



AGENDA FOR REGULAR MEETING VILLAGE OF TINLEY PARK PLAN COMMISSION

**June 7, 2018 – 7:00 P.M.
Council Chambers
Village Hall – 16250 S. Oak Park Avenue**

Regular Meeting Called to Order

Pledge of Allegiance

Roll Call Taken

Communications

Approval of Minutes: Minutes of the May 3, 2018 Regular Meeting

**Item #1 PUBLIC HEARING: (REMOVE FROM TABLE AND REQUEST TO BE TABLED TO DATE CERTAIN) TESLA SUPERCHARGING STATION - 7204 W. 191ST STREET
SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH EXCEPTIONS**

Consider granting Site Plan approval and consider a request for a Special Use Permit as a Substantial Deviation with Exceptions to the Brookside Marketplace Planned Unit Development from the Petitioner, Christina Suarez of Black and Veach on behalf of Tesla Motors, to construct a Supercharging Station within the parking area of lot 13 in the B-3 Zoning District with the common address of 7204 W. 191st Street.

**Item #2 PUBLIC HEARING: VERIZON WIRELESS – 8201 W. 163RD STREET
SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH VARIATIONS**

Consider granting Site Plan approval and consider a request for a Special Use Permit from the Petitioner, Bryan Donley on behalf of Verizon Wireless, to construct a new monopole with antennas and ground equipment located within the ComEd Easement with the common address of 8201 W, 163rd Street. Additionally the following Variations are requested:

1. A sixty-one (61) foot height Variation from Section III.W.2.A where the height limitation for monopole is 100' (with 5' for a lightning rod); and
2. A Variation from Section III W 5.c. to allow the installation of a steel platform with operational equipment where the ordinance requires a masonry façade for a shelter for related ground equipment.

**Item #3 WORKSHOP: HAITAM ABUZIR-6787 W. 159TH STREET
SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH VARIATIONS**

Consider granting Site Plan approval and consider a request for a Special Use Permit from the Petitioner, Haitham Abuzir, to construct a residential apartment on the second floor in the B-3 Zoning District with the common address of 6787 W. 159th Street. Additionally the following Variations are requested:

1. Section V.C.2- To reduce the minimum useable floor area per dwelling by 82 square-feet to permit the construction of a one bedroom apartment that is less than the required 800 square feet to 718 square feet.
2. Section III A.7 - To permit parking within a required front yard along 159th Street and Oak Park Avenue.

Good of the Order

Receive Comments from the Public

Adjourn Meeting



**MINUTES OF THE REGULAR MEETING OF THE
PLAN COMMISSION, VILLAGE OF TINLEY PARK,
COOK AND WILL COUNTIES, ILLINOIS**

MAY 3, 2018

The Regular Meeting of the Plan Commission was held in the Council Chambers of Village Hall on May 3, 2018 at 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Plan Commissioners: Ken Shaw, Chairman
Peter Kroner
Eduardo Mani
Garrett Gray
Chuck Augustyniak
Angela Gatto

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel
John Curran

Village Officials and Staff: Paula Wallrich, Community Development Director
Dan Ritter, Senior Planner
Barbara Bennett, Commission Secretary

Guest(s): Bryan Donley, Andrew Venamore, Dan Hamburg, Nolan Rahm

CALL TO ORDER

PLAN COMMISSION CHAIRMAN SHAW called to order the Regular Meeting of the Plan Commission for May 3, 2018 at 7:00 p.m.

COMMUNICATIONS

None at this time

APPROVAL OF MINUTES

Minutes of the April 19, 2018 Regular Meeting of the Plan Commission were presented for approval. A Motion was made by COMMISSIONER AUGUSTYNIK, seconded by COMMISSIONER GRAY, to approve the Minutes as presented. COMMISSIONER KRONER noted amendments to the minutes as discussed with staff. COMMISSIONER AUGUSTYNIK revised the motion to approve the minutes as amended. The Motion was approved by voice call. CHAIRMAN SHAW declared the Motion approved as amended.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE MAY 3, 2018 REGULAR MEETING

Item #1 PUBLIC HEARING (REQUEST TO BE TABLED): TESLA SUPERCHARGING STATION - 7204 W. 191ST STREET

SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH EXCEPTIONS

Consider granting Site Plan approval and consider a request for a Special Use Permit as a Substantial Deviation with Exceptions to the Brookside Marketplace Planned Unit Development from the Petitioner, Christina Suarez of Black and Veach on behalf of Tesla Motors, to construct a Supercharging Station within the parking area of lot 13 in the B-3 Zoning District with the common address of 7204 W. 191st Street.

Present were the following:

Plan Commissioners: Ken Shaw, Chairman
Peter Kroner
Eduardo Mani
Garrett Gray
Chuck Augustyniak
Angela Gatto

Absent Plan Commissioner(s): Tim Stanton
Lucas Engel
John Curran

Village Officials and Staff: Paula Wallrich, Community Development Director
Dan Ritter, Senior Planner
Barbara Bennett, Commission Secretary

Guest(s): None

A Motion was made by COMMISSIONER KRONER, seconded by COMMISSIONER GATTO to open the Public Hearing for Tesla Supercharging Station at 7204 W. 191st Street. The Motion was approved by voice call. CHAIRMAN SHAW declared the Motion approved.

CHAIRMAN SHAW noted that Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

A Motion was made by COMMISSIONER GRAY, seconded by COMMISSIONER MANI to Table the Public Hearing for Tesla Supercharging Station at 7204 W. 191st Street as requested by the Petitioner to May 17, 2018. The Motion was approved by voice call. CHAIRMAN SHAW declared the Motion approved.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE MAY 3, 2018 REGULAR MEETING

Item #2 WORKSHOP/PUBLIC HEARING: P.A.W.S. - 8301 W. 191st STREET
SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH EXCEPTIONS

Consider granting Site Plan approval and consider a request for a Special Use Permit as a Substantial Deviation with Exceptions to the Brookside Glen Planned Unit Development from the Petitioner, Andrew Venamore on behalf of P.A.W.S. of Tinley Park, to construct an 864 SF accessory structure with the following exceptions:

1. A 144 SF Exception from Section III.I.2.b. (Accessory Structures and Uses) of the Zoning Ordinance which limits the maximum floor area of an accessory structure to 720 SF;
2. An Exception from Section III.I.2.g. (Accessory Structures and Uses) of the Zoning Ordinance which prohibits accessory structures to be serviced by water, sanitary sewer, or natural gas in the front yard within the R-5 (Low Density Residential) Zoning District; and
3. A 6 SF Exception to Section IX .E. (Additional Standards for Permanent Sign in Residential Zoning Districts) where the maximum wall sign for an accessory structure is 18 SF.

Present were the following:

Plan Commissioners: Ken Shaw, Chairman
 Peter Kroner
 Eduardo Mani
 Garrett Gray
 Chuck Augustyniak
 Angela Gatto

Absent Plan Commissioner(s): Tim Stanton
 Lucas Engel
 John Curran

Village Officials and Staff: Paula Wallrich, Community Development Director
 Dan Ritter, Senior Planner
 Barbara Bennett, Commission Secretary

Guest(s): Andrew Venamore, Dan Hamburg, Nolan Rahm

CHAIRMAN SHAW noted if there are no objections from the Commission, he would like to proceed with this as a Public Hearing.

A Motion was made by COMMISSIONER KRONER, seconded by COMMISSIONER AUGUSTYNIK to open the Public Hearing of P.A.W.S. of Tinley Park. The Motion was approved by voice call. CHAIRMAN SHAW declared the Motion approved.

CHAIRMAN SHAW noted that Village Staff provided confirmation that appropriate notice regarding the Public Hearing was published in the local newspaper in accordance with State law and Village requirements.

CHAIRMAN SHAW requested anyone present in the audience, who wished to give testimony, comment, engage in cross-examination or ask questions during the Hearing stand and be sworn in.

PAULA WALLRICH, Community Development Director displayed a PowerPoint presentation of the existing Site and History of the People's Animal Welfare Society of Tinley Park (P.A.W.S.) that is a no-kill animal shelter dedicated to the protection of domestic animals and the prevention of animal cruelty. P.A.W.S. has provided animal shelter for Tinley Park and the region for over twenty-five (25) years. The current facility is approximately 6,500 SF and has become inadequate to provide sufficient storage space for donations they receive to assist in the care of their rescued animals. The land transaction was part of a land donation to the Village from the developer of Brookside Glen for a new fire station. This property is part of the Brookside Glen PUD. The parcel was heavily encumbered with floodplain and high tension wires and was deemed unsuitable for a fire station. The developer allowed the Village to retain the parcel and deeded the parcel to P.A.W.S. for a nominal fee of \$1.00 with deed restrictions that there could be no resale of the property. In 2016 P.A.W.S. came forward and requested release from the covenant that restricted them from selling the property which was granted by the Village. They are actively seeking a new property, but in the meantime more storage is needed.

With this storage problem, Nolan Rahm, a local Eagle Scout and a volunteer at the facility came forward and asked what he could do to help P.A.W.S. with this issue. As part of his Eagle Scout project he worked with the Executive Director, Paul Egan to try to resolve this issue. Nolan successfully acquired donations from Danley's garages and Ozinga concrete (among others) to construct an 864 SF accessory structure to handle the storage issues. No animals will be stored in this structure.

MS. WALLRICH displayed a site plan showing the 2.71 acre parcel and the location of the new structure northwest of the current structure. Due to the concern for drainage a grading plan will be required as part of the building permit application. The location is well beyond the required setback. There are 25 parking spaces. As part of the site plan review landscaping will be required (also a donation) around the foundation of the proposed accessory structure. A plan has been provided that meets the intent of the ordinance.

In terms of architecture, Danley Garage has agreed to include similar architecture as the existing structure. As part of the accessory structure requirements, entire masonry is required. Staff worked with the Applicant to replicate the look of the existing building and they have proposed full masonry on the front of the building and a three foot (3') knee wall will be on the east and west side of the building. The colors are consistent with the existing structure.

The zoning is R-5 in the Brookside Glen Planned Unit Development. Mokena is to the west and to the north, and to the south is Brookside Glen. To the east on the other side of the ComEd Easement is the newly approved multi-family project – The Residences.

The requested exceptions are as follows:

1. Size: Section III.I.2.b. (Accessory Structures and Uses) of the Zoning Ordinance limits the maximum floor area of an accessory structure to 720 SF. The proposed accessory structure measures 864 SF, therefore a Variation of 144 SF is required.
2. Utility services: Section III.I.2.g. (Accessory Structures and Uses) of the Zoning Ordinance prohibits accessory structures to be serviced by water, sanitary sewer, or natural gas. The Petitioner is requesting the building be serviced by utilities. All utilities will need to be extended underground.
3. Sign: Section IX .E. (Additional Standards for Permanent Sign in Residential Zoning Districts) limits wall signage to one half (½) SF per one (1) LF of tenant frontage with a maximum letter height and maximum sign height of 84". The Petitioner is requesting a sign measuring 4' (ht.) x 6' (length) for a total of 24 SF. The frontage of the accessory structures measures 36' therefore the overall size is limited to 18 SF. An Exception of 6 SF is therefore required.

MS. WALLRICH noted that all the items staff asked the petitioner to address have been addressed. The building materials

do not completely meet the code. The south façade will remain vinyl but the north façade will be complete masonry, painted to match and on the east and west there will be a three foot (3') knee wall.

CHAIRMAN SHAW asked for a presentation from the Petitioners.

Nolan Rahm from Troop 644 of Evergreen Park made a presentation. He explained he has been volunteering with his sister at P.A.W.S for approximately one year. He noticed there was a storage problem and approached Mr. Egan, the Executive Director and asked what he could do for his Eagle project as he is a Life Scout. He told him they could use a new structure for storage. At that point he began soliciting for donations from Danley Garage, Ozinga Concrete, Fasel and Sons Landscaping, and several others, to begin building the accessory structure. He will be making the sign in his shop at school and his scout troop will also be donating their time painting the inside of the structure when it is complete.

Mr. Venamore, of Danley's Garage will be the general contractor and he gave a presentation regarding the construction. He stated that Ms. Wallrich's presentation was accurate and that although they do not meet the masonry requirement he felt that it was an attractive solution.

Dan Hamburg, Business Manager of Danley's Garage gave a presentation on how the donation process began when he was contacted by Nolan Rahm.

CHAIRMAN SHAW asked the Commissioners and Public for additional questions or comments.

CHAIRMAN SHAW asked for a Motion from the Commission close the Public Hearing.

A Motion was made by COMMISISONER AUGUSTYNIAK, seconded by COMMISISONER KRONER to close the Public Hearing on P.A.W.S. of Tinley Park. The Motion was approved by voice call. CHAIRMAN SHAW declared the Motion approved.

CHAIRMAN SHAW asked Ms. Wallrich to go through the Standards as follows:

Section III.T.2. of the Zoning Ordinance requires that Planning Staff must find that the conditions listed below must be met when approving a site plan.

- a. That the proposed Use is a Permitted Use in the district in which the property is located.
This use was approved as part of the original PUD.
- b. That the proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.
This is an accessory use to the existing facility; Staff has recommended the building materials be consistent with the existing facility.
- c. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient, and convenient movement of traffic, not only within the site but on adjacent roadways as well.
The existing access will still serve the site.
- d. That the Site Plan provides for the safe movement of pedestrians within the site.
There is a sidewalk to the front door.
- e. That there is a sufficient mixture of grass, trees, and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public; any part of the Site Plan area not used for buildings, structures, parking, or accessways shall be landscaped with a mixture of grass, trees, and shrubs.
Additional landscaping is proposed along the foundation of the property.

- f. That all outdoor trash storage areas are adequately screened.
There is an existing trash enclosure that meets the intent of the code.

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
The proposed accessory structure will serve as storage for the existing facility and will alleviate storage issues within the Shelter.
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
The proposed structure is accessory to an existing use.
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
The proposed structure is accessory to an existing use. Landscaping will be provided and the building materials will be consistent with the existing facility.
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
The accessory structure will use existing access; drainage will be addressed as part of the building permit.
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
The accessory structure will use existing access.
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
Certain exceptions are required to allow for the construction of the accessory structure included an exception to allow 144 additional square feet, allow utility service and 6 additional SF to the sign.
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
P.A.W.S. is not-for-profit facility that provides animal shelter and education for Tinley Park.

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

CHAIRMAN SHAW asked for a Motion.

A Motion was made by COMMISSIONER GRAY, seconded by COMMISSIONER KRONER to recommend to the Village Board the granting to the Petitioner, Andrew Venamore, on behalf of People's Animal Welfare Society of Tinley

Park (P.A.W.S.), Site Plan Approval in accordance with the plans submitted and listed herein with the following conditions:

- A masonry knee wall of at least 3' in height be constructed on the east façade; and
- A masonry knee wall of at least 3' in height be constructed on the west façade.

AYES: KRONER, MANI, GATTO, GRAY, AUGUSTYNIAK AND CHAIRMAN SHAW

NAYS: NONE

CHAIRMAN SHAW declared the Motion unanimously approved.

A Motion was made by COMMISSIONER GRAY, seconded by COMMISSIONER KRONER to recommend to the Village Board the granting of Special Use Permit for a Substantial Deviation to the Brookside Glen Planned Unit Development to allow for the construction of an 864 SF accessory structure at 8301 191st Street consistent with the List of Submitted Plans as attached herein and adopt Findings of Fact submitted by the Applicant and Findings of Fact proposed by Village Staff as may be amended by the Plan Commission at this meeting with the following Exceptions:

1. A 144 SF Exception from Section III.I.2.b. (Accessory Structures and Uses) of the Zoning Ordinance which limits the maximum floor area of an accessory structure to 720 SF;
2. An Exception from Section III.I.2.g. (Accessory Structures and Uses) of the Zoning Ordinance which prohibits accessory structures to be serviced by water, sanitary sewer, or natural gas in the front yard within the R-5 (Low Density Residential) Zoning District; and
3. A 6 SF Exception to Section IX .E. (Additional Standards for Permanent Sign in Residential Zoning Districts) where the maximum wall sign for the accessory structure is 18 SF.

The Special Use and Exceptions will allow the Petitioner to construct an accessory structure adjacent to the existing P.A.W.S building for purposes of a 864 SF Storage Building, serviced with water, electric and natural gas. It will also allow the Petitioner to erect a wall sign measuring 24 SF in area.

AYES: KRONER, MANI, GATTO, GRAY, AUGUSTYNIAK AND CHAIRMAN SHAW

NAYS: NONE

CHAIRMAN SHAW declared the Motion unanimously approved.

CHAIRMAN SHAW noted the Village Board Meeting will be on May 15, 2018

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES
FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION
SUBJECT: MINUTES OF THE MAY 3, 2018 REGULAR MEETING

Item # 3 WORKSHOP: VERIZON WIRELESS – 8201 W. 163RD STREET
SITE PLAN APPROVAL AND SPECIAL USE PERMIT WITH VARIATIONS

Consider granting Site Plan approval and consider a request for a Special Use Permit from the Petitioner, Bryan Donley on behalf of Verizon Wireless, to construct a new monopole with antennas and ground equipment located within the ComEd Easement at 8201 W. 163rd Street. Additionally the following Variations are requested:

1. A sixty-one (61) foot height Variation from Section III.W.2.A where the height limitation for monopole is 100' (with 5' for a lightning rod); and
2. A Variation from Section III W 5.c. to allow the installation of a steel platform with operational equipment where the ordinance requires a masonry façade for a shelter for related ground equipment.

Present were the following:

Plan Commissioners: Ken Shaw, Chairman
 Peter Kroner
 Eduardo Mani
 Garrett Gray
 Chuck Augustyniak
 Angela Gatto

Absent Plan Commissioner(s): Tim Stanton
 Lucas Engel
 John Curran

Village Officials and Staff: Paula Wallrich, Community Development Director
 Dan Ritter, Senior Planner
 Barbara Bennett, Commission Secretary

Guest(s): Bryan Donley, InSite Inc.

PAULA WALLRICH, Community Development Director displayed a PowerPoint presentation of the existing site and history of Verizon Wireless request to construct a wireless facility service which includes the construction of a new riser pole tower with antennas and ground equipment. The property is located adjacent to the first transmission tower located south of 163rd Street within a 215-foot wide Commonwealth Edison easement. There is also a bike trail that runs through this easement. The Petitioner is seeking installation of a 161-foot riser pole tower within an existing ComEd transmission tower and the construction of a steel platform to house related equipment enclosed by a six (6) foot wood fence. There was a previous antenna taken down from this site. There is a similar tower north of 163rd Street. A photo was displayed to

show the pole.

MS. WALLRICH noted the Site Plan with the proposed plan indicating construction of a 9'4 X 11' equipment platform to be located north of the existing transmission tower. The access to the ground equipment is by a proposed 12-foot wide aggregate access drive that connects westerly to the existing asphalt bike path. Staff is recommending the surface be asphalt to prevent surface erosion. After review Public Works has also recommended a gate be installed to discourage the public from accessing the drive from the bike path. MS. WALLRICH noted that she did not see the utility behind requiring a gate on the path that could easily be circumvented.

Open Items are as follows:

1. Applicant has not provided evidence that no such existing Village-owned property meets the needs of the Petitioner.
2. A Special Use Permit is required to be granted to permit the construction of a new personal wireless tower.
3. A Variation of 61 FT is required to allow for the construction of a 161 FT Riser Pole Tower with antennas mounted on top.
4. Applicant has stated they will be providing a landscape plan for Staff to review.
5. A Variation to not require the Steel Platform to be enclosed within a masonry façade building.
6. Staff recommends the access drive be asphalt.
7. Applicant needs to provide information on any proposed lighting that will be installed.
8. Staff requests photographs of existing shelters.
9. Outstanding Public Works and Engineering items must be addressed prior to issuance of a building permit.

CHAIRMAN SHAW asked for comments or questions from the Commissioners.

COMMISSISONER MANI asked why the equipment enclosure is not a masonry structure.

Ms. Wallrich replied this is no longer the industry standard for this type of enclosure and suggested the Petitioner address this in their presentation..

CHAIRMAN SHAW asked the Petitioner to make a presentation.

Bryan Donley with InSite Inc. representing this Verizon Wireless proposal explained this is a co-location with ComEd for a new telecommunication facility with a 161 foot riser pole within the framework of an existing ComEd tower for structural support. He noted he is working with staff to resolve any open items. This is the first time he has been required to go through this process and therefore it has caused a delay. This is the fourth installation in Tinley Park on ComEd transmission lines. Regarding the question of the existing equipment, previously large sheds were built and as technology improves, the equipment is smaller, faster and more efficient. All the carriers are switching to the smaller platform. The large shelters are no long manufactured. This location previously had a shelter on it that was removed in 2015. Verizon Wireless will provide the necessary study to support why this site is necessary at the Public Hearing. All the towers are 161'. ComEd does not allow any antennas to be below the top of their tower. The antenna is 6 feet higher than the tower.

COMMISSISONER MANI noted the code requires a masonry structure. CHAIRMAN SHAW replied this is what the Variation is.

COMMISSIONER KRONER noted the last three towers that were reviewed were required to use PVC fencing rather than wood fencing and the Arbor Vitae is not the best choice and questioned whether Spruce trees or Pine trees be used instead for screening. Mr. Donely replied they can do whatever the Commission requires. MS. WALLRICH noted the root structure of the Arbor Vitae is smaller as it is a shrub ComEd may take issue with plant material with larger root

structures. COMMISSONER KRONER noted a masonry structure would be preferred for security. Ms. Wallrich replied an exposed aggregate structure could be used for security and then a fence might not be required.

Discussion on the gate was that it should not be a requirement from the Plan Commission.

COMMISSIONER SHAW noted regarding the additional 61' being the minimum and there would be no room to co-locate a second carrier. Mr. Donely replied this is a ComEd requirement and they are not designed to have more than one carrier per tower.

COMMISSIONER SHAW noted the Public Hearing will be on May 17, 2018

GOOD OF THE ORDER

1. Dan Ritter was introduced as the new Senior Planner.
2. Software has been chosen and will go to the Board on May 18
3. Several Fence Variations to ZBA
4. Dan will be working on RV Parking
5. Small Cell Towers – Dan will be working on it and gave a synopsis of the Governors new Zoning.
6. Oak Park Avenue Boundary Plat approved at Board
7. Oak Park Avenue Playbook at Board – Initiative by the Mayor - Grants
8. Legacy Code Amendments within the next couple months.

PUBLIC COMMENT:

None at this time.

ADJOURNMENT:

There being no further business, a Motion was made by PLAN COMMISSIONER AUGUSTYNIAK, seconded by PLAN COMMISSIONER GRAY, to adjourn the Regular Meeting of the Plan Commission of May 3, 2018 at 8:36 p.m. The Motion was unanimously approved by voice call. PLAN COMMISSION CHAIRMAN SHAW declared the meeting adjourned.

PLAN COMMISSION STAFF REPORT

June 07, 2018

Petitioner

Bryan Donley, Verizon
Wireless

Property Location

8201 W. 163rd Street

PIN

N/A

Zoning

N/A

Approvals Sought

Special Use Permit
Variances
Site Plan Approval

Project Planner

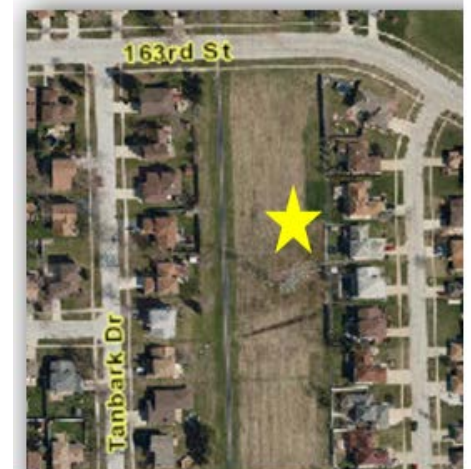
Kimberly Clarke
Planning Manager

Verizon Wireless

8201 W. 163rd Street **CHANGES FROM THE WORKSHOP ARE NOTED IN RED**

EXECUTIVE SUMMARY

The Petitioner, Bryan Donley on behalf of Verizon, seeks Site Plan approval and requests a Special Use Permit to construct a wireless facility service which includes the construction of a new riser pole tower with antennas and ground equipment located within the ComEd Easement at the commonly known address of 8201 W. 163rd Street.



Additionally, the following Variations are requested:

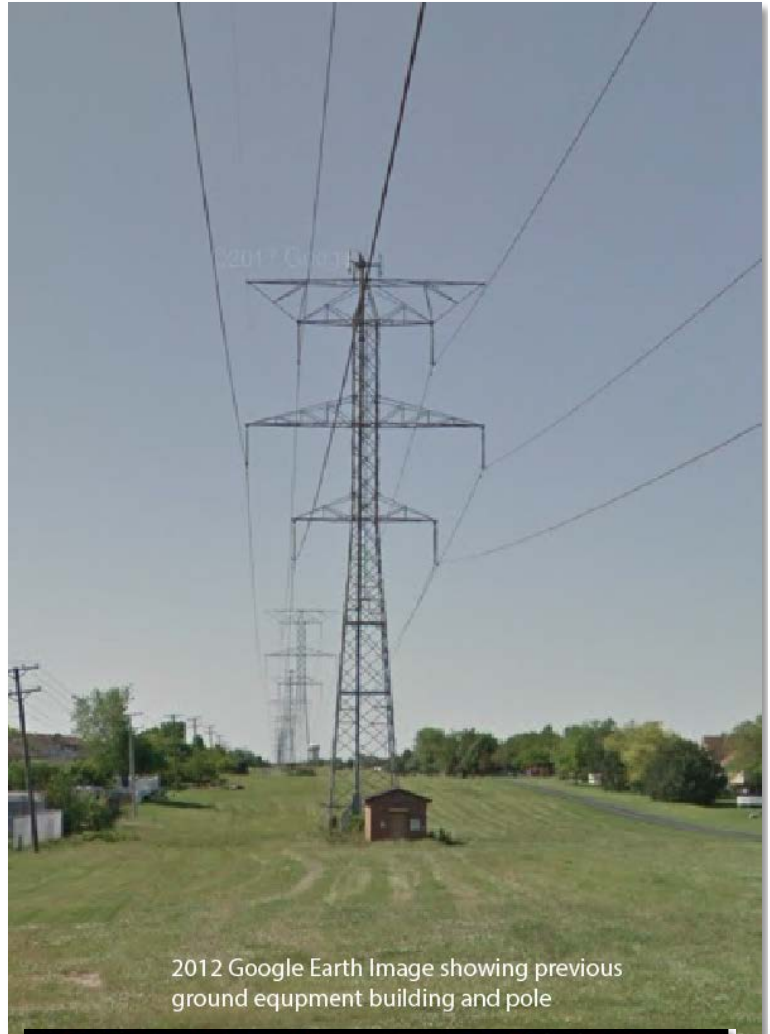
1. A sixty-one (61) foot height Variation from Section III.W.2.A where the height limitation for a free standing tower is 100'; and
2. A Variation from Section III W 5.c. to allow the installation of a steel platform with operational equipment where the ordinance requires a masonry façade for a shelter for related ground equipment. **The Petitioner has agreed to construct a masonry façade and is no longer requesting this variance.**

This will allow for the installation of a 161-foot riser pole tower within an existing ComEd transmission tower and the construction of a steel platform to house related equipment enclosed by a six (6) foot wood fence.

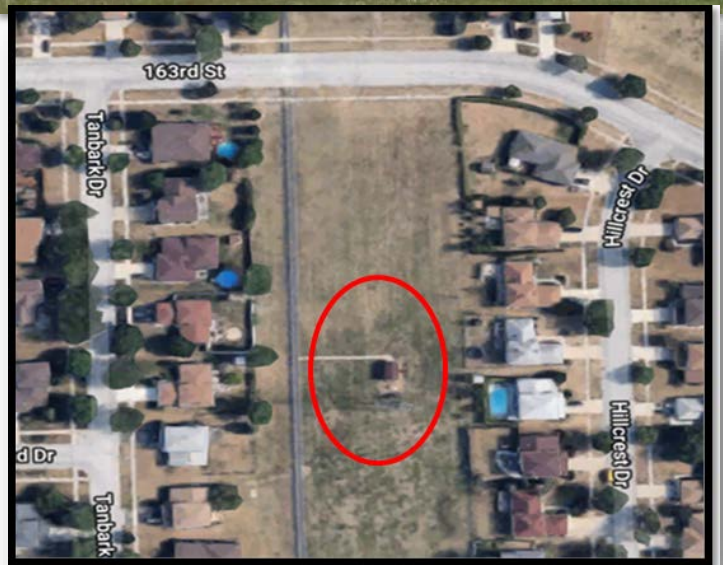
EXISTING SITE & HISTORY

The subject property is located adjacent to the first transmission tower located south of 163rd Street in between Richards Drive and 82nd Avenue within a 215-foot wide easement owned by Commonwealth Edison (ComEd). The easement is occupied with 142-foot tall electric transmission towers located within the entire length of the easement which extends north and south beyond Tinley Park's jurisdiction. The facility is accessed by an eight (8) foot wide asphalt bike path from 163rd Street. In 1985, a perpetual easement was recorded with ComEd giving the Village permission to maintain the bike path starting from the north side of 179th Street and terminating approximately 350-feet north of 163rd Street.

These images were taken from Google Earth which shows in 2012 there was once a ground structure and pole at this location. Within the Petitioner's application, they stated the design and location of this installation was largely chosen to mirror the previous facility that was at this location between 2006 and 2015. Staff was unable to find any records of a permit being issued.



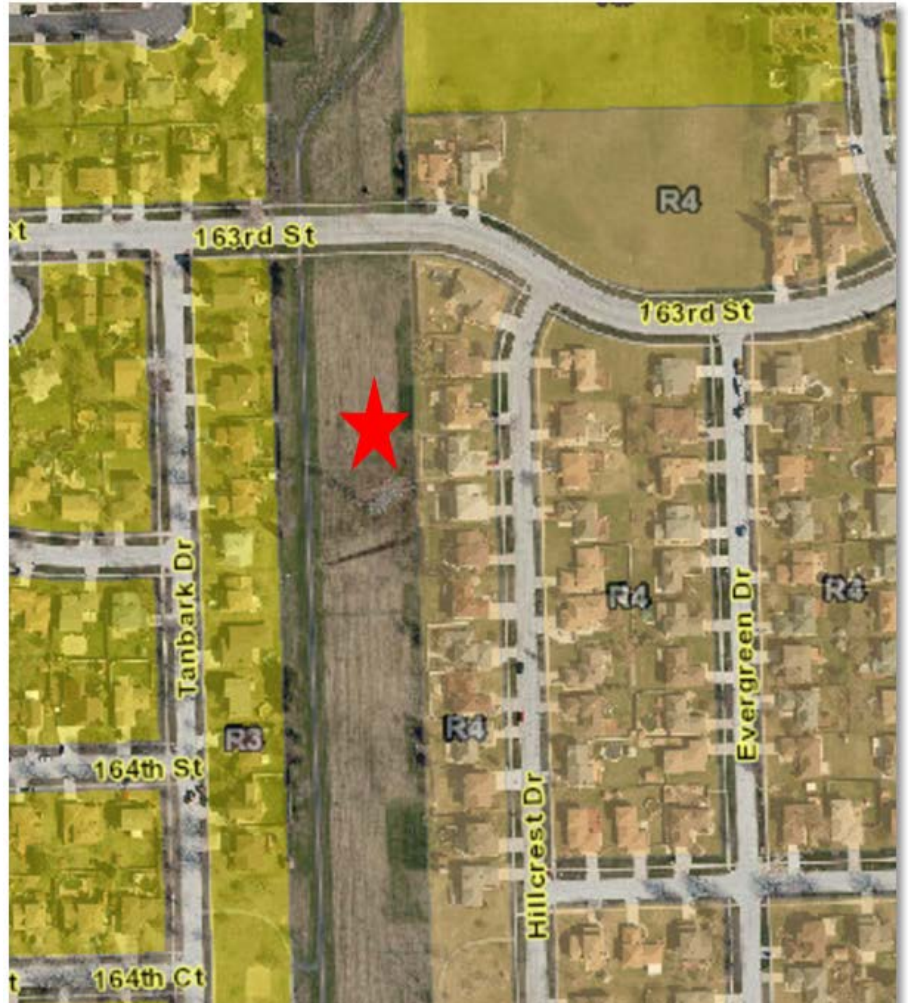
2012 Google Earth Image showing previous ground equipment building and pole



ZONING & NEARBY LAND USES

The subject property does not have a zoning classification because it is a utility easement that may have existed prior to the development in the area. Single family detached residential property surrounds this area. Specifically to the west is the subdivision Tanbark Villa which is zoned R-1 (Single Family Residential). To the east is Tinley Meadows Subdivision zoned R-4 (Single Family Residential). To the north is Eagle Ridge Estates Subdivision zoned R-3 (Single-Family Residential) and Meadow Park Estates zoned R-4 (Single-Family Residential).

Per Section III.W.1 of the Village Zoning Ordinance, the preferred location for personal wireless service facilities is “on an existing free standing tower on Village owned property. Provided no such Village-owned property meets the needs of the Petitioner, location on an existing free standing tower on non-Village owned property would be preferred; therefore the proposed improvements meet the location preferences established in the Ordinance.



Open Item #1: Applicant has not provided evidence that no such Village-owned property meets the needs of the Petitioner. Petitioner has provided an exhibit identifying all Village owned property and an exhibit showing the improved service at this site with the construction of this antenna.

SPECIAL USE AND VARIATIONS

Section III.W outlines the regulations for Personal Wireless Service Facilities. Since this will be a new riser pole attached to an existing electric transmission tower, a Special Use Permit is required.

Open Item #2: A Special Use Permit is required to be granted to permit the construction of a new personal wireless tower.

Section III W.2.a. limits the maximum height of a freestanding tower to one hundred (100) feet; however, an applicant requesting a free standing tower shall demonstrate that the tower is the minimum height required to function satisfactorily. The applicant is looking to exceed the maximum height by sixty-one (61) feet.

Open Item #3: A Variation of 61 FT is required to allow for the construction of a 161 FT Riser Pole Tower with antennas mounted on top.

Section III. W.5.b. requires landscaping to be installed around the foundation of any ground level buildings, structures and fences. At this time, the applicant is not proposing any landscaping.

Open Item #4: Applicant has stated they will be providing a landscape plan for Staff to review. This variation is no longer needed. The Petitioner has submitted a landscape plan.

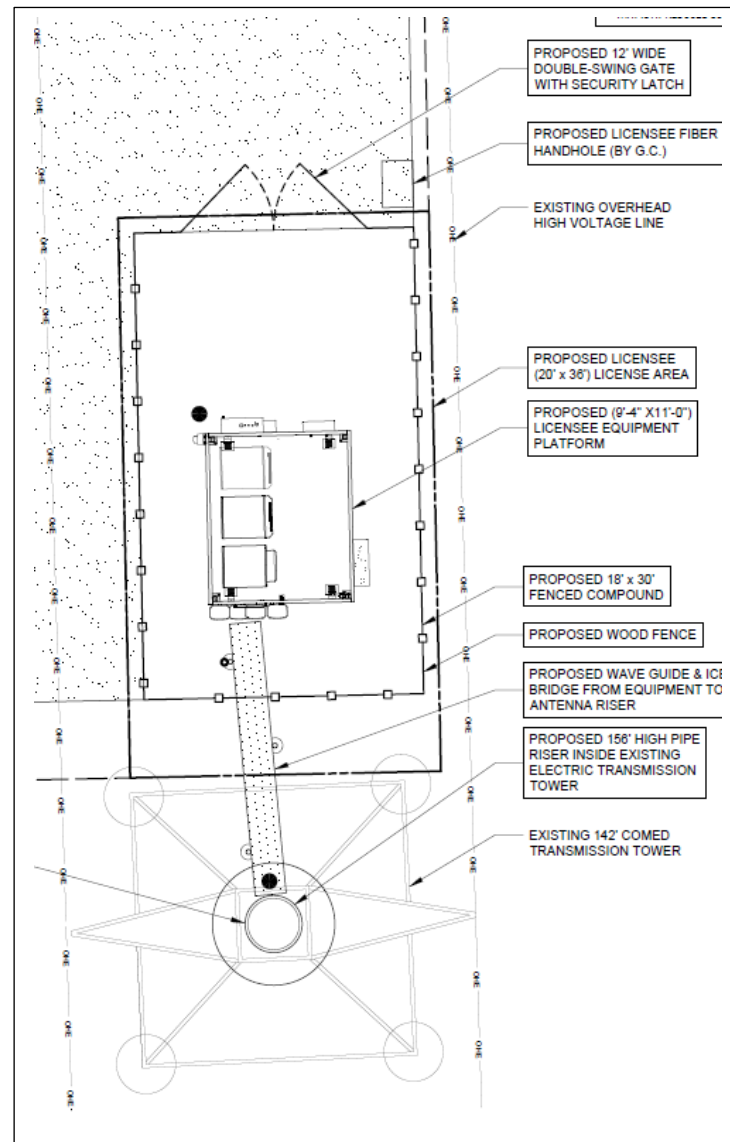
Section III W.5.C. requires ground level buildings and structures be constructed with masonry facades. The applicant is proposing to screen the steel platform equipment with six (6) foot wood privacy fence.

