



SITE DATA

Lot	1			2		
	DG			DC		
Zoning	2.98 acres			1.44 acres		
Land Area	Townhomes			Mixed Use		
Use	Allowable	Proposed	Total Units	Allowable	Proposed	Total Units
FAR	Min. 3 Stories	3 stories		Min. 3 stories	5 stories	
Building Height	Front (67th Ave)	5'-15'	10.8'	5' Max. (North St.)	8'	
	Front (67th Ct.)	5'-15'	8.7'	5' Max. (Cut Thru)	1'	
	Front (172nd St.)	5'-15'	9.3'	5' Max. (67th)	1.2'	
	Side	N/A		5' Min. (north)	81'	
	Rear (south)	5' Min.	13.3'			
Parking Setback	Front	N/A		20'	5'	
	Corner Side Yard	N/A		0'	0'	
	Side	N/A				
	Rear	N/A		5'		
MF TH Unit Size	1,200 SF Min.	1,500 SF to 1,800 SF	63			
MF Apt. Unit Size						
UNIT TYPES						
				Rentable SF	Total Rentable SF	Total
				A. Studio	704.00	3,520
				B- One Bedroom	808.00	3,232
				B1- One Bedroom	933.00	3,732
				B2- One Bedroom	831.00	8,310
				C- One Bedroom/office	880.00	2,640
				D- One Bedroom/office	880.00	7,040
				E- Two Bedroom	1,076.00	4,304
				E1- Two Bedroom	1,094.00	4,376
				F- Two Bedroom corner	1,164.00	18,624
				G- Two Bedroom	1,271.00	3,813
				H- Three Bedroom corner	1,476.00	1,476
				I- Three Bedroom	1,445.00	1,445
Apartment SFTotal				TOTAL SF	62,512	
Unit Total						63
Average Apt. SF				(Avg SF/Unit)		992.3
Commercial SF						4,352.0
Aisle Width	Two-way - Max 20'	22'		One-way Max 20'	25'	
Parking						
	TH-1 per unit Req. (63 Spaces)			MF-1 per unit Req. (63 spaces) Commercial - None		
Garage - TH Shared Surface Spaces with Lot One		126				
		8				
	Total TH Parking	134	2.1/Unit			
		*TH Parking Total Excludes 21 On Street Spaces				
		65 Bike Stalls	1/Unit			
Garage -Apartment Carport Parking Surface- Apartments					39	
					24	
					13	
	Total Apt. Parking				76	1.2/Unit
					68 Bike Stalls (63 interior/ 5 exterior)	1/Unit
Commercial					29 Spaces	7/1,000 sf
	Total Comm. Parking				5 Bike Spaces	
					1- 40' X 8' Loading Space	

