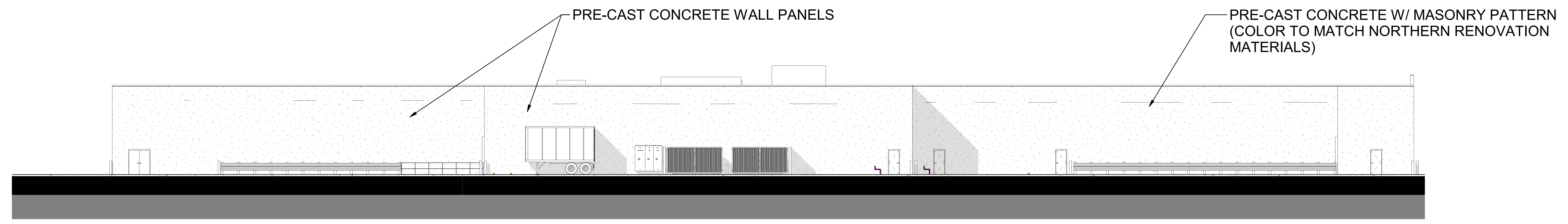
**NORTH ELEVATION (SIDE)**

SCALE : 1/16" = 1'-0"



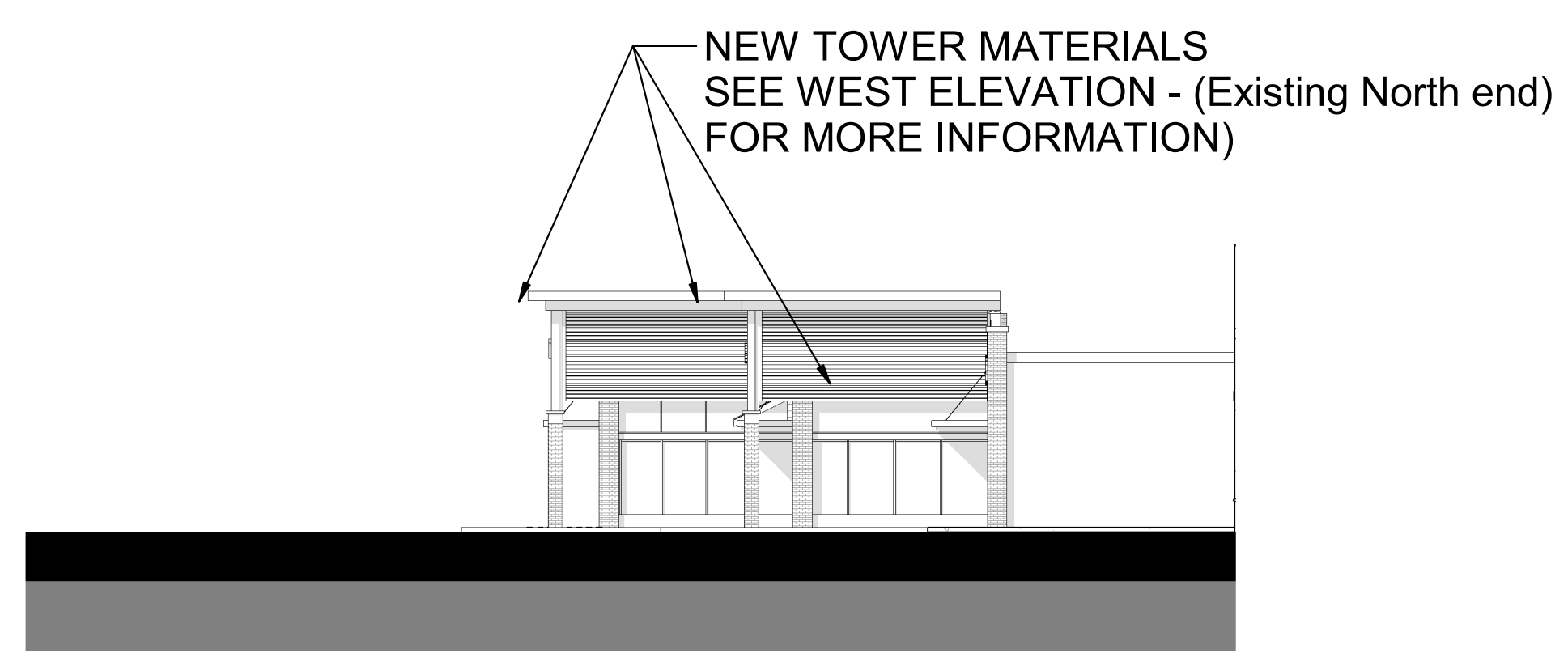
**EAST ELEVATION (Rear) Overall**

SCALE : 1" = 30'-0"



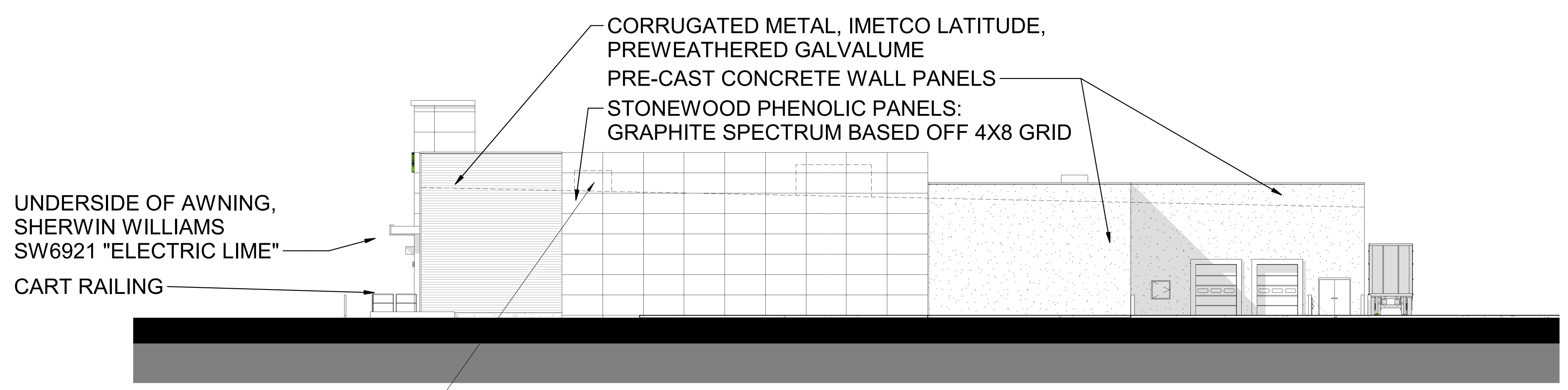
**EAST ELEVATION (Rear)**

SCALE : 1/16" = 1'-0"



**SOUTH ELEVATION (Existing North end)**

SCALE : 1/16" = 1'-0"



ROOF TOP UNITS SHOWN DASHED BEHIND PARAPET WALLS

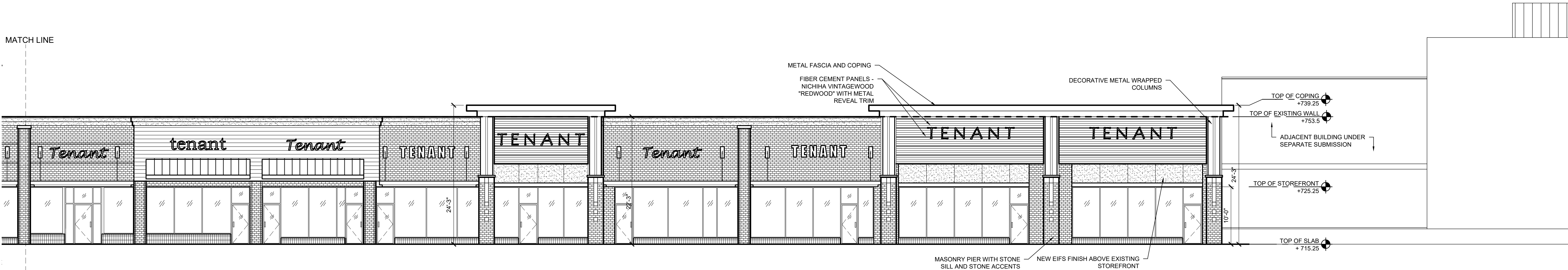
**SOUTH ELEVATION (Side)**

SCALE : 1/16" = 1'-0"

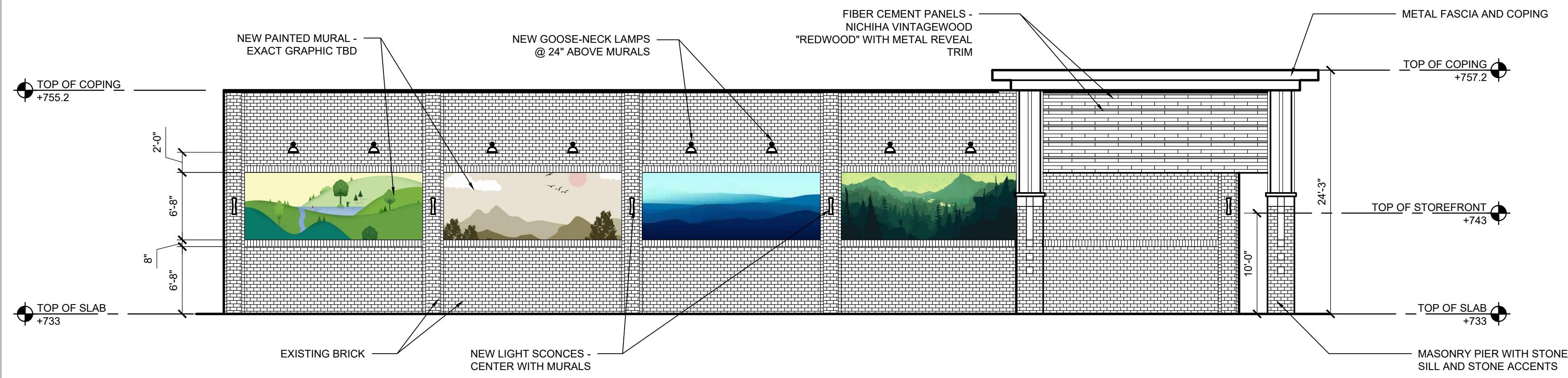




1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"




2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"





SHEET NO.	SITE IMPROVEMENT PLANS TINLEY PARK PLAZA	<p>1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181</p>  <p><b>WOOLPERT</b> ARCHITECTURE   ENGINEERING   GEOSPATIAL</p>	PROJECT No: 080800	No.	DATE	REVISION
	TINLEY PARK, COOK COUNTY, ILLINOIS 60477		DATE 04/14/20	####	####	
	EXISTING DRAINAGE EXHIBIT		DES. ###	####	####	
			DR. ###	####	####	
			CKD. ###	####	####	
				####	####	SEAL

TOTAL AREA:	151,051-SQ.FT.
PERVIOUS AREA (0.45):	8,497-SQ.FT.
PERMEABLE AREA (0.75):	N/A
IMPERVIOUS AREA (0.90):	142,554-SQ.FT.

## NORTHERN REDEVELOPED AREA

**TOTAL AREA:** 21,947-SQ.FT.  
**PERVIOUS AREA (0.45):** 4,139-SQ.FT.  
**PERMEABLE AREA (0.75):** N/A  
**IMPERVIOUS AREA (0.90):** 17,808-SQ.FT.

## WESTERN REDEVELOPED AREA

**TOTAL AREA:** 53,985-SQ.FT.  
**PERVIOUS AREA (0.45):** 4,358-SQ.FT.  
**PERMEABLE AREA (0.75):** N/A  
**IMPERVIOUS AREA (0.90):** 49,627-SQ.FT.

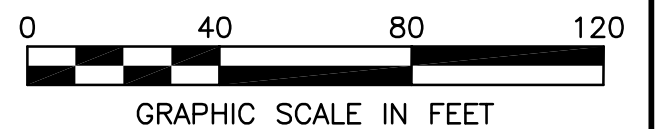
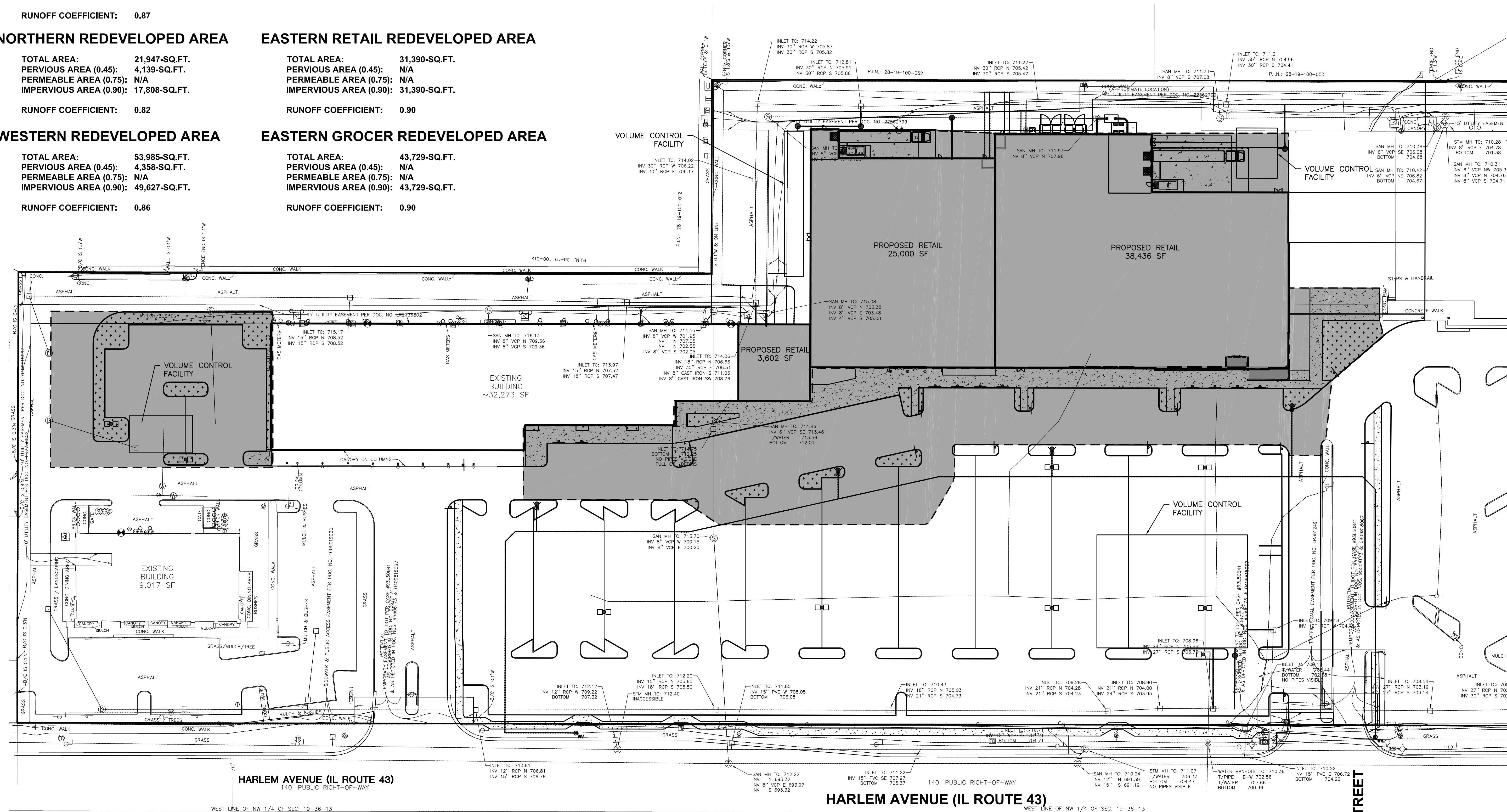
## EASTERN RETAIL REDEVELOPED AREA

**TOTAL AREA:** 31,390-SQ.FT.  
**PERVIOUS AREA (0.45):** N/A  
**PERMEABLE AREA (0.75):** N/A  
**IMPERVIOUS AREA (0.90):** 31,390-SQ.FT.

## EASTERN GROCER REDEVELOPED AREA

TOTAL AREA: 43,729-SQ.FT.  
PERVIOUS AREA (0.45): N/A  
PERMEABLE AREA (0.75): N/A  
IMPERVIOUS AREA (0.90): 43,729-SQ.FT.

**RUNOFF COEFFICIENT: 0.90**



*Call  
Before  
You Dig*

**JULIE**

ILLINOIS  
ONE-CALL SYSTEM

**Simply Call 811**

**SITE IMPROVEMENT PLANS**  
**TINLEY PARK PLAZA**  
**15917 SOUTH HARLEM AVENUE**


ATTINLEY PARK, COOK COUNTY, ILLINOIS 60477

# PROPOSED DRAINAGE EXHIBIT

PROJECT NO.  
080800

DATE 07/02/20  
DES

Suite 950



**WOOLPERT**  
ARCHITECTURE | ENGINEERING | GEOSPATIAL

REVIEWS

DATE:	
NO:	

No.

PROJECT NO.  
080800DATE 07/02/20  
DESDATE 07/02/20  
DES

SEAL

SHEET NO.

## EXH-B



**Stormwater Management Overview**

Total Parcel Area =		=	21.95 acres
Redeveloped/Disturbed Area = (Building Not Included)	151,051.00 sq.ft	=	3.47 acres
Total Upstream Area:	0.00 sq.ft	=	0.00 acres
Total Unrestricted Area:	0.00 sq.ft	=	0.00 acres
Total Tributary Area:		=	0.00 acres
USDA Soil Type =			
Impervious CN =	98		
Permeable Pavement CN =	91		
Pervious CN =	74		
Impervious Coefficient =	0.90		
Permeable Paver Coefficient =	0.75		
Pervious Coefficient =	0.45		

**Existing Conditions**

<b>Redeveloped Tributary Area:</b>				
Impervious Area =	137,200.00 sq.ft	=	3.15 acres	
Permeable Pavement =	5,029.00 sq.ft	=	0.12 acres	
Pervious Area =	8,822.00 sq.ft	=	0.20 acres	
	151,051.00 sq.ft	=	3.47 acres	= 0.005418 sq.mi
Weighted CN =	96.37	=	96	
Adjusted CN =		=		
Weighted Coefficient =	0.87			

**Proposed Conditions**

<b>Redeveloped Tributary Area:</b>				
Impervious Area =	142,554.00 sq.ft	=	3.27 acres	
Permeable Pavement =	0.00 sq.ft	=	0.00 acres	
Pervious Area =	8,497.00 sq.ft	=	0.20 acres	
	151,051.00 sq.ft	=	3.47 acres	= 0.005418 sq.mi
Weighted CN =	96.65	=	97	
Adjusted CN =		=		
Weighted Coefficient =	0.87			

**Volume Control**

Min. PCBMP Volume Req'd = (1.0" x Disturbed Impervious)	11,879.50 sq.ft.	=	0.273 acres			
PCBMP Volume Provided =		=	0.000 acres			
Area Distributed to Burlington & Retail =	31,390.00 sq.ft.	=	0.721 acres	<u>% of Total</u> 20.8%	<u>Volume Control Required</u> 0.057 ac-ft	<u>Release Rate Required</u> 0.180 cfs
Area Distributed to Grocery Store =	43,729.00 sq.ft.	=	1.004 acres	28.9%	0.079 ac-ft	0.251 cfs
Area Distributed to West =	53,985.00 sq.ft.	=	1.239 acres	35.7%	0.097 ac-ft	0.310 cfs
Area Distributed to North =	21,947.00 sq.ft.	=	0.504 acres	14.6%	0.040 ac-ft	0.127 cfs

Stormwater Detention  
Metropolitan Water Reclamation District of Greater Chicago  
Watershed Planning Area = Little Calumet River

Gross Allowable Release Rate = 0.25 cfs/ac

Redeveloped Allowable Release Rate = 0.867 cfs

Existing Required Detention = 0.711 ac-ft  
(MRM TP-40)

Proposed Required Detention = 1.201 ac-ft  
(MRM Bulletin 75)

Incremental Storage = 0.490 ac-ft

Restrictor Size =

Site Actual Release Rate = 0.867 cfs < 0.867 cfs ; O.K.