Open Item #5: A Variation to not require the Steel Platform to be enclosed within a masonry façade building. Petitioner has agreed to enclose the equipment within a masonry building.

SITE PLAN

The proposed plans indicate the construction of a 9'4" X 11' equipment platform to be located north of the existing transmission tower. The equipment platform will be completely enclosed by a six (6) foot wood fence. A 12-foot wide double-swing gate with security latch is provided on the north side of the fence. A concrete foundation will be poured for the new equipment platform but it is unclear what the ground surface is for the remaining lease area. There are no plans to incorporate any lighting at this location.

Access to the ground equipment is by a proposed 12-foot wide aggregate access drive that connects westerly to the existing asphalt bike path. Staff is recommending the surface be asphalt to prevent surface erosion. In addition, staff raised concerns about an additional gate to be provided to discourage the public from accessing the drive from the bike path.



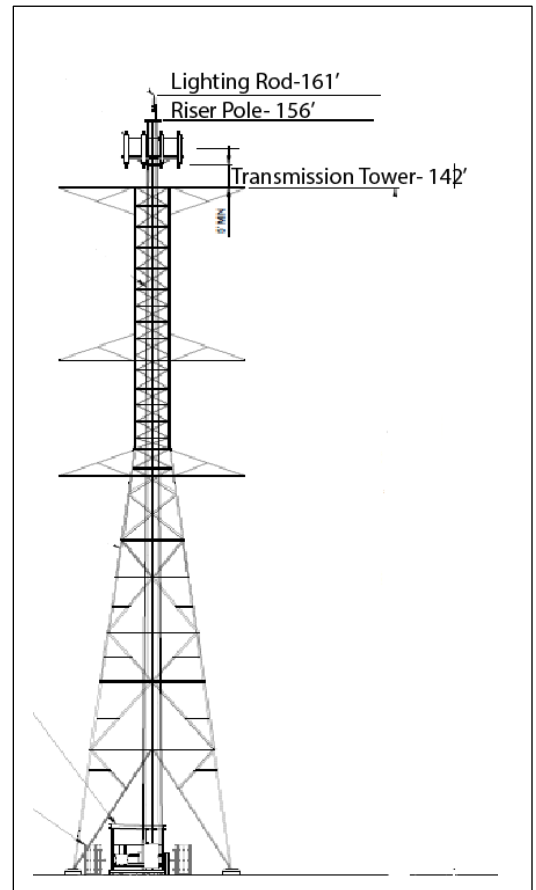
Riser Pole Tower

The applicant is proposing to attach antennas to a new 156' riser pole tower that ComEd will construct for Verizon. The antennas are required to be mounted a minimum of five (5) feet above the top of the existing transmission tower. A lightning rod will be erected at the top of the riser pole tower for a total elevation of 161'.

The closest residential structure is 172' to the west and 118' to the east. To the north and south is open grass area.

Open Item #6: Staff recommends the access drive be asphalt. Petitioner has revised the plans to include asphalt for the proposed access drive. Plans will be revised to indicate all areas within the fence to be paved.

Open Item #7: Staff recommends an additional gate be installed to discourage the public from accessing the drive from the bike path. After further discussion, this recommendation is no longer needed.



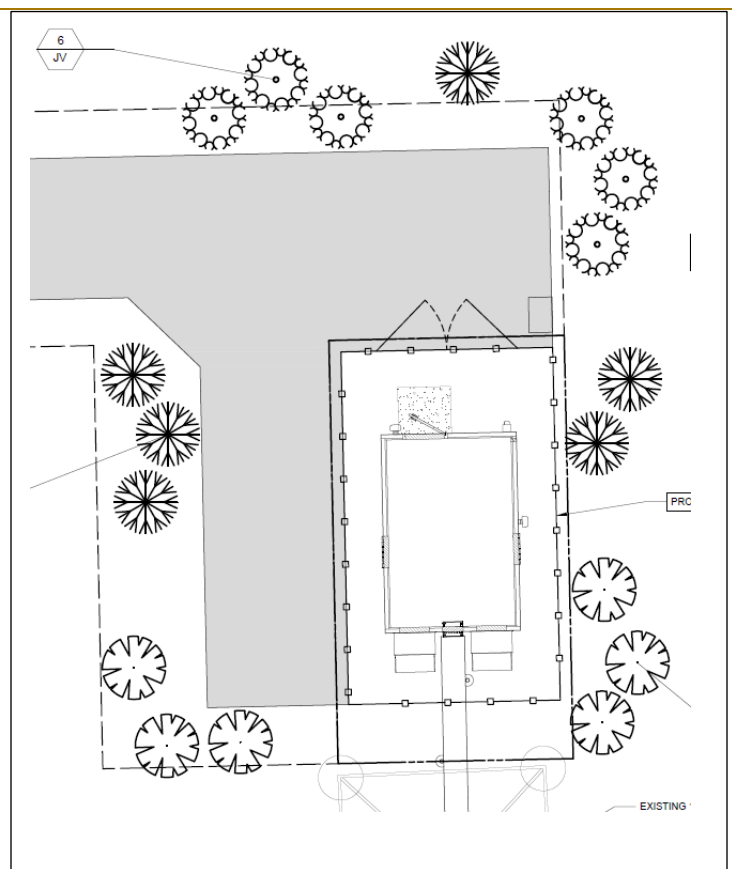
LANDSCAPE

The existing 215-foot wide ComEd Easement is void of any significant landscaping. Section III.W.5.b requires landscaping to be provided around the foundation of any ground building or fences.

The Village's Consulting Landscape Architect provided a list of concerns to the Applicant due to the lack of a landscaping plan being submitted. The Applicant has stated they will provide a landscape plan.

The Petitioner is proposing a combination of six (6) Hawthorne Trees; six (6) Eastern Red Cedar and six (6) Eastern White Pine trees. They will be installed in groupings of three around the leased area and will be eight (8) feet in height when installed. The plan indicates a wood fence. It should be revised to incorporate a Vinyl fence.

Open Item #8: Applicant needs to provide staff with a landscape plan that meets the intent of the code. The plan should also incorporate comments provided by the



Village's consulting landscape architect. Petitioner has submitted a landscape plan.

ARCHITECTURE & LIGHTING

The applicant has proposed an 11' X 10'-5" steel equipment platform. It is proposed with a flat metal roof canopy. The shelter is 10' in height; therefore a portion may be visible above the fence. If landscaping is installed it may exceed the height of the shelter eventually. Staff has requested photographs of existing shelters which have not yet been received.

The Petitioner has submitted revised plans which proposes a pre manufactured equipment shelter with facebrick that is 16'-10 1/2" X 11'-6" X 10' with two (2) exterior AC units attached to the outside of it. There building can have an additional AC unit added for the future. The images below are examples of facebrick that can be used on equipment shelters. Staff prefers the lighter facebrick color to match the taupe vinyl fencing that will be around the structure. There are two exterior lights proposed on the building. One is identified as an exterior light with photocell and the other is an emergency light. The previous proposal did not provide for exterior lighting fixtures. Staff does not see the need for lighting now that the equipment is in a shelter. If light fixtures are to remain, cut sheets will need to be provided for staff to review. All lights should be downward facing and shielded.

Open Item #9: Staff requests photographs of existing shelters. The Petitioner has agreed to construct a masonry structure for the equipment. Staff recommends the Petitioner use the lighter tan facebrick color shown below vs the darker red facebrick.



Staff prefers this lighter color facebrick

STAFF REVIEW: ENGINEERING

The Village Engineer and Public Works Department provided a list of concerns to the Applicant. Concerns were raised regarding security and construction of the access drive. Final engineering approval will be required prior to issuance of a Building Permit. The Applicant has not addressed the comments at this time.

Open Item #10: Outstanding Public Works and Engineering items must be addressed prior to issuance of a building permit. This can be placed as a condition of approval.

SUMMARY OF OPEN ITEMS

Staff identified the following open items for discussion at the workshop: add in the new ones

1. *Applicant has not provided evidence that no such existing Village-owned property meets the needs of the Petitioner. The Village does have a property nearby, Fire Station #2, but there is no existing equipment for the applicant to co-locate on. In addition the property is fairly small and has*
2. *A Special Use Permit is required to be granted to permit the construction of a new personal wireless tower.*
3. *A Variation of 61 FT is required to allow for the construction of a 161 FT Riser Pole Tower with antennas mounted on top.*
4. *Applicant has stated they will be providing a landscape plan for Staff to review. Petitioner has submitted a landscape plan that meets the ordinances requirements. Plans will be revised to indicate all areas within the fence to be paved and the fence around the structure will be comprised of Vinyl not wood.*
5. *A Variation to not require the Steel Platform to be enclosed within a masonry façade building. This variation is no longer needed. The Petitioner has provided renderings of a pre-fabricated facebrick equipment shelter. Staff recommends that the brick color match the fencing that will be around it. In addition they will need to provide cut sheets of the proposed mounted light fixtures.*
6. *Staff recommends the access drive be asphalt. The Petitioner has provided an asphalt drive.*
7. *Staff recommends an additional gate be installed to discourage the public from accessing the drive from the bike path. This is no longer an issue.*
8. *Applicant needs to provide information on any proposed lighting that will be installed.*
9. *Staff requests photographs of existing shelters. The Petitioner gave examples of facebrick structures.*
10. *Outstanding Public Works and Engineering items must be addressed prior to issuance of a building permit. Staff recommends making this a condition of the special use.*

STANDARDS FOR SITE PLAN APPROVAL

Section III.T.2. of the Zoning Ordinance requires that Planning Staff must find that the conditions listed below must be met. Staff will prepare draft responses for these conditions within the next Staff Report.

a. That the proposed Use is a Permitted Use in the district in which the property is located.

The wireless facility equipment is a special use.

b. That the proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

The proposed equipment is located within a ComEd Easement that is comprised of 156' tall electrical transmission towers. The wireless equipment being proposed is similar to the previous wireless equipment at the subject site. Additional landscaping will be provided, and the access drive will be constructed of asphalt per engineering and public works department's requirements.

c. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient, and convenient movement of traffic, not only within the site but on adjacent roadways as well.

Access to the site will be off the existing 8' foot wide bike path located within the ComEd Easement. An additional drive aisle will be constructed to the equipment location.

d. That the Site Plan provides for the safe movement of pedestrians within the site.

Pedestrians should not be walking over to the site. It was discussed at the workshop that additional signage could be installed if it was deemed necessary.

e. That there is a sufficient mixture of grass, trees, and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public; any part of the Site Plan area not used for buildings, structures, parking, or access-ways shall be landscaped with a mixture of grass, trees, and shrubs.

The landscape plan proposes groupings of evergreen and shade trees to help screen the equipment shelter. The area is void of any plant material so the proposed landscaping will be an addition to the area.

f. That all outdoor trash storage areas are adequately screened.

Trash storage is not proposed nor required for the type of use proposed.

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Staff will provide draft Findings in the Staff Report for the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. **That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**

The proposed wireless facility equipment will operate similarly to the previous equipment that was on this site as well as the existing equipment that is north of this site. The riser tower will be installed within the existing electrical transmission tower and the equipment shelter will be enclosed by a 6' solid vinyl fence and evergreen landscape material. The fence enclosure will be secured with a locked gate and the shelter will also be secured and locked. The additional cell antenna on the electrical transmission tower will improve the coverage for that carrier in the area.

- b. **That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;**

There are existing 156' electrical transmission towers throughout the entire length of this easement. The proposed wireless facility equipment is proposing to use this existing structure to incorporate their equipment. The Petitioner is providing a 6' solid vinyl fence and evergreen landscaping around the proposed equipment shelter.

- c. **That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;**

The proposed site is within an existing 215' wide ComEd Easement. There are existing electrical transmission towers located within the easement. The surrounding property has already been developed surrounding the site. The construction of a new riser pole within an existing electrical transmission tower will not impede the normal and orderly development of the surrounding property.

- d. **That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;**

The subject property has operated in the past as a cell tower site and has satisfactorily utilized the existing road system. A paved 8 foot wide bike path exists on the site with access to 163rd Street. The Petitioner will be constructing an additional access road off the existing bike path to gain access to their equipment.

- e. **That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and**

Access to the site is from 163rd Street and then onto an existing 8 foot wide bike path. The petitioner will construct an additional path to the equipment from the bike path. The access will only be from the utility companies needing to do work on the equipment. There should be very little traffic to and from this site.

- f. **That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of**

this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.

The pole exceeds the maximum height limitations and requires a special use review as part of the approval process. The proposed improvement conform to the intent of all other aspects of Village Ordinances.

g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

The addition of additional cell antennas on the tower will improve the coverage for that carrier in the area which may improve the ability for increase business in the area.

The landscape improvements will improve the overall aesthetics of the site which indirectly improves the economic development of the community of Tinley Park.

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

VARIATION STANDARDS

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff will prepare draft responses for the Findings of Fact within the next Staff Report.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.

The property would continue to be used by ComEd for their electric transmission tower.

2. The plight of the owner is due to unique circumstances.

The Petitioner is utilizing an existing 142' tall electric transmission tower to incorporate a riser pole and antenna. ComEd requires that there be a minimum five (5) foot separation from the antenna and their structure which puts the wireless facility structure at 161' total in height.

3. The Variation, if granted, will not alter the essential character of the locality.

The Petitioner is using an existing 142' tall electric transmission tower to camouflage their equipment in. The additional height for the riser pole will alter the essential character of the locality.

4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:

- a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;**
- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;**

- c. **The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;**
- d. **The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;**
- e. **The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and**
- f. **The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.**

RECOMMENDATION/RECOMMENDED MOTION

If the Plan Commission wishes to take action, an appropriate wording of the motion would read:

“...make a motion to grant Site Plan Approval for the proposed property located at 8201 W. 163rd Street.

Additionally, we recommend that the Village Board grant the Applicant, Verizon Wireless and the Village of Tinley Park, adopt Findings of Fact submitted by the Applicant and by Village Staff as amended by the Plan Commission at this meeting.

The Plan Commission recommends the Special Use Permit with the following conditions, which can be satisfied prior to issuance of a Certificate of Occupancy:

1. The proposed 6 foot fence by made of vinyl instead of wood and be a taupe color
2. The facebrick of the structure match the taupe fence around it
3. Outstanding Public Works and Engineering items must be addressed prior to issuance of a building permit; *and*
4. *[...any other conditions as suggested by the Plan Commission.]*

LIST OF REVIEWED PLANS

T-1	Title Sheet	TER	5/11/18
LP	Location Plan	TER	5/11/18
C-1	Enlarged Site Plan	TER	5/11/18
C-2	Site Grading Plan	TER	5/11/18
C-3	Fence Details	TER	5/11/18
C-4	Site Details	TER	5/11/18
C-5	Equipment Enclosure Foundation Plan	TER	5/11/18
ANT-1	Site Elevation	TER	5/11/18
ANT -2	Antenna Information	TER	5/11/18
ANT-3	Site Details	TER	5/11/18
ANT-4	Site Details	TER	5/11/18
B-1	Equipment Enclosure Plan & Section	TER	5/11/18
B-2	Equipment Enclosure Elevation	TER	5/11/18
E-1	Utility Routing Plan	TER	5/11/18
E-1A	Utility Riser Diagrams	TER	5/11/18
E-2	Site Grounding Plan	TER	5/11/18
E-3	Grounding Details	TER	5/11/18
E-4	Grounding Details	TER	5/11/18
E-5	Grounding and Electrical Details	TER	5/11/18
L-1	Landscape Plan	TER	5/11/18
SP-1	Specifications	TER	5/11/18
SP-2	Specifications	TER	5/11/18
P-1	Existing Site Photos	TER	5/11/18
PS-1	Survey 8201 163 RD Street, Tinley Park, IL 60477	TER	5/11/18
	NW Tinley Tower Inventory-Tinley Park Municipal Properties		5/31/2018
	NW Tinley Pre & Post Simulations		
	TER – Terra Consulting Group		

CONSULTANT TEAM

PROJECT CONSULTANT: TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
(847) 698-6400

SURVEYOR: WILLIAMS AND WORKS
549 OTTAWA AVE NW
GRAND RAPIDS, MI 49503
(616) 224-1500

STRUCTURAL: PAUL J FORD AND COMPANY
250 E. BROAD STREET SUITE 1500
COLUMBUS, OH 43215
(614) 221-6679
(614) 448-4105 (FAX)

APPROVALS

REAL ESTATE: _____

RF: _____

CONSTRUCTION: _____

EQUIPMENT ENGINEERING: _____

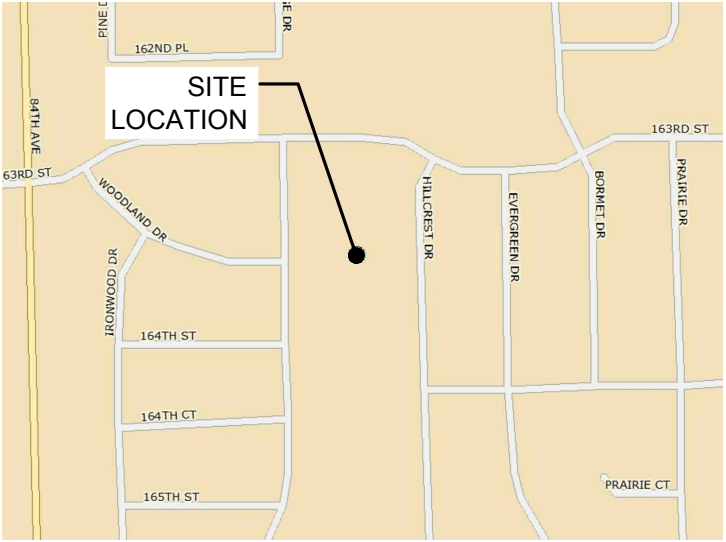
OPERATIONS: _____

PROJECT TYPE

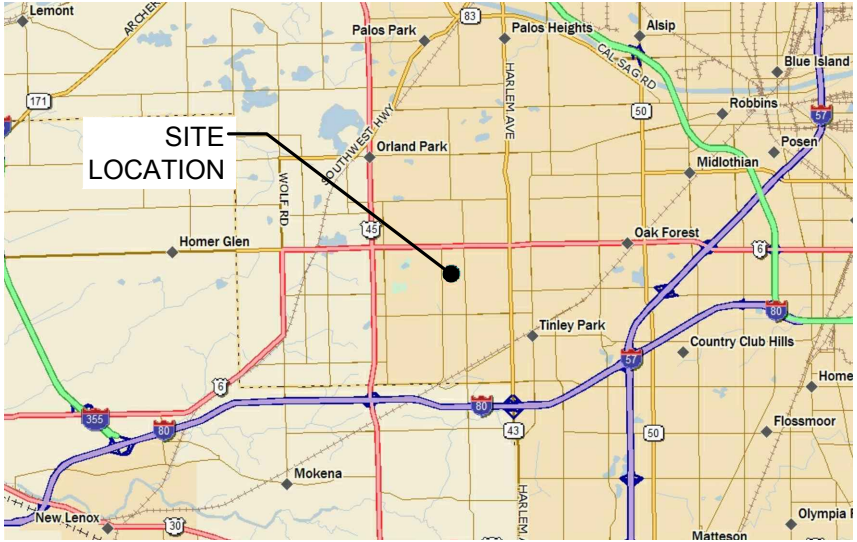
PROPOSED LESSEE ANTENNAS TO BE MOUNTED TO PIPE RISER SUPPORTED BY ELECTRIC TRANSMISSION TOWER WITH PROPOSED 11'-6" x 16'-10-1/2" EQUIPMENT SHELTER AT BASE.

SITE COORDINATES:
LATITUDE: 41° 35' 34.96" N (1A CERTIFICATION)
LONGITUDE: 87° 49' 06.66" W (1A CERTIFICATION)
ELEVATION: ±699' (1A)
DRIVING DIRECTIONS:
FROM LESSEE OFFICE: 1515 Woodfield Road Schaumburg, IL 60173
Get on I-290 E from Woodfield Rd and W Frontage Rd. Head north
Turn right onto Woodfield Rd. Turn right onto W Frontage Rd. Use the left 2 lanes to take the Interstate 290 E ramp to Chicago. Take I-355 S to IL-7 N/W 159th St in Homer Township. Take the 159th St/IL-7 exit from I-355 S. Merge onto I-290 E Keep left at the fork to continue on I-355 S, follow signs for Interstate 355 S/Joliet. Partial toll road. Keep left at the fork to stay on I-355 S. Toll road. Take the 159th St/IL-7 exit. Toll road Drive to US-6/W 159th St in Orland Township. Turn left onto IL-7 N/W 159th St. Partial toll road. Continue straight onto W 159th St. Continue straight onto US-6/W 159th St. Arrive at destination, 8201 159th Street Tinley Park, IL 60477.

VICINITY MAP



REGIONAL MAP




CHICAGO SMSA
limited partnership

CHICAGO SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS
1515 WOODFIELD ROAD, SUITE 1400
SCHAUMBURG, ILLINOIS 60173
PHONE: (847) 619-5397 FAX: (847) 706-7415

LOCATION NUMBER: 420005
SITE NAME: NW TINLEY
8201 163RD ST.
TINLEY PARK, IL 60477

OPERATES 24 HOURS
A DAY 365 DAYS A YEAR



CALL JULIE TOLL FREE
1(800) 892-0123
48 HOURS BEFORE
YOU DIG

PROJECT INFORMATION

P.I.N. #: 27-23-400-008-0000

ADDRESS: 8201 163RD STREET
TINLEY PARK, IL 60477

UTILITIES: POWER: COMED FIBER: ONE FIBER
KATHRYN SUGRUE MARK ZOLTEK
708-235-2337 312-989-2025

JURISDICTION: VILLAGE OF TINLEY PARK

OCCUPANCY: UNINHABITED

ZONING: N/A

CONSTRUCTION TYPE: CO LO

GENERATOR TYPE: N/A

PROPERTY OWNER: COMMONWEALTH EDISON
2 LINCOLN CENTRE
OAKBROOK TERRACE, IL 60181

TOWER OWNER: COMMONWEALTH EDISON
(630) 437-2826

CONTACT PERSON: NEIL F. KAUP (630) 437-2826

APPLICANT: VERIZON WIRELESS PERSONAL COMMUNICATIONS LP
d/b/a VERIZON WIRELESS
1515 WOODFIELD ROAD, SUITE 1400
SCHAUMBURG, IL 60173
(920) 841-1263

CONSTRUCTION MANAGER: DOUG OHLSON (847) 706-7668

REAL ESTATE MANAGER: OCTAVIO HERRERA (847) 619-4142

SHEET

DRAWING INDEX

REVISION

T-1
LP
C-1
C-2
C-3
C-4
C-5
ANT-1
ANT-2
ANT-3
ANT-3A
ANT-4
B-1
B-2
E-1
E-1A
E-2
E-3
E-4
E-5
L-1
SP-1
SP-2
P-1

TITLE SHEET
LOCATION PLAN
ENGINEERING SITE PLAN
SITE GRADING PLAN (SHEET 1 OF 1)
FENCE DETAILS
SITE DETAILS
EQUIPMENT ENCLOSURE FOUNDATION PLAN
SITE ELEVATION & ANTENNA LAYOUT
ANTENNA INFORMATION
SITE DETAILS
ANTENNA MOUNTING DETAILS
SITE DETAILS
EQUIPMENT ENCLOSURE PLAN & SECTION
EQUIPMENT ENCLOSURE ELEVATIONS
UTILITY ROUTING PLAN
UTILITY RISER DIAGRAMS
SITE GROUNDING PLAN
GROUNDING DETAILS
GROUNDING DETAILS
GROUNDING & ELECTRICAL DETAILS
LANDSCAPING PLAN
SPECIFICATIONS
SPECIFICATIONS
EXISTING SITE PHOTOS

1,6,7,9
6,9
3,6,8,9
9
-
7
1,9
1,2,9
4
-
-
-
1,9
1,9
1,6,9
9
1
1
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9
7
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-
-

FULL SCALE PRINT IS ON 22"x34" MEDIA

PS-1

SITE SURVEY

-

REVISIONS

NO.	DESCRIPTION	DATE	BY
3	ISSUED FOR FINAL PENDING FIBER	12/21/17	JTM
4	UPDATE WITH NEW ECR	05/05/18	TJS
5	ADDITION OF ANTENNA MOUNT MOD DESIGN	02/26/18	JTM
6	ISSUED FOR FINAL WITH FIBER	03/02/18	RA
7	UPDATE ADDRESS	04/11/18	JTM
8	UPDATE PER VILLAGE COMMENTS	05/02/18	JTM
9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18	TJS

LOC. # 420005
NW TINLEY
8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY: DMS

CHECKED BY: TAZ

DATE: 04/12/17

PROJECT #: 33-2357

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

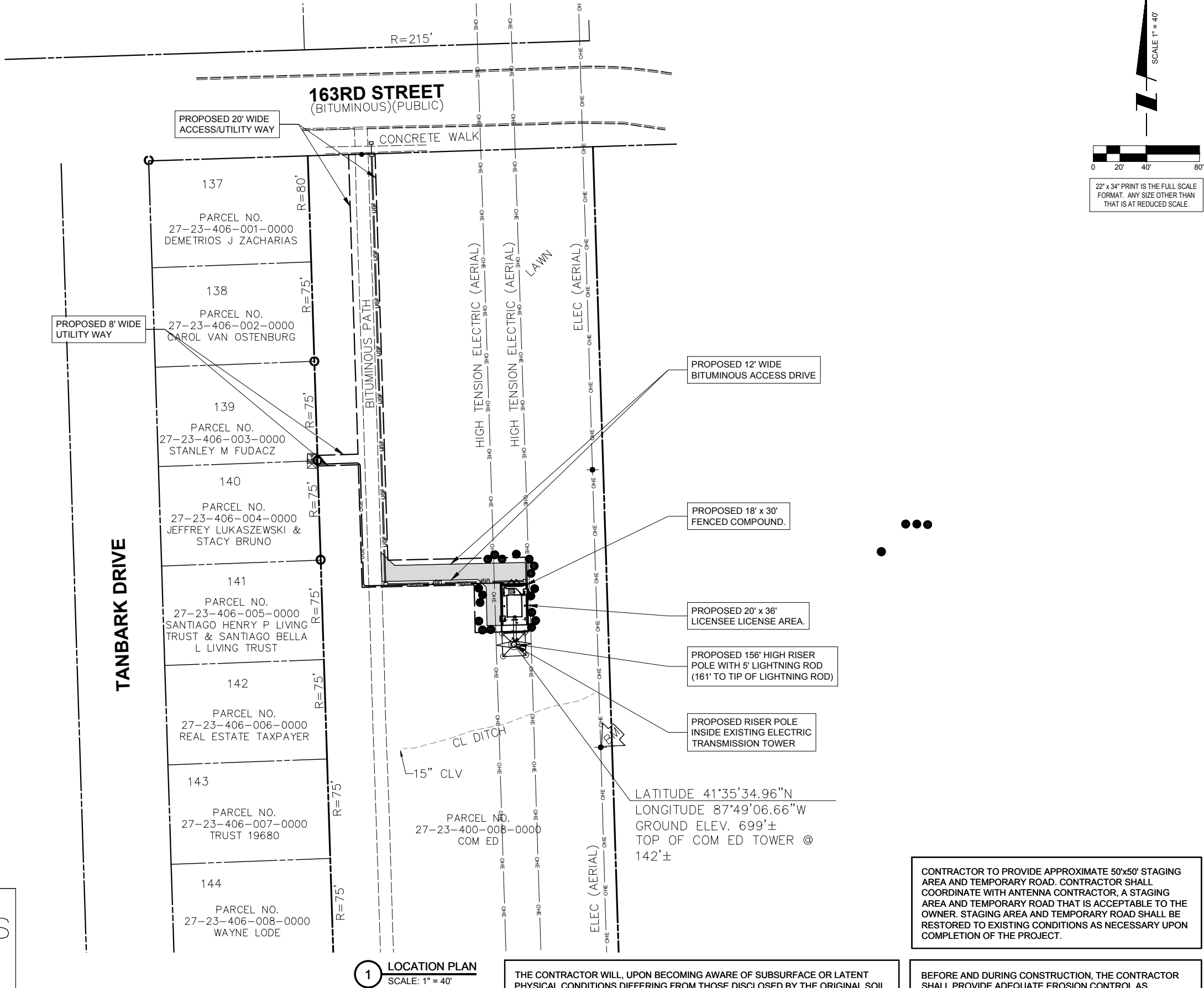
NOTE:
GC TO CLEAN AND MAINTAIN BIKE
PATH DURING CONSTRUCTION.



Williams & Works
engineers . planners . surveyors a tradition of service

616.224.1500 phone . 616.224.1501 facsimile
549 Ottawa Ave NW . Grand Rapids, MI 49503

SITE BENCHMARK: ELEVATION: 701.89
RAILROAD SPIKE ON THE NORTHWEST SIDE OF POWER POLE
470' SOUTH OF SOUTH SIDE OF 163RD ST AND 162' EAST OF
EAST SIDE OF BITUMINOUS PATH



22" x 34" PRINT IS THE FULL SCALE
FORMAT. ANY SIZE OTHER THAN
THAT IS AT REDUCED SCALE.

CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT.
CONTRACTOR SHALL PHOTOGRAPH AND VIDEOTAPE EXISTING PAVEMENT PRIOR
TO CONSTRUCTION. ANY DAMAGE CAUSED DURING CONSTRUCTION SHALL BE
REPLACED TO EXISTING OR BETTER CONDITION AT NO ADDITIONAL COST.

THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT
PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL
INVESTIGATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY AND IN WRITING,
AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR
FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLANS AND
SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS
THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING, AS
REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

CONTRACTOR TO PROVIDE APPROXIMATE 50'x50' STAGING
AREA AND TEMPORARY ROAD. CONTRACTOR SHALL
COORDINATE WITH ANTENNA CONTRACTOR, A STAGING
AREA AND TEMPORARY ROAD THAT IS ACCEPTABLE TO THE
OWNER. STAGING AREA AND TEMPORARY ROAD SHALL BE
RESTORED TO EXISTING CONDITIONS AS NECESSARY UPON
COMPLETION OF THE PROJECT.

BEFORE AND DURING CONSTRUCTION, THE CONTRACTOR
SHALL PROVIDE ADEQUATE EROSION CONTROL AS
NECESSARY IN THE FORM OF SILT FENCES FOR THE SITE
AND BALES AROUND ANY EXISTING MANHOLES, INLETS, OR
CATCHBASINS SUSCEPTIBLE TO EROSION. EROSION
CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED
TO ENSURE PROPER FUNCTION. EROSION CONTROL SHALL
BE REMOVED UPON COMPLETION OF WORK.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS



REVISIONS

NO.	DESCRIPTION	DATE	BY
3	ISSUED FOR FINAL PENDING FIBER	12/21/17	JTM
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9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18	TJS

LOC. # 420005
NW TINLEY

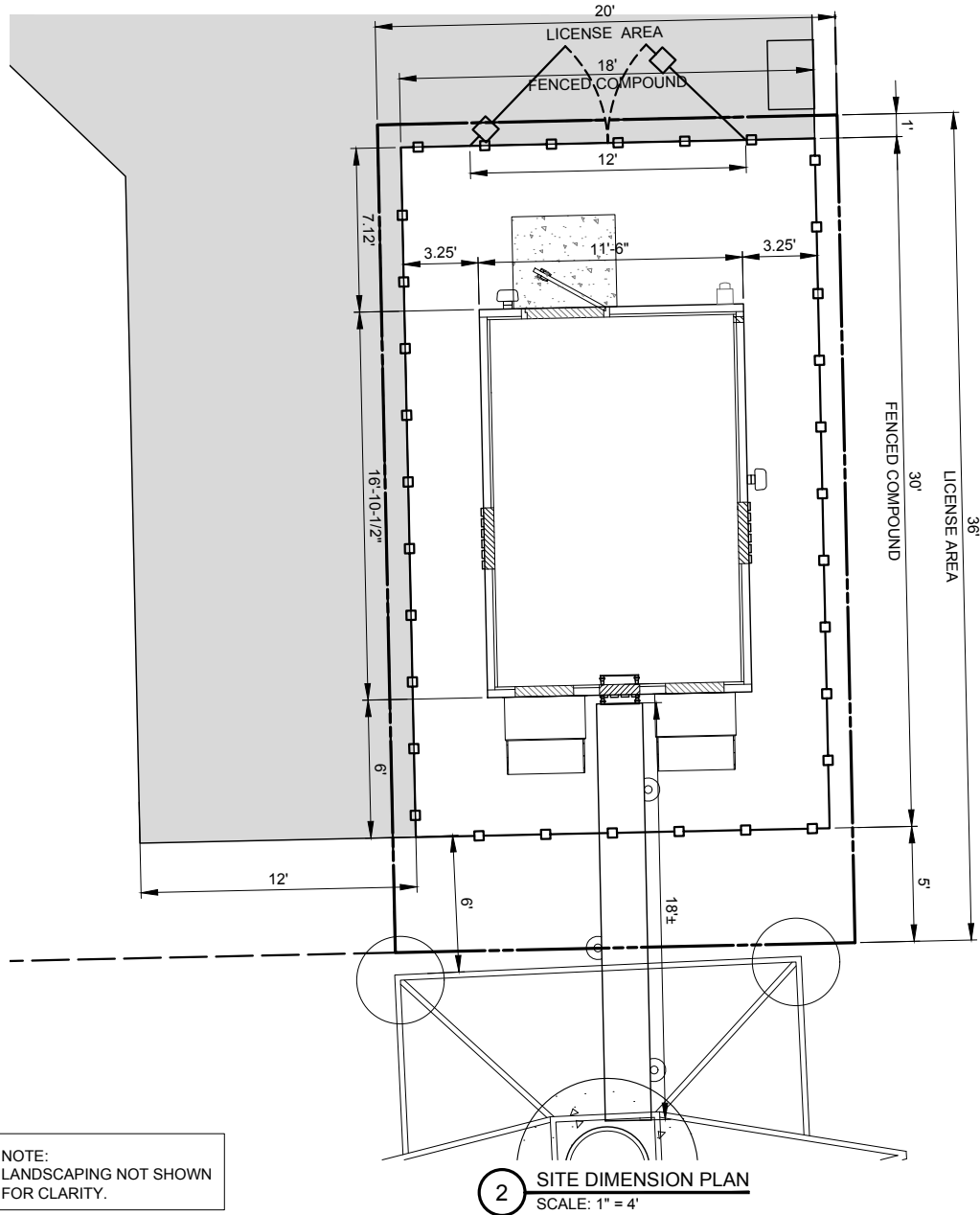
8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
LOCATION PLAN

SHEET NUMBER

LP



PAVEMENT MATERIAL

ACCESS ROAD (HATCHED)

202 S.Y.
1-1/2" HMA SURFACE COURSE, 3" ASPHALT COURSE,
0.30 GAL/SY. BITUMINOUS PRIME COAT (MC-30),
6" AGGREGATE BASE COURSE, 3/4" CRUSHED STONE WITH
FINES, COMPACTED SUBGRADE

LEASE SITE

60 S.Y.
8" COMPACTED AGGREGATE BASE COURSE, WITH 3/4" CRUSHED
AGGREGATE, NO FINES. OR APPROVED EQUAL. MIRAFI 500X
SUBGRADE GEOTEXTILE FABRIC OR APPROVED EQUAL
84 L.F. OF FENCING

THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, THE COST
OF REMOVAL OF ANY SURFACE VEGETATION AND ORGANIC SOILS OR
OTHER DELETERIOUS MATERIALS AND THE REPLACEMENT WITH
ENGINEERED BACKFILL FOR THE AGGREGATE ACCESS DRIVE AND
LEASE SITE, IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE
GEOTECHNICAL REPORT.