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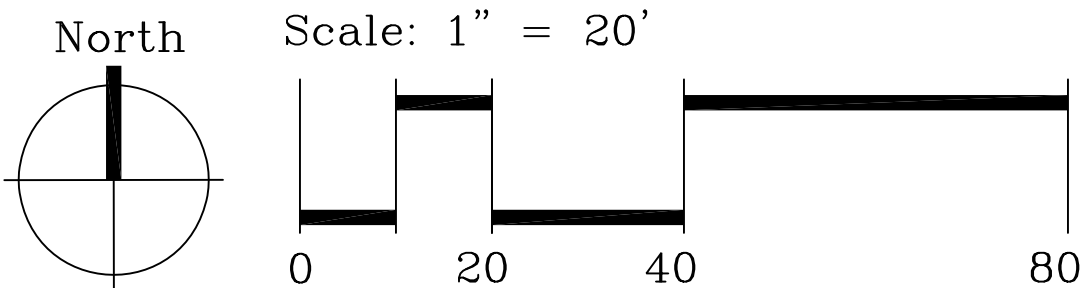
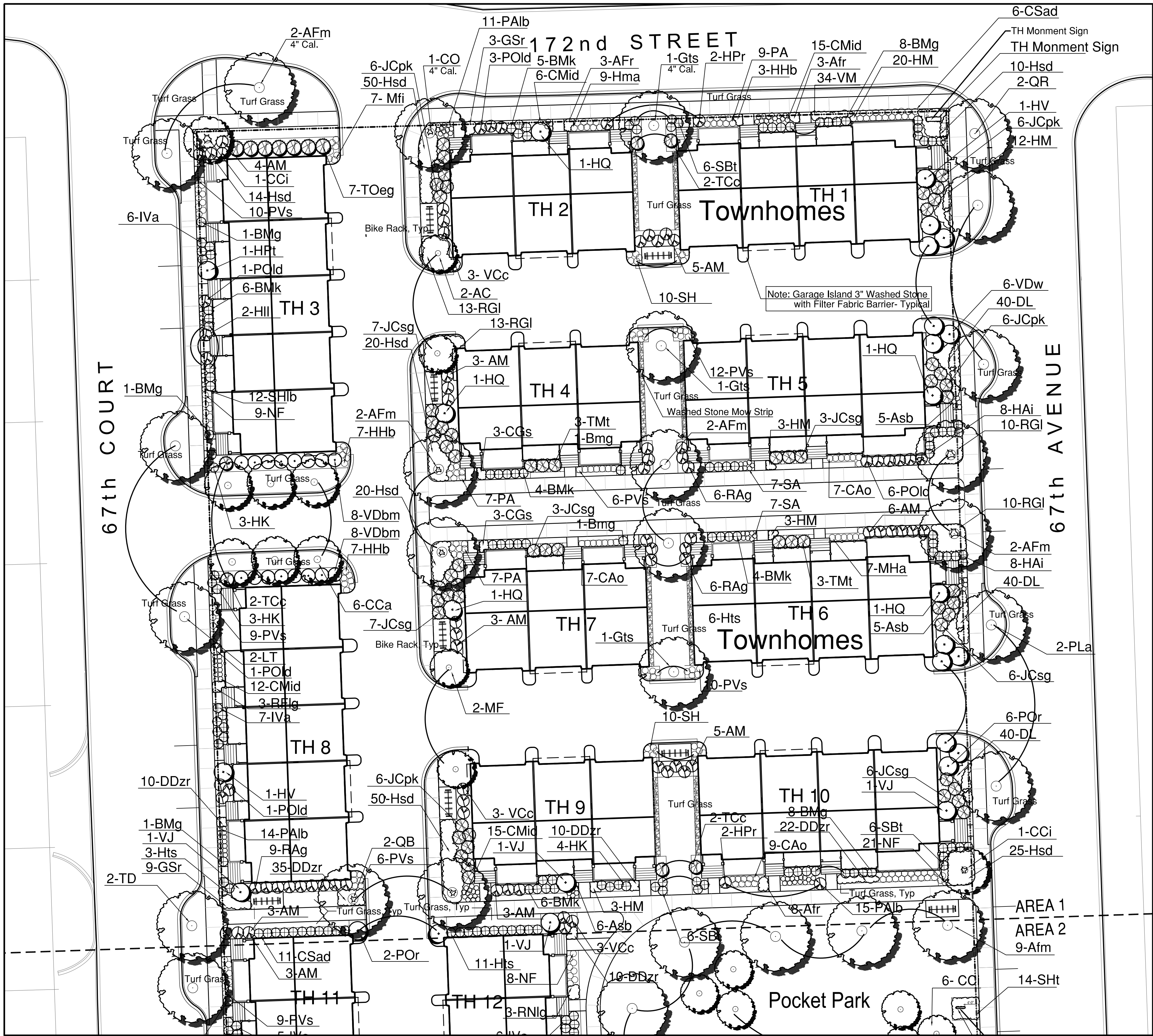
ISSUE DATE:	06-15-2023
	REVISIONS
	July 17, 2023 Village Comments
	Aug. 21, 2023 Village Comments



West Point at Harmony Square  
Tinley Park, Illinois

JOB NO: LP230045.00	PROJ MGR: TJS
DRAWN: TJS	CHECKED: --
ILLUSTRATIVE PLAN	





SHADE TREES			
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AFm	Acer rubrum 'Autumn Blaze'	Autumn Blaze Maple	2.5" BB Typ. 4.0" BB Special
CO	Celtis occidentalis 'Ultra'	Ultra Hackberry	2.5" BB Typ. 4.0" BB Special
GTls	Gleditsia tricanthos inermis 'Skyline'	Skyline Honey Locust	2.5" BB Typ. 4.0" BB Special
LT	Liriodendron tulipifera	Tulip Tree	2.5" BB
PLa	Platanus acerifolia	London Planetree	2.5" BB
QB	Quercus bicolor	Swamp White Oak	2.5" BB
QI	Quercus imbricaria	Shingle Oak	2.5" BB
QRu	Quercus rubra	Red Oak	2.5" BB
UAH	Ulmus americana 'Homestead'	Homestead Elm	2.5" BB

INTERMEDIATE AND EVERGREEN TREES		
KEY	SCIENTIFIC NAME	COMMON NAME
AC	Amelanchier canadensis	Serviceberry
CCa	Carpinus carolina	Carolina Hornbeam
CCI	Craetegus crus-galli inermis	Thornless Cockspur Hawthorn
HV	Hamamelis vernalis	Vernal Witchhazel
MF	Malus floribunda (Standard-Tree Form)	Floribunda Crab
Mrr	Malus 'Royal Raindrops'	Royal Raindrop's Crab
OV	Ostrya virginiana	Hornbeam
VP	Viburnum prunifolium	Blackhaw Viburnum
PGd	Picea glauca 'Densata'	Black Hills Spruce