Existing Storm Detention  
Volume of Northwest Pond =  
Volume of Northeast Pond =  
Verified Detention Volume = 0.000 ac-ft

Proposed Storm Detention  
Volume of Northwest Pond =  
Volume of Northeast Pond =  
Verified Detention Volume = 0.000 ac-ft > 0.490 ac-ft O.K.

## COMPOSITE RUNOFF COEFFICIENT (C)

PROJECT: Site Improvement Plans - Tinley Park Plaza

PERMIT NUMBER: \_\_\_\_\_

LOCATION: 15917 South Harlem Avenue, Tinley Park, IL

DATE: \_\_\_\_\_

### TYPE OF AREA (SELECT WITH DROP-DOWN)

☐ DETAINED AREA

☒ MAJOR STORMWATER SYSTEM

☐ UNRESTRICTED AREA

☐ OTHER: \_\_\_\_\_

☐ UPSTREAM AREA

### CONDITION (SELECT WITH DROP-DOWN)

☐ PROPOSED CONDITION

☒ EXISTING CONDITION

### RUNOFF COEFFICIENT

Surface Description	C	Area (acres)	Product (C)(Area)
Pervious Area	0.45	0.20	0.09
Permeable Asphalt	0.75	0.12	0.09
Impervious Area	0.90	3.15	2.84

TOTALS:

3.47

3.02

### COMPOSITE RUNOFF COEFFICIENT

$$\text{Composite C} = \frac{\text{Total Product}}{\text{Total Area}} = \frac{3.02}{3.47} \rightarrow \text{Composite C} = \boxed{0.87}$$

## COMPOSITE RUNOFF COEFFICIENT (C)

PROJECT: Site Improvement Plans - Tinley Park Plaza

PERMIT NUMBER: \_\_\_\_\_

LOCATION: 15917 South Harlem Avenue, Tinley Park, IL

DATE: \_\_\_\_\_

### TYPE OF AREA (SELECT WITH DROP-DOWN)

☐ DETAINED AREA

☒ MAJOR STORMWATER SYSTEM

☐ UNRESTRICTED AREA

☐ OTHER: \_\_\_\_\_

☐ UPSTREAM AREA

### CONDITION (SELECT WITH DROP-DOWN)

☒ PROPOSED CONDITION

☐ EXISTING CONDITION

### RUNOFF COEFFICIENT

Surface Description	C	Area (acres)	Product (C)(Area)
	0.45	0.20	0.09
	0.75	0.00	0.00
	0.90	3.27	2.94

TOTALS:

3.47

3.03

### COMPOSITE RUNOFF COEFFICIENT

$$\text{Composite C} = \frac{\text{Total Product}}{\text{Total Area}} = \frac{3.03}{3.47} \rightarrow \text{Composite C} = \boxed{0.87}$$

## MODIFIED RATIONAL METHOD: TP-40 RAINFALL DATA

PROJECT: Site Improvement Plans - Tinley Park Plaza

PERMIT NUMBER: \_\_\_\_\_

LOCATION: 15917 South Harlem Avenue, Tinley Park, IL

DATE: \_\_\_\_\_

### DEVELOPMENT INFORMATION

1. Detained Area

3.470

acres

2. Runoff Coefficient

0.870

3. Actual Release Rate

0.867

cfs

### REQUIRED DETENTION VOLUME

4. Required Detention Volume

0.711

ac-ft

### CALCULATION TABLE

Storm Duration	Rainfall Intensity (in/hr)	Inflow Rate (cfs)	Stored Rate (cfs)	Required Storage (ac-ft)
10 min	7.60	22.94	22.08	0.304
20 min	5.50	16.60	15.74	0.434
30 min	4.40	13.28	12.42	0.513
40 min	3.70	11.17	10.30	0.568
50 min	3.20	9.66	8.79	0.606
1 hr	2.80	8.45	7.59	0.627
1.5 hr	2.10	6.34	5.47	0.678
2 hr	1.70	5.13	4.27	0.705
3 hr	1.20	3.62	2.76	0.683
4 hr	1.00	3.02	2.15	0.711
5 hr	0.84	2.54	1.67	0.690
6 hr	0.73	2.20	1.34	0.663
7 hr	0.65	1.96	1.10	0.634
8 hr	0.58	1.75	0.88	0.584
9 hr	0.53	1.60	0.73	0.545
10 hr	0.49	1.48	0.61	0.506
11 hr	0.46	1.39	0.52	0.474
12 hr	0.43	1.30	0.43	0.428
13 hr	0.40	1.21	0.34	0.366
14 hr	0.38	1.15	0.28	0.324
15 hr	0.36	1.09	0.22	0.272
16 hr	0.34	1.03	0.16	0.211
17 hr	0.33	1.00	0.13	0.182
18 hr	0.31	0.94	0.07	0.102
19 hr	0.30	0.91	0.04	0.061
20 hr	0.29	0.88	0.01	0.014
21 hr	0.28	0.85	-0.02	-0.038
22 hr	0.27	0.82	-0.05	-0.094
23 hr	0.26	0.78	-0.08	-0.156
24 hr	0.25	0.75	-0.11	-0.223

←



## MODIFIED RATIONAL METHOD: BULLETIN 75 RAINFALL DATA

PROJECT: Site Improvement Plans - Tinley Park Plaza PERMIT NUMBER: \_\_\_\_\_

LOCATION: 15917 South Harlem Avenue, Tinley Park, IL DATE: \_\_\_\_\_

### DEVELOPMENT INFORMATION

- |                                 |       |       |
|---------------------------------|-------|-------|
| 1. Detained Area                | 3.470 | acres |
| 2. Composite Runoff Coefficient | 0.870 |       |
| 3. Actual Release Rate          | 0.867 | cfs   |

### REQUIRED DETENTION VOLUME

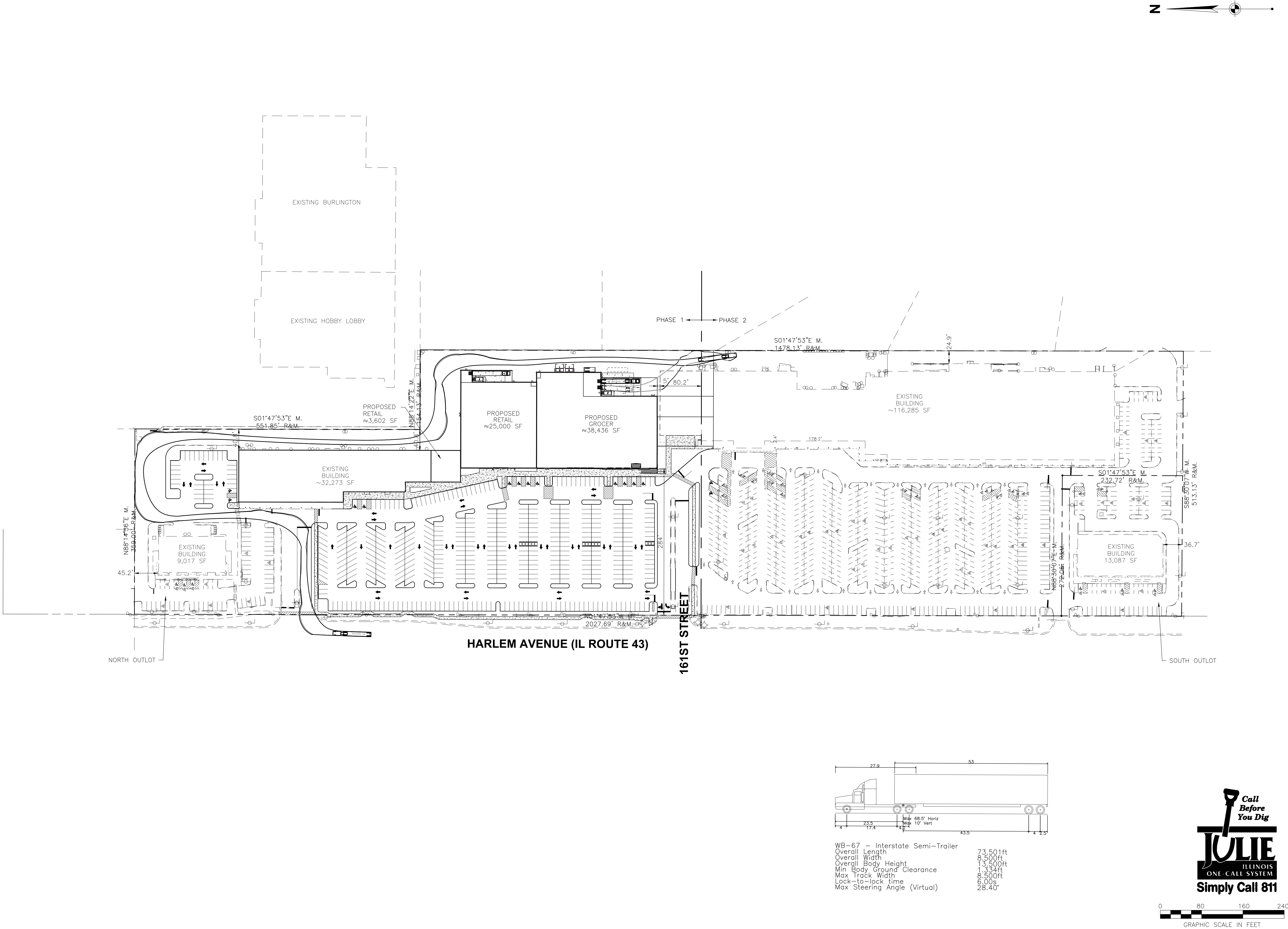
- |                              |       |       |
|------------------------------|-------|-------|
| 4. Required Detention Volume | 1.201 | ac-ft |
|------------------------------|-------|-------|


### CALCULATION TABLE

Storm Duration	Rainfall Intensity (in/hr)	Inflow Rate (cfs)	Stored Rate (cfs)	Required Storage (ac-ft)
5 min	12.36	37.31	36.45	0.251
10 min	10.80	32.60	31.74	0.437
15 min	9.28	28.02	27.15	0.561
20 min	8.04	24.27	23.40	0.645
30 min	6.34	19.14	18.27	0.755
40 min	5.28	15.94	15.07	0.830
50 min	4.55	13.74	12.87	0.886
1 hr	4.03	12.17	11.30	0.934
1.5 hr	3.03	9.15	8.28	1.026
2 hr	2.49	7.52	6.65	1.099
3 hr	1.83	5.52	4.66	1.155
4 hr	1.48	4.47	3.60	1.190
5 hr	1.25	3.77	2.91	1.201
6 hr	1.07	3.23	2.36	1.172
7 hr	0.96	2.90	2.03	1.175
8 hr	0.86	2.60	1.73	1.143
9 hr	0.79	2.38	1.52	1.129
10 hr	0.72	2.17	1.31	1.080
11 hr	0.67	2.02	1.16	1.051
12 hr	0.62	1.88	1.01	1.000
18 hr	0.45	1.35	0.48	0.720
24 hr	0.36	1.08	0.21	0.419

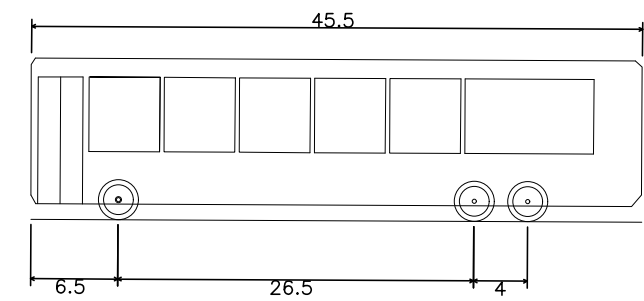
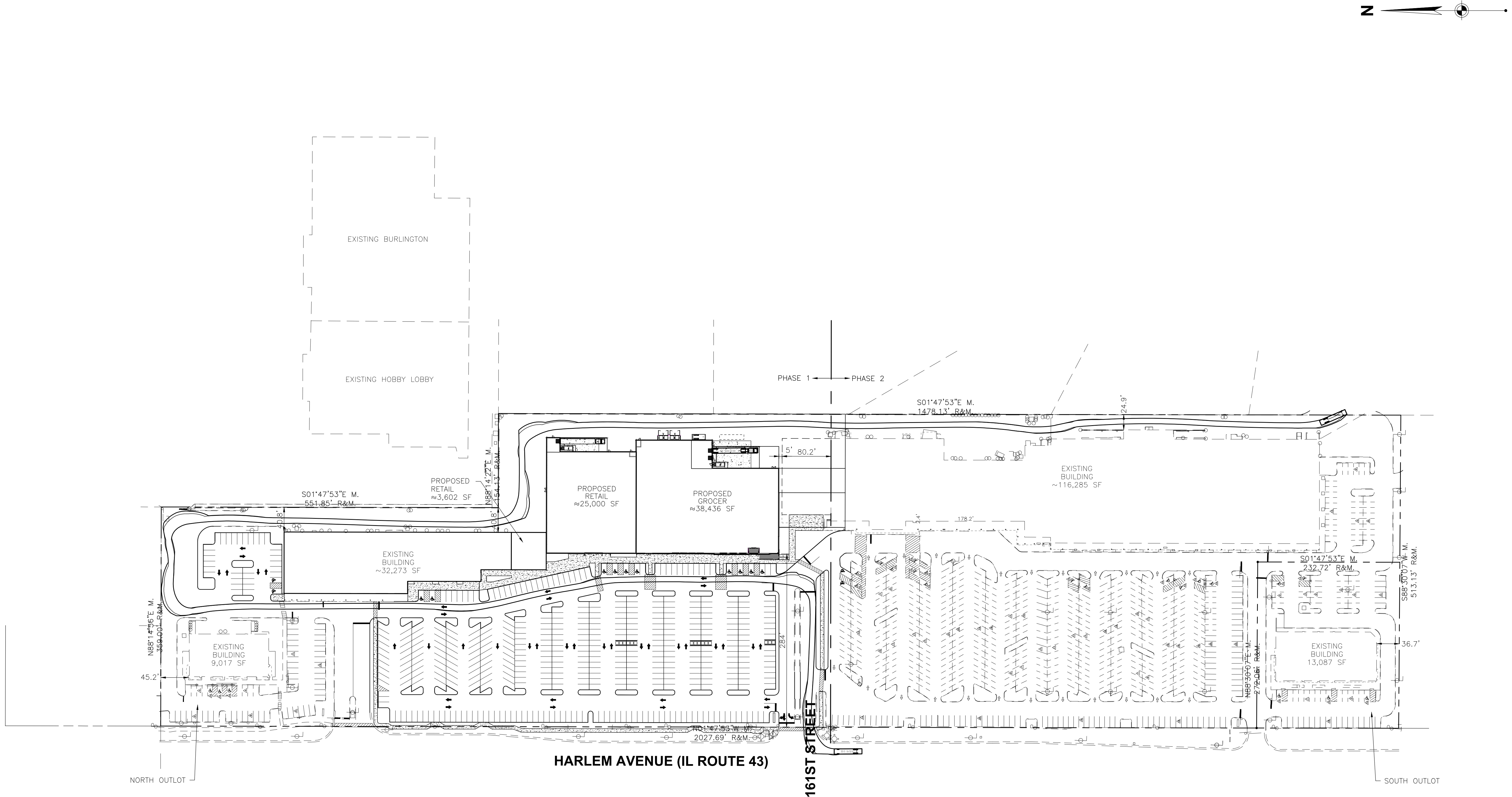
←

Layout Tab Name: C200 OVERALL SITE PLAN, Images: SniplImage (00B).jpg : Xrefs: 080800-X.dwg; 080800-P.dwg; 080800-X-others.dwg; 080800-TBLK.dwg; AreaPlan(GrossBuilding)---xblgfloorplanexport.dwg  
Last Saved By:cooke, 6/15/2020 1:46:00 PM  
G:\DE\Clients\Brikmor\080800 Tinley Park Plaza --- Tinley Park, IL\4.0 Disciplines\Civil\Coad\Exhibits\080800--Truck Turn.dwg Plotted By:cooke, Jake Plotted:July 2, 2020, 4:42:33 PM



SHEET NO.		PROJECT No:		No.		DATE		REVISION	
<div>SITE IMPROVEMENT PLANS</div> <div>TINLEY PARK PLAZA</div> <div>15917 SOUTH HARLEM AVENUE</div> <div>TINLEY PARK, COOK COUNTY, ILLINOIS 60477</div> <div>TRUCK TURN EXHIBIT</div>		<div>1815 South Meyers Road</div> <div>Suite 950</div> <div>Oakbrook Terrace, IL 60181</div> <div></div> <div>WOOLPERT</div> <div>ARCHITECTURE   ENGINEERING   INTERIOR</div> <div>FAX: 630.495.3731</div>		080800					
				DATE 04/14/20					
				DES. RW					
				DR. DH					
				CKD. TR					
EXH-1								SEAL	

Layout Tab Name: C200 OVERALL SITE PLAN (2), Images: SniplImage (00B).jpg, Xrefs: 080800-X.dwg; 080800-P.dwg; 080800-TBLK.dwg; AreaPlan(GrossBuilding)---xblgfloorplanexport.dwg  
Last Saved By:cooke, 6/15/2020 1:46:00 PM  
G:\DE\clients\Brikmor\080800 Tinley Park Plaza --- Tinley Park, IL\4.0 Disciplines\Civil\Coad\Exhibits\080800--Truck Turn.dwg Plotted By:cooke, Jake Plotted:July 2, 2020, 4:35:36 PM



\*SIMILAR DIMENSIONS TO FIRE TRUCK TOWER 48  
BUS-45 - Inter City Bus  
Overall Length 45.500ft  
Overall Width 6.500ft  
Overall Body Height 26.500ft  
Min Body Ground Clearance 4.158ft  
Track Width 8.500ft  
Lock-to-lock time 5.00s  
Max Steering Angle (Virtual) 45.20°



SITE IMPROVEMENT PLANS		PROJECT No:		No.		DATE		REVISION	
TINLEY PARK PLAZA		080800							
		1815 South Meyers Road		DATE		04/14/20			
		Suite 950		DES.		RW			
		Oakbrook Terrace, IL 60181		DR.		DH			
		630.424.9080		CKD.		TR			
FIRE TRUCK EXHIBIT		15917 SOUTH HARLEM AVENUE							
		TINLEY PARK, COOK COUNTY, ILLINOIS 60477							
SHEET NO.		EXH-2							

STATE OF ILLINOIS            )  
COUNTY OF COOK            ) SS.  
COUNTY OF WILL            )

**CLERK'S CERTIFICATE**

I, KRISTIN THIRION, the duly elected and qualified Village Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois, do hereby certify that attached hereto is a true and correct copy of the Resolution now on file in my office, entitled:

**RESOLUTION NO. 2020-R-**

**RESOLUTION APPROVING AND ACCEPTING A SIDEWALK AND PUBLIC  
ACCESS EASEMENT AGREEMENT WITH BRIXMOR/IA TINLEY PARK PLAZA  
LLC FOR PROPERTY NEAR 15903-15915 S HARLEM AVENUE WITHIN THE  
TINLEY PARK PLAZA PLANNED UNIT DEVELOPMENT**

which was adopted by the Board of Trustees of the Village of Tinley Park at a regular meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, at which meeting a quorum was present, and approved by the President of the Village of Tinley Park on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

I further certify that the vote on the question of the adoption of the said Resolution by the Board of Trustees of the Village of Tinley Park was taken by the Ayes and Nays and recorded in the Journal of Proceedings of the Board of Trustees of the Village of Tinley Park, and that the result of said vote was as follows, to-wit:

**AYES:**

**NAYS:**

**ABSENT:**

I do further certify that the original Resolution, of which the attached is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Village of Tinley Park, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Village Clerk



**RESOLUTION NO. 2020-R-\_\_\_**

**RESOLUTION APPROVING AND ACCEPTING A SIDEWALK AND PUBLIC  
ACCESS EASEMENT AGREEMENT WITH BRIXMOR/IA TINLEY PARK PLAZA,  
LLC FOR PROPERTY NEAR 15903-15915 S HARLEM AVENUE WITHIN THE  
TINLEY PARK PLAZA PLANNED UNIT DEVELOPMENT**

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois have considered a Sidewalk and Public Access Easement Agreement (the "Agreement"), between Brixmor/IA Tinley Park Plaza, LLC, a Delaware limited liability company ("Owner") and the Village of Tinley Park, Cook and Will Counties, Illinois, an Illinois Municipal Corporation ("Village"), a true and correct copy of which is attached hereto and made a part hereof as EXHIBIT 1 and determined that said Agreement is in the best interest of the Village of Tinley Park and its residents.