Williams & Works
engineers . planners . surveyors a tradition of service

616.224.1500 phone . 616.224.1501 facsimile
549 Ottawa Ave NW . Grand Rapids, MI 49503

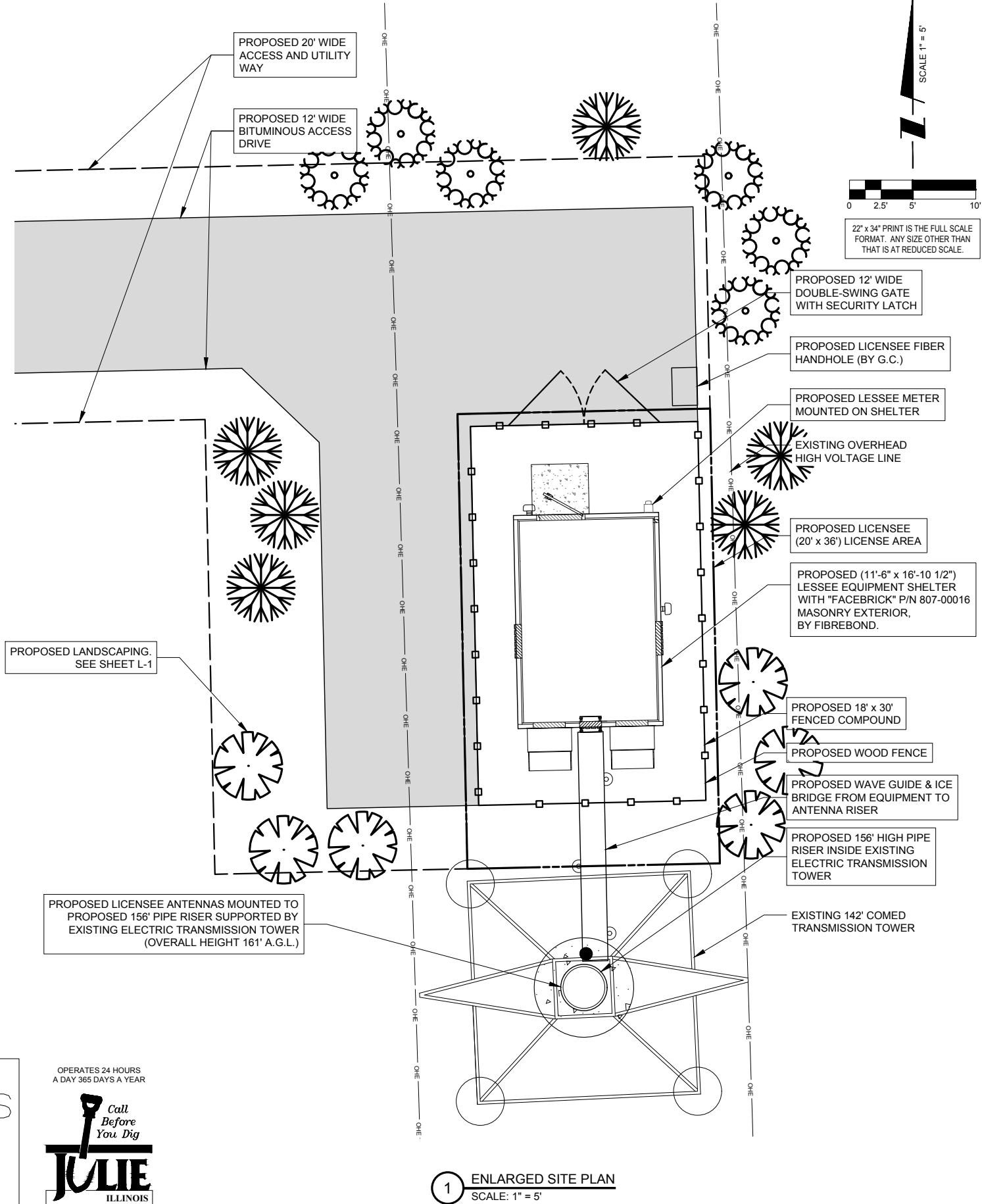
SITE BENCHMARK: ELEVATION: 701.89
RAILROAD SPIKE ON THE NORTHWEST SIDE OF POWER POLE
470' SOUTH OF SOUTH SIDE OF 163RD ST AND 162' EAST OF
EAST SIDE OF BITUMINOUS PATH

OPERATES 24 HOURS
A DAY 365 DAYS A YEAR

Call
Before
You Dig

JULIE
ILLINOIS
ONE CALL SYSTEM

CALL JULIE TOLL FREE
1(800) 892-0123
48 HOURS BEFORE
YOU DIG



CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-898-6400
FAX: 847-898-6401

REVISIONS			
NO.	DESCRIPTION	BY	DATE
3	ISSUED FOR FINAL PENDING FIBER	JTM	12/21/17
4	UPDATE WITH NEW ECR	TJS	05/05/18
5	ADDITION OF ANTENNA HOUNT MOD DESIGN	JTM	02/26/18
6	ISSUED FOR FINAL WITH FIBER	RA	03/02/18
7	UPDATE ADDRESS	JTM	04/11/18
8	UPDATE PER VILLAGE COMMENTS	JTM	05/02/18
9	UPDATE WITH SHELTER & VILLAGE COMMENTS	TJS	05/11/18

LOC. # 420005

NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY: DMS

CHECKED BY: TAZ

DATE: 04/12/17

PROJECT #: 33-2357

SHEET TITLE
ENLARGED
SITE PLAN

SHEET NUMBER
C-1

OPERATES 24 HOURS
A DAY 365 DAYS A YEAR

**Call
Before
You Dig**

JULIE
ILLINOIS
ONE CALL SYSTEM

CALL JULIE TOLL FREE
1(800) 892-0123
48 HOURS BEFORE
YOU DIG

LEGEND

**PROPOSED GROUND DRAINAGE
FLOW DIRECTION ARROWS**

← DRAINAGE DIRECTION ARROW
0.00% GROUND SLOPE% WITH DIRECTION
↔ SUMMIT DRAINAGE DIRECTIONS
← EXISTING GROUND DRAINAGE FLOW DIRECTION

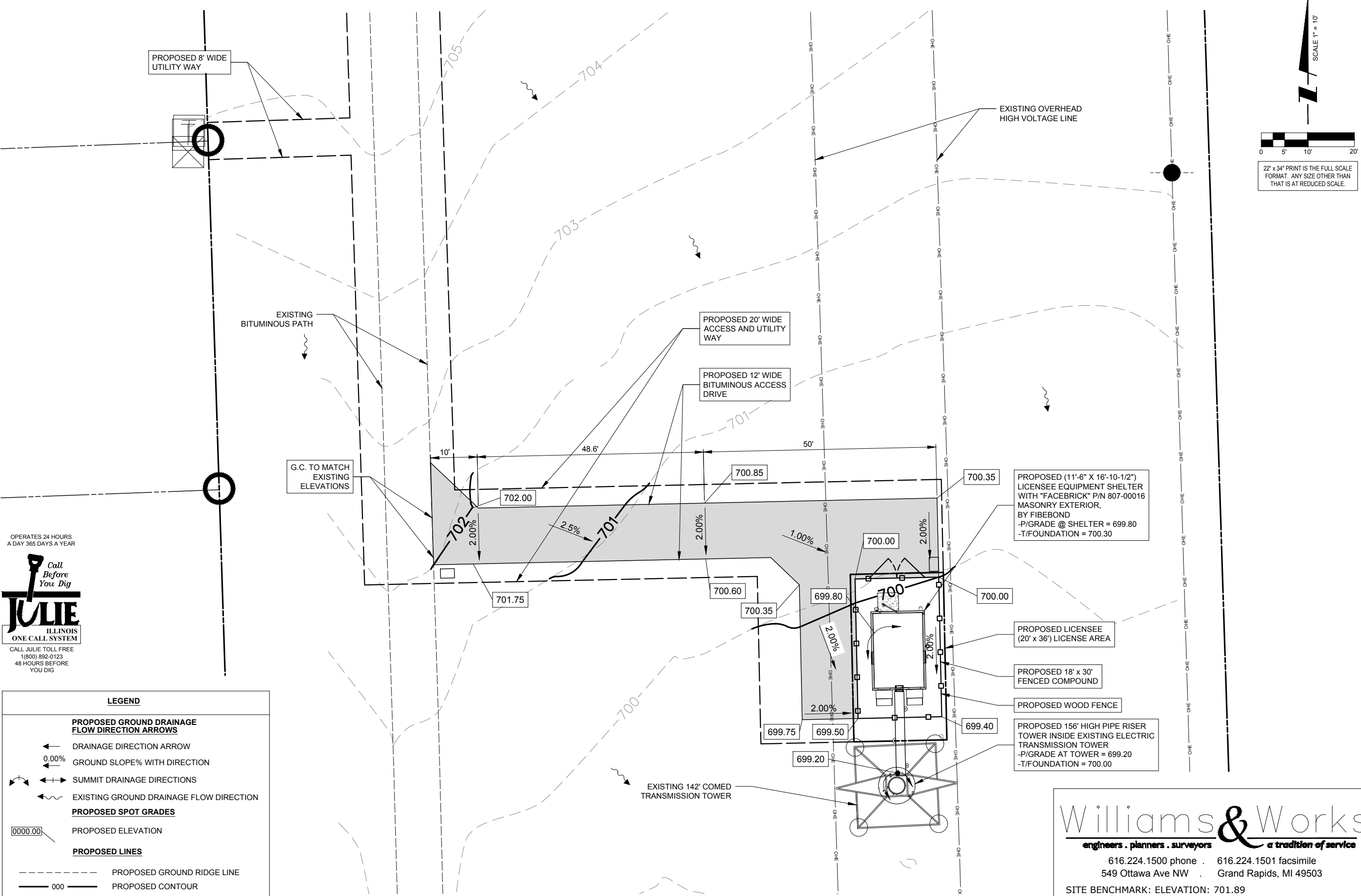
PROPOSED SPOT GRADES

0000.00 PROPOSED ELEVATION

PROPOSED LINES

----- PROPOSED GROUND RIDGE LINE
000 PROPOSED CONTOUR
----- 000 EXISTING CONTOUR

PROPOSED CULVERT & END SECTIONS



SCALE 1" = 10'

22' x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

1 SITE GRADING PLAN
SCALE: 1" = 10'

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549 Ottawa Ave NW . Grand Rapids, MI 49503

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470' SOUTH OF SOUTH SIDE OF 163RD ST AND 162' EAST OF
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PH: 847-898-6400
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REVISIONS		
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LOC. # 420005

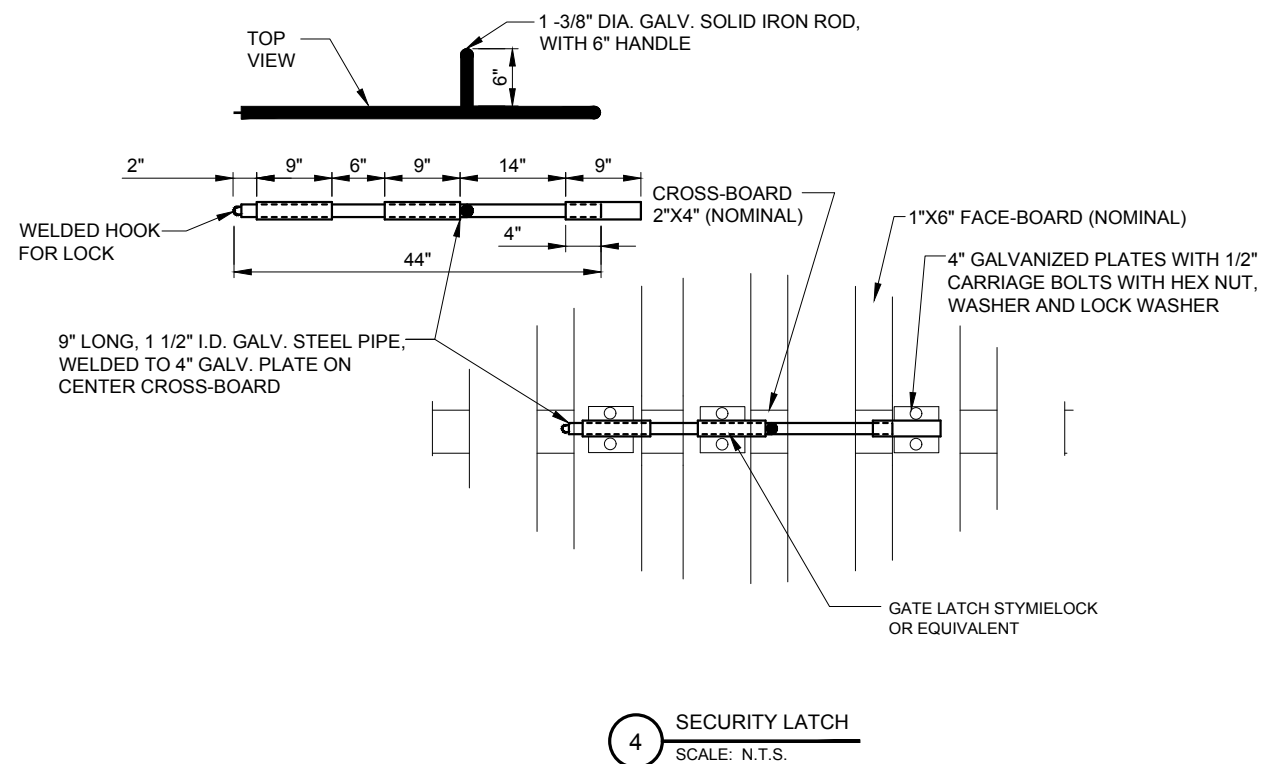
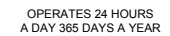
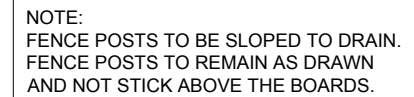
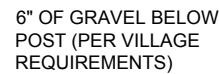
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

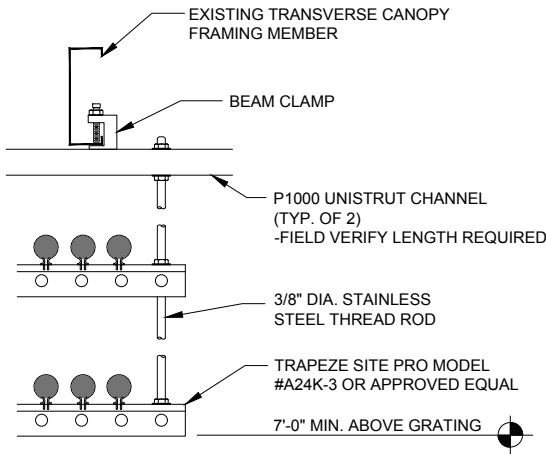
SHEET TITLE
SITE GRADING PLAN (SHEET 1 OF 1)

SHEET NUMBER
C-2

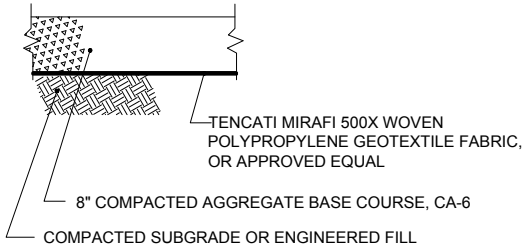


REVISIONS				
NO.	DESCRIPTION	DATE	BY	
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9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18	TJS	

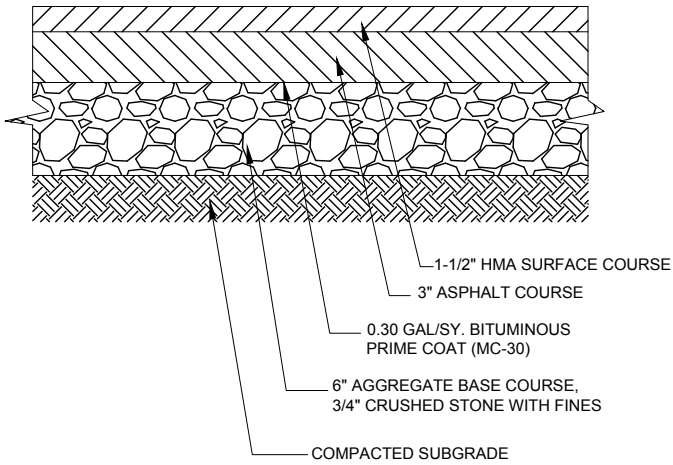
C-3



1 COAX TRAPEZE DETAIL (AT PLATFORM)
N.T.S.



2 AGGREGATE CROSS-SECTION
ACCESS ROAD N.T.S.



3 BITUMINOUS ROAD SECTION
N.T.S.

REVISIONS			BY	DATE
NO.	DESCRIPTION			
3	ISSUED FOR FINAL PENDING FIBER		JTM	12/21/17
4	UPDATE WITH NEW ECR		TJS	05/05/18
5	ADDITION OF ANTENNA HOUNT MOD DESIGN		JTM	02/26/18
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9	UPDATE WITH SHELTER & VILLAGE COMMENTS		TJS	05/11/18

LOC. # 420005
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY: DMS

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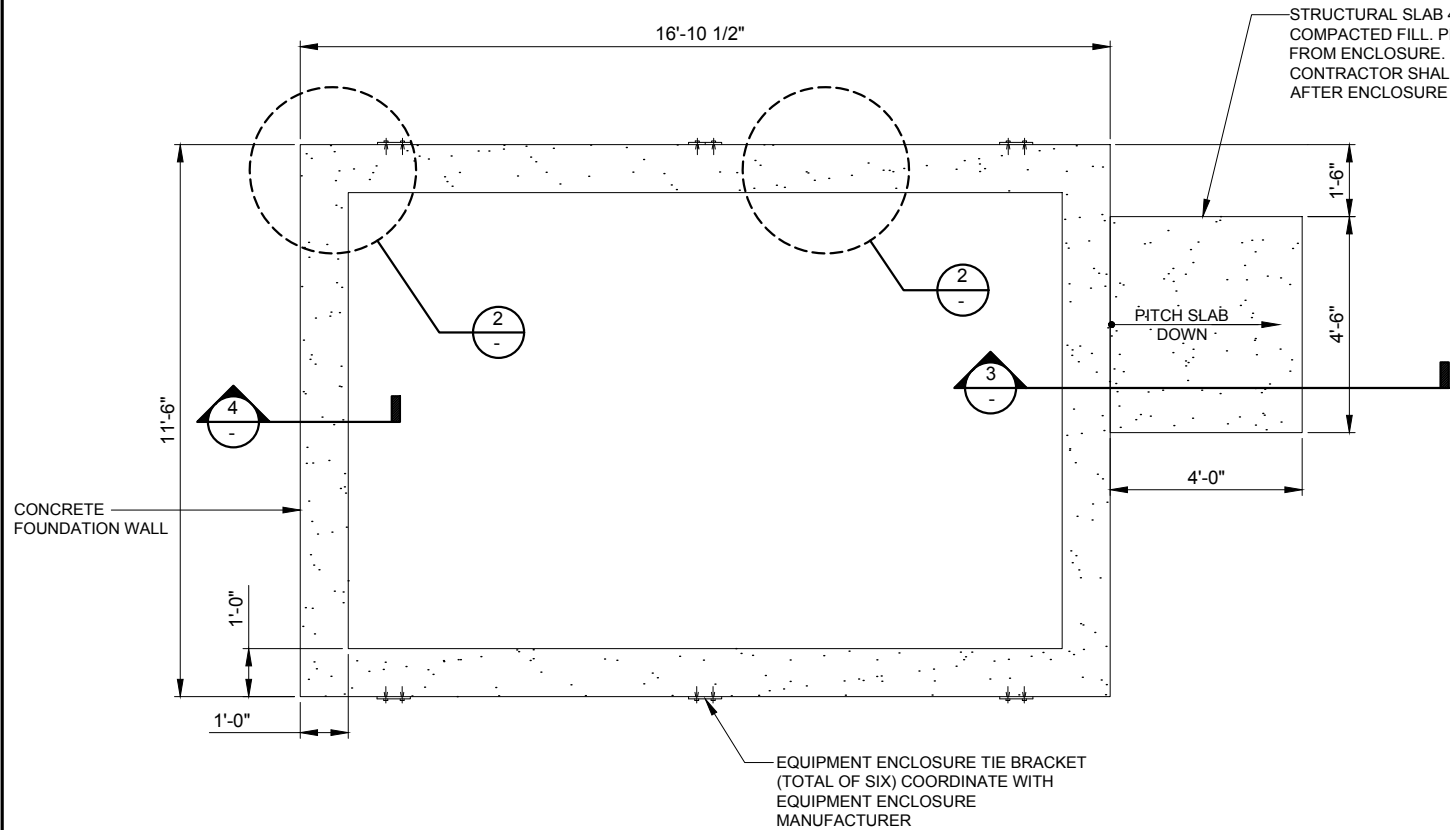
DATE: 04/12/17

PROJECT #: 33-2357

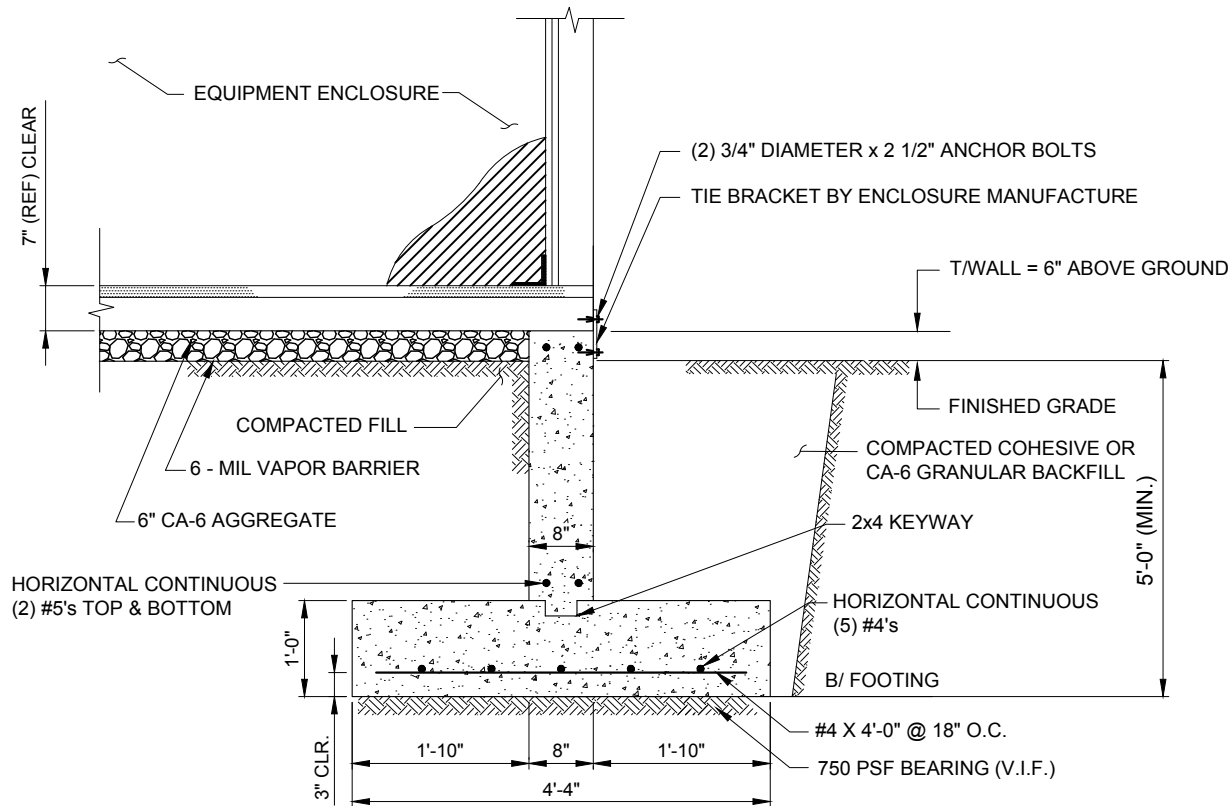
SHEET TITLE
SITE DETAILS

SHEET NUMBER

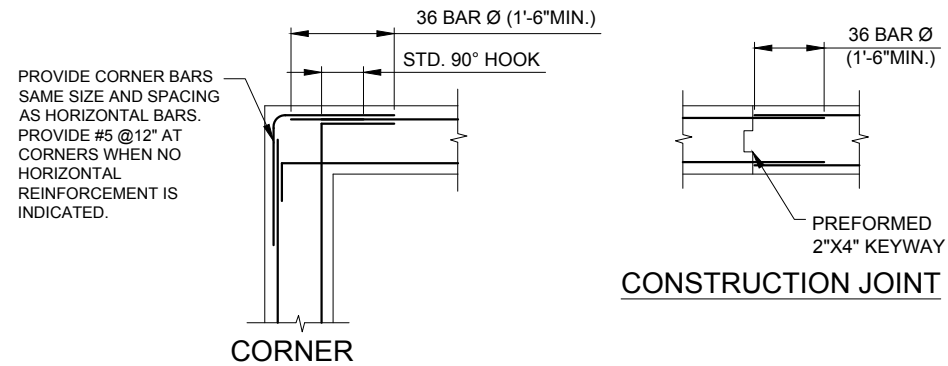
C-4



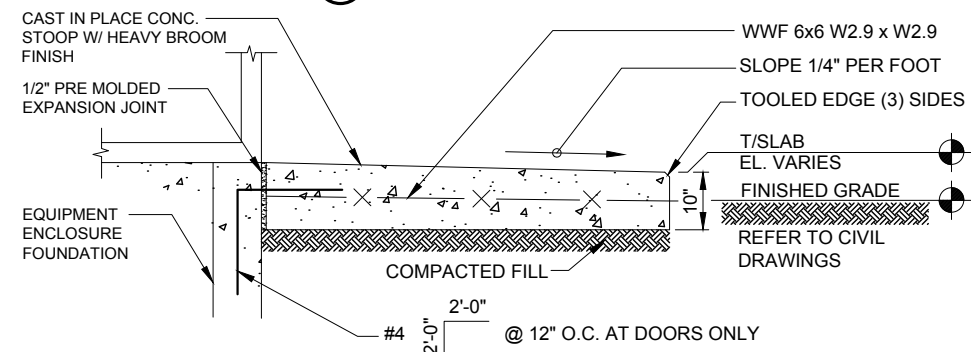
1 EQUIPMENT ENCLOSURE FOUNDATION PLAN
N.T.S.



4 FOUNDATION WALL SECTION
N.T.S.



2 CONCRETE WALL REINFORCEMENT DETAILS
N.T.S.



3 STOOP DETAIL
N.T.S.

A. EQUIPMENT ENCLOSURE FOUNDATION

- REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
- EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:
ENCLOSURE DEAD LOAD: 70,000 LBS.
ROOF LIVE LOAD: 30 PSF
FLOOR LIVE LOAD: 125 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF.
- SUBGRADE PREPARATION:
 - REMOVE ALL SOILS CONTAINING TOPSOIL: ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.
 - PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE. (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOFROLLING AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.
 - BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION. BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.6 AND 4.5.7.

B. EQUIPMENT ENCLOSURE

THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FIBREBOND, MINDEN, LOUISIANA.
THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

C. CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF $f'_c=4000$ PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

NOTE:
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE BID BEFORE CONSTRUCTION. THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS



NO.	DESCRIPTION	DATE	BY	JTM	TJS	JTM	RA	JTM	JTM	TJS
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8	UPDATE PER VILLAGE COMMENTS	05/02/18								
9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18								

LOC. # 420005
NW TINLEY

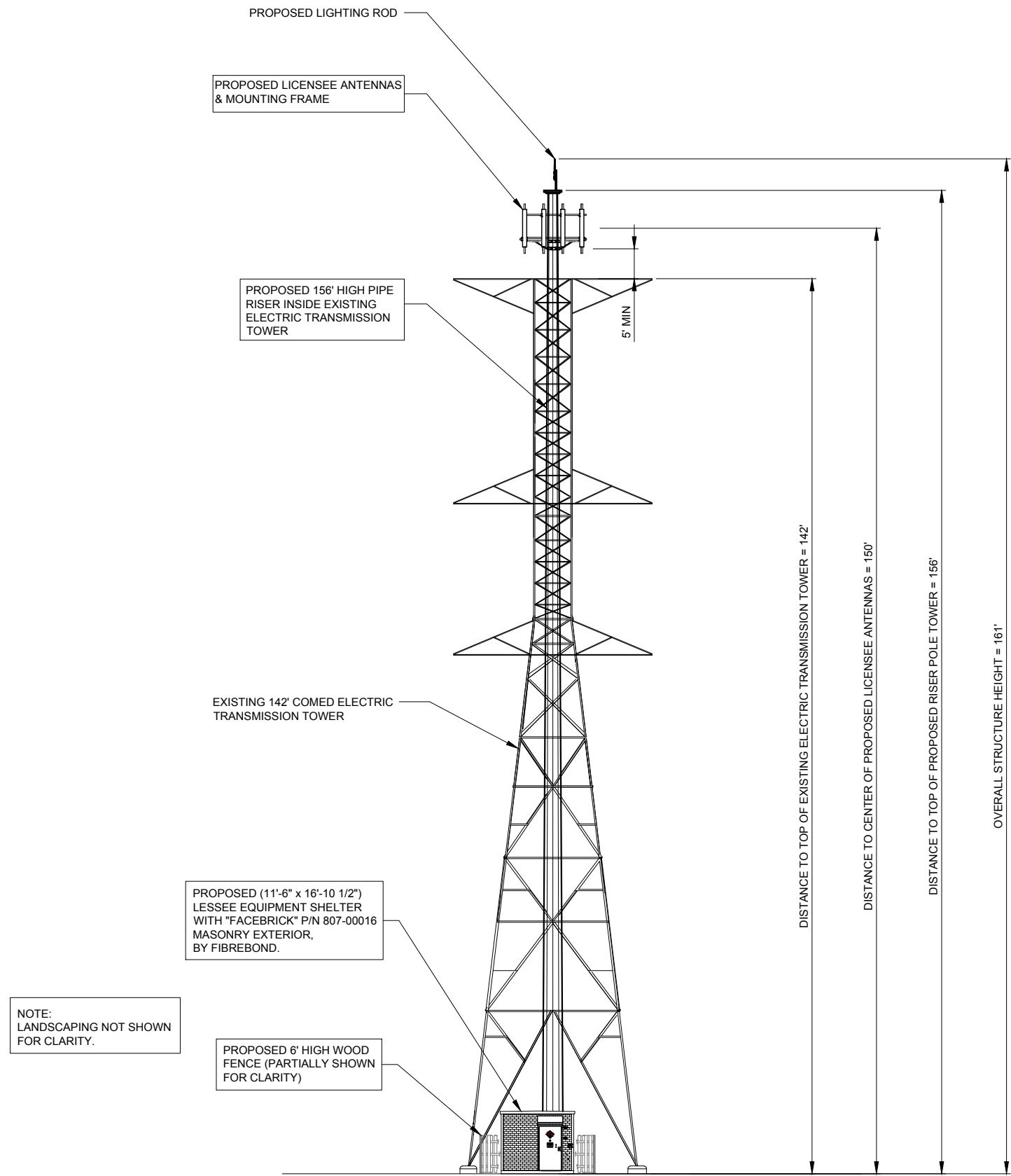
8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
EQUIPMENT
ENCLOSURE
FOUNDATION PLAN

SHEET NUMBER

C-5



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS



REVISIONS			DATE	BY
NO.	DESCRIPTION			
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LOC. # 420005
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
SITE ELEVATION

SHEET NUMBER
ANT-1

RF EMISSIONS REPORT REQUIRED

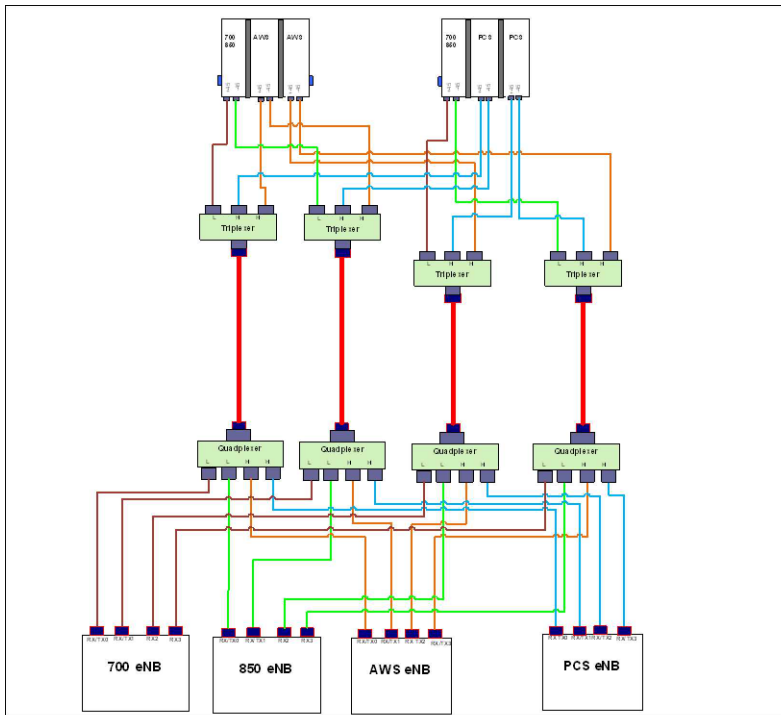
☐ YES ☒ NO

DATE OF REPORT: _____

SECTOR	HYBRID LENGTH				
	AT GROUND		AT STRUCTURE		
	HOR (±)	VER (±)	HOR (±)	RAYCAP CL (±)	TOTAL (±)
MAIN	19	8	8	150	185

EQUIPMENT CHANGE REQUEST FORM- ECR											
Cell Name		NW TINLEY		RF Engineer		Jeremy Litz		Cell ID		9010	
Location Number				Market		HH		Address		8201 159th Street	
Date of Request		1/31/2018						City/State/Zip		Tinley Park, IL 60477	
PROPOSED CONFIGURATION											
Option-A2											
Sector	Pos	Port	RF Path	Antenna Manufacturer	Antenna Model	Antenna Serial Number	Centerline	Azimuth	Variable Tilt	Mechanical Tilt	Action
Alpha	A1	L1 (+45)	LTE C - Rxtx0/L850 Rx/Tx0	Andrew	NHH-658-R28		150	40	4	0	Add- Install
		L2 (-45)	LTE C - Rxtx1/L850 Rx/Tx1						1		
		H1 (+45)	AWS - Rxtx0								
		H2 (-45)	AWS - Rxtx1								
		H3 (+45)	AWS - Rxtx2								
		H4 (-45)	AWS - Rxtx3								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
	A2	H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
	A3	H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
	A4	L1 (+45)	LTE C - Rxtx2/L850 Rx/Tx2	Andrew	NHH-658-R28		150	40	4	0	Add- Install
		L2 (-45)	LTE C - Rxtx3/L850 Rx/Tx3						2		
		H1 (+45)	UPCS - Rxtx0								
		H2 (-45)	UPCS - Rxtx1								
		L1 (+45)	UPCS - Rxtx2								
		L2 (-45)	UPCS - Rxtx3								
		L1 (+45)	LTE C - Rxtx0/L850 Rx/Tx0	Andrew	NHH-658-R28		150	120	4	0	Add- Install
		L2 (-45)	LTE C - Rxtx1/L850 Rx/Tx1						1		
Beta	B1	H1 (+45)	AWS - Rxtx0								
		H2 (-45)	AWS - Rxtx1								
		H3 (+45)	AWS - Rxtx2								
		H4 (-45)	AWS - Rxtx3								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
	B2	H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
	B3	L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
		L1 (+45)	LTE C - Rxtx2/L850 Rx/Tx2						4		
		L2 (-45)	LTE C - Rxtx3/L850 Rx/Tx3						2		
Gamma	G1	H1 (+45)	UPCS - Rxtx0	Andrew	NHH-658-R28		150	270	2	0	Add- Install
		H2 (-45)	UPCS - Rxtx1								
		L1 (+45)	UPCS - Rxtx2								
		L2 (-45)	UPCS - Rxtx3								
		L1 (+45)	LTE C - Rxtx0/L850 Rx/Tx0						4		
		L2 (-45)	LTE C - Rxtx1/L850 Rx/Tx1						1		
		H1 (+45)	AWS - Rxtx0								
		H2 (-45)	AWS - Rxtx1								
	G2	H3 (+45)	AWS - Rxtx2								
		H4 (-45)	AWS - Rxtx3								
		L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
	G3	L1 (+45)	Unused at this time								
		L2 (-45)	Unused at this time								
		H1 (+45)	Unused at this time								
		H2 (-45)	Unused at this time								
		H3 (+45)	Unused at this time								
		H4 (-45)	Unused at this time								
		L1 (+45)	LTE C - Rxtx2/L850 Rx/Tx2						4		
		L2 (-45)	LTE C - Rxtx3/L850 Rx/Tx3						2		
	G4	H1 (+45)	UPCS - Rxtx0	Andrew	NHH-658-R28		150	270	2	0	Add- Install
		H2 (-45)	UPCS - Rxtx1								
		L1 (+45)	UPCS - Rxtx2								
		L2 (-45)	UPCS - Rxtx3								
Comments											

