

## **NOTICE OF THE REGULAR MEETING OF THE PLAN COMMISSION**

The regular meeting of the Plan Commission is scheduled for  
Thursday, August 6, 2020 beginning at 7:00 p.m.

A copy of the agenda for this meeting is attached hereto and  
can be found at [www.tinleypark.org](http://www.tinleypark.org).

### **NOTICE - MEETING MODIFICATION DUE TO COVID-19**

Pursuant to Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, and Executive Order 2020-39, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on May 29, 2020, the members of the Plan Commission will be participating in the meeting through teleconference.

A livestream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-10 and CDC guidelines, no more than 10 people will be allowed in the Council Chambers at any one time. Anyone in excess of 10 people will be asked to wait in another room with live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments.

***Public comments or requests to speak may also be emailed in advance of the meeting to [clerksoffice@tinleypark.org](mailto:clerksoffice@tinleypark.org) or placed in the Drop Box at the Village Hall by noon on Thursday, August 6, 2020.***

Kristin A. Thirion  
Clerk  
Village of Tinley Park



**AGENDA FOR REGULAR MEETING  
VILLAGE OF TINLEY PARK  
PLAN COMMISSION**

**August 6, 2020 – 7:00 P.M.  
Council Chambers  
Village Hall – 16250 S. Oak Park Avenue**

**Regular Meeting Called to Order**

**Roll Call Taken**

**Communications**

**Approval of Minutes:** Minutes of the July 16, 2020 Regular Meeting

**ITEM #1      PUBLIC HEARING – Tinley Park Plaza Redevelopment, 15917-16037 S. Harlem Ave. -  
Special Use for Planned Unit Development & Site Plan Approval  
(Open and Table to August 20, 2020)**

Consider recommending that the Village Board grant Andrew Balzar, Brixmor Property Group, on behalf of Centrol/IA Tinley Park Plaza, LLC (property owner) a Special Use for a Planned Unit Development with exceptions related to Phase I of the redevelopment of Tinley Park Plaza located at 15917-16037 S. Harlem Avenue. The project will include the demolition of 87,000 sq. ft of existing building on the northern portion of the center and the construction of the core and shell of approximately 66,600 sq. ft for retail uses and general improvements to the in-line tenants including façade improvements, landscaping and parking lot improvements.

**ITEM #2      WORKSHOP – Fox College Parking Lot/Detention Addition, 18020 Oak Park Ave. & 18017  
Sayre Ave. - Rezoning, Plat, Variations & Site Plan Approval**

Consider recommending that the Village Board grant George Arnold, on behalf of Gamma Tinley LLC (d/b/a Fox College), a Map Amendment (rezoning) and Variations from the Zoning Ordinance, upon annexation of two parcels that total approximately 1.33 acres in size at 18017 Sayre Avenue. Upon Annexation, the two parcels are proposed to be consolidated with the parcels located at 18020 Oak Park Avenue for a total land area of 5.68 acres and the parcel will be zoned NG (Neighborhood General). The requests, Site Plan Approval and Final Plat Approval will allow for the currently unincorporated lots to be developed with a parking lot expansion and detention pond for Fox College.

**ITEM #3      WORKSHOP – Hailstorm Brewing Patio Addition, 8060 186<sup>th</sup> St. –  
Special Use for PUD Deviations & Site Plan Approval**

Consider recommending that the Village Board grant Chris Schiller, on behalf of Hailstorm Brewing Company and Tomcat Properties (Owner), a Special Use Permit to amend the Mercury Business Centre Planned Unit Development to allow for Exceptions from Section III.J. (Fence Regulations) and Section VIII.A.10 (Required Parking Spaces) of the Zoning Ordinance. The Special Use and Exceptions and Site Plan Approval will permit a permanent outdoor patio to be constructed at the Hailstorm Brewing Co. property located at 8060 186<sup>th</sup> Street in the M-1 PD (General Manufacturing, Mercury Business Centre PUD) zoning district.

**Good of the Order**

**Receive Comments from the Public**

**Adjourn Meeting**





**MINUTES OF THE REGULAR MEETING OF THE  
PLAN COMMISSION, VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS**

**July 16, 2020**

The meeting of the Plan Commission, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on July 16, 2020.

At this time, CHAIRMAN GRAY, stated the meeting was being held remotely consistent with Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, Executive Order 2020-39, and Executive Order 2020-44, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on June 26, 2020, the members of the Village Board will be participating in the meeting through teleconference.

A live stream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-43 and CDC guidelines, no more than 50 people or 50% of the maximum capacity will be allowed in the Council Chambers at any one time, so long as attendees comply with social distancing guidelines. Anyone in excess of the maximum limit will be asked to wait in another room with a live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments. CHAIRMAN GRAY confirmed Commissioners and Staff were able to communicate. All replied affirmatively. CHAIRMAN GRAY then addressed ground rules for the effective and clear conduct of Plan Commission business.

Secretary Bennett called the roll.

Present and responding to roll call were the following:

Chairman Garrett Gray (Participated electronically)  
Eduardo Mani (Participated electronically)  
James Gaskill (Participated electronically)  
Kehla West (Participated electronically)  
Steven Vick (Participated electronically)  
Angela Gatto (Participated electronically)  
Mary Aitchison (Participated electronically)

Absent Plan Commissioners:

Lucas Engel

Village Officials and Staff:

Paula Wallrich, Interim Community Development Director (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

**CALL TO ORDER**

PLAN COMMISSION CHAIRMAN GRAY called to order the Regular Meeting of the Plan Commission for July 16, 2020 at 7:00 p.m.

**COMMUNICATIONS**

None

**APPROVAL OF MINUTES**

Minutes of the July 2, 2020 Regular Meeting of the Plan Commission were presented for approval. A Motion was made by COMMISSIONER GATTO, seconded by COMMISSIONER WEST to approve the minutes as presented.

AYE: COMMISSIONERS GATTO, MANI, VICK, GASKILL, WEST, AITCHISON and CHAIRMAN GRAY.

NAY: None.

CHAIRMAN GRAY declared the Motion approved by voice vote.

DRAFT

**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**  
**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**  
**SUBJECT: MINUTES OF THE JULY 16, 2020 REGULAR MEETING**

**ITEM #1 WORKSHOP – Tinley Park Plaza Redevelopment, 15917-16037 S. Harlem Avenue -  
Special Use for Planned Unit Development & Site Plan Approval**

Consider recommending that the Village Board grant Andrew Balzar, Brixmor Property Group, on behalf of Centrol/IA Tinley Park Plaza, LLC (property owner) a Special Use for a Planned Unit Development with exceptions related to Phase I of the redevelopment of Tinley Park Plaza located at 15917-16037 S. Harlem Avenue. The project will include the demolition of 87,000 sq. ft of existing building on the northern portion of the center and the construction of the core and shell of approximately 66,600 sq. ft for retail uses and general improvements to the in-line tenants including façade improvements, landscaping and parking lot improvements.

Present were the following: Chairman Garrett Gray (Participated electronically)  
Eduardo Mani (Participated electronically)  
James Gaskill (Participated electronically)  
Kehla West (Participated electronically)  
Steven Vick (Participated electronically)  
Angela Gatto (Participated electronically)  
Mary Aitchison (Participated electronically)

Absent Plan Commissioners: Lucas Engel

Village Officials and Staff: Paula Wallrich, Interim Community Development Director (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

Guests: All Guests Participated electronically  
Andy Balzer (Project Director, Brixmor), Brad Rataczak (Brixmor), Andrew Scott (Legal, Brixmor), Mark Mockus (Woolpert), Jason Golub (Woolpert), Chris Ludwig (Woolpert), Tim Reber (Woolpert), Ryan Walter (Woolpert), John Martin (Woolpert).

Paula Wallrich, Acting Community Development Director presented the Staff Report. The redevelopment of Tinley Park Plaza is critical for the success of the Harlem Avenue commercial corridor. The antiquated shopping center (constructed in 1974) comprises over 22 acres and approximately 244,132 sq. ft. of retail/service space. Currently, it is experiencing vacancies upwards of twenty percent with significant leases expiring within the next few years. Brixmor Property Group is proposing a complete remodel of the plaza. The project is planned in phases with the first phase completed in 2015 involving the construction of a 9,100 sq. ft. multi-tenant retail building at the north end of the property. The current proposal represents the second phase of the project which will involve the demolition of approximately 87,000 sq. ft. of existing buildings and the construction of approximately 67,110 sq. ft. in new retail space. The proposal includes façade improvements, landscaping, and new parking lot reconfiguration/reconstruction. Brixmor anticipates beginning this second phase in the fall of 2020 with completion by June 2021. The third phase will involve the redevelopment of the southern portion of the center.

Upon acquisition Brixmor representatives began discussions with staff to work through various site plan scenarios. In 2015 they presented the first phase of their redevelopment project with the development of the 9,100 sq. ft. multi-tenant retail building in the out lot at the north end of property. In 2019 further discussions with staff resulted in the current proposal which reflects input from staff and current and future tenants. The current proposal for the second phase of this redevelopment project will be anchored by two main tenants: a 25,000 sq. ft. soft good retailer and a 38,436 sq. ft. full-service grocer. The total area of commercial space in this phase is approximately 100,000 sq. ft. The demolition of 87,000 sq. ft. with the reconstruction of 57,000 sq. ft. that will include a new soft good retailer and grocery store. The demolition proposed with the second phase will end at the north side of the current Rue 21 store. The proposed sidewalk in front of the grocery store will continue to the Rue 21 store and landscaping has been proposed to soften the transition. The third phase will comprise the balance of the plaza to the south with a total area of

121,862 sq. ft. There is also an out lot at the south end of the plaza that comprises 13,260 sq. ft. This is scheduled to begin construction in the fall of 2020 with occupancy in 2021.

Tinley Park Plaza is located in the B-2 Community Shopping and is part of one of the Village's major commercial corridors located on Harlem Avenue. A mapping error was discovered in researching the zoning for this parcel. Since 1977 the property has been noted as a Planned Unit Development (PUD) however the property was annexed in 1968 with a B-2 (Community Shopping) zoning designation and there is no record of subsequent zoning for a PUD. Therefore, as part of the zoning entitlement for this property a PUD will be approved.

The subject property is zoned B-2 Community Shopping with property to the north and east also zoned B-2 and developed with commercial uses. The property to the west across Harlem Avenue (Park Center Plaza) is zoned B-3 (General Business and Commercial) as is Park Place to the southwest (Previous K-Mart complex). The property to the south is zoned B-4 (Office and Service Business) and is occupied by a medical facility.

Ms. Wallrich displayed a diagram of the portion of the building that will be demolished. The new construction west façade will be moved back for a larger parking field and a much straighter line access to the center. This will be a much cleaner access way to the development. The thing that changes the most is the parking field that is between the two access ways off of Harlem Avenue. They have taken the four north aisles and kept those as diagonal. The main parking fields in front of the soft goods store and the grocer will be traditional perpendicular parking. The change in the design allows for perpendicular parking right up to the building. This not only provides a traffic calming measure for the access aisle but it also creates a more pedestrian-friendly character for the center, reminiscent of traditional downtowns and a common design element in new lifestyle centers (Bolingbrook Promenade). It also provides additional convenient parking and safer accessible parking spaces. Crosswalks have been provided at strategic locations as well as cart corrals.

The Village code requires 26' drive aisles in parking lots. The main aisles in the plaza have been designed at 26.5'. The diagonal parking aisles are 18' as required by code. The aisles in the north parking lot are 26' or greater. The remaining aisles are noted as 24' wide. The Village has approved parking aisles at 24' in other developments such as Sam's Club, Marriott hotels, and the Brixmor out lot; none of which have proven problematic to traffic flow. Minimum 24' widths are a pretty standard requirement in most communities. Meeting the 26' requirement code will result in loss of parking and landscape buffers. If the Commission supports this change it will need to be noted as an exception to the Village Code as part of the PUD.

Ms. Wallrich displayed photos of the areas where delivery trucks have run over the landscape islands. The east side, or rear of the building currently functions as the delivery aisle for all the tenants. There are multiple access points depending on where the tenant is located and the configuration of the docks. The additional width of the east-west lane on the north side of the property provides the necessary lane width to accommodate these turning movements without running over the curb and landscaping, however Staff has requested further explanation of how the access lane will be striped to clarify lane usage for vehicular traffic. Staff has also requested the north parking lot be reconfigured to ensure safe access at the northwest corner of the lot. The grocer has provided a truck study that follows the path shown below but does not encroach in on-coming traffic lanes. At the very least we want to make sure that while addressing the wheel drag and the need for the delivery vehicles we have not made awkward points of conflict between the parking lot and the access ways.

They will be striping the access way and there is a bump-out in the northwest corner of the site that will be removed. The plans they are proposing will clean this up and make it much safer. We will make sure to finalize the delivery access and ensure that the east/west lane is better defined. There will be an expectation of 7 trucks per day for deliveries. They will confirm the delivery schedule but are expected at off-hours.

Staff has worked closely with the developer to ensure adequate pedestrian access is provided to and through the site. A 6' sidewalk traverses the site along Harlem Avenue consistent with the sidewalk provided in the out lot. Due to the narrow parkway along segments of the ROW, the sidewalk encroaches on private property in some areas; this was the situation with the sidewalk for the out lot as well. There is also utility poles and fire hydrants in the way of a straight alignment; therefore, the sidewalk has been designed around some of these encumbrances. Those areas where the public walk encroaches onto private property will require a "Sidewalk and Public Access Easement Agreement" consistent with what was approved with the out lot development. Bike parking has been provided at the southwest corner of the proposed grocery store.

There are two trash enclosures at the rear of the grocery store. The trash detail indicates ground face "Oldcastle Burnished Finish" CMU enclosure which is a decorative concrete block. Per code (Section III. U.6.j.) trash enclosures must be "screened on three

sides by a masonry wall consistent with the architecture and building material for the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel.” The proposal meets the intent of the ordinance. There are several existing unenclosed trash enclosures along the rear of the property. Since these are not located in a defined enclosure they are haphazardly strewn throughout the rear delivery lane. As part of the renovation project, all dumpsters will need to be enclosed in appropriate enclosures. Staff is recommending this be a condition of the PUD. There is also a Mobile Generator in the rear of the grocer that will require screening and needs to be revised.

Ms. Wallrich displayed renderings of the proposed buildings showing a parapet on the front, but lacks around the corner. The bracing is visible. All mechanical systems must be screened from view. The applicant has provided elevations (north, east, and south) showing some of the rooftop RTUs. Staff has requested verification that they cannot be seen from public view. A site line study is being prepared and will be presented.

The grocer anticipates a need for some seasonal outdoor sales along the frontage of the store and/or in the parking lot. This can be addressed as part of an Outdoor Sales Display Level 1 application which requires administrative approval. Level 1 outdoor sales allows for this temporary use upon administrative approval for seasonal displays between April 15 and October 15. However, the applicant is requesting sales beyond this time frame (for winter holiday displays). This can be provided within the PUD as an exception.

Parking is an imperfect science and zoning ordinances do their best to assign ratios based on the average intensity of the uses. In a large multi-tenant plaza such as TPP there are many shared parking opportunities as well as a wide range of intensity of uses amongst its tenancy. The original Tinley Park Plaza PUD was approved with 200,365 sq. ft. gross leasable area and 929 parking spaces resulting in an overall parking ratio of 4.64 parking spaces per 1,000 sq. ft. of gross leasable floor area for the entire plaza. There are several parking fields separated by access drives for this shopping center; the 4.64 ratio represents an overall ratio regardless of land uses or physical relationship between the parking field and destination. Staff has provided an analysis of parking fields divided by the access drive on the north. This assumes that the parking surrounding the out lot has little utility for the in-line tenants south of the access drive especially since the north parking lot can provide parking for the most northern in-line tenant(s). It is also important to note that the introduction of a grocer in this phase shifts some of the parking load from the south parking field (south of the 161<sup>st</sup> Street access) to this phase. As with most grocers, there are expectations by the tenant for a certain parking ratio; the developer has stated that the grocer is looking for a 4.5/1,000 sq. ft. ratio to serve their grocery store.

There are 424 parking spaces in the parking field south of the north access drive serving approximately 85,804 sq. ft. of retail space. This translates to a 4.94/1,000 sq. ft. ratio which exceeds the grocer requirement of 4.5/1,000 sq. ft. There are 59 spaces surrounding the out lot and with the proposed revisions to the north lot there are 34 spaces for a total of 93 parking spaces to serve approximately 22,690 sq. ft of retail space. This translates to a ratio of 4.09/1,000 sq. ft. This is less than the 4.64 ratio approved originally for the center; the decrease is due to the loss of the 8 parking spaces in the north lot. Staff anticipates a redesign of the north parking lot which should maintain the existing number of parking spaces which will increase the ratio to 4.45/1,000 sq. ft. which is more closely aligned with the original 4.64 ratio approved with the original plaza.

Analyzing the parking for this entire area (Phase I & II) results in a total provision of 517 spaces as proposed or 525 spaces if the north lot is revised. The total square footage of retail is 108,494 sq. ft. for a total overall ratio of 4.76/1,000 sq. ft. or 4.83/1,000 sq. ft., both of which exceed the original approved ratio for the center of 4.64 parking spaces per 1,000 SF. As a point of comparison, the Zoning Ordinance requires 6.5 spaces per 1,000sq. ft. of gross leasable floor area for a planned shopping center. However, that ratio dates back to the 80’s and 90’s. By today’s standard this is excessive and is based on ‘the day after Thanksgiving’ parking counts. If the current standard is applied to this center, a total of 705 parking spaces is needed just for this phase or 180 additional parking spaces. It is staff’s contention that retail locations are often ‘overparked’ resulting in seas of asphalt that are mostly unused and result in high energy, development and environmental costs. As society continues to trend to more efficient modes of travel and less car-dependent shopping patterns, it is Staff’s opinion that the relationship and proximity of parking to the uses, along with a balance of green space and good circulation patterns, translates to an appropriate parking ratio as proposed. As an exception to the code it will however still need to be noted as part of the PUD approval.

The existing architecture of Tinley Park Plaza is outdated and in need of significant remodeling. Staff has worked with the applicant to create an updated and modern look with quality materials that reflect some of the characteristics of the newly constructed out lot. The proposed design of the in-line stores and the existing design of the out lot building are compatible and consistent in architectural style, form, height, exterior building materials, fenestration, storefront systems as well as the color palettes.

The style and building forms, specifically the vertical and horizontal articulation, as seen on the horizontal metal awnings, brick pilasters, and stepped tenant facades, promote continuity between the in-line and out lot stores. Traditional aluminum storefront entry and glazing systems exist on both buildings. In addition, they are of similar height and both use similar exterior materials such as brick, stone accents, and EIFS. The brick veneer, decorative modern wall lighting, and earth-tone EIFS colors help create consistent façade treatments throughout the site.

For the proposed building size, the code requires that 25% of the building façade utilize face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material. Alternate building materials can comprise no greater than 15% of any façade. The proposed façade of the in-line store retains the existing brick knee wall and introduces a combination of brick, horizontal wood-look fiber cement panel, stone and EIFS accent bands and reveals. The façade includes accents of suspended metal canopies and standing seam metal roofs in strategic locations.

The two larger lease spaces at the south end of this phase deviate from the in-line tenant architecture to reflect some of the unique branding of the future soft goods retailer and grocer. While distinct in style, they maintain an aesthetic connection to the rest of the center through the sleek modern look of the building materials which reflect an architectural style with appropriate scale, massing, and height. The soft goods tenant utilizes pre-cast concrete with a masonry pattern with porcelain tile accent areas near the entryway. The large scored panels at the entryway provide a backlit illumination panel that provides a dramatic effect in evening hours. The alucobond portal system pronounces the entryway with a distinguished brushed metal finish. The grocer also utilizes Stonewood phenolic panels (cementitious panels) in grey with corrugated metal and “electric lime” banding under the awnings for a striking yet understated accent. These materials represent a new trend in building materials that are durable, cost-effective, and modern in aesthetic.

The percentage of the building materials for the overall west façade is reflected below. It does not meet the 25% brick requirement (16% is brick or stone) or the 75% alternate masonry material (13% is pre-cast). A total of 15% of the façade can be used for architectural accents. There are several building material types listed that are not masonry that comprise 71% of the façade. These materials are listed as approved alternated materials (fiber cement, metal, phenolic panels, EIFS, and tile) and are typically used as accents and therefore are limited to 15% of the façade. In the proposed architecture some of these materials represent the primary façade treatment (such as metal or phenolic panels) and therefore necessarily exceed the 15% that was designed for accent treatments. The use of these ‘accent materials’ (fiber cement, phenolic panels, and metal represent a modern architectural style to the façade. The pre-cast concrete panel meets code requirements with its masonry pattern and constitutes less than 15% of the façade (13% is proposed).

WEST ELEVATION MATERIAL PERCENTAGE		
MATERIAL	AREA	% OF (TOTAL-GLASS)
BRICK/ STONE	2940 SQ. FT.	16%
PRE-CAST WITH MASONRY PATTERN	2310 SQ. FT.	13%
FIBER CEMENT	3517 SQ. FT.	19%
METAL	5365 SQ. FT.	29%
PHENOLIC PANELS	2775 SQ. FT.	15%
E.I.F.S.	1251 SQ.FT.	7%
PORCELAIN TILE	156 SQ. FT.	1%
TOTAL - GLASS	18,314 SQ. FT.	

Overall the west façade of this renovation phase is consistent with the design guidelines outlined in Section III.U. which requires attention to cohesive building design through the use of architectural style and building materials; compatible architecture with appropriate rhythm along the entire length of the façade in terms of scale, massing and setback; building articulation by introducing opportunities for shadow patterns with varied setbacks and canopies; and the screening of mechanical systems and trash enclosures.

Ms. Wallrich displayed photos of the proposed building materials. Ms. Wallrich noted that the architecture wraps around the side. They have suggested a painted mural. Staff has suggested using something that involves the Tinley Park music branding.

A Photometric Plan has been provided that provides light readings for the property as well as cut sheets for the selected light fixtures and standards. The light fixtures limit off-site glare and are consistent with lighting established in the out lot. The parking field in front of the grocer represents the highest food candles; the readings at the majority of the property line meet ordinance limits of 2 foot-candles. The tallest light standard is 40’ which is consistent with existing poles in the parking lot. The maximum

height allowed per ordinance is 25'. If the Commission approves this height variation it will be noted as an exception in the PUD ordinance. There are floodlights highlighting the front of the grocery store.

The proposed landscape plan represents an improvement over existing conditions. Attempts have been made to meet landscape requirements especially with respect to bufferyards. Staff has prioritized entryways and foundation planting with a sensitivity to retain viewsheds from Harlem Avenue. With the increased sidewalk and pedestrian-friendly character along the front façade, low accent plantings and movable planters have been prioritized here that will animate the sidewalk zone. While most of the areas in front of the in-line tenants and soft goods store have included planting beds the area in front of the grocery store is provided with only movable planters; permanent planting beds are required to meet code requirements. All foundation planting beds must have a curbed edge to retain mulch.

Due to the limited parkway area along Harlem Avenue and constraints of the existing parking field/access configuration, staff supports increasing the size of shade trees from 2.5" cal. to 4" as a means to mitigate the deficiencies in bufferyard plantings; this will also provide for a more instant dramatic impact. The bufferyard for the east property line is accomplished with the existing solid wood fence. Any deficiencies in the fence will need to be corrected as a condition of PUD approval. All parking islands have been increased from the original proposal to a minimum width of 3.5' with many meeting the 9' width requirements. All planting areas will be irrigated; planting areas along the foundation will be required to have couplers to allow for easy irrigation of movable planters

Currently, there are 4 ground-mounted signs on the property. The main pylon sign located at the 161<sup>st</sup> Street access, will be removed and replaced with a 20' multi-tenant sign ground-mounted sign. The maximum height allowed for ground-mounted signs is 10'; however, there is precedent for a 20' tall freestanding sign for the shopping center across the street. This exception will need to be recognized as part of the PUD approval.

The overall frontage of the plaza exceeds 1,000 l.f. and therefore is allowed three (3) freestanding signs directly adjacent to the public frontage. Currently, there are four (4) freestanding signs on the property. With the three signs proposed as part of this phase, the Walt's freestanding sign will meet to be removed as part of the terms of their lease. This will be made a condition of the PUD.

Free-standing signs must be set back a minimum of ten feet (10') from the property lines and shall not obstruct clear sight triangles near intersections. The proposed 20' ground-mounted sign and the 10' ground sign at the south end of the plaza do not meet these requirements. The 20' sign cannot meet the required setback without closing the access from the parking lot to the 161<sup>st</sup> Street access therefore this exception will need to be noted as part of the PUD approval. The same configuration exists for the 10' sign at the south end of the plaza and will also require an exception. The 10' ground sign at the north entrance from Harlem does meet the 10' setback requirement.

The applicant has been encouraged to submit a comprehensive sign package for wall signs however one has not been submitted and therefore will not be approved as part of the PUD.

Preliminary engineering is still under review. Fire Department has approved the proposed plans.

The following open items are recommended for discussion at the workshop:

#1	<b>Discuss the exception to the required 26' aisle width noted in several areas of the parking fields. If supported by the Commission this will be noted as an exception to the PUD.</b>
#2	<b>Revise configuration of east-west access lane to better define and distinguish truck traffic from vehicular traffic.</b>
# 3	<b>Finalize delivery access.</b>
#4	<b>A "Sidewalk and Public Access Easement Agreement" will be required to be recorded prior to issuance of a certificate of occupancy as a condition of approval. This has already been handled they have submitted a Public Access Agreement.</b>
#5	<b>All trash receptacles must be located in appropriate masonry enclosures.</b>
#6	<b>Details for the mobile generator screening must be provided.</b>



<b>#7</b>	<b><i>Verify rooftop mechanical units are not visible from public view.</i></b>
<b>#8</b>	<b><i>Provide for Level 1 Outdoor Sales Display without limitation to the time of year as an exception in the PUD.</i></b>
<b>#9</b>	<b><i>Identify the parking ratio as an exception to the Village parking requirements.</i></b>
<b>#10</b>	<b><i>Discuss the appropriateness of the proposed building materials; identify any deviation from code as an exception to the PUD.</i></b>
<b>#11</b>	<b><i>Identify the height of existing and proposed lighting standards as exceeding code limits of 15' and grant as an exception.</i></b>
<b>#12</b>	<b><i>The fence at the east property line must be in good repair as a condition of the PUD. Condition approval on irrigation of all planting beds.</i></b>
<b>#13</b>	<b><i>Consideration of an exception for the height and size of the 20' ground sign and the 10' required setback for the 20' and the 10' ground sign at the south end of the center</i></b>
<b>#14</b>	<b><i>Condition approvals on engineering approval.</i></b>

CHAIRMAN GRAY asked for comments from the Developer.

Andy Balzer, Director of Redevelopment, Brixmor Property Group noted they are excited to present this redevelopment plan. He thanked Paula and her staff for all the effort put in. Brixmor Property Group is a publicly-traded REIT. They invest in open-air property centers, primarily grocery-anchored. They own 400 property centers across the county that comprises more than 70 million sq. ft. They own quality shopping centers and they view Tinley Park Plaza as great real estate.

Mr. Balzer noted that this plaza has struggled for many years due to the lack of a proper anchor tenant. There have been many plans over the years for redevelopment to no avail. Most recently they have marketed a redevelopment plan to try and create a restaurant center redevelopment with positive feedback. The concern was that there was not a prominent national anchor that would be there for a long time to be able to help draw traffic. This hindered them from gaining any progress. We have recently developed a relationship with this grocer that will anchor this project and has driven them to this point.

The first phase was the opportunity to demo some of the in-line retail and build the out lot parcel. We are now undertaking the major step in transforming the center to a "Class A" destination that we believe will attract new tenants from outside the market to bring more opportunity. The area that is being demoed is the 80,000 sq. ft. that snouts out where Famous Footwear is and goes to the northern wall of Walt's. The redevelopment effort is driven by the 38,000 sq. ft. grocer that is a national brand that will operate a traditional full-line grocery store. It will have forward-thinking technology. They commissioned an independent grocery study to understand the impact to the development. More than 50% of the store's volume will come from the outside of the trade area. This expanded trade area will attract other retailers in wanting to locate here. The other anchor is the 25,000 sq. ft. soft goods retailer that was originally looking to exit the Tinley Park market and has now reconsidered based on their redevelopment plan and now that there is a grocery anchor that will be here for a long time.

Additionally, the other area of redevelopment is the façade. We looked at this to have a "Class A" shopping center and did not want to cut corners on the curb appeal or impact to the market. There is a lot of linear footage and we had to break it up with materials or it would become monotonous. The goal is also to have it stay consistent with the architectural style of the out parcel. Lastly, we looked at the landscaping to make a significant impact to the center. We did not spare any expense on the landscaping.

To address some of the comments made. Regarding the parking ratio, the grocer wanted a 5/1 ratio and we got them to relax it and they are now looking at a 4/1 ratio.

The parapet for the small shop space will tie right in. What is there now will be torn back and then we will build off of that wall. Regarding the mobile generating screen, that is only a slab and the generator will only be used for emergencies. It will only be at the location for a short period of time.

Regarding the screening of the other dumpsters, we are having a challenge with the utility easements. There are some locations at the north and the rear of southern small shops that would be screened where there is not an easement. There are a couple others that would be floating and the tenants would have to walk a distance with their trash. We want to make this a first class center in

both the front and the rear. We will work to make this as clean as possible. We redesigned the grocer by 10' in order to accommodate the enclosures for the trash. Anything in the future for phase three would be adjusted to enclose the dumpsters.

Mr. Balzer asked for questions or further information needed. Ms. Wallrich asked for clarifications regarding the visibility of the back of the parapets on the junior boxes.

Mr. Balzer replied they would like to try and find a different material for this solution. When dealing with a large anchor tenant façade, if we try to completely encase it, it becomes its own roof system and drainage. We would like to find something that appeals to staff with color.

Ms. Wallrich inquired about the delivery schedule for the grocer.

Mr. Balzer replied the grocer noted they would abide with local ordinances

Ms. Wallrich asked for the soft good building materials.

Mr. Balzer replied he would get that to staff.

Chairman Gray asked for comments from the Commissioners.

COMMISSIONER GATTO noted she agrees with the dumpsters being enclosed. She is ok with the signage, The plan looks amazing. She also agrees with the HVAC not being visible from the street view.

COMMISSIONER GASKILL noted there is a concern about the perpendicular parking in front of the buildings. This is not safe and will create a lot of activity and restrictions to the fire department.

COMMISSIONER AITCHISON noted the aisle width is ok. She would like to see all of the dumpsters enclosed. The parapets and mechanical units should not be exposed from the street. The signage is ok.

COMMISSIONER MANI noted the proposed development is exciting and the architecture and building materials are nice. The dumpsters should be enclosed. The mechanical units should be covered. There should be roof screening to cover the RTU's

COMMISSIONER WEST noted there was a great presentation and all the points previously mentioned would be her comments as well.

COMMISSIONER VICK noted he echos the previous commissioners. The rooftop units should be fully screened from views. The height of lighting is not an issue. The parking issues and signage are fine. The landscaping is good.

CHAIRMAN GRAY echos all the previous comments. He likes the two anchors being here for a long time. The curb appeal looks great. His concern is the turning radius where the 60' expansion is. The updated plans are good and he likes the fact that they pushed the west island to the east. This is an improvement for the thru traffic. There is a lot of traffic in the area and he feels a traffic study should be done due to the delivery trucks in the area. There should be white striping that should be maintained for safety on the 60' area. We also don't want the trucks to be hopping the curbs. Please continue that discussion with staff.