**NOW, THEREFORE**, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

**Section 1:** The Preambles hereto are hereby made a part of and operative provisions of this Resolution as fully as if completely repeated at length herein.

**Section 2:** That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid Agreement be entered into and executed by said Village of Tinley Park, with said Agreement to be substantially in the form attached hereto and made a part hereof as EXHIBIT 1.

**Section 3:** That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Agreement.

**Section 4:** The Agreement attached hereto as EXHIBIT 1 entitled "Sidewalk and Public Access Easement Agreement" is hereby adopted and approved.

**Section 5:** This Resolution shall be in full force and effect upon its adoption and approval.

**AYES:**

**NAYS:**

**ABSENT:**

**APPROVED** this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
President

**ATTEST:**

\_\_\_\_\_  
Village Clerk





EXHIBIT 1

[ATTACHED]

Prepared by and after recording  
return to:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### **SIDEWALK AND PUBLIC ACCESS EASEMENT AGREEMENT**

THIS SIDEWALK AND PUBLIC ACCESS EASEMENT AGREEMENT (the "**Agreement**") is made as of the Effective Date (as that term is defined below) by and between **BRIXMOR/IA TINLEY PARK PLAZA, LLC.**, a Delaware limited liability company ("Owner"), and the **VILLAGE OF TINLEY PARK**, Cook and Will Counties, Illinois, an Illinois Municipal Corporation ("Village").

#### **RECITALS:**

A. Owner is the owner of the property legally described on Exhibit A attached hereto and made a part hereof (the "Property"); and

B. In accordance with the provisions of the Village's Ordinance 2020-0-\_\_\_\_\_  
(*Ordinance Approving a Substantial Deviation to the Tinley Park Plaza Planned Unit Development - Brixmor*) dated \_\_\_\_\_, 2020, the Village has required that this Easement Agreement be entered into by the parties hereto; and

C. Owner desires to satisfy the Village's aforesaid requirement by entering into this Agreement.

**NOW, THEREFORE**, in consideration of the above Recitals, which are hereby incorporated herein as material to this Agreement and the mutual covenants hereinafter set forth, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **SIDEWALK AND PUBLIC ACCESS EASEMENT GRANT.** Owner hereby grants to the Village, for the use and benefit of the Village and the general public, a nonexclusive sidewalk and public access easement over the portion of the Property legally described on Exhibit B attached hereto and made a part hereof and depicted on Exhibit C attached hereto and made a part hereof. Owner is solely responsible to construct the sidewalk in the Easement at Owner's cost in compliance with applicable building code provisions and thereafter the Village will accept ownership of the improvements and maintain said sidewalk at its expense, without contribution from Owner except as otherwise agreed or provided by ordinance.



2. **NOTICES.** All notices or communications herein required or that a party hereto desires to give to the other ("notice" or "notices") shall be in writing and sent by (i) registered or certified mail, postage prepaid, return receipt requested, or (ii) nationally recognized overnight courier service that provides a receipt. In either case, notices shall be sent to the following addresses (or such other addresses as the parties may give notice of hereunder):

If to Owner: Brixmor/IA Tinley Park Plaza, LLC  
c/o Brixmor Property Group  
8700 West Bryn Mawr Avenue, Suite 1000-S  
Chicago, IL 60631  
Attn: Legal Department

With a copy to: Brixmor/IA Tinley Park Plaza, LLC  
c/o Brixmor Property Group  
450 Lexington Avenue, 13<sup>th</sup> Floor  
New York, NY 10017  
Attn: General Counsel

If to the Village: Village of Tinley Park  
Attn: Village Manager  
16250 S. Oak Park Ave.  
Tinley Park, IL 604 77

With a copy to:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Notices sent by certified mail shall be effective three (3) business days after mailing. Notices sent by courier shall be effective one (1) business day after delivery to the courier service.

3. **GOVERNING LAW.** This Agreement shall be construed in accordance with and governed by the laws of the State of Illinois.

4. **HEADINGS.** Paragraph headings are for convenience only, and in no way define or limit the scope and content of this Agreement or in any way affect its provisions.

5. **MODIFICATION.** This Agreement cannot be changed, modified, waived or discharged except by written agreement signed by the parties hereto.

6. **RECORDING.** This Agreement shall be recorded against the Property in the Office of the Recorder of Deeds of Cook County, Illinois and Owner shall be responsible for the recording fees.

7. **ENTIRE AGREEMENT.** This Agreement constitutes the entire understanding between the parties concerning the subject matter herein contained. There are no oral promises,

conditions, representations, undertakings or terms of any nature as conditions or inducement to the signing of this Agreement that are in effect.

8. **EFFECTIVE DATE.** This Agreement shall be deemed dated and become effective as of the date\_\_\_\_\_ 2020

[Signatures to Follow]

**IN WITNESS WHEREOF**, the parties have caused this Agreement to be executed as of the Effective Date.

**OWNER:**

**VILLAGE:**

**BRIXMOR/IA TINLEY PARK PLAZA, LLC,**  
a Delaware limited liability company

**VILLAGE OF TINLEY PARK, ILLINOIS**

By: Brixmor/IA JV Pool B, LLC,  
a Delaware limited liability company,  
its sole member

By: Brixmor/IA JV, LLC,  
a Delaware limited liability company,  
its sole member

By: Brixmor IA JV Manager, LLC,  
a Delaware limited liability company,  
its sole member

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_,  
\_\_\_\_\_

By: \_\_\_\_\_  
Name: Jacob. C Vandenberg  
Its: President

**ATTEST:**

\_\_\_\_\_  
Kristin Thirion, Village Clerk



STATE OF ILLINOIS       )  
  ) SS.  
COUNTY OF COOK       )

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, personally known to me to be the \_\_\_\_\_ of Brixmor/IA Tinley Park Plaza, LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he is authorized to and has signed and delivered said instrument as his free and voluntary act and the free and voluntary act of Brixmor/IA Tinley Park Plaza, LLC for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public  
My commission expires: \_\_\_\_\_

STATE OF ILLINOIS       )  
  ) SS.  
COUNTY OF COOK       )

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY that Jacob C. Vandenberg, personally known to me to be the President of the Village of Tinley Park, an Illinois municipal corporation, and Kristin Thirion, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons who names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that such Village President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Village Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public  
My commission expires: \_\_\_\_\_

**EXHIBIT A**  
**LEGAL DESCRIPTION**

PARCEL 1:

LOTS 1 AND 2 IN THE PLAT OF TINLEY PARK PLAZA SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067, BEING A SUBDIVISION OF THAT PART OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

ALSO DESCRIBED AS:

THAT PART OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 19; THENCE SOUTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST ALONG THE WEST LINE OF SECTION 19, 304.50 FEET; THENCE SOUTH 89 DEGREES 57 MINUTES 11 SECONDS EAST, 70.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 57 MINUTES 11 SECONDS EAST, 359.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 551.85 FEET; THENCE SOUTH 89 DEGREES 57 MINUTES 45 SECONDS EAST, 154.13 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 1,478.13 FEET; THENCE NORTH 89 DEGREES 42 MINUTES 00 SECONDS WEST, 513.13 FEET TO A POINT ON THE EAST RIGHT-OF-WAY OF HARLEM AVENUE, SAID POINT BEING 70.00 FEET EAST OF THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 19; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, 2,027.69 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:

TOGETHER WITH RIGHTS CONTAINED IN AN EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1, AS CREATED BY THE ACCESS EASEMENT AGREEMENT DATED SEPTEMBER 20, 1995 AND RECORDED OCTOBER 3, 1995 AS DOCUMENT 95669296, BETWEEN THE VILLAGE OF TINLEY PARK, A MUNICIPAL CORPORATION AND THE MUTUAL LIFE INSURANCE COMPANY OF NEW YORK, A NEW YORK CORPORATION, OVER THE FOLLOWING DESCRIBED PROPERTY, TO WIT:

THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, TAKEN AS A TRACT, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY CORNER OF LOT 1 IN CENTENNIAL SUBDIVISION UNIT 1, ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT 27155558; THENCE SOUTH 00 DEGREES, 00 MINUTES, 00 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1, EXTENDED SOUTH 80.56 FEET TO THE POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG A TANGENTIAL CURVE

CONCAVE TO THE NORTHEAST, RADIUS 32.00 FEET, CENTRAL ANGLE 79 DEGREES, 32 MINUTES, 42 SECONDS, 44.43 FEET; THENCE SOUTH 79 DEGREES, 32 MINUTES, 42 SECONDS EAST ALONG A TANGENT 65.00 FEET; THENCE NORTHEASTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE NORTHWEST RADIUS 24.00 FEET, CENTRAL ANGLE 26 DEGREES, 21 MINUTES, 27 SECONDS, 11.04 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF CENTENNIAL DRIVE, AS HERETOFORE DEDICATED BY DOCUMENT 25509385 RECORDED JULY 9, 1980; THENCE SOUTH 11 DEGREES, 18 MINUTES 53 SECONDS WEST, 31.79 FEET TO A POINT ON A 24.00 FOOT RADIUS, THE CENTER OF CIRCLE OF SAID CURVE BEARS SOUTH 34 DEGREES, 51 MINUTES, 51 SECONDS WEST FROM SAID POINT; THENCE WESTERLY ALONG SAID CURVE 10.12 FEET, CENTRAL ANGLE 24 DEGREES, 10 MINUTES, 05 SECONDS; THENCE NORTH 79 DEGREES, 18 MINUTES, 14 SECONDS WEST ALONG TANGENT, 34.70 FEET; THENCE SOUTHWESTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE SOUTHEAST, RADIUS 37.00 FEET, CENTRAL ANGLE 102 DEGREES, 00 MINUTES, 19 SECONDS, 65.87 FEET; THENCE SOUTH 01 DEGREES, 18 MINUTES, 33 SECONDS EAST ALONG TANGENT 24.82 FEET; THENCE SOUTHWESTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE NORTHWEST, RADIUS 39.00 FEET, CENTRAL ANGLE 39 DEGREES, 04 MINUTES, 44 SECONDS, 26.60 FEET TO A POINT ON AFORESAID WESTERLY LINE EXTENDED SOUTH OF LOT 1 IN CENTENNIAL SUBDIVISION; THENCE NORTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST ALONG SAID WESTERLY LINE EXTENDED 150.38 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.



**EXHIBIT B**  
**LEGAL DESCRIPTION OF SIDEWALK EASEMENT**

LEGAL DESCRIPTION OF PUBLIC ACCESS SIDEWALK EASEMENT:

That part of Lot 1 in Tinley Park Plaza Subdivision according to the Plat thereof Recorded April 7, 2004, as Document Number \_\_\_\_\_, being a Subdivision of that part of the Northwest Quarter of Section 19, Township 36 North, Range 13, East of the Third Principal Meridian, in the Village of Tinley Park, Cook County, Illinois.

Described as follows:

[TO BE INSERTED]

P.I.N. 28-19-100-\_\_\_\_-0000

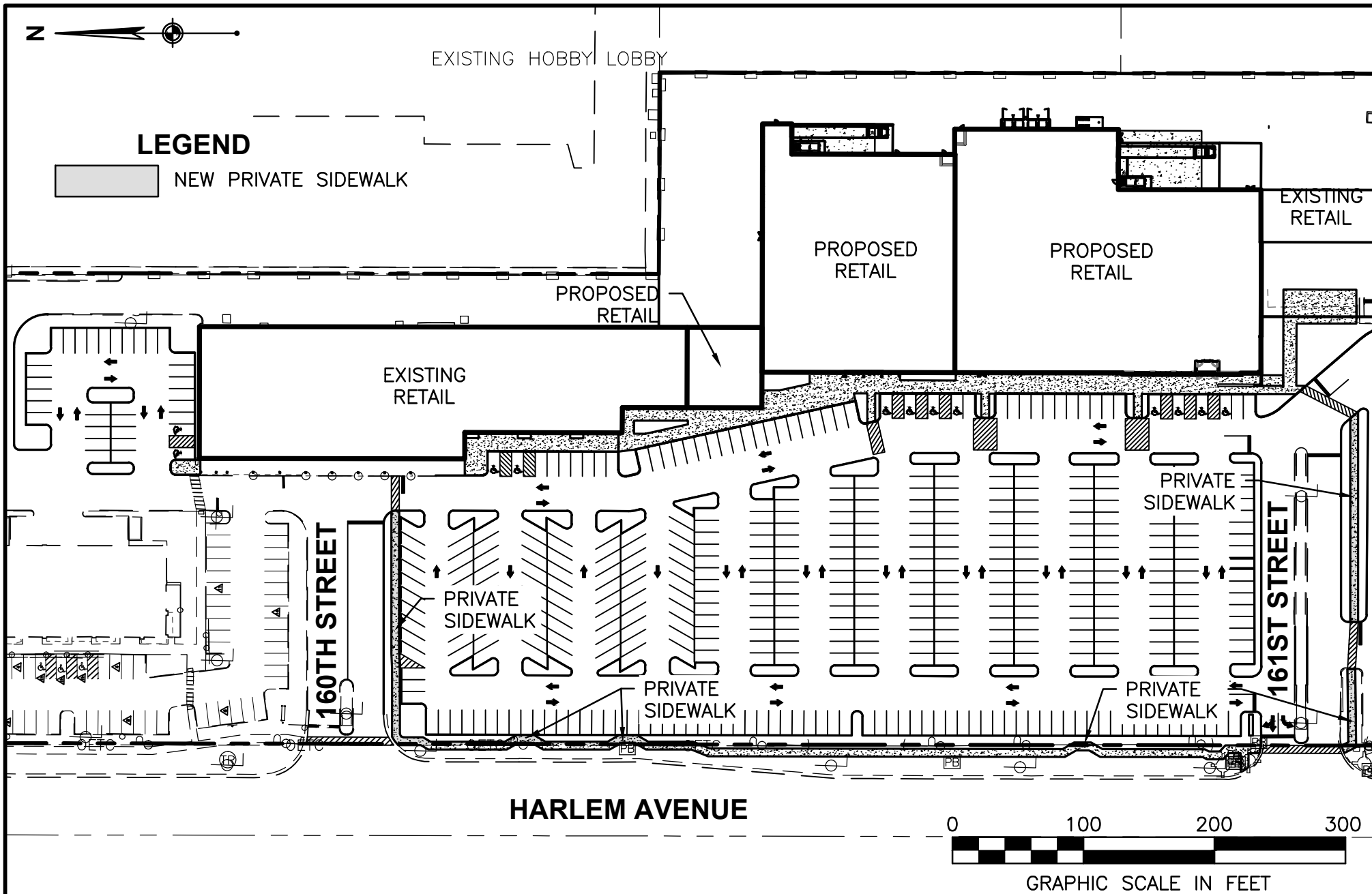
**EXHIBIT C**  
**[ATTACHED]**



## LEGEND



NEW PRIVATE SIDEWALK



1815 South Meyers Road  
Suite 950  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731

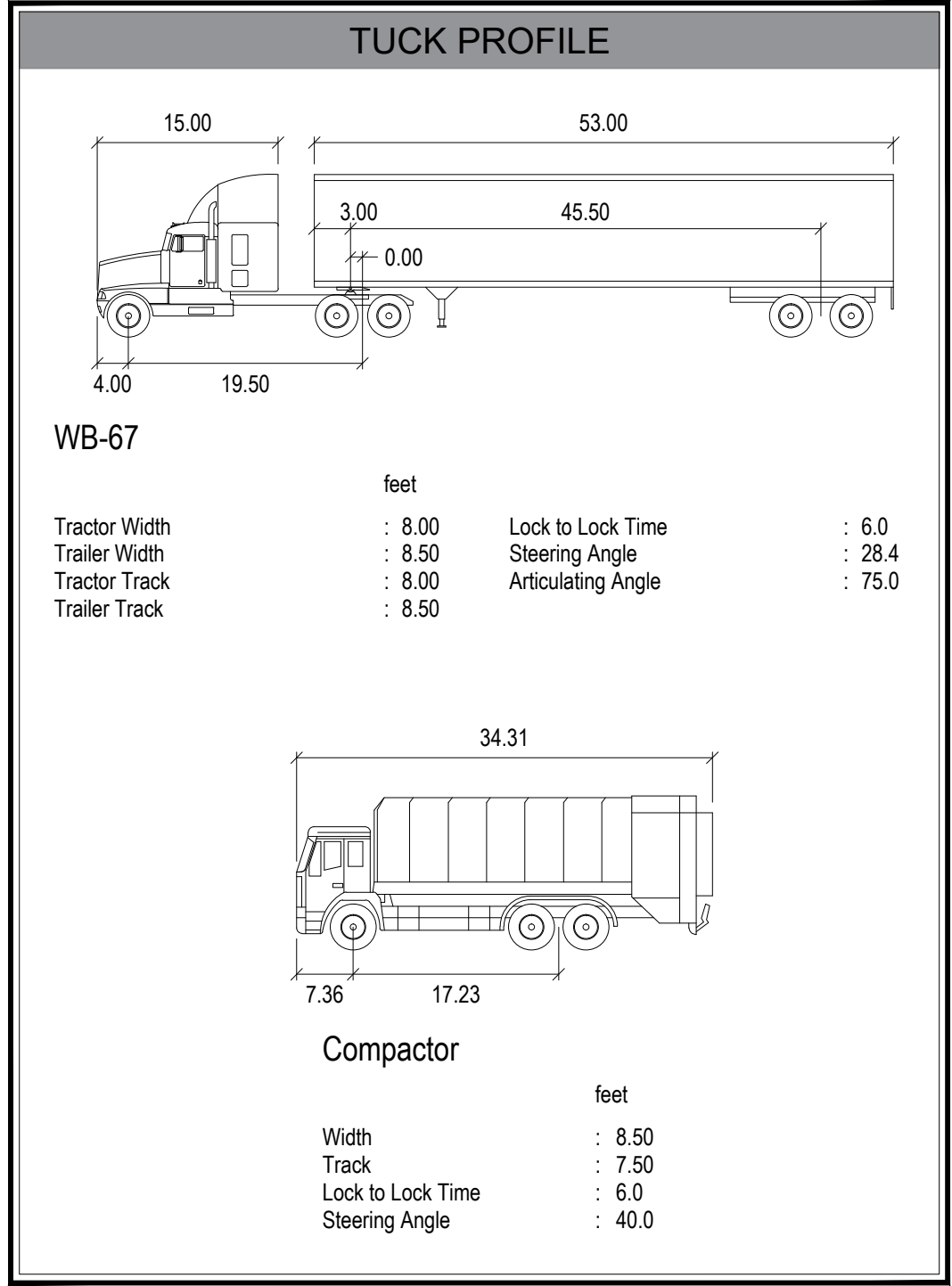
### EXHIBIT C - PRIVATE WALK EXHIBIT TINLEY PARK PLAZA SITE IMPROVEMENTS 15917 SOUTH HARLEM AVENUE TINLEY PARK, COOK COUNTY, ILLINOIS