PPC CONNECTORS ONLY

1 PROPOSED ANTENNA CONFIGURATION
N.T.S.2 COMBINER CABLE DATA INFORMATION
N.T.S.3 CABLE DIAGRAM
N.T.S.**CHICAGO SMSA**
limited partnership
d/b/a VERIZON WIRELESS

NO.	DESCRIPTION	DATE	BY	JTM	TJS	JTM	RA	JTM	JTM	TJS
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LOC. # 420005

NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY: DMS

CHECKED BY: TAZ

DATE: 04/12/17

PROJECT #: 33-2357

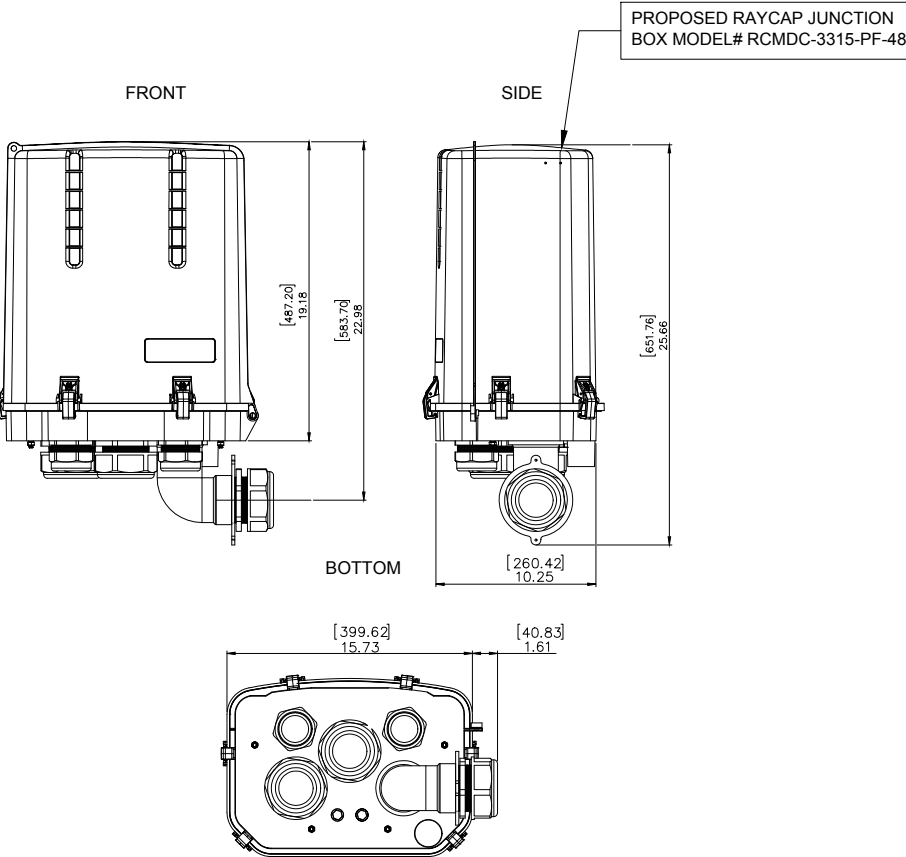
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ANTENNA INFORMATION

SHEET NUMBER

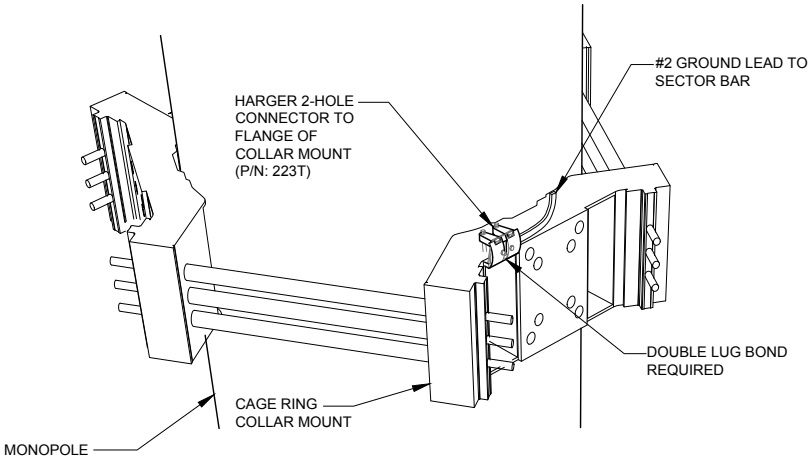
ANT-2

SPECIFICATIONS	DC SURGE PROTECTION FOR RRU/INTEGRATED ANTENNA RADIO HEAD	[mm]
APPLICATION:	TOWER / BASE / ROOFTOP / ROOFTOP DISTRIBUTION MODELS	INCHES
WEIGHT:	32LBS (14.51 KG)	

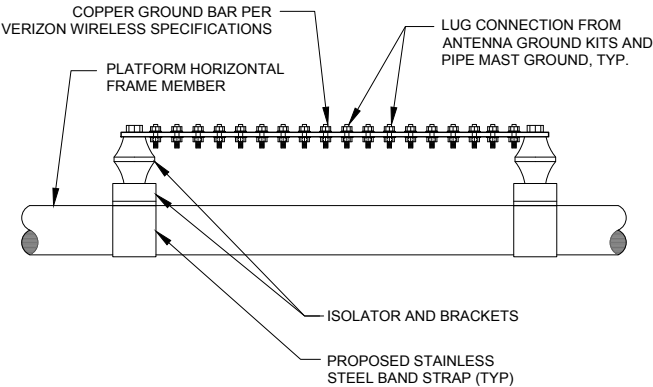


1 RAYCAP JUNCTION BOX DETAIL
SCALE: N.T.S.

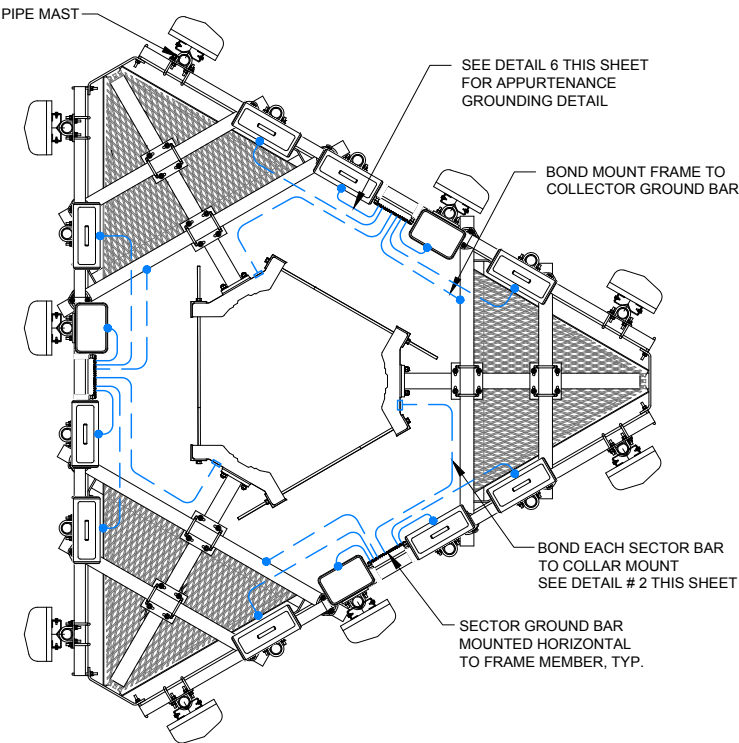
NOTE: EACH SECTOR BAR TO HAVE TO HAVE
SEPARATE GROUND LEAD TO COLLAR MOUNT



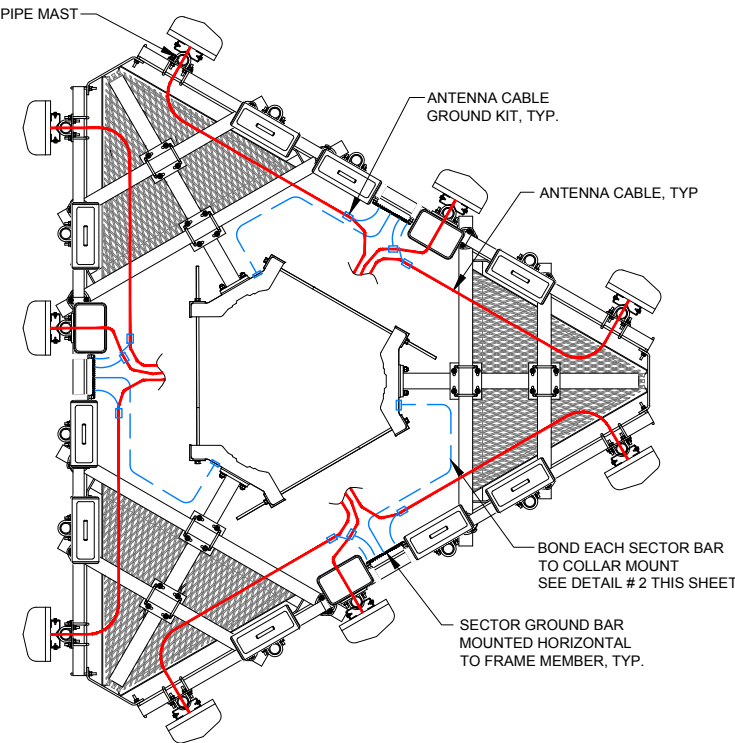
2 MONOPOLE GROUND AT ANTENNA LEVEL
SCALE: N.T.S.



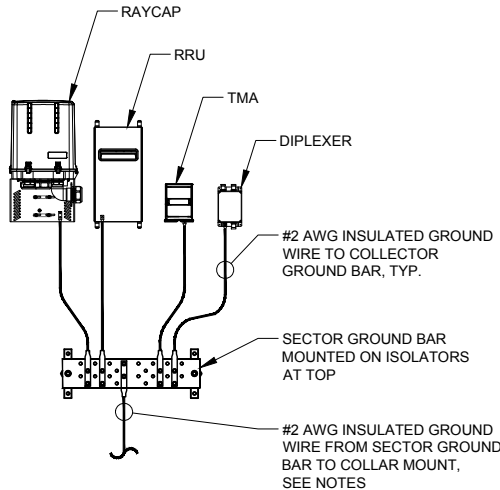
3 GROUND BAR AT SECTOR
N.T.S.



4 EQUIPMENT GROUNDING AT ANTENNA ELEVATION
N.T.S.



5 ANTENNA CABLE GROUNDING AT ANTENNA ELEVATION
N.T.S.



THIS DETAIL IS CONCEPTUAL TO
DEMONSTRATE GROUNDING AT THE
ANTENNA LEVEL. VERIFY EQUIPMENT,
MOUNTING FRAME, AND AZIMUTH WITH
ANT-1 SHEET & ECR.

6 TYPICAL APPURTENANCE
GROUNDING AT ANTENNA LEVEL
N.T.S.

APPROVED UL LISTED GROUND CLAMPS

APPLICATION	UL LISTED HARGER PART #
METAL FLANGE	213, 213T, 213TTP
PIPE MEMBER	CPC SERIES (SIZED TO FIT DIAMETER OF PIPE)
LARGER PIPE MEMBER	UPC SERIES (UNIVERSAL PIPE CLAMP) SIZED TO FIT DIAMETER OF PIPE
TO COLLAR MOUNT	233T

NOTES:

1. THE BOND BETWEEN THE SECTOR BAR AND THE TOWER IS TO BE MECHANICALLY BONDED TO COLLAR MOUNT. THE MECHANICAL BOND IS TO BE A UL APPROVED MECHANICAL CONNECTION CLAMP.
2. GROUND CONNECTIONS MUST BE DOUBLE HOLE CONNECTION. SPECIAL EXCEPTION ONLY TO EQUIPMENT THAT WILL NOT ALLOW FOR A DOUBLE HOLE CONNECTION.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE	DESCRIPTION
NO.	3	JTM	12/21/17	ISSUED FOR FINAL PENDING FIBER
4		TJS	05/05/18	UPDATE WITH NEW ECR
5		JTM	02/26/18	ADDITION OF ANTENNA MOUNT MOD DESIGN
6		RA	03/02/18	ISSUED FOR FINAL WITH FIBER
7		JTM	04/11/18	UPDATE ADDRESS
8		JTM	05/02/18	UPDATE PER VILLAGE COMMENTS
9		TJS	05/11/18	UPDATE WITH SHELTER & VILLAGE COMMENTS

LOC. # 420005
NW TINLEY

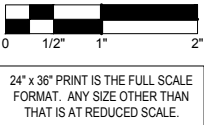
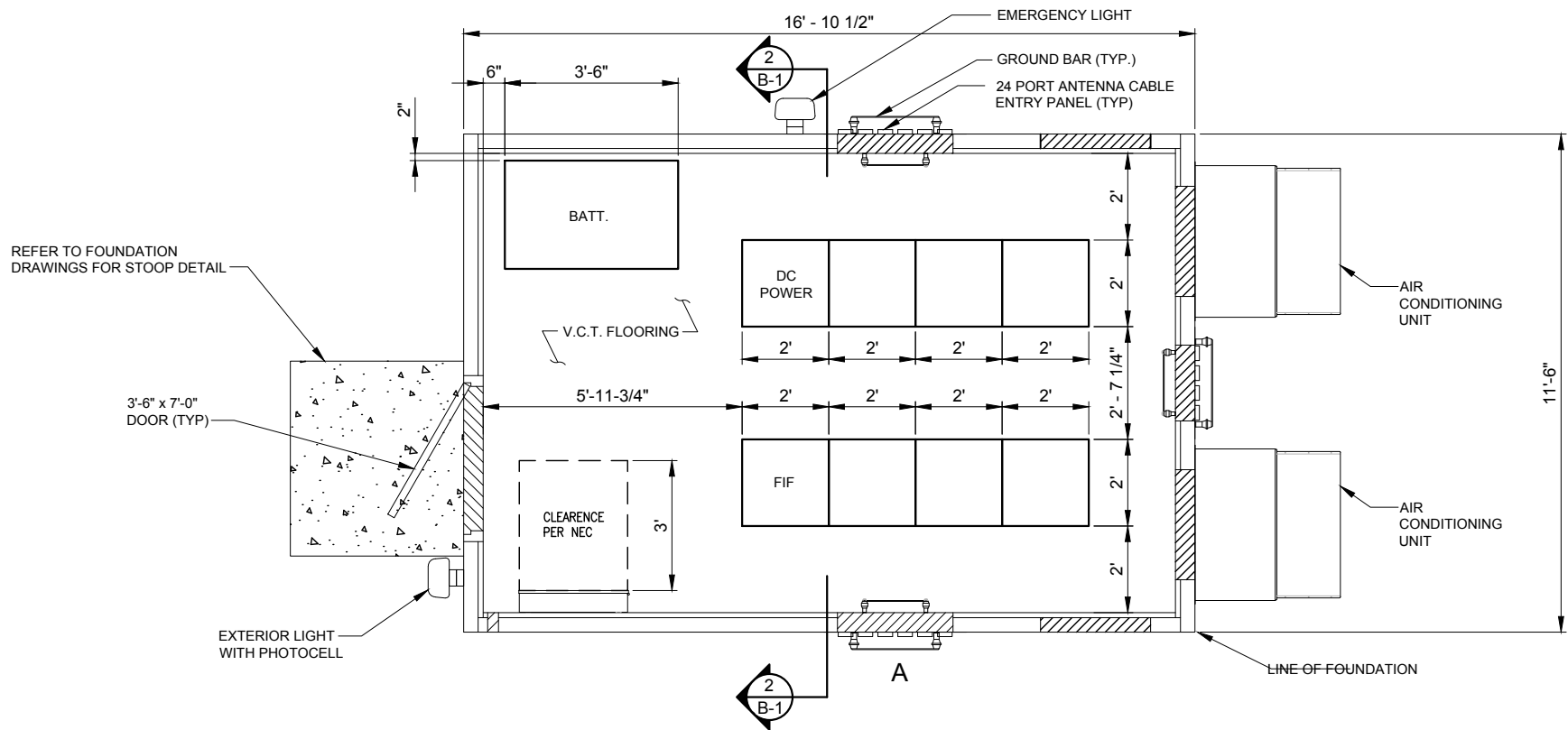
8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
SITE
DETAILS

SHEET NUMBER

ANT-3



NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE FOR
INSTALLING ALL EXTERIOR ATTACHMENTS FOR
GENERATOR (HOODS, MUFFLER, VENT, FILL, ETC.)

NOTE:
PROPOSED SHELTER WITH "FACEBRICK"
P/N 807-00016 MASONRY EXTERIOR,
BY FIBREBOND.

1 FLOOR PLAN-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"

VENTILATION NOTES:

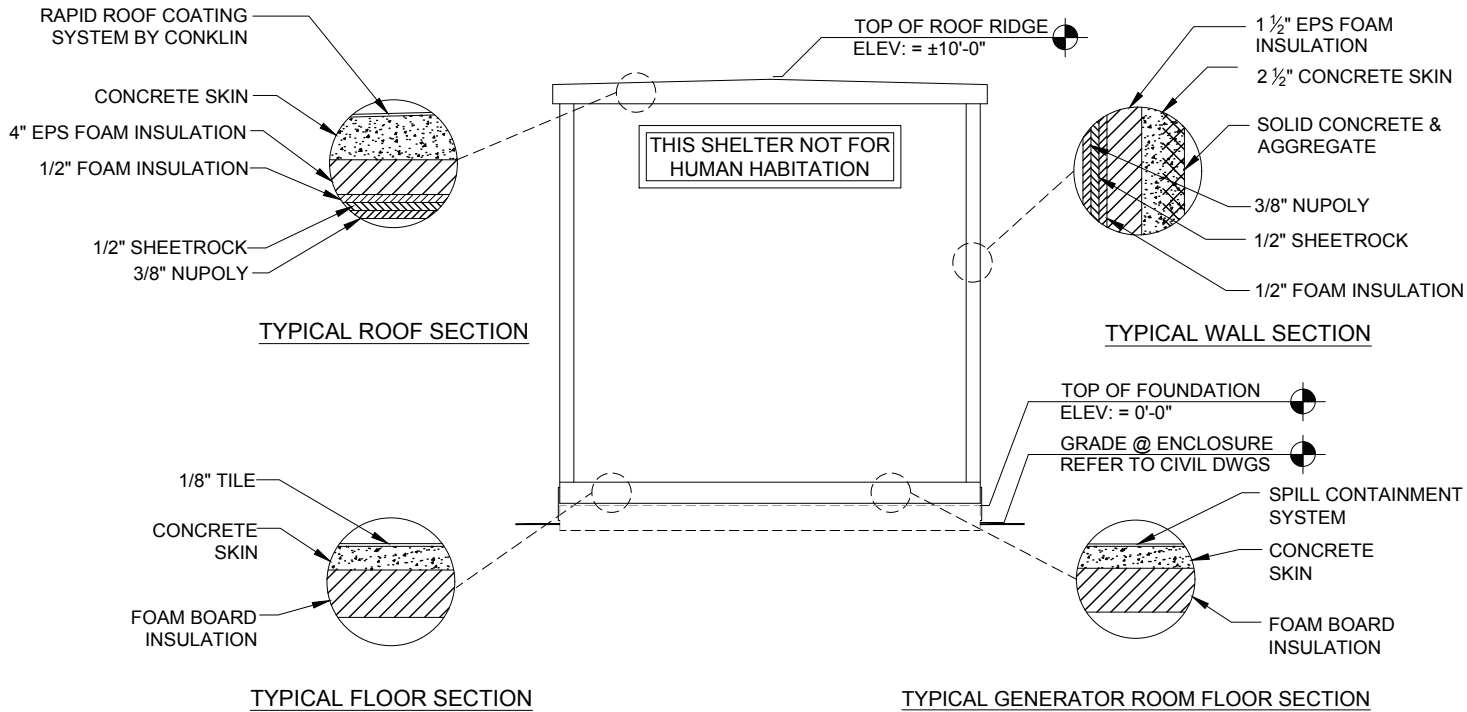
- AIR CONDITIONING IS PROVIDED BY A BARD WALL MOUNTED SELF-CONTAINED ENERGY EFFICIENT COOLING SYSTEM, MODEL # WA602-A05EX2X1.5 TON, 120/240 VOLT, 30 AMP, SINGLE PHASE, 57,500 BTUH COOLING CAPACITY, 10.20 SEER, 24" DIA. FAN, 2600 CFM WITH FILTER
- ELECTRIC HEAT IS PROVIDED BY 5 KW, 18,840 BTUH, 240 VOLT, SINGLE PHASE HEAT STRIP, WITHIN BARD UNIT LISTED ABOVE.

VENTILATION SCHEDULE

ROOM PURPOSE	AREA	VENTILATION				REMARKS
		NATURAL		MECHANICAL		
		ACTUAL	REQUIRED	ACTUAL	REQUIRED	
WIRELESS TELEPHONE EQUIPMENT ENCLOSURE (NON-INHABITED)	194.1 S.F.	0 CFM	0 CFM	2600 CFM	0 CFM	SEE NOTE 1.

NOTES:

- EQUIPMENT ENCLOSURE IS PRE MANUFACTURED. THIS SHEET IS PROVIDED AS GUIDE ONLY. REFER TO ACTUAL DRAWINGS BY SHELTER MANUFACTURE FOR FULL BUILDING PLANS.
- EPS BOARD INSULATION IS LISTED TO HAVE A FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED OF 450 OR LESS WITH A MAXIMUM THICKNESS OF 2 INCHES AT 1 PCF DENSITY. POLYISOCYANURATE FOAM INSULATION HAS BEEN TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 1.9 PCF AND HAS A FLAME SPREAD OF 25 AND A SMOKE PRODUCT OF 395.
- INTERIOR PANELING IS LISTED TO HAVE A FLAMESPREAD OF 200 OR LESS.
- THIS ENCLOSURE IS CLASSIFIED AS USE GROUP B, TYPE 5B CONSTRUCTION; PER 1999 BOCA AND IS IN COMPLIANCE WITH 1999 BOCA BUILDING CODE, 1996 INTERNATIONAL MECHANICAL CODE, 2002 NEC AND ILLINOIS ASHRAE 90.1.
- DESIGN CRITERIA
WIND LOAD = 125 MPH FLOOR DEAD LOAD = 35 PSF
ROOF LIVE LOAD = 100 PSF WALL DEAD LOAD = 35 PSF
FLOOR LIVE LOAD = 135 PSF SNOW LOAD = 80 PSF
ROOF DEAD LOAD = 45 PSF SEISMIC EXPOSURE GROUP = III
- F_c = 5000 PSI @ 28 DAYS (EQUIPMENT ENCLOSURE)
- ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER SEPARATE CONTRACT. EQUIPMENT ENCLOSURE INFORMATION INDICATED HEREIN IS PROVIDED FOR REFERENCE ONLY AND IS TAKEN FROM MANUFACTURER'S AVAILABLE DATA. REFER TO CIVIL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT.
- PRIOR TO PROJECT CLOSE OUT AND SHELTER INSTALLATION, THE GENERAL CONTRACTOR IS TO CLEAN THE SHELTER FLOOR AND APPLY A STATIC- FREE WAX TO THE FLOORS.



2 TRANSVERSE SECTION
N.T.S.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS



NO.	DESCRIPTION	DATE	BY	JTM	TJS	JTM	RA	JTM	JTM	TJS
3	ISSUED FOR FINAL PENDING FIBER	12/21/17								
4	UPDATE WITH NEW ECR	05/05/18								
5	ADDITION OF ANTENNA HOUNT MOD DESIGN	02/26/18								
6	ISSUED FOR FINAL WITH FIBER	03/02/18								
7	UPDATE ADDRESS	04/11/18								
8	UPDATE PER VILLAGE COMMENTS	05/02/18								
9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18								

LOC. # 420005
NW TINLEY

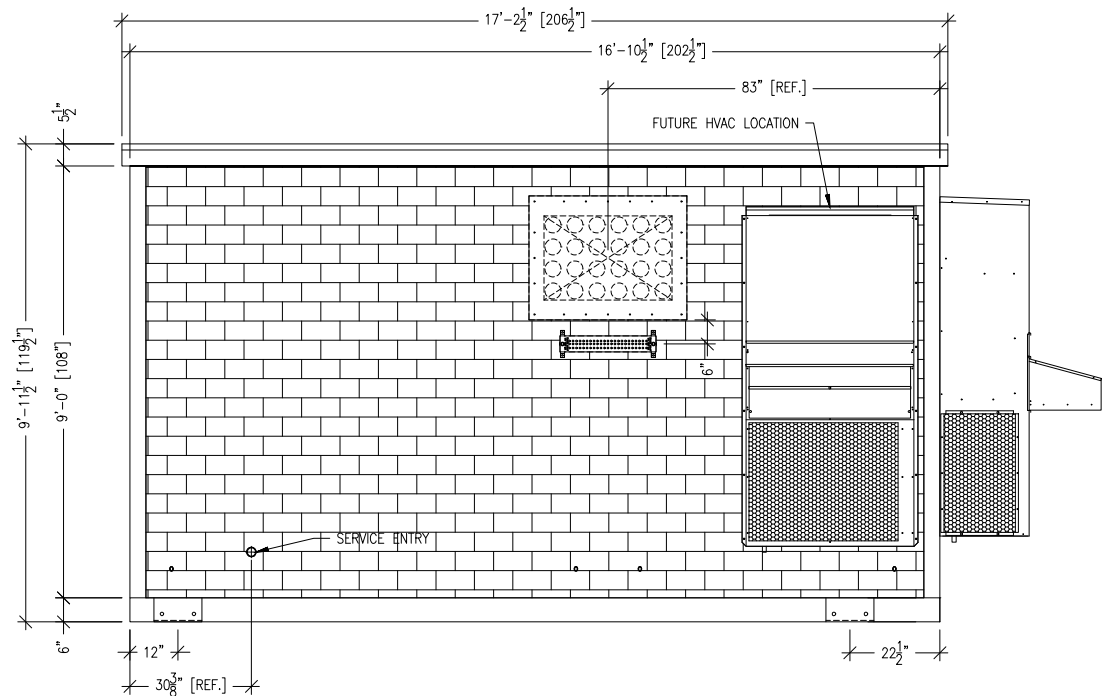
8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
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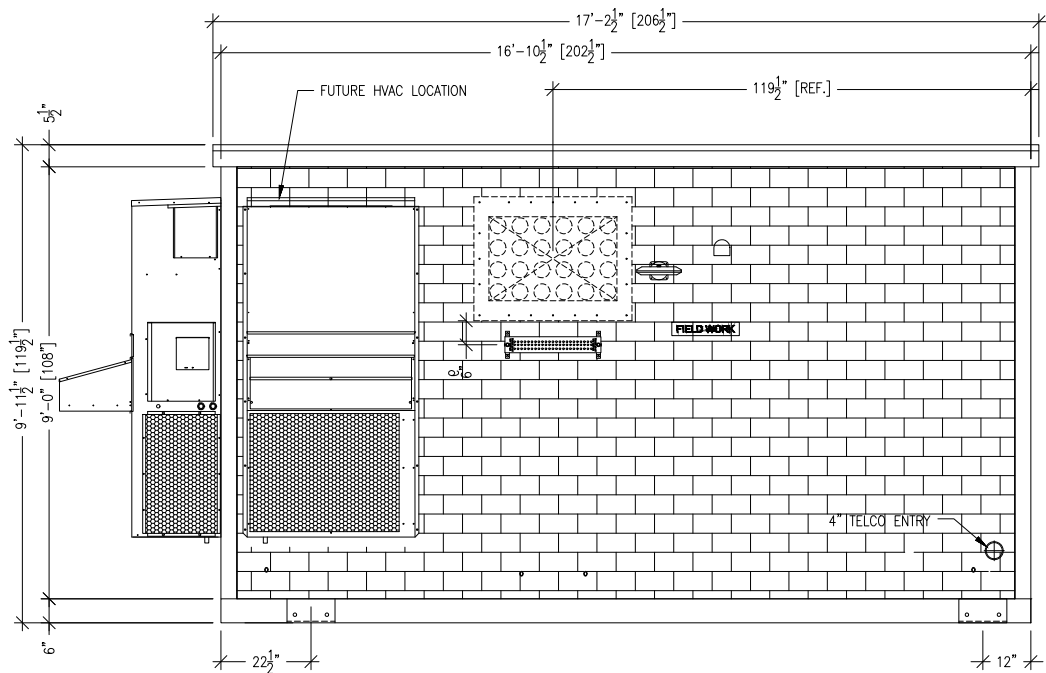
SHEET TITLE
EQUIPMENT
ENCLOSURE
PLAN & SECTION

SHEET NUMBER

B-1

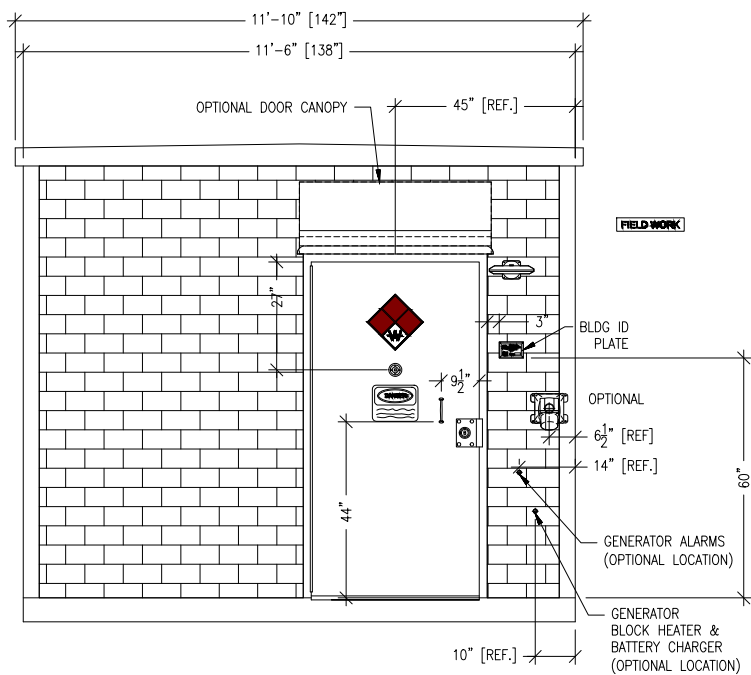
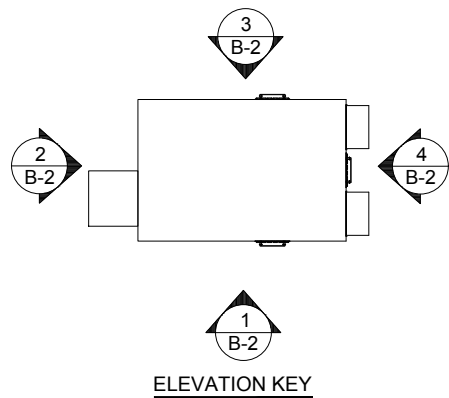


1 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"

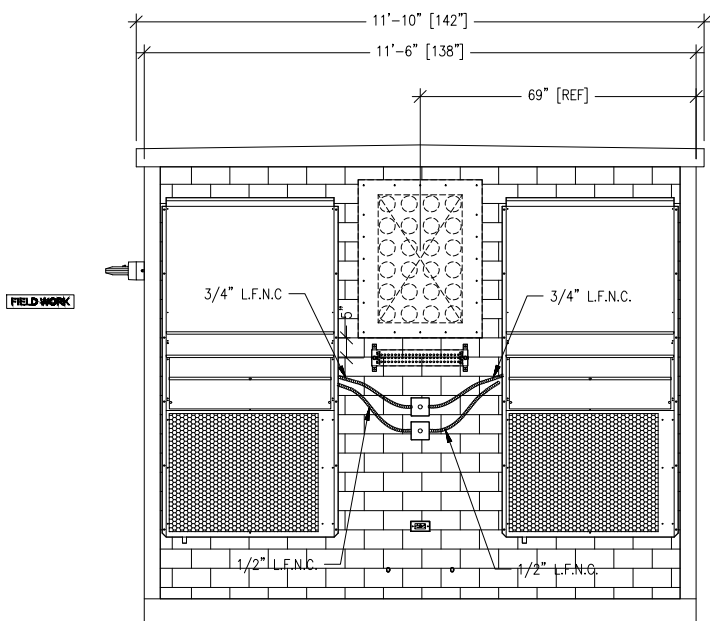


3 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"

NOTE:
PROPOSED SHELTER WITH "FACEBRICK"
P/N 807-00016 MASONRY EXTERIOR,
BY FIBREBOND.



2 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



4 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"

CHICAGO
SMSA
limited partnership
d/b/a VERIZON WIRELESS



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NW TINLEY

8201 163rd ST
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SHEET TITLE
EQUIPMENT
ENCLOSURE
ELEVATIONS

SHEET NUMBER

B-2

UTILITY NOTES:

WORK INCLUDES:
THESE NOTES AND ACCOMPANYING DRAWINGS COMPLEMENT THE PROVISIONS AND INSTALLATIONS BY THE ELECTRICAL CONTRACTOR, OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL THE ELECTRICAL WORK COMPLETE IN CONNECTION WITH THIS VERIZON WIRELESS SITE AND SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

1. THE PROVISIONS, INSTALLATION, AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A BUILDING AND SECONDARY GROUNDING, CELLULAR TELEPHONE COMMUNICATIONS TOWER AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
2. THE PROVISION AND INSTALLATION OF AN OVERHEAD ELECTRICAL SERVICE OR UNDERGROUND ELECTRICAL SERVICE AND ALL ASSOCIATED WIRE AND CONDUIT AS REQUIRED AND/OR INDICATED ON PLANS.
3. THE PROVISION, INSTALLATION OF CONDUIT AND CONNECTIONS FOR LOCAL TELEPHONE SERVICE.
4. THE FURNISHING AND INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS, CONDUITS, METER SOCKET, AND CONNECTIONS TO THE SERVICE EQUIPMENT WITHIN THE ENCLOSURE.
5. TWO INCH (2") AND THREE INCH (3") DIAMETER PVC CONDUITS SCHEDULE 40.
6. ALL PVC CONDUITS SHOULD BE LEFT WITH NYLON PULL CORD FOR FUTURE USE.
7. EXCAVATION, TRENCHING, AND BACKFILLING FOR CONDUIT(S), CABLE(S), AND EXTERNAL GROUNDING SYSTEM.