SHRUBS		
KEY	SCIENTIFIC NAME	COMMON NAME
AM	Aronia melanocarpa	Black Chokeberry
BMk	Buxus microphylla 'Koreana'	Korean Littleleaf Boxwood
BMg	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood
CS	Cornus sericea	Redtwig Dogwood
CSad	Cornus sericea 'Allemen's Dwarf'	Allemen's Dwarf Redtwig Dogwood
DRk	Diervilla rivularis 'Kodiak'	Kodiak Black Bush Honeysuckle
HAI	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea
HPHt	Hydrangea paniculata 'Limelight'	Limelight Hydrangea
HPR	Hydrangea paniculata 'Rendia'	Rendia Hydrangea
HPT	Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea
HIL	Hydrangea 'Little Lamb'	Little Lamb Hydrangea
HIS	Hydrangea 'Tuff Stuff'	Tuff Stuff Hydrangea
HQ	Hydrangea quercifolia	Oakleaf Hydrangea
HK	Hypericum kalmianum	Kalm St. John's Wort
IvA	Ilex verticillata 'Red Sprite' (Include One Male Plant / Planting)	Red Sprite Holly
JCSg	Juniperus chinensis 'Sea Green'	Sea Green Juniper
POld	Physocarpus opulifolius 'Little Devil'	Little Devil Nine Bark
POs	Physocarpus opulifolius 'Seward'	Seward Nine Bark
RAg	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant
Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac
SBt	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea
TCc	Taxus cuspidata 'Capitata'	Upright Yew
TMT	Taxus medii 'Tauntoni'	Tauntoni's Yew
TOT	Thuja occidentalis 'Techny'	Techny Arborvitae
TOeg	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae
VDbm	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrow Wood Vib.
VDw	Viburnum dentatum 'Synnesvedt'	Synnesvedt Arrowwood Vib.
VJ	Viburnum judii	Judd Viburnum
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Vib.
VOC	Viburnum opulus 'Compactum'	Compact Euro. Cranberry Vib.

PERENNIALS AND GROUNDCOVER			
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AH	Amsonia hubrichtii	Blazing Star	1 Gal. 24" On Center
Afr	Astilbe 'Fanal Red'	Fanal Red Astilbe	1 Gal. 24" On Center
CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 QT Cont. 18" On Center
CP	Carex pennsylvanicum	Pennsylvania Sedge	1 QT Cont. 18" On Center
Asb	Allium 'Summer Beauty'	Summer Beauty Onion	1 QT Cont. 18" On Center
GSr	Geranium sanguineum 'Rosanne'	Rosanne Geranium	1 Gal. 24" On Center
HMa	Hakonechloa macra	Japanese Forest Grass	1 Gal. 24" On Center
Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
Hhb	Hosta 'Hadsen Blue'	Hadsen Blue Hosta	1 Gal. 24" On Center
HM	Heuchera 'Cherry Truffles'	Cherry Truffles Heuchera	1 Gal. 24" On Center
MFi	Monarda didyma 'Raspberry Wine'	Raspberry Wine Bee Balm	1 Gal. 24" On Center
NF	Nepeta fasseni 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
PA	Pennisetum alopecuroides	Fountain Grass	1 Gal. 24" On Center
PAIb	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 Gal. 18" On Center
PVs	Panicum virgatum 'Shennandoah'	Shennandoah Switch Grass	1 Gal. 24" On Center
RNG	Rudbeckia neumanii 'Little Goldstar'	Little Goldstar Blackeyed Sus.	1 Gal. 24" On Center
SHt	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
SH	Sporobolus heterolepis	Prairie Dropseed	1 Gal. 24" On Center
VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

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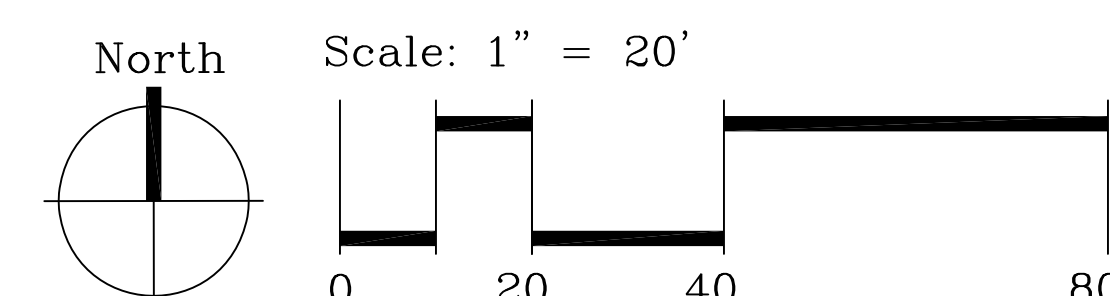
West Point at Harmony Square