PROJECT NO.  
080800  
DATE 07/02/20  
DR. JL  
SHT. # 1 OF 1



SOUTH BOUND APPROACH - HARLEM AVE  
FEASIBILITY INDICATOR

MINIMAL SITE REVISION NEEDED FOR TRUCK TO ACCESS EXISTING LOADING AREAS



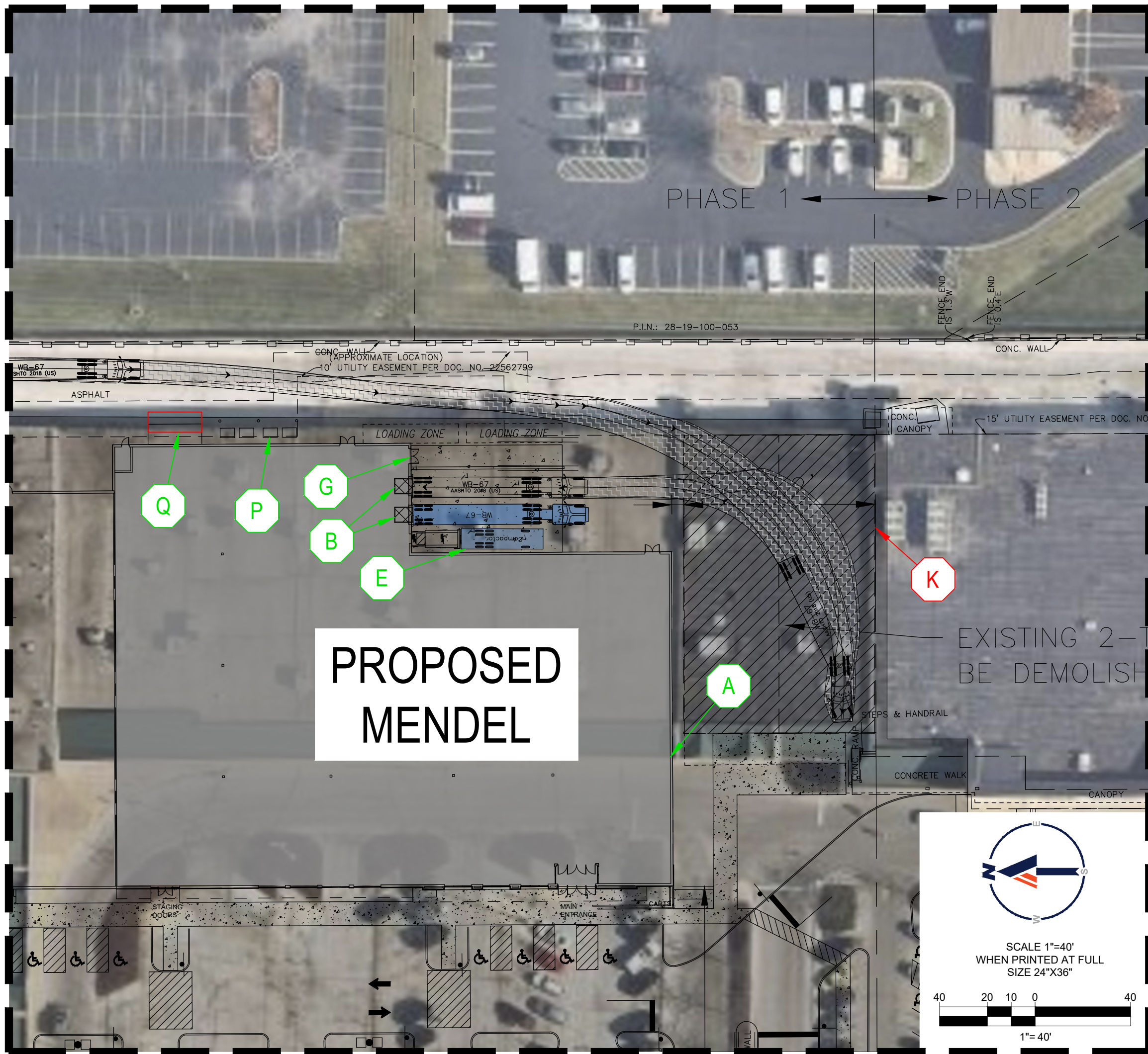
PLAN NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:  
  
ELECTRONIC FILE - 080800-C200-SIT.DWG  
PREPARED BY: WOOLPERT  
PROVIDED TO BOHLER ON: 06/18/2020  
  
AERIAL: NEAR MAP
- THIS TRUCK MOVEMENT PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
- THIS PLAN IS PRELIMINARY IN NATURE AND SHOULD NOT BE USED FOR ZONING ANALYSIS. PREPARATION OF A SITE SURVEY AND ADDITIONAL EVALUATION WILL BE REQUIRED TO DETERMINE THE FEASIBILITY OF THE PROPOSED TRUCK MOVEMENT AND TO REVIEW ZONING REQUIREMENTS.

KEYNOTE LEGEND

A	PROPOSED MENDEL LOCATION
B	TWO PROPOSED RECESSED LOADING DOCKS
C	EXISTING SIGNALIZED INTERSECTION
D	WB 67 TRUCK
E	PROPOSED COMPACTOR
F	PROPOSED LOADING AND COMPACTOR FOR ADJACENT TENANT. LANDLORD TO CONFIRM.
G	PROPOSED DSD DOOR AND RAMP
H	IMPACT TO EXISTING SIDEWALK AND CURB. LANDLORD TO REVISE.
I	IMPACT TO EXISTING CURB, LIGHT POLE, PARKING (10 SPACES), AND LANDSCAPING. LANDLORD TO REVISE AND REVIEW IMPACT OF LOST PARKING AND LANDSCAPE REQUIREMENTS.
J	EXISTING CURB, LAWN AREA AND SIDEWALK TO BE ADJUSTED.
K	PORTION OF EXISTING BUILDING TO BE DEMOLISHED
L	TRUCKS CROSS INTO OPPOSING LANE
M	EXISTING CONCRETE PAD FOR UTILITIES
N	EXISTING RIGHT IN ONLY
O	EXISTING CONCRETE MEDIAN
P	PROPOSED RECYCLING AREA
Q	LOCATION OF TEMPORARY GENERATOR AREA (8.5' X 22.5') WITH CLEAR 5' SURROUND) LANDLORD TO REVIEW LOCATION.
R	PROPOSED PAVEMENT STRIPING

ACCESS DRIVE BEHIND THE BUILDING HAS SEVERAL EXISTING DUMPSTERS ALONG THE BUILDING AND EXISTING CURB. LANDLORD TO CONFIRM THAT LOCATIONS OF DUMPSTERS AND TRASH OPERATIONS WILL NOT INTERFERE WITH TRUCK CIRCULATION.



EAST LOADING SPACE APPROACH



REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	04/13/2020	NEW BUILDING FOOTPRINT	KRK
2	06/15/2020	UPDATE TRUCK	ASB
3	06/16/2020	NEW INGRESS & EGRESS ROUTES	KRK
4	06/19/2020	REVISED INGRESS & EGRESS ROUTE-CP B	ASB

FOR CONCEPT PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PC200719  
DRAWN BY: KRK  
CHECKED BY: ASB  
DATE: 02/20/2020  
CAD ID: PC200719 CONCEPT B-0

PROJECT:

CONCEPT PLAN B

FOR  
MENDEL

PROPOSED DEVELOPMENT

16039 S HARLEM AVE.  
TINLEY, IL

A.S. BENOSKY

REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:

SOUTH BOUND APPROACH -  
HARLEM AVE  
TRUCK MOVEMENT

SHEET NUMBER:

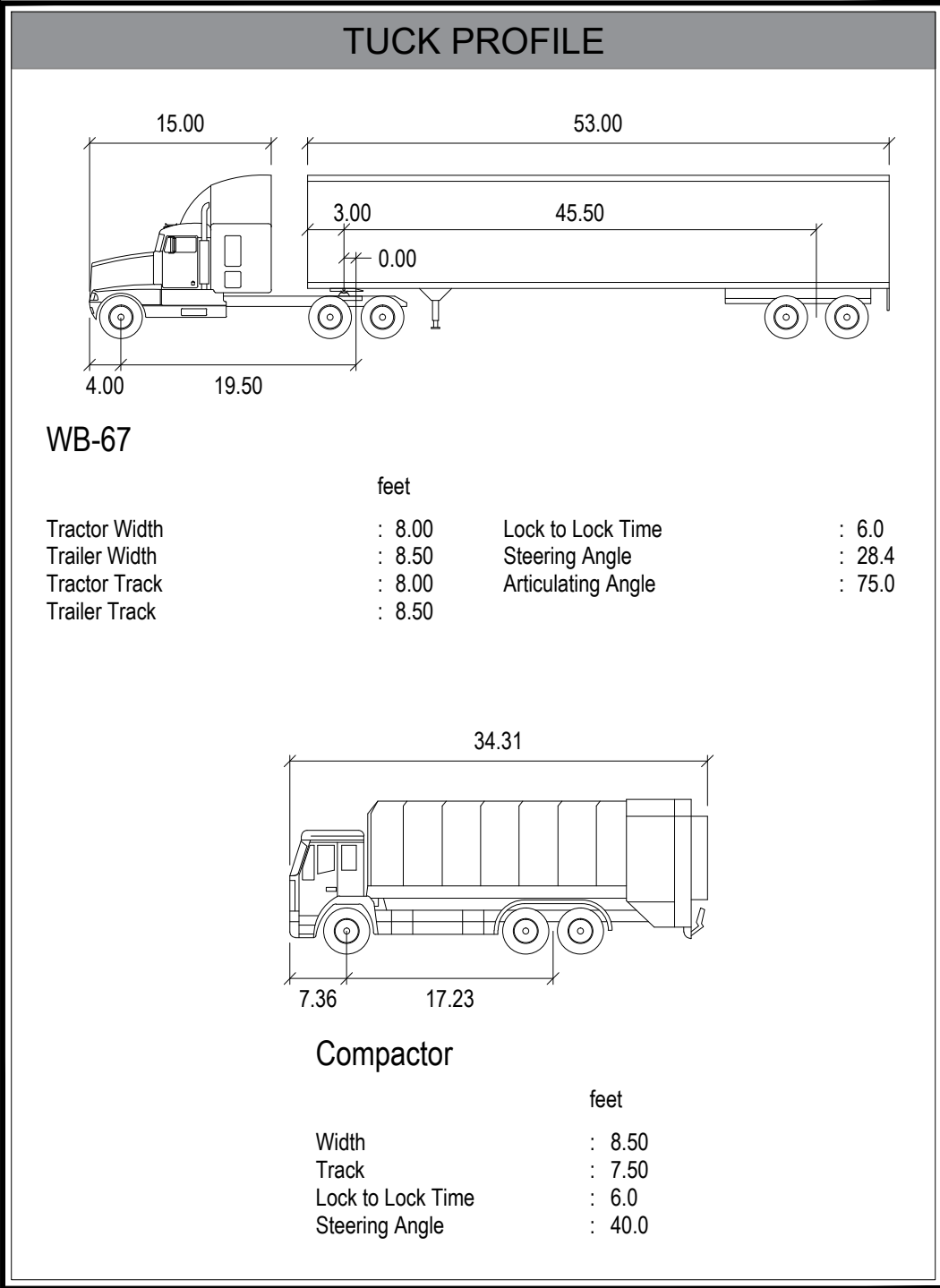
1

REVISION 4 - 06/19/2020



SOUTH BOUND APPROACH - HARLEM AVE  
FEASIBILITY INDICATOR

MINIMAL SITE REVISION NEEDED FOR TRUCK TO ACCESS EXISTING LOADING AREAS



PLAN NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:  
  
ELECTRONIC FILE - 080800-C200-SIT.DWG  
PREPARED BY: WOOLPERT  
PROVIDED TO BOHLER ON: 06/18/2020  
  
AERIAL: NEAR MAP
- THIS TRUCK MOVEMENT PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
- THIS PLAN IS PRELIMINARY IN NATURE AND SHOULD NOT BE USED FOR ZONING ANALYSIS. PREPARATION OF A SITE SURVEY AND ADDITIONAL EVALUATION WILL BE REQUIRED TO DETERMINE THE FEASIBILITY OF THE PROPOSED TRUCK MOVEMENT AND TO REVIEW ZONING REQUIREMENTS.

KEYNOTE LEGEND

A	PROPOSED MENDEL LOCATION
B	TWO PROPOSED RECESSED LOADING DOCKS
C	EXISTING SIGNALIZED INTERSECTION
D	WB 67 TRUCK
E	PROPOSED COMPACTOR
F	PROPOSED LOADING AND COMPACTOR FOR ADJACENT TENANT. LANDLORD TO CONFIRM.
G	PROPOSED DSD DOOR AND RAMP
H	IMPACT TO EXISTING SIDEWALK AND CURB. LANDLORD TO REVISE.
I	IMPACT TO EXISTING CURB, LIGHT POLE, PARKING (10 SPACES), AND LANDSCAPING. LANDLORD TO REVISE AND REVIEW IMPACT OF LOST PARKING AND LANDSCAPE REQUIREMENTS.
J	EXISTING CURB, LAWN AREA AND SIDEWALK TO BE ADJUSTED.
K	PORTION OF EXISTING BUILDING TO BE DEMOLISHED
L	TRUCKS CROSS INTO OPPOSING LANE
M	EXISTING CONCRETE PAD FOR UTILITIES
N	EXISTING RIGHT IN ONLY
O	EXISTING CONCRETE MEDIAN
P	PROPOSED RECYCLING AREA
Q	LOCATION OF TEMPORARY GENERATOR AREA (8.5' X 22.5') WITH CLEAR 5' SURROUND) LANDLORD TO REVIEW LOCATION.
R	PROPOSED PAVEMENT STRIPING

ACCESS DRIVE BEHIND THE BUILDING HAS SEVERAL EXISTING DUMPSTERS ALONG THE BUILDING AND EXISTING CURB. LANDLORD TO CONFIRM THAT LOCATIONS OF DUMPSTERS AND TRASH OPERATIONS WILL NOT INTERFERE WITH TRUCK CIRCULATION.



WEST LOADING SPACE APPROACH



REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	04/13/2020	NEW BUILDING FOOTPRINT	KRK
2	06/15/2020	UPDATE TRUCK	ASB
3	06/16/2020	NEW INGRESS & EGRESS ROUTES	KRK
4	06/19/2020	REVISED INGRESS & EGRESS ROUTE-CP B	ASB

FOR CONCEPT PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PC200719  
DRAWN BY: KRK  
CHECKED BY: ASB  
DATE: 02/20/2020  
CAD ID: PC200719 CONCEPT B-0

PROJECT:

CONCEPT PLAN B

FOR  
MENDEL

PROPOSED DEVELOPMENT  
16039 S HARLEM AVE.  
TINLEY, IL

A.S. BENOSKY  
REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:

SOUTH BOUND APPROACH - HARLEM AVE TRUCK MOVEMENT

SHEET NUMBER:

2

REVISION 4 - 06/19/2020







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## Appendix A

**TO:** Cory Redmond, Sr. Pre-Construction Manager  
Mendel

**FROM:** Adam Benosky, RLA  
Bohler

**DATE:** 06/22/2020

**SUBJECT: Truck Study Summary**  
IL-Tinley Park – Harlem Ave – Concept B Revision 0  
*16039 S Harlem Ave, Tinley Park, Illinois 60477*

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## Overview

The intent of this memorandum is to summarize the key takeaways from the Truck Study Exhibit attached with this submission. The base document utilized for the exhibit is the electronic file – 080800-C200—SIT.DWG prepared by: Woolpert, provided to Bohler on 06/18/2020 and a near map aerial.

Below is a summary of the assumptions made in preparing this exhibit package:

- Items are highlighted **red** to annotate serious conflicts or issues with the truck movement. Items are highlighted **yellow** to annotate items for Client/Landlord Review. These items match the exhibit annotation strategy. Items shown in green on the exhibit are not highlighted here.
- The loading assumes two truck dock areas accessible by the tenant.
- The location of the building walls and structural columns cannot be shifted.
- The location of the proposed compactor is shown on the plans.
- The location of the DSD door and ramp is unknown at this time. Landlord/architect to confirm.
- The truck used for this analysis is the AASHTO WB-67.

## Arrival & Departure Truck Study Summary (Exhibits 1-3)

Bohler completed 4 truck turn movements specifically focused on the arrival routes from Harlem Ave. and departure routes to Centennial Dr. The turn movements consisted of arriving south bound on Harlem Ave. and departing north on Centennial Dr. as exhibited on sheets 1-3 of the attached Truck Study Exhibit.

The anticipated implications are summarized below:

- The plans show 2 proposed recessed loading docks.
- The plans show the enter movements for both the North and South proposed loading docks off Harlem Ave.
- The plans show the exit movements for both the North and South proposed loading docks onto Centennial Dr.
- The intersection of 159<sup>th</sup> St. and Harlem Ave. is an existing signalized intersection.
- The intersection of Centennial Dr. and Harlem Ave. is an existing signalized intersection.
- The entrance off 159<sup>th</sup> St. is an existing right only.
- The proposed recycling area is shown on the plans.
- The proposed location of the temporary generator area (8.5' x 22.5' with clear 5' surround) is located on the plans. Landlord to review location.
- The proposed DSD door is located on the plans.
- **Portion of the existing building is to be demolished.**
- **Access drive behind the building has several existing dumpsters along the building and existing curb. Landlord to confirm that locations of dumpsters and trash operations will not interfere with truck circulation.**

Additional items to note for the truck site entry movements for south bound approach from Harlem Ave:

- All trucks are required to enter the site at the northern site entrance when making a left into the site from Harlem Ave.
- The truck crosses into the opposing lane when making first left in site to travel to the loading docks.
- Trucks impact the existing sidewalk, light pole, curb, landscaping and impacts 10 parking spaces. Landlord to revise and review impact of 10 parking spaces.
- Truck crosses into opposing lane when entering rear drive aisle to access loading docks.
- Trucks entering the loading docks utilize drive aisle for truck movements.

Additional items to note for the truck site exit movements onto Centennial Dr.:

- There is an existing concrete pad with utilities that trucks can avoid.
- All trucks are required to exit the site heading north on Centennial Dr.
- Trucks exiting the site cross into opposing lane.