CODES, PERMITS, AND FEES:

1. ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS SHALL BE SECURED AND ALL FEES FOR SAME PAID BY CONTRACTOR.
2. THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES: STATE, LOCAL AND NATIONAL, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING AUTHORITIES:

N.E.C.	NATIONAL ELECTRIC CODE
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.E.E.	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.E.M.A.	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
U.L.	UNDERWRITERS LABORATORIES, INC.
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION

RACEWAYS AND WIRING:

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING. PROVIDE JUNCTION AND PULLBOXES FOR CONDUIT RUNS WITH MORE THAN (360) DEGREES OF BENDS.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.
6. ELECTRICAL PANELBOARD SHALL BE FURNISHED AND INSTALLED BY OTHERS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION.
7. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.

GENERAL NOTES:

SEE DETAILS AND SCHEDULES ON DRAWINGS AND SPECIFICATIONS FOR MEANING OF ABBREVIATIONS AND ADDITIONAL REQUIREMENTS AND INFORMATION. CHECK ARCHITECTURAL, STRUCTURAL AND OTHER MECHANICAL AND ELECTRICAL DRAWINGS FOR SCALE, SPACE LIMITATIONS, COORDINATION, AND ADDITIONAL INFORMATION, ETC. REPORT ANY DISCREPANCIES, CONFLICTS, ETC. TO ENGINEER BEFORE SUBMITTING BID. ALL EQUIPMENT FURNISHED BY OTHERS (FBO) SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF (FBO) EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS.

COORDINATION WITH UTILITY COMPANY:

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANY FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS, IF REQUIRED, METER SOCKETS, PRIMARY CABLE RACEWAY REQUIREMENTS, SECONDARY SERVICE, ETC. PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THE BID ANY OPTIONAL OR EXCESS FACILITY CHARGES ASSOCIATED WITH PROVIDING ELECTRICAL SERVICE FROM LOCAL UTILITY COMPANY. VERIFY BEFORE BIDDING TO INCLUDE ALL COSTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE AVAILABLE FAULT CURRENT WITH THE LOCAL UTILITY COMPANY PRIOR TO SUBMITTING BID. ADJUST A.I.C. RATINGS OF ALL OVER CURRENT PROTECTION DEVICES IN DISTRIBUTION EQUIPMENT AS REQUIRED TO COORDINATE WITH AVAILABLE FAULT CURRENT FROM LOCAL UTILITY COMPANY. ALL GROUNDING RODS PROVIDED BY THE POWER OR TELEPHONE UTILITY COMPANIES MUST BE TIED INTO THE MAIN EXTERNAL GROUND RING.

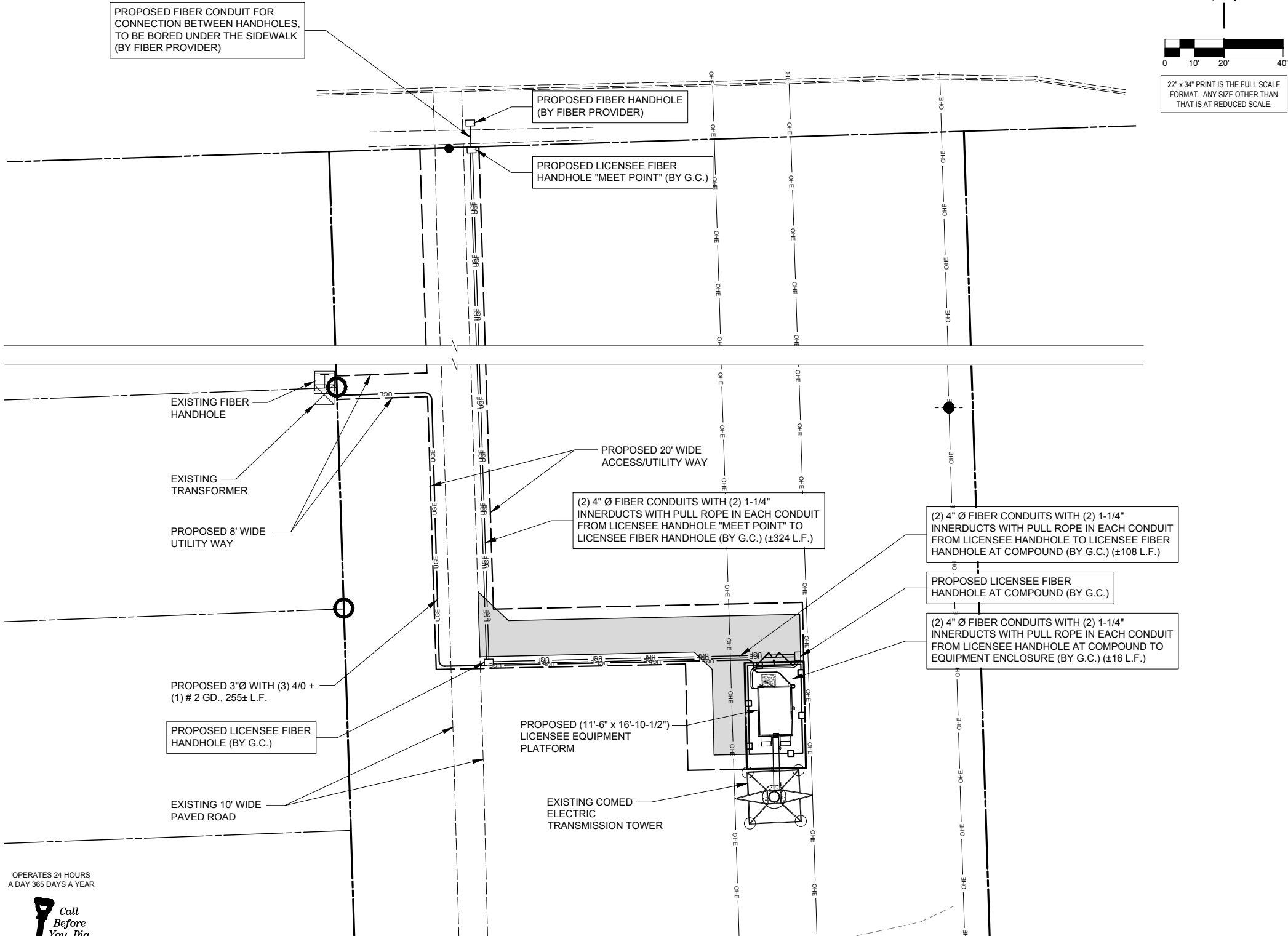
UTILITY CONTACTS:

POWER: COMED
KATHRYN SUGRUE
708-235-2337

FIBER: ONE FIBER
MARK ZOLTEK
312-989-2025

ELECTRICAL CONTRACTOR SHALL COORDINATE WITH POWER COMPANY FOR ENTRY INTO FENCED AREA BY EITHER MAILING A KEY TO A SLAVE LOCKED CHAIN AT THE FENCE GATE OR CALLING AND LEAVING A COMBINATION.

FOR CONTINUATION AND CONNECTION OF ELECTRIC AND FIBER SERVICE. COORDINATE WITH ELECTRIC AND FIBER COMPANY.



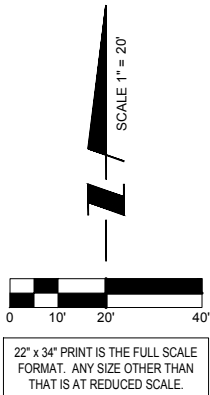
OPERATES 24 HOURS
A DAY 365 DAYS A YEAR



CALL JULIE TOLL FREE
1(800) 892-0123
48 HOURS BEFORE
YOU DIG

1 SITE UTILITY ROUTING PLAN
SCALE: 1" = 10'

NOTE:
CONTRACTOR TO VERIFY ROUTES WITH LOCAL
UTILITY COMPANY PRIOR TO INSTALLATION.



CHICAGO
SMSA
limited partnership
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE
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7	UPDATE ADDRESS	JTM	05/02/18
8	UPDATE PER VILLAGE COMMENTS	TJS	05/11/18
9	UPDATE WITH SHELTER & VILLAGE COMMENTS		

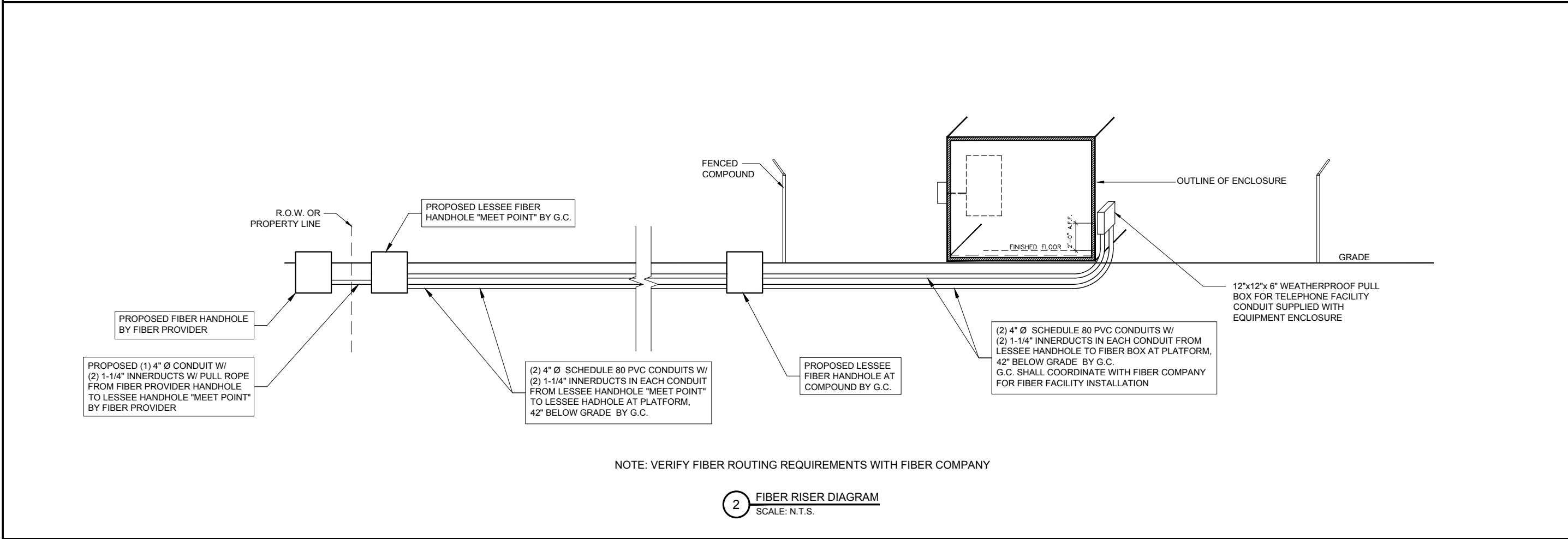
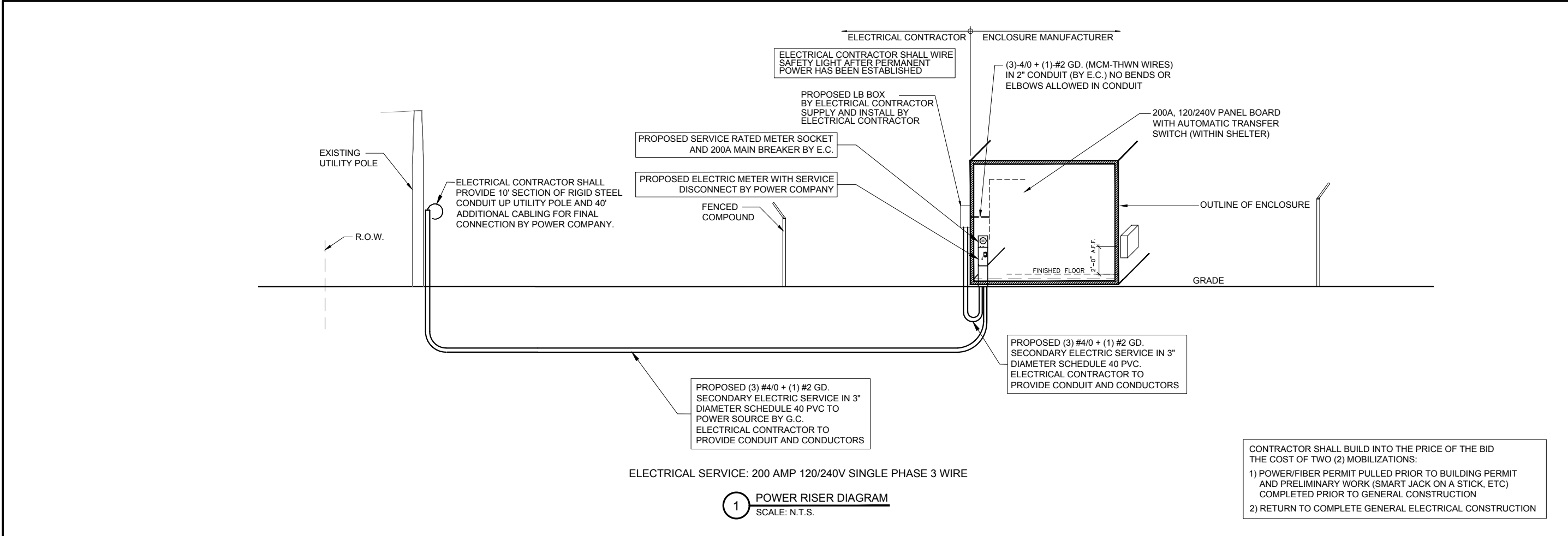
LOC. # 420005
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

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SHEET TITLE
UTILITY ROUTING PLAN

SHEET NUMBER
E-1



CHICAGO SMTA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-898-6400
FAX: 847-898-6401

REVISIONS	
NO.	DESCRIPTION
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SHEET TITLE
UTILITY RISER
DIAGRAMS

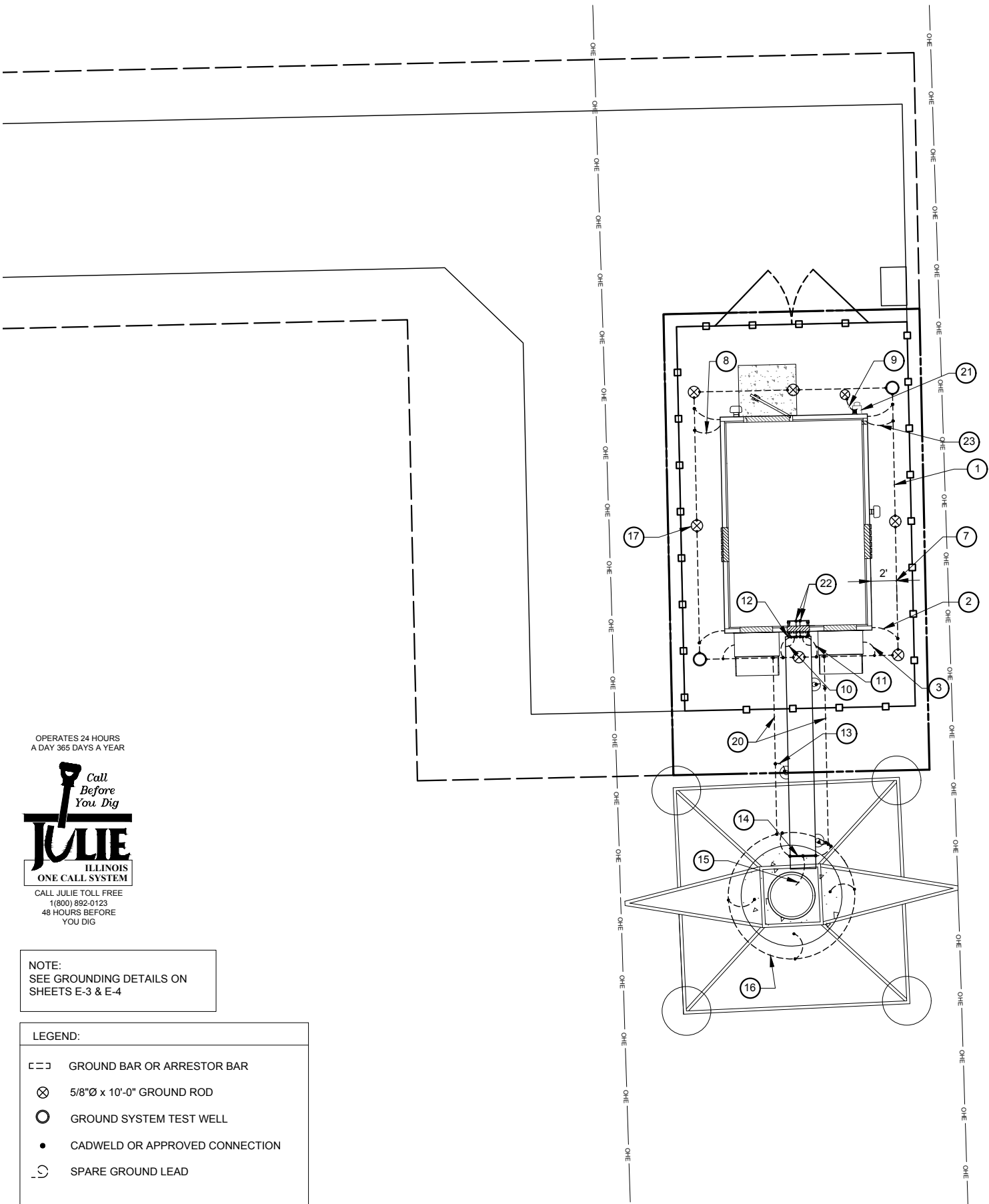
SHEET NUMBER
E-1A

GROUNDING ELECTRODE SYSTEM NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN- WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF PLATFORM AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 1. ONE (1) COPY TO OWNER REPRESENTATIVE
 2. ONE (1) COPY TO ENGINEER
 3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

TYPICAL KEYED GROUNDING NOTES

- 1 #2 AWG TNND SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (TYPICAL) MINIMUM 24" BENDING RADIUS
- 2 ENCLOSURE GROUND (TYP.) IN 1/2" DIAMETER SCHEDULE 40 PVC CONDUIT
- 3 GROUND EQUIPMENT ENCLOSURE HVAC WITH MECHANICAL CLAMP (SEE DETAIL, SHEET E-3).
- 4 #2 AWG TNND SOLID COPPER CONDUCTOR WITH MECHANICAL CLAMP TO HOOD (SEE DETAIL, SHEET E-3)
- 5 #2 AWG TNND SOLID COPPER CONDUCTOR RUN FROM HOOD TO MUFFLER WITH PIPE CLAMP GROUND (SEE DETAIL, SHEET E-3)
- 6 #2 AWG TNND SOLID COPPER CONDUCTOR RUN TO FILLER WITH GROUND JUMPER TO VENT WITH PIPE CLAMP GROUND (SEE DETAIL, SHEET E-3)
- 7 MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES.
- 8 GROUND TELEPHONE SERVICE ENTRANCE (SEE DETAIL, SHEET E-3).
- 9 ELECTRIC METER AND ELECTRIC SERVICE GROUNDING (SEE DETAIL SHEET E-4), COORDINATE ALTERNATE WITH PM
- 10 GROUND COAXIAL ANTENNA CABLES TO GROUND BAR BY ANTENNA CONTRACTOR TERMINATE CABLES 1'-0" FROM ENCLOSURE AND INSTALL LIGHTNING SURGE ARRESTORS ON EACH CABLE GROUND.
- 11 EXOTHERMICALLY WELD COPPER GROUND BAR TAIL TO EXTERIOR HALO GROUND RING (EXOTHERMIC CONNECTION TYPE TA) BY ANTENNA CONTRACTOR. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
- 12 4"x20"x1/4" TNND INSULATED COPPER GROUND BAR, NON ISOLATED WITH 10.0' LONG #2 AWG TNND SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VV)
- 13 GROUND CABLE WAVEGUIDE BRIDGE (TYP.) BY ELECTRICAL CONTRACTOR.
- 14 4"x20"x1/4" TNND INSULATED COPPER GROUND BAR, NON-ISOLATED, WITH 10.0' LONG #2 AWG TNND SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VV)
- 15 GROUND ANTENNA CABLES TO GROUND BAR AT ANTENNA ELEVATION OF TOWER. GROUND BASE GROUND BAR TO GROUND HALO.
- 16 PROPOSED TOWER GROUND RING
- 17 5/8" DIAMETER X 10'-0" LONG COPPER CLAD GROUND ROD (HARGER-5810) (SEE DETAIL, SHEET E-3) WITH EXOTHERMIC CONNECTION
- 18 GROUND CHAIN LINK FENCE (TYPICAL) EXOTHERMIC CONNECTION (TYPE VS) GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER. (SEE DETAIL, SHEET E-3.)
- 19 GATE JUMPERS (SEE DETAIL, SHEET E-3)
- 20 BOND PROPOSED TOWER GROUND RING TO PROPOSED GROUND RING WITH #2 AWG TNND SOLID COPPER CONDUCTOR IN 2 LOCATIONS.
- 21 VERIFY SERVICE DISCONNECT GROUND IS IN PLACE AT METER RACK.
- 22 TWO #2 LEADS FROM THE EGR TO THE MGB LOCATED IN THE SHELTER. CADWELD AT EGR AND DOUBLE HOLE LUGS IN SHELTER.
- 23 ELECTRIC SERVICE ENTRY GROUND



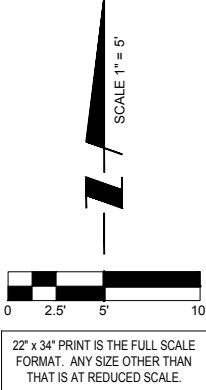
OPERATES 24 HOURS
A DAY 365 DAYS A YEAR



NOTE:
SEE GROUNDING DETAILS ON
SHEETS E-3 & E-4

LEGEND:

- GROUND BAR OR ARRESTOR BAR
- 5/8"Ø x 10'-0" GROUND ROD
- GROUND SYSTEM TEST WELL
- CADWELD OR APPROVED CONNECTION
- SPARE GROUND LEAD
- MECHANICAL CONNECTION
- EXISTING GROUNDING
- NEW GROUNDING



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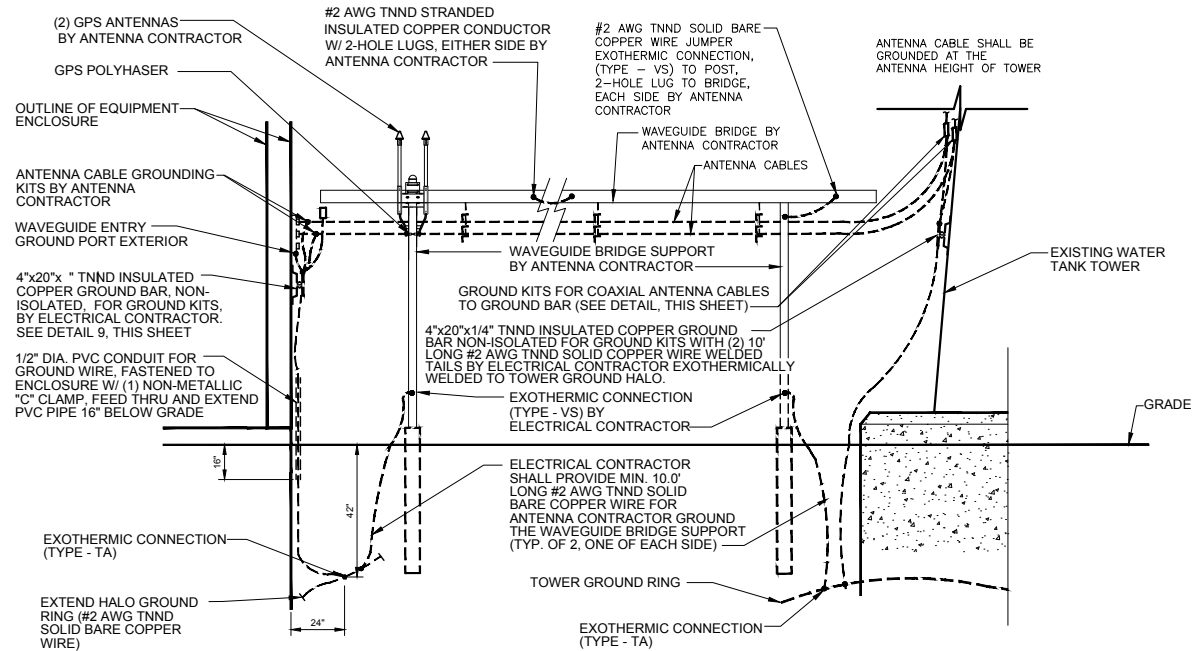
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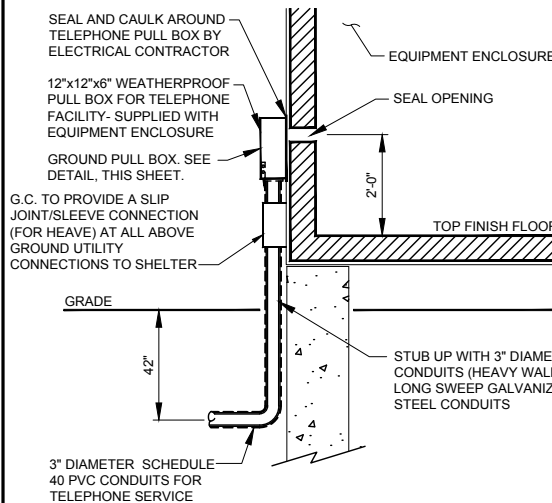
SHEET TITLE
SITE
GROUNDING PLAN

SHEET NUMBER

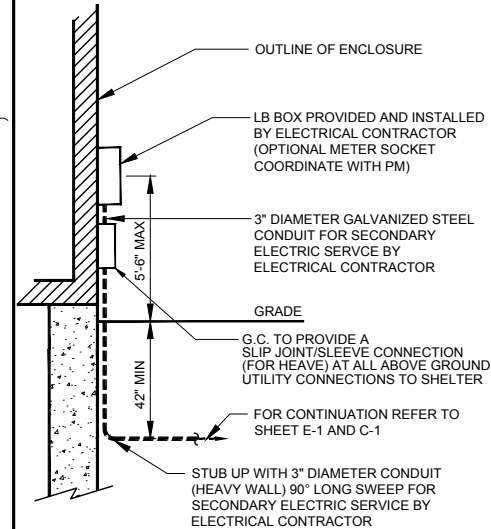
E-2



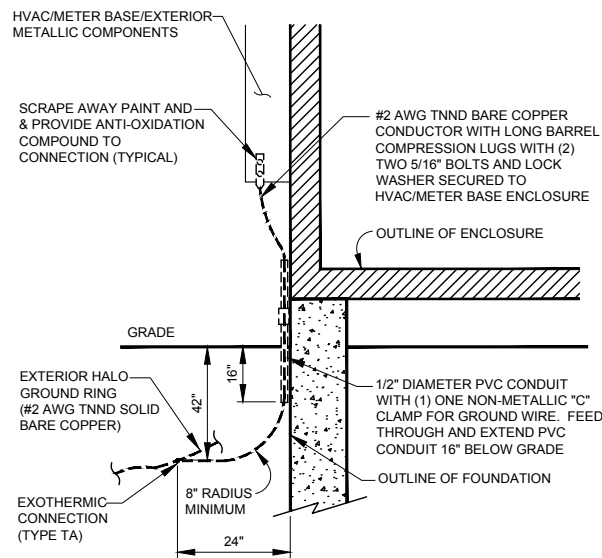
1 ANTENNA CABLE AND WAVEGUIDE BRIDGE GROUNDING DETAIL
N.T.S.



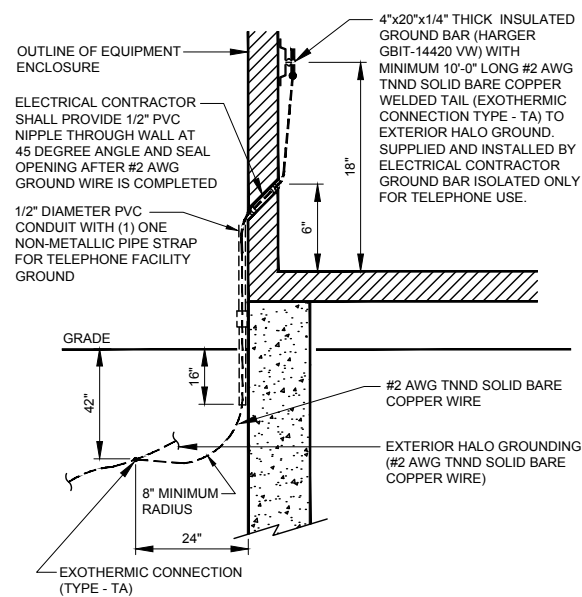
2 TELEPHONE SERVICE ENTRANCE
N.T.S.



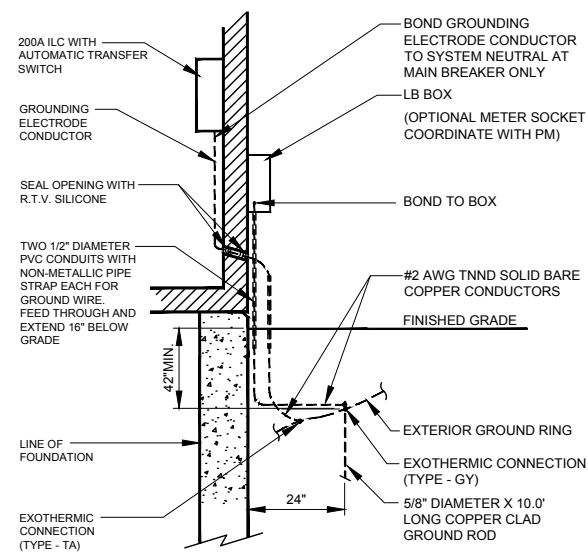
3 UNDERGROUND ELEC. SERVICE DETAIL
N.T.S.



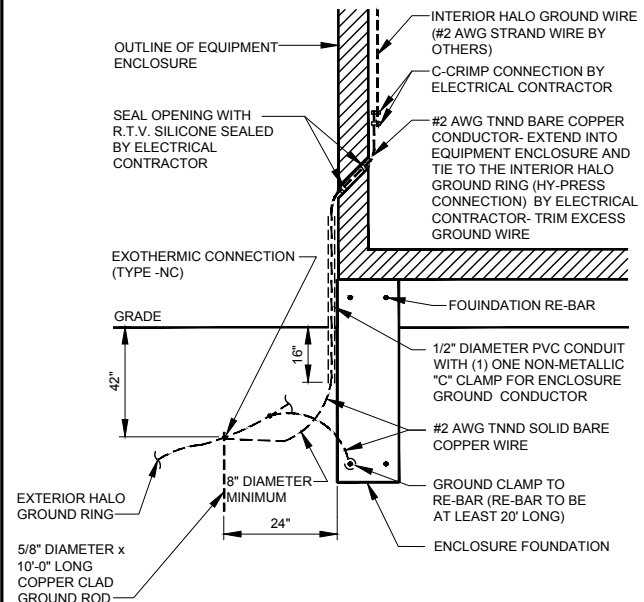
4 HVAC/METER BASE/METALLIC COMPONENTS GROUNDING DETAIL
N.T.S.



5 TELCO FACILITY GROUND
N.T.S.



6 ELECTRIC SERVICE GROUNDING DETAIL
N.T.S.



7 ENCLOSURE GROUNDING DETAIL
N.T.S.

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NO.	DESCRIPTION	DATE	BY	JTM	TJS	JTM	RA	JTM	JTM	TJS
3	ISSUED FOR FINAL PENDING FIBER	12/21/17								
4	UPDATE WITH NEW ECR	05/05/18								
5	ADDITION OF ANTENNA HOUNT MOD DESIGN	02/26/18								
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9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18								

LOC. # 420005
NW TINLEY

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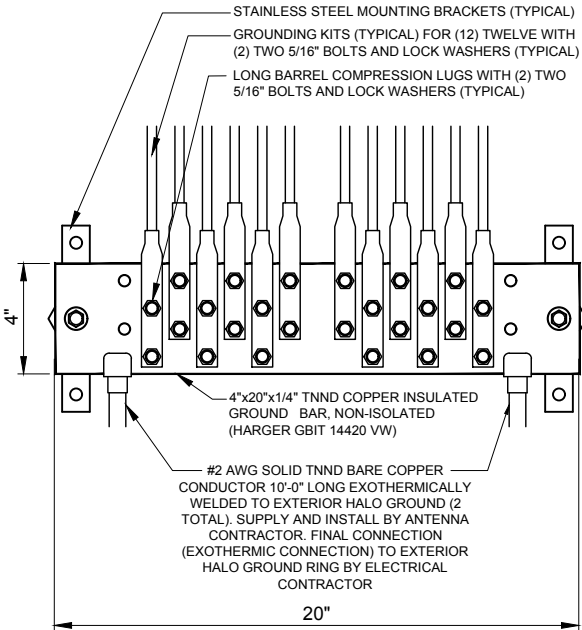
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CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E-3

GROUNDING ELECTRODE SYSTEM NOTES:

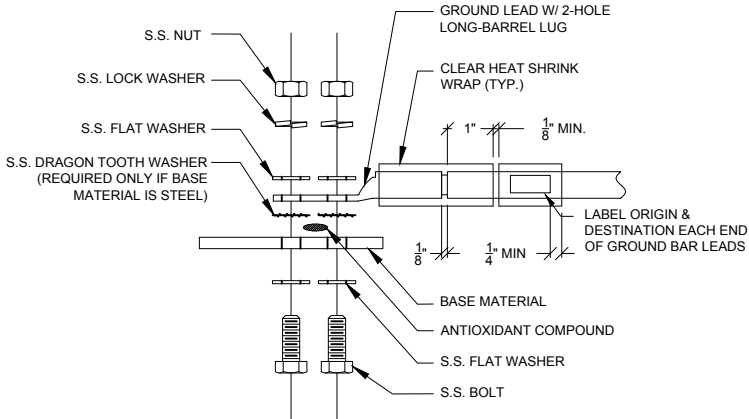
1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN- WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
5. AFTER INSTALLATION OF THE CANOPY AT THE DOOR, GC/EC IS TO BOND THE CANOPY TO THE DOOR FRAME WITH A #2 CONDUCTOR. USE DOUBLE-LUG CONNECTION. PREP AND PAINT SURFACE TO MATCH AFTER INSTALLATION.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 1. ONE (1) COPY TO OWNER REPRESENTATIVE
 2. ONE (1) COPY TO ENGINEER
 3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE



1 EXTERIOR GROUND BAR DETAIL
N.T.S.

NOTES:

1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVILLES. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH KOPR-SHIELD.
3. GROUND BARS, INSTALL BOLT HEAD TOWARD WALL
4. ENCLOSURES, INSTALL BOLT HEAD ON OUTSIDE OF ENCLOSURE



2 GROUND LUG INSTALLATION DETAIL
N.T.S.



Type GT
THROUGH CABLE TO TOP OF GROUND ROD.



Type TA
TEE OF HORIZONTAL RUN AND TAP CABLES.



Type HS
HORIZONTAL CABLE TAP TO HORIZONTAL STEEL SURFACE OR PIPE. CABLE OFF SURFACE.



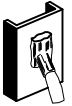
Type VV
THROUGH VERTICAL CABLE TO VERTICAL STEEL SURFACE OR TO THE SIDE OF EITHER HORIZONTAL OR VERTICAL PIPE



Type XB
CROSS OF HORIZONTAL CABLES. LAPPED AND NOT CUT



Type VN
HORIZONTAL CABLE TAP TO VERTICAL STEEL SURFACE OR THE SIDE OF HORIZONTAL PIPE



Type VS
CABLE TAP DOWN AT 45° TO VERTICAL STEEL SURFACE OR SIDE OF HORIZONTAL OR VERTICAL PIPE.