Mr. Balzer replied there was a truck traffic study done in order to approve the site. Walt's truck volume is the same as this. There have not been any major issues that he is aware of. The new truck study will be presented at the next meeting and the trucks will not go into oncoming traffic.

Ms. Wallrich noted regarding the comment on the parking in front of the store, the Fire Department has approved the site plan. CHAIRMAN GRAY also noted the mechanical units on the roof should be screened. The dumpsters should also be screened. The renovation on phase one looks great and we are looking forward to the completion of the rest. The parking ratio is good. The signage is good.

CHAIRMAN GRAY asked for comments from the Public.

There were none.

**GOOD OF THE ORDER.**

There is none.

**ADJORN MEETING**

A Motion was made by COMMISSIONER GATTO, seconded by COMMISSIONER AITCHISON to adjourn the July 16, 2020 Plan Commission Meeting.

AYE: All Commissioners participated electronically

COMMISSIONERS MANI, GASKILL, GATTO, VICK, AITCHISON, WEST and CHAIRMAN GRAY.

NAY: None

CHAIRMAN GRAY declared The Motion Approved by voice vote and declared the meeting adjourned at 8:34 pm.

# PLAN COMMISSION STAFF REPORT

AUGUST 6, 2020 - WORKSHOP

## Petitioner

George Arnold, on behalf  
of Gamma Tinley LLC  
(d/b/a Fox College)

## Property Location

18017 Sayre Avenue &  
18020 Oak Park Avenue

## PINs

28-31-303-015-0000,  
28-31-303-002-0000,  
28-31-303-009-0000 &  
28-31-303-013-0000

## Zoning

Current: Unincorporated  
Cook County  
and NG (Neighborhood  
General)

Proposed:  
NG (Neighborhood  
General)

## Approvals Sought

Site Plan Approval  
Variations  
Plat Approval  
Rezoning (Upon  
Annexation)

## Project Planner

Daniel Ritter, AICP  
Senior Planner

## Fox College – Parking Lot Expansion

18020 Oak Park Avenue & 18017 Sayre Avenue



## EXECUTIVE SUMMARY

The Petitioner, George Arnold, on behalf of Gamma Tinley LLC (d/b/a Fox College) (Owner), is requesting Rezoning upon Annexation, Variations, Final Plat of Subdivision Approval, and Site Plan Approval for the site to be developed with a parking lot expansion and a detention pond.

Upon Annexation, the two parcels at 18017 Sayre Avenue are proposed to be consolidated with the current Fox College parcels located at 18020 Oak Park Avenue. The lot will have a total land area of 5.68 acres and zoned NG (Neighborhood General). The granting of these requests will allow for the currently unincorporated lots to be developed as a parking lot expansion with an accompanying detention pond. Fox College is located at the existing site on Oak Park Avenue and looking to accommodate a curriculum expansion at the Tinley Park campus.

The proposal includes a parking expansion at the rear of the current facility that would accommodate 95 vehicles. The property being expanded upon is located in a floodplain and thus a large detention pond will be constructed to retain all stormwater on the site before it is released into the Village storm sewer system. The Petitioner has proposed landscaping, lighting, and fencing to create an attractive location and to help mitigate any effects from the neighboring properties. Minor changes to the existing site will be made as well to correct truck circulation issues on the north side of the site and to add an additional accessible parking stall.



## EXISTING SITE & HISTORY

Fox College has utilized their current facility at 18020 Oak Park Avenue since 2006 when it received a Special Use Permit (Ord. # 2006-O-081) to operate the Vet Tech Institute and have overnight boarding of up to 80 dogs and cats. In 2011, the Special Use was amended (Ord. # 2011-O-044) to permit up to 120 dogs and cats in the facility, with the potential for 160 if the building was expanded or the Physical Therapy program were to be relocated from this location. The Petitioner has been in compliance with the previous Special Use approvals and no issues have occurred in relation to animals. The building was originally constructed around 1971 and expanded to its current footprint/layout in the early 1990s. Prior to Fox College's occupancy, the building served a variety of business uses including grocer, plumbing contractor, towing service, AT&T service center, and St. Xavier University satellite campus. The current Fox College property (18020 Oak Park Ave) consists of two parcels totaling ~4.35 acres in size.

There are two additional properties that are proposed to be annexed for the parking lot expansion and detention pond. One parcel with an existing home (18017 Sayre Ave) that is ~1.33 acres in size and a second vacant land-locked lot (no common address) is ~.41 acres in size. These parcels are currently zoned R-3, single-family residential in Cook County. The county's R-3 zoning is most similar to the Village R-1 or R-2 zoning districts in regards to lot size.



The properties are largely encumbered by floodplain, making them difficult and more expensive to develop without the need for compensatory stormwater storage and grading changes.



Above: 100-year floodplain shaded in blue. Subject properties outlined in red.

## ZONING & NEARBY LAND USES

The existing Fox College parcels are located in the Legacy District with NG (Neighborhood General) zoning district. The NG zoning district has largely residential-oriented vision, intending to have residential density to support commercial density in the Downtown Core and promoting living in close to the Metra train station. The existing site and uses are considered a “heritage site”, which is a property that was developed prior to the implementation of the Legacy Code. The site and use can continue on the site and can be transferred to future users of the site. However, the site is limited in its ability to expand a non-conforming use or building. Specifically, any voluntary and owner-initiated improvements are limited to a maximum of 50% of the property's value.

The two parcels that are being petitioned to be annexed are currently under county zoning (R-3, Single-Family Residential). Annexations themselves are not reviewed by the Plan Commission. However, the appropriateness of the development proposal and the proposed zoning district are reviewed. Upon annexation, all properties will default to the R-1 (Single-Family Residential) zoning district, as it is the most restrictive and least disturbing. However, those parcels are proposed to be consolidated as part of the Fox College parcels and similarly zoned NG upon annexation. Staff has recommended the single lot and zoning district of the current property be carried through to these new lots because it will function as one development/lot going forward.



The properties adjacent to the subject properties have the following zoning and uses:

- North: Single-family homes zoned NG (Neighborhood General), R-5 (Low-Density Residential). Vacant/Unused 180<sup>th</sup> Street Right-of-Way.
- South: Detention Pond (owned by School District) zoned NG (Neighborhood General) and R-1 (Single-Family Residential). Single-Family home zoned R-1 (Single-Family Residential)
- West: Single-family homes zoned R-1 (Single-Family Residential) and unincorporated (R-3, Single-Family Residential Cook County zoning).
- East (across Oak Park Ave.): Condos/Multi-Family Zoned R-6 PD (Medium-Density Residential, Oak Village Planned Unit Development)

## PROPOSED USE

The Petitioner is wanting to expand their Vet Tech Institute curriculum at their Tinley Park campus. However, parking is very limited during the day and the site is currently at capacity due to the limited parking. Fox College does have an agreement for overflow parking at a neighboring commercial property, but would prefer to have all students and employees parking on-site going forward. The proposed parking lot expansion is anticipated to accommodate the existing parking demand and any additional students due to the expansion of the curriculum.

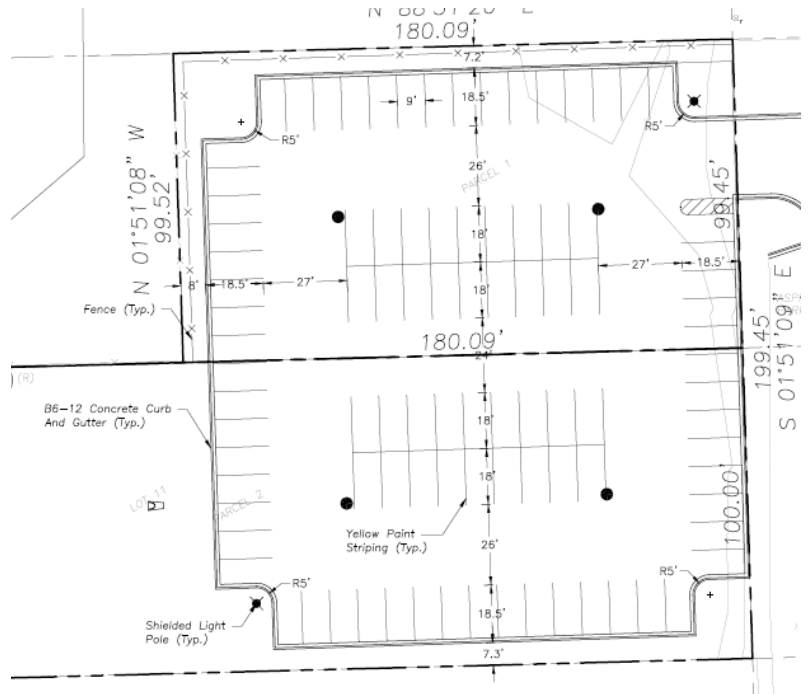


After exploring a variety of possibilities with their engineer, the easiest way to expand the parking lot was found to be to the west, where there is currently a vacant lot and an older home on a large lot. Those properties are currently under contract by the Petitioner. The parking lot expansion design has been difficult due to the properties being located completely within a floodplain. The development requires compensatory storage for the floodplain in addition to any impervious surface added. Thus, a large portion of the site will be a detention basin, very similar to the detention that exists adjacent to the site that is used by the Central Middle School property.

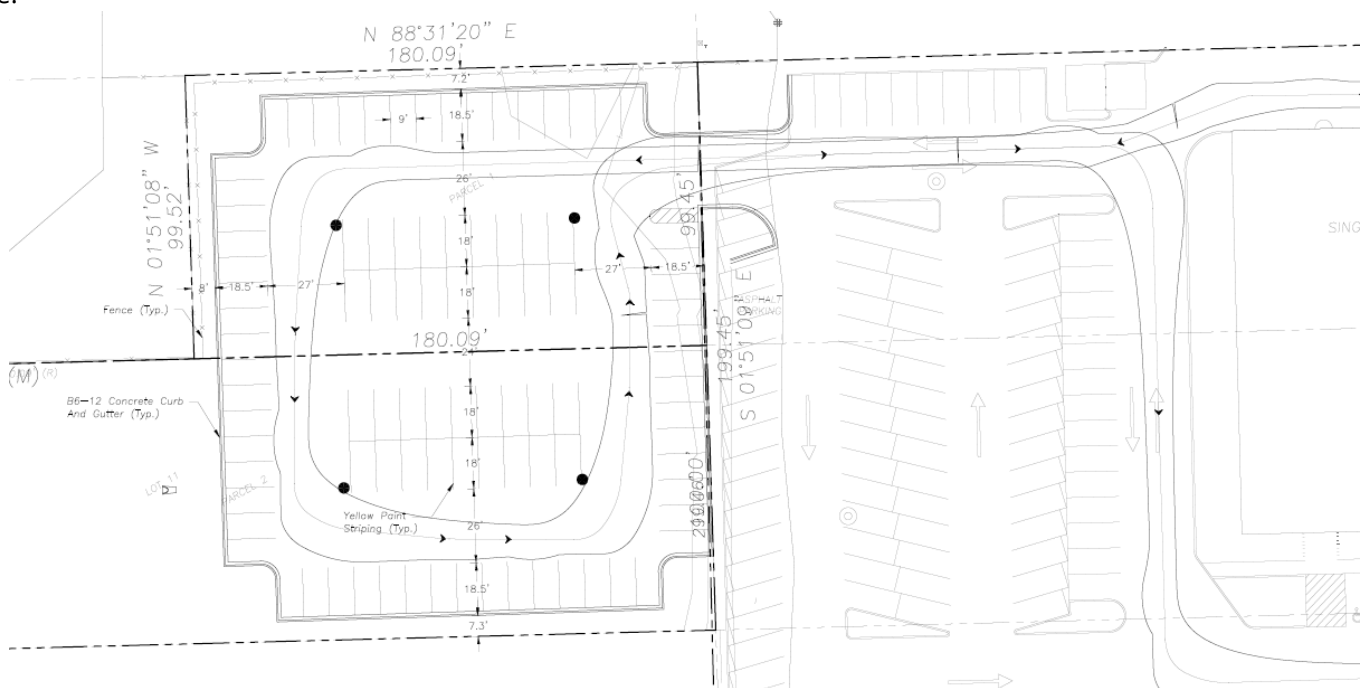
## SITE PLAN

The Site Plan Approval includes the new parking lot, new detention area, and minor changes to the existing site layout. The parking lot has been laid out to maximize the space utilized by parking, while maintaining a reasonable landscape bufferyard.

The new parking lot includes 95 parking stalls and has a mix of 26-foot and 24-foot-wide drive aisles. The Legacy Code only requires 24-foot-wide aisles (whereas the rest of the Village requires 26-foot-wide aisles). However, to accommodate comfortable truck and vehicle circulation through the parking lot addition, the main aisles were maintained at 26 feet wide around the perimeter of the parking lot. Only the interior parking aisle was reduced to 24 feet. The reduction allowed for additional bufferyard width to be added on the north and south sides of the site. The parking lot addition was designed to allow a large fire truck to safely circulate through the site.



Above: Parking lot expansion site plan.



Above: Fire ladder truck circulation through parking lot expansion.



### Current Site Changes

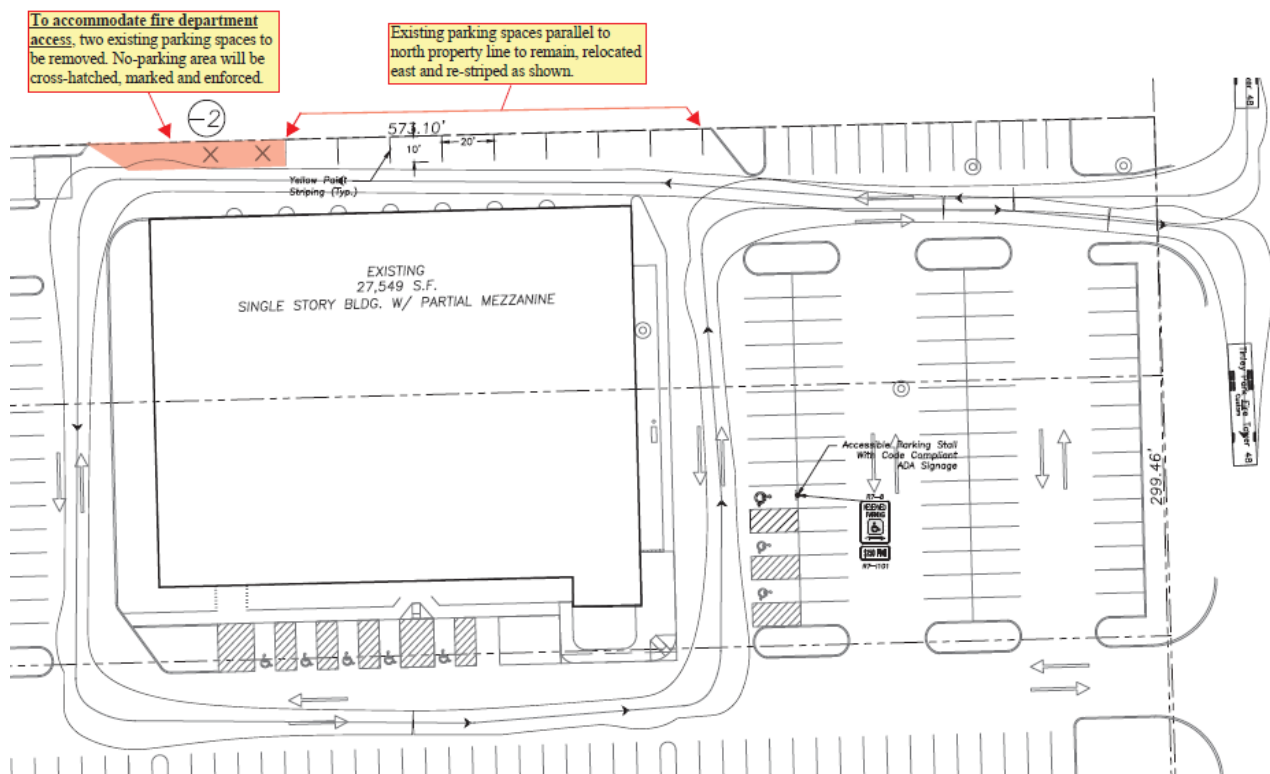
There are parallel parking stalls located on the north side of the property. These stalls were illegally striped without approval and have reduced the aisle width to around 17-18 feet and make truck circulation around the site difficult when vehicles are parked there. To alleviate the truck circulation concern, the petitioner is eliminating two parking stalls nearest to the dumpster to accommodate truck turning. The area will be hashed and marked “No Parking Permitted”. Due to this parking being an immediate issue related to emergency response, the Petitioner has agreed to make these changes this year and is working to get it completed as soon as possible.

The existing aisle width does not meet the aisle width minimum of 24 feet and cannot safely be used as a two-way access. Staff is recommending that this aisle be revised to be a one-way drive aisle with appropriate striping (arrows) and signage (“One-Way →” and “Do Not Enter”). If changes are not made, a Variation would be required.

**Open Item #1: Discuss the northern drive aisle on the existing site and staff's recommendation for conversion to a one-way aisle.**

One ADA parking stall being installed at a space most adjacent to the building. This stall is required per the Illinois Accessibility Code due to the increase in the total number of spaces.

**Open Item #2: Discuss the overall site plan for the existing site and proposed parking expansion.**



Above: Existing Fox College Site proposal.

**Engineering** – Overall site engineering is preliminary and may require revisions based upon final comments from the Village Engineer and MWRD. Staff recommends the Site Plan and Plat approvals be conditioned that they are subject to final engineering approvals.

**Open Item #3: Discuss condition that proposal is subject to final engineering review and approval by the Village Engineer and MWRD.**

## PARKING

Parking is an imperfect science and zoning ordinances do their best to assign ratios based on the average intensity of the uses. However, each use and site can have unique differences that could change parking demand. Additionally, parking demand continues to decline from its peak in the 80's and 90's as alternative forms of transportation and ride-sharing services continue to grow in popularity. However, college campuses in the suburbs present a high parking demand since most students and employees will typically drive themselves and can come from a large area covering most of the Chicagoland area. The site uses a high percentage of the parking field and has times or events that can require employees to park off-site at a nearby business. The new parking lot expansion is expected to cover the parking they currently need and also allow them to add a physical therapy program to their curriculum at the Tinley Park campus which could increase peak-time parking demand.

As a heritage site and use, the parking requirements of the Legacy Plan are not retroactively applied. However, the minimum parking would be 4 spaces per 1,000 square feet for commercial or assembly spaces. That would result in around 100 parking spaces for an approximately 25,000 sq. ft. building. While that parking might be adequate for most commercial use, a college use has an obvious need for more parking than that since the existing total is 249 stalls. The Village Zoning Ordinance can also provide some guidance for required parking for various uses; however, there is no specific reference for colleges or technical training. In these situations where a specific use is not listed, the Plan Commission has authority to approve the parking based on the Petitioner's proposal, existing site history, and similar uses noted in the ordinance. A professional parking study is typically required to be supplied to assist the Plan Commission in their review, especially when a use is not existing and there is no reference. The Petitioner has not provided a parking study in this case due to their detailed knowledge of the parking demand. The entire project is based on their desire to provide more parking on-site for their staff and students. Additionally, the current COVID-19 pandemic has made parking studies more subjective, as they do not present "typical conditions" upon which to base the assumptions.

The site currently has 249 parking spaces (7 ADA). While the new parking lot will have 95 new stalls added, there is also be a reduction of 7 stalls on the existing site due to installing the entrance to the new parking lot, removal of parallel stalls, and installation of the new ADA space. The total parking on the site following completion of the project will be 337 stalls (8 ADA) for a total increase in 88 parking stalls.

**Open Item #4: Discuss the proposed parking on the site.**

Parking Space Summary		
	Existing	Proposed
Regular Spaces	242	329
ADA Spaces	7	8

## LIGHTING




The new parking lot will be illuminated by four new poles mounted at 25 feet high, similar to the existing site's pole height. The poles have been located to adequately light the parking lot for safety and to avoid any light or glare spillage onto neighboring properties. The lighting has 0 fc at all residential property lines and all fixtures are downcast and full-cutoff to prevent off-site glare from the light source. The existing site will have the poles remain but light fixtures are expected to be replaced with matching fixtures.



*Above: Proposed fixture*

The lighting levels comply with the zoning code, but the proposed fixtures do not comply with the required Legacy District fixture types (decorative post or column light) and maximum mounting height of 15 feet. The new parking lot is far from the Oak Park Avenue roadway and would not typically be located in the district without this proposal. The proposed lights are meant to match the existing poles more closely. Additionally, shorter mounting heights would require additional light poles to adequately light the site and could potentially result in light spillage.

**Open Item #5: Discuss Variation for light pole/fixture style and mounting height.**

Pipe		Height: 20' max. Color: Black or copper
Post		Height: 15' max. Color: Black or copper
Column		Height: 12' max. Color: Black or copper

*Above: Permitted pole types in Legacy District.*

## LANDSCAPE

The proposed site would include a variety of planting surrounding the parking lot and detention area. The site is unique in that a large portion of it will be an open dry bottom detention pond and not a typical commercial site. However, by code is a commercial site requires certain landscaping bufferyards. Waivers are being requested because adding additional landscaping to the parking lot or additional bufferyard width would require either a reduction of parking stalls or acquisition of more land. The alternatives to meet code would make the overall project financially and practically infeasible. The Petitioner has noted that development is already very expensive for a parking lot addition and due to the added costs of developing in a floodplain.

The proposal has focused landscaping around the parking lot and around the residential properties to help mitigate any negative effects or views of the parking lot expansion and help delineate the detention area. The detention pond is directly adjacent to the large Central Middle School detention pond that currently has a natural look with very little landscaping. The Petitioner's proposal will have a similar naturalized look but with purposeful landscaping surrounding it to limit any negative effects to surrounding properties. Additionally, a new six-foot solid privacy fence is proposed around the parking lot addition that prevents headlight glare on the adjacent properties. The material of the proposed fence has been noted as wood and is permitted by the Legacy Code, however PVC has been the desired fence on commercial properties in the Village as they require less maintenance to keep looking attractive.

**Open Item #6: Have Petitioner clarify fence material. Staff recommends utilizing PVC fencing to prevent future maintenance concerns and costs.**



FOX COLLEGE RESUBDIVISION



1. Discuss the northern drive aisle on the existing site and staff's recommendation for conversion to a one-way aisle.
2. Discuss the overall site plan for the existing site and proposed parking expansion.
3. Discuss condition that proposal is subject to final engineering review and approval by the Village Engineer and MWRD.
4. Discuss the proposed parking on the site.
5. Discuss Variation for light pole/fixture style and mounting height.
6. Have Petitioner clarify fence material. Staff recommends utilizing PVC fencing to prevent future maintenance concerns and costs.
7. Discuss proposed landscaping plan and required landscape waivers.

## STANDARDS FOR SITE PLAN APPROVAL

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Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. The Architectural Standards have not been included since the proposal does not include and building or architectural changes. Staff will prepare draft responses for these conditions within the next Staff Report.

### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

## STANDARDS FOR REZONING

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The Zoning Code does not establish any specific criteria that must be met in order for the Village Board to approve a rezoning request. Likewise, Illinois Statutes does not provide any specific criteria. Historically, Illinois courts have used eight factors enunciated in two court cases. The following “LaSalle Standards” have been supplied for the Commission to consider. Staff has provided the following draft Findings for the Commission’s review. The Commission may adopt the Findings as provided or make modifications per testimony provided at the hearing.

- a. The existing uses and zoning of nearby property;
- b. The extent to which property values are diminished by the particular zoning;
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
- e. The suitability of the property for the zoned purpose;
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
- g. The public need for the proposed use; and
- h. The thoroughness with which the municipality has planned and zoned its land use.



## **STANDARDS FOR A VARIATION**

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Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff will prepare draft responses for the Findings of Fact within the next Staff Report.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
2. The plight of the owner is due to unique circumstances.
3. The Variation, if granted, will not alter the essential character of the locality.
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
  - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
  - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
  - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
  - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
  - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
  - f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

## **RECOMMENDATION**

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Following a successful workshop, proceed to a Public Hearing at the August 20, 2020 Plan Commission meeting.





Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☐ Special Use for: \_\_\_\_\_
- ☐ Planned Unit Development (PUD) ☐ Concept ☐ Preliminary ☐ Final ☐ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for \_\_\_\_\_
- ☒ Annexation
- ☒ Rezoning (Map Amendment) From \_\_\_\_\_ to NG
- ☒ Plat (Subdivision, Consolidation, Public Easement) ☒ Preliminary ☒ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Fox College Parking Lot

Project Description: Improvement of vacant land as a parking lot to allow more parking for Fox College

Project Address: 18020 Oak Park Ave. Property Index No. (PIN): 28-31-303-009 and 013

Zoning District: NG Lot Dimensions & Area: Approx. 171,872 sq. ft.

Estimated Project Cost: \$ 600,000.00

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Gamma Tinley LLC, an Illinois limited liability company Company: \_\_\_\_\_

Street Address: 125 West Station Square Dr., #129 City, State & Zip: Pittsburgh, PA 15219-2602

E-Mail Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

**APPLICANT INFORMATION**

☐ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: George J. Arnold Company: Sosin, Arnold & Schoenbeck, Ltd.

Relation To Project: Attorney for Applicant

Street Address: 9501 W. 144th Place, Ste. 205 City, State & Zip: Orland Park, IL 60462

E-Mail Address: garnold@sosinarnold.com Phone Number: [REDACTED]



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

## VILLAGE OF TINLEY PARK, ILLINOIS PLANNING AND ZONING GENERAL APPLICATION

### Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize George J. Arnold (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature:

By: [Redacted Signature]

Property Owner Name (Print):

Gamma Tinley LLC, an Illinois limited liability company

### Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature:

By: [Redacted Signature]

Property Owner Name (Print):

Gamma Tinley LLC, an Illinois limited liability company

Applicant Signature:  
(If other than Owner)

Applicant's Name (Print):

George J. Arnold

Date:

June 2, 2020



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☐ Special Use for: \_\_\_\_\_
- ☐ Planned Unit Development (PUD) ☐ Concept ☐ Preliminary ☐ Final ☐ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for \_\_\_\_\_
- ☒ Annexation
- ☒ Rezoning (Map Amendment) From \_\_\_\_\_ to NG
- ☒ Plat (Subdivision, Consolidation, Public Easement) ☒ Preliminary ☒ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Fox College Parking Lot

Project Description: Improvement of vacant land as a parking lot to allow for additional parking for Fox College

Project Address: 18020 Oak Park Ave. Property Index No. (PIN): 28-31-303-002-0000

Zoning District: NG Lot Dimensions & Area: Approx. 57,935 sq. ft.

Estimated Project Cost: \$ 600,000.00

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.  
Ronald F. Schmidt, individually and as

Name of Owner: Trustee u/t/a/d 5/22/93 a/k/a Trust #9658 Company: c/o T. Andrew Coyle, Attorney

Street Address: 16608 W. 135th Street City, State & Zip: Lemont, IL 60439

E-Mail Address: andy@coylelaw.org Phone Number: [REDACTED]

**APPLICANT INFORMATION**

☐ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: George J. Arnold Company: Sosin, Arnold & Schoenbeck, Ltd.

Relation To Project: Attorney for Applicant

Street Address: 9501 W. 144th Place, Ste. 205 City, State & Zip: Orland Park, IL 60462

E-Mail Address: garnold@sosinarnold.com Phone Number: [REDACTED]





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VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize George J. Arnold (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): Ronald F. Schmidt, individually and as Trustee u/t/a/d 5/22/93 a/k/a Trust #9658

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): Ronald F. Schmidt, individually and as Trustee u/t/a/d 5/22/93 a/k/a Trust #9658

Applicant Signature:  
(If other than Owner)

Applicant's Name (Print): George J. Arnold

Date: June 2, 2020



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**PLANNING AND ZONING GENERAL APPLICATION**

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- ☐ Special Use for: \_\_\_\_\_
- ☐ Planned Unit Development (PUD) ☐ Concept ☐ Preliminary ☐ Final ☐ Deviation
- ☐ Variation ☐ Residential ☐ Commercial for \_\_\_\_\_
- ☒ Annexation
- ☒ Rezoning (Map Amendment) From \_\_\_\_\_ to NG
- ☒ Plat (Subdivision, Consolidation, Public Easement) ☒ Preliminary ☒ Final
- ☒ Site Plan
- ☐ Landscape Change Approval
- ☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Fox College Parking Lot

Project Description: Improvement of vacant land as a parking lot to allow for additional parking for Fox College

Project Address: 18020 Oak Park Ave Property Index No. (PIN): 28-31-303-015-0000

Zoning District: NG Lot Dimensions & Area: Approx. 17,990 sq. ft.

Estimated Project Cost: \$ 600,000.00

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Jason and Almeida Manumaleuna Company: \_\_\_\_\_

Street Address: 8567 High Stone Way City, State & Zip: Frankfort, IL 60423

E-Mail Address: jtui.manu@gmail.com Phone Number: [REDACTED]

**APPLICANT INFORMATION**

☐ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: George J. Arnold Company: Sosin, Arnold & Schoenbeck, Ltd.

Relation To Project: Attorney for Applicant

Street Address: 9501 W. 144th Place, Ste. 205 City, State & Zip: Orland Park, IL 60462

E-Mail Address: garnold@sosinarnold.com Phone Number: [REDACTED]





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VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize George J. Arnold (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature:

Property Owner Name (Print):

Jason and Almeida Manumaleuna

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature:

Property Owner Name (Print):

Jason and Almeida Manumaleuna

Applicant Signature:  
(If other than Owner)

Applicant's Name (Print):

George J. Arnold

Date:

June 2, 2020



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

## VILLAGE OF TINLEY PARK, ILLINOIS ANNEXATION ADDENDUM

### **APPLICATION & SUBMITTAL REQUIREMENTS**

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they will not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting **Annexation into the Village of Tinley Park** from the terms of the Zoning and Subdivision Ordinances. This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Additional time may be required for drafting and review of an Annexation Agreement.

- ☒ Schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, receive preliminary feedback, and describe submittal requirements and any applicable fees, donations, and recaptures.
- ☒ General Application form is complete and is signed by all property owner(s) and applicant (if applicable). Include all engineering and surveyor contact information.
- ☒ Signed and notarized annexation petition (attached).
- ☒ Ownership documentation is submitted for all affected properties indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.
- ☒ A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any existing and proposed uses or buildings should be described in detail. Requested zoning district (annexations automatically come in under R1 Zoning District) and describe the need for such a zoning district and how it relates to the Village's Comprehensive Plan. Any additional requests such as rezoning, site plan approval, variations, waivers or incentives should be indicated in the narrative as well.
- ☒ A Plat of Annexation for the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- ☒ Site Plans, engineering, plat and other information indicating existing and proposed grading, utilities, and structures on the site.
- ☒ Hearing fees differ based upon the request and the need for engineering and legal fees as well as specific recaptures, school/parks donations, impact fees, or other applicable payments required prior to annexation. A fee total for review will be provided upon a complete submittal and a final fee total will be presented prior to scheduling a public hearing.



**PETITION REQUESTING ANNEXATION  
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

**TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS**

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

LOT 11 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION IN THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 28-31-303-002

Common Address: 18017 Sayre, Tinley Park, IL 60477

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:

☐

That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)

☒

That there are no electors residing in the described territory. (Property is vacant)

**WHEREFORE**, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

<u>PRINTED NAME(S) of OWNER(S)</u>	<u>SIGNED NAME(S) of OWNER(S)</u>	<u>ADDRESS</u>
Ronald F. Schmidt, individually		16608 W. 135th Street
and as Trustee u/t/a/d 5/22/93		Lemont, IL 60439
a/k/a Trust #9658		

I, Ronald F. Schmidt, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true and correct.