## Truck Dock Parking Movement Summary

The anticipated implications of the truck turning maneuvers for ingress and egress of the dock positions are summarized below. These turn maneuvers will need to be further assessed upon confirmation with the project architect on various items.

- The truck maneuvers within the loading dock area assumed the adjacent loading space will be occupied at all times.
- Access drive behind the building has several existing dumpsters along the building and existing curb. Landlord to confirm that locations of dumpsters and trash operations will not interfere with truck circulation.

# VMF LED Specifications



Project Name:

Catalog Number:

Type:

The new **VMF LED** Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines LED performance and advanced LED thermal management technology and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Sturdy Knuckle or Trunnion mount options.

The LED light assemblies come with 48 to 96 LED's. Multiple optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The **VMF LED** series is an exceptional choice for building lighting, sign lighting, and other flood lighting applications.

## Ordering Information

MODEL	OPTICS	ARRAYS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
<b>VMF-1</b>	<b>7x5</b>	<b>48LC</b>	<b>3</b> 350mA	<b>3K</b> 3000K	<b>UNV</b> 120-277V	<b>KM</b> Knuckle Mount Slips over 2 3/8" Tenon with adjustable increments of 10°	<b>BZ</b> Bronze	<b>PC-120</b> Button Type Photocell	<b>UMAP</b> Universal Mast Arm Fitter
	<b>7x7</b>	<b>64LC</b>	<b>5</b> 530mA	<b>4K</b> 4000K	<b>8</b> 347V		<b>BK</b> Black	<b>PC-208</b> Button Type Photocell	<b>ECLS</b> Egg Crate Light Shield
	<b>FN</b> Flood Narrow	<b>80LC</b>	<b>7</b> 700mA	<b>5K</b> 5000K	<b>5</b> 480V *347V & 480V not available in 32LC 350mA	<b>TM</b> Trunnion Mount adjustable up to 90° in 5° increments.	<b>SBK</b> Smooth Black	<b>PC-240</b> Button Type Photocell	<b>ADJLS</b> Adjustable louver light shield
	<b>FM</b> Flood Medium	<b>96LC</b>	<b>10</b> 1050mA *Not available in 80LC and 96LC			<b>NM</b> Nipple Mount slip threads over a 3/4" NPT, allows for up to 90° of vertical adjustment in 10° increments from horizontal	<b>WH</b> White	<b>PC-277</b> Button Type Photocell	<b>BD</b> Barn Door Light Shield
						<b>AWM</b> Adjustable Wall Mount allows for up to 70° of vertical adjustment in 10° increments from horizontal	<b>SWH</b> Smooth White	<b>DIM</b> 0-10v Dimming Driver	
							<b>GP</b> Graphite		
							<b>GY</b> Grey		
							<b>SL</b> Silver Metallic		
							<b>CC</b> Custom Color		



## Housing

Die cast aluminum LED housing with integral cooling fins for thermal management.

## Mounting Arm/Driver Compartment

Durable cast aluminum driver compartment opens for easy access to removable driver(s) for ease of maintenance, and cooler driver operation; and are sealed with one-piece silicone gaskets.

## Thermal Management

- The VMF series provides excellent thermal management by mounting the LED's to the substantial heat sink of the housing. This enables the Luminaire to withstand higher ambient temperatures and driver currents without degrading LED life.
- The L70 test determines the point in an LEDs life when it reaches 70 percent of its initial output. The V-Flood series LED's have been determined to last 90,000+ hours in 25° C environments when driven at 700 mA.

## Optical System

- The highest lumen output LEDs are utilized in the VMF series. Multiple flood optical patterns are available.
- CRI values are 70.

## Quali-Guard® Finish

- The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage washer, electrostatically applied, thermoset polyester powder coat finish, with a minimum of 3-5 millimeter thickness. Finish is oven-baked at 400° F to promote maximum adherence and finish hardness. All finishes are available in standard and custom colors.
- Finish is guaranteed for five (5) years.

## Electrical Assembly

- The VMF series is supplied with a choice of 350, 530, 700 or 1000 mA high-performance LED drivers that accept 120v thru 480v, 50 Hz to 60 Hz, input. Power factor of 90%. Rated for -40 oC operations.
- 10 kV surge protector supplied as standard.

## Warranty

Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit VisionaireLighting.com.

## Options

- Button Type Photocell
- 0-10v Dimming Driver
- UMAP
- Egg Crate Light Shield
- Adjustable Louver Light Shield
- Barn Door Shield

## Listings

- The VMF Series is cUL Listed
- Powder Coated Tough
- DLC Listed
- IDA Certification
- IP66



DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. <http://www.designlights.org/>  
3000K must be selected for IDA certification.

VMF - Electrical Load (A)							
Ordering Nomenclature	System Watts	120V	208V	240V	277V	347V	480V
VMF-1-FM-48LC-3-4K	52	0.43	0.25	0.22	0.19	0.15	0.11
VMF-1-FM-48LC-5-4K	78	0.65	0.38	0.32	0.28	0.22	0.16
VMF-1-FM-48LC-7-4K	106	0.88	0.51	0.44	0.38	0.31	0.22
VMF-1-FM-48LC-10-4K	160	1.33	0.77	0.67	0.58	0.46	0.33
VMF-1-FM-64LC-3-4K	73	0.61	0.35	0.30	0.26	0.21	0.15
VMF-1-FM-64LC-5-4K	106	0.88	0.51	0.44	0.38	0.31	0.22
VMF-1-FM-64LC-7-4K	140	1.17	0.67	0.58	0.51	0.40	0.29
VMF-1-FM-64LC-10-4K	219	1.82	1.05	0.91	0.79	0.63	0.46
VMF-1-FM-80LC-3-4K	88	0.73	0.42	0.37	0.32	0.25	0.18
VMF-1-FM-80LC-5-4K	131	1.09	0.63	0.55	0.47	0.38	0.27
VMF-1-FM-80LC-7-4K	176	1.47	0.85	0.73	0.64	0.51	0.37
VMF-1-FM-96LC-3-4K	104	0.87	0.50	0.43	0.38	0.30	0.22
VMF-1-FM-96LC-5-4K	157	1.31	0.75	0.65	0.57	0.45	0.33
VMF-1-FM-96LC-7-4K	212	1.77	1.02	0.88	0.77	0.61	0.44

# VMF LED Specifications

## Photometric Optical Summary

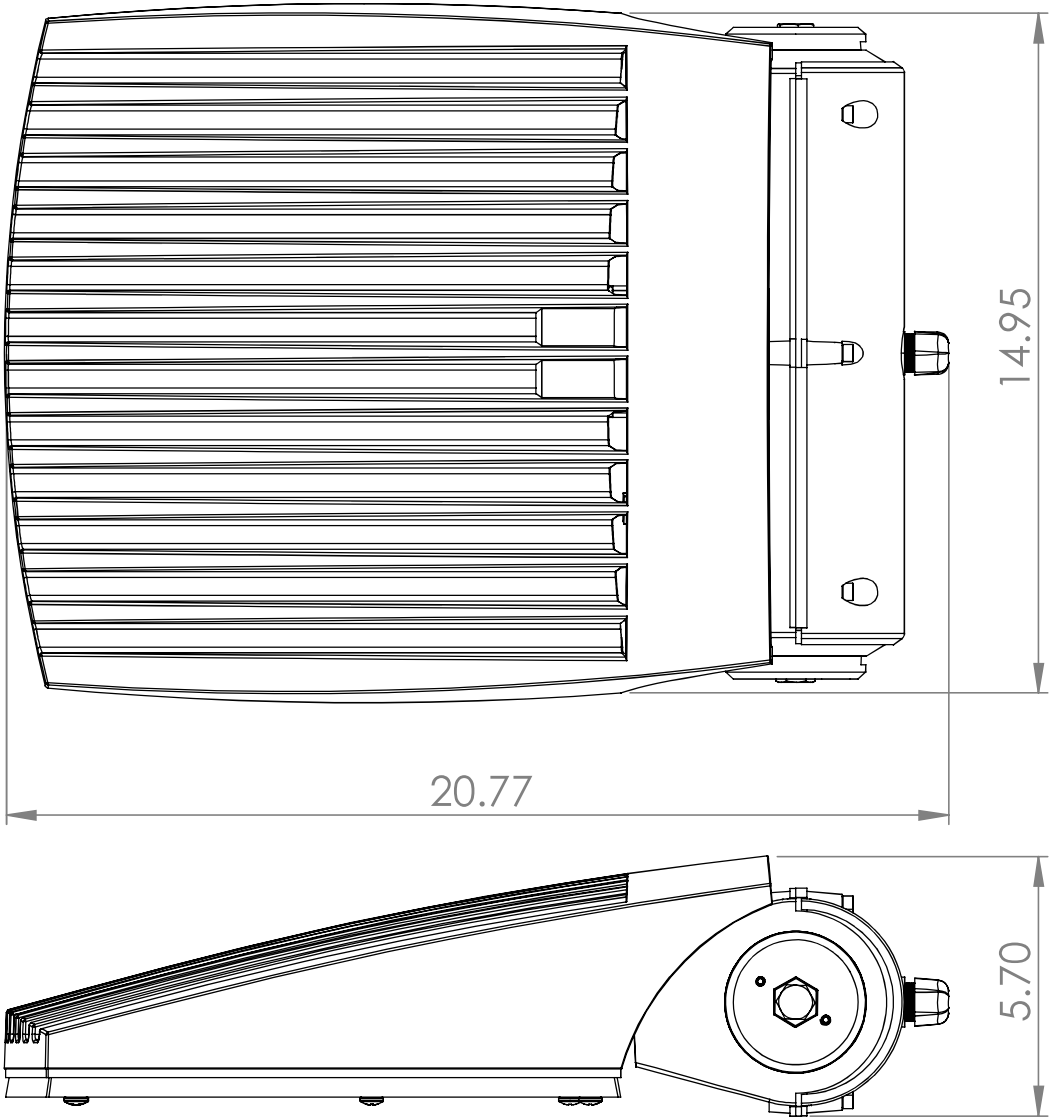


EPA Data

  
2.47

## Dimensions

Width:	VMF-1	15.5"
Depth:	VMF-1	22"/30"
Height:	VMF-1	5.5"
Weight:	45 LBS	



VMF 3K Lumen Data							VMF 3K LPW Data					
#LEDs	mA	7x5	7x7	FN	FM	Watts	#LEDs	mA	7x5	7x7	FN	FM
48	350	7230	7333	7688	7420	52	48	350	139	141	139	141
	530	9700	9838	10314	9954	78		530	124	126	124	126
	700	12646	12826	13447	12977	106		700	119	121	119	121
	1050	17316	17563	18413	17770	160		1050	108	110	108	110
64	350	9207	9338	9790	9448	73	64	350	126	128	126	128
	530	13612	13806	14474	13968	106		530	128	130	128	130
	700	16702	16940	17760	17140	140		700	119	121	119	121
	1050	22966	23293	24421	23568	219		1050	105	106	105	106
80	350	11385	11547	12106	11684	88	80	350	129	131	129	131
	530	16457	16691	17499	16888	131		530	126	127	126	127
	700	20584	20878	21888	21124	176		700	117	119	117	119
96	350	13564	13757	14423	13919	104	96	350	131	133	131	133
	530	19301	19576	20524	19807	157		530	123	125	123	125
	700	24467	24815	26017	25108	212		700	115	117	115	117
VMF 4K Lumen Data							VMF 4K LPW Data					
#LEDs	mA	7x5	7x7	FN	FM	Watts	#LEDs	mA	7x5	7x7	FN	FM
48	350	7611	7719	8093	7810	52	48	350	146	148	146	148
	530	10210	10356	10857	10478	78		530	131	133	131	133
	700	13311	13501	14154	13660	106		700	126	127	126	127
	1050	18227	18487	19382	18705	160		1050	114	116	114	116
64	350	9692	9830	10305	9946	73	64	350	133	135	133	135
	530	14328	14532	15236	14704	106		530	135	137	135	137
	700	17581	17831	18695	18042	140		700	126	127	126	127
	1050	24175	24519	25706	24808	219		1050	110	112	110	112
80	350	11985	12155	12744	12299	88	80	350	136	138	136	138
	530	17323	17569	18420	17777	131		530	132	134	132	134
	700	21668	21977	23040	22236	176		700	123	125	123	125
96	350	14277	14481	15182	14652	104	96	350	138	140	138	140
	530	20317	20607	21604	20850	157		530	130	132	130	132
	700	25755	26122	27386	26429	212		700	121	123	121	123
VMF 5K Lumen Data							VMF 5K LPW Data					
#LEDs	mA	7x5	7x7	FN	FM	Watts	#LEDs	mA	7x5	7x7	FN	FM
48	350	7303	7407	7766	7495	52	48	350	140	142	140	142
	530	9798	9937	10418	10054	78		530	126	127	126	127
	700	12773	12955	13583	13108	106		700	121	122	121	122
	1050	17491	17740	18599	17949	160		1050	109	111	109	111
64	350	9300	9433	9889	9544	73	64	350	128	130	128	130
	530	13749	13945	14620	14109	106		530	129	131	129	131
	700	16871	17111	17939	17313	140		700	121	122	121	122
	1050	23198	23529	24668	23806	219		1050	106	107	106	107
80	350	11500	11664	12229	11802	88	80	350	131	133	131	133
	530	16623	16860	17676	17058	131		530	127	129	127	129
	700	20792	21089	22109	21337	176		700	118	120	118	120
96	350	13701	13896	14568	14060	104	96	350	132	134	132	134
	530	19496	19774	20731	20007	157		530	124	126	124	126
	700	24714	25066	26280	25362	212		700	117	118	117	118

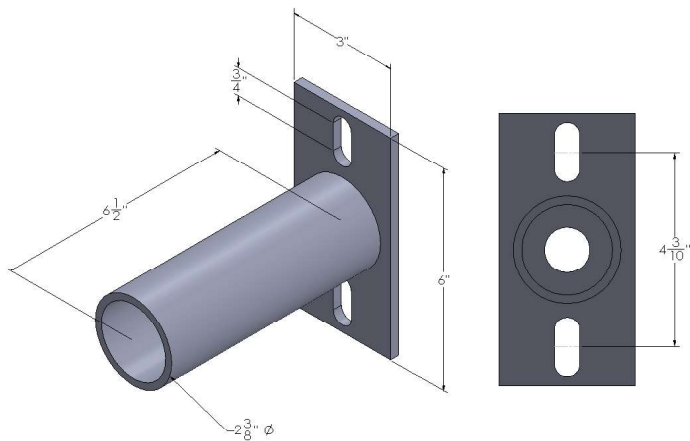


# VMF LED Specifications

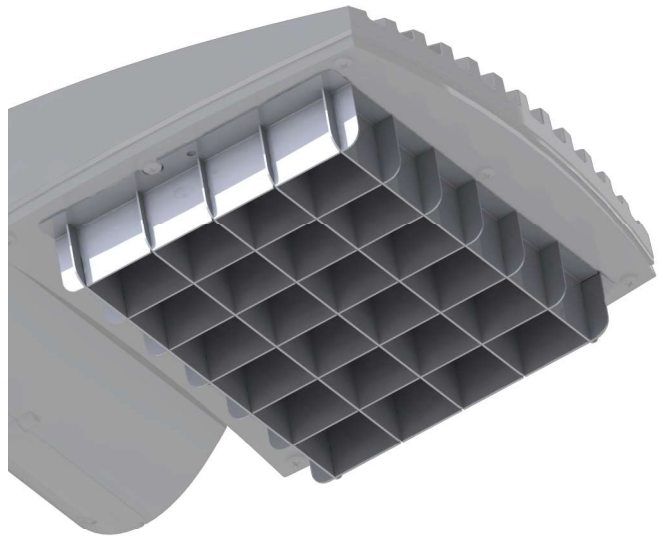
## VMF Options

### Universal Mast Arm Fitter

**UMAP – The Universal Mast Arm Fitter** is a simple solution for retrofit applications where a fixture needs to mount to an existing pole, the UMAP is meant to be use to with knuckle mounts and also Mast Arm Fitters. The UMAP has a bolt slot ranging from 7" all the way down to 3.5". The UMAP also has a Round Pole Plate Adaptor (RPP) for mounting to round poles.



### Egg Crate Light Shield



### Adjustable Louver Light Shield



### Barn Door Light Shield

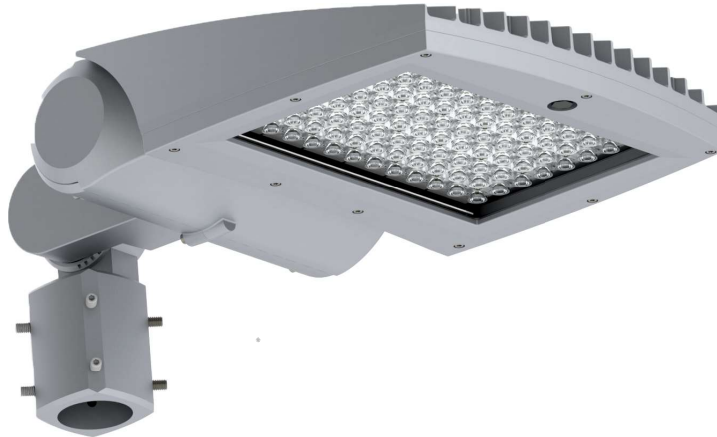


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## VMF Mounting Options

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### Knuckle Mount



An adjustable knuckle slip fits over a 2-3/8" Tenon, and allows for up to 90 degrees of vertical adjustment in 10 degree increments from horizontal, as well as full side to side adjustment with the knuckle mount.

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### Trunnion Mount



Trunnion Mount is adjustable up to 90 degrees in 5 degree increments.

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### Nipple Mount



An adjustable knuckle that threads onto a 3/4" NPT, and allows for up to 90 degrees of vertical adjustment in 10 degree increments from horizontal.

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### Adjustable Wall Mount



A Wall Mount that allows for up to 70 degrees of vertical adjustment in 10 degree increments from horizontal.

# VMX LED Specifications



Project Name:

Catalog Number:

Type:

The VMX LED Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines the latest LED technology, advanced LED thermal management and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy tool-less access for mounting and maintenance.

The LED light assemblies come with 48 to 96 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The VMX LED series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

## Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VMX-1	T1 T2 T3 T4 T4A T5 T5W T5WR	48LC 64LC 80LC 96LC	3 350mA 5 530mA 7 700mA 10 1050mA *Not available in 96LC	3K 3000K 4K 4000K 5K 5000K	UNV *120-277V  8 347V  5 480V *347V & 480V not available in 32LC 350mA	AM Arm Mount  WM Wall Mount *Requires BAWP  Round Pole Plate Adaptors (RPP) are to be ordered separately.  BAWP to be ordered separately.	BZ Bronze BK Black SBK Smooth Black WH White SWH Smooth White GP Graphite GY Grey SL Silver Metallic CC Custom Color	PCR-120 Photocell & Receptacle PCR-208 Photocell & Receptacle PCR-240 Photocell & Receptacle PCR-277 Photocell & Receptacle PCR-480 Photocell & Receptacle PER 3 Pin Photo Receptacle w/shorting cap 5PINPER 5 Pin Photo Receptacle w/shorting cap Requires Dimming Driver 7PINPER 7 Pin Photo Receptacle w/shorting cap Requires Dimming Driver DIM 0-10v Dimming Driver WSC-8 Motion Sensor 8" Mounting Height WSC-20 Motion Sensor 9-20" Mounting Height WSC-40 Motion Sensor 21-40" Mounting Height This option will require (1) FSIR 100 remote for programming VWC Visionaire Wireless Controls *Consult Factory	RPP3 For 3" Pole - Round Pole Plate Adaptor RPP4 For 4" Pole - Round Pole Plate Adaptor RPP5 For 5" Pole - Round Pole Plate Adaptor UPMA-S Universal Square Pole Mount Adaptor UPMA-R Universal Round Pole Mount Adaptor BAWP Cast Wall Plate ROT-R Rotated Optics Right Side ROT-L Rotated Optics Left Side CLS Back Side Cutoff Louver Shield RCLS Right Side Cutoff Louver Shield LCLS Left Side Cutoff Louver Shield



## Heatsink

- Cast aluminum heatsink with integral cooling fins for thermal management.