Type GY
THROUGH CABLE TO SIDE OF GROUND ROD



Type GR
CABLE TAP TO TOP OF GROUND ROD



Type NC
THROUGH AND TAP CABLES TO GROUND ROD

3 EXOTHERMIC WELD DETAILS
EXOTHERMIC AND HARGER ULTRAWELD OR APPROVED EQUAL

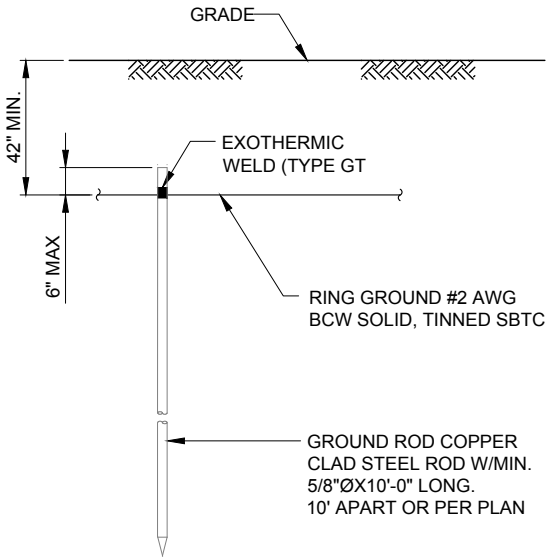
HARGER NO. GJX2S24 GATE JUMPER WITH EXOTHERMIC CONNECTION AND HARGER NO. UWM45 WELD METAL OR APPROVED EQUAL

EXOTHERMIC CONNECTION (HARGER ULTRAWELD NO. VT2S1.54B CONNECTION AND NO. UWM115 WELD METAL OR APPROVED EQUAL)

EXOTHERMIC CONNECTION (HARGER ULTRAWELD NO. PT2S2SB AND NO. UWM65 WELD METAL OR APPROVED EQUAL)

NO. 2T, SOFT-DRAWN TINNED SOLID COPPER CONDUCTOR, RUN A MIN. OF 6" BELOW FROST LINE

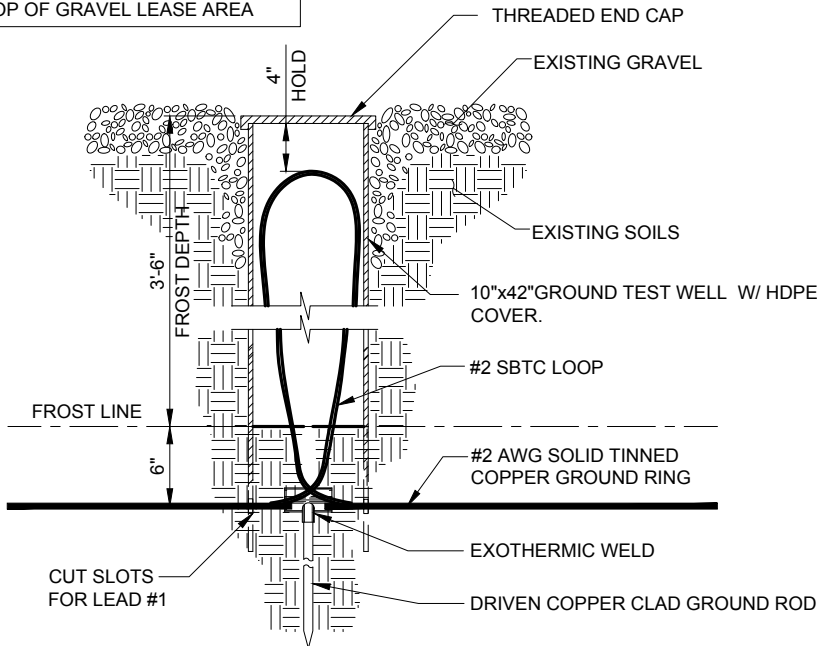
4 FENCE GROUNDING DETAIL
N.T.S.



NOTE:
GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.

5 GROUND ROD DETAIL
SCALE: N.T.S.

NOTE:
SET TEST WELL COVER 1" BELOW TOP OF GRAVEL LEASE AREA



6 TEST WELL DETAIL
SCALE: N.T.S.

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SHEET TITLE
GROUNDING DETAILS

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E-4

GENERAL LANDSCAPE NOTES

1.

PRUNE NEWLY INSTALLED SHRUBS. WORK SHALL BE DONE BY EXPERIENCED PERSONNEL TO THE ACCEPTED HORTICULTURAL AND ARBORICULTURAL STANDARDS. PRUNING SHALL RESULT IN A LOOSE OUTLINE CONFORMING TO THE GENERAL SHAPE OF THE SHRUB TYPE. DO NOT USE HEDGE SHEARS.
2.

ALL PLANTING STOCK SHALL BE NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PLANTS SHALL BE FREE OF DISEASE, INSECTS EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. THEY SHALL HAVE SOUND, HEALTHY VIGOROUS AND UNIFORM GROWTH TYPICAL OF THE SPECIES AND VARIETY, WELL-FORMED, FREE FROM IRREGULARITIES, WITH THE MINIMUM QUALITY AND SIZE CONFORMING TO AMERICAN STANDARD FOR NURSERY STOCK.
3.

GUARENTEE: WARRANT ALL PLANT MATERIAL TO BE TRUE TO BOTANICAL NAME AND SPECIFIED SIZE. AFTER COMPLETION OF PLANTING, ALL PLANT MATERIALS SHALL BE WARRANTED AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH FOR A WARRANTY PERIOD OF ONE YEAR. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLECT ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE CONTRACTORS CONTROL WHICH RESULT FROM NATURAL CAUSES SUCH AS FLOODS STORMS, FIRES OR VANDALISM.

REPLACEMENTS: DURING THE WARANTY PERIOD, REPLACE ONE TIME, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS THAT ARE DEAD, OR IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN AN UNHEALTHY OR UNSIGHTLY CONDITION. REJECTED PLANT MATERIALS SHALL BE REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE. REPLACEMENTS ARE TO BE MADE NO LATER THAN THE SUBSEQUENT PLANTING SEASON. RESTORE AREAS DISTURBED BY REPLACEMENT OPERATIONS.
4.

MULCHING SHALL BE DONE WITHIN 48 HOURS AFTER PLANTING. MULCH SHRUB BEDS TO A UNIFORM DEPTH OF THREE INCHES. MULCH SHALL BE CLEAN COMPOSTED PINE BARK MULCH FREE OF FOREIGN MATERIAL AND LARGE PIECES OVER THREE INCHES LONG. DO NOT MULCH TREE AND SHRUB PLANTING PITs.
5.

TOPSOIL SHALL CONSIST OF FERTILE FRIABLE NATURAL LOAM, CONTAINING A LIBERAL AMOUNT OF HUMUS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL. IT SHALL BE FREE OF ADMIXTURES OF SUBSOIL AND FREE OF CRAB GRASS, ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER, AND SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITIONS.
6.

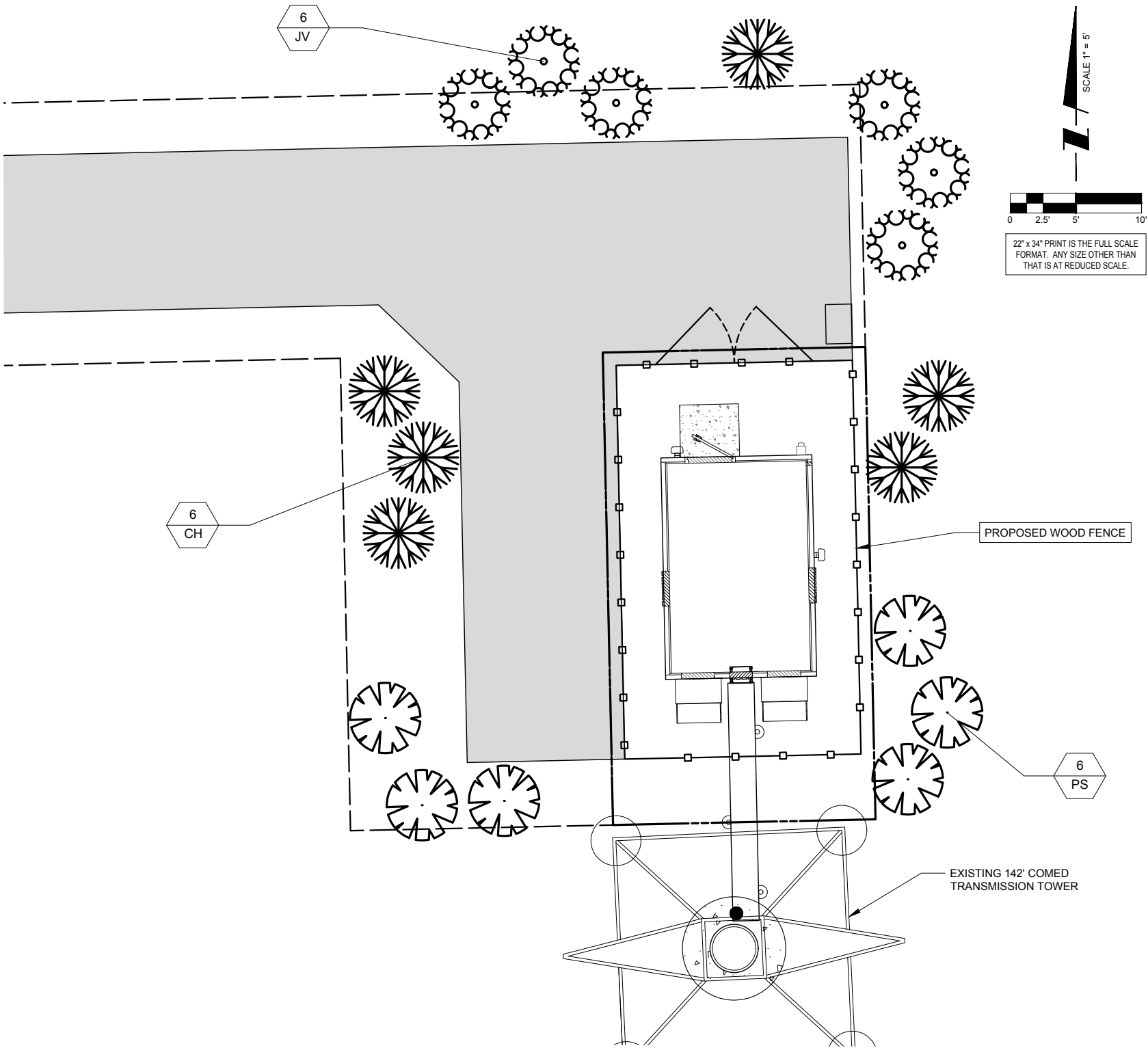
REPAIR ALL TURF AREAS BY SEEDING. SEEDING INSTALLATION SHALL BE EXECUTED ONLY AFTER ALL FINISH GRADING HAS BEEN COMPLETED. NO SEEDING WORK SHALL BE DONE PAST SEPTEMBER 15, UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.

SEED: SEDD MIX SHALL MATCH EXISTING TURF, OR BE A 50/50 MIX OF CERTIFIED IMPROVED BLEND OF BLUEGRASS AND CERTIFIED IMPROVED PERENNIAL RYE. MIX SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. SEEDING SHALL BE APPLIED AT A MINIMUM RATE OF 120 POUNDS PER ACRE. FUTERRA BLANKET, OR EQUAL, SHALL BE USED FOR EROSION CONTROL MULCH WHERE NECESSARY IN LIEU OF HYDRO MULCH.
7.

PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
8.

ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE NORTHERN HALF OF THE STATE OF ILLINOIS AND LICENSED BY THE STATE OF ILLINOIS.
9.

THE PLANTING SEASON SHALL BE APPROXIMATELY OCTOBER 15 TO DECEMBER 1, AND MARCH 15 TO MAY 1.



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
TREES					
CH	CRATAEYUS	HAWTHORN	6	8 FT. HT. MIN.	B & B (BALLED & BURLAPPED)
JV	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	6	8 FT. HT. MIN.	B & B (BALLED & BURLAPPED)
PS	PINUS STROBUS	EASTERN WHITE PINE	6	8 FT. HT. MIN.	B & B (BALLED & BURLAPPED)

X	PLANT QUANTITY
XX	PLANT SYMBOL



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LANDSCAPE PLAN

SHEET NUMBER

L-1

GENERAL	
THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.	
DIVISION 1: GENERAL REQUIREMENTS SECTION 01700 - PROJECT CLOSEOUT	
PART 1 - GENERAL	
A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES.	
B. SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.	
C. COMPLETE FINAL CLEAN UP REQUIREMENTS. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES.	
PART 2 - FINAL CLEANING	
1. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.	
a. CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS, RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN-TEXTURED SURFACE.	
b. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE	
c. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURE.	
d. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.	
e. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.	
f. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.	
g. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY	
2. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.	
DIVISION 2: SITE WORK SECTION 02200 - EARTHWORK AND DRAINAGE	
PART 1 - GENERAL	
1. WORK INCLUDED: SEE SITE PLAN.	
2. SEQUENCING	
a. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG EAST FENCE LINE.	
b. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH	
PART 2 - EXECUTION	
1. INSPECTIONS: LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.	
2. PREPARATION	
a. CLEAR TREES, BRUSH AND DEBRIS FROM SITE AS REQUIRED.	
b. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES (6") BELOW GRADE.	
c. UNLESS OTHERWISE INSTRUCTED BY OWNER, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.	
d. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.	
e. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.	
3. INSTALLATION	
a. GRADE OR FILL THE SITE AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.	
b. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.	
c. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.	
d. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.	
e. PLACE FILL OR STONE IN SIX INCH (6") MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.	
f. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE FOOT (1') BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.	
g. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.	

h. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.	
i. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.	
j. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.	
k. IN DITCHES WITH SLOPES GREATER THAN 10% MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN THAT 60° OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET (6') ABOVE THE CULVERT ENTRANCE.	
l. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.	
m. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.	
n. ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.	
4. FIELD QUALITY CONTROL: COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.	
5. PROTECTION	
a. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATIVE.	
b. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.	
SECTION 02830 - FENCING AND GATE(S)	
PART 1 - GENERAL	
1. WORK INCLUDED - SEE PLAN FOR SITE AND LOCATION OF FENCE	
2. QUALITY ASSURANCE	
a. ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE "E" ZINC, 18 OUNCES PER SQUARE FOOT.	
3. SEQUENCING	
a. IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.	
4. SUBMITTALS	
a. MANUFACTURER'S DESCRIPTIVE LITERATURE.	
b. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.	
PART 2 - PRODUCTS	
1. FENCE MATERIAL	
a. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.	
b. FABRIC SHALL BE SEVEN-FOOT (7') HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.	
c. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER	
i. LINE	2" SCHEDULE 40 (2 3/8" O.D.)
ii. CORNER	3" SCHEDULE 40 (3 1/2" O.D.)
iii. GATE	3" SCHEDULE 40 (3 1/2" O.D.)
d. ALL TOP AND BRACE RAILS SHALL BE 1 DIAMETER SCHEDULE - 40 MECHANICAL - SERVICE PIPE.	
e. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL - SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.	
f. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.	
g. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.	
h. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.	
i. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.	
j. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.	


k. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.	
l. ALL POST EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.	
m. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS, AND TENSION BAND CLIPS.	
n. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.	
PART 3 - EXECUTION	
1. INSPECTION: TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS,	
2. INSTALLATION	
a. FOUNDATIONS SHALL HAVE A MINIMUM SIX INCH (6") CONCRETE COVER UNDER POST.	
b. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ON QUARTER INCH (1/4")	
c. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.	
d. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.	
e. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO FOOT (2') INTERVALS.	
f. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC AND THE FINAL GRADE.	
g. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.	
h. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.	
i. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.	
3. PROTECTION: UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL. APPLICABLE STANDARDS:	
ASTM-A120	SPECIFICATION FOR PIPE, STEEL, BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
ASTM-A123	ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
ASTM-A153	STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
ASTM-A392	SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
ASTM-A491	SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
ASTM-A525	STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
ASTM-A570	SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.
A. FEDERAL SPECIFICATION RR-F-191-FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)	
DIVISION 3: CONCRETE	
SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS	
PART 1 - GENERAL	
1. WORK INCLUDED: FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.	
2. INSPECTIONS	
a. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.	
b. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE LESSEE'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.	
c. THE LESSEE'S CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.	
3. QUALITY ASSURANCE	
a. CONSTRUCT AND ERECT CONCRETE FORMWORK IN ACCORDANCE WITH ACI 301 AND ASTM 318.	
b. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.	
c. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.	
d. OPEN FOUNDATION TRENCHES SHALL BE INSPECTED BY MES PRIOR TO CONCRETE INSTALLATION.	
4. SUBMITTALS: SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY LESSEE CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWING SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.	
PART 2 - PRODUCTS	
1. REINFORCEMENT MATERIALS	
a. REINFORCEMENT STEEL, ASTM A615, 60 ksi YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.	
b. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE IN FLAT SHEETS, PLAIN FINISH.	
c. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS. SIZED AND SHAPED FOR SUPPORTS OR REINFORCING.	

d. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184.	
2. CONCRETE MATERIALS	
a. CEMENT: ASTM C150, PORTLAND TYPE	
b. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED; ONE INCH (1") SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD (1/3) CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.	
c. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE	
d. AIR ENTRAINING ADMIXTURE: ASTM C260	
e. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.	
f. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE. CEMENT, WATER REDUCING AND PLASTICISING AGENTS.	
3. CONCRETE MIX	
a. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.	
b. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.	
c. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:	
i. COMPRESSIVE STRENGTH: 4000 psi AT 7 DAYS. SEE SHEET 2-1 FOR CAISSON CONCRETE COMPRESSIVE STRENGTH.	
ii. SLUMP: 3 INCHES	
PART 3 - EXECUTION	
1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS	
a. THE CONSTRCTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.	
b. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.	
c. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENING, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.	
d. INSTALL CONRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.	
2. REINFORCEMENT PLACEMENT	
a. PLACEMENT REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.	
b. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.	
c. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.	
d. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE THREE INCHES (3") UNLESS OTHERWISE NOTED.	
e. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED THREE INCHES (3") NOR BE LESS THAN TWO INCHES (2").	
3. PLACING CONCRETE	
a. VIBRATE ALL CONCRETE.	
b. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURE IF SEASONAL CONDITIONS APPLY.	
4. CURING	
a. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.	
b. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.	
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.	
6. FIELD QUALITY CONTROL	
a. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN FOR EVERY 15 CUBIC YARD OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH ASTM, C-31 AND C-39.	
b. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.	
c. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.	
7. DEFECTIVE CONCRETE: MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAILS OR ELEVATIONS AT COST OF GC, AS DIRECTED BY ARCHITECT/ENGINEER.	

CHICAGO
SMSA

limited partnership

d/b/a VERIZON WIRELESS



TERRA

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REVISIONS			
NO.	DESCRIPTION	DATE	BY
3	ISSUED FOR FINAL PENDING FIBER	12/21/17	JTM
4	UPDATE WITH NEW ECR	05/05/18	TJS
5	ADDITION OF ANTENNA HOUNT MOD DESIGN	02/26/18	JTM
6	ISSUED FOR FINAL WITH FIBER	03/02/18	RA
7	UPDATE ADDRESS	04/11/18	JTM
8	UPDATE PER VILLAGE COMMENTS	05/02/18	JTM
9	UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18	TJS

LOC. # 420005

NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
SPECIFICATIONS

SHEET NUMBER
SP-1

DIVISION 5: METALS

PART 1 - GENERAL

1. SECTION INCLUDES:
STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS, AND GROUTING UNDER BASE PLATES.
2. SUBMITTALS:
SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS, LOADS, AND WELDED SECTIONS.
3. QUALITY ASSURANCE
A. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
B. PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

1. MATERIALS:
A. STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50
B. STRUCTURAL TUBING: ASTM A500, GRADE B
C. PIPE: ASTM A53, TYPE E OR S, GRADE B
D. BOLTS, NUTS, AND WASHERS: ASTM A325
E. ANCHOR BOLTS: ASTM A307
F. WELDING MATERIALS: AWS 01.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
- G. GROUT: NON - SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
- H. SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE
- I. TOUCH-UP PRIMER FOR GALV. SURFACES ZINC RICH TYPE

2. FABRICATION:
CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.
3. FINISH:
A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCEWITH SSPC SP-1 TO SP-10 PROCEDURES.
B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

1. EXAMINATION AND PREPARATION:
VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.
2. ERECTION:
A. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
B. FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.
C. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
D. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRMED OR GALVANIZED WITH TOUCH-UP PRMERS AS SPECIFIED UNDER SECTION 05000, 0METALS, PART 2 - PRODUCTS, H & I. SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.
3. FIELD QUALITY CONTROL:
FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS, AND TOURQUING

DIVISION 16: ELECTRICAL

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
2. ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
3. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A).
4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU, AND "UL" LISTED.
5. ALL CONDUIT SHALL HAVE A PULL CORD.
6. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF TH JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
7. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
8. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC AND ALL APPLICABLE CODES.
9. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
10. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-8 LIFT COVERPLATES.

SECTION 1640 - SERVICE AND DISTRIBUTION

1. WIRE AND CABLE CONDUCTORS SHALL BE COPPER, 600V, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECTIFIER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
2. ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED.
3. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY MILBANK OR APPROVED EQUAL, AND SHALL BE UTILITY COMPANY APPROVED.
4. CONDUIT:
A. RIGID CONDUIT SHALL BE U.L LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE ½ LAPPED WRAPPED WITH HUNT'S WRAP PROCESS NO. 3.
B. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE.
C. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.
D. ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 42" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY J.U.L.I.E. AT 1-800-892-0123 OR OTHER SUCH NOTIFYING AGENCY FORTY-EIGHT (48) HOURS PRIOR TO DIGGING.
5. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
6. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE ONE FORTH INCH (1/4"). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
7. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR SHALL BE SUBMITTED FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
8. GROUNDING ELECTRODE SYSTEM
A. PREPARATION
1. SURFACE PREPARATION:
ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTS SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUND. ALL CONNECTIONS ARE TO HAVE A NO-OXIDIZING GENT APPLIED PRIOR TO INSTALLATION.
2. GROUND BAR PREPARATION
ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
3. SLEEVES:
ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
B. GROUND BARS
1. ALL GROUND BARS SHALL BE ONE FORTH INCH (1/4" THICK TINNED COPPER PLATE AND OF AND OF SIZE INDICATED ON DRAWINGS.
2. ALL CONNECTIONS TO THE GROUND BAR SHALL OBSERVE THE FOLLOWING SEQUENCE:
A. BOLT-HEAD
B. 2-HOLE LUG
C. TINNED COPPER BUSS BAR
D. STAR WASHER
E. NUT
C. EXTERNAL CONNECTIONS
1. ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEE'S, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.
2. ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDIER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS. CONNECTIONS TO STRUCTURAL STEEL SHALL BE EXOTHERMIC WELDS.
- D. GROUND RODS
ALL GROUND RODS SHALL BE 5/8 -INCH DIAMETER X 10' -0" LONG "COPPERWELD" OR APPROVED EQUAL, OF THE NUMBER AND LOCATIONS INDICATED. GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.
- E. GROUND RODS
ALL GROUND RODS SHALL BE STANDARD TINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.
- F. LUGS
1. LUGS SHALL BE 2 - HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548 _BE OR EQUIVALENT
A. 535 MCM DLO 54880BE
B. 262 MCM DLO 54872BE
C. #1/0 DLO 54862BE
D. #4/0 THWN AND BARE 54866BE
E. #2/0 THWN 54862BE
F. #2 THHN 54207BE
G. #6 DLO 54205BE

2. WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:

	<u>GROUNDING CONDUCTOR SIZE</u>	<u>MINIMUM BENDING RADIUS TO INSIDE EDGE</u>
NO.	6 AWG TO NO. 4 AWG	6 INCHES
NO.	2 AWG TO NO. 1/0 AWG	8 INCHES
NO.	2/0 AWG TO 4/0 MCM	12 INCHES
	250 MCM TO 750 MCM	24 INCHES
G. GROUND RING		
1.	THE EXTERNAL GROUND RING ENCIRCLING THE TOWER (IF APPLICABLE) AND BETWEEN BETWEEN THE EQUIPMENT SHELTER PLATFORM ANCHORS SHALL BE MINIMUM NO. 2 A.W.G SOLID TINNED BARE COPPER CONDUCTOR IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF EIGHT INCHES (8").	
2.	ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUNGS OR CLAMPS WILL BE ACCEPTED.	
H. FENCE/GATE		
	GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON DRAWING GROUND CONNECTIONS TO FENCE POST AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH COLD-GALVANIZED PAINT.	

3. I.E.E.E. FALL POTENTIAL TESTS

- A. FOR RAW LAND SITE
1. GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARDS NO. 81-1983, PART 1) MAY BE USED. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED SO NOT OVERLAP. THE TEST POINT WILL BE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2 OR EQUIVALENT)
2. CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:
B. EQUIPMENT PAD
1. FIRST TEST - SHALL BE WITH FOUR GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 35 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST- SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

- C. TOWER

1. FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST- SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST (10) DAYS, THE MAXIMUM ALLOWABLE READING IS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.
D. EQUIPMENT PAD AND TOWER
1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPETE A MEGGER CHECKER OF THE GROUND SYSTEM SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS AREA OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS
(SINGLE MAST AND SELF SUPPORTING TOWERS)

1. GENERAL
A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED
B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
C. GROUNDING:
GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE.

NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT

SECTION 16745- TELECOMMUNICATIONS WIRING COMPONENT
(COAXIAL ANTENNA CABLE)

1. GENERAL

- A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS
C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS

- a. COAXIAL CABLE:
1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE FEET (3') IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
2. ALL COAX RUN LENGTHS GREATER THAN 175 FEET SHALL BE 1-5/8", ALL COAX. RUN LENGTH BETWEEN 101 FEET AND 174 FEET SHALL BE 1-1/4", AND IN LENGTH LESS THAN OR EQUAL TO 100 FEET SHALL BE 7/8".
3. ANTENNA AND COAXIAL CABLE GROUNDING
a. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)
4. COAXIAL CABLE IDENTIFICATION
a. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, PLASTIC TAGS SHALL BE USED AT THE FOLLOWING LOCATIONS:
1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
b. USE ANDREW CABLE TIES (PT. # 7290) TO SECURE IDENTIFICATION TAGS.
5. TESTING
LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR IS TO PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR IS TO PROVIDE LESSEE WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS



NO.		DESCRIPTION	DATE	BY
3		ISSUED FOR FINAL PENDING FIBER	12/21/17	JTM
4		UPDATE WITH NEW ECR	05/05/18	TJS
5		ADDITION OF ANTENNA HOUNT MOD DESIGN	02/26/18	JTM
6		ISSUED FOR FINAL WITH FIBER	03/02/18	RA
7		UPDATE ADDRESS	04/11/18	JTM
8		UPDATE PER VILLAGE COMMENTS	05/02/18	JTM
9		UPDATE WITH SHELTER & VILLAGE COMMENTS	05/11/18	TJS

LOC. # 420005
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER

SP-2



1 EXISTING OVERALL SITE
SCALE: N.T.S.



2 EXISTING COMED TOWER
SCALE: N.T.S.



4 PROPOSED LESSEE AREA LOCATION
SCALE: N.T.S.



3 EXISTING ACCESS DRIVE
SCALE: N.T.S.



5 PROPOSED LESSEE AREA LOCATION
SCALE: N.T.S.

CHICAGO
SMSA
limited partnership
d/b/a VERIZON WIRELESS



NO.		REVISIONS		DATE		BY	
				DESCRIPTION			
3				ISSUED FOR FINAL PENDING FIBER		JTM	12/21/17
4				UPDATE WITH NEW ECR		TJS	05/05/18
5				ADDITION OF ANTENNA HOUNT MOD DESIGN		JTM	02/26/18
6				ISSUED FOR FINAL WITH FIBER		RA	03/02/18
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LOC. # 420005
NW TINLEY

8201 163rd ST
TINLEY PARK, IL 60477

DRAWN BY:	DMS
CHECKED BY:	TAZ
DATE:	04/12/17
PROJECT #:	33-2357

SHEET TITLE
EXISTING SITE PHOTOS

SHEET NUMBER
P-1

SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE.

THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON DECEMBER 8, 2016.

NOT TO BE USED AS CONSTRUCTION DRAWINGS.

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM. CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.

BM#1) ELEV. 701.89'

DESCRIPTION: RAILROAD SPIKE ON THE NORTHWEST SIDE OF POWER POLE 470'± SOUTH OF SOUTH SIDE OF 163RD STREET AND 162'± EAST OF EAST SIDE OF BITUMINOUS PATH.

FLOOD PLAIN INFORMATION

WE HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE MAP AS PREPARED FOR THE CITY OF TINLEY PARK, COOK COUNTY, ILLINOIS, COMMUNITY PANEL NUMBER 17031C0704J DATED AUGUST 19, 2008, AND FIND THAT THE PROJECT SITE IS IN ZONE X (SHADED).

ZONING DATA

ACCORDING TO THE SITE CANDIDATE INFORMATION PACKAGE THIS SITE IS ZONED: NOT PROVIDED AT TIME OF SURVEY

FRONT: N/A
REAR: N/A
SIDE: N/A

BASIS OF BEARINGS

LATITUDE AND LONGITUDE OF SITE REFERENCE POINT ARE BASED ON THE HARN (HIGH ACCURACY REFERENCE NETWORK) NAD83 (CORS 96) BEARINGS ARE BASED ON IL STATE PLANE, EAST 1201 TO ORIENT DRAWING TO TRUE NORTH, ROTATE CLOCKWISE 00°20'29.60".

PROPRIETOR

COMMONWEALTH EDISON
2 LINCOLN CENTRE
OAKBROOK TERRACE, ILLINOIS 60181

EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS

THE TITLE REPORT ISSUED BY AMC SETTLEMENT SERVICES AS ORDER NO. 11590538, DATED 11/08/2016 LISTS THE FOLLOWING EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS, THAT ARE MATTERS OF SURVEY, AFFECTING THE PARENT PARCEL UNDER "SCHEDULE B":

B. SUBJECT TO GRANT FOR PUBLIC ROADWAY AND PERPETUAL EASEMENT FROM COMMONWEALTH EDISON COMPANY TO THE VILLAGE OF TINLEY PARK, AS SET FORTH IN DOC# 85227411, DATED 03/05/1985 AND RECORDED 10/09/1985, COOK COUNTY RECORDS. AFFECTS PARENT PARCEL, DOES NOT AFFECT PROJECT SITE.

LEGAL DESCRIPTION

PARENT PARCEL

ALL THAT PARCEL OF LAND IN COOK COUNTY, STATE OF ILLINOIS, AS MORE FULLY DESCRIBED IN DEED DOC # 19968835, DOC # 19971594, DOC # 19971595 AND DOC # 19985897, ID# 27-23-408-008-0000, BEING KNOWN AND DESIGNATED AS FOLLOWS:

(DOC # 19968835) THE EAST TWO HUNDRED FIFTEEN (215) FEET OF THE SOUTH TEN (10) ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER SECTION TWENTY THREE (23), ALL IN TOWNSHIP THIRTY SIX (36) NORTH, RANGE TWELVE (12) EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COUNTY OF COOK AND STATE OF ILLINOIS.

(DOC # 19971594) THE EAST 215 FEET OF THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING NORTH OF THE NORTH LINE OF THE SOUTH 20 ACRES OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 23 AND SOUTH OF THE SOUTH LINE OF THE NORTH 60 ACRES OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 23.

(DOC # 19971595) THE EAST TWO HUNDRED FIFTEEN (215) FEET OF THE NORTH TEN (10) ACRES OF THE SOUTH TWENTY (20) ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION TWENTY THREE (23), TOWNSHIP THIRTY SIX (36) NORTH, RANGE TWELVE (12) EAST OF THE THIRD PRINCIPAL MERIDIAN.

(DOC # 19985897) THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE SAID EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23; THENCE EAST ALONG THE NORTH LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, A DISTANCE OF 66.37 FEET; THENCE SOUTHERLY ALONG A STRAIGHT LINE A DISTANCE OF 1235.62 FEET TO A POINT IN WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, WHICH POINT IS 1234.26 FEET SOUTH OF THE POINT OF BEGINNING (AS MEASURED ALONG SAID WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23); THENCE NORTH ALONG SAID WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23 TO POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART THEREOF LYING IN THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23);

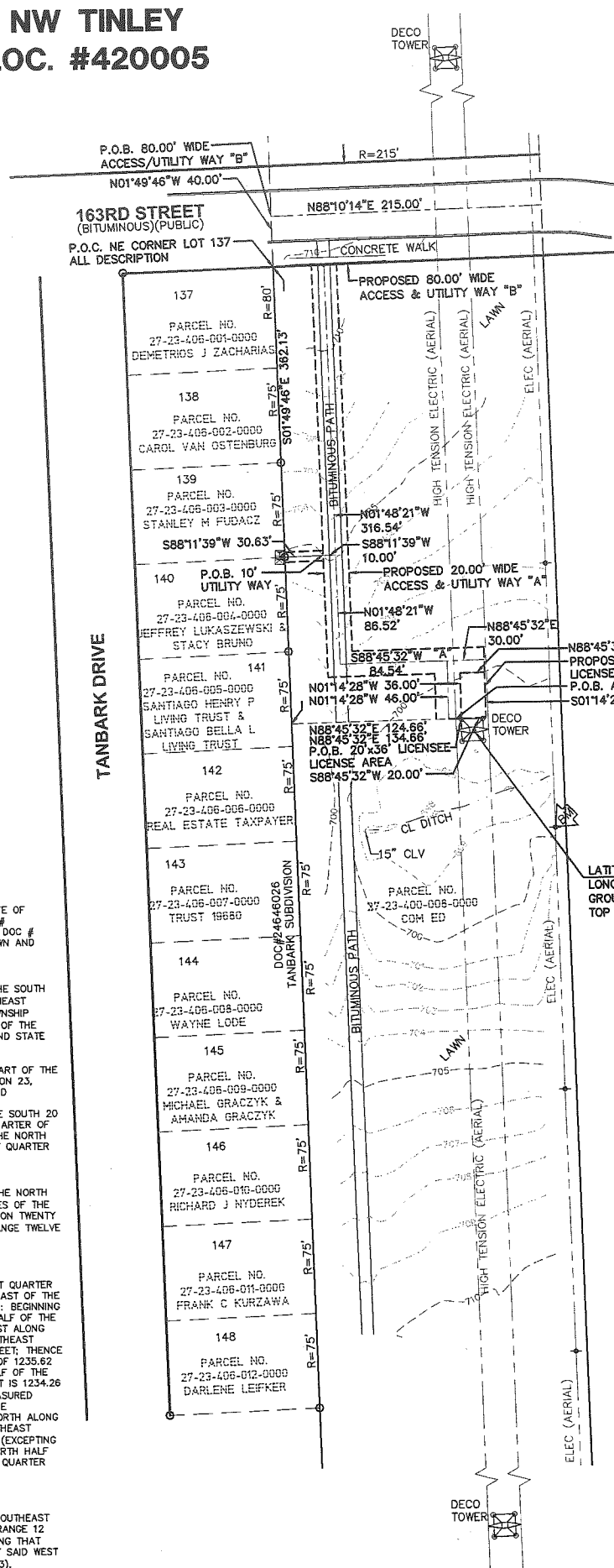
ALSO

THE EAST 215 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPTING THAT PART THEREOF LYING IN THE SOUTH 20 ACRES OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 23).

*SHOULD READ 36 NORTH

This map was made from the above legal description which was given to us as a complete description of the property. Both map and description should be compared with the Abstract of Title or Title Policy for any exceptions, encumbrances or differences in description.