Tinley Park, Illinois

JOB NO: LP230045.00 PROJ MGR: TJS  
DRAWN: TJS CHECKED: ...  
AREA ONE LANDSCAPE PLAN

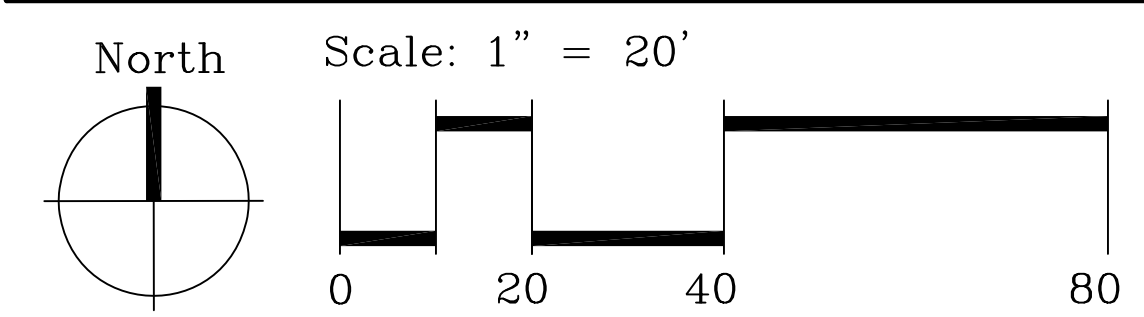
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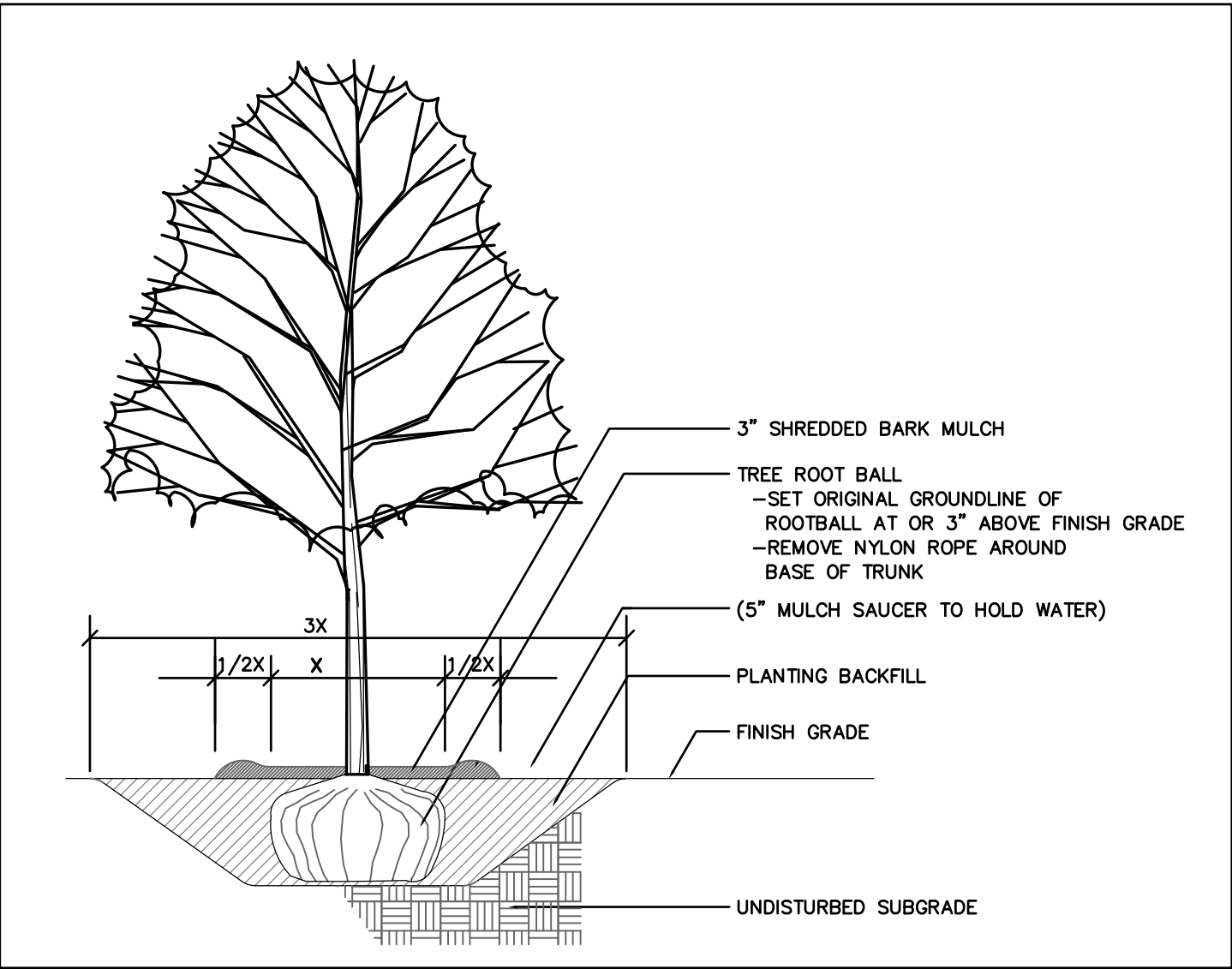
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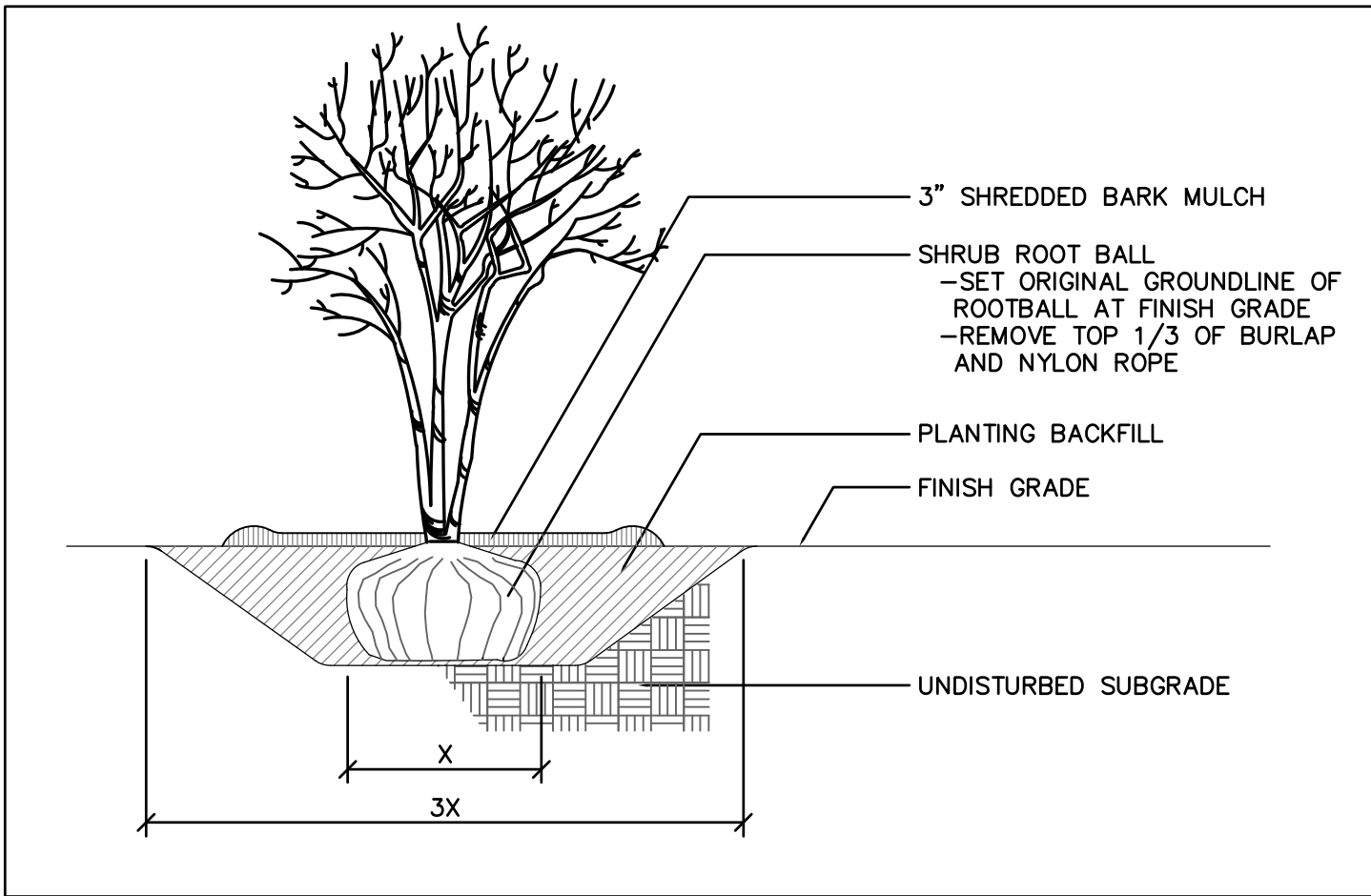