Petitioner Signature: \_\_\_\_\_

**To Be Completed by a Notary Public:**

Subscribed and sworn to before me this 29<sup>th</sup> day of June, 2020

Gerilyn R. Miller  
Notary Public





Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

## VILLAGE OF TINLEY PARK, ILLINOIS ANNEXATION ADDENDUM

### **APPLICATION & SUBMITTAL REQUIREMENTS**

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they will not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting **Annexation into the Village of Tinley Park** from the terms of the Zoning and Subdivision Ordinances. This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Additional time may be required for drafting and review of an Annexation Agreement.

- ☒ Schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, receive preliminary feedback, and describe submittal requirements and any applicable fees, donations, and recaptures.
- ☒ General Application form is complete and is signed by all property owner(s) and applicant (if applicable). Include all engineering and surveyor contact information.
- ☒ Signed and notarized annexation petition (attached).
- ☒ Ownership documentation is submitted for all affected properties indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.
- ☒ A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any existing and proposed uses or buildings should be described in detail. Requested zoning district (annexations automatically come in under R1 Zoning District) and describe the need for such a zoning district and how it relates to the Village's Comprehensive Plan. Any additional requests such as rezoning, site plan approval, variations, waivers or incentives should be indicated in the narrative as well.
- ☒ A Plat of Annexation for the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- ☒ Site Plans, engineering, plat and other information indicating existing and proposed grading, utilities, and structures on the site.
- ☒ Hearing fees differ based upon the request and the need for engineering and legal fees as well as specific recaptures, school/parks donations, impact fees, or other applicable payments required prior to annexation. A fee total for review will be provided upon a complete submittal and a final fee total will be presented prior to scheduling a public hearing.



**PETITION REQUESTING ANNEXATION  
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

**TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS**

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

THE EAST 180.09 FEET OF LOT 12 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, A SUBDIVISION IN THE WEST 1/2 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JANUARY 21, 1928, AS DOCUMENT NUMBER 10262889 IN COOK COUNTY, ILLINOIS.

PIN: 28-31-303-015-0000

Common Address: 6901 180th Street, Tinley Park, IL 60477

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:

- ☐ That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)
- ☒ That there are no electors residing in the described territory. (Property is vacant)

**WHEREFORE**, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

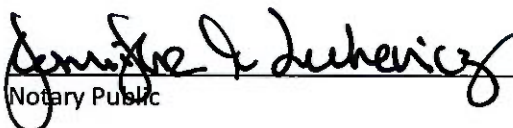
<u>PRINTED NAME(S) of OWNER(S)</u>	<u>SIGNED NAME(S) of OWNER(S)</u>	<u>ADDRESS</u>
Jason Manumaleuna		8567 High Stone Way
Almeida Manumaleuna		Frankfort, IL 60423

I, Jason Manumaleuna, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true and correct.

Petitioner Signature: \_\_\_\_\_

**To Be Completed by a Notary Public:**

Subscribed and sworn to before me this 29th day of June, 2020

  
Notary Public



## VILLAGE OF TINLEY PARK, ILLINOIS REZONING (MAP AMENDMENT) ADDENDUM

### **APPLICATION & SUBMITTAL REQUIREMENTS**

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review and meeting dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting a **Map Amendment for Rezoning** from the terms of the Zoning Ordinance. This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept ideas or plans prior to making a submittal.

- ☒ General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- ☒ Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.
- ☒ Response to LaSalle Factors/Criteria listed below.
- ☒ A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details should include the existing zoning designation, the proposed designation and the intended future use and function of the site. The narrative should describe how the rezoning conforms to the Village's Comprehensive Plan as well as how it works with adjacent and nearby existing and proposed land uses. Any additional requests such as a Site Plan approval, Special Use permit or Variation should be indicated in the narrative as well.
- ☒ A Plat of Survey of the property, including the legal description, that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- ☒ It is standard practice and policy that zoning is not changed without specific plans for development that can be attached to the zoning change. Site Plan or interior layout plans that indicate how the property and site will be utilized and developed should be submitted and it is likely site plan approval will be required at the same time.
- ☒ \$400 Map Amendment/Rezoning hearing fee.



## **LASALLE FACTORS/CRITERIA FOR REZONING (MAP AMENDMENT)**

The UDO does not establish any specific criteria that must be met in order for the Village Board to approve a rezoning request. Likewise, Illinois Statutes does not provide any specific criteria. Historically, Illinois courts have used eight factors enunciated in two court cases, LaSalle Bank of Chicago v. Count of Cook (1957) and Sinclair Pipeline v. Village of Richton Park (1960), when evaluating the validity of zoning changes. The so-called “LaSalle factors” are listed below. Village staff and officials will take these factors into consideration when evaluating and deciding rezoning requests. The petitioner should prepare their own responses to the “LaSalle Factors” with factual evidence to defend the requested rezoning. If additional space is required, you may provide the responses on a separate document or page.

### **A. The existing uses and zoning of nearby property;**

The existing zoning to the North is R-5 and NG, residential and commercial; the existing zoning to the South is NG commercial; the existing zoning to the East is R-6 residential; and to the West is unincorporated.

### **B. The extent to which property values are diminished by the particular zoning;**

The property values will not be diminished by the requested zoning because it is consistent with the surrounding use and the surrounding zoning.

### **C. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;**

The project will benefit the health, safety and general welfare of the public because it will add additional parking where parking is needed.

### **D. The relative gain to the public as compared to the hardship imposed on the individual property owner;**

The public will gain by the additional parking in that it will reduce the burden on all street parking, and no hardship will be imposed on any individual property owner.

### **E. The suitability of the property for the zoned purpose;**

The property is suitable for the zoned purpose in that it is adjoining to the existing Fox College, and on all other sides it is vacant.

### **F. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;**

The property has been vacant for a significant period of time and the highest and best use of the property will be to accommodate additional parking for Fox College.

### **G. The public need for the proposed use; and**

The public will benefit from the use of additional parking in that additional parking is needed.

### **H. The thoroughness with which the municipality has planned and zoned its land use.**

The project complies with the comprehensive plan of Tinley Park and the goals of the Village's Zoning and Land Use Code.

## VILLAGE OF TINLEY PARK, ILLINOIS SITE PLAN ADDENDUM

### **APPLICATION & SUBMITTAL REQUIREMENTS**

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review or meeting dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting **Site Plan** approval. This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans or ideas prior to making a submittal

- ☐ General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- ☐ Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied. All beneficiaries of a property must be disclosed.
- ☐ A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on existing conditions, any parking requirements, property changes, landscaping, building design, proposed uses/tenants, public improvements or any other site design details should be described. Any additional requests such as a Special Use or Variation should be indicated in the narrative as well.
- ☐ A Plat of Survey of the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- ☐ Plans and Surveys including all details listed on the Site Plan checklist (next page).
- ☐ Please make the following document submittals:
  - Submit all applications, plans and documents stated above electronically via email/USB drive/ShareFile upload to Community Development Staff (Note: Village email attachment size is limited to 10MB. Please utilize ShareFile if your submission exceeds 10MB).
  - One (1) paper copy of all plans in size 11" x 17"
  - One (1) paper copy of full size Arch D (24" x 36") plans (scalable).



Required Plan Submittal Items	Applicant Submitted	Village Received
1. Site Plan Approval Application	<input type="checkbox"/>	<input type="checkbox"/>
2. Complete list and contact information for all project staff and design professionals (Architect, Engineer, Landscape Architect, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
3. Plat of Survey, including: <ul style="list-style-type: none"> <li>a. Existing conditions and dimensions;</li> <li>b. Legal Description;</li> <li>c. Surveyor information; and</li> <li>d. Date of completion.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
4. Site Plan, including: <ul style="list-style-type: none"> <li>a. Fully-dimensioned property boundaries;</li> <li>b. All building elements and physical improvements;</li> <li>c. Setbacks from all property lines;</li> <li>d. Identification as to whether all elements are "Existing" or "Proposed";</li> <li>e. Dimensioned parking spaces and drive aisles per Section VIII of the Zoning Ordinance;</li> <li>f. Dimensioned sidewalks (within rights-of-way and interior to the site);</li> <li>g. Trash enclosure location and screening/gate materials;</li> <li>h. Loading spaces as required by Section VIII of the Zoning Ordinance;</li> <li>i. Fire hydrant locations as required by the Village Fire Prevention Bureau;</li> <li>j. Lighting standard locations; and</li> <li>k. Ground signs with setbacks noted.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
5. Zoning Analysis Table <ul style="list-style-type: none"> <li>a. Showing existing, proposed, and required zoning conditions for all Lot and Bulk Regulations of the Zoning Ordinance, including but not limited to: <ul style="list-style-type: none"> <li>i. Land area in acres and square feet (exclusive of rights-of-way);</li> <li>ii. Building area in square feet (including a breakdown by use for parking calculation);</li> <li>iii. Setbacks;</li> <li>iv. Floor Area Ratio (FAR);</li> <li>v. Lot coverage;</li> <li>vi. Height of all buildings and structures (see definition of height in Zoning Ordinance);</li> <li>vii. Percentage of greenspace; and</li> <li>viii. Parking spaces (with calculations).</li> </ul> </li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
6. Landscape Plan, including: <ul style="list-style-type: none"> <li>a. Bufferyards (please include a table indicating required and proposed plant units);</li> <li>b. Parking lot landscape islands;</li> <li>c. Screening/fencing locations;</li> <li>d. Berms (if proposed);</li> <li>e. Plant lists, including: <ul style="list-style-type: none"> <li>i. Latin and common names</li> <li>ii. Number of each planting material to be provided</li> <li>iii. Size at planting</li> </ul> </li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>
7. Photometric Plan, including: <ul style="list-style-type: none"> <li>a. Location of light fixtures;</li> <li>b. A cut sheet of light fixtures with indication of cut-offs or shielding; and</li> <li>c. Indicating lighting levels in foot-candles at the following locations: <ul style="list-style-type: none"> <li>i. Interior of the subject property;</li> <li>ii. At the property lines (.5 foot candles maximum allowed at the property line); and</li> <li>iii. Ten (10) feet beyond the property lines.</li> </ul> </li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Floor Plans</b> , including: a. Preliminary floor plan layout of all buildings; b. Labels for the type of use of the area; and c. Labels for square footage of the area.	<input type="checkbox"/>	<input type="checkbox"/>
<b>9. Preliminary Engineering Plans</b> , including but not limited to: a. Drainage and water flow patterns or routes; b. On-site detention; c. Existing and proposed roadway configurations (adjacent public streets and interior roadways/driveways); d. Future roadway or access connections (if necessary); and e. Cross access easement(s).	<input type="checkbox"/>	<input type="checkbox"/>
<b>10. Signage Plans</b> , including: a. Dimensioned color elevations of ground, wall and directional signage b. A diagram showing the location of the proposed signage with setbacks from property lines and internal drive aisles or parking lots; and c. Include description of sign materials and method of illumination.	<input type="checkbox"/>	<input type="checkbox"/>
<b>11. Elevations and Renderings</b> a. Building elevations showing all four sides of all buildings. i. Elevations should be fully-dimensioned including height, width, and depth of all major building elements and components, and identify all building materials; and b. Color renderings or 3D model of site. c. Elevation of trash enclosure area with building materials identified (if applicable).	<input type="checkbox"/>	<input type="checkbox"/>
<b>12. Building Material Samples</b> <i>(may be submitted after initial Staff Review, but prior to placement on a Plan Commission agenda)</i> a. Samples of proposed materials including, but not limited to: i. Wall materials such as bricks, stone, and siding; ii. Roofing; iii. Light fixtures; and iv. Windows, moldings, shutters, and awnings. b. Provide final information on all building materials with vendor, color, and sizes, where relevant, in a table format.	<input type="checkbox"/>	<input type="checkbox"/>
<b>13. Preliminary Plat(s)</b> <i>(if applicable)</i>	<input type="checkbox"/>	<input type="checkbox"/>

The above information is intended as an outline of the Submission Requirements for Site Plan Approval and is neither mutually exclusive nor inclusive. The Village's Zoning Ordinance, Landscape Ordinance, Building Codes, and Subdivision Regulations can be found online at the Village website at <http://www.tinleypark.org>. Questions about Site Plan Approval and other Planning processes may be directed to the Planning Department at:

Village of Tinley Park  
Planning Department  
16250 S. Oak Park Avenue  
Tinley Park, IL 60477  
Phone: (708) 444-5100  
Email: [planning@tinleypark.org](mailto:planning@tinleypark.org)

## **FOX COLLEGE PARKING LOT EXPANSION**

### **Project Narrative:**

The purpose of this project is to expand the available parking for Fox College. Fox College is acquiring property to the west, annexing it into the Village, consolidating the lots, and will improve the property with a parking lot. The property will be rezoned NG, which is the current zoning for the Fox College Property.

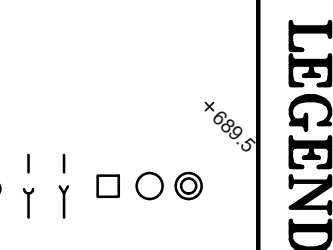
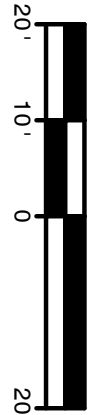


유

COMMON

TOTAL LAND AREA = 75,868 S  
OR 1.74 ACRES MORE OR LESS

N 01°51'30" W (ASSUMED)



- PARCEL 1

- ## SOURCE BENCHMARK

- 1

- ASTR

**Morris Engineering, Inc.**  
Civil Engineering • Consulting  
Land Surveying  
515 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
Survey: (630) 271-0599  
FAX: (630) 271-0774  
Website: [www.ecivil.com](http://www.ecivil.com)

ALTA/NSPS LAND TITLE SURVEY  
6901 180TH STREET & 18017 SAYRE AVENUE  
TINLEY PARK, ILLINOIS

1
2
3
4
5
6

FIELD CHEN: \_\_\_\_\_ PW \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ CJS \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ TC \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_ TC \_\_\_\_\_  
 DATE: 1/27/2020  
 SCALE: HORIZ 1"=20'  
 VERT NONE  
 SHEET  
 OF 1 SHEETS  
 PROJ # 20-01-6000





145 COMMERCE DRIVE, SUITE A  
GRAYSLAKE, ILLINOIS 60030  
PHONE (847) 223-4804  
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EXPIRES: 04/30/2021

[illegible]

C000	Cover Sheet
C100	Demolition Plan
C101	Demolition Plan (Existing Lot)
C200	Geometry Plan
C201	Geometry Plan (Existing Lot)
C300	Utility Plan
C400	Grading And Paving Plan
C500	Site Details

Plat of Survey Provided By Morris Engineering, Inc. For Bob Goes on January 22nd, 2020. File Number 20-01-6000.

Source Benchmark  
Designation: U 207  
Description: 50 Feet East Of The Center Line Of Central  
Avenue, 31 Feet North Of The Center Line Of 183rd Street,  
13 Feet East Of The Extended Center Line Of The Asphalt  
Road South, 25 Feet East Of A Power Pole With A Wire  
Brace, 24 Feet East Of A Fence Corner, 2 Feet South Of A  
Fence Post, 2.5 Feet West Of A Metal Wiring Post, about 1/2  
Foot Below The Level Of The Road And Set In The Top Of  
A Concrete Post Projecting 3 Inches  
Elevation: 696.68 (NAVD 88)

Site Benchmark  
Description: NW Bolt On Fire Hydrant On West Side Of Sayre  
Avenue Approximately 6.5' N Of The Southwest Property  
Corner  
Elevation: 695.28 (NAVD88)

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

To The Best Of Our Knowledge And Belief, The Drainage Of The Surface Waters Will Not Be Changed By The Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The Adjoining Property Because Of The Construction Of The Development.

[illegible]

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DESIGN BY: <b>MC</b>			APPROVED BY: <b>KC</b>			DATE: <b>06/29/20</b>		
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Sheet Title:

Sheet No:

C000

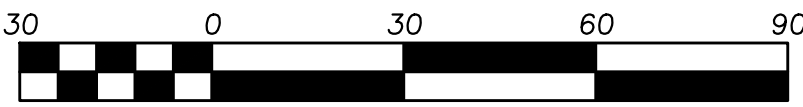


## DEMOLITION NOTES

- Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- Perform Tree Pruning in All Locations Where Proposed Pavement And/Or Utility Installation Encroach Within The Existing Drip Line Of Trees To Remain. All Trenching Within The Drip Line Of Existing Trees To Remain Shall Be Done Radially Away From Trunk If Roots In Excess Of 1" Diameter Are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees To Be Removed Shall Be Removed In Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Mulch for Proposed Landscaping Where Applicable and Acceptable to Architect.

## DEMOLITION LEGEND

- Bituminous Pavement Removal (Full Depth)
- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut
- XX XX Curb & Gutter Removal
- X Structure Removal
- X Tree Removal



Scale: 1"=30'

## LEGEND

- | EXISTING                             | PROPOSED                             |
|--------------------------------------|--------------------------------------|
| Manhole                              | Manhole                              |
| Catch Basin                          | Catch Basin                          |
| Inlet                                | Inlet                                |
| Area Drain                           | Area Drain                           |
| Clean Out                            | Clean Out                            |
| Flared End Section                   | Flared End Section                   |
| Storm Sewer                          | Storm Sewer                          |
| Sanitary Sewer                       | Sanitary Sewer                       |
| Combined Sewer                       | Combined Sewer                       |
| Water Main                           | Water Main                           |
| Gas Line                             | Gas Line                             |
| Overhead Wires                       | Overhead Wires                       |
| Electrical Cable (Buried)            | Electrical Cable (Buried)            |
| Telephone Line                       | Telephone Line                       |
| Fire Hydrant                         | Fire Hydrant                         |
| Valve Vault                          | Valve Vault                          |
| Buffalo Box                          | Buffalo Box                          |
| Downspout                            | Downspout                            |
| Bollard                              | Bollard                              |
| Gas Valve                            | Gas Valve                            |
| Gas Meter                            | Gas Meter                            |
| Electric Meter                       | Electric Meter                       |
| ComEd Manhole                        | ComEd Manhole                        |
| Hand Hole                            | Hand Hole                            |
| Light Pole                           | Light Pole                           |
| Light Pole w/ Mast Arm               | Light Pole w/ Mast Arm               |
| Utility Pole                         | Utility Pole                         |
| Telephone Pedestal                   | Telephone Pedestal                   |
| Telephone Manhole                    | Telephone Manhole                    |
| Sign                                 | Sign                                 |
| Fence                                | Fence                                |
| Accessible Parking Stall             | Accessible Parking Stall             |
| Curb & Gutter                        | Curb & Gutter                        |
| Depressed Curb                       | Depressed Curb                       |
| Curb Elevation                       | Curb Elevation                       |
| Gutter Elevation                     | Gutter Elevation                     |
| Pavement Elevation                   | Pavement Elevation                   |
| Sidewalk Elevation                   | Sidewalk Elevation                   |
| Ground Elevation                     | Ground Elevation                     |
| Top of Retaining Wall Elevation      | Top of Retaining Wall Elevation      |
| Swale                                | Swale                                |
| Contour Line                         | Contour Line                         |
| Deciduous Tree                       | Deciduous Tree                       |
| Coniferous Tree                      | Coniferous Tree                      |
| Brushline                            | Brushline                            |
| Tree Protection Fencing at Drip Line | Tree Protection Fencing at Drip Line |

## GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The City of Tinley Park A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
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- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereof, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



**ERIKSSON  
ENGINEERING  
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A  
GRAYSLAKE, ILLINOIS 60030  
PHONE (847) 223-4864  
FAX (847) 223-4864  
EMAIL INFO@EEA-LTD.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-003220  
EXPIRES: 04/30/2021

# FOX COLLEGE SITE IMPROVEMENTS

18020 OAK PARK AVENUE  
TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
	06/29/20	Village Submittal

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Design By:	Approved By:	Date:
MC	KC	06/29/20

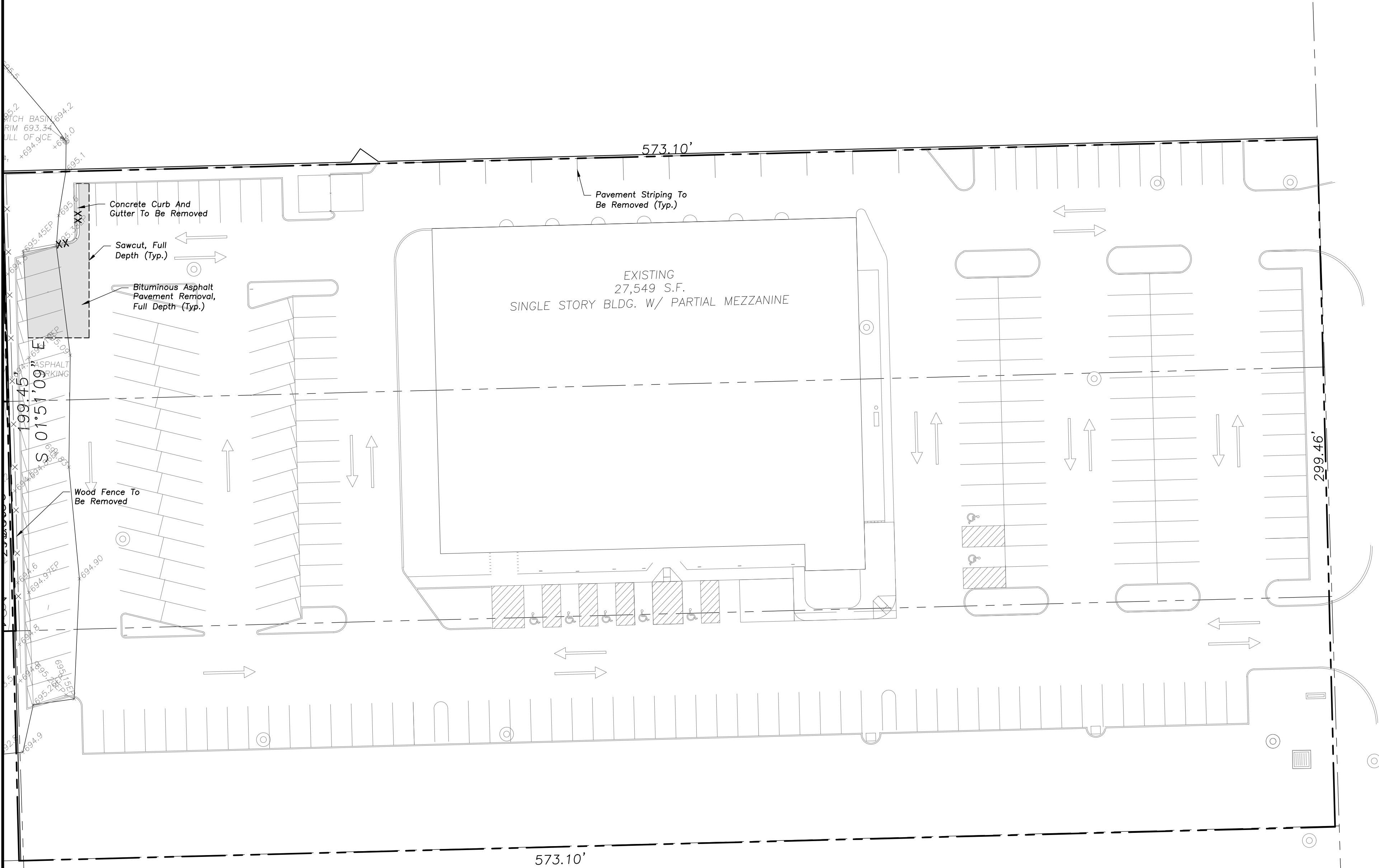
Sheet Title:

**DEMOLITION  
PLAN**

Sheet No:

**C100**



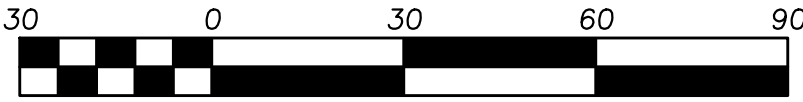


## DEMOLITION NOTES

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## DEMOLITION LEGEND

	Bituminous Pavement Removal (Full Depth)
	Concrete Pavement Removal (Full Depth)
	Pavement Sawcut
	Curb & Gutter Removal
	Structure Removal
	Tree Removal



Scale: 1"=30'

## LEGEND

EXISTING		PROPOSED
	Manhole	
	Catch Basin	
	Inlet	
	Area Drain	
	Clean Out	
	Flared End Section	
	Storm Sewer	
	Sanitary Sewer	
	Combined Sewer	
	Water Main	
	Gas Line	
	Overhead Wires	
	Electrical Cable (Buried)	
	Telephone Line	
	Fire Hydrant	
	Valve Vault	
	Buffalo Box	
	Downspout	
	Bollard	
	Gas Valve	
	Gas Meter	
	Electric Meter	
	ComEd Manhole	
	Hand Hole	
	Light Pole	
	Light Pole w/ Mast Arm	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Sign	
	Fence	
	Accessible Parking Stall	
	Curb & Gutter	
	Depressed Curb	
	Curb Elevation	
	Gutter Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Retaining Wall Elevation	
	Swale	
	Contour Line	
	Deciduous Tree	
	Coniferous Tree	
	Brushline	
	Tree Protection Fencing at Drip Line	

## GENERAL NOTES

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EMAIL INFO@EEA-LTD.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-003220  
EXPIRES: 04/30/2021

# FOX COLLEGE SITE IMPROVEMENTS 18020 OAK PARK AVENUE TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
	06/29/20	Village Submittal

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Design By:	Approved By:	Date:
MC	KC	06/29/20

Sheet Title:

**DEMOLITION PLAN  
(EXISTING LOT)**

Sheet No:

**C101**

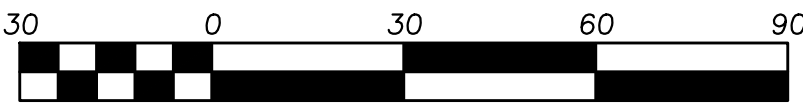


## Parking Space Summary

	Existing	Proposed
Regular Spaces	242	329
ADA Spaces	7	8

## GEOMETRY NOTES

1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
2. All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45' At 2'-0" Centers.
3. All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.



Scale: 1"=30'

## LEGEND

EXISTING	PROPOSED

## GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
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# FOX COLLEGE SITE IMPROVEMENTS

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Design By:	Approved By:	Date:
MC	KC	06/29/20

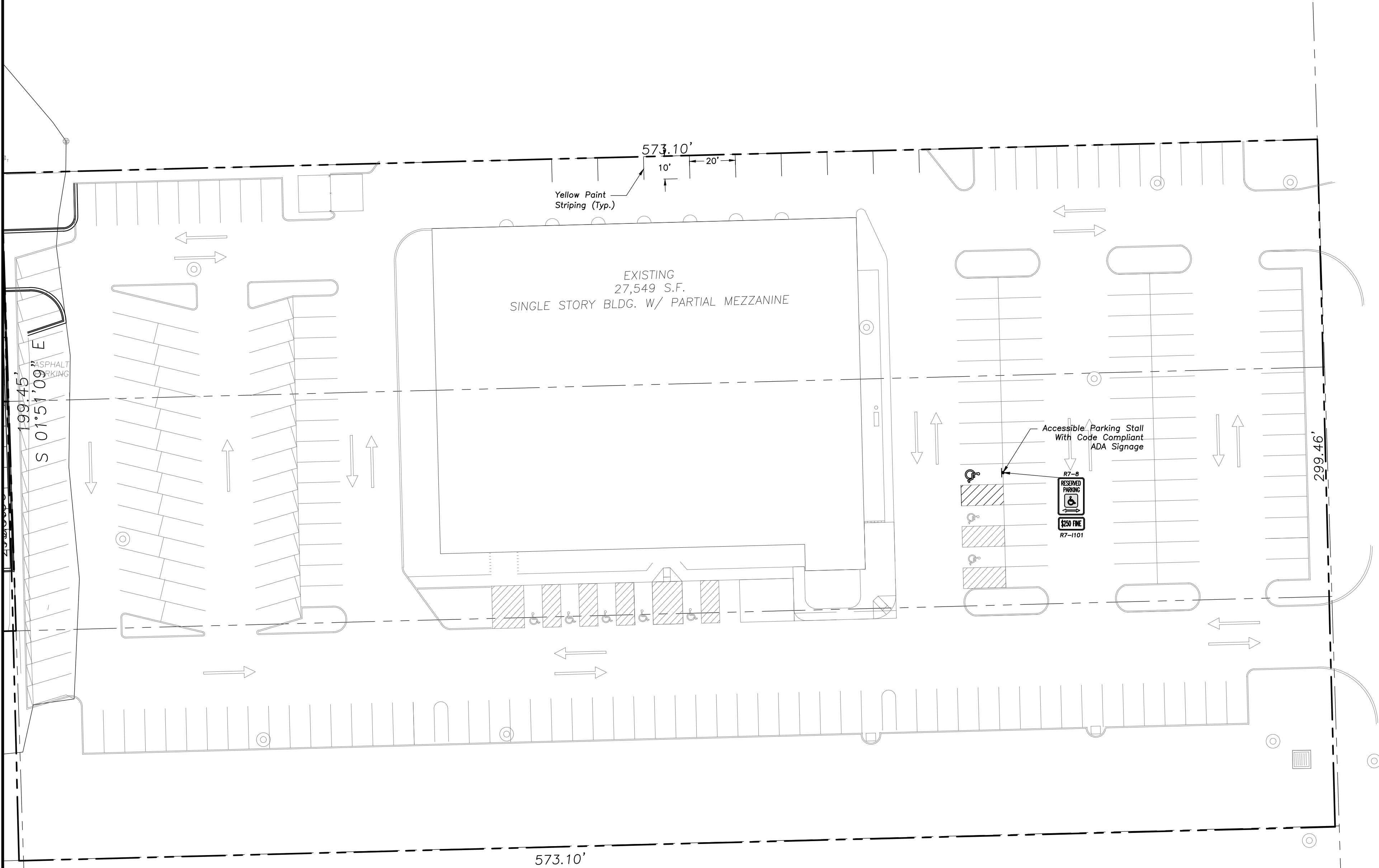
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**SITE GEOMETRY  
PLAN**

Sheet No:

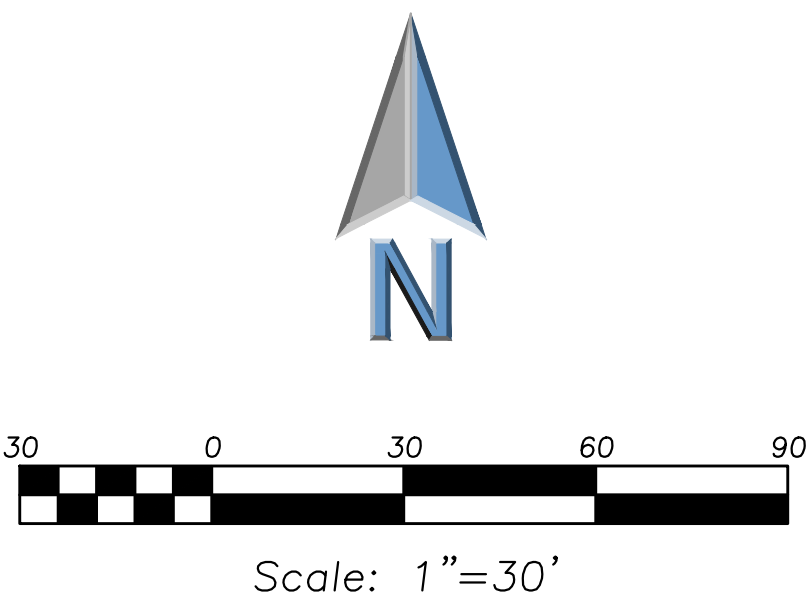
**C200**





Parking Space Summary		
	Existing	Proposed
Regular Spaces	242	329
ADA Spaces	7	8

- GEOMETRY NOTES**
1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
  2. All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45' At 2'-0" Centers.
  3. All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.