NW TINLEY LOC. #420005



NOTE:
THE ORIGINAL SCALE (1"=60') OF THIS DRAWING WAS PREPARED AS A 24"X36" DRAWING ANY OTHER SIZE DRAWING IS AT A REDUCED SCALE.

CALL CHICAGO DIGGERS HOTLINE
1-312-744-7000
OR JULIE, INC. TOLL FREE
1-800-692-0128
REQUIRED MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU DIG A HOLE

LEGAL DESCRIPTION

PROPOSED LICENSEE LICENSE AREA

All that part of the East 215.00 feet of the West 1/2 of the Southeast 1/4 of Section 23, Township 36 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois, described as; Commencing at the Northeast corner of Lot 137 of Tanbark Subdivision, being a subdivision of part of the West 1/2 of the Southeast 1/4 of said Section 23, Recorded in Document No. 24646026 Cook County records; thence South 01°49'46" East 362.13 feet along the easterly line of said subdivision; thence North 88°45'32" East 134.66 feet to the PLACE OF BEGINNING OF THIS DESCRIPTION; thence North 01°14'28" West 36.00 feet; thence North 88°45'32" East 20.00 feet; thence South 01°14'28" East 36.00 feet; thence South 88°45'32" West 20.00 feet for the place of beginning of this description. Containing 720 square feet more or less.

LEGAL DESCRIPTION

PROPOSED UTILITY WAY

A 10.00 foot wide utility easement in that part of the East 215.00 feet of the West 1/2 of the Southeast 1/4 of Section 23, Township 36 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois, the centerline of which is described as; Commencing at the Northeast corner of Lot 137 of Tanbark Subdivision, being a subdivision of part of the West 1/2 of the Southeast 1/4 of said Section 23, Recorded in Document No. 24646026 Cook County Records; thence South 01°49'46" East 362.13 feet along the easterly line of said subdivision; thence North 88°45'32" East 124.66 feet; thence North 01°14'28" West 46.00 feet; thence South 88°45'32" East 84.54 feet; thence North 01°48'21" West 86.52 feet; thence South 88°11'39" West 10.00 feet to the westerly line of a 20.00 foot wide access & utility way TO THE PLACE OF BEGINNING OF THIS CENTERLINE DESCRIPTION; thence continuing South 88°11'39" West 30.63 feet to the east line of said subdivision for the place of ending of this centerline description. The sidelines to be lengthened and/or shortened to terminate at angle points at said east line.

LEGAL DESCRIPTION

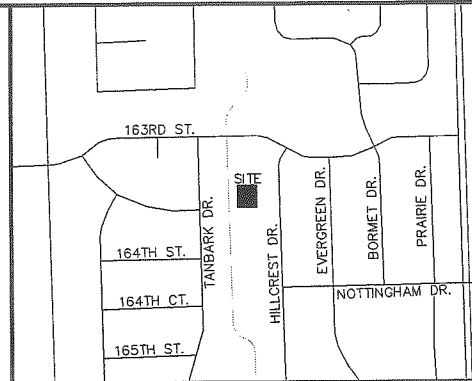
PROPOSED ACCESS/UTILITY WAY "A"

A 20.00 foot wide access and utility easement in that part of the East 215.00 feet of the West 1/2 of the Southeast 1/4 of Section 23, Township 36 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois, the centerline of which is described as; Commencing at the Northeast corner of Lot 137 of Tanbark Subdivision, being a subdivision of part of the West 1/2 of the Southeast 1/4 of said Section 23, Recorded in Document No. 24646026 Cook County Records; thence South 01°49'46" East 362.13 feet along the easterly line of said subdivision; thence North 88°45'32" East 124.66 feet TO THE PLACE OF BEGINNING OF THIS CENTERLINE DESCRIPTION; thence North 01°14'28" West 46.00 feet to a POINT "A"; thence South 88°45'32" East 84.54 feet; thence North 01°48'21" West 316.54 feet to the south line of said West 163rd Street (80.00 feet); thence recommencing at aforesaid point "A" for the place of beginning of this centerline description; thence North 88°45'32" East 30.00 feet to the place of ending of this centerline description. The sidelines to be lengthened and/or shortened to terminate at angle points at said south right of way line.

LEGAL DESCRIPTION

PROPOSED ACCESS/UTILITY WAY "B"

A 80.00 foot wide access and utility easement in that part of the East 215.00 feet of the West 1/2 of the Southeast 1/4 of Section 23, Township 36 North, Range 12 East of the Third Principal Meridian, Cook County, Illinois, the centerline of which is described as; Commencing at the Northeast corner of Lot 137 of Tanbark Subdivision, being a subdivision of part of the West 1/2 of the Southeast 1/4 of said Section 23, Recorded in Document No. 24646026 Cook County Records; thence North 01°49'46" West 40.00 feet along the easterly line of said subdivision TO THE PLACE OF BEGINNING OF THIS CENTERLINE DESCRIPTION; thence North 88°10'14" East 215.00 feet to the east line of the West 1/2 of the Southeast 1/4 of Section 23 to the place of ending of this centerline description. The sidelines to be lengthened and/or shortened to terminate at angle points at said east line.

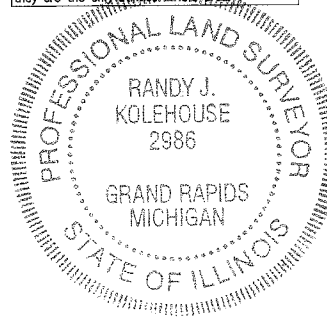


VICINITY MAP N.T.S.

LEGEND

- ▲ - TRAVERSE POINT
- ▲ - WELL
- - HIGHWAY
- ⊙ - MONUMENT
- ⊙ - MONUMENT BOX
- ⊙ - RIGHT OF WAY MARKER
- ⊙ - SET WOODSTAKE
- ⊙ - XCUT
- ⊙ - PK - PK NAIL
- ⊙ - FOUND IRON STAKE
- ⊙ - SET IRON STAKE
- ⊙ - SIGN
- ⊙ - RR SIGN
- ⊙ - GUY POLE
- ⊙ - GUY ANCHOR
- ⊙ - UTILITY POLE
- ⊙ - LIGHT POLE
- ⊙ - ORNAMENTAL LIGHT POLE
- ⊙ - POST
- ⊙ - U.G. UTILITY MARKER
- ⊙ - GROUND ROD
- ⊙ - SOIL BORING
- ⊙ - MAILBOX
- ⊙ - SATELLITE DISH
- ⊙ - HAND HOLE
- ⊙ - AC UNIT
- ⊙ - U.G. UTILITY MARKER
- ⊙ - FIRE HYDRANT
- ⊙ - POST INDICATOR VALVE
- ⊙ - WATER VALVE
- ⊙ - GAS VALVE
- ⊙ - UST FILL PORT
- ⊙ - GAS PUMP
- ⊙ - GAS METER
- ⊙ - WATER METER
- ⊙ - TELEPHONE RISER
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRIC TRANSFORMER
- ⊙ - CABLE TV RISER
- ⊙ - CATCH BASIN
- ⊙ - ROUND CATCH BASIN
- ⊙ - UTILITY MANHOLE
- ⊙ - STORM MANHOLE
- ⊙ - SANITARY MANHOLE
- ⊙ - ELECTRIC MANHOLE
- ⊙ - TELEPHONE MANHOLE
- ⊙ - WATER MANHOLE
- ⊙ - HANDICAP PARKING SPACE
- ⊙ - SHRUB
- ⊙ - TREE
- ⊙ - PINE TREE
- ⊙ - EXISTING CONTOURS
- ⊙ - TELEPHONE UTILITY LINE
- ⊙ - ELECTRIC UTILITY LINE
- ⊙ - WATER UTILITY LINE
- ⊙ - GAS UTILITY LINE
- ⊙ - STEAM UTILITY LINE
- ⊙ - STORM UTILITY LINE
- ⊙ - SANITARY UTILITY LINE
- ⊙ - FIBER OPTIC UTILITY LINE
- ⊙ - OVERHEAD UTILITY LINE
- ⊙ - FENCE LINE
- ⊙ - GUARD RAIL

All utilities as shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be in exact location nor should it be assumed that they are the only utilities in the area.



I, Randy J. Kolehouse, do hereby certify that the drawing shown hereon is a correct representation of a survey performed at and under my direction.

All dimensions shown are in feet and decimal parts thereof.

Given under my hand and seal this 11th day of April, 2018.

Randy J. Kolehouse
Randy J. Kolehouse
Illinois Professional Land Surveyor No. 2986
Expires November 30, 2018

Note: This certification only applies to improvements within the lease site and easements as shown hereon.

ILLINOIS REGISTERED DESIGN FIRM
LICENSE NUMBER 184.007034
LICENSE EXPIRES: APRIL 30, 2019

CHICAGO SMSA

limited partnership

d/b/a VERIZON WIRELESS

NW TINLEY LOC. #420005

Survey Prepared for:



Project Manager: Tom Zimmermann

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED SITE ADDRESS	04/11/18

williams&works

engineers | surveyors | planners
616.224.1500 phone
549 Ottawa Ave NW
http://williams-works.com
Grand Rapids, MI 49503

NW	NE
SW	SE
23-36-12	

DATE: 12/08/16	DWG. BY: A.S.
SCALE: 1"=60'	SURVEYED: D.S.
UPDATE: WBM041118	CHKD BY: R.J.K.
PROJECT NO.: 211005.620	

SITE NAME

NW TINLEY

LOCATION NUMBER

LOC. #420005

SITE ADDRESS

8201 163RD STREET
TINLEY PARK, ILLINOIS
60477

SHEET TITLE

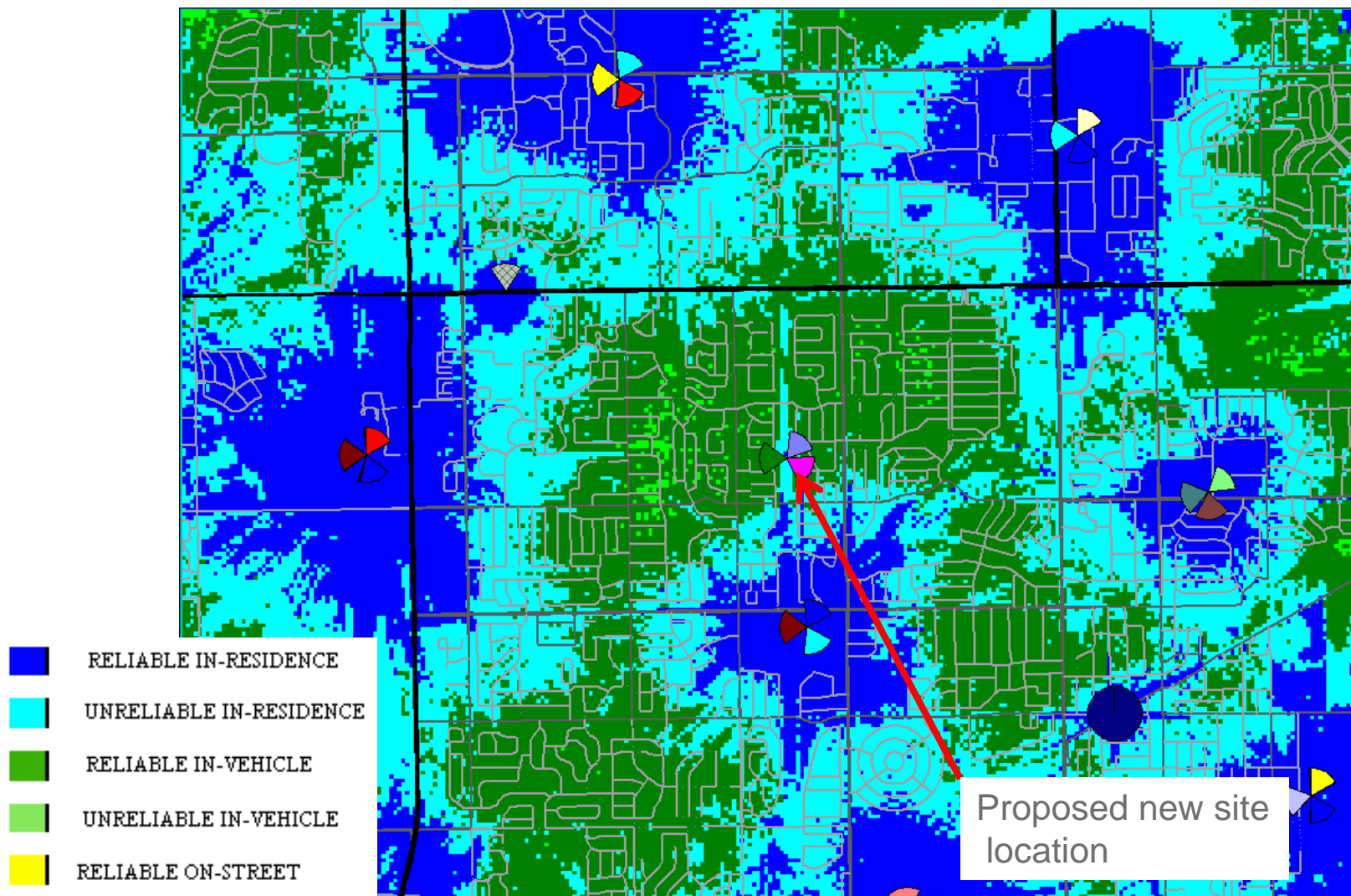
PS-1



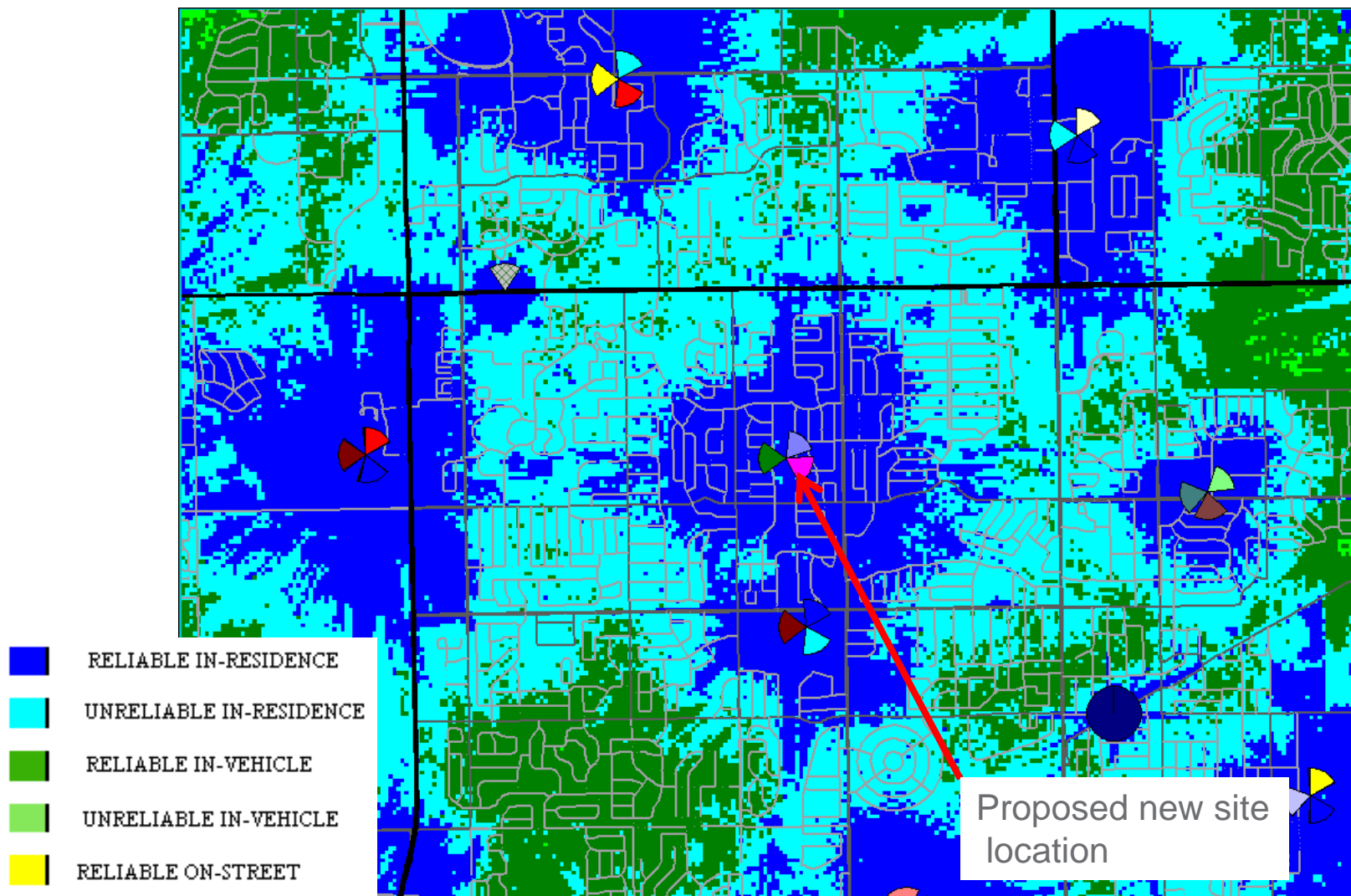
NW Tinley

Pre & Post Simulations

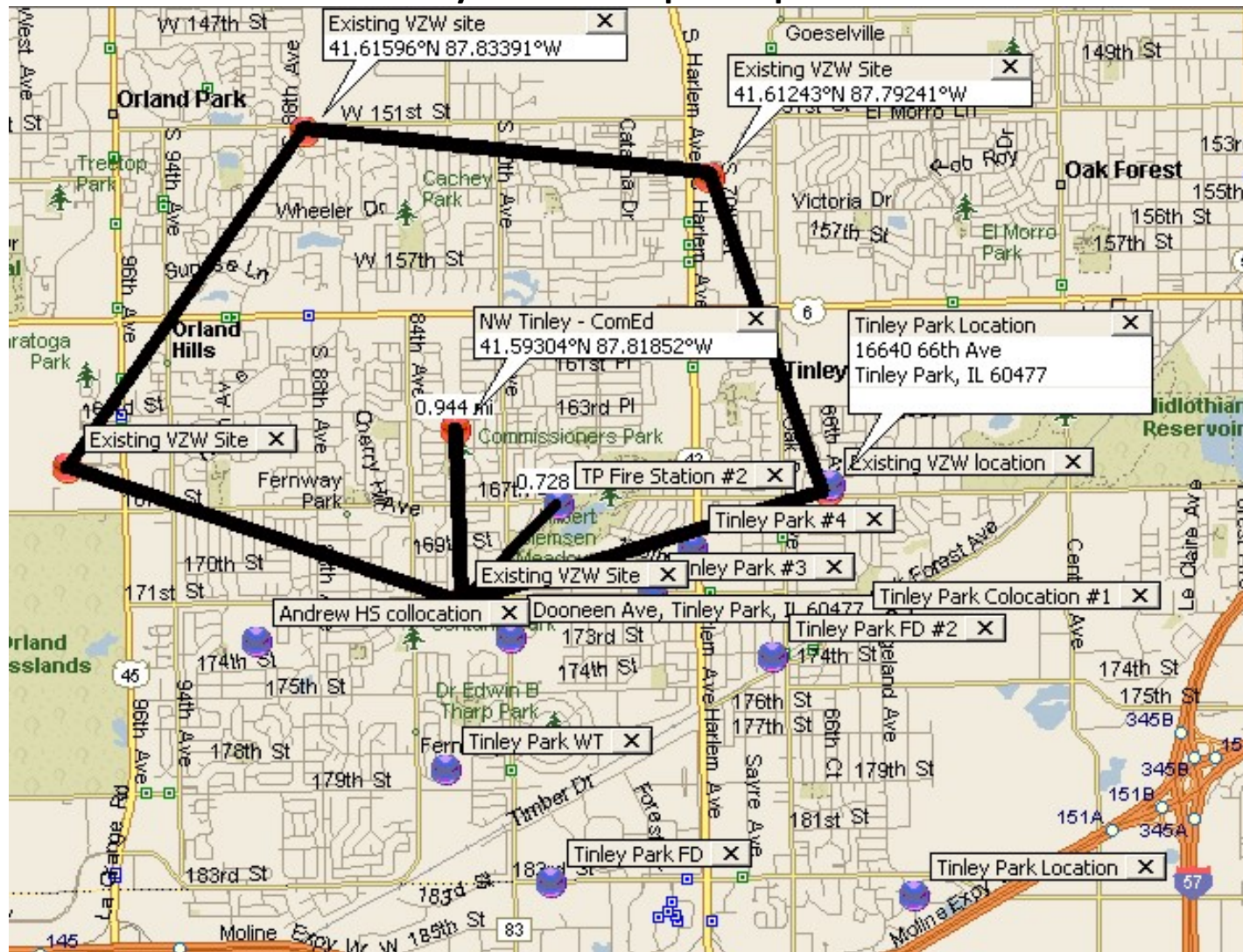
Without Proposed NW Tinley Site



With Proposed NW Tinley Site @ 150'



NW Tinley Tower Inventory Tinley Park Municipal Properties



Existing VZW Sites shown in RED (●) dots – Tinley Park properties shown in PURPLE (●) dots

The only municipal property that is remotely close to the desired coverage area is TP Fire Station #2 as seen above
TP Fire Station #2 coverage prediction is available in a separate document

PLAN COMMISSION STAFF REPORT

June 07, 2018



Petitioner

Haitham Abuzir,
Jackson Hewitt

Property Location

6787 W. 159th Street

PIN

28-19-200-021-0000

Zoning

B-3

Approvals Sought

Site Plan Approval
Special Use Permit
Variance

Project Planner

Kimberly Clarke
Planning Manager

HAITHAM ABUZIR

6787 W. 159th Street



EXECUTIVE SUMMARY

Consider granting Site Plan approval and consider a request for a Special Use Permit from the Petitioner, Haitham Abuzir, to construct a residential apartment on the second floor in the B-3 Zoning District with the common address of 6787 W. 159th Street. Additionally, the following Variations are requested:

1. Section V.C.2- To reduce the minimum useable floor area per dwelling by 82 square-feet to permit the construction of a one bedroom apartment that is less than the required 800 square feet to 718 square feet.
2. Section III A.7 - To permit parking within a required front yard along 159th Street and Oak Park Avenue.
3. Section III C.2- To reduce the required off-street parking area setback from the required five (5) feet to zero (0) for the parking lot along Oak Park Avenue and to reduce the required off-street parking area setback from the required five (5) feet to one (1) foot for the parking area along 159th Street.
4. Section VII.A.10- To reduce the required off-street parking spaces by fourteen stalls to permit a total of 29 parking stalls instead of the required 43 stalls.

A Public Hearing for these requests is scheduled for Thursday, June 21, 2018.

EXISTING SITE & HISTORY

The building has historically been used for commercial purposes (Jardine's Restaurant, a cleaner's, a quilting/sewing store, and various offices for uses such as dentistry, accounting, and real estate), taking advantage of the high visibility at the intersection of two major commercial corridors (159th Street & Oak Park Avenue). As an older building with functional obsolescence and an awkward site plan, the property has experienced a high vacancy rate. This, coupled with declining maintenance and non-conformities, has decreased the financial viability for the property. In Cook County, there is a tax advantage for mixed-use developments. The Applicant is requesting a Special Use Permit to allow for the construction of a residential unit on the second floor in order to take advantage of a reduced tax rate for the property. This request was previously granted per Ordinance No. 2017-O-002 to the then owner, Mack Companies, who has since sold it to the petitioner Haitham Abuzir. Special Uses do not run with the land, so the new owner is required to come before the Plan Commission and Village Board to request a new Special Use.

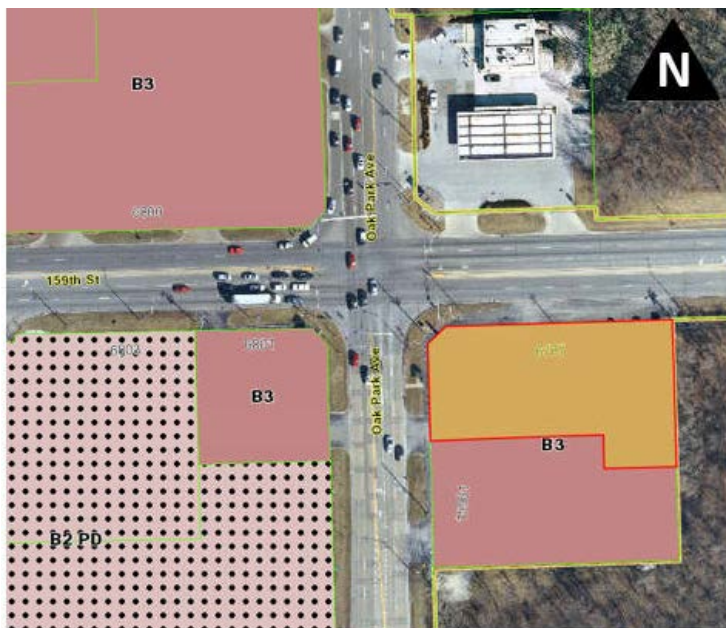


The property consists of a single parcel of 0.69 acres in area with an existing commercial/office building. This property is known as "High Pointe Centre" due to the higher elevation near the intersection of 159th Street and Oak Park Avenue. The existing building includes commercial/office tenant space on the first floor and basement. A small portion of the northeast corner of the building includes a second floor, which is where the Applicant proposes to create a one-bedroom residential unit.

ZONING & NEARBY LAND USES

The zoning of the site at 6787 159th Street (highlighted in yellow) is B-3 (General Business and Commercial). The site is bordered by other commercial uses on the north, west, and south sides and Forest Preserve on the east side. Adjacent commercial uses include Menard's, Brown's Chicken, Delta Sonic, Aurelio's Pizza, and a Shell gas station. Staff also notes that this property is adjacent to unincorporated properties to the north and east sides.

The property was granted a Special Use per Ordinance No. 2017-O-002 to permit a residential dwelling unit on the 2nd floor. This ordinance is no longer valid because the ownership of the property has changed.

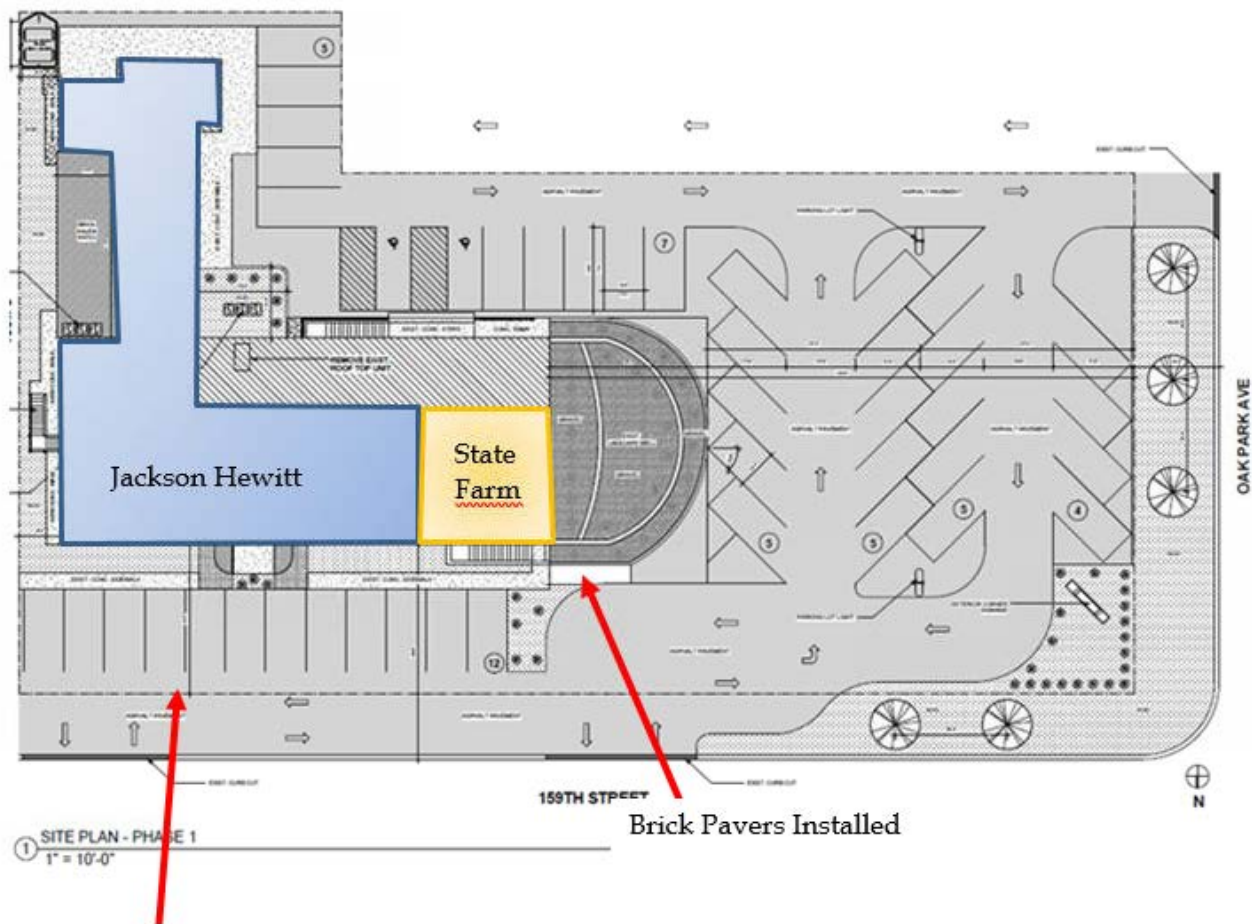


SITE PLAN

The Applicant desires to approach the site plan improvements (parking lot and landscaping) in two (2) phases due to the timing of relocating the business's headquarters to this location and getting IDOT approval for work proposed in the R.O.W. The Applicant's business, Jackson Hewitt, will occupy approximately 4,115 SF of the first floor and will have ten (10) employees working at this location. There is a second tenant space on the first floor comprised of 1,271 SF

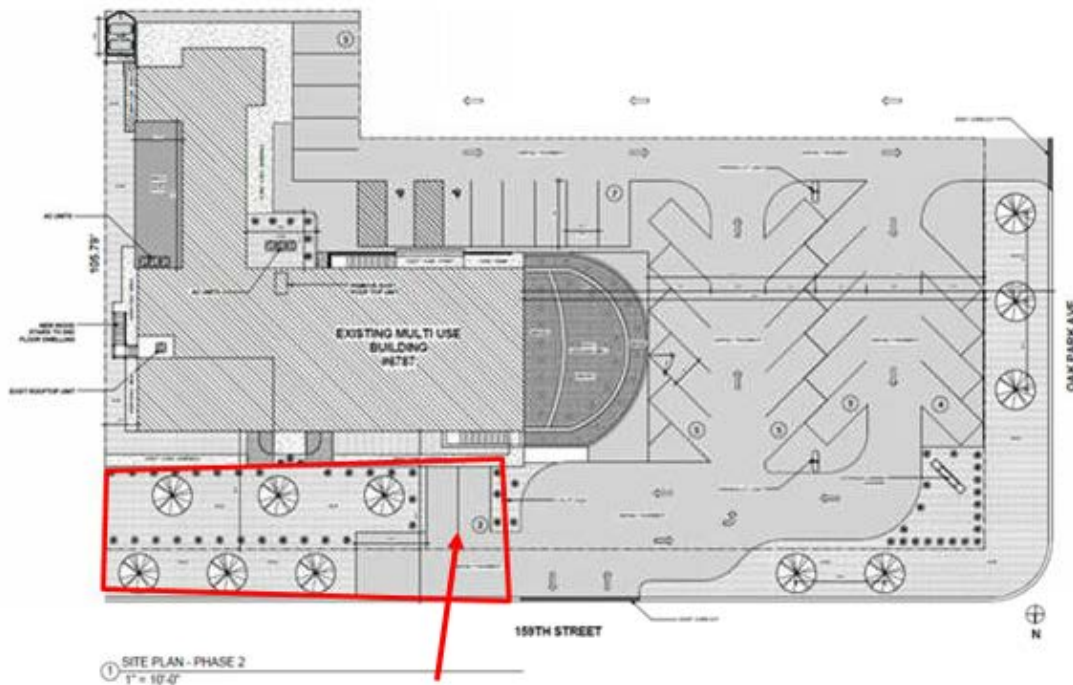
that will be occupied by a State Farm agent. The remaining office space of 2,494 SF is located in the basement of the building which does not have a tenant lined up as of date. The second floor is designed for a one-bedroom apartment. Access to the 2nd floor apartment will be from the entryway off of 159th Street. Inside of the foyer there is a staircase leading to the 2nd floor. There will be a new staircase constructed on the east side of the building from the 2nd floor dwelling unit to provide a secondary exit out of the dwelling unit. The current parking lot configuration is considered nonconforming in regards to the parking lot setbacks and landscaping requirements. The parking in front of the building along 159th Street encroaches within the State's R.O.W. and cannot continue unless the owner gets a permit from the Illinois Department of Transportation. The parking stalls along Oak Park Avenue are required to be setback a minimum of five (5) feet.

The Phase 1 improvements (shown below) propose maintaining the nonconforming parking stalls and drive aisle in front of the building along 159th Street. The remaining portion of the parking lot would be restriped. Landscaping will be installed around the proposed monument sign and the Oak Park Avenue parkway trees and foundation plantings are to be installed.



Nonconforming parking in IDOT R.O.W.

The Phase 2 improvements (shown below) plan to remove the parking and drive aisle along 159th street and replace with sod and plantings. The owner proposes maintaining two (2) parking stalls on the north side of the building for the apartment use. This phase is subject to IDOT approval. Staff has advised the applicant that they do not believe IDOT will allow the property to continue to use their R.O.W. It should be noted the curb cut on 159th Street will be restricted to 30 feet in width. The plans shows a curb cut of 33 feet.



Parking needs IDOT approval

Open Item #1: The applicant needs to submit plans to IDOT for approval for the phase 2 plans as shown.

PARKING

The site originally had forty-one (41) parking spaces, eleven (11) of which are located at the front (north side) of the building. Staff researched the requirements for parking for the site within Section VIII.A.10. of the Zoning Ordinance and found that the parking regulations require two and one-half (2.5) parking spaces per dwelling unit. The proposed uses for the first floor and basement will be for professional offices. The parking requirements for a business/professional office is one (1) parking space per two hundred fifty (250) square feet of floor space.