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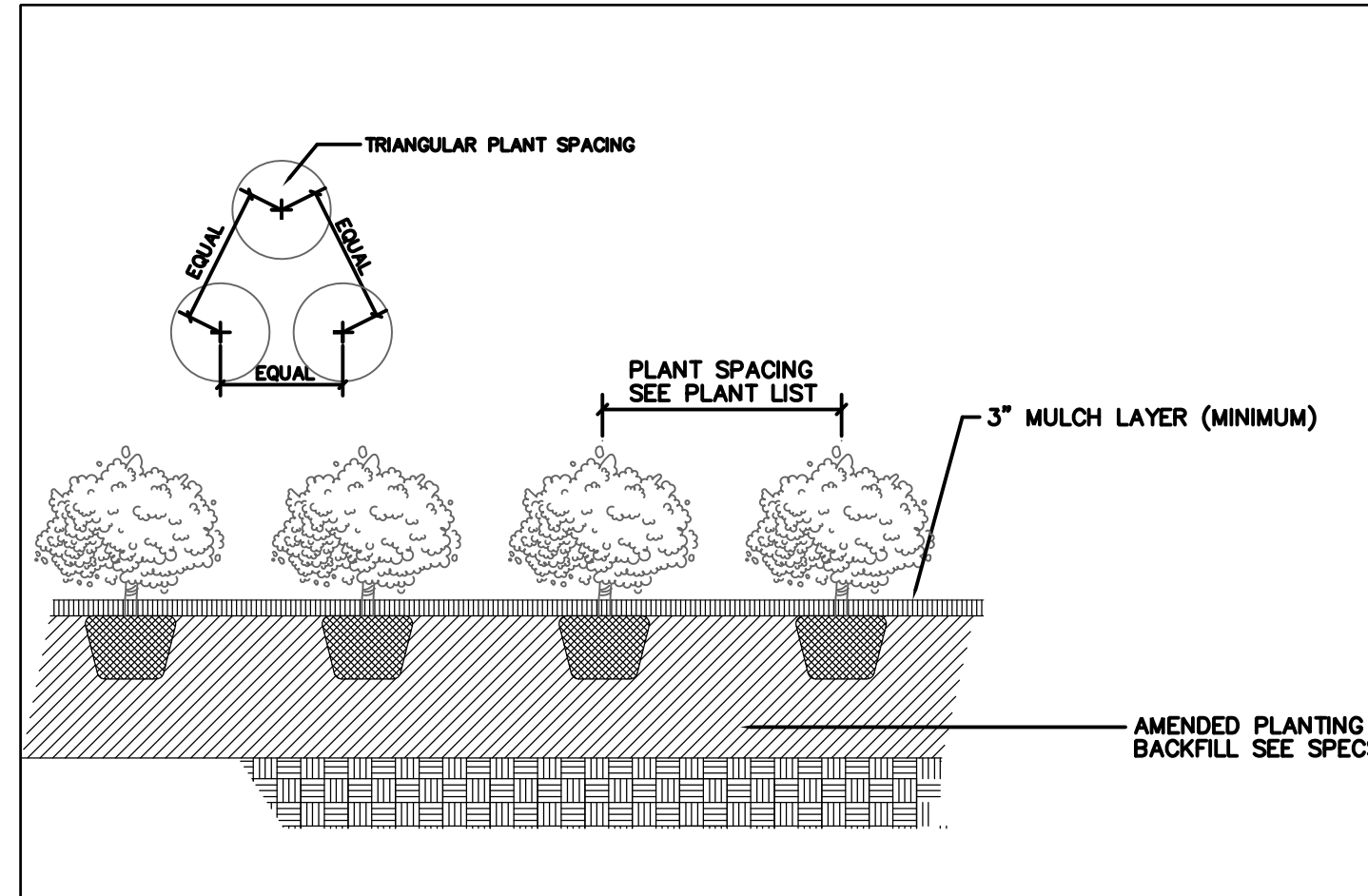