LEGEND	
EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Bollard	Bollard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

- GENERAL NOTES**
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  2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
  3. Notify The Owner, Engineer and The City of Tinley Park A Minimum of 48 Hours In Advance of Performing Any Work.
  4. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
  5. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
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  7. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
  8. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
  9. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



**ERIKSSON  
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LICENSE NO. 184-003220  
EXPIRES: 04/30/2021

# FOX COLLEGE SITE IMPROVEMENTS 18020 OAK PARK AVENUE TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
	06/29/20	Village Submittal

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MC	KC	06/29/20

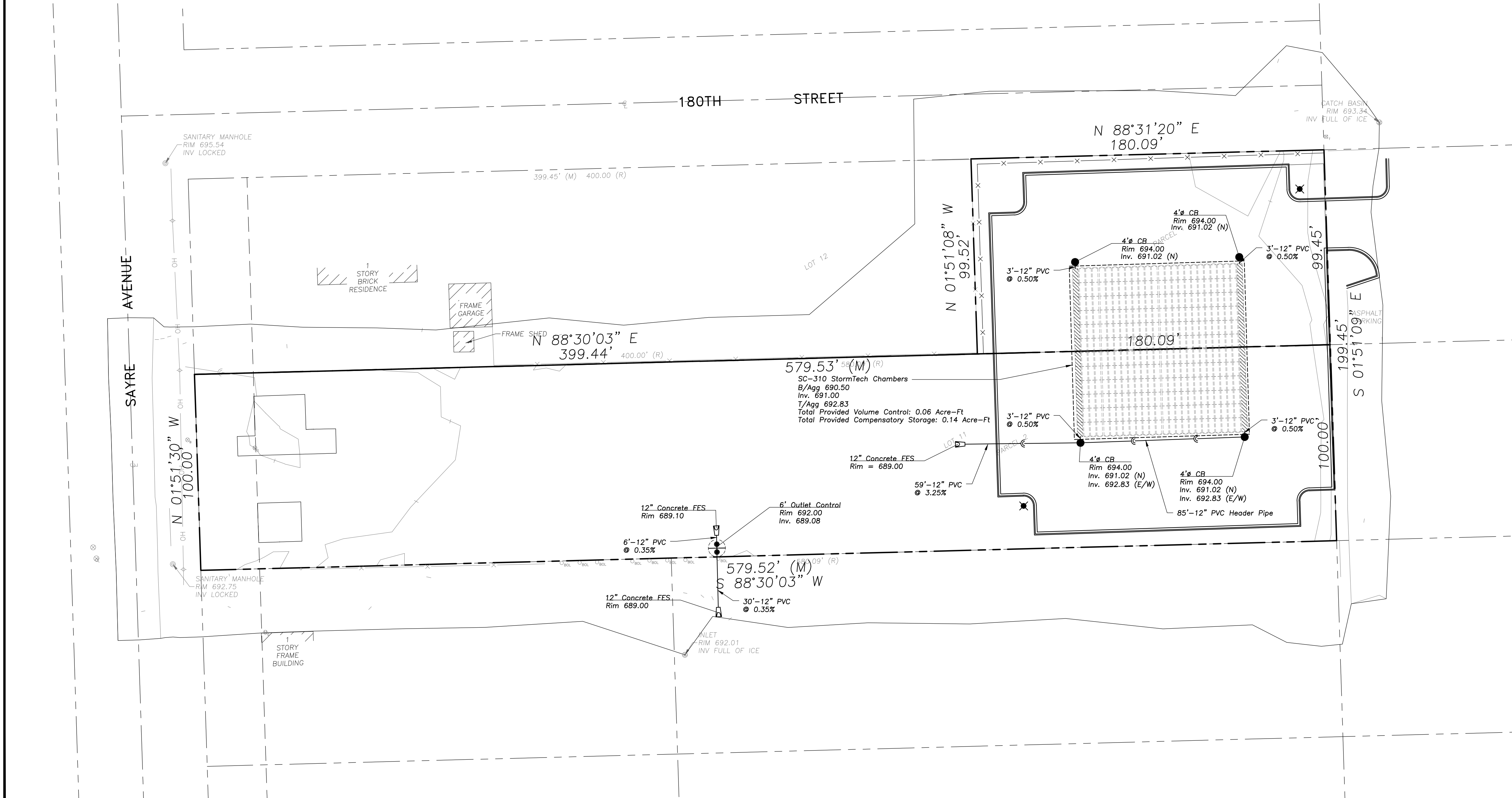
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**SITE GEOMETRY  
PLAN (EXISTING  
LOT)**

Sheet No:

**C201**



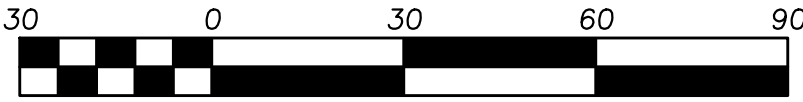


### UTILITY NOTES

1. Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior To Installation Of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
2. Coordinate the Relocation Of Any Utilities Encountered And Replacement Of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
3. Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
4. Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
5. The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

### STRUCTURE NOTES

1. All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
2. All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4540-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:  
4" Diameter Structure- 4"  
5" Diameter Structure- 6"  
6" Diameter Structure- 8"
3. All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
4. All Flared End Sections Shall Be Concrete.



Scale: 1"=30'

### LEGEND

EXISTING		PROPOSED
	Manhole	
	Catch Basin	
	Inlet	
	Area Drain	
	Clean Out	
	Flared End Section	
	Storm Sewer	
	Sanitary Sewer	
	Combined Sewer	
	Water Main	
	Gas Line	
	Overhead Wires	
	Electrical Cable (Buried)	
	Telephone Line	
	Fire Hydrant	
	Valve Vault	
	Buffalo Box	
	Downspout	
	Bollard	
	Gas Valve	
	Gas Meter	
	Electric Meter	
	ComEd Manhole	
	Hand Hole	
	Light Pole	
	Light Pole w/ Mast Arm	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Sign	
	Fence	
	Accessible Parking Stall	
	Curb & Gutter	
	Depressed Curb	
	Curb Elevation	
	Gutter Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Retaining Wall Elevation	
	Swale	
	Contour Line	
	Deciduous Tree	
	Coniferous Tree	
	Brushline	
	Tree Protection Fencing at Drip Line	

### GENERAL NOTES

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8. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
9. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



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## FOX COLLEGE SITE IMPROVEMENTS

18020 OAK PARK AVENUE  
TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
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Design By:	Approved By:	Date:
MC	KC	06/29/20

Sheet Title:

UTILITY PLAN

Sheet No:

C300



## SOIL EROSION & SEDIMENTATION CONTROL NOTES

- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Contractor Shall Be Responsible for Compliance With IEPA NPDES and ILR10 Permit Requirements for Project.
- Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days After Completion of Final Grading of Soil.
- All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) in Paved Areas To Prevent Siltation.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal, such as Park Chop Sedguard) In Paved Areas To Prevent Siltation and Discharge Into Waterways.
- All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II And Lake County DECI Requirements.
- Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.
- Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services in Accordance with NPDES and Governmental Requirements. Inspections Shall Occur at Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
- The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
- All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILR10 and Local and County Permits.
- Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to Open Water.

## GRADING NOTES

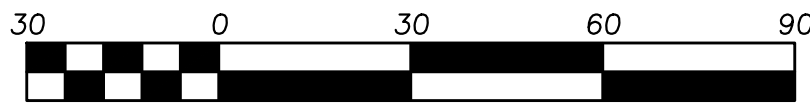
- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.

## PAVING & SURFACE LEGEND

- Asphalt Pavement Section  
1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50  
2 1/2" Hot Mix Asphalt, IL-19.0, N50  
Prime Coat (0.25 gal/sq yd)  
8" Aggregate Base Course, Type B, Crushed, CA-6
- Stormwater Overland Flow Path
- Ridge Line/High Point

## SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Erosion Control Blanket  
North American Green DS75  
Or Approved Equal
- Permanent Turf Reinforcement Mat  
North American Green C350  
Or Approved Equal
- Catch-All, Park Chop Sedguard (or equal) Paved or Existing Stabilized Areas



Scale: 1"=30'

## LEGEND

- | EXISTING                        | PROPOSED                        |
|---------------------------------|---------------------------------|
| Manhole                         | Manhole                         |
| Catch Basin                     | Catch Basin                     |
| Inlet                           | Inlet                           |
| Area Drain                      | Area Drain                      |
| Clean Out                       | Clean Out                       |
| Flared End Section              | Flared End Section              |
| Storm Sewer                     | Storm Sewer                     |
| Sanitary Sewer                  | Sanitary Sewer                  |
| Combined Sewer                  | Combined Sewer                  |
| Water Main                      | Water Main                      |
| Gas Line                        | Gas Line                        |
| Overhead Wires                  | Overhead Wires                  |
| Electrical Cable (Buried)       | Electrical Cable (Buried)       |
| Telephone Line                  | Telephone Line                  |
| Fire Hydrant                    | Fire Hydrant                    |
| Valve Vault                     | Valve Vault                     |
| Buffalo Box                     | Buffalo Box                     |
| Downspout                       | Downspout                       |
| Bollard                         | Bollard                         |
| Gas Valve                       | Gas Valve                       |
| Gas Meter                       | Gas Meter                       |
| Electric Meter                  | Electric Meter                  |
| ComEd Manhole                   | ComEd Manhole                   |
| Hand Hole                       | Hand Hole                       |
| Light Pole                      | Light Pole                      |
| Light Pole w/ Mast Arm          | Light Pole w/ Mast Arm          |
| Utility Pole                    | Utility Pole                    |
| Telephone Pedestal              | Telephone Pedestal              |
| Telephone Manhole               | Telephone Manhole               |
| Sign                            | Sign                            |
| Fence                           | Fence                           |
| Accessible Parking Stall        | Accessible Parking Stall        |
| Curb & Gutter                   | Curb & Gutter                   |
| Depressed Curb                  | Depressed Curb                  |
| Curb Elevation                  | Curb Elevation                  |
| Gutter Elevation                | Gutter Elevation                |
| Pavement Elevation              | Pavement Elevation              |
| Sidewalk Elevation              | Sidewalk Elevation              |
| Ground Elevation                | Ground Elevation                |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale                           | Swale                           |
| Contour Line                    | Contour Line                    |
| Deciduous Tree                  | Deciduous Tree                  |
| Coniferous Tree                 | Coniferous Tree                 |
| Brushline                       | Brushline                       |
| Tree Protection                 | Tree Protection                 |
| Fencing at Drip Line            | Fencing at Drip Line            |

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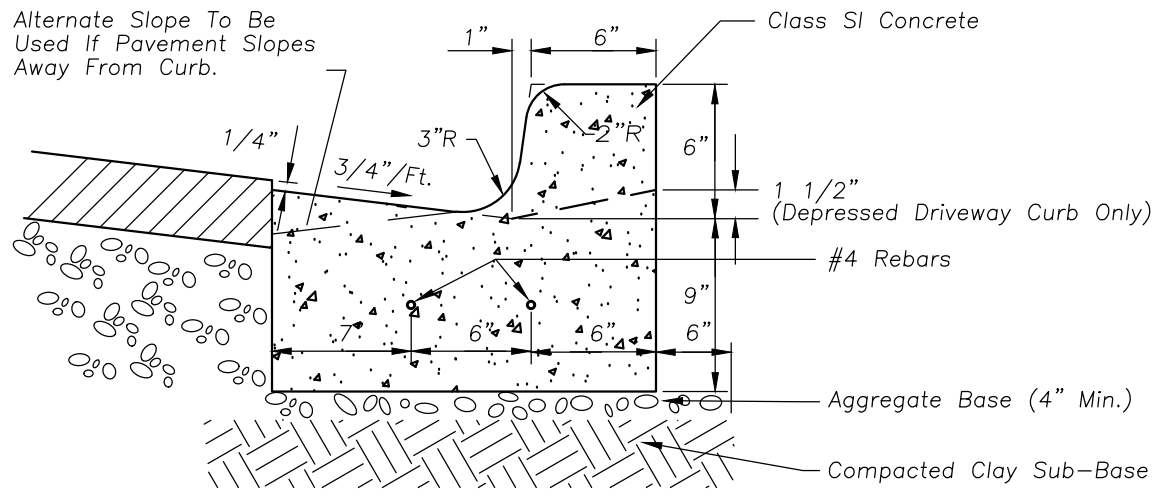
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**GRADING AND  
PAVING PLAN**

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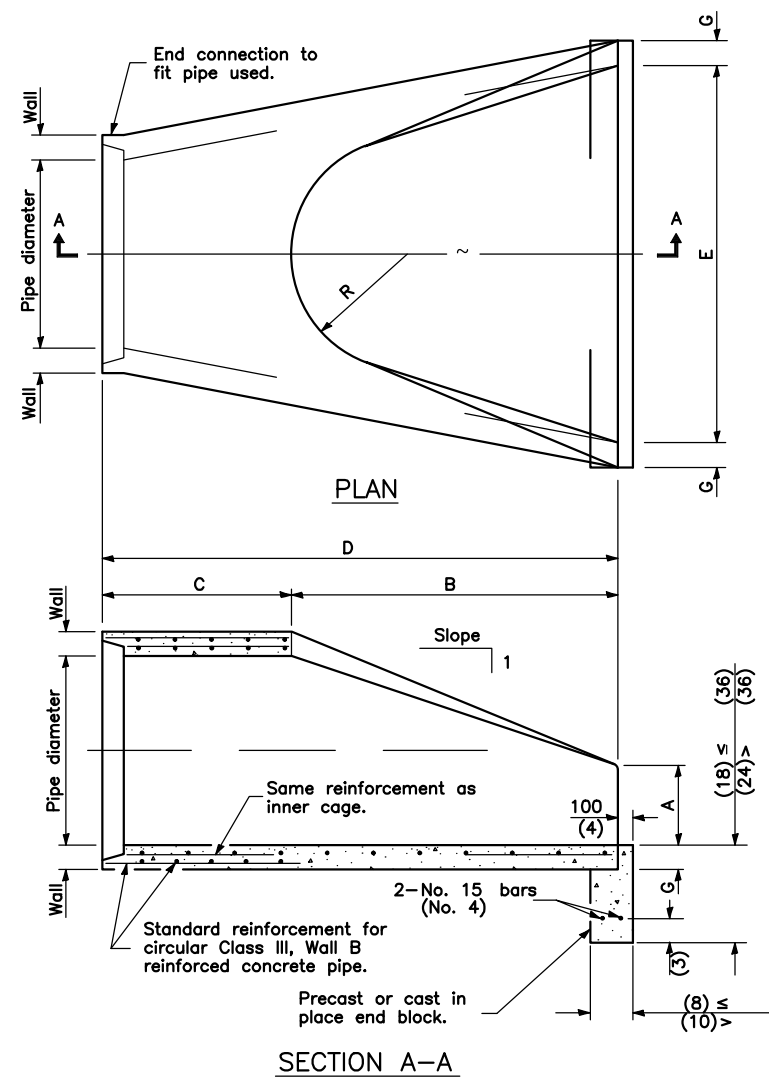
**C400**





- Notes:
1. A 1" Expansion Joint Shall Be Installed At All Points of Curvature For Short Radius (under 25 ft.) Curves. Maximum Expansion Joint Spacing is 50'. Expansion Joints Shall Be Constructed With 1" Thick Preformed Expansion Joint Filler, Conforming To The Curb And Gutter Cross Section And Shall Be Provided With One, 1 1/4"  $\phi$ , 18' Long, Coated Smooth Dowel Bar. The Dowel Bar Shall Be Fitted With A Cap With A Finched Stop Which Provides A Minimum Of 1" Of Expansion.
  2. Maximum Contraction (Control) Joint Spacing Shall Be 20'.

### B-6.12 CURB & GUTTER



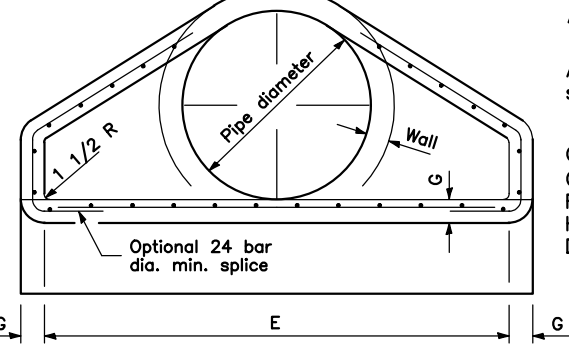
### PRECAST REINFORCED CONCRETE FLARED END SECTION

PIPE DIA.	APPROX. QTY., kg lbs	WALL	A	B	C	D	E	G	R	APPROX. SLOPE
12	530	2	4	24	4'-0 7/8"	6'-0 7/8"	24	2	9	1:2.4
15	740	2 1/4	6	27	5'-10"	6'-1"	30	2 1/4	11	1:2.4
18	990	2 1/2	9	27	3'-10"	6'-1"	36	2 1/2	12	1:2.4
21	1280	2 3/4	9	35	36	6'-1"	3'-6"	2 3/4	13	1:2.4
24	1520	3	9 1/2	3'-7 1/2"	30	6'-1 1/2"	4'-0"	3	14	1:2.5
30	2190	3 1/2	12	4'-6"	19 3/4	6'-1 3/4"	5'-0"	3 1/2	15	1:2.5
36	4100	4	15	5'-3"	34 3/4	8'-1 3/4"	6'-0"	4	20	1:2.5
42	5380	4 1/2	21	5'-3"	35	8'-2"	6'-6"	4 1/2	22	1:2.5
48	6550	5	24	6'-0"	26	8'-2"	7'-0"	5	22	1:2.5
60	8730	6	35	5'-0"	39	8'-3"	8'-0"	5	*	1:1.9

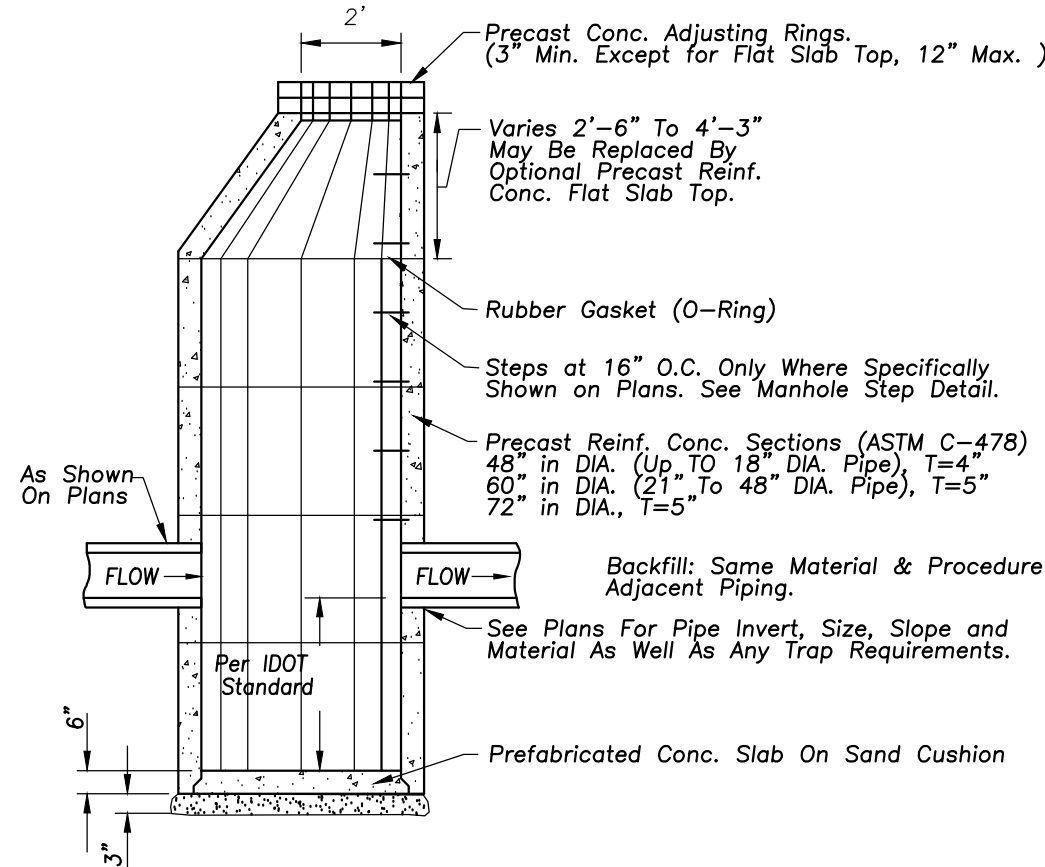
\*Radius as furnished by manufacturer

GENERAL NOTES  
All dimensions are in inches unless otherwise shown.  
All flared end sections 12" and larger shall include an IDOT standard grate.

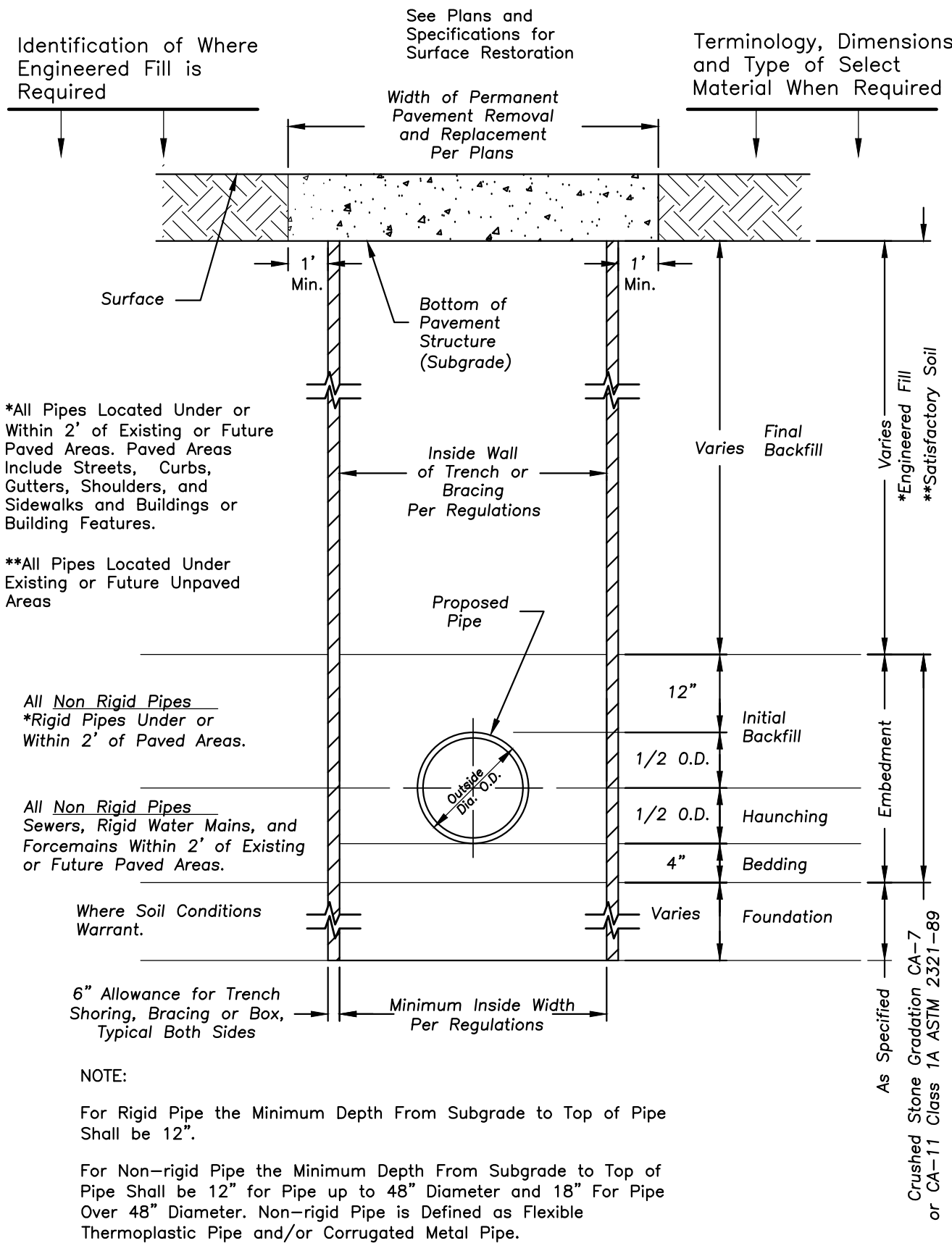
Contractor Shall Provide Adequate Coupling Device and/or Oversized Flared-End Section to Accommodate HDPE Storm Sewer Called for in Drawings.



END VIEW



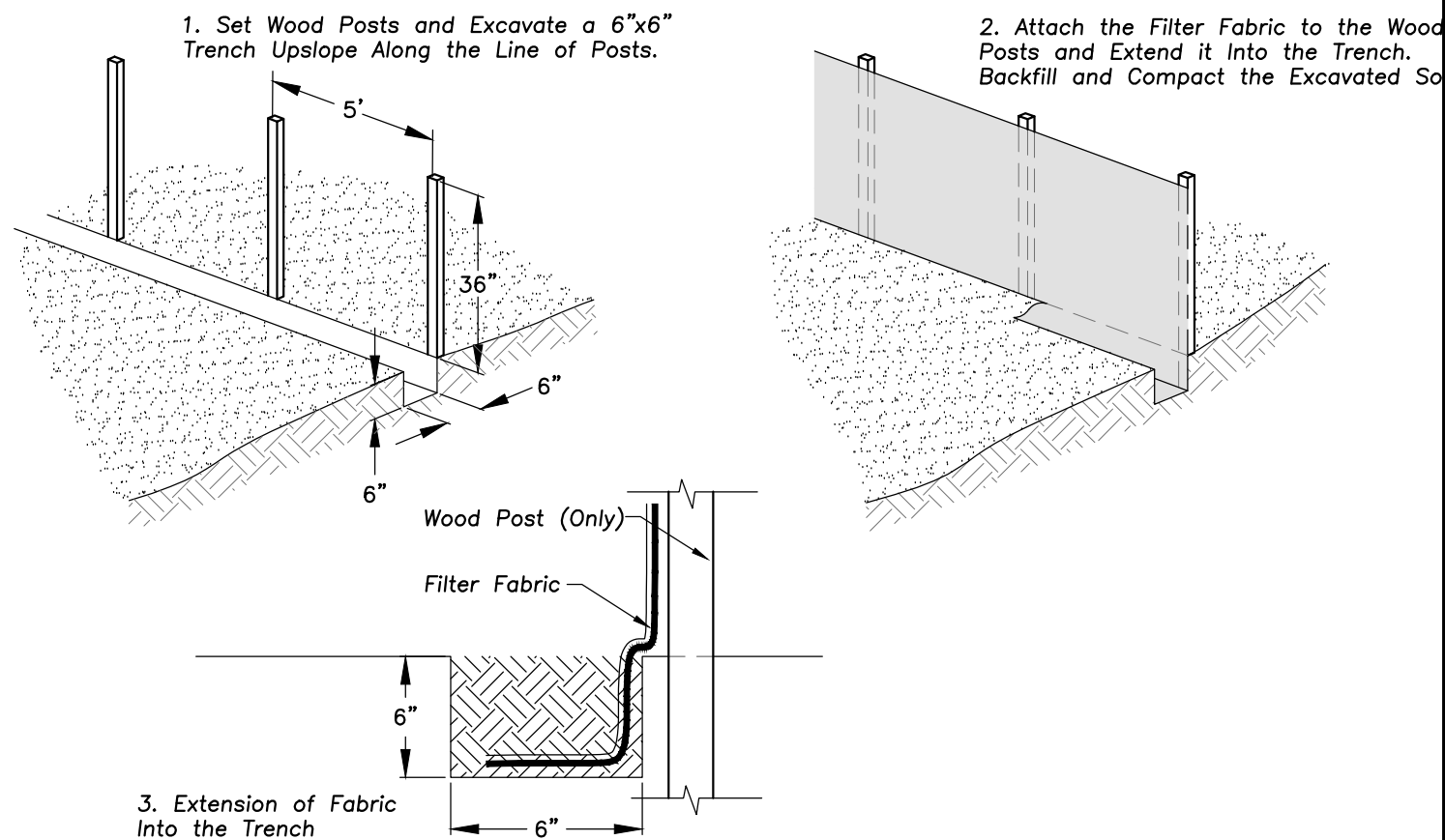
### CATCH BASIN



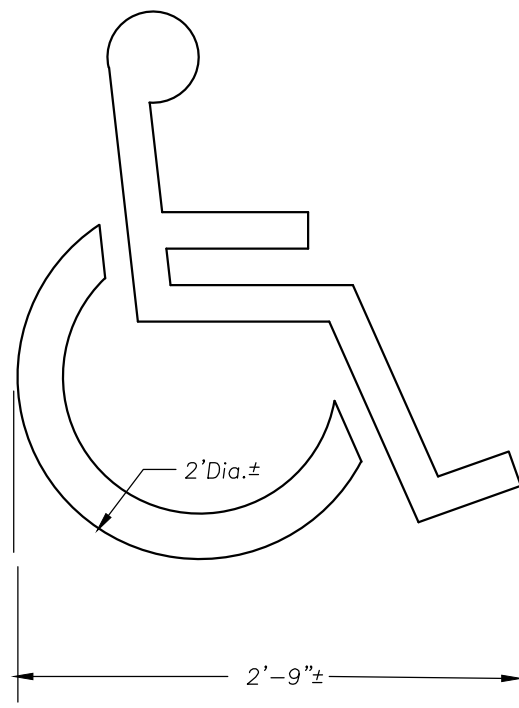
### STANDARD SEWER AND WATER TRENCH SECTION

Notes: Dimensions shown for cross sections are minimum.  
All holes are 3/8"  $\phi$ . Minimum section modulus about the x-x axis of the post shall be 0.223 in.  
For posts in which holes are punched or drilled for more than half their length, the section modulus shall be computed for the net section.  
3'-6" Post Bury Depth.  
Post shall weigh 2.00 lb/ft length.  
One in Six Accessible Parking Spaces Must be Van Accessible. Minimum of One Van Accessible Spaces Have the Same Requirement Except They Must Also Have 96" of Clear Vertical Space.