## Mounting Arm/Driver Compartment

- Durable two-piece die cast aluminum driver compartment utilizes a tool-less push button latch for ease of maintenance and sealed with a one-piece silicone gasket.
- Meets ANSI C136.31-2010 1.5G Vibration Standards.

## Thermal Management

- The VMX series provides excellent thermal management by mounting the LEDs to the substantial heat sink of the housing. This enables the Luminaire to withstand higher ambient temperatures and driver currents without degrading LED life.
- The L70 test determines the point in an LEDs life when it reaches 70 percent of its initial output. The VMX series LEDs have been determined to last 100,000+ hours in 25° C environments when driven at 350 mA.

## Optical System

- The highest lumen output, LEDs are utilized in the VMX series. IES distribution Types I, II, III, IV and V are available. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution.
- CRI values are 70..

## Quali-Guard® Finish

- The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage washer, electrostatically applied, thermoset polyester powder coat finish, with a minimum of 3-5 millimeter thickness. Finish is oven-baked at 400° F to promote maximum adherence and finish hardness. All finishes are available in standard and custom colors.
- Finish is guaranteed for five (5) years.

## Electrical Assembly

- The VMX LED series is supplied with a choice of 350, 530, 700 or 1000 mA high-performance LED drivers that accept 120v thru 480v, 50 Hz to 60 Hz, input. Power factor of 90%. Rated for -40°C operations.
- 10 kV surge protector supplied as standard.
- Terminal block supplied as standard.

## Warranty

- Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit [visionairelighting.com](http://visionairelighting.com).

## Options

- Photocell & receptacle
- Photo receptacle
- Round pole plate adapter
- Cast Wall Plate
- 0-10v Dimming Driver
- Motion Sensor
- Wireless Control
- Universal Pole Mount Adaptor
- Cut-Off Louver Shield
- Emergency Battery Pack

## Listings

- The VMX Series is cUL Listed
- IP65 Rated
- Powder Coated Tough
- DLC Listed
- IDA Certification



















DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. <http://www.designlights.org/> 3000K must be selected for IDA certification.

# VMX LED Specifications

## Photometric Optical Summary

Not all optics are available on all fixtures. Check ordering chart for availability

	T1	T2	T3	T4	T4A	T5LR	T5SR	T3L	T4L	T5LS		
												
EPA Data	 0.75		 1.47		 1.5		 2.22		 2.1		 2.22	

## Dimensions

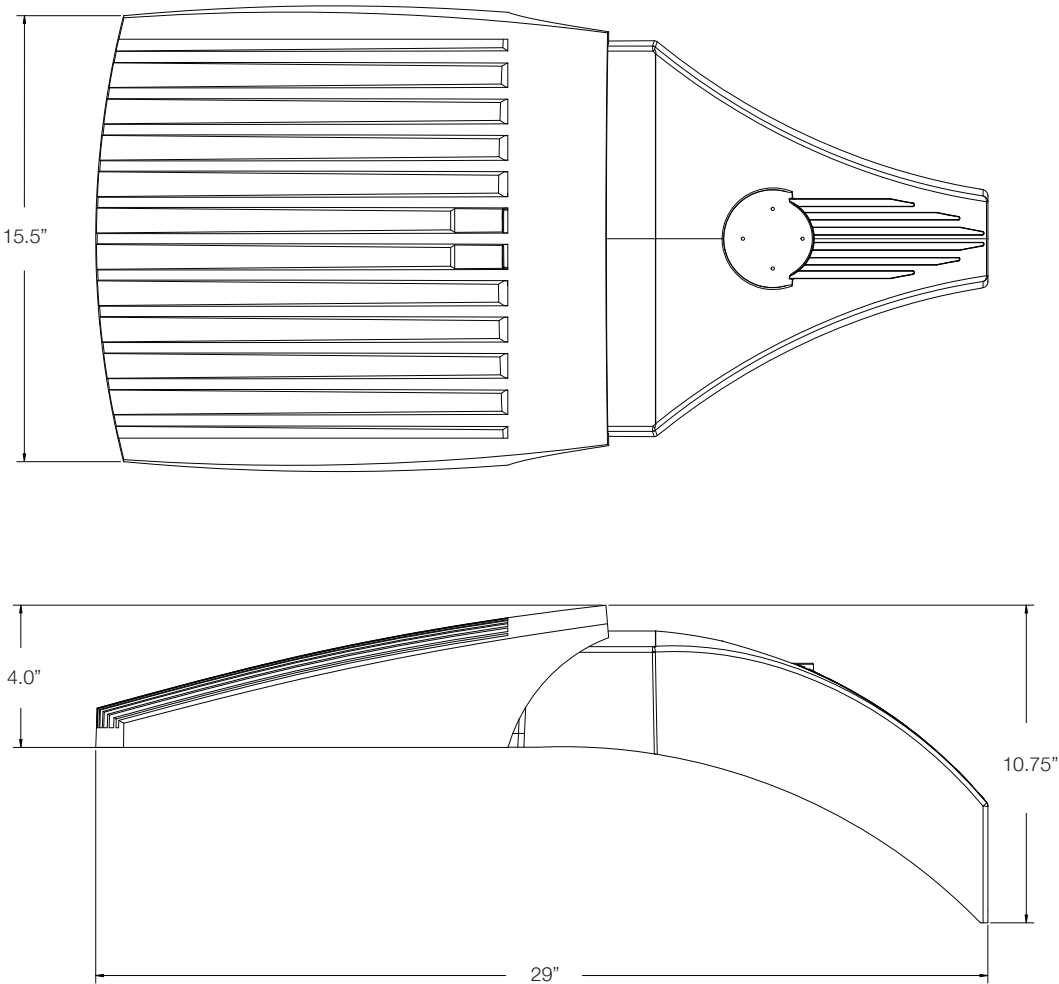
Width: VMX-1 15.5"

Depth: VMX-1 29"

Height: VMX-1 4.0"

Overall Height: VMX-1 10.75"

Weight: 49 LBS



3K Lumen Data										
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Watts
48	350	7311	6909	7243	6994	7321	7506	7333	7191	52
	530	9808	9269	9717	9383	9822	10070	9838	9648	78
	700	12786	12084	12668	12232	12805	13128	12826	12578	106
	1050	17509	16547	17347	16750	17534	17977	17563	17223	161
64	350	9309	8798	9223	8906	9323	9558	9338	9158	70
	530	13763	13007	13636	13167	13783	14131	13806	13539	107
	700	16888	15960	16732	16156	16912	17339	16940	16612	142
	1050	23222	21946	23007	22215	23255	23843	23293	22843	218
80	350	11512	10880	11406	11013	11529	11820	11547	11324	87
	530	16640	15726	16486	15918	16664	17084	16691	16368	132
	700	20813	19670	20621	19911	20844	21370	20878	20474	177
	1050	29027	27433	28759	27769	29069	29803	29117	28554	272
96	350	13714	12961	13588	13120	13734	14081	13757	13491	104
	530	19516	18444	19336	18670	19544	20038	19576	19198	157
	700	24739	23380	24511	23667	24775	25400	24815	24336	212
4K Lumen Data										
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Watts
48	350	7695	7273	7624	7362	7707	7901	7719	7627	52
	530	10324	9757	10229	9876	10339	10600	10356	10232	78
	700	13459	12720	13335	12876	13479	13819	13501	13340	106
	1050	18430	17418	18260	17631	18457	18923	18487	18267	161
64	350	9799	9261	9709	9375	9814	10061	9830	9713	70
	530	14487	13692	14354	13860	14509	14875	14532	14359	107
	700	17777	16800	17612	17006	17802	18252	17831	17619	142
	1050	24444	23101	24218	23385	24479	25097	24519	24227	218
80	350	12118	11452	12006	11593	12135	12442	12155	12010	87
	530	17515	16553	17354	16756	17541	17984	17569	17360	132
	700	21909	20705	21707	20959	21941	22495	21977	21715	177
	1050	30555	28876	30273	29231	30599	31372	30649	30284	272
96	350	14436	13643	14303	13811	14457	14822	14481	14308	104
	530	20543	19415	20354	19653	20573	21092	20607	20361	157
	700	26041	24611	25801	24912	26079	26737	26122	25810	212
5K Lumen Data										
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR	Watts
48	350	7384	6979	7316	7064	7395	7582	7407	7264	52
	530	9907	9362	9815	9477	9921	10172	9937	9745	78
	700	12915	12206	12796	12356	12934	13261	12955	12705	106
	1050	17685	16714	17522	16919	17711	18158	17740	17397	161
64	350	9403	8887	9317	8996	9417	9655	9433	9250	70
	530	13902	13138	13774	13300	13922	14274	13945	13675	107
	700	17058	16121	16901	16319	17083	17514	17111	16780	142
	1050	23456	22168	23240	22440	23490	24083	23529	23074	218
80	350	11628	10989	11521	11124	11645	11939	11664	11439	87
	530	16808	15884	16653	16079	16832	17257	16860	16534	132
	700	21024	19869	20830	20112	21054	21586	21089	20681	177
	1050	29320	27710	29050	28050	29363	30104	29411	28842	272
96	350	13853	13092	13725	13253	13873	14223	13896	13627	104
	530	19713	18630	19531	18859	19742	20240	19774	19392	157
	700	24989	23616	24758	23906	25025	25657	25066	24581	212



# VMX LED Specifications

3K LPW Data									
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR
48	350	141	133	139	134	141	144	141	138
	530	125	118	124	120	125	129	126	123
	700	121	114	120	115	121	124	121	119
	1050	109	103	108	104	109	112	109	107
64	350	133	126	132	127	133	137	133	131
	530	129	122	127	123	129	132	129	127
	700	119	112	118	114	119	122	119	117
	1050	107	101	106	102	107	109	107	105
80	350	133	125	131	127	133	136	133	130
	530	126	119	125	121	126	130	127	124
	700	118	111	117	112	118	121	118	116
	1050	107	101	106	102	107	110	107	105
96	350	132	125	131	127	132	136	133	130
	530	125	118	123	119	125	128	125	123
	700	117	110	116	112	117	120	117	115
4K LPW Data									
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR
48	350	148	140	147	142	148	152	148	147
	530	132	125	131	126	132	135	132	131
	700	127	120	126	121	127	130	127	126
	1050	114	108	113	110	115	118	115	113
64	350	140	132	139	134	140	144	140	139
	530	135	128	134	130	136	139	136	134
	700	125	118	124	120	125	129	126	124
	1050	112	106	111	107	112	115	112	111
80	350	140	132	138	133	140	143	140	138
	530	133	126	132	127	133	136	133	132
	700	124	117	123	118	124	127	124	123
	1050	112	106	111	108	113	115	113	111
96	350	139	132	138	133	139	143	140	138
	530	131	124	130	125	131	135	132	130
	700	123	116	122	118	123	126	123	122
5K LPW Data									
#LED's	mA	Type 1	Type 2	Type 3	Type 4	Type 4A	Type 5	Type 5W	Type 5WR
48	350	142	134	141	136	142	146	142	140
	530	127	120	125	121	127	130	127	124
	700	122	115	121	117	122	125	122	120
	1050	110	104	109	105	110	113	110	108
64	350	134	127	133	129	135	138	135	132
	530	130	123	129	124	130	133	130	128
	700	120	114	119	115	120	123	121	118
	1050	108	102	107	103	108	110	108	106
80	350	134	127	133	128	134	137	134	132
	530	128	121	126	122	128	131	128	125
	700	119	112	118	114	119	122	119	117
	1050	108	102	107	103	108	111	108	106
96	350	134	126	132	128	134	137	134	131
	530	126	119	125	120	126	129	126	124
	700	118	111	117	113	118	121	118	116

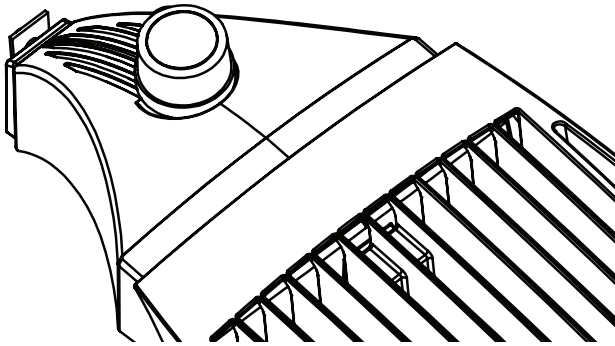
3K BUG Data																									
LED's	mA	Type 1			Type 2			Type 3			Type 4			Type 4A			Type 5			Type 5W			Type T5WR		
48	350	2	0	2	2	0	2	1	0	2	2	0	2	1	0	1	3	0	1	3	0	2	3	0	2
	530	3	0	3	2	0	3	1	0	2	2	0	2	2	0	1	3	0	2	3	0	2	4	0	2
	700	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	3	0	2	4	0	2	4	0	2
	1050	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
64	350	3	0	3	2	0	3	1	0	2	2	0	2	2	0	1	3	0	2	3	0	2	4	0	2
	530	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	1050	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
80	350	3	0	3	2	0	3	2	0	2	2	0	2	2	0	1	3	0	2	4	0	2	4	0	2
	530	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
	1050	5	0	4	3	0	4	3	0	4	3	0	4	3	0	3	5	0	3	5	0	3	5	0	4
96	350	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	530	4	0	4	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	5	0	3
	700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	2	4	0	2	5	0	3	5	0	3
4K BUG Data																									
LED's	mA	Type 1			Type 2			Type 3			Type 4			Type 4A			Type 5			Type 5W			Type T5WR		
48	350	3	0	3	2	0	2	1	0	2	2	0	2	1	0	1	3	0	1	3	0	2	3	0	2
	530	3	0	3	2	0	3	2	0	2	2	0	2	2	0	1	3	0	2	4	0	2	4	0	2
	700	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	1050	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	5	0	3
64	350	3	0	3	2	0	3	1	0	2	2	0	2	2	0	1	3	0	2	3	0	2	4	0	2
	530	3	0	3	3	0	3	2	0	2	3	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	1050	4	0	4	3	0	4	3	0	4	3	0	4	3	0	2	4	0	2	5	0	3	5	0	3
80	350	3	0	3	2	0	3	2	0	2	2	0	2	2	0	1	3	0	2	4	0	2	4	0	2
	530	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
	1050	5	0	4	3	0	5	3	0	4	3	0	4	3	0	3	5	0	3	5	0	4	5	0	4
96	350	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	530	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
	700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	5	0	3	5	0	3	5	0	3
5K BUG Data																									
LED's	mA	Type 1			Type 2			Type 3			Type 4			Type 4A			Type 5			Type 5W			Type T5WR		
48	350	2	0	2	2	0	2	1	0	2	2	0	2	1	0	1	3	0	1	3	0	2	3	0	2
	530	3	0	3	2	0	3	2	0	2	2	0	2	2	0	1	3	0	2	3	0	2	4	0	2
	700	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	1050	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
64	350	3	0	3	2	0	3	1	0	2	2	0	2	2	0	1	3	0	2	3	0	2	4	0	2
	530	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	1050	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
80	350	3	0	3	2	0	3	2	0	2	2	0	2	2	0	1	3	0	2	4	0	2	4	0	2
	530	4	0	3	3	0	3	2	0	3	3	0	3	3	0	2	4	0	2	4	0	2	4	0	2
	700	4	0	4	3	0	4	3	0	3	3	0	3	3	0	2	4	0	2	5	0	3	5	0	3
	1050	5	0	4	3	0	4	3	0	4	3	0	4	3	0	3	5	0	3	5	0	4	5	0	4
96	350	3	0	3	3	0	3	2	0	2	2	0	3	2	0	2	4	0	2	4	0	2	4	0	2
	530	4	0	4	3	0	3	3	0	3	3	0	3	3	0	2	4	0	2	4	0	3	5	0	3
	700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	2	4	0	2	5	0	3	5	0	3

# VMX LED Specifications

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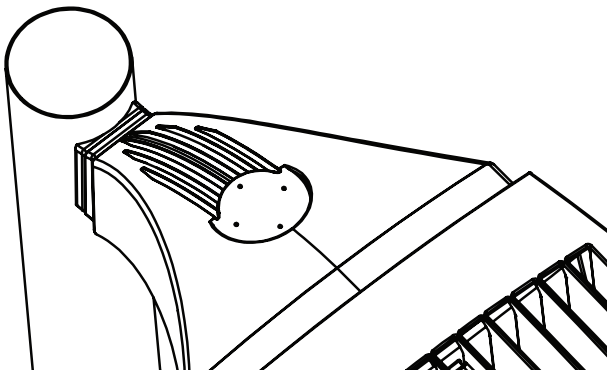
Twist lock Photocell & Receptacle

Dusk to dawn sensor.



Round Pole Plate Adaptor

Round Pole Plate Adaptor to be used with round pole.



Cast Wall Plate

Arm mount wall plate is needed to wall mount the VMX.

0-10v Dimming Driver

0-10V is an analog lighting control protocol. 0-10V control applies a voltage between 0 and 10 volts DC to produce a varying intensity level.

The FSP-211 by Legrand is integrated into the VMX housing and provides multi-level control based on motion and/or daylight contribution.

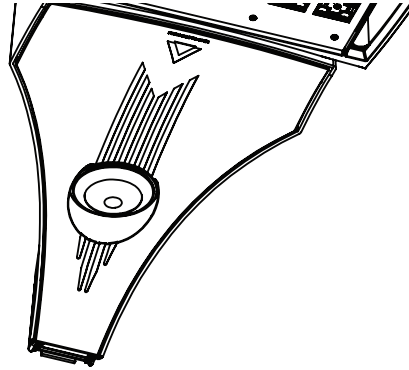
**Lens Coverage Patterns:**

WSC-8 - 360° lens, maximum coverage 48'; diameter from 8' height  
 WSC-20 - 360° lens, maximum coverage 48'; diameter from 20' height  
 WSC-40 - 360° lens, maximum coverage 100'; diameter from 40' height

**Default settings:**

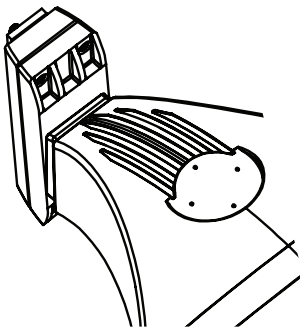
FACTORY DEFAULTS High Mode	0 Volts
Low Mode	1 Volts
Time Delay	5 Minutes
Cut Off	1 Hour
Sensitivity	Maximum
Hold Off Set point	4 Foot Candles
Ramp Up	None
Fade Down	None
Force Off Set point with Occupied	Disable

## Motion Sensor



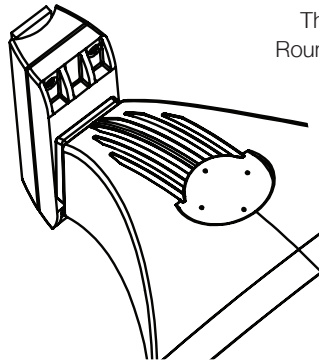
## UPMA

The Universal Pole Mount Adaptor is ideal for retrofit applications with existing square poles. This adaptor is slotted to fit any existing drilling pattern, up to 6 1/2" bolt to bolt maximum.