**1 SHADE TREE PLANTING**  
**L2.4 TREE GRATE DETAIL PENDING VILLAGE STREETScape PLAN**  
NO SCALE



**2 SHRUB PLANTING**  
**L2.4 --**  
NO SCALE



**3 PERENNIAL AND G'DCOVER PLTG.**  
**L2.4 --**  
NO SCALE

#### 1.1. GENERAL CONDITIONS

A. Included by reference are the "General Conditions of the Contract for Construction", Current Edition, Standard AIA Document A-201-recent edition of the American Institute of Architects, which form is hereby specifically made a part of the Contract Documents with the same force and effect as though set forth full in full.

#### B. CONTRACTORS LIABILITY INSURANCE

Contractor's liability insurance shall include the coverage's stipulated as minimum amounts in the following sub-subparagraphs:

#### 1.02 CONTRACTOR USE OF PREMISES

A. General: During the construction period the Contractor shall have full use of the premises for construction operations, including use of the site. The Contractor's use of the premises is limited only by the Owner's right to perform construction operations with its own forces or to employ separate contractors on portions of the project.

1. Confine operations to areas within Contractor limits indicated. Portions of the site beyond areas in which construction operations are indicated are not to be disturbed.
2. Keep driveways and entrances serving the premises clear and available to the Owner and the Owner's employees at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
3. Storage of materials, location of construction trailers, contractor parking will all be limited to the area within the project work limits.
4. Contractor shall take care to assure access for emergency vehicles at all times to adjacent residences.
5. No material or equipment may be stored on the public street and driving and parking areas within the school site that interferes with safe usage of the street and drives or creates a dangerous condition, and unless approved in advance by the Owner's Representative.
6. Areas used for storage shall be restored to original condition and to the satisfaction of the Owner's Representative.

#### 1.03 COOPERATION OF UTILITIES

A. The Contractor shall notify all utilities (J.U.L.I.E. - 811 OR, (800) 892-0123) including the Owner, all affected utility companies and local authorities at least 48 hours prior to commencement of any construction which may interfere with existing utility lines, conduits, cables, etc. The Contractor shall make his own investigation to determine the existence, nature and location of all utility lines and appurtenances within the limits of the improvement.

B. Contractor shall stake plant locations in field and thereafter inform Owner's Representative AND Irrigation Consultant before beginning planting operations. No planting operations may begin until after Owner's Representative and Irrigation Consultant has reviewed staked locations of plant material;

#### 1.04 COORDINATION

- A. Coordination: Coordinate construction activities included under various Sections of these Specifications to assure efficient and orderly installation of each part of the Work. Coordinate construction operations included under different Sections of the Specifications that are dependent upon each other for proper installation, connection, and operations.
- B. Where availability of space is limited, coordinate installation of different component to assure maximum accessibility for required maintenance, service and repair.

#### 1.05 GENERAL INSTALLATION PROVISIONS

- A. Inspection of Conditions: Require the Installer of each major component to inspect both the substrata and conditions under which Work is to be performed. Do not proceed until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Inspection by Owner: The construction shall be under the observation of the Owner's Representative. No work requiring the Owner's Representative's observation shall be performed no earlier than 7:00 a.m. or after 5:00 p.m. or on Saturdays, Sundays or legal holidays, without the approval of the Owner's Representative.
- C. Inspect materials or equipment immediately upon deliver and again prior to installation. Reject damaged and defective items.
- D. Install each component during weather conditions and Project status that will ensure the best possible results. Isolate each part of the completed construction from incompatible material as necessary to prevent deteriorations.

#### 1.06 CLEANING AND PROTECTION

- A. During handling and installation, clean and protect construction in progress and adjoining materials in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- B. Clean and maintain completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.