### ACCESSIBLE PARKING SIGN



### SILT FENCE CONSTRUCTION (AASHTO 288-00)



### ACCESSIBLE PARKING STALL PAVEMENT MARKING



**ERIKSSON  
ENGINEERING  
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A  
GRAYSLAKE, ILLINOIS 60030  
PHONE (847) 223-4804  
FAX (847) 223-4864  
EMAIL INFO@EEA-LTD.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-008220  
EXPIRES: 04/30/2021

**FOX COLLEGE  
SITE IMPROVEMENTS**  
18020 OAK PARK AVENUE  
TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
	06/29/20	Village Submittal

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Design By: MC Approved By: KC Date: 06/29/20

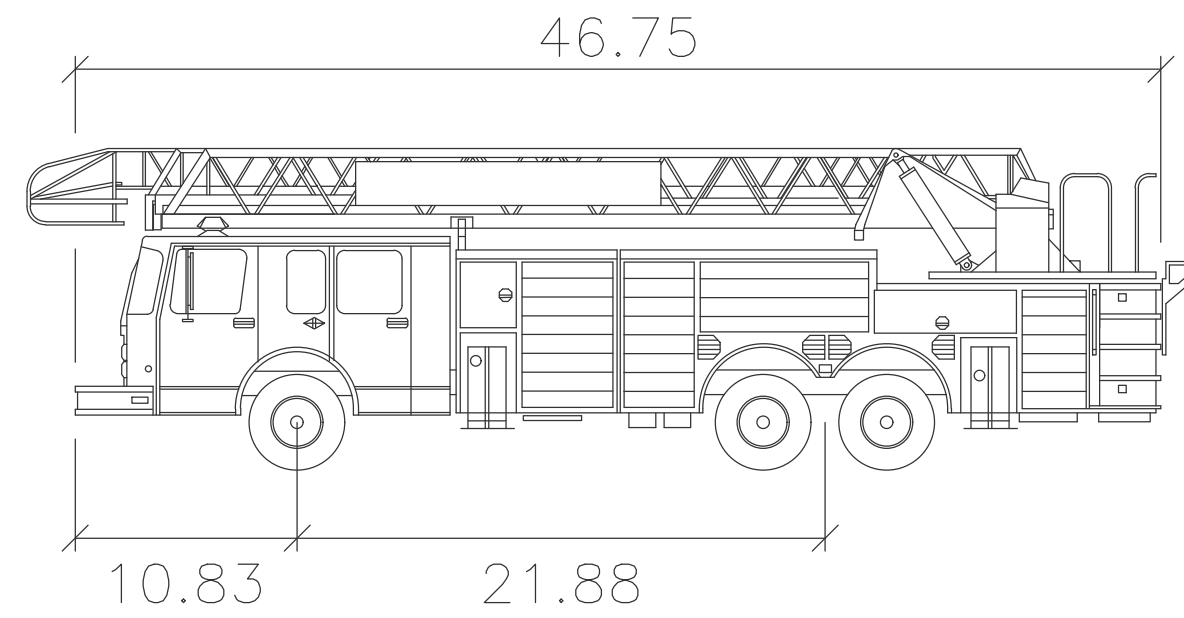
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**SITE DETAILS**

Sheet No:

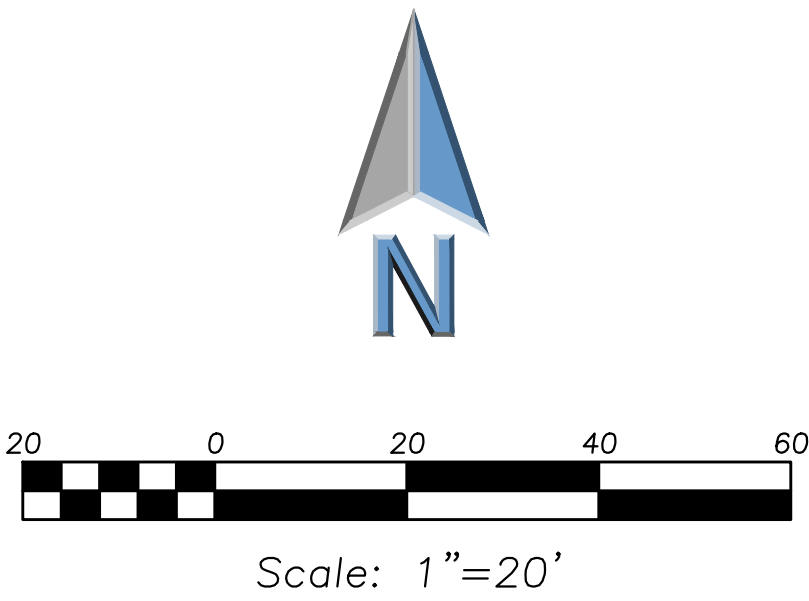
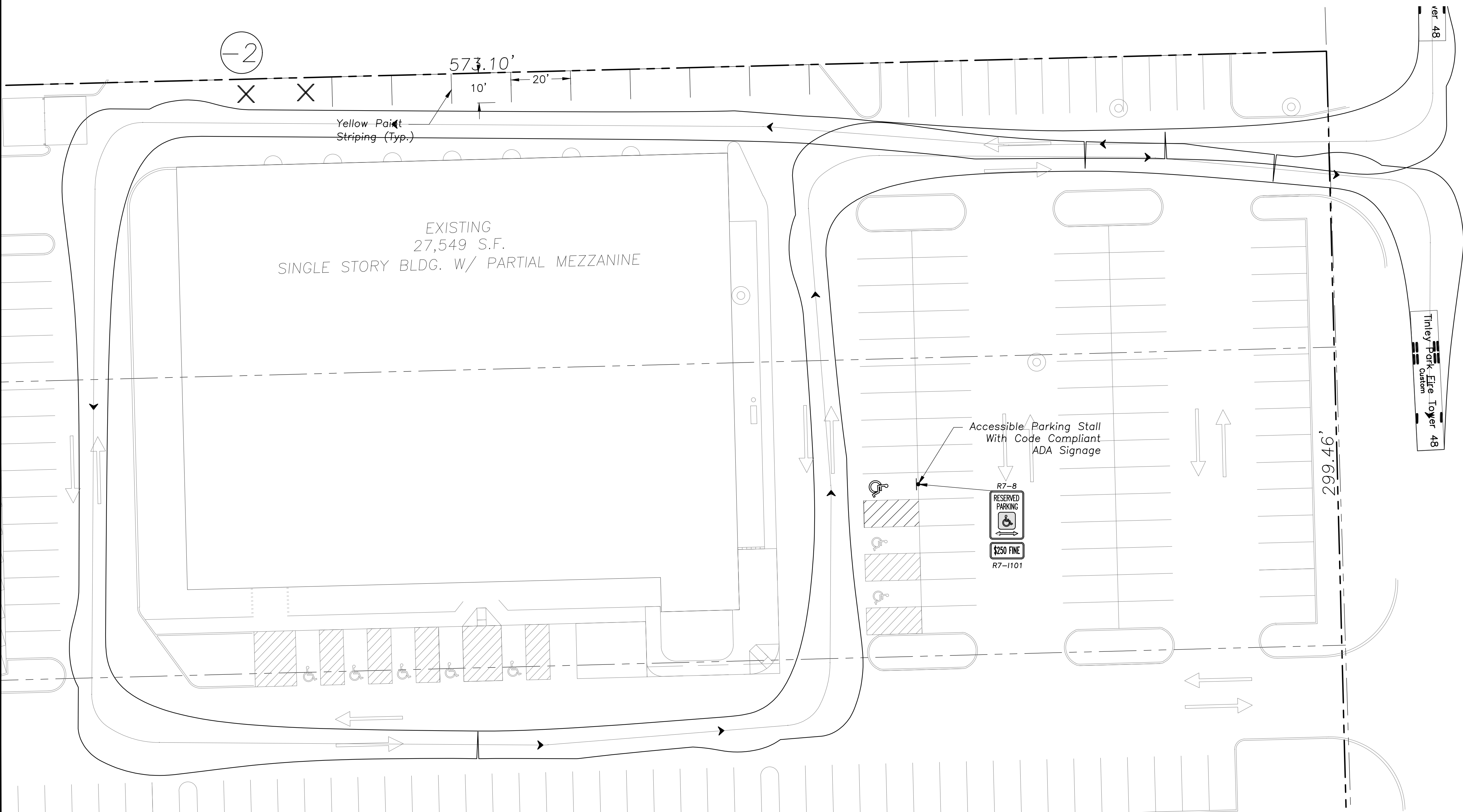
**C500**





Tinley Park Fire Tower 48

	feet
Width	: 9.00
Track	: 9.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



LEGEND	
EXISTING	PROPOSED



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# FOX COLLEGE SITE IMPROVEMENTS

18020 OAK PARK AVENUE  
TINLEY PARK, ILLINOIS

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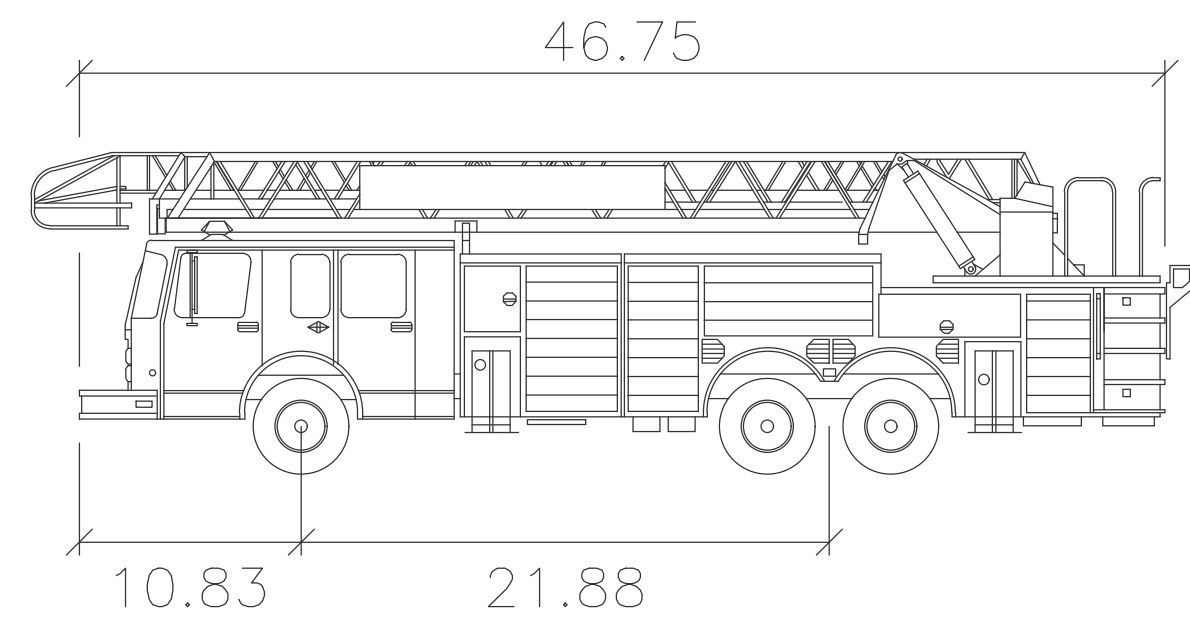
Design By:	Approved By:	Date:
MC	KC	06/29/20

Sheet Title:

**AUTOTURN  
EXHIBIT - FIRE  
TOWER 48**

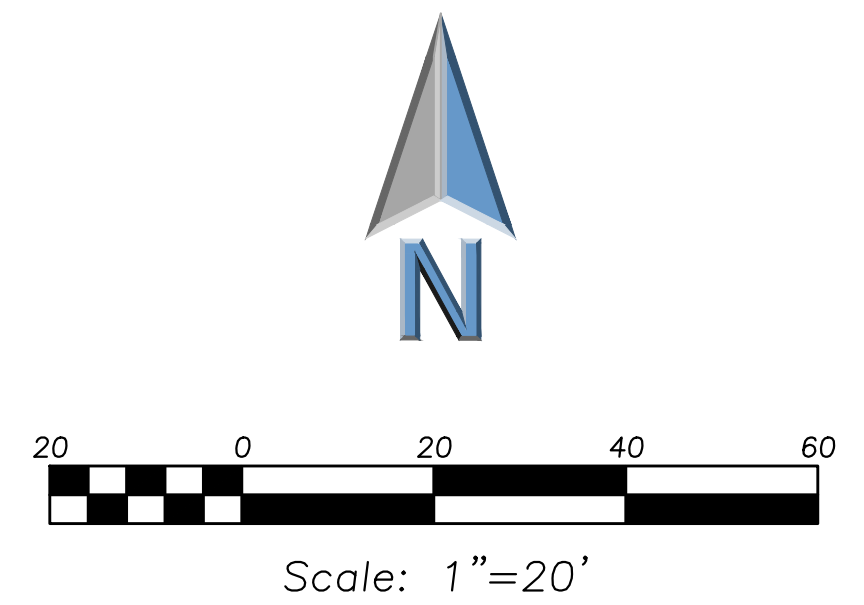
Sheet No:

**CX-1**



Tinley Park Fire Tower 48

	feet
Width	: 9.00
Track	: 9.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



LEGEND	
EXISTING	PROPOSED



**ERIKSSON**  
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# FOX COLLEGE SITE IMPROVEMENTS 18020 OAK PARK AVENUE TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
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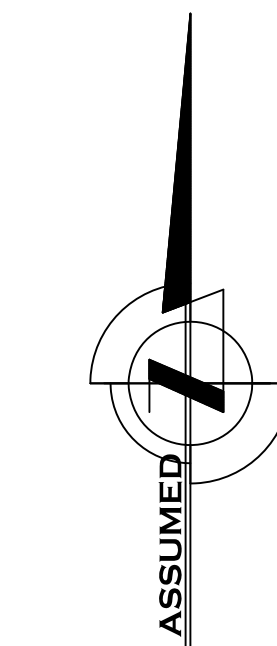
Design By: MC	Approved By: KC	Date: 06/29/20
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Sheet Title:  
**AUTOTURN  
EXHIBIT - FIRE  
TOWER 48**

Sheet No:  
**CX-2**



LOTS 1, 2 AND 3 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A  
SUBDIVISION IN THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13  
EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF  
RECORDED JANUARY 21, 1928 AS DOCUMENT NUMBER 10262889 IN COOK COUNTY  
ILLINOIS.



**LEGEND**

	= PROPERTY BOUNDARY LINE
	= LOT LINE / R.O.M. LINE
	= CENTERLINE
	= SECTION LINE
	= SECTION LINE
	= EASEMENT
	= DEPRESSED CURB
	= WIRE FENCE
	= WOOD FENCE
	= CHAIN-LINK FENCE
	= IRON FENCE
	= SANITARY SEWER
	= STORM SEWER
	= WATER MAIN
	= BURIED ELECTRIC
	= BURIED TELEPHONE
	= BURIED GAS MAIN
	= BURIED CATH.
	= FOUND OR SET CUT CROSS
	= SURVEY MONUMENT FOUND OR SET
	= CONCRETE MONUMENT FOUND OR SET
	= STORM MANHOLE
	= SANITARY MANHOLE
	= WATER VALVE VALVE
	= STORM INLET
	= STORM INLET ( CURB INLET )
	= FLANGED DISC SECTION
	= HYDRANT
	= TRAFFIC SIGNAL VALVE
	= TELEPHONE MANHOLE
	= LIGHT STANDARD
	= UTILITY POLE
	= GUY WIRE ANCHOR
	= TRAFFIC SIGNAL MONITOR
	= WATER SHUT-OFF BOX
	= WATER GATE VALVE
	= GAS VALVE
	= PETROLEUM PIPELINE MARKER
	= TELEPHONE P.D.
	= C.A.T.V. P.D.
	= SIGN
	= INTERSECTION UTILITY LOCATION BY OTHERS (AS SET BY UTILITY LOCATOR)
	<b>NOTES:</b> S = SEWER, W = WATER MAIN, S+ = SEWER TO TELEPHONE, C = CABLE TV, F= FIBER OPTIC BUILDINGS
	= MANHOLE
	= FLAPJACK
	= FLOODGATE
	= TREE ( DECIDUOUS ) W/ SIZE (D.A.)
	= TREE ( NON-DECIDUOUS ) W/ SIZE (D.A.)

POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
FCM = FOUND CONCRETE MONUMENT  
FOM = FOUND IRON MONUMENT  
FR = FOUND IRON ROD  
FPK = FOUND PK NAIL  
FCF = FOUND OUT CROSS  
FOT = FOUND OUT NOTCH  
SIP = SET IRON PIPE  
SCP = SET CUT CROSS  
SPK = SET PK NAIL  
SCM = SET CONCRETE MONUMENT  
REC = RECORD INFORMATION  
MEAS = MEASURED INFORMATION  
CALC = CALCULATED INFORMATION  
CMP = CORRUGATED METAL PIPE  
CMC = CONCRETE MORTAR CONCRETE PIPE  
DIP = DUCTILE IRON PIPE  
TF = TOP OF FOUNDATION  
FIN = FINISHED FLOOR  
CONC = CONCRETE  
BIT = BITUMINOUS  
PUE = PUBLIC UTILITY EASEMENT  
PUBU = PUBLIC UTILITY &  
DRAINAGE EASEMENT  
O/H = OVERHEAD WIRING  
FC = FENCE CORNER  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST

PROPERTY DESCRIBED HEREON FALLS IN ZONE 'AE' &  
ZONE "X" AS SCALED FROM "F.I.R.M." MAP LISTED BELOW

( BASE FLOOD ELEVATION ESTABLISHED FOR ZONE "AE"  
= 695.00 )  
( PER FEMA "F.I.R.M." MAP COMMUNITY PANEL # 17031C0708F  
EFFECTIVE DATE: NOV. 6, 2000 - NGVD DATUM )

RM#708-3

☐ CUT IN SOUTHWEST CORNER OF TRAFFIC SIGNAL VAULT  
LOCATED AT SOUTHEAST CORNER OF RT. 43 ( HARLEM AVE.  
& 167TH ST. ELEV. = 704.35 N( HELD )

RM#708-4  
"X" CUT IN N.E.X. OF TRAFFIC SIGNAL BOX LOCATED AT THE  
SOUTHWEST CORNER OF 171ST ST. & OAK PARK AVE.  
PUBLISHED ELEV.=701.05 ( MEASURED = 701.09 )

( PER FEMA "F.I.R.M." MAP COMMUNITY PANEL # 17031C0708  
EFFECTIVE DATE: NOV. 6, 2000 - NGVD DATUM )

VILLAGE B.M. #217  
E. FLANGE OF HYDRANT LOCATED AT THE NORTHEAST CORNER

OF 179TH ST. & 67TH AVE.  
PUBLISHED ELEV. = 697.16 ( MEASURED -- 697.18 )  
( B.M. FURNISHED BY ROBINSON ENGINEERING, LTD.)

GENERAL NOTES:

- 1.) CALL J.U.I.E. 1-800-892-1234 PRIOR TO ANY DIGGING OR CONSTRUCTION.
- 2.) NO UNDERGROUND UTILITIES SHOWN HEREON.
- 3.) REFER TO LOCAL ZONING AND SUBDIVISION ORDINANCES FOR PROPERTY RESTRICTIONS NOT SHOWN HEREON.
- 4.) THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S RAISED SEAL AFFIXED.
- 5.) COMPARE ALL POINTS AND REPORT ANY DIFFERENCES TO SURVEYOR PRIOR TO CONSTRUCTION AT ONCE.
- 6.) DO NOT SCALE DIMENSIONS FROM THIS PLAT.

TOTAL AREA OF PARCEL DESCRIBED = 171,5062 s.f. = 3.94 Acres

PROPERTY P.I.N. NO.'S: 25-31-303-009-0000  
25-31-303-013-0000

**PREPARED FOR:**

Momkus McCluskey Monroe Marsh & Spyrtos, L.L.C.  
3051 Oak Grove Road, Suite 220  
Downers Grove, Illinois 60515

**SURVEY ADDRESS:**

#10820 S. Oak Park Avenue  
Tinley Park, Illinois

**PROFESSIONAL LAND SERVICES, L.L.C.**

**LAND SURVEYING AND MAPPING**  
**7518 W. MADISON AVE. STE. A FOREST PARK, IL 60130**  
**PHONE# 708.488.1733 FAX# 708.488.1765**  
**E-MAIL: [PROLANDSURV@SBCGLOBAL.NET](mailto:PROLANDSURV@SBCGLOBAL.NET)**

**PREPARED DATE:**

**REVISIONS:** REV. 7/24/2006

REV. 8/07/2006 – Per Client

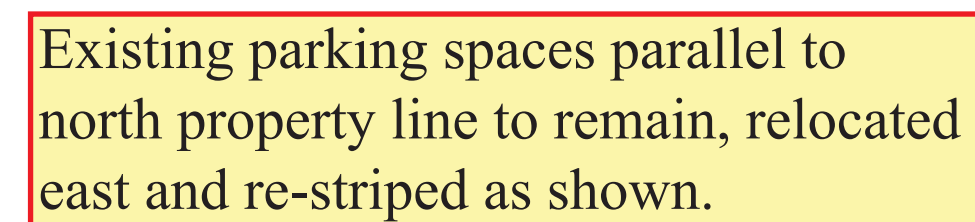
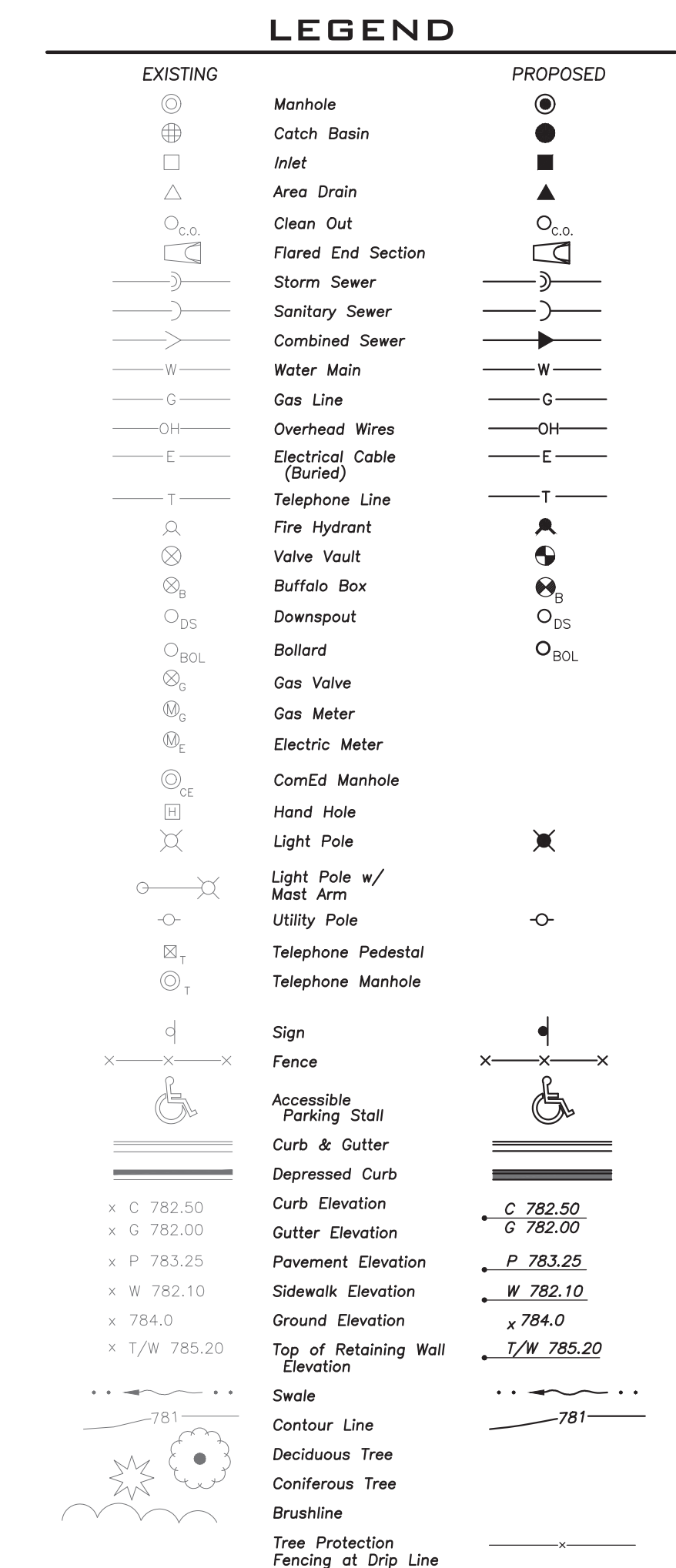
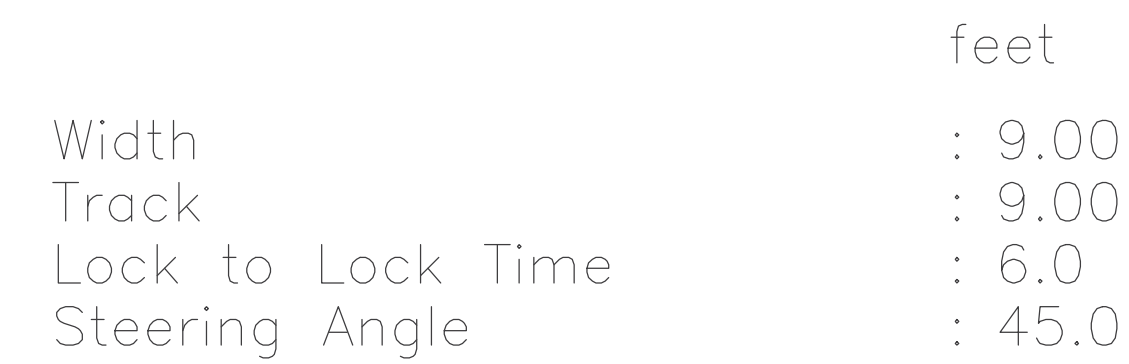
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P.L.S. JOB #: 06-204.1

DRAWN BY: CJ

**SHEET NUMBER: 1 OF 1**

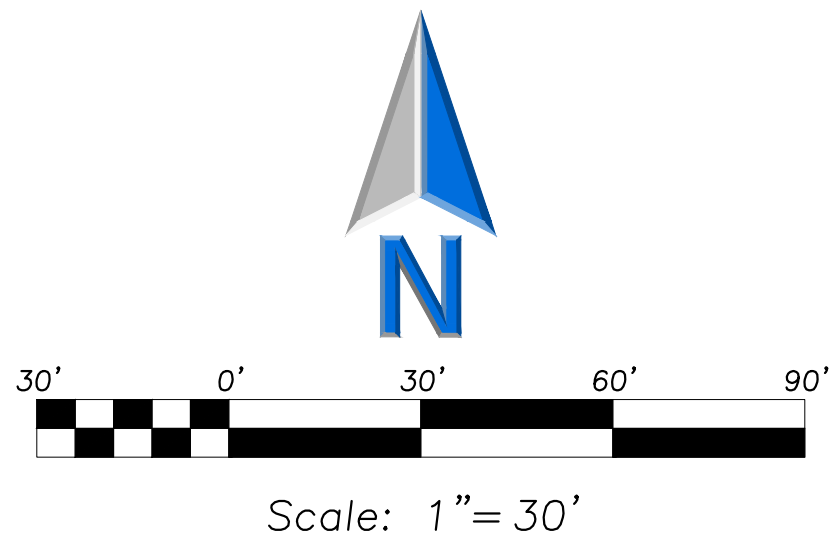
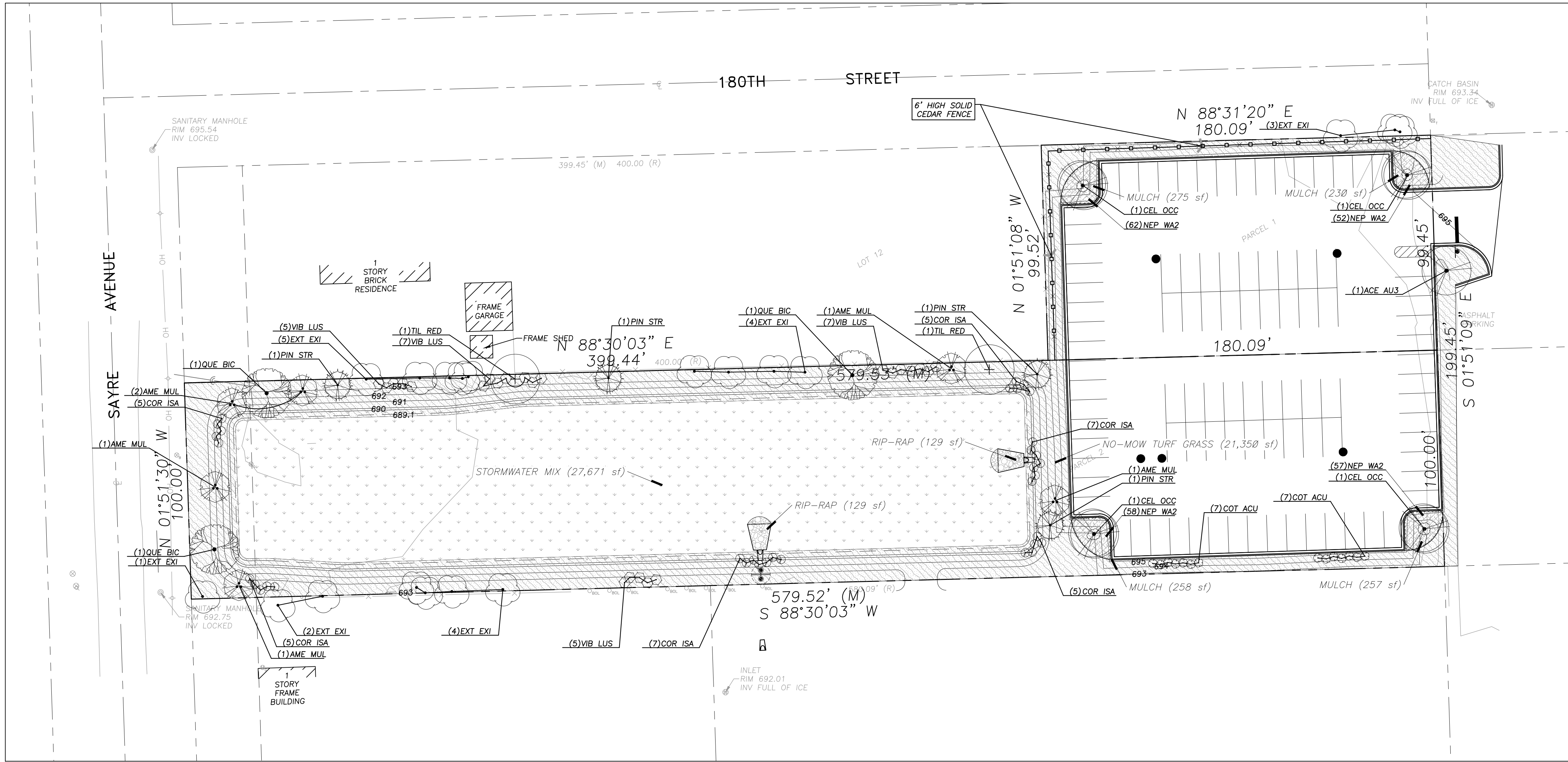




Sheet No:

CX-1





#### LANDSCAPE NOTES

1. PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
23. REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.

#### STORMWATER BASIN BOTTOM SEED MIX

Botanical Name	Common Name	Quinces/Acre
<b>Permanent Grasses/Sedges/Rushes:</b>		
Carex cristatella	Crested Oval Sedge	4
Carex frankii	Bristly Cattail Sedge	4
Carex lurida	Bottlebrush Sedge	5
Carex sparganioides v. cephaloides	Rough-Clustered Sedge	5
Carex vulpinoidea	Brown Fox Sedge	12
Eleocharis ovata	Blunt Spike Rush	3
Elymus virginicus	Virginia Wild Rye	32
Glyceria striata	Fowl Manna Grass	4
Juncus effusus	Common Rush	4
Juncus torreyi	Torrey's Rush	2
Leersia oryzoides	Rice Cut Grass	4
Panicum virgatum	Switch Grass	6
Scirpus atrovirens	Dark Green Rush	3
Scirpus cyperinus	Wool Grass	2
Scirpus fluviatilis	River Bulrush	2
Scirpus validus	Great Bulrush	16
		<b>Total 110.00</b>
<b>Temporary Cover:</b>		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	116.00
		<b>Total 476.00</b>
<b>Forbs:</b>		
Allisma spp.	Water Plantain (Various Mix)	12
Asclepias incarnata	Swamp Milkweed	4
Bidens spp.	Bidens (Various Mix)	4
Helianthus autumnale	Sneezeweed	9
Mimulus ringens	Monkey Flower	3
Penthorum sedoides	Ditch Stonecrop	2
Polygonum pennsylvanicum	Smartweed	16
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	3
Sagittaria latifolia	Broad-Leaf Arrowhead	3
Senna hebecarpa	Wild Senna	3
Thalictrum dasycarpum	Purple Meadow Rue	4
		<b>Total 63.00</b>