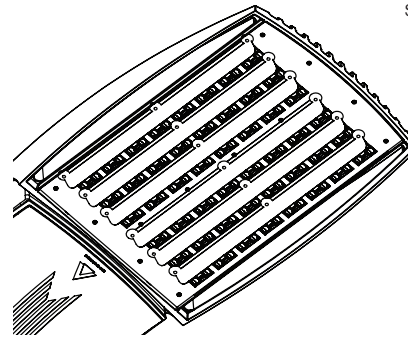
## UPMA-R

The Universal Pole Mount Adaptor Round is ideal for retrofit applications with existing round poles. This adaptor is slotted to fit any existing drilling pattern, up to 6 1/2" bolt to bolt maximum.



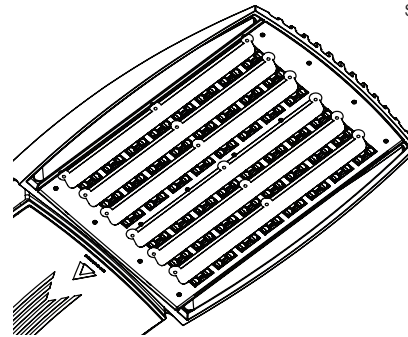
## CLS

The back side cutoff louver shield will reduce light output behind the fixture, all of the light will be focused in front of the VMX.



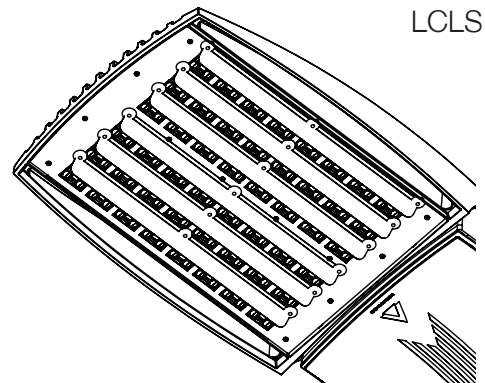
## RCLS

The right side cutoff louver shield will reduce light output on the left side of the fixture, all of the light be focused on the right side of the VMX.



The left side cutoff louver shield will reduce light output on the right side of the fixture, all of the light be focused on the left side of the VMX.

## LCLS





# SYLVANIA

## LEDVANCE Luminaires

### Wall Pack Non-Cutoff



#### Product Features

The Wall Pack luminaires are environmentally preferable LED alternatives to traditional HID luminaires, offering up to 77% in energy savings. Ideal in place of traditional luminaires, or as new installations, the Wall Pack series is offered in several wattages/lumen packages for illuminating building exteriors, outdoor corridors, walkways, and stairwells.

The housing is a perfect fit for replacing existing traditional luminaires. The luminaires are available with optional photo control. LEDVANCE luminaires assure optimum light engine performance for extended service and rated life ( $\geq 150,000$  hours  $L_{70}$ ).

#### Wattage Comparison Chart

##### Non-Cutoff Wall Packs (UNV/347)

Traditional Source	Traditional System Wattage	LED System Wattage	Energy Savings
70W HPS	91	30/36/40	67% / 60% / 56%
100W HPS	120	30/36/40	75% / 70% / 67%
100W MH	130	30/36/40	77% / 72% / 69%
70W HPS	91	50/55	45% / 40%
100W HPS	120	50/55	58% / 54%
100W MH	130	50/55	62% / 58%
150W HPS	170	50/55	71% / 68%
150W MH	188	50/55	73% / 71%
175W MH	210	50/55	76% / 74%
175W MH	210	75/80	64% / 62%
250W MH	290	75/80	74% / 72%
250W HPS	295	75/80	75% / 73%
320W MH	370	105	72%
400W HPS	460	105	77%
400W MH	450	105	77%

#### Ordering Guide

Item Number:

WALPAK	XX	/	XXX	XXX	7	XX	/	NC	/	BZ	/	X
Product Name	Generation		Wattage (UNV)	Voltage	7 = >70	Color Temp (CCT)		Optics		Color/Finish		Options
WALPAK	1N		030 = 30 Watts	UNV = 120-277V		40 = 4000K*		NC = Non-cutoff		BZ = Bronze		Blank = No Options
	2N		036 = 36 Watts	347 = 347V		50 = 5000K		Distribution				P = Photocontrol*
	3N		050 = 50 Watts									E = Emergency**
			075 = 75 Watts									
			105 = 105 Watts									
			Wattage (347V)									
			040 = 40 Watts									
			055 = 55 Watts									
			080 = 80 Watts									

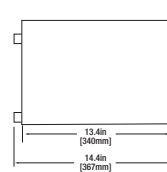
\* Available in UNV only  
 \*\* Made to order (MTO); Available in 50W UNV only

LEDLUM005R10 6-17

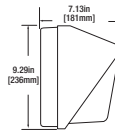
Catalog #	Type
Project Tinley Park Plaza	
Notes	
Date	
Prepared by	

#### Dimensions

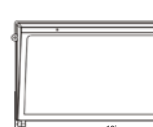
Front View  
30W-80W



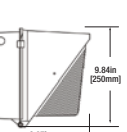
Side View



Front View  
105W



Side View



Dimensions in inches (mm).

#### Specifications

**Weight:** UNV: 13.8lbs (6.3kg) 347V: 15lbs (6.8kg)

UNV (105W): 16.5lbs (6.8kg)

**Construction:** Two-piece cast aluminum alloy housing with powder coat paint finish and a glass lens. The standard color is bronze.

**LED System:** LED system with a life rating of  $\geq 150,000$  hours at  $L_{70}$  @25°C. Luminaire efficacy up to 125 LPW.

**Electrical:** Offered in 30, 36, 50, 75 and 105 Watts, the luminaire is designed to operate through the 120-277 V<sub>ac</sub> universal voltage range. Offered in 40, 55, and 80 Watts, the luminaire is designed to operate at the 347V<sub>ac</sub> voltage range. The LED driver has a 4kV inherent surge suppression and is a constant current device, meeting UL1310 and UL48 Class 2 with built-in over temperature protection. The power factor is  $\geq 90\%$  and THD is  $\leq 20\%$ .

**Color Characteristics:** CRI >70; CCT of 4000K or 5000K.

**Optics:** Non-cutoff distribution with a borosilicate glass lens (top visor accessory available).

**Installation:** Luminaire mounts to exterior wall.

**Operating Temperature:** -40°F to +104°F (-40°C to +40°C);

EM: +32°F to +104°F (0°C to +40°C).

**Listings:** cULus listed to UL1598 standards for wet locations.

**Warranty:** Standard 5-year luminaire warranty (LEDLUM001).

**Note:** Specifications subject to change without notice. IES files available online.

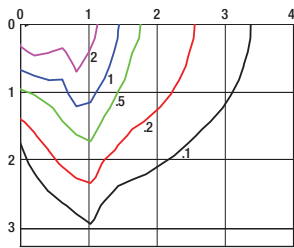


\*DLC Premium only applicable on 2N 30W versions

## Photometric Data (UNV/347V)

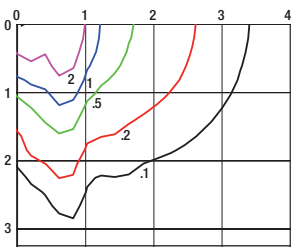
### WALPAK2N/030UNV750/NC

Isofootcandle Lines at  
15' Mounting Height



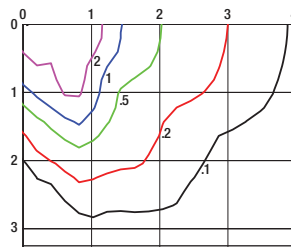
### WALPAK2N/050UNV750/NC

Isofootcandle Lines at  
18' Mounting Height



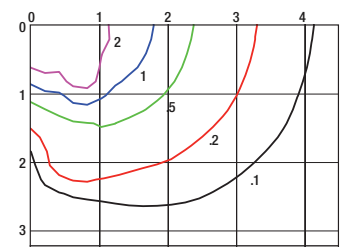
### WALPAK2N/075UNV750/NC

Isofootcandle Lines at  
20' Mounting Height



### WALPAK3N/105UNV740/NC

Isofootcandle Lines at  
25' Mounting Height



For other mounting heights apply the following multipliers:

Mounting Height	12'	15'	18'	20'	22'
Multiplier	1.56	1.00	0.69	0.56	0.46

Mounting Height	15'	18'	20'	22'	25'
Multiplier	1.44	1.00	0.81	0.67	0.52

Mounting Height	15'	18'	20'	22'	25'
Multiplier	1.78	1.23	1.00	0.83	0.64

Mounting Height	22'	25'	30'	32'	35'
Multiplier	1.29	1.00	0.69	0.61	0.51

## Ordering Information

Item Number	Ordering Abbreviation	Power (W)	Input Voltage	CRI	Color Temp (CCT)	Distribution	Total Fixture Lumens	LPW*	DLC**	BUG Rating	Options
74198	WALPAK1N/036UNV740/NC/BZ	36	120-277V	>70	4000K	Type IV	3500	96	—	B1-U4-G3	—
74201	WALPAK1N/036UNV750/NC/BZ	36	120-277V	>70	5000K	Type IV	3300	95	—	B1-U3-G3	—
74202	WALPAK1N/050UNV750/NC/BZ	50	120-277V	>70	5000K	Type IV	5300	108	—	B1-U4-G3	—
74200	WALPAK1N/075UNV740/NC/BZ	75	120-277V	>70	4000K	Type IV	8600	115	—	B1-U5-G5	—
74203	WALPAK1N/075UNV750/NC/BZ	75	120-277V	>70	5000K	Type IV	8600	115	—	B1-U5-G5	—
74216	WALPAK1N/036UNV740/NC/BZ/P	36	120-277V	>70	4000K	Type IV	3500	96	—	B1-U4-G3	Photocontrol
74219	WALPAK1N/036UNV750/NC/BZ/P	36	120-277V	>70	5000K	Type IV	3300	95	—	B1-U3-G3	Photocontrol
74217	WALPAK1N/050UNV740/NC/BZ/P	50	120-277V	>70	4000K	Type IV	5000	104	—	B1-U4-G3	Photocontrol
74220	WALPAK1N/050UNV750/NC/BZ/P	50	120-277V	>70	5000K	Type IV	5300	108	—	B1-U4-G3	Photocontrol
74218	WALPAK1N/075UNV740/NC/BZ/P	75	120-277V	>70	4000K	Type IV	8600	115	—	B1-U5-G5	Photocontrol
74221	WALPAK1N/075UNV750/NC/BZ/P	75	120-277V	>70	5000K	Type IV	8600	115	—	B1-U5-G5	Photocontrol
72996	WALPAK1N/040347750/NC/BZ	40	347V	>70	5000K	Type IV	4300	102	—	B1-U4-G3	—
72997	WALPAK1N/055347750/NC/BZ	55	347V	>70	5000K	Type IV	6300	108	—	B1-U4-G3	—
72998	WALPAK1N/080347750/NC/BZ	80	347V	>70	5000K	Type IV	9400	120	Std	B1-U5-G5	—
74499	WALPAK1N/050UNV840/NC/BZ/E (MTO)	50	120-277V	>70	4000K	Type IV	5000	104	Std	B1-U4-G3	Emergency Battery Backup
74500	WALPAK1N/050UNV850/NC/BZ/E (MTO)	50	120-277V	>70	5000K	Type IV	5300	108	Std	B1-U4-G3	Emergency Battery Backup
74386	WALPAK2N/030UNV740/NC/BZ	30	120-277V	>70	4000K	Type IV	3400	122	Prm	B1-U4-G3	—
74482	WALPAK2N/030UNV750/NC/BZ	30	120-277V	>70	5000K	Type IV	3500	125	Prm	B1-U3-G3	—
74485	WALPAK2N/050UNV740/NC/BZ	50	120-277V	>70	4000K	Type IV	5500	113	Std	B1-U4-G3	—
74486	WALPAK2N/050UNV750/NC/BZ	50	120-277V	>70	5000K	Type IV	5600	116	Std	B1-U4-G3	—
74489	WALPAK2N/075UNV740/NC/BZ	75	120-277V	>70	4000K	Type IV	8900	118	Std	B1-U5-G5	—
74490	WALPAK2N/075UNV750/NC/BZ	75	120-277V	>70	5000K	Type IV	9200	121	Std	B1-U5-G5	—
74387	WALPAK2N/030UNV740/NC/BZ/P	30	120-277V	>70	4000K	Type IV	3400	122	Prm	B1-U4-G3	Photocontrol
74483	WALPAK2N/030UNV750/NC/BZ/P	30	120-277V	>70	5000K	Type IV	3500	125	Prm	B1-U3-G3	Photocontrol
74487	WALPAK2N/050UNV740/NC/BZ/P	50	120-277V	>70	4000K	Type IV	5500	113	Std	B1-U4-G3	Photocontrol
74488	WALPAK2N/050UNV750/NC/BZ/P	50	120-277V	>70	5000K	Type IV	5600	116	Std	B1-U4-G3	Photocontrol
74491	WALPAK2N/075UNV740/NC/BZ/P	75	120-277V	>70	4000K	Type IV	8900	118	Std	B1-U5-G5	Photocontrol
74492	WALPAK2N/075UNV750/NC/BZ/P	75	120-277V	>70	5000K	Type IV	9200	121	Std	B1-U5-G5	Photocontrol
74528	WALPAK3N/105UNV740/NC/BZ	105	120-277V	>70	4000K	Type IV	12500	119	Std	B3-U4-G4	—
74529	WALPAK3N/105UNV750/NC/BZ	105	120-277V	>70	5000K	Type IV	12400	118	Std	B2-U4-G5	—

\*LPW per LM79 report.

\*\*Prm for DLC Premium; Std for DLC Standard

For further information and to learn more about utility rebates, contact your local SYLVANIA sales representative.

## Options Information

### Emergency Battery Backup:

Activates when normal power supply to fixture fails, providing a minimum of 500 lumens for at least 90 minutes.

## Accessories and Replacement Parts

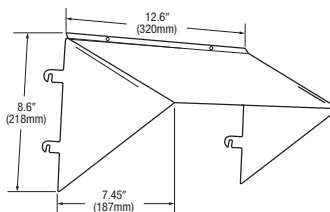
### 30W-80W

Item Number	Ordering Abbreviation	Item Description
74390	WALPAK1N/TOPVISOR/BZ	Top Visor, Bronze Finish
74391	WALPAK1N/WIREGUARD	Wire Guard
74397	WALPAK1N/LENS/BZ	Replacement Glass Lens with Frame
74445	WALPAK1N/PCLENS/BZ	Polycarbonate Lens with Frame

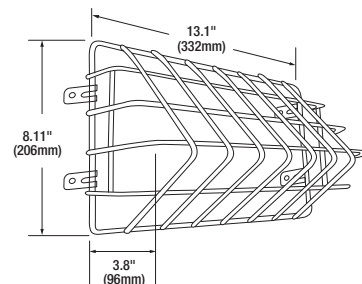
### 105W

Item Number	Ordering Abbreviation	Item Description
74539	WALPAK3N/TOPVISOR/BZ	Top Visor, Bronze Finish
74540	WALPAK3N/WIREGUARD	Wire Guard
74595	WALPAK3N/LENS	Replacement Glass Lens with Frame

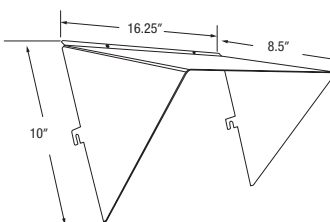
Top Visor



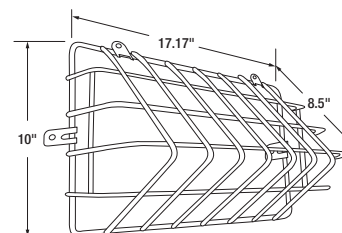
Wire Guard



Top Visor



Wire Guard



LEDVANCE LLC  
200 Ballardvale Street  
Wilmington, MA 01887 USA  
Phone 1-800-LIGHTBULB (1-800-544-4828)  
[www.sylvania.com](http://www.sylvania.com)

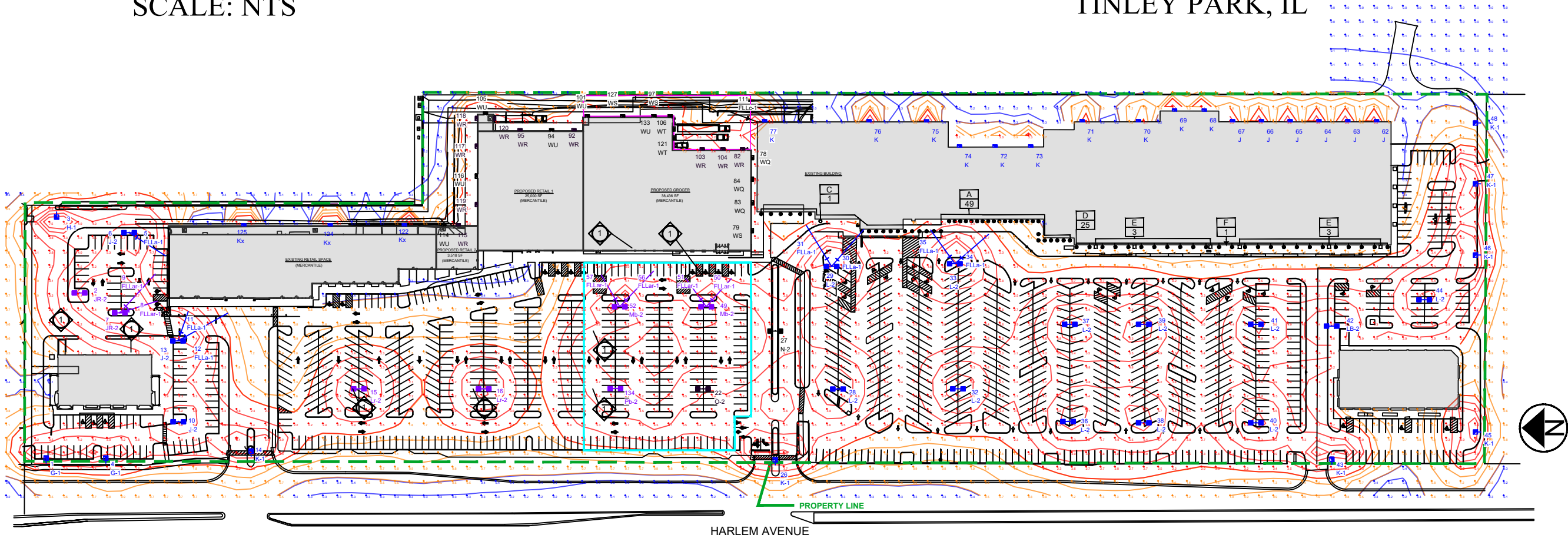
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All other trademarks are those of their respective owners.  
Licensee of product trademark SYLVANIA in general lighting.  
Specifications subject to change without notice.