#### 1.07 JOB SAFETY AND PROTECTION

- A. Protect all products and equipment from damage.
- B. Methods:
  1. Store off grade and cover with impervious material all moisture or water vulnerable materials.
  2. Store finished products and equipment in an enclosed building, on or off site.
  3. Maintain integrity or shipping cartons until ready for installation.
  4. Provide separate storage for combustible and non-combustible products.
  5. Follow storage recommendations of product and equipment manufacturers.
  6. Other methods shall be subject to Owner's prior written approval.
- C. The Contractor shall take the necessary precautions when working near or above existing utilities to protect these utilities from an damage resulting from his operations. All work and material necessary to repair or replace any sewer that is damaged due to non-compliance with the provision shall be provided, as directed by the Owner's Representative, at the Contractor's expense, with no extra compensations being allowed.

D. The Contractor shall be entirely responsible for all injuries to water pipes, irrigation lines, electric conduits, or cables, drains, sewers, gas mains, poles, telephones and telegraph lines, streets, pavements, sidewalks, curbs, culverts, retain walls or other structures of any kind met with during the progress of the Work, and shall be liable for damages to public or private property resulting therefrom.

E. Lawn areas shall be left in as satisfactory condition as before the starting of the Work. Where sod is removed, it shall be carefully removed and later replaced, or the area where sod has been removed shall be restored by seeding or sodding the manner described under the appropriate work section. All ruts created by heavy equipment shall be repaired by the Contractor at his expense.

#### 1.9. APPLICATIONS FOR PAYMENT:

- A. Payment for the work included in this contract will be authorized upon its completion and acceptance on behalf of the Client. No payment will be made for work which is found to be unacceptable. The Client reserves the right to replace or otherwise correct, after thirty (30) days of its rejection, any portion of the Work that has been deemed unacceptable by the Client and remains uncorrected by the Contractor be deducted from monies due or to become due the Contractor.
- B. Waivers of Mechanics Lien: With each Application for Payment submit waivers of mechanics liens from subcontractors and suppliers for the construction period covered by the previous application.
  1. Submit partial waivers on each item for the amount requested, prior to deduction for retainage, on each item.
  2. When an application shows completion of an item, submit final or full waivers.
  3. The Owner reserves the right to designate which entities involved in the Work must submit waivers.
  4. Waiver Delays: Submit each Application for Payment with the Contractor's waiver of mechanics lien for the period of construction covered by the applications.
    - a. Submit final Application for Payment with or preceded by final waivers from every entity involved with performance of Work covered by the application who could lawfully be entitled to a lien.
  5. Waiver Forms: Submit waivers of lien on forms, and executed in a manner, acceptable to Owner.
- C. Payments by Owner: The owner will pay ninety percent (90%) of the amount due the Contractor on the account of progress payments, until Work is one hundred percent (100%) complete. .
- D. Final Payment Application: Administrative actions and submittals which must precede or coincide with submittal of the final payment Application for Payment include the following:

1. Completion of Project closeout requirements.
2. Completion of items specified for completion after Substantial Completion.
3. Assurance that unsettled claims will be settled.
4. Assurance that Work not complete and accepted will be completed without undue delay.
5. Transmittal or required Project construction records to Owner.
6. Proof that taxes, fees and similar obligations have been paid.
7. Removal of temporary facilities and services.
8. Removal of surplus materials, rubbish and similar elements.

#### 1.10 SUBMITTALS

A. Unless otherwise stated, prior to commencement of work, submit for review and approval by the Owner, three copies of certificates for all landscape materials used on the project. Provide sources for all plant materials and photographs of all plant material being used. The Owner reserves the right to field tag shade, intermediate and evergreen tree materials once the Contractor has identified the plant sources.

#### 1.11 GENERAL LANDSCAPE NOTES

A. Unless stated otherwise herein, all seeding, sodding and landscape planting work shall be performed in accordance with the Illinois Department of Transportation Standard Specifications for Road and Bridge Construction (latest edition) as specified in Section 200 (Earthwork, Landscaping and Erosion Control).

B. Unless stated herein, all materials shall meet the requirements of the following Articles of Standard the IDOT Specifications for Road and Bridge Construction Section 1000 - Materials.

Item	Article
Trees, Shrubs, Vines and Seedlings	1081.01
Topsoil	1081.05a
Mulch Material	1081.06b
Lawn Seeding	1081.04 (Class 1)
Sodding	1081.03
Fertilizer	1081.08

#### 1.12 TOPSOIL/FINE GRADING

- A. Approved topsoil shall be supplied and installed at the following depths:
  - a. Seeded and sodded areas - 6" depth
  - b. Shrub bed areas and landscaped islands - 12" depth
  - c. Groundcover/perennial areas - 12" depth (amended soil mix as shown in detail)
- B. Approved topsoil shall be free of roots, noxious weed seeds, sticks, rocks or miscellaneous debris which may impair plant growth. Topsoil shall not be worked or graded while frozen or in an excessively wet or dry condition. Topsoil shall not be accessibly acidic or alkaline and shall not contain any herbicide residue. The Owner reserves the right to have representative samples of the topsoil tested by a qualified soil testing laboratory at no cost to the Owner.
- C. All top-soiled areas shall be fine graded to elevations indicated on the grading plan prior to receiving sod or landscaping. All areas shall drain properly so that there are no puddles or standing water in any lawn or plant bed areas. Areas improperly graded shall be regarded at the Contractor's expense.
- D. Remove rocks, stones and other foreign debris while spreading and grading. If necessary, had spread topsoil around buildings, structures, walks, drives or trees to avoid damage.
- E. Where graded areas interface with non-graded undisturbed edges, remove turf along edge to create a straight smooth transition line between graded and non-graded areas. Fine grade transition area so that finis grades of graded and non graded areas are flush.