#### PLANT SCHEDULE

##### CANOPY TREES

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ACE AU3	ACER RUBRUM 'AUTUMN BLAZE' / AUTUMN BLAZE RED MAPLE	B & B	2.5" CAL.	1
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2.5" CAL.	4
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	2.5" CAL.	3
TIL RED	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B & B	2.5" CAL.	2

##### EVERGREEN TREES

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
PIN STR	PINUS STROBUS / WHITE PINE	B & B	8" HT.	4

##### EXISTING TREES

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
EXT EXI	EXISTING DECIDUOUS TREE / EXISTING TREE	EXISTING	EXISTING	19

##### UNDERSTORY TREES

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
AME MUL	AMELANCHIER CANADENSIS / SHADBLOW SERVICEBERRY	B & B	8" CLUMP	6

##### DECIDUOUS SHRUBS

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
COR ISA	CORNUS SERICEA 'ISANTI' / ISANTI REDOSIER DOGWOOD	B & B	36" HT.	34
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B & B	36" HT.	14
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B & B	36" HT.	24

##### GROUND COVERS

	BOTANICAL / COMMON NAME	COND	SIZE	QTY
NEP WA2	NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	#1	229

#### SITE MATERIALS SCHEDULE

	<b>NO-MOW TURF GRASS</b>	21,350 SF
	<b>STORMWATER MIX</b>	27,671 SF
	<b>RIP-RAP</b>	257 SF
	<b>MULCH</b>	1,021 SF

#### NO-MOW GRASS SEED MIX

Prairie Nursery

No\_Mow\_with\_Annual\_Rye

Variety	Germ/Origin
23.76% SR5150 Chewings Fescue	85%-OR
23.52% Sheep Fescue	85%-OR
11.76% SR5250 Creeping Red Fescue	85%-OR
11.76% Dawson Slender Red Fescue	85%-OR
11.66% SR3150 Hard Fescue	85%-OR
11.45% Scaldia II Hard Fescue	85%-OR
3.88% Gulf Annual Ryegrass	85%-OR

2.05% Inert Matter	
.10% Other Crop Seed	
.08 Weed Seed	

Noxious Weed Seed: NONE FOUND

Net Weight 50 lb (22.68 KG)  
LOT: PNY78

#### J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123



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## FOX COLLEGE SITE IMPROVEMENTS 18020 OAK PARK AVENUE TINLEY PARK, ILLINOIS

Reserved for Seal:

No.	Date	Description
	07/28/2020	Village Submittal

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Design By:	Approved By:	Date:
MC	KC	06/29/20

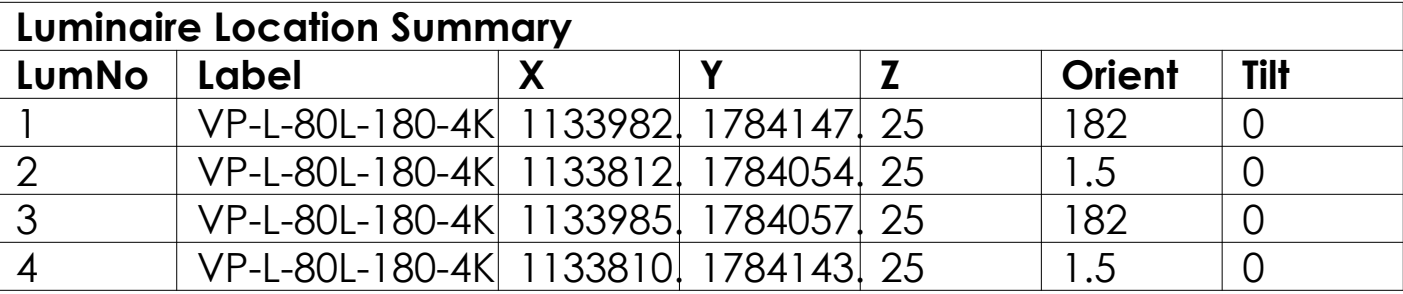
Sheet Title:

**LANDSCAPE  
PLAN**

Sheet No:

**L100**





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINES	Illuminance	Fc	0.46	2.2	0.0	N.A.	N.A.
SITE SITE	Illuminance	Fc	1.39	3.8	0.0	N.A.	N.A.
PARKING AREA	Illuminance	Fc	1.51	3.8	0.2	7.55	19.00

**PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.**





# VIPER L

LARGE VIPER LUMINAIRE

## FEATURES

- Large size companion to Viper Small
- Wide choice of different LED wattage configurations
- Ten optical distributions
- Designed to replace HID lighting up to 1000W MH or HPS
- Suitable for wet locations



\*3000K and warmer CCTs only

## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Manufactured with die cast aluminum
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements
- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which includes passing a 3,000-hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds
- External hardware is corrosion resistant

### OPTICS

- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one-piece optical system
- One-piece silicone gasket ensures a weatherproof seal around each individual optic
- One-piece optical cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel

### INSTALLATION

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included

### ELECTRICAL

- Luminaire accepts 100V through 277V, 347V or 480V input 50 Hz to 60 Hz (UNV)
- Power factor is  $\geq .90$  at full load
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only
- Fixture electrical compartment contains all LED driver components
- Optional 7-pin ANSI C136.41-2013 Twist-Lock® photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices
- Ambient operating temperature -40°C to 25°C
- Surge protection: 20kA
- Lifeshield™ Circuit ([see Electrical Data](#))

### CONTROLS

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration

## OPTICS STRIKE



## RELATED PRODUCTS

[Viper Small](#)

## CONTROLS (CONTINUED)

- Available with [Energeni](#) for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night
- In addition, Viper can be specified with [SiteSync™ wireless control system](#) for reduction in energy and maintenance costs while optimizing light quality 24/7

## CERTIFICATIONS

- DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- Certified to UL 1598 and UL 8750
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. [Separate spec available online](#)

## WARRANTY

- 5 year warranty
- See [HLI Commercial and Industrial Outdoor Lighting Warranty](#) for additional information

KEY DATA	
Lumen Range	14,283–39,969
Wattage Range	64–395
Efficacy Range (LPW)	98–135
Reported Life (Hours)	L70>377,000
Input Current Range (Amps)	0.3–4.0



# VIPER L

LARGE VIPER LUMINAIRE

## ORDERING GUIDE

Example: VPL-96L-280-4K7-4W-UNV-A-DBT-GENI-04-BC

CATALOG #

VPL					
Series	LED Engine	CCT/CRI <sup>7</sup>	Distribution	Rotation	Voltage
VPL Viper Large	<b>64L-135</b> 135W LED array <b>80L-180</b> 180W LED array <b>80L-235</b> 235W LED array <b>96L-220</b> 220W LED array <b>96L-280</b> 280W LED array <b>96L-315</b> 315W LED array <b>96L-395</b> 395W LED array	<b>3K7</b> 3000K, 70 CRI <b>4K7</b> 4000K, 70 CRI <b>5K7</b> 5000K, 70 CRI	<b>FR</b> Type 1/Front Row <b>2</b> Type 2 <b>3</b> Type 3 <b>4F (formerly 4)</b> Type 4 <b>4W</b> Type 4 Wide <b>5QM</b> Type 5QM <b>5QN</b> Type 5QN <b>5R</b> Type 5R (rectangular) <b>5W</b> Type 5W (round wide) <b>TC</b> Tennis Court <b>CR</b> Corner Right <b>CL</b> Corner Left	<b>Blank</b> No rotation <b>L</b> Optic rotation left <sup>5</sup> <b>R</b> Optic rotation right <sup>5</sup>	<b>UNV</b> 120–277V <b>347</b> 347V <b>480</b> 480V

Mounting	Color	Control Options Network	Options
<b>A</b> Rectangular Arm (formerly RA) for square or round pole <b>MAF</b> Mast Arm Fitter (formerly SF2) for 2¾" OD horizontal arm <b>K</b> Knuckle (formerly PK2) limit to 30° tilt or 2¾" OD horizontal arm or vertical tenon <b>WB</b> Wall Bracket <b>AD</b> Universal Arm for square pole <b>AD3</b> Universal Arm with adapter for 2.4"–4.1" round pole <b>AD4</b> Universal Arm with adapter for 4.2"–5.3" round pole <b>AD5</b> Universal Arm with adapter for 5.5"–5.9" round pole <b>AD6</b> Universal Arm with adapter for 6.0"–6.5" round pole	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Brone Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VG</b> Verde Green Textured <b>Color Option</b> <b>CC</b> Custom Color	<b>NXWE</b> NX Wireless Enabled (module + radio) <b>NXSPW_E</b> Nx Wireless, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup> <b>NXSP_F</b> NX, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup> <b>WIR</b> Wireless Controls, wiSCAPE <b>Control Options</b> <b>7PR</b> 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others) <b>7PR-SC</b> 7-Pin Receptacle w/Shorting Cap <b>7PR-TL</b> 7-Pin Receptacle w/Twist-Lock® photo control <b>SCP/_F</b> Programmable Occupancy Sensor w/ daylight control <sup>1,2,6</sup> <b>GENI-XX</b> ENERGENI <sup>3</sup> <b>SWP</b> SiteSync Pre-Commission <sup>1,4</sup> <b>SWPM_F</b> SiteSync Pre-Commission w/ Sensor <sup>1,2,4</sup>	<b>BC</b> Backshield (available for FR, 2, 3, 4, 4W Optics) <b>CD</b> Continuous Dimming <b>F</b> Fusing <b>TB</b> Terminal Block

### House Side Shield Accessories

- ☐ **HSS/EVP-L/90-FB/XXX** 90° shield front or back  
☐ **HSS/EVP-L/90-LR/XXX** 90° shield left or right  
☐ **HSS/EVP-L/270-FB/XXX** 270° shield front or back  
☐ **HSS/EVP-L/270-LR/XXX** 270° shield left or right  
☐ **HSS/EVP-L/360/XXX** Full shield

Replace XXX with notation for desired finish color. Refer to page 8 for shield images.

### Mounting Accessories

- ☐ **VPL-AD-RPA3** 2.4"-4.1" Round Pole Adapter for AD arm  
☐ **VPL-AD-RPA4** 4.2"-5.3" Round Pole Adapter for AD arm  
☐ **VPL-AD-RPA5** 5.5"-5.9" Round Pole Adapter for AD arm  
☐ **VPL-AD-RPA6** 6.0"-6.5" Round Pole Adapter for AD arm

### Notes:

- Not available with other wireless control or sensor options
- Specify mounting height; 8 = 8' or less, 40 = 9' to 40'
- Specify routine setting code (example GENI-04). See [ENERGENI brochure](#) and [instructions](#) for setting table and options. Not available with sensor or SiteSync options
- Specify group and zone at time of order. See [www.hubbelllighting.com/sitesync](#) for further details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node
- Only available with FR, 2, 3, 4, 4W and 5R distributions
- Order at least one SCP-REMOTE per project location to program and control the occupancy sensor

### Accessories and Services (Ordered Separately)

- ☐ **SCP-REMOTE** Remote Control for SCP/\_F option. Order at least one per project to program and control the occupancy sensor  
☐ **SWUSB\*** SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node  
☐ **SWTAB\*** Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node  
☐ **SWBRG** SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested  
☐ **SW7PR+** SiteSync 7-Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC  
☐ **BIRD-SPIKE-4** Bird Spikes

\* When ordering SiteSync at least one of these two interface options must be ordered per project.  
+ Available as a SiteSync retrofit solution for fixtures with an existing 7-pin receptacle.

### Hubbell Control Solutions — Accessories (Sold Separately)

#### NX Distributed Intelligence™

- ☐ **NXOFM-1R1D-UNV** On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC

#### wiSCAPE® Lighting Control

- ☐ **WIR-RME-L** On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit [www.hubbellcontrolsolutions.com](#). Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

# VIPER L

LARGE VIPER LUMINAIRE

## CONTROLS

### SiteSync — Precommissioned Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [the SiteSync family page on our website](#) or contact Hubbell Lighting tech support at 800-888-8006.



SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VP-L/80L-235/4K7/3/UNV/A/DB/SWP/      SiteSync only  
 VP-L/80L-235/4K7/3/UNV/A/DB/SWPM-40F/      SiteSync with Motion Control

### SiteSync 7-Pin Module:

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



SW7PR

### NX Distributed Intelligence™ Lighting Controls:

Supports both indoor and outdoor applications in a variety of deployment options: wired, wireless and hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync Color Tuning Technology.



NX Integrated Controls Reference								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
<b>NX Networked – Wireless</b>								
<a href="#">NXOFM-1R1D-UNV</a>	SCLNX	Yes	Yes	Yes	Yes	Yes	Yes	Yes, Bluetooth App

### wiSCAPE™:

Supports remote management, monitoring and metering of outdoor wireless lighting applications such as smart campuses, smart cities, parking lots, parking lots and roadways.



wiSCAPE Reference								
wiSCAPE Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
<b>Networked – Wireless</b>								
<a href="#">WIR-RME-L</a>	WIR-RME-L	Yes	Yes	No	Yes	Yes	Yes	wiSCAPE Gateway

# VIPER L

LARGE VIPER LUMINAIRE

## DELIVERED LUMENS

# of LEDs	DRIVE CURRENT (mA)	SYSTEM WATTS	DISTRIBUTION TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G
64	625 mA	135W	1A	18220	132	2	0	2	18783	137	2	0	2	16341	119	2	0	2
			2	17228	125	2	0	2	17761	129	2	0	2	15452	112	2	0	2
			3	17257	125	2	0	3	17791	129	2	0	3	15478	112	2	0	3
			4	16864	123	1	0	4	17386	126	1	0	4	15125	110	1	0	3
			4W	15106	112	2	0	4	15573	115	2	0	4	13237	98	2	0	3
			5QM	17259	125	4	0	2	17792	129	4	0	2	15479	112	4	0	2
			5QN	18023	131	4	0	0	18580	135	4	0	0	16165	117	4	0	0
			5R	17410	127	4	0	4	17948	130	4	0	4	15615	113	4	0	4
			5W	16498	120	4	0	2	17009	124	4	0	3	14797	108	4	0	2
			TC	15925	110	2	1	2	16417	113	2	1	2	14283	98	1	1	2
			CL	17350	128	3	0	3	17886	132	3	0	3	15561	114	2	0	3
			CR	17407	128	3	0	3	17945	132	3	0	3	15612	115	2	0	3
80	700 mA	180W	1A	23230	128	2	0	2	23948	132	2	0	2	20835	115	2	0	2
			2	21965	121	3	0	3	22645	125	3	0	3	19701	109	2	0	3
			3	22003	121	2	0	4	22683	125	3	0	4	19734	109	2	0	4
			4	21502	119	2	0	4	22167	122	2	0	4	19285	106	2	0	4
			4W	19260	107	2	0	4	19856	110	2	0	4	16877	94	2	0	4
			5QM	22005	121	4	0	2	22686	125	4	0	2	19736	109	4	0	2
			5QN	22979	127	4	0	1	23689	131	4	0	1	20610	114	4	0	0
			5R	22197	122	4	0	4	22884	126	4	0	4	19909	110	4	0	4
			5W	21035	116	5	0	3	21686	120	5	0	3	18867	104	4	0	3
			TC	19906	110	2	1	2	20522	113	2	1	2	17854	98	2	1	2
			CL	22121	123	3	0	4	22805	127	3	0	4	19840	110	3	0	4
			CR	22193	123	3	0	4	22879	127	3	0	4	19905	111	3	0	4
80	875 mA	235W	1A	27849	121	2	0	2	28711	125	2	0	2	24978	108	2	0	2
			2	26334	114	3	0	3	27148	118	3	0	4	23619	102	3	0	3
			3	26378	114	3	0	4	27194	118	3	0	4	23659	103	3	0	4
			4	25777	112	2	0	4	26575	115	2	0	5	23120	100	2	0	4
			4W	23090	98	2	0	5	23805	101	2	0	5	20234	86	2	0	4
			5QM	26381	114	4	0	2	27196	118	4	0	2	23661	103	4	0	2
			5QN	27548	119	5	0	1	28400	123	5	0	1	24708	107	5	0	1
			5R	26611	115	5	0	5	27434	119	5	0	5	23868	104	4	0	4
			5W	25218	109	5	0	3	25998	113	5	0	3	22619	98	5	0	3
			TC	23864	103	2	1	2	24602	107	2	1	2	21404	93	2	1	2
			CL	26520	113	3	0	4	27340	116	3	0	4	23786	101	3	0	4
			CR	26606	113	3	0	4	27429	117	3	0	4	23864	102	3	0	4
96	700 mA	220W	1A	27876	128	2	0	2	28738	132	2	0	2	25002	115	2	0	2
			2	26359	121	3	0	3	27174	125	3	0	4	23641	109	3	0	3
			3	26403	121	3	0	4	27220	125	3	0	4	23681	109	3	0	4
			4	25802	119	2	0	4	26600	122	2	0	5	23142	106	2	0	4
			4W	23111	105	2	0	5	23826	108	2	0	5	20252	92	2	0	4
			5QM	26406	121	4	0	2	27222	125	4	0	2	23684	109	4	0	2
			5QN	27575	127	5	0	1	28427	131	5	0	1	24732	114	5	0	1
			5R	26637	122	5	0	5	27460	126	5	0	5	23891	110	4	0	4
			5W	25242	116	5	0	3	26023	120	5	0	3	22640	104	5	0	3
			TC	23887	110	2	1	2	24626	113	2	1	2	21424	98	2	1	2
			CL	26545	121	3	0	4	27366	124	3	0	4	23809	108	3	0	4
			CR	26632	121	3	0	4	27456	125	3	0	4	23886	109	3	0	4
96	875 mA	280W	1A	33419	121	3	0	2	34453	125	3	0	2	29974	108	2	0	2
			2	31600	114	3	0	4	32577	118	3	0	4	28342	102	3	0	4
			3	31654	114	3	0	5	32633	118	3	0	5	28390	103	3	0	4
			4	30933	112	2	0	5	31889	115	2	0	5	27744	100	2	0	5
			4W	27708	99	3	0	5	28564	102	3	0	5	24280	87	2	0	5
			5QM	31657	114	5	0	3	32636	118	5	0	3	28393	103	4	0	2
			5QN	33058	119	5	0	1	34080	123	5	0	1	29650	101	5	0	1
			5R	31933	115	5	0	5	32921	119	5	0	5	28641	104	5	0	5
			5W	30262	109	5	0	4	31198	113	5	0	4	27142	98	5	0	3
			TC	28642	104	2	1	3	29528	107	2	1	3	25690	93	2	1	2
			CL	31824	106	3	0	5	32808	110	3	0	5	28543	95	3	0	4
			CR	31928	107	3	0	5	32915	110	3	0	5	28636	96	3	0	4
96	1000mA	315W <sup>2</sup>	1A	35666	113	3	0	2	36769	117	3	0	2	31989	101	2	0	2
			2	33725	107	3	0	4	34768	110	3	0	4	30248	96	3	0	4
			3	33782	107	3	0	5	34827	110	3	0	5	30299	96	3	0	4
			4	33012	105	2	0	5	34033	108	2	0	5	29609	94	2	0	5
			4W	29571	94	3	0	5	30485	97	3	0	5	25913	82	2	0	5
			5QM	33785	107	5	0	3	34830	110	5	0	3	30302	96	5	0	2
			5QN	35280	112	5	0	1	36371	115	5	0	1	31643	100	5	0	1
			5R	34080	108	5	0	5	35134	111	5	0	5	30567	97	5	0	5
			5W	32302	102	5	0	4	33301	106	5	0	4	28972	92	5	0	4
			TC	30568	97	2	1	3	31513	100	3	1	3	27416	87	2	1	3
			CL	33964	107	3	0	5	35014	111	3	0	5	30462	96	3	0	5
			CR	34074	108	3	0	5	35128	111	3	0	5	30561	97	3	0	5

96 LED continues on page 4

- Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.
- 315W and 395W 3000K versions are not DLC QPL listed. Reference dark gray highlighted cells in table.



# VIPER L

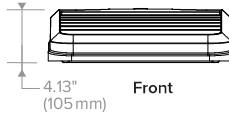
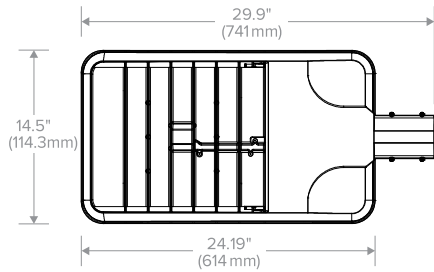
LARGE VIPER LUMINAIRE

## DELIVERED LUMENS

# of LEDs	DRIVE CURRENT (mA)	SYSTEM WATTS	DISTRIBUTION TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G
96	1225mA	395W <sup>2</sup>	1A	39569	101	3	0	4	43125	110	3	0	3	37518	96	3	0	2
			2	39569	101	3	0	4	40793	104	3	0	4	35490	91	3	0	4
			3	39619	101	3	0	5	40845	104	3	0	5	35535	91	3	0	5
			4	38723	98	3	0	5	39921	101	3	0	5	34731	88	2	0	5
			4W	34691	86	3	0	5	35764	89	3	0	5	30400	76	3	0	5
			5QM	39623	101	5	0	3	40848	104	5	0	3	35538	90	5	0	3
			5QN	41394	105	5	0	1	42675	109	5	0	1	37127	95	5	0	1
			5R	39969	102	5	0	5	41205	105	5	0	5	35848	91	5	0	5
			5W	37877	97	5	0	4	39048	100	5	0	4	33986	87	5	0	4
			TC	35850	90	3	1	3	36959	93	3	1	3	32154	81	3	1	3
			CL	39834	100	3	0	5	41066	103	4	0	5	35727	90	3	0	5
			CR	39964	101	3	0	5	41200	104	4	0	5	35844	90	3	0	5

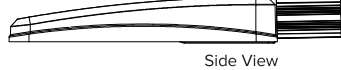
- 1 Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.
- 2 315W and 395W 3000K versions are not DLC QPL listed. Reference dark gray highlighted cells in table.

## DIMENSIONS

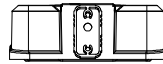


Weight	25.0 lbs (11.3 kg)
EPA	1.2 ft <sup>2</sup>

A Arm (formerly RA)



Side View

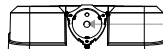


Back View

MAF (formerly SF2)



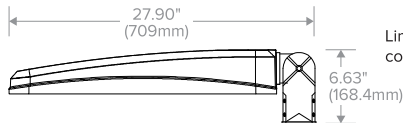
Side View



Back View

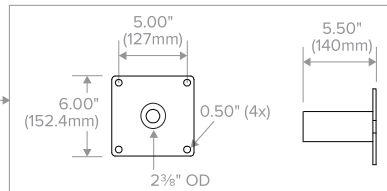
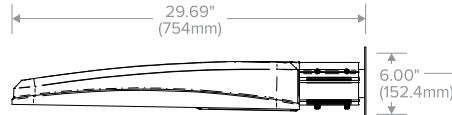
Accepts 2 3/8" OD tenon, min 5" long.

2 3/8" Adjustable Knuckle (K) (formerly PK2)

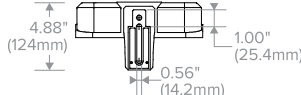
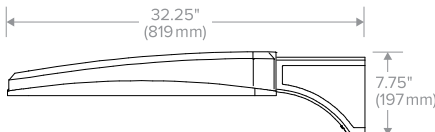


Limit to 30° tilt. Sensor, photocells and wireless controls should not be tilted above horizontal.

Wall Bracket (WB)



AD Decorative Arm



See page 9 for mounting details.

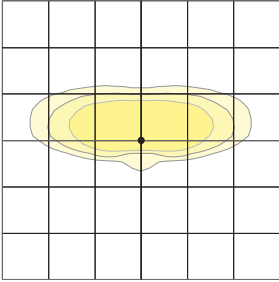
# VIPER L

LARGE VIPER LUMINAIRE

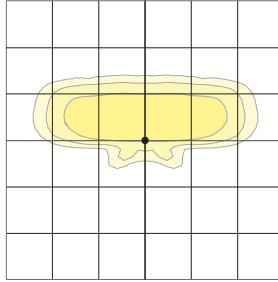
## PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

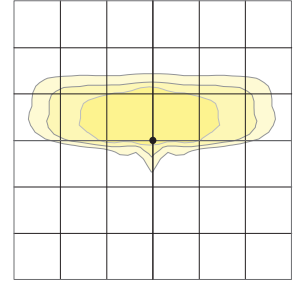
**Type FR – Front Row/Auto Optic**



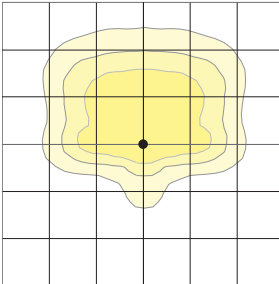
**Type 2**



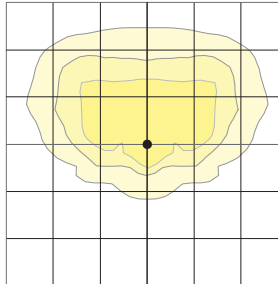
**Type 3**



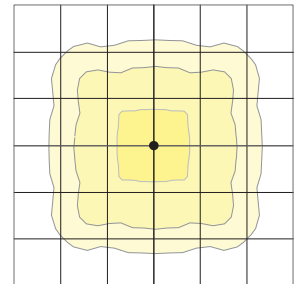
**Type 4**



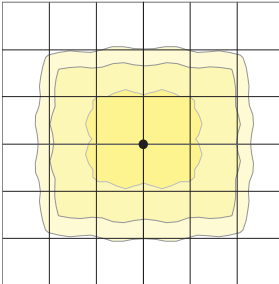
**Type 4 Wide**



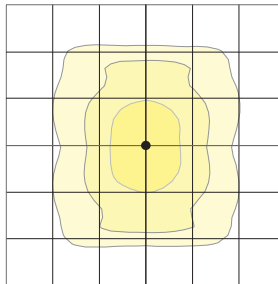
**Type 5QM**



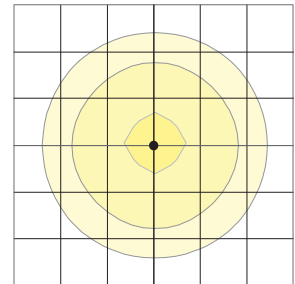
**Type 5QN**



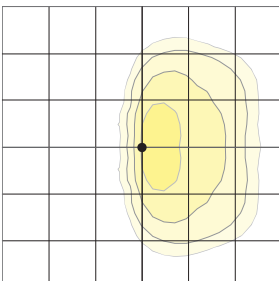
**Type 5R (rectangular)**



**Type 5W (round wide)**



**Type TC**



# VIPER L

LARGE VIPER LUMINAIRE

## ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
64	1	625 mA	120	135	1.4
			277		0.6
			347		0.5
			480		0.3
80	2	700 mA	120	180	1.8
			277		0.8
			347		0.6
			480		0.5
80	2	875 mA	120	235	2.4
			277		1
			347		0.8
			480		0.6
96	2	700 mA	120	220	2.2
			277		1
			347		0.8
			480		0.6
96	2	875 mA	120	280	2.8
			277		1.2
			347		1
			480		0.7
96	2	1000 mA	120	315	3.2
			277		1.4
			347		1.1
			480		0.8
96	2	1225 mA	120	395	4
			277		1.7
			347		1.4
			480		1

PROJECTED LUMEN MAINTENANCE						
Ambient Temp.	0	25,000	50,000	TM-21-11 60,000 <sup>1</sup>	100,000	Calculated L70 (HOURS)
25°C / 77°C	1	0.98	0.97	0.97	0.96	>377,000

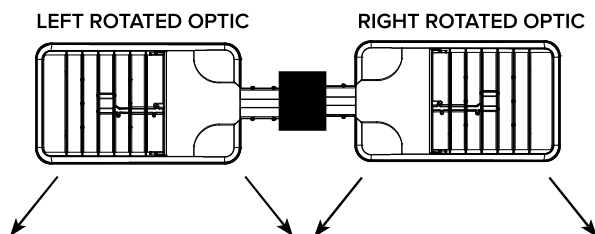
<sup>1</sup> Projected per IESNA TM-21-11.  
Data references the extrapolated performance projections for the 700mA base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

## LIFESHIELD™ CIRCUIT

Protects luminaire from excessive temperature. The device activates at a specific, factory-preset temperature and progressively reduces power over a finite temperature range. Operation is smooth and undetectable to the eye. Thermal circuit is designed to “fail on”, allowing the luminaire to revert to full power in the event of an interruption of its power supply or faulty wiring connection to the drivers. The device can co-exist with other 0–10V control devices (occupancy sensors, external dimmers, etc.)