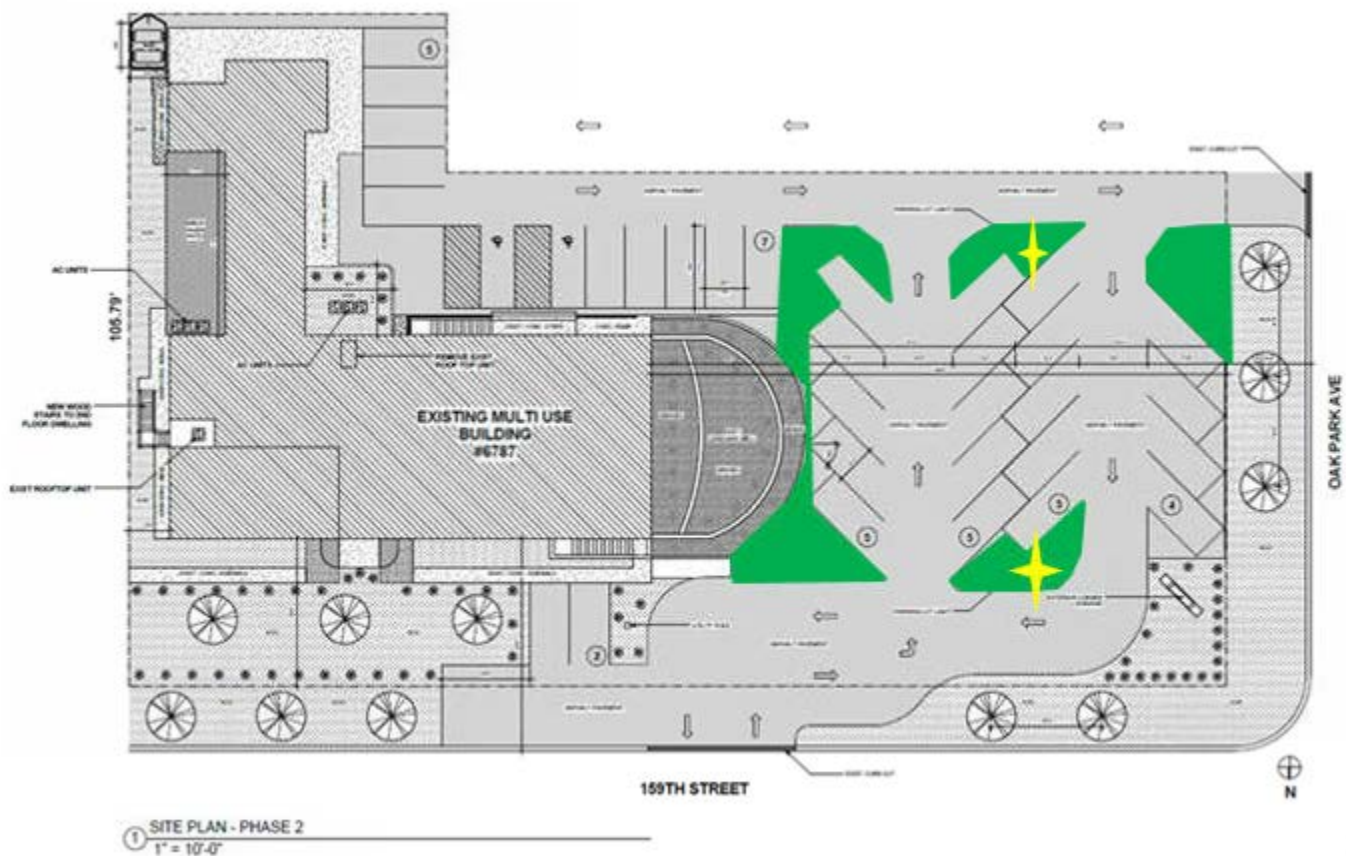
Per the floor plans provided to the building department, the tenant space on the first floor and basement is 9,794 square feet. Per the parking calculations for a dwelling and the office space available, the site requires forty-three (43) parking spaces $((9,794 / 250) + (2.5 \text{ spaces/du}) = 43)$; therefore the parking as shown in phase 1 meets the required parking. However, in phase 2 there will be a loss of 12-14 parking stalls giving the site a total of 29-31 available parking stalls.

It should be noted the Petitioner has a private shared parking agreement with the property owner to the south (Aurelio's Pizzeria).

LANDSCAPE

Staff encourages the Plan Commission to decrease the number of nonconformities on the site where it is economically feasible. This includes encouraging the property owner to bring the landscaping into compliance.

The site lacks front bufferyard landscaping along the west (Oak Park Avenue) and north (159th Street) side of the site. Since the lot is adjacent to another parking lot on the south side, a bufferyard is not required. The Forest Preserve borders the east side of the site. Staff notes that the foundation landscaping is minimal along the west and north sides. The owner has installed a brick paver patio on the east side of the building and has started planting the foundation plantings. Since this site will not be redeveloped anytime soon, this is the Village's only chance to improve the landscaping on the site. The use of landscape islands (shown in green) will define the pavement and parking stalls as well as guide cars as they drive through the lot. The owner has installed two light poles (shown in yellow) with bases that can also be protected by the installation of landscape islands.



Open Item #2: Provide a landscape plan that identifies the plant material to be installed.

Open Item #3: As part of phase 1 parking lot improvements, the applicant should install landscape islands in the east parking lot as shown above.

Open Item #4: If IDOT requires the proposed parking stalls in phase 2 to be removed, the a revised landscaping plan will need to be submitted to staff for review showing this area being landscaped.

ARCHITECTURE

The petitioner has started modifications to the existing façade of the building. The roof was replaced, the dormers have been covered, the front entrance off of 159th street has been modified and the exterior has been painted. Staff recommends the incorporation of an awning on the front façade along 159th street to give the building more of a commercial look to it.

Before - 2016:



Current - 5.31.18:



SIGNAGE

The Petitioner took down the existing nonconforming pole sign (picture to right) and plans to replace it with a ten (10) foot ground base sign that conforms to our current sign regulations and located in the landscape area at the corner of Oak Park Avenue and 159th Street.



LIGHTING

The Applicant has installed two (2) new parking lot lights in the west parking lot.

Open Item #5: Provide staff with a photometric plan and cut sheets of proposed light fixtures.

ABOUT THE SPECIAL APPROVALS NEEDED (SPECIAL USE, VARIATION, REZONING)

Section V.B. Schedule I- Requires a residence, when located above or to the rear of a principle use in the B-3 District to be permitted by a Special Use Permit.

Open Item #6: A Special Use Permit is required to be granted to permit the construction of a residential dwelling unit on the 2nd floor in the B-3 Zoning District.

Section V.C.2- To reduce the minimum useable floor area per dwelling by 82 square-feet to permit the construction of a one bedroom apartment that is less than the required 800 square feet to 718 square feet.

Open Item #7: A Variation of 82 square-feet is required to permit the construction of a one (1) bedroom apartment on the 2nd floor of the building.

Section III A.7 - To permit parking within a required front yard along 159th Street and Oak Park Avenue.

Open Item #8: A Variation is required to maintain the existing parking lot within the front yard along Oak Park Avenue and 159th Street.

Section III C.2- To reduce the required off-street parking area setback from the required five (5) feet to zero (0) for the parking lot along Oak Park Avenue and to reduce the required off-street parking area setback from the required five (5) feet to one (1) foot for the parking area along 159th Street.

Open Item #9: A Variation of five (5) feet from the required off-street parking area setback is required for the parking lot along Oak Park Avenue and a Variation of one (1) foot from the required off-street parking area setback is required to permit two (2) parking stalls along 159th Street.

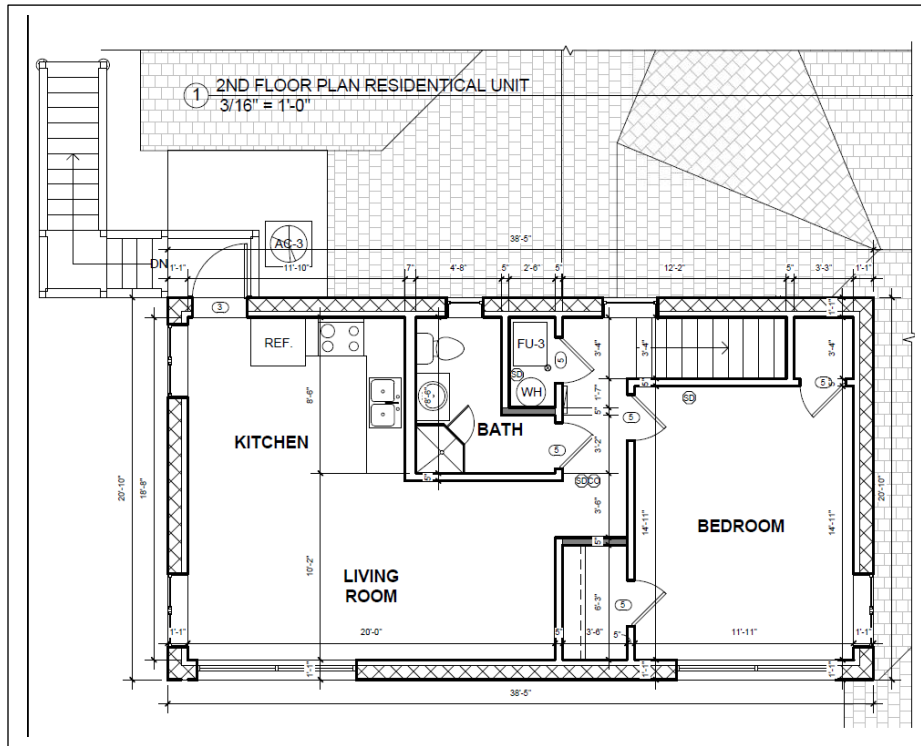
Section VII.A.10- To reduce the required off-street parking spaces by fourteen (14) parking stalls to permit a total of 29 parking stalls instead of the required 43 parking stalls.

Open Items #10: A Variation to reduce the required number of parking stalls by fourteen (14).

PROPOSED USE

A residential unit located above or behind a principal use in B-1, B-2, or B-3 Zoning Districts requires a Special Use Permit (SUP). The Applicant proposes to remodel the existing second floor of the building into a one-bedroom, 718 square foot residential unit. Staff notes that Section V.C.2. of the Zoning Ordinance stipulates that a one-bedroom residential unit is required to be a minimum of 800 square feet. The owner and previous owner have expressed a need to incorporate a residential unit on the second floor to help offset the property taxes on the building in order for this property to remain viable.

The future resident would park at the front of the building (near 159th Street) and would enter their unit through the main entrance vestibule on the north side of the building. The second-floor unit's entrance door leads to a stairway then up to the second-floor hallway for the unit. The proposed plans (see below) indicate one (1) bedroom, one (1) bathroom, a storage room, and a combination kitchen/living/room.



Since the applicant is proposing site improvements that are contingent on IDOT approval, it should be a recommendation that the Special Use Permit and variations are contingent on the application getting IDOT's approval. In addition, a cash bond should be held by the Village to ensure the site improvements are completed and a certain time frame should be added as well.

Open Items #11 The Variations and Special Use requested will be contingent on the applicant getting IDOT approval for the improvements along 159th Street. A building nor occupancy permit will be issued for the 2nd floor apartment until such improvements are approved and a building permit is issued for them.

SUMMARY OF OPEN ITEMS

Staff identified the following open items for discussion at the workshop:

1. *The applicant needs to submit plans to IDOT for approval for the phase 2 plans as shown.*
 2. *Provide a landscape plan that identifies the plant material to be installed.*
 3. *As part of phase 1 parking lot improvements, the applicant should install landscape islands as shown above.*
 4. *If IDOT requires the proposed parking stalls in phase 2 to be removed, the a revised landscaping plan will need to be submitted to staff for review showing this area being landscaped.*
 5. *Provide staff with the a photometric plan and cut sheets of proposed light fixtures*
 6. *A Special Use Permit is required to be granted to permit the construction of a residential dwelling unit on the 2nd floor in the B-3 Zoning District.*
 7. *A Variation of 82 square-feet is required to permit the construction of a one (1) bedroom apartment on the 2nd floor of the building.*
 8. *A Variation is required to maintain the existing parking lot within the front yard along Oak Park Avenue and 159th Street.*
 9. *A Variation of five (5) feet from the required off-street parking area setback is required for the parking lot along Oak Park Avenue and a Variation of one (1) foot from the required off-street parking area setback is required to permit two (2) parking stalls along 159th Street*
 10. *A Variation to reduce the required number of parking stalls by fourteen (14).*
 11. *The Variations and Special Use requested will be contingent on the applicant getting IDOT approval for the improvements along 159th Street. A building permit nor occupancy permit will be issued for the 2nd floor apartment until such improvements are approved and a building permit is issued for them.*
-

STANDARDS FOR A SITE PLAN APPROVAL

Section III.T.2. of the Zoning Ordinance requires that Planning Staff must find that the conditions listed below must be met. Staff will prepare draft responses for these conditions within the next Staff Report.

- a. That the proposed Use is a Permitted Use in the district in which the property is located.
- b. That the proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.
- c. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient, and convenient movement of traffic, not only within the site but on adjacent roadways as well.
- d. That the Site Plan provides for the safe movement of pedestrians within the site.
- e. That there is a sufficient mixture of grass, trees, and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public; any part of the Site Plan area not used for buildings, structures, parking, or access-ways shall be landscaped with a mixture of grass, trees, and shrubs.
- f. That all outdoor trash storage areas are adequately screened.

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Staff will provide draft Findings in the Staff Report for the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

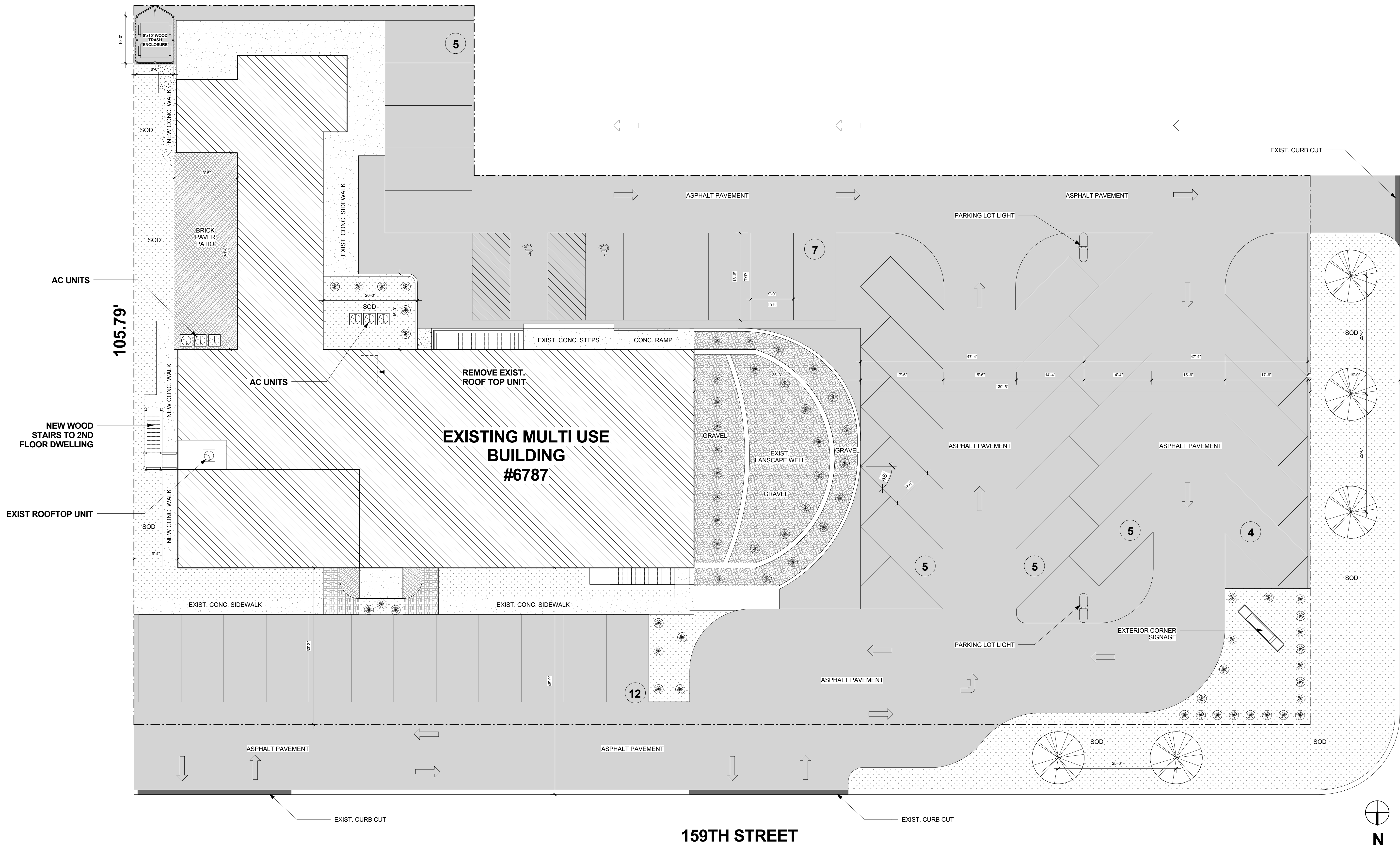
STANDARDS FOR A VARIATION

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff will prepare draft responses for the Findings of Fact within the next Staff Report.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
2. The plight of the owner is due to unique circumstances.
3. The Variation, if granted, will not alter the essential character of the locality.
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
 - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
 - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
 - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

LIST OF REVIEWED PLANS

[illegible]



1 SITE PLAN - PHASE 1
1" = 10'-0"

SITE PLAN

COPYRIGHT BAU DESIGN & DEVELOPMENT



DATE: 05-22-2018
PROJECT: #17-121 DB
SHEET NO.

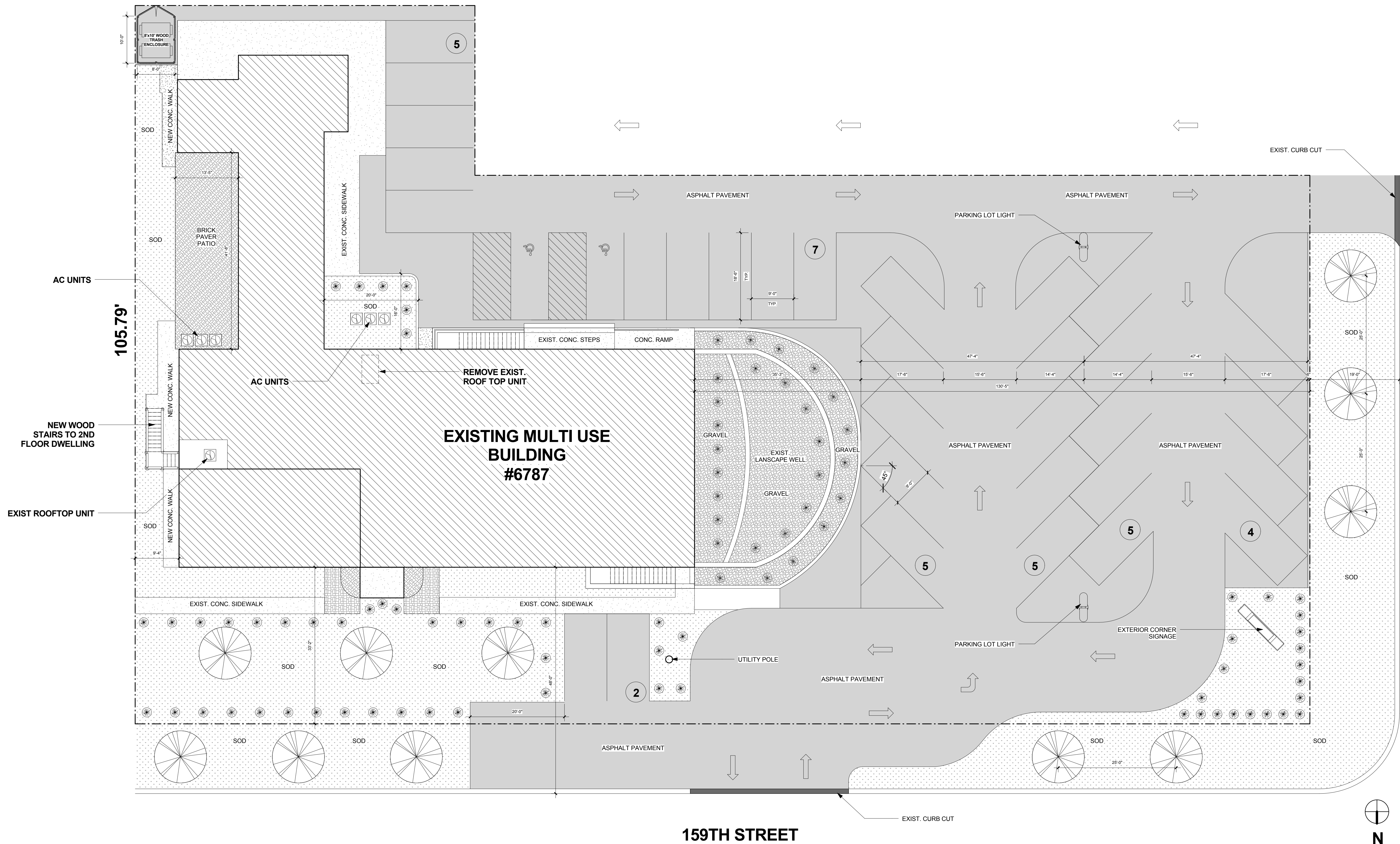
A100

REMODEL OF EXISTING MULTI USE BUILDING
6787 159TH STREET
TINLEY PARK, IL 60477

BAU
Design & Development
1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archdb26@gmail.com

OAK PARK AVE

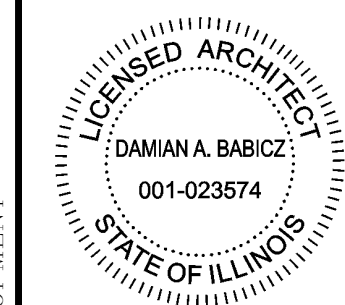
159TH STREET



1 SITE PLAN - PHASE 2
1" = 10'-0"

SITE PLAN

COPYRIGHT BAU DESIGN & DEVELOPMENT



DATE: 05-22-2018
PROJECT: DB
SHEET NO.

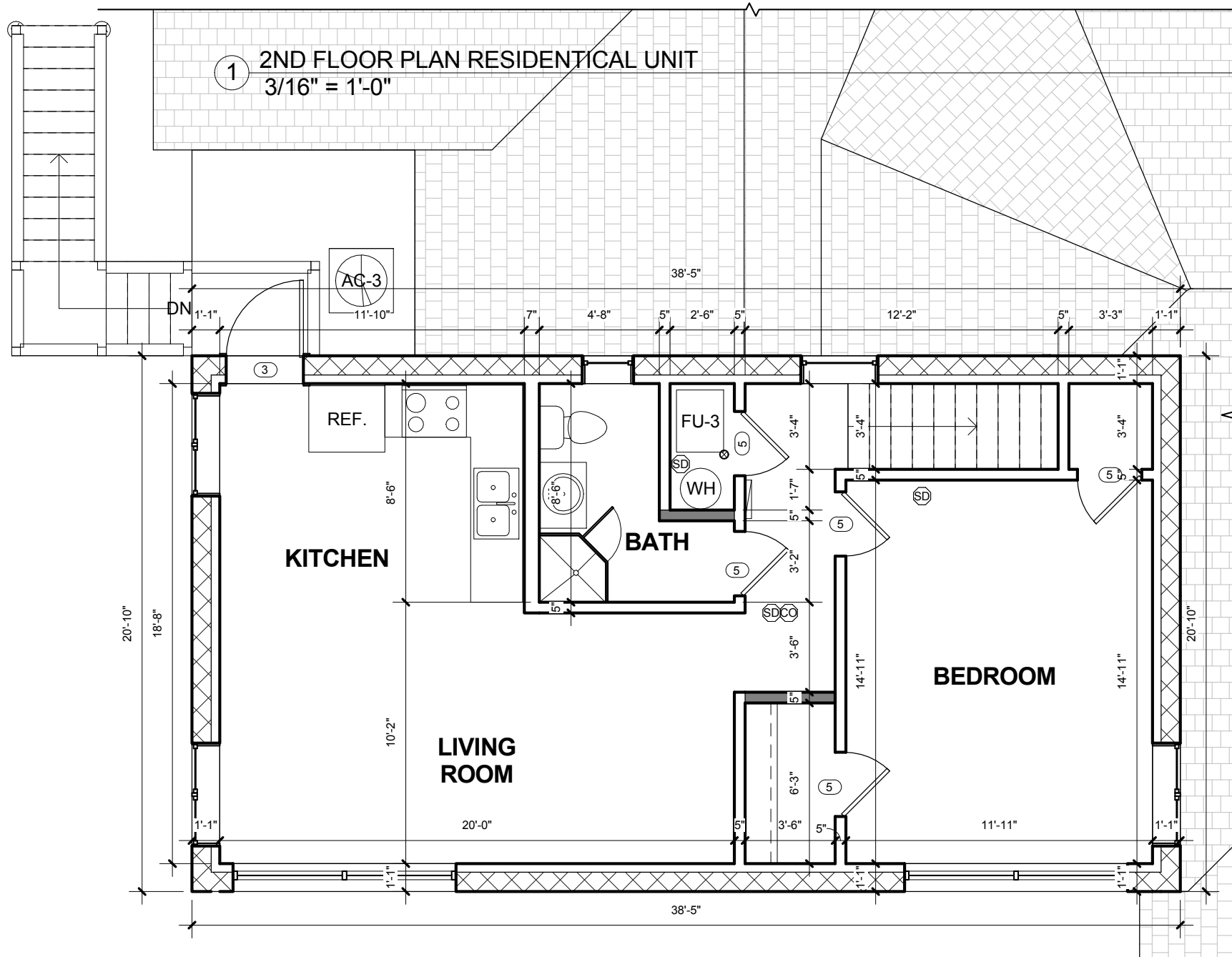
A101

REMODEL OF EXISTING MULTI USE BUILDING
6787 159TH STREET
TINLEY PARK, IL 60477

BAU
Design & Development
1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archdb26@gmail.com

OAK PARK AVE

159TH STREET



1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archdb26@gmail.com

BAU
Design & Development



Exp: 11/2018

REMODEL OF EXISTING
MULTI USE BUILDING

COPYRIGHT BAU DESIGN & DEVELOPMENT

6787 159TH STREET

TINLEY PARK, IL 60447

SHEET NO.

1

5/24/2018 4:27:53 PM

R.H. GRANATH
SURVEYING SERVICE,P.C.
PH: (708) 371-4478
FAX (708) 371-3922

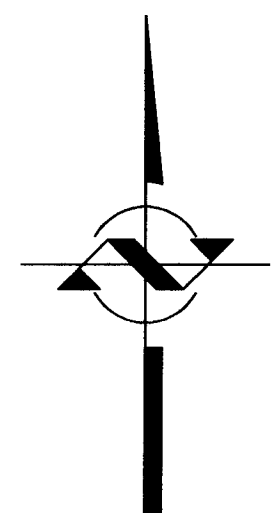
PLAT OF SURVEY

of

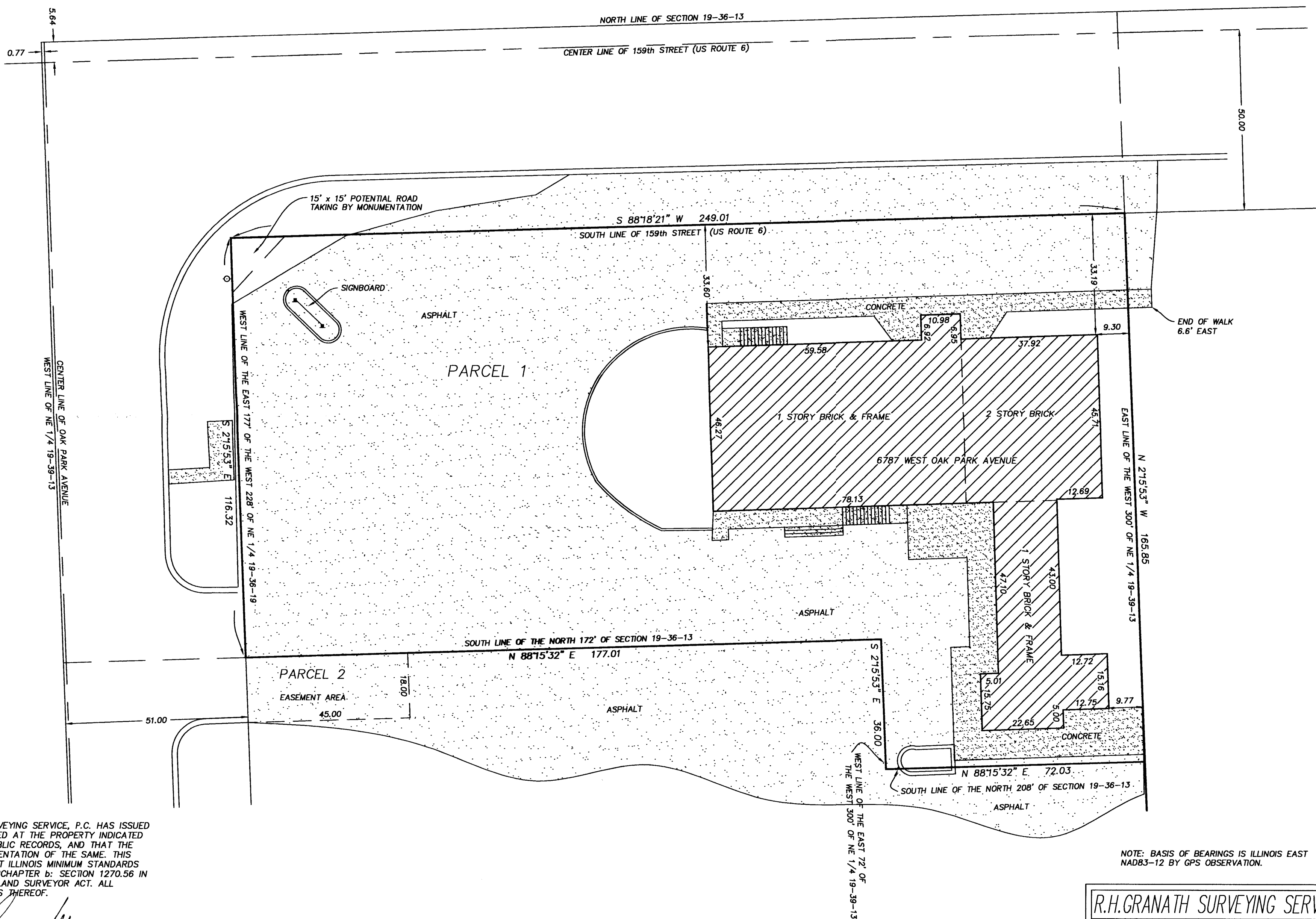
R.H. GRANATH
SURVEYING SERVICE,P.C.
6006 W. 159th. STREET BLDG. B
OAK FOREST, IL. 60452

PARCEL 1: THE NORTH 208 FEET OF THE EAST 72 FEET OF THE WEST 300 FEET AND THE NORTH 172 FEET OF THE EAST 177 FEET OF THE WEST 228 FEET (EXCEPTING THEREFROM THAT PART TAKEN BY THE STATE OF ILLINOIS FOR HIGHWAY PURPOSES) ALL IN THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 OVER THE SOUTH 18 FEET OF THE NORTH 190 FEET OF THE EAST 45 FEET OF THE WEST 96 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 19, AFORESAID AS CREATED BY INSTRUMENT RECORDED JULY 13, 1989 AS DOCUMENT NUMBER 89318211.



SCALE 1" = 20'



STATE OF ILLINOIS)
COUNTY OF COOK)

THIS IS TO CERTIFY THAT R.H. GRANATH SURVEYING SERVICE, P.C. HAS ISSUED THIS PLAT FROM FIELD SURVEY DATA OBTAINED AT THE PROPERTY INDICATED IN THE CAPTION LEGAL DESCRIPTION AND PUBLIC RECORDS, AND THAT THE FOREGOING IS A TRUE AND CORRECT REPRESENTATION OF THE SAME. THIS PLAT OF SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE PER TITLE 68 CHAPTER VII, SUBCHAPTER b: SECTION 1270.56 IN THE RULES FOR THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

STEVEN R. GRANATH I.P.L.S. No. 3169
VALID ONLY IF EMBOSSED SEAL IS AFFIXED

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES
AT ONCE REFER TO DEED OR TITLE POLICY FOR BUILDING LINES OR EASEMENTS

NOTE: BASIS OF BEARINGS IS ILLINOIS EAST
NAD83-12 BY GPS OBSERVATION.

R.H.GRANATH SURVEYING SERVICE,P.C.	
DATE SEPTEMBER 7, 2017	DRAWN BY:
DRAWING NO. CAD 0017-09-005	CAD/SRG
PROJECT 6787 WEST 159th STREET LOCATION TINLEY PARK, ILLINOIS	
CLIENT: 159 OAK PARK LLC	

VILLAGE OF TINLEY PARK

APPLICATION FOR SITE PLAN APPROVAL

PROJECT NAME: 159 Oak Park LOCATION: 6787 W 159th ST

The undersigned hereby requests that the Plan Commission and/or the Village Board of the Village of Tinley Park, Illinois consider authorizing Site Plan Approval for the project described within.

APPLICANT INFORMATION

Name: Haitam Abuzn
Company: _____
Mailing Address: 17045 Windsor Ct Homer Glen IL 60491
Phone (Office): _____
Phone (Cell): _____
Fax: _____
Email: _____

If the Applicant is not the property owner, describe the nature of the Applicant's interest in the property and/or the relationship to the property owner:

PROPERTY INFORMATION

Property Address: 6787 W. 159th St, Tinley Park IL
PIN(s): 28-19-200-021-0000
Existing Land Use: Commercial
Zoning District: _____
Lot Dimensions: 249 x 116 x 177 x 36 x 72 x 166
Property Owner(s): 159 OAK PARK LLC
Mailing Address: 17045 Windsor Ct, Homer Glen IL 60491

APPLICATION INFORMATION

Description of proposed project (use additional attachments as necessary):

the property is in full remodel with exterior building work including a new roof, landscaping. ALSO interior will be remodeled.

Is the Applicant aware of any variations required from the terms of the Zoning Ordinance? If yes, please explain and note that a separate Variation Application is required with the submittal.

☒ No ☐ Yes: _____

The Applicant certifies that all of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.

Sig 

5/23/18

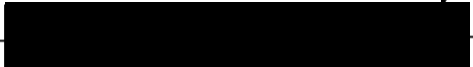
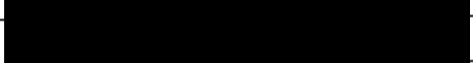

Date

VILLAGE OF TINLEY PARK


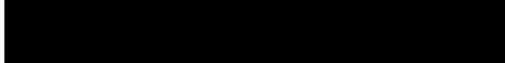

SITE PLAN APPROVAL
CONTACT INFORMATIONPROJECT NAME: 159 OAK PARK LOCATION: 6787 W. 159TH ST

In order to expedite your site plan submission through the planning process, the Village of Tinley Park requires the following contact information. Please provide the information requested and return to the Planning Department. Your prompt attention is greatly appreciated.

CURRENT PROPERTY OWNER OF RECORD

Name: Haitham Abuzn
Company: 159 OAK PARK LLC
Address: 6787 W. 159TH ST, Tinley Park
Phone: 
Fax: 
Email: 

PROJECT ARCHITECT

Name: Amran Said
Company: AAU Design & Development
Address: 1302 South 5th Ave
Phone: 
Fax: 
Email: 


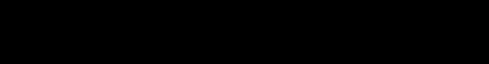

PROJECT ENGINEER

Name: N/A
Company: _____
Address: _____
Phone: _____
Fax: _____
Email: _____

PROJECT LANDSCAPE ARCHITECT

Name: N/A
Company: _____
Address: _____
Phone: _____
Fax: _____
Email: _____

ATTORNEY

Name: John Mraibie
Company: Mraibie & Associates
Address: 14497 John Humphrey Dr Ste 200
Phone: 
Fax: 
Email: 

END USER



Name: Current owner
Company: _____
Address: _____
Phone: _____
Fax: _____
Email: _____

VILLAGE OF TINLEY PARK

SITE PLAN APPROVAL
RESPONSIBLE PARTIESPROJECT NAME: 159th Oak ParkLOCATION: 6787 W. 159th ST

Please provide name, address and telephone number of the person/firm that will be responsible for payment of plan review, engineering, landscaping, attorney and building permit fees in the space provided below. If only one party will be responsible for all fees, please list that party's contact information under "General Billing."

GENERAL BILLING

Name: MIKE ABUZZIRCompany: 159 OAK PARK LLCAddress: 6787 W. 159th ST, Tinley ParkPhone: Fax: Email: 

RESPONSIBLE FOR PLAN REVIEW FEES

Name: SAME

Company: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

RESPONSIBLE FOR BUILDING PERMIT FEES

Name: SAME AS ABOVE

Company: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

RESPONSIBLE FOR ATTORNEY FEES

Name: SAME

Company: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

RESPONSIBLE FOR ENGINEERING/
CONSTRUCTION OVERSIGHT FEESName: SAME

Company: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

RESPONSIBLE FOR LANDSCAPE REVIEW
FEESName: SAME

Company: _____

Address: _____

Phone: _____

Fax: _____

Email: _____