TINLEY PARK PLAZA PROPOSED PHOTOMETRIC PLAN

SCALE: NTS

TINLEY PARK, IL



Luminaire Schedule							BUG Rating
Symbol	Qty	Label	Arranged	TLL	LLF	Description	
	7	FLLa-1	SINGLE	N.A.	0.90	Existing Flood Fixt 73W LED T1 22' Mtg Ht (5000K/32 LED's/8841 Lumens/700mA) Visionaire VMF-1-T1-32LC-7-5K-UNV	B3-U0-G3
	6	FLLar-1	SINGLE	N.A.	0.90	Existing Flood Fixt Relocated from L-2 73W LED T1 22' Mtg Ht (5000K/32 LED's/8841 Lumens/700mA) Visionaire VMF-1-T1-32LC-7-5K-UNV	B3-U0-G3
	1	FLLc-1	SINGLE	N.A.	0.90	New Flood Fixt 140W LED 7X5 18'-0 Mtg Ht (5000K/16871 Lumens) Visionaire VMF-1-7X5-64LC-7-5K-UNV	B3-U0-G2
	2	G-1	SINGLE	N.A.	0.90	Existing Fixt 267W LED T3 40'-0 Mtg Ht (5000K/160 LED's/39418 Lumens/530mA) Visionaire VLX-1-T3-160LC-5-5K-UNV	B3-U0-G4
	1	H-1	SINGLE	N.A.	0.90	Existing Fixt 173W LED T3 26'-0 Mtg Ht (5000K/160 LED's/24503 Lumens/3500mA) Visionaire VLX-1-T3-160LC-3-5K-UNV	B3-U0-G3
	6	J	SINGLE	5696	0.90	Existing Wallpack Fixt 50W LED T3 Non Cutoff 17'-0 Mtg Ht (5000K/5696 Lumens) Sylvania WALPAK2N-050UNV750-NC-XX-X	B1-U3-G4
	3	J-2	BACK-BACK	N.A.	0.90	Existing Fixt 267W LED T5W 40'-0 Mtg Ht (5000K/160 LED's/40405 Lumens/530mA) Visionaire VLX-1-T5W-160LC-5-5K-UNV	B5-U0-G4
	2	JR-2	BACK-BACK	N.A.	0.90	Relocate Pole, New Base & Fixt 267W LED T5W 26'-0 Mtg Ht (5000K/160 LED's/37187 Lumens/530mA) Visionaire VLX-1-T5W-160LC-5-5K-UNV	B5-U0-G4
	10	K	SINGLE	5696	0.90	Existing Wallpack Fixt 50W LED T3 Non Cutoff 12'-0 to 18'-0 Mtg Ht (5000K/5696 Lumens) Sylvania WALPAK2N-050UNV750-NC-XX-X	B1-U3-G4
	7	K-1	SINGLE	N.A.	0.90	Existing Fixt 353W LED T3 40'-0 Mtg Ht (5000K/160 LED's/48702 Lumens/700mA) Visionaire VLX-1-T3-160LC-7-5K-UNV	B4-U0-G5
	3	Kx	SINGLE	12150	0.50	Existing Wallpack Fixt 175W MH Non Cutoff 12'-0 Mtg Ht	B2-U3-G3
	11	L-2	BACK-BACK	N.A.	0.90	Existing Fixt 353W LED T5W 40'-0 Mtg Ht (5000K/160 LED's/49921 Lumens/700mA) Visionaire VLX-1-T5W-160LC-7-5K-UNV	B5-U0-G5
	1	LB-2	BACK-BACK	N.A.	0.90	Existing Fixt 353W LED T5W 40'-0 Mtg Ht (5000K/160 LED's/45945 Lumens/700mA) Visionaire VLX-1-T5W-160LC-7-5K-UNV	B5-U0-G4
	2	Lr-2	BACK-BACK	N.A.	0.90	New Base, Relocated Pole & Fixt 353W LED T5W 40'-0 Mtg Ht (5000K/160 LED's/49921 Lumens/700mA) Visionaire VLX-1-T5W-160LC-7-5K-UNV	B5-U0-G5
	2	Mb-2	BACK-BACK	N.A.	0.90	New Base & Fixt, Relocated Pole 277W LED T5LS 40'-0 Mtg Ht (5000K/40771 Lumens) visionaire VMX-II-T5LS-40L-5K	B5-U0-G4
	1	N-2	BACK-BACK	N.A.	0.90	Existing Base & Pole, New Fixt 208W LED T5LS 40'-0 Mtg Ht (5000K/29371 Lumens) Visionaire VMX-II-T5LS-30L-5K	B5-U0-G3
	1	O-2	BACK-BACK	N.A.	0.90	Existing Base & Pole, New Fixt 277W LED T5LS 40'-0 Mtg Ht (5000K/40771 Lumens) Visionaire VMX-II-T5LS-40L-5K	B5-U0-G4
	1	Pb-2	BACK-BACK	N.A.	0.90	New Base & Fixt, Relocated Pole, 400W LED T5LS 40'-0 Mtg Ht (5000K/55603 Lumens) Visionaire VMX-II-T5LS-55L-5K	B5-U0-G5
	3	WQ	SINGLE	3887.3	0.90	New Wallpack Fixt 30W LED T3 Cutoff 14'-0 Mtg Ht (5000K/3889 Lumens) Sylvania WALPAK2C-030UNV750-CO-XX-X	B1-U1-G1
	10	WR	SINGLE	5696	0.90	New Wallpack Fixt 50W LED T3 Non Cutoff 18'-0 Mtg Ht (5000K/5696 Lumens) Sylvania WALPAK2N-050UNV750-NC-XX-X	B1-U3-G4
	3	WS	SINGLE	N.A.	0.90	New Wallpack Fixt 56W LED T4 18'-0 Mtg Ht (5000K/5545 Lumens) Visionaire VSC-II-T4-16LC-10-5K	B1-U0-G1
	2	WT	SINGLE	3521	0.90	New Wallpack Fixt 30W LED T3 Non Cutoff 18'-0 Mtg Ht (5000K/3521 Lumens) Sylvania WALPAK2N-030UNV750-NC-XX-X	B1-U3-G3
	6	WU	SINGLE	3521	0.90	New Wallpack Fixt 30W LED T3 Non Cutoff 14'-0 Mtg Ht (5000K/3521 Lumens) Sylvania WALPAK2N-030UNV750-NC-XX-X	B1-U3-G3

KEY NOTES

1

PREVIOUS LOCATIONS OF (8) RELOCATED POLES & FIXTURES.

Total Points	% of Points Met in Main Parking
141	100%

Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	%PtsRange
Back of Building Proposed Grocer	2.3	4.2	0.9	2.5	4.7	26	N.A.
Main Parking and Front Parking Proposed Grocer	4.6	7.3	2.4	1.9	3.0	141	100.0

COLOR CODE	
RED	ABOVE MINIMUM
TAN	BELOW MINIMUM
BLUE	FAR BELOW MINIMUM

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:

**On-Site Lighting & Survey, LLC**

PH: 763.684.1548

On-Site Lighting & Survey, LLC

COMPANY INFO

1111 HIGHWAY 25 NORTH  
SUITE 201  
BUFFALO MN 55313

PH:763.684.1548  
FAX:763.682.9048



PROJECT INFO

TINLEY PARK PLAZA

15917 SOUTH HARLEM AVENUE  
TINLEY PARK, IL. 60477

ENGINEER INFO

ENGINEER SEAL

#	DATE	INIT	DESCRIPTION

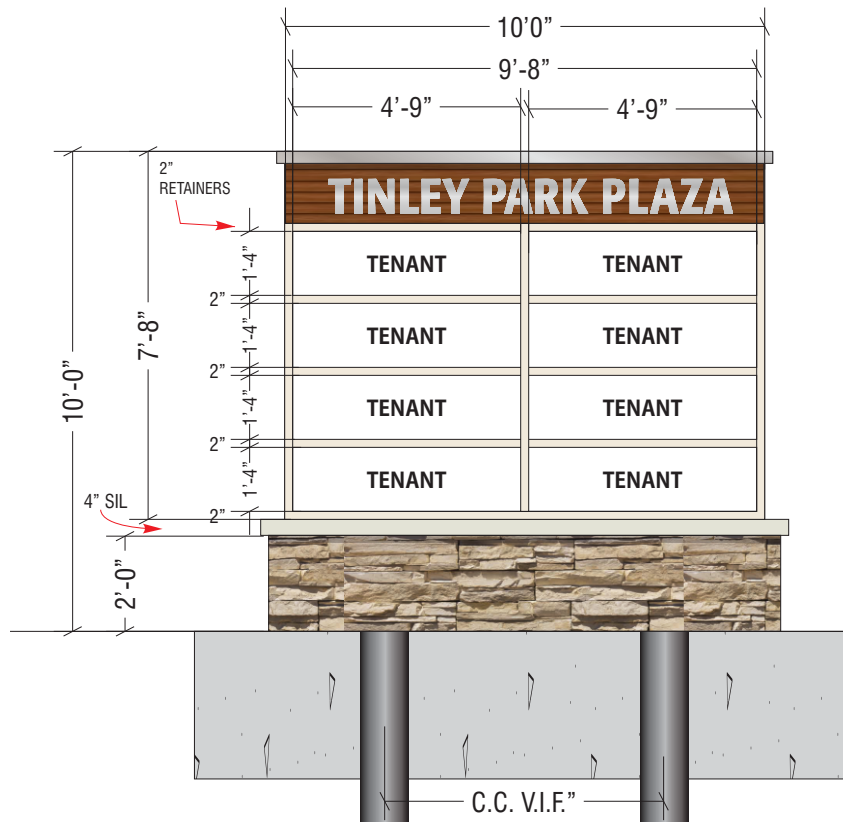
PROPOSED PHOTOMETRIC PLAN

BU1854

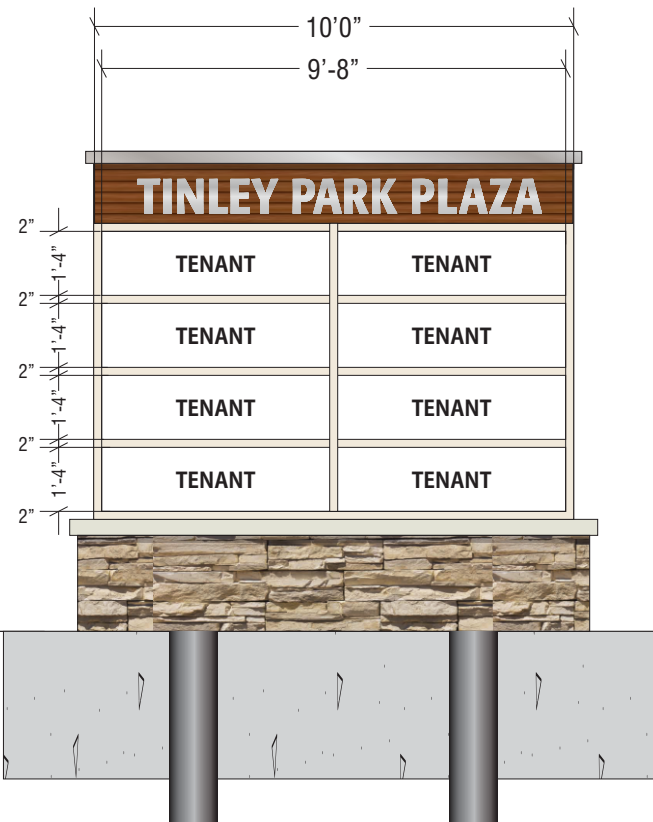
DESIGN ISSUE LEVEL	DATE
05.18.2020	2
C.D.HEANER	
C.D.HEANER	
SHEET# SL200	REV # 3



## NORTH PYLON



## SOUTH PYLON



Overall sign is 10'H X 10'W X 24"D

Base:

- Eldorado Stone Pioneer Mountain Ledge, with limestone Sills
- Slide Cabinet:** Fabricated Aluminum
  - Overlay w/ Nichiha Vintagewood Series Redwood
  - Property ID Name = Illuminated Reverse Channel Leers
  - 2" Deep Fab. Alum. Faces & Returns Painted Silver
  - White Polycarbonate Backs
  - White LED Illumination
  - 1½" Projection Mounting

Tenant Cabinet: Fabricated Alum. Painted SW 6385 Dover White

- Tenant Panels are White Polycarbonate
- Tenant Graphics are Cut Vinyl or Digitally Printed
- Tenant Panel Background is Opaque per City

Cap & Side Panel: Alum. Painted MAP 41342 Brushed Aluminum

- Tenant Cabinets: Fabricated Alum. Painted SW 638
- Tenant Panels are White Polycarbonate
  - Tenant Graphics are Cut Vinyl or Digitally Printed

EMC Units: WatchFire 10mm RGB LED

Illumination: White LEDs

Power: Use Existing at Site.

Mounting: (2) Existing 12"

- |   |                                      |
|---|--------------------------------------|
|  | Elorado Stone Pioneer Mountain Ledge |
|  | Nichiha Vintagewood Series Redwood   |
|  | SW 6385 Dover White                  |
|  | MAP 41342 Brushed Aluminum           |



## GENERAL SIGN CONTRACTORS

232 INTERSTATE RD. P.O. BOX 1068  
ADDISON, IL 60101

630-543-9491  
FAX 630-543-9491

DATE | REVISION[illegible]

### CUSTOMER APPROVAL

DATE \_\_\_\_\_

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**CLIENT**      TINLEY PARK PLAZA

**ADDRESS** 7135 HARLEM AVENUE

CITY TINLEY PARK STATE IL

STATE |

DESIGNER KD

SALESPERSON LS

DRWG. NO. 17984

SCALE: X

DATE: 6-19-20

**SHEET NO. 1**

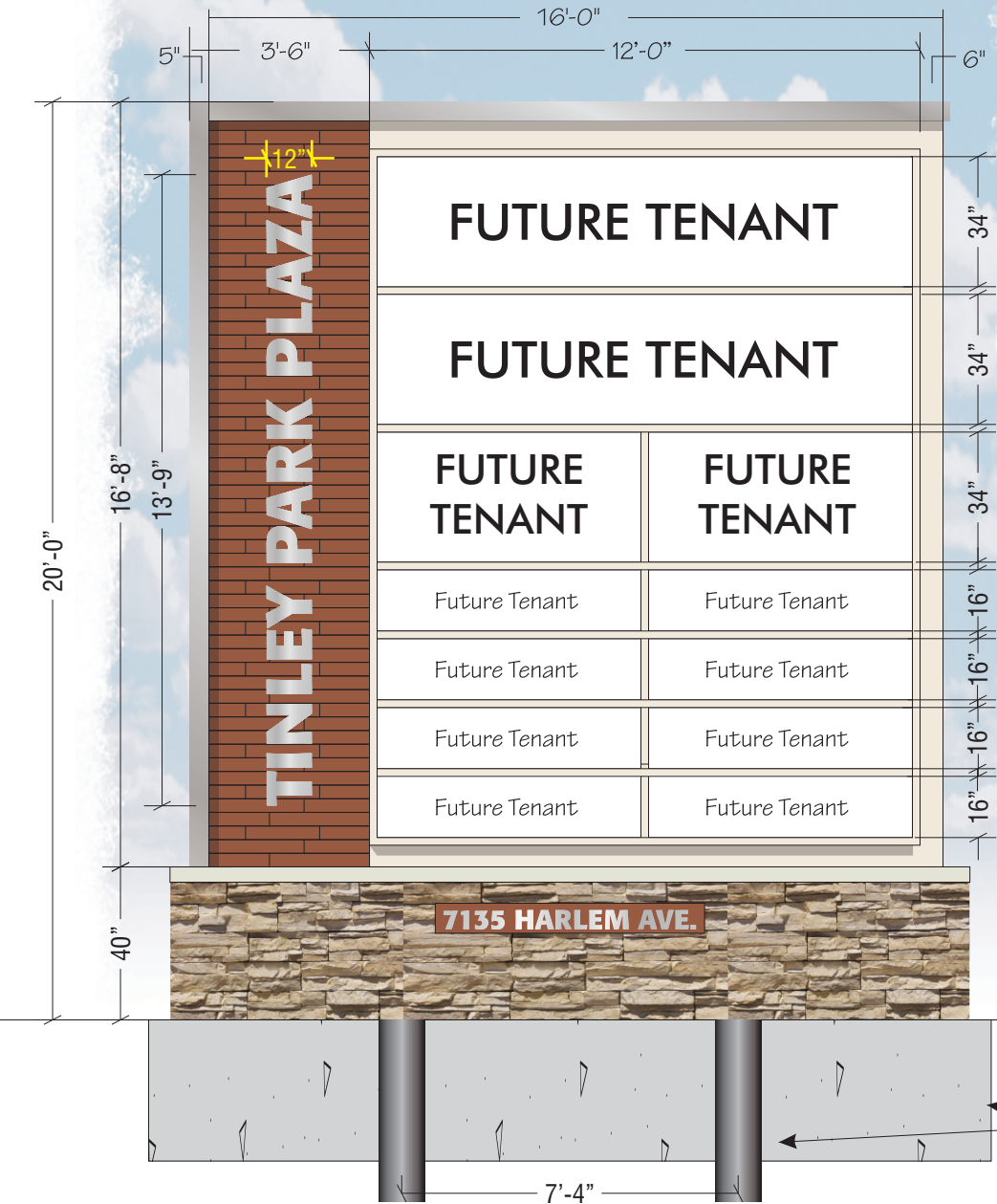


Overall sign is 20'H X 16"W X 36"D

- Base:
- Eldorado Stone Pioneer Mountain Ledge; with limestone Gills
- Slide Cabinet:
- Fabricated Aluminum
  - Overlay w/ Nichiha Vintagewood Series Redwood
  - Property ID Name = Illuminated Reverse Channel Leers
  - 2" Deep Fab. Alum. Faces & Returns Painted Silver
  - White Polycarbonate Backs
  - White LED Illumination
  - 1½" Projection Mounting
- Tenant Cabinet:
- Fabricated Alum. Painted SW 6385 Dover White
  - Tenant Panels are White Polycarbonate
  - Tenant Graphics are Cut Vinyl or Digitally Printed
  - Tenant Panel Background is Opaque per City
- Cap & Side Panel:
- Alum. Painted MAP 41342 Brushed Aluminum
- Tenant Cabinets:
- Fabricated Alum. Painted SW 6385 Dover White
  - Tenant Panels are White Polycarbonate
  - Tenant Graphics are Cut Vinyl or Digitally Printed
- EMC Units:
- WatchFire 10mm RGB LED
- Illumination:
- White LEDs
- Power:
- Use Existing at Site -
- Mounting:
- (2) Existing 12" Steel Pipes / Existing Concrete Base

- Eldorado Stone Pioneer Mountain Ledge
- Nichiha Vintagewood Series Redwood
- SW 6385 Dover White
- MAP 41342 Brushed Aluminum

EXISTING  
12" ROUND METAL POLES AND BASE  
88" ON CENTER AT 28" IN HEIGHT



**DOYLE**

GENERAL SIGN CONTRACTORS

232 INTERSTATE RD. P.O. BOX 1088  
ADDISON, IL 60101

630-543-9490  
FAX 630-543-9493

DATE	REVISION
04.10.20	REMOVED EMC OPTION - DT
04.10.20	REVISED TENANT PANELS SIZES -DT
6-5-20	FIXED SIZES ADJUST OAH TO 20' PER LS -KD

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

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CLIENT	TINLEY PARK PLAZA				
ADDRESS	7135 HARLEM AVENUE				
CITY	TINLEY PARK	STATE	IL	DESIGNER	DT
SALESPERSON	LS	DATE:	04.10.2020	SHEET NO.	1
DRWG. NO.	17174	SCALE:	1/4" = 1'-0"		

O:\Design\B\BRIXMOR\TINLEY PARK PLAZA\TINLEY PARK PLAZA v4.cdr