## ADDITIONAL INFORMATION

### ROTATION OPTIONS





# VIPER L

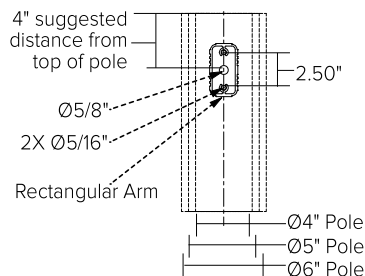
LARGE VIPER LUMINAIRE

## ADDITIONAL INFORMATION (CONTINUED)

### DRILL PATTERN

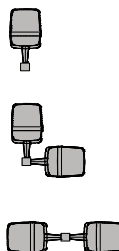
#### RECTANGULAR ARM (A)

Compatible with Pole drill pattern B3

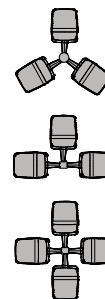


### EPA

Config.	EPA
1	1.2
2 @ 90°	1.9
2 @ 180°	2.4



Config.	EPA
3 @ 120°	3.0
3 @ 90°	3.1
4 @ 90°	3.8



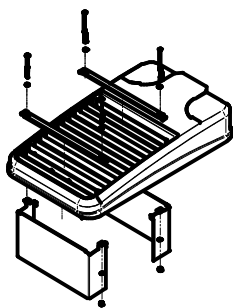
### TENON TOP POLE BRACKET ACCESSORIES (ORDER SEPARATELY)

(2 3/8" OD tenon)

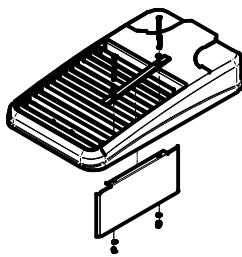
#### TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

- ☐ SETAVP-XX Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
- ☐ RETAVP-XX Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
- ☐ SETA2XX Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
- ☐ RETA2XX Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only

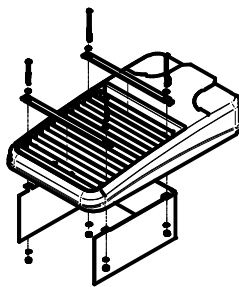
### HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



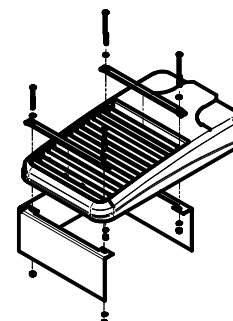
**HSS/VP-L/90-FB/XXX**  
90° shield front or back  
(2 shields shown)



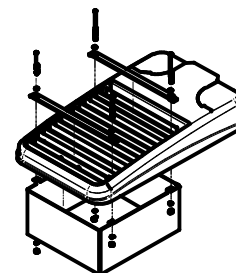
**HSS/VP-L/90-LR/XXX**  
90° shield left or right  
(1 shield shown in left orientation)



**HSS/VP-L/270-FB/XXX**  
270° shield front or back  
(1 shield shown in back orientation)



**HSS/VP-L/270-LR/XXX**  
270° shield left or right  
(1 shield shown in right orientation)



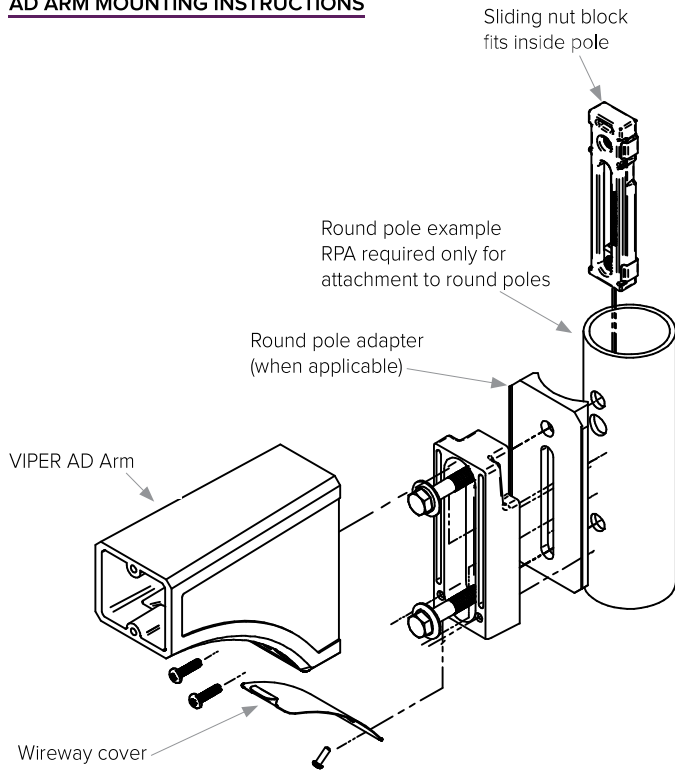
**HSS/VP-L/360/XXX**  
Full shield  
(1 shield shown)

# VIPER L

LARGE VIPER LUMINAIRE

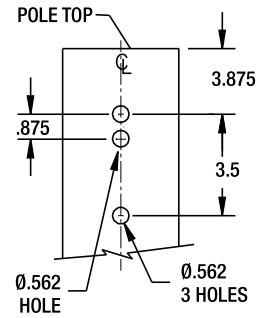
## ADDITIONAL INFORMATION (CONTINUED)

### AD ARM MOUNTING INSTRUCTIONS



### DECORATIVE ARM (AD)

Compatible with pole drill pattern S2



## USE OF TRADEMARKS AND TRADE NAMES

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LEGEND

- EXISTING BOUNDARY
- ADJACENT LOT LINES
- CENTER LINE
- CORPORATE LIMITS LINE

PLAT OF ANNEXATION  
TO THE VILLAGE OF TINLEY PARK  
OF

PLAT IS TO BE RETURNED TO  
THE VILLAGE OF TINLEY PARK  
16250 S. OAK PARK AVENUE  
TINLEY PARK, ILLINOIS 60477  
AFTER RECORDING



BASIS OF BEARING:  
EASTERLY LINE OF SAYRE AVENUE AS  
FOUND MONUMENTED AND OCCUPIED PER  
RECORD SUBDIVISION PLAT.  
N 01°51'30" W (ASSUMED)

PARCEL 1:  
THE EAST 180.9 FEET OF LOT 12 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, A SUBDIVISION  
IN THE WEST 1/2 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL  
MERIDIAN, RECORDED JANUARY 21, 1928, AS DOCUMENT NUMBER 10262889 IN COOK COUNTY,  
ILLINOIS.

COMMONLY KNOWN AS 6901 180TH STREET, TINLEY PARK, ILLINOIS.

LAND AREA = 17,916 SF  
OR 0.41 ACRES MORE OR LESS

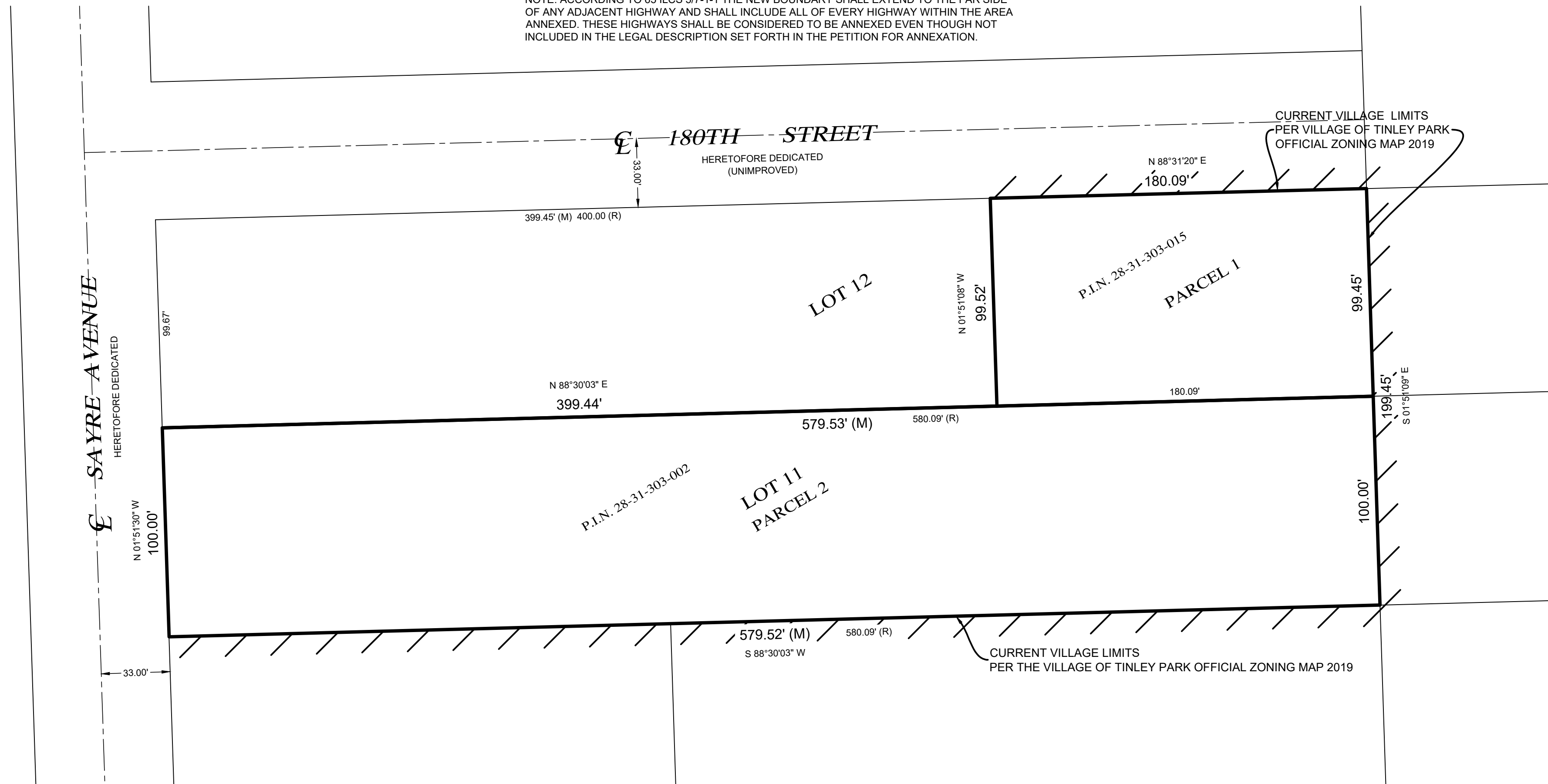
TOTAL LAND AREA = 75,868 SF  
OR 1.74 ACRES MORE OR LESS

PARCEL 2:  
LOT 11 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, A SUBDIVISION IN THE WEST 1/2 OF  
SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED  
JANUARY 21, 1928, AS DOCUMENT NUMBER 10262889 IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS 18017 SAYRE AVENUE, TINLEY PARK, ILLINOIS

LAND AREA = 57,951 SF  
OR 1.33 ACRES MORE OR LESS

NOTE: ACCORDING TO 65 ILCS 5/7-1-1 THE NEW BOUNDARY SHALL EXTEND TO THE FAR SIDE  
OF ANY ADJACENT HIGHWAY AND SHALL INCLUDE ALL OF EVERY HIGHWAY WITHIN THE AREA  
ANNEXED. THESE HIGHWAYS SHALL BE CONSIDERED TO BE ANNEXED EVEN THOUGH NOT  
INCLUDED IN THE LEGAL DESCRIPTION SET FORTH IN THE PETITION FOR ANNEXATION.



VILLAGE PRESIDENT AND VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )SS

THIS PLAT OF ANNEXATION IS IDENTIFIED AS THAT REAL ESTATE  
INCORPORATED INTO AND MADE A PART OF THE VILLAGE OF TINLEY PARK,  
COOK COUNTY BY ORDINANCE NO. \_\_\_\_\_ ADOPTED AND  
APPROVED BY THE VILLAGE PRESIDENT AND VILLAGE BOARD OF  
TRUSTEES OF THE VILLAGE OF TINLEY PARK, ILLINOIS AT A MEETING HELD  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2020.

BY: \_\_\_\_\_  
VILLAGE PRESIDENT

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

PROPERTY OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )SS

THIS IS TO CERTIFY THAT GAMMA TINLEY LLC, IS THE  
OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT  
AND AGREES AND CONSENTS TO SAID PROPERTY BEING  
ANNEXED TO THE VILLAGE OF TINLEY PARK AS OUR OWN  
FREE AND VOLUNTARY ACT AND DEED.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_\_.

A. CHRISTOPHER SEIGLE (VICE-PRESIDENT)

NOTARY CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR  
SAID COUNTY IN THE STATE AFORESAID, DO HEREBY  
CERTIFY THAT \_\_\_\_\_, PERSONALLY  
KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE  
NAME(S) ARE SUBSCRIBED TO THE FOREGOING  
INSTRUMENT AS SUCH \_\_\_\_\_, APPEARED  
BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED  
THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND  
VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN  
SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, AD 20 \_\_\_\_\_.

BY: \_\_\_\_\_  
NOTARY PUBLIC

STATE OF ILLINOIS )  
COUNTY OF DUPAGE )

I, THOMAS J. CESAL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR No. 035-2205, DO  
HEREBY STATE THAT THE HEREON DRAWN PLAT HAS BEEN PREPARED AT AND UNDER  
MY DIRECTION FOR THE PURPOSES OF ANNEXING THE PROPERTY DESCRIBED HEREON  
TO THE VILLAGE OF TINLEY PARK, ILLINOIS.

FURTHERMORE, I DESIGNATE THE VILLAGE OF TINLEY PARK TO ACT AS MY AGENT FOR  
THE PURPOSE OF RECORDING THIS DOCUMENT.

DATE: THIS 28TH DAY OF JULY, A.D., 2020, AT LISLE, ILLINOIS.

Thomas J. Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205  
MY LICENSE EXPIRES NOVEMBER 30, 2020.  
ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL  
ENGINEERING CORPORATION NO. 184-001245



PLAT OF ANNEXATION  
6901 180TH STREET & 18017 SAYRE AVENUE  
TINLEY PARK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying  
515 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
Survey: (630) 271-0599  
FAX: (630) 271-0774  
Website: www.mecivil.com



FIELD CREW: PW  
DRAWN BY: NG  
CHECKED BY: TC  
APPROVED BY: TC  
DATE: 6/18/2020  
SCALE: HORIZ 1"=40'  
VERT NONE  
SHEET  
1  
OF 1 SHEETS  
PROJ # 20-01-6000



LEGEND

- EXISTING BOUNDARY  
ADJACENT LOT LINES  
CENTER LINE  
EASEMENT  
BUILDING LINE

FOX COLLEGE RESUBDIVISION

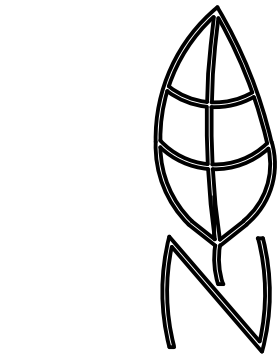
OF

LOTS 1, 2, 3, 11 AND PART OF LOT 12 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES BEING A SUBDIVISION OF THE WEST 1/2 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, AS PER DOCUMENT NUMBER 10262889, IN COOK COUNTY, ILLINOIS.

LAND AREA = 247,478 SF  
OR 5.68 ACRES MORE OR LESS

PROPERTY ADDRESS: 6901 180TH STREET & 18017 SAYRE AVENUE, TINLEY PARK, ILLINOIS

RESERVED FOR THE RECORDER OF COOK COUNTY



BASIS OF BEARING:  
EASTERLY LINE OF SAYRE AVENUE AS  
FOUND MONUMENTED AND OCCUPIED PER  
RECORD SUBDIVISION PLAT.  
N 01°51'30" W (ASSUMED)

DRAINAGE AND STORMWATER DETENTION EASEMENT

DECLARANT HEREBY RESERVES AND GRANTS TO THE VILLAGE OF TINLEY PARK EASEMENTS IN, OVER, UNDER, THROUGH, AND UPON THOSE AREAS DESIGNATED ON THE PLAT AS "DRAINAGE AND STORMWATER DETENTION EASEMENT" OR "D.E." FOR PURPOSES OF PROVIDING ADEQUATE STORMWATER DRAINAGE CONTROL TOGETHER WITH REASONABLE ACCESS THERETO. SAID EASEMENTS SHALL BE PERPETUAL AND SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON THE DECLARANT, ITS SUCCESSORS, HEIRS, EXECUTORS AND ASSIGNS, TO ENSURE THE INTEGRITY OF THE STORMWATER FACILITIES. NO OBSTRUCTION SHALL BE PLACED, NOR ALTERATIONS MADE, INCLUDING ALTERATIONS IN THE FINAL TOPOGRAPHICAL GRADING PLAN WHICH IN ANY MANNER IMPEDED OR DIMINISH STORMWATER DRAINAGE OF DETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. IN THE EVENT SUCH OBSTRUCTION OR ALTERATIONS ARE FOUND TO EXIST, THE VILLAGE SHALL, UPON SEVENTY-TWO (72) HOURS PRIOR NOTICE TO THE PROPERTY OWNER, HAVE THE RIGHT, BUT NOT THE DUTY, TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, THE REMOVAL OF SAID OBSTRUCTION OR ALTERATIONS OR TO PERFORM OTHER REPAIR, ALTERATION OR REPLACEMENT AS MAY REASONABLY BE NECESSARY TO ENSURE THAT ADEQUATE STORMWATER STORAGE, STORM DRAINAGE, DETENTION AND RETENTION FACILITIES AND APPURTENANCES THERETO REMAIN FULLY OPERATIONAL AND THAT THE CONDITION OF SAID DRAINAGE EASEMENT COMPLIES WITH ALL APPLICABLE VILLAGE CODES. IN THE EVENT OF AN EMERGENCY SITUATION, AS DETERMINED BY THE VILLAGE, THE SEVENTY-TWO (72) HOURS PRIOR NOTICE REQUIREMENT SET FORTH ABOVE SHALL NOT APPLY, AND THE VILLAGE SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO PROCEED WITHOUT NOTICE TO THE PROPERTY OWNER.

IN THE EVENT THE VILLAGE SHALL PERFORM, OR HAVE PERFORMED ON ITS BEHALF, REMOVAL OF ANY OBSTRUCTION OR ALTERATION TO OR UPON THE STORMWATER FACILITIES DRAINAGE EASEMENT, AS SET FORTH IN THIS EASEMENT, THE COST OF SUCH WORK SHALL, UPON RECORDATION OF NOTICE OF LIEN WITH THE RECORDER OF DEEDS OF COOK COUNTY, ILLINOIS, CONSTITUTE A LIEN AGAINST THE ASSETS OF THE PROPERTY OWNER WHICH CAUSED SUCH OBSTRUCTION OR ALTERATION.

THE COST OF THE WORK INCURRED BY THE VILLAGE SHALL INCLUDE ALL EXPENSES AND COSTS ASSOCIATED WITH THE PERFORMANCE OF SUCH WORK INCLUDING, BUT NOT LIMITED TO, REASONABLE ENGINEERING, CONSULTING AND ATTORNEYS' FEES RELATED TO THE PLANNING AND ACTUAL PERFORMANCE OF THE WORK.

OWNER:

GAMMA TINLEY LLC  
18020 OAK PARK AVENUE  
TINLEY PARK, ILLINOIS

OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )

THIS IS TO CERTIFY THAT GAMMA TINLEY LLC, IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED AND CONSOLIDATED AS SHOWN ON THE HEREON DRAWN PLAT AS OUR OWN FREE AND VOLUNTARY ACT AND DEED.

FURTHERMORE, PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT AND TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND LEGALLY DESCRIBED HEREON LIES WITHIN THE FOLLOWING SCHOOL DISTRICTS:

ELEMENTARY: # 146 HIGH SCHOOL: # 228

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

A. CHRISTOPHER SEIGLE (VICE-PRESIDENT)

OWNER'S NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ WHO IS (ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AS HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

PRESIDENT AND BOARD OF TRUSTEES

STATE OF ILLINOIS )  
COUNTY OF COOK )

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

BY: \_\_\_\_\_  
VILLAGE PRESIDENT VILLAGE CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

BY: \_\_\_\_\_  
PLAN COMMISSION CHAIRMAN SECRETARY

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF DUE AGAINST ANY OF THE LAND INCLUDED IN THE PLAT HEREON DRAWN.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

BY: \_\_\_\_\_  
VILLAGE COLLECTOR

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK )

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_.

BY: \_\_\_\_\_  
VILLAGE ENGINEER

SUBMITTED BY:

RETURN ORIGINAL MYLAR TO:

SEND ALL FUTURE TAX BILLS TO:

VILLAGE OF TINLEY PARK  
16250 S. OAK PARK AVENUE  
TINLEY PARK, ILLINOIS 60477

STATE OF ILLINOIS )  
COUNTY OF DUPAGE )

THIS IS TO CERTIFY THAT I, THOMAS J. CESAL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR No. 035-2205, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AS SHOWN BY THIS PLAT:

THE EAST 180.9 FEET OF LOT 12 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, A SUBDIVISION IN THE WEST 1/2 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JANUARY 21, 1928, AS DOCUMENT NUMBER 10262889 IN COOK COUNTY, ILLINOIS.

AND

LOTS 1, 2, 3 AND 11 IN BLOCK 6 IN ELMORE'S HARLEM AVENUE ESTATES, A SUBDIVISION IN THE WEST 1/2 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JANUARY 21, 1928, AS DOCUMENT NUMBER 10262889 IN COOK COUNTY, ILLINOIS.

THIS PLAT CORRECTLY REPRESENTS SAID SURVEY AND SUBDIVISION. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, CORRECTED TO 68 DEGREE FAHRENHEIT.

THE GROSS AREA OF THE SUBDIVIDED PARCELS IS 247,478 SQUARE FEET OR 5.68 ACRES.

I FURTHER CERTIFY THAT PART OF THE PROPERTY SHOWN AND DESCRIBED HEREON IS WITHIN FLOOD ZONES "AE" FLOODWAY PER THE FLOOD INSURANCE RATE MAP OF COOK COUNTY AND INCORPORATED AREAS, MAP NUMBER 17031C0708J, EFFECTIVE DATE: 08/19/2008.

DATED THIS 28TH DAY OF JULY, A.D., 2020, AT LISLE, ILLINOIS.

Thomas J. Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205  
MY LICENSE EXPIRES NOVEMBER 30, 2020.  
ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL  
ENGINEERING CORPORATION NO. 184-001245



Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying  
515 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
Survey: (630) 271-0599  
FAX: (630) 271-0774  
Website: www.eqvil.com



FIELD CREW: PW  
DRAWN BY: NG  
CHECKED BY: TC  
APPROVED BY: TC  
DATE: 6/19/2020  
SCALE: HORIZ 1"=30'  
VERT NONE  
SHEET  
1  
OF 1 SHEETS  
PROJ # 20-01-6000

FOX COLLEGE RESUBDIVISION  
6901 180TH STREET & 18017 SAYRE AVENUE  
TINLEY PARK, STATE

DATE	REV	LEGAL AND AREA
8/25/2020	1	CHANGE CONSOLIDATION TO SUBDIVISION
7/27/2020	2	
	3	
	4	
	5	
	6	

# PLAN COMMISSION STAFF REPORT

AUGUST 6, 2020 - WORKSHOP

## Petitioner

Christopher Schiller, on behalf of Tomcat Properties and Hailstorm Brewing Co.

## Property Location

8060 186<sup>th</sup> Street

## PIN

19-09-02-203-002-0000

## Zoning

M-1 PD (General Manufacturing, Mercury Business Centre PUD)

## Approvals Sought

Site Plan Approval  
Special Use Permit

## Project Planner

Daniel Ritter, AICP  
Senior Planner

## Hailstorm Brewing – Taproom Outdoor Patio

8060 186<sup>th</sup> Street



## EXECUTIVE SUMMARY

The Petitioner, Christopher Schiller, on behalf of Tomcat Properties and Hailstorm Brewing Co., is requesting Site Plan Approval and a Special Use Permit to amend the Planned Unit Development (PUD) to allow for Exceptions to the Zoning Ordinance for permitted fence locations and minimum parking requirements. The requests would allow for the installation of a permanent outdoor patio where there are currently parking stalls at the Hailstorm Brewing taproom located at 8060 186<sup>th</sup> Street in the M-1 PD (General Manufacturing, Mercury Business Centre PUD) zoning district.

Hailstorm Brewery has operated the taproom at the subject site since 2014 and in December 2019 finished renovations to expand the seating area and add a full kitchen on the site. The brewery has been successful and does host events (private and public) throughout the year on the site. The Petitioner has been exploring installing the outdoor patio for a couple of years; however, the COVID-19 pandemic had provided a push to create the outdoor space faster. It also allowed an opportunity to test a temporary patio that was set up in May and has received positive feedback by customers.

Outdoor patio areas require Site Plan Approval when added to existing spaces to ensure they are well designed, safely located, and do not cause any unintended issues on the site or to surrounding properties. Based on the proposal, the Petitioner requires an exception to the fence requirements due to the patio's location in the front yard of the property and need to enclose the area for a liquor license. Additionally, an exception to the parking minimum is required due to the reduction of parking and increase in seating capacity. The site was originally designed for industrial and office parking demands, which are typically lower than that of commercial properties that the public visits. The Petitioner owns the building and business and has other industrial tenants in the building. However, most are only open and operating during the day and have little activity during weekends and nights when Hailstorm is busiest.



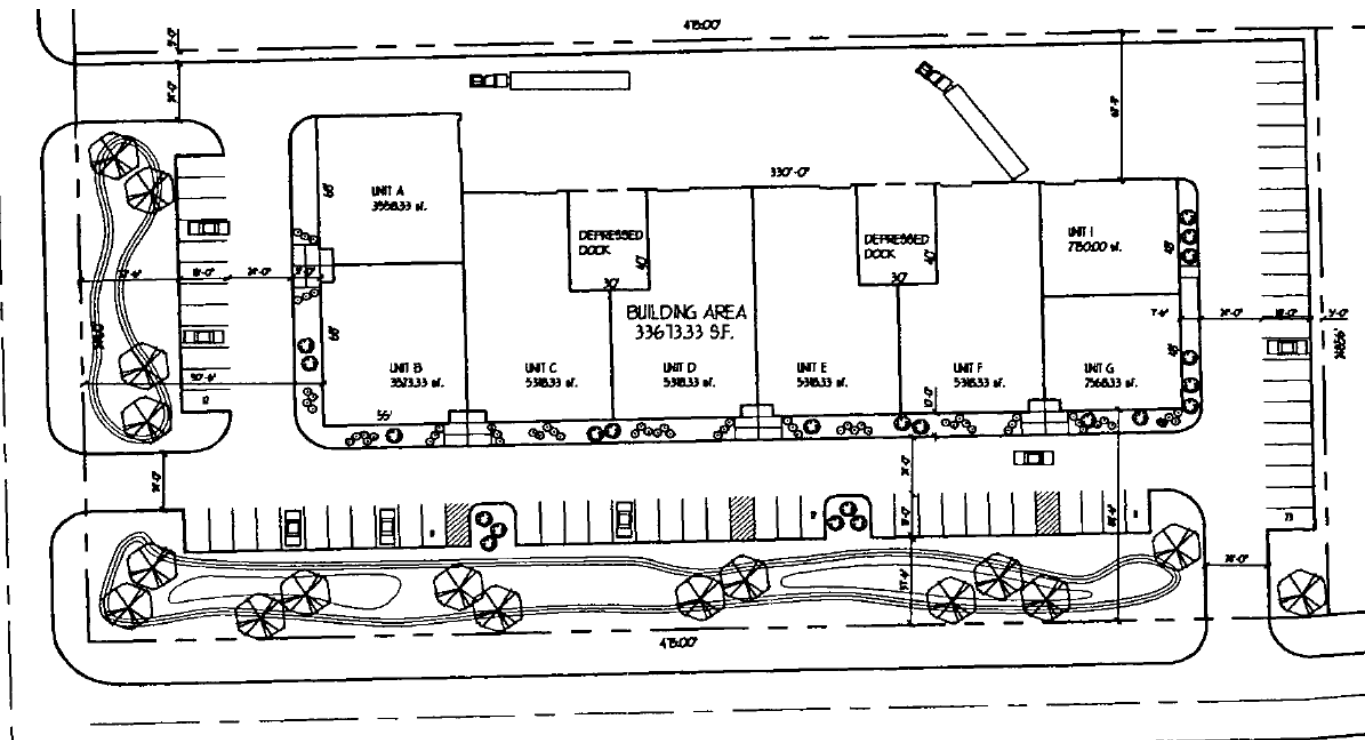
## EXISTING SITE & HISTORY

The subject site was approved in 1995 and opened in 1997 as part of the Mercury Business Centre Planned Unit Development (PUD). The multi-tenant building has an address range of 8050-8064 186<sup>th</sup> Street and originally had eight different tenant spaces. The site is 117,000 sq. ft. in size with an approximately 34,000 sq. ft. building. The building was designed as a multi-tenant industrial flex-space building that could function as office, manufacturing, or warehousing space. The structure was designed with a professional office building appearance on the front facades but allowed for docks and overhead doors in the rear. A 10-foot landscape buffer was installed surrounding the site.



The structure was designed with a professional office building appearance on the front facades but allowed for docks and overhead doors in the rear. A 10-foot landscape buffer was installed surrounding the site.

The petitioner opened their brewery and taproom at the subject property in 2014 occupying Unit C & D. It started as only a taproom with beer served and they had food trucks during the weekends and special events. The brewery has had success at its taproom location and growing distribution in the Chicagoland area. In 2019 an expansion of the brewery and taproom was completed that added additional brewery space, seating, and a full kitchen that offers a rotating menu. Hailstorm Brewery now occupies Unit A-D. Other tenants currently include Region Construction, Metridea Inc, and Xtreme Fire Protection.



Above: 1995 Originally Approved Site Plan for "Mars Building"



## ZONING & NEARBY LAND USES

The subject site is zoned M-1 PD (General Manufacturing, Mercury Business Centre PUD). The surrounding sites on all sides of the property are also located in the same zoning district and PUD. All properties are similar light industrial and office buildings with a variety of uses.

A brewery, brewpub, and restaurants are a fairly unique use to have in an industrial area. However, breweries often prefer these industrial locations due to a large amount of open floor space, high ceilings, docks, and other aspects of the space that make it beneficial for beer production equipment and distribution. The taprooms and restaurants associated with breweries usually start as a limited accessory use, but can become a popular destination themselves.

While these brewpub and restaurant uses haven't traditionally been associated with industrial uses, the Village allowed for breweries and the associated restaurant and brewpub aspects, to be permitted by right in ORI and M-1 districts to help promote their location within the Village. The sites usually have less visibility but often function as a destination with customers headed there before they leave their house. The Village currently has three breweries located in the Village (Hailstorm, 350, Soundgrowler) with a fourth under construction currently (Banging Gavel).



Deviations from Village's Zoning Ordinance are considered Exceptions rather than Variations and do not require the standard Findings of Fact as required with a Variation. A PUD Exception is typically viewed more specifically to how it relates to the goals and context of that specific PUD, rather than a Variation which has a larger context to requirements that effects the entire Village.

## PUD EXCEPTIONS

The Exceptions being requested are listed below. Each exception is further explained in the following sections below.

1. Exception from Section III.J. (Fence Regulations) to permit a fence to be located in the primary front yard of a lot where one is not permitted. The fence is proposed and must remain a 75% open design aluminum fence that is wrought-iron style and a maximum of five feet in height.
2. Exception from Section VIII.A.10 (Required Parking Spaces) to permit a site with parking under the required minimum for the existing and proposed uses. The brewery, taproom, and restaurant use are limited to a capacity of 90 people unless additional parking is provided with a cross-parking agreement.

[illegible]

Page 4 of 9

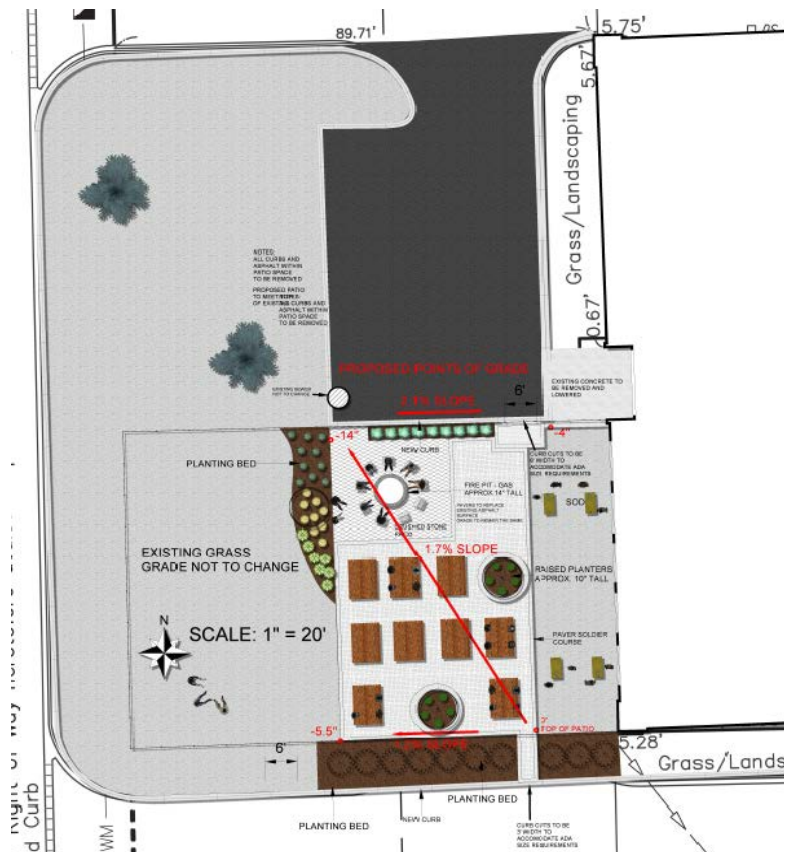


The patio is expected to have a four or five-foot-high fence installed around the perimeter and would only be entered by entering the building. The fence would be a black aluminum fence in the wrought iron style. Fencing is not allowed in a primary front yard on any lot, with the exception of an allowance for patios in the Legacy District. While patios are not typical in industrial areas, it will add an attractive and activated entrance to the business. The fence has a goal of delineating the space where alcohol can be consumed on-premise and helps to protect customers. The proposed fencing will be a 75% open design fence that does not present any visibility or safety issues from the street or driveways.

**Open Item #1: Discuss the requested Exception to the fence regulations to permit a fence to be located in a primary front yard.**

Wood picnic-style tables are expected to be used and there will also be a fire pit seating area. No changes to the site lighting or signage are proposed. Any new signage must comply with the Zoning Code requirements. Engineering has reviewed the initially proposed grades of the patio and believes it will be acceptable. However, the final engineering/grading plans will require approval to ensure positive stormwater flow is maintained and the patio is ADA compliant. A condition is recommended that the final approval is subject to final engineering approval by the Village Engineer.

**Open Item #2: Staff recommends a condition be added that the approvals are subject to final engineering plan approval by the Village Engineer.**



Above: View of patio looking east towards the building.





*Above: View of patio looking south.*

## **PARKING & TRAFFIC**

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### Commercial Uses in Industrial Locations

Uses like breweries, brewpubs, and taprooms have traditionally located in industrial areas. These are appealing because the equipment for brewing is often very large and requires a lot of space. Additionally, it requires truck deliveries to and from the site. Breweries have grown rapidly in popularity recently and also typically function as a destination, meaning customers know they are going there before they leave their house. They do not often require high visibility or extensive signage for this reason. However, as breweries grow, they provide some unique challenges for areas designed for industrial/office uses. These industrial/office buildings are often not designed with customers or the general public in mind. They often lack sidewalks, crosswalks, signage, or other amenities that make locating and navigating them easier. Additionally, there is often heavy truck traffic due to the traditional uses of the space that can require additional roadway space to make turns. Parking also can become an issue because the warehouse spaces were not anticipated to have large occupancies when much of the interior space is designed for product production and storage. Parking for these is usually only designed for employees with a few for visitor stalls.

### Current Site Parking

Currently, there are approximately 95 parking stalls on the site. The patio proposal includes the removal of five parking stalls resulting in a parking total of 90. The brewery currently has a capacity limit of 90 persons. However, that brewery space itself has a larger building capacity for more people but is limited due to parking limits. This proposal would increase the total seating capacity of the space by approximately 50 seats. While there are still 90 stalls, some of these are used by the businesses to store related vehicles overnight and others are used by employees of Hailstorm Brewing.

The Zoning Code regulates “Eating or drinking place, bar, cocktail lounge, or indoor entertainment” by requiring one space for each seat and one space for each employee. As has been mentioned in the past, these regulations are dated and can be difficult to apply for a one size fits all approach. This is particularly an issue for businesses in this category when there is movable seating, private events, and entertainment that may expand capacity, without more tables. Due to the uniqueness of these spaces, it has been difficult to find exactly what the parking requirements are at the

building. It would also require calculating parking for the other industrial tenant spaces that require one space for every two employees and one space for each vehicle used in the conduct of the business.

The brewery has peak hours of operation (Friday and Saturday evenings) that are opposite of the other tenants in the multi-tenant building, as well as the neighboring properties (Weekday business hours). The main concern with the use of on-street parking is that they are public spaces not dedicated to one business and also that they can limit truck turning movements in an industrial area. The Petitioner has noted they have not had any issues or complaints about customer parking at their facility. Customers do occasionally park on the street during special events, often due to the convenience of those spaces. The Petitioner owns the building as well and they have been cognizant of the parking demands and hours of operation of those users. It should be noted that new uses permitted by-right in the district could locate nearby and may have different hours or truck schedules that can overlap the peak hours of the brewery. The goal of the parking regulations limiting the use of on-street parking is also in place to ensure business customers are not parking in residential areas. This location is not adjacent to any residential zoning and that is not a large concern.

#### Staff Review

In a scenario such as this, with a variety of different factors on an existing site, staff would typically request a professional parking count and study be conducted. The Plan Commission has the authority to recommend the parking requirement based on that analysis. With the current COVID-19 pandemic, it has made conducting a parking and traffic analysis difficult because the conditions and demand are not “typical”. Instead, for evidence staff has relied heavily on the lack of any formal complaints by neighboring properties and input provided by the Petitioner that they rarely ever use street parking, except for a handful of times a year. There is some expectation that property owners will manage their parking demand so that their site and business will be successful. In this situation, it is helpful that the owners of the property are the same as those operating the business asking for a parking exception. However, staff still wants to ensure that the proposed parking does not negatively impact any surrounding properties.

The location is far from any residential areas and staff’s primary concern is in regards to potential truck movement/turning issues through the area when there is on-street parking along 186<sup>th</sup> Street or 81<sup>st</sup> Avenue. To ensure these concerns can be managed if issues occur in the future, staff is recommending a condition be added that if there are on-street parking or truck movement issues, the petitioner will need to correct the situation by providing for cross-parking off-site at a neighboring property, striping individual stalls on 186<sup>th</sup> Street, installing signage limiting parking in certain areas of the street, or another solution as approved by Village staff. Staff also recommends maintaining the current capacity to 90 persons due to the limited parking availability on the site. The limit has avoided any known issues to-date and is expected to stay that way with the new patio addition. That capacity limit would be able to be increased if a formal parking agreement is in place with an adjacent property.

***Open Item #3: Discuss parking exception and overall proposed parking on the site. Discuss maintaining the existing occupancy limit of 90 persons at this location, with the understanding it can be increased with the approval of a cross-parking agreement with an adjacent property.***

***Open Item #4: Discuss the recommended condition requiring that if parking issues or truck movement issues are witnessed in the future, the Petitioner will need to work with staff on a solution, including but not limited to entering into a cross-parking agreement with a neighboring property owner, striping/maintaining individual parking stalls on 186<sup>th</sup> Street, or installing signage limiting parking in certain areas on the roadway.***

## SUMMARY OF OPEN ITEMS

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Staff identified the following open items for discussion at the workshop:

1. Discuss the requested Exception to the fence regulations to permit a fence to be located in a primary front yard.
2. Staff recommends a condition be added that the approvals are subject to final engineering plan approval by the Village Engineer.
3. Discuss parking exception and overall proposed parking on the site. Discuss maintaining the existing occupancy limit of 90 persons at this location, with the understanding it can be increased with the approval of a cross-parking agreement with an adjacent property.
4. Discuss the recommended condition requiring that if parking issues or truck movement issues are witnessed in the future, the Petitioner will need to work with staff on a solution, including but not limited to entering into a cross-parking agreement with a neighboring property owner, striping/maintaining individual parking stalls on 186th Street, or installing signage limiting parking in certain areas on the roadway.

## STANDARDS FOR SITE PLAN APPROVAL

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Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. The Architectural Standards have not been included since the proposal does not include and building or architectural changes. Staff will prepare draft responses for these conditions within the next Staff Report.

### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.



## STANDARDS FOR A SPECIAL USE

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Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Special Uses for Planned Unit Developments (PUDs) are unique in that there is the context and intent of the PUD that is unique in nature and may necessitate regulations that differ from the requirements utilized through the rest of the Village. Staff will provide draft Findings in the Staff Report for the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

## RECOMMENDATION

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Following a successful workshop, proceed to a Public Hearing at the August 20, 2020 Plan Commission meeting.



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
PLANNING AND ZONING GENERAL APPLICATION

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined In Specific Addendums

- ☒ Special Use for: PUD Exception  
☐ Planned Unit Development (PUD) ☐ Concept ☐ Preliminary ☐ Final ☐ Deviation  
☒ Variation ☐ Residential ☐ Commercial for Parking & Fence  
☐ Annexation  
☐ Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_  
☐ Plat (Subdivision, Consolidation, Public Easement) ☐ Preliminary ☐ Final  
☐ Site Plan  
☐ Landscape Change Approval  
☐ Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Hailstorm Brewing Taproom  
Project Description: Variance to accommodate more capacity based on parking  
Project Address: 8060 186<sup>th</sup> St. Property Index No. (PIN): \_\_\_\_\_  
Zoning District: Light Commercial Lot Dimensions & Area: \_\_\_\_\_  
Estimated Project Cost: \$ 0

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Chris Schiller/Gene Walz Company: Tomeat Properties  
Street Address: 8060 186<sup>th</sup> St. City, State & Zip: Tinley Park, IL 60478  
E-Mail Address: chris@hailstormbrewing.com Phone Number: \_\_\_\_\_

**APPLICANT INFORMATION**

☐ Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: Christopher Schiller Company: Hailstorm Brewing Co.  
Relation To Project: Co-owner  
Street Address: 8060 186<sup>th</sup> St. City, State & Zip: Tinley Park IL 60478  
E-Mail Address: chris@hailstormbrewing.com Phone Number: \_\_\_\_\_



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
PLANNING AND ZONING GENERAL APPLICATION

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize Chris Schiller (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): \_\_\_\_\_

Christopher Schiller

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: \_\_\_\_\_

Property Owner Name (Print): \_\_\_\_\_

Christopher Schiller

Applicant Signature:  
(If other than Owner)

Applicant's Name (Print): \_\_\_\_\_

Christopher Schiller

Date: \_\_\_\_\_

5/29/20



## **STANDARDS AND CRITERIA FOR A VARIATION**

Section X.G.1 of the Village of Tinley Park Zoning Ordinance requires that the Zoning Board of Appeals determine compliance with the following standards and criteria. In order for a variance to be approved, the Petitioner must respond to all the following statements and questions related to the Standards with factual evidence and information to support the requested Variation. If additional space is required, you may provide the responses on a separate document or page.

- A. Describe the difficulty that you have in conforming with the current regulations and restrictions relating to your property, and describe how this hardship is not caused by any persons presently having an interest in the property. (Please note that a mere inconvenience is insufficient to grant a Variation). For example, does the shape or size of the lot, slope, or the neighboring surroundings cause a severe problem in completing the project in conformance with the applicable Ordinance requirement?**

Current parking requirements limit our occupancy to well below what our buildout, square footage, restroom and life safety would allow. The building has limited on site parking, but abundant street parking as well as adjacent business parking lots that are empty during our busy times.

- B. Describe any difficulties or hardships that current zoning regulations and restrictions would have in decreasing your property value compared to neighboring properties.**

For a use type like out brewery or any other public facing business of higher volume, the property would be unappealing from an investment standpoint due to the parking restrictions.

- C. Describe how the above difficulty or hardship was created.**

The original building design was for light industrial but limited public facing use. For a brewery we rely heavily on our taproom patronage, but cannot operate in a typical retail location due to our ceiling height and square footage requirements.

- D. Describe the reasons this Variance request is unique to this property only and is not applicable, in general, to other properties within the same Zoning District.**

Other business operate non public or limited public patronage business models. Parking is only needed for employees and limited visitors.

- E. Explain how this Variance would not be regarded as an attempt at financial gain, but only because of personal necessity. For example, the intent of the Variance is to accommodate related living for an elderly relative as opposed to adding an additional income source.**

The variance would be to allow convenience and ease of use to patrons of a Tinley Park business and help us compete for tax dollars for the Village of Tinley.

- F. Describe how granting this Variance request will not be detrimental to the public welfare or injurious to other properties or improvements in the neighborhood in which the property is located.**

Our location is within a light industrial / commercial corridor with almost zero use one evenings and weekends. The streets and adjacent parking lots are empty after 6:00 pm and on weekends so overlapping use has no impact during weekly usage.

- G. Explain how granting this Variance will not alter the essential character of the neighborhood or locality.**

The area still remains as is for most use, we actually only need extra parking overflow on Friday evenings, some Saturdays, and for a few events each year. The only impact is very temporary street parking or in other lots a limited number of hours per month.

**H. Describe how the requested Variance will not:**

**1. Impair an adequate supply of light and air to adjacent properties.**

Cars parked in unused parking lots or on the street would not impact the areas use, only the time of use. These areas are already used for parking during the weekday hours.

**2. Substantially increase the congestion of the public streets.**

The traffic amount in and on a weekend or evening is comparable or lower to the daytime traffic already in place during the weekdays when all the business are open. Since our peak times do not overlap, it's a continuation of, rather than an increase in any traffic amounts.

**3. Increase the danger of fire.**

No other activities other than parking are requested, which is a normal use of the existing parking lots and street currently.

**4. Impair natural drainage or create drainage problems on adjacent property.**

This should not apply to cars parked in lots.

**5. Endanger the public safety.**

No change in peoples activity should occur in the area, people park and walk to the brewery, then return to their cars and leave. This is standard activity during the weekdays.

**6. Substantially diminish or impair property values within the neighborhood.**

Since were not changing any existing use, only extending it, the neighborhood should be un-affected for use during the off hours in the evenings and weekends.



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Hailstorm Brewing Co. 8060 186th St. Tinley Park, IL 60487 • 312-961-0568

June 1<sup>st</sup>, 2020

Daniel Ritter  
Village of Tinley Park  
16250 Oak Park Ave,  
Tinley Park, IL 60477

Re: Parking Variance

Dear Dan,

In an effort to support Tinley Park business, Tinley Tax revenue, and to leverage our full build out capacity, we are requesting a variance to the occupancy limit based on parking spaces on the immediate property. In addition, we are requesting to add parking spaces to our paved areas on the property.

Hailstorm Brewing is uniquely positioned in a light industrial/commercial corridor which means our peak hours do not overlap with the hours of use of the surrounding business. Our peak times are Friday evenings, Saturday afternoons, and a few times per year on events like our anniversary party, bottle releases, etc. During these times all other businesses are closed in our building as well as in the surrounding buildings. In addition, the streets adjacent to our building are very wide, and empty, allowing ample street parking on both sides while still allowing plenty of room for two way traffic. Businesses in our building allow us to use their parking spaces currently during these times and we are discussing options with businesses in nearby buildings as well.

In summary we feel there is ample parking in the immediate area that is unused during our peak times, and utilizing the additional parking would not impact the use or value of the area, and could enable us to allow more patrons to enjoy a great Tinley Park craft brewery. We thank you sincerely for your consideration.

Sincerely,

Christopher Schiller





Hailstorm Brewing Co. 8060 186th St. Tinley Park, IL 60487 • 312-961-0568

June 2, 2020

Louis Perna  
Region Construction  
8056 W. 186<sup>th</sup> St.  
Tinley Park, IL 60487

Re: Parking Allowance

Dear Louis,

In an effort to support Tinley Park, Tinley tax revenue, and reduce street parking, Hailstorm Brewing would like to humbly request allowing patrons to park in unused parking spaces at Region Construction during some Friday evenings after 6:00 pm, and some weekends only in cases where our parking is completely full. We would anticipate some Fridays, and only 1 weekend or less per month on a Saturday that we would need this.

We can guarantee no impact to your parking lot or it's cleanliness. If an overflow event occurs, we will check the lot for cleanliness and litter the following morning at the latest. In return we are happy to allow the use of our parking spaces during weekday business hours if you should have a need, since our spaces are mostly empty.

We thank you sincerely for your consideration!

Christopher Schiller  
Hailstorm Brewing Co.

Accepted:

Region Construction

6/24/2020



Hailstorm Brewing Co. 8060 186th St. Tinley Park, IL 60487 • 312-961-0568

June 2, 2020

Ashley Thompson  
Metridea Inc.  
8064 W. 186<sup>th</sup> St.  
Tinley Park, IL 60487

Re: Parking Allowance

Dear Ashley,

In an effort to support Tinley Park, Tinley tax revenue, and reduce street parking, Hailstorm Brewing would like to humbly request allowing patrons to park in unused parking spaces at Metridea Inc during some Friday evenings after 6:00 pm, and some weekends only in cases where our parking is completely full. We would anticipate some Fridays, and only 1 weekend or less per month on a Saturday that we would need this.

We can guarantee no impact to your parking lot or it's cleanliness. If an overflow event occurs, we will check the lot for cleanliness and litter the following morning at the latest. In return we are happy to allow the use of our parking spaces during weekday business hours if you should have a need, since our spaces are mostly empty.

We thank you sincerely for your consideration!

Christopher Schiller  
Hailstorm Brewing Co.

Accepted:

*Ashley Thompson*  
7/1/2020



Hailstorm Brewing Co. 8060 186th St. Tinley Park, IL 60487 • 312-961-0568

June 2, 2020

Jim O'Malley  
Xtreme Fire Protection Inc.  
8052 186<sup>th</sup> St.  
Tinley Park, IL 60487

Re: Parking Allowance

Dear Jim,

In an effort to support Tinley Park, Tinley tax revenue, and reduce street parking, Hailstorm Brewing would like to humbly request allowing patrons to park in unused parking spaces at Xtreme Fire Protection during some Friday evenings after 6:00 pm, and some weekends only in cases where our parking is completely full. We would anticipate some Fridays, and only 1 weekend or less per month on a Saturday that we would need this.

We can guarantee no impact to your parking lot or it's cleanliness. If an overflow event occurs, we will check the lot for cleanliness and litter the following morning at the latest. In return we are happy to allow the use of our parking spaces during weekday business hours if you should have a need, since our spaces are mostly empty.

We thank you sincerely for your consideration!

Christopher Schiller  
Hailstorm Brewing Co.

Accepted:

  
Xtreme Fire Protection, Inc



ALTA/ACSM LAND TITLE SURVEY

OF  
8050 - 8064 W. 186th Street  
Tinley Park, Illinois

LEGAL DESCRIPTION

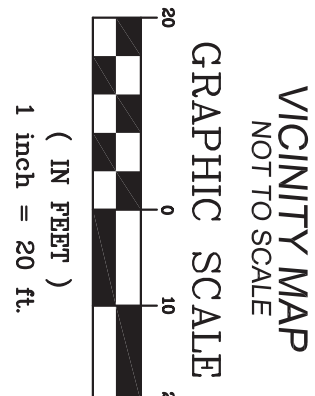
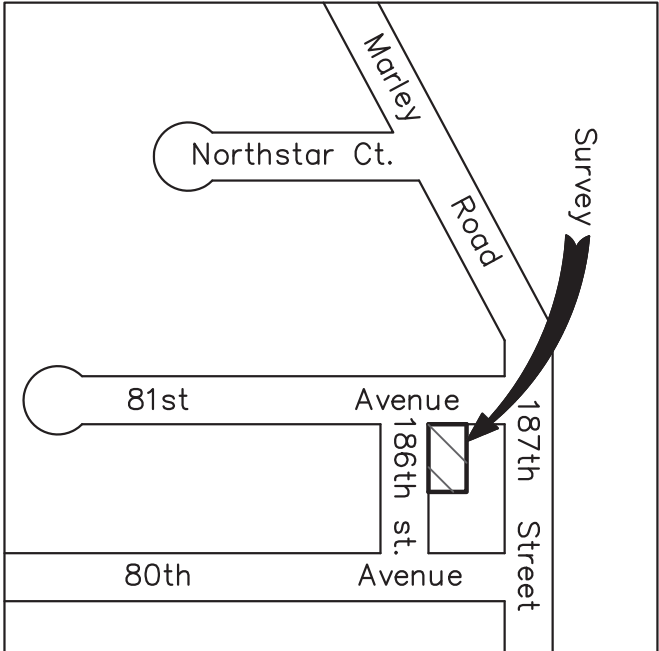
LOT 8 IN MERCURY BUSINESS CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 26, 1994 AS DOCUMENT NO. R94-82441, IN WILL COUNTY, ILLINOIS.

BASIS OF BEARING

THE BASIS OF BEARINGS IS BASED UPON THE RECORDED PLAT OF MERCURY BUSINESS CENTER & BASE LINE BEING THE NORTH RIGHT-OF-WAY LINE OF 186TH STREET.

PARCEL IDENTIFICATION NUMBER

19-09-02-203-002-0000



FLOOD HAZARD NOTE (Table "A", Item 3)

THE SURVEYED PROPERTY, AS LEGALLY DESCRIBED HEREON, IS IN ZONE X (AREA OUTSIDE THE 500-YEAR FLOODPLAIN), AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF WILL COUNTY AND INCORPORATED AREAS, MAP NUMBER 1719C0212, MAP REVISED NOVEMBER 6, 2000.

SITE DATA (Table "A", Item 4)

GROSS LAND AREA: 118,468 SQUARE FEET OR 2.72 ACRES

ZONING INFORMATION (Table "A", Item 6)

ZONING DESIGNATION IS M1, PD - GENERAL MANUFACTURING, AS TAKEN FROM THE VILLAGE OF TINLEY PARK'S WEBSITE: (http://www.tinleypark.org/DocumentCenter/View/5936)

TABLE "A", ITEMS 7(a) 7(b)(1)

See building dimensions and area to left.

TABLE "A", ITEM 8

Visible, substantial features shown hereon.

PARKING DATA (Table "A", Item 9)

TOTAL REGULAR PARKING SPACES: 68  
TOTAL HAND-CAP SPACES: 4

TABLE "A", ITEM 11

Only visible utilities shown.

TABLE "A", ITEM 14

NEAREST INTERSECTING STREET IS 81ST AVENUE, SHOWN HEREON.

TABLE "A", ITEM 16

THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

SURVEYOR CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF WILL )SS

TO: TOMCAT PROPERTIES, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY  
ATTORNEY'S TITLE GUARANTY FUND, INC.

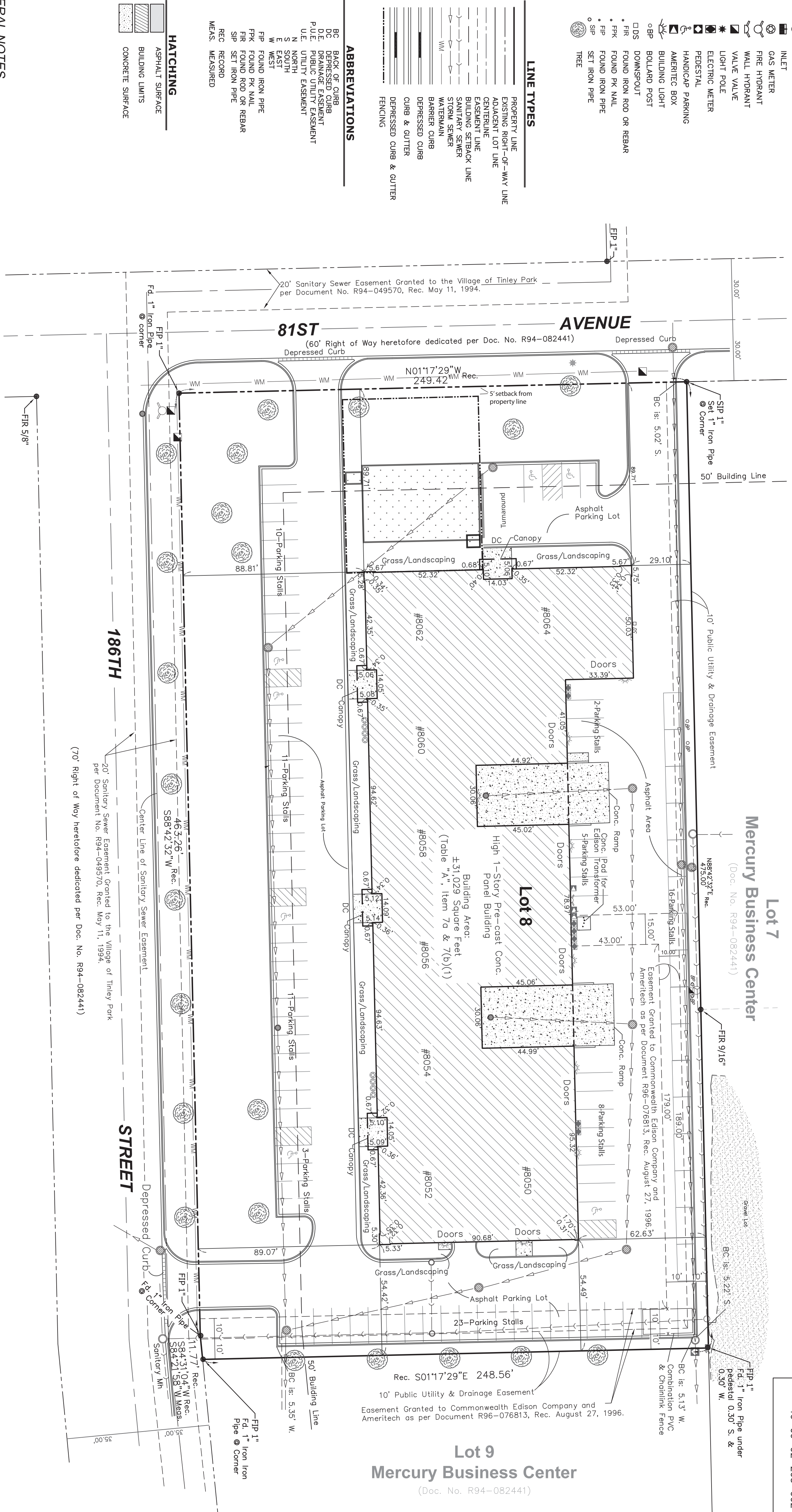
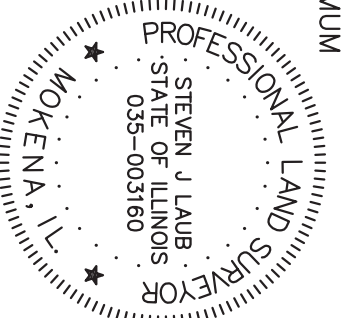
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 "MINIMUM" STANDARD DEFINED REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 9, 11, 14 & 16 OF TABLE "A" THEREOF.

THE FIELD WORK WAS COMPLETED ON APRIL 13, 2017.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

DATED THIS 17TH DAY OF APRIL, A.D., 2017.

STEVEN J. LAUB, P.L.S.,  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3160  
MY LICENSE EXPIRES ON NOVEMBER 30, 2018



GENERAL NOTES

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR. DO NOT SCALE DIMENSIONS FROM THIS PLAT.

THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT. THE PARCEL WHICH IS DENIED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SUBMITTED FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

A CURRENT TITLE COMMITMENT, NO. 17026730070 WITH AN EFFECTIVE DATE OF MARCH 31, 2017 AND PREPARED BY ATTORNEY'S TITLE GUARANTY FUND, INC., WAS PROVIDED FOR SURVEYORS USE AT THE TIME OF PREPARATION OF THIS SURVEY.

MANHOLES, INLETS AND OTHER UTILITY RIGS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE EXISTING AT THE TIME OF PREPARATION OF THIS SURVEY. THE LOCATION OF THESE UTILITIES AND THE DEPTH OF THESE UTILITIES ARE NOT SHOWN ON THIS SURVEY. ONLY PRINTS OF ZONING RESTRICTIONS AS ESTABLISHED BY LOCAL ORDINANCES NOT SHOWN HEREON. CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.

PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION, OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.

UNLESS OTHERWISE NOTED, ALL EASEMENT AND SETBACK LINES SHOWN HEREON ARE PER THE RECORDED PLAT OF MERCURY BUSINESS CENTER, DOC NO. R94-82441 FOR BUILDING / ZONING RESTRICTIONS AS ESTABLISHED BY LOCAL ORDINANCES NOT SHOWN HEREON. CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.

ONLY PRINTS OF ZONING RESTRICTIONS AS ESTABLISHED BY LOCAL ORDINANCES NOT SHOWN HEREON. CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.

HERON AND IS NON-TRANSFERABLE. THE OWNER SHOULD COMPARE THE DESCRIPTION ON THIS PLAT WITH HIS OR HER DEED ABSTRACT, OR TITLE POLICY AND NOTIFY SURVEYOR OF ANY DIFFERENCES.

ALL BUILDING DIMENSIONS AND TIES TO PROPERTY LINES ARE MEASURED TO THE FRAMED EXTERIOR UNLESS OTHERWISE NOTED. FOUND OR SET MONUMENTS ARE AT ALL CORNERS UNLESS OTHERWISE SPECIFIED ON THE FACE OF THIS SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



9930 W. 190th Street, Suite L  
Mokena, Illinois 60448  
708-326-4961 voice  
708-326-4962 fax

PREPARED FOR:

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DRAFTING COMPLETED:	DRAWN BY:	PROJECT MANAGER:	SIL
FIELD WORK COMPLETED:	CHECKED BY:	SCALE:	1" =

ALTA / ACSM LAND TITLE SURVEY	SHEET NO. of
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Lot 7

Mercury Business Center

(Doc. No. R94-082441)

N88°42'32"E Rec.  
475.00'

FIP 9/16"

FIP 1" Iron Pipe  
Pedestal 0.30' S  
0.30' W.

SIP 1" Set 1" Iron Pipe  
@ Corner

50' Building Line

10' Public Utility & Drainage Easement

BC is: 5.02' S.

Easement Granted to Commonwealth Edison Company and Ameritech as per Document R96-076813, Rec. August 27, 1996.

BC is: 5.13' W.  
& Chainlink Fenc

Depressed Curb

81ST AVENUE

(60' Right of Way heretofore dedicated per Doc. No. R94-082441)

186TH STREET

Depressed Curb

20' Sanitary Sewer Easement Granted to the Village of Tinley Park per Document No. R94-049570, Rec. May 11, 1994.

Rec. S01°17'29"E 248.56'

10' Public Utility & Drainage Easement

Easement Granted to Commonwealth Edison Company and Ameritech as per Document R96-076813, Rec. August 27, 1996.

Lot 8

Building Area:  
±31,029 Square Feet  
(Table "A", Item 7a & 7(b)(1))

High 1-Story Pre-cast Conc.  
Panel Building

Table "A", Item 7a & 7(b)(1)

DC Canopy

DC Canopy

DC Canopy

Asphalt Parking Lot

Asphalt Parking Lot

23-Parking Stalls

10-Parking Stalls

11-Parking Stalls

11-Parking Stalls

3-Parking Stalls

50' Building Line

BC is: 5.35' W.

FIP Fd. Pipe

FIP Fd. Pipe

FIP 1" Fd. 1" Iron Pipe  
@ corner

FIP 1" Fd. 1" Iron Pipe  
@ corner

Sanitary Mn

186TH STREET

20' Sanitary Sewer Easement Granted to the Village of Tinley Park per Document No. R94-049570, Rec. May 11, 1994.

Center Line of Sanitary Sewer Easement

(70' Right of Way heretofore dedicated per Doc. No. R94-082441)

FIR 5/8"



Lot 7

Mercury Business Center

(Doc. No. R94-082441)

N88°42'32"E Rec.  
475.00'

FIP 9/16"

FIP 1" Fd. 1" Iron Pipe Pedestal 0.30' S 0.30' W.

SIP 1" Set 1" Iron Pipe @ Corner

BC is: 5.02' S.

50' Building Line

10' Public Utility & Drainage Easement

Easement Granted to Commonwealth Edison Company and Ameritech as per Document R96-076813, Rec. August 27, 1996.

BC is: 5.13' W.  
& Chainlink Fence

AVENUE

81ST

(60' Right of Way heretofore dedicated per Doc. No. R94-082441)

Depressed Curb

Depressed Curb

N01°17'29"W Rec.  
249.42'

Fence

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(60' Right of Way heretofore dedicated per Doc. No. R94-082441)



HAILSTORM BREWING  
8060 186TH ST  
TINLEY PARK, IL  
60487

Design by:

**BRET-MAR LANDSCAPE INC.**

Page 1 of 1

15000 S WILL COOK RD  
HOMER GLEN, IL  
60491

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SHARON@BRETMARLANDSCAPE.COM