- A. Seeding work shall conform to Class 1 Seeding described in Section 250 of IDOT Standard Specifications for Road and Bridge Construction. , latest edition. Mulching of seeded areas shall conform to Method 2 described in Section 251 of IDOT Standard Specifications for Road and Bridge Construction
- B. Prior to work, submit three copies of seed vendor's certificate for grass seed mixture, indicating weight, and percentages of purity, germination and weed seed.
- C. Sodding work shall conform to standard Sod (a) as described in Section 252 of IDOT Standard Specifications for Road and Bridge Construction, latest edition. .
- D. Prior to work, submit three copies of sod grower's location for approval. Sod shall be from a locally grown source. Sod shall be in healthy growing condition, free of weeds, pests and out to the specified thickness. The Owner has the right to reject unacceptable sod at the growing site.
- E. All fine grading for seeded and sodded areas shall be approved by the Owner prior to work.
- F. Install seeding on prepared, finished graded areas and in favorable weather conditions within the following periods: April 1st through May 31st; and August 15th through October 15th.
- G. Install sodded areas per Section 252.04 of the IDOT Standard Specifications for Road and Bridge Construction.
- H. Fertilize seeded areas per Section 250.04 of the IDOT Standard Specifications for Road and Bridge Construction..
- I. Fertilize sodded areas per Section 252.03 of the IDOT Standard Specifications for Road and Bridge Construction.
- J. Guarantee all seeding and sodding work for a period of one year following final acceptance. Areas not accepted upon completion of the guarantee period shall be resodded to fill in voids and areas not covered in seed or sod.
- K. Maintain seeded and sodded areas for a period of 45 days following installation. Maintenance shall consist of watering, mowing and weeding. Repair and reseed bare spots or seeded and sodded areas that have not established or have washed out due to erosion.
- L. Initial mowing shall be done at a 3" cutting height so than not more than 33% of the grass is removed in a single mowing. Cutting heights on follow up mowings can be readjusted to a 2.5" grass blade height.

#### 1.14 TREE, SHRUB AND GROUNDcover PLANTING

- A. The Owner reserves the right to inspect all material at the nursery. Only nursery grown stock will be permitted to be used on the Project.
- B. All tree, shrub and groundcover planting shall be performed between the dates of March 15 and May 31, and August 15 and October 15. Actual planting shall be performed only during periods within this season when weather and soil conditions are suitable and in accordance with locally accepted practice, as approved by the Owner's Representative.
- C. Location for all trees, intermediate trees and evergreen trees shall be staked and outlines of bed areas shall be clearly marked on the ground by a qualified landscape representative of the Contractor, and shall be subject to approval by the Owner's Representative prior to commencement of planting.
- D. All shrub beds shall be mulched with 3" of shredded hardwood bark mulch. Groundcover beds shall be mulched with 2" of mushroom compost. Provide shredded hardwood bark mulch rings (3" depth) for all shade and flowering trees. Diameter of mulch rings shall be equal to diameter of root ball.
- E. Mulch shall comprise partially decomposed shred hardwood bark. Mulch shall be a brown-black color, and, free of oversized pieces (1/2" x4") and fine particles. Prior to work, Contractor shall submit three mulch samples for approval for use prior to work.
- F. Imported topsoil, if necessary, shall consist of fertile, friable natural topsoil typical for this locality. It shall not contain a mixture of subsoil or slag and free of lumps, stones, plants and their roots, stalks and other extraneous matter and shall not be used while in a frozen or muddy condition. Topsoil shall have a pH range of 6.0-7.0 and shall not contain less than 12 percent organic matter. .
- G. Tree, Shrub and Groundcover Establishment Period, Inspections and Guarantees.
  1. Establishment Period. For a period of 60 days after planting of trees, shrubs, and groundcovers, (not including dormancy periods), the Contractor shall properly care for all plants, and planning beds including watering, weeding, fertilizing, cultivating, adjusting or bracings or other maintenance work which is necessary to keep the plants in a healthy condition and in a plumb position. All plants shall be watered as season conditions require, and as directed by the Owner, until provisional acceptance of the planting.
  2. Provisional Acceptance. At the end of the Establishment period, the planting shall be inspected by the Owner for provisional acceptance of the planting. Any plant material which is dead, damaged, untrue to natural form of the species, or otherwise unhealthy, shall be replaced by the Contractor at his expense. The Owner shall accept maintenance responsibilities of the planting after the provisional acceptance.
  3. Guarantee and Final Acceptance. The Contractor shall guarantee that all plants shall be in a healthy and vigorous condition one full growing season after the provisional acceptance. The planting shall be inspected by the Owner at the end of the guarantee period. Any plant material which is dead, damaged, untrue to natural for of the species, or otherwise unhealthy, shall be replaced by the Contractor at his expense.
  4. Provisional acceptance and guaranteed periods of landscaped plantings may be in part or whole.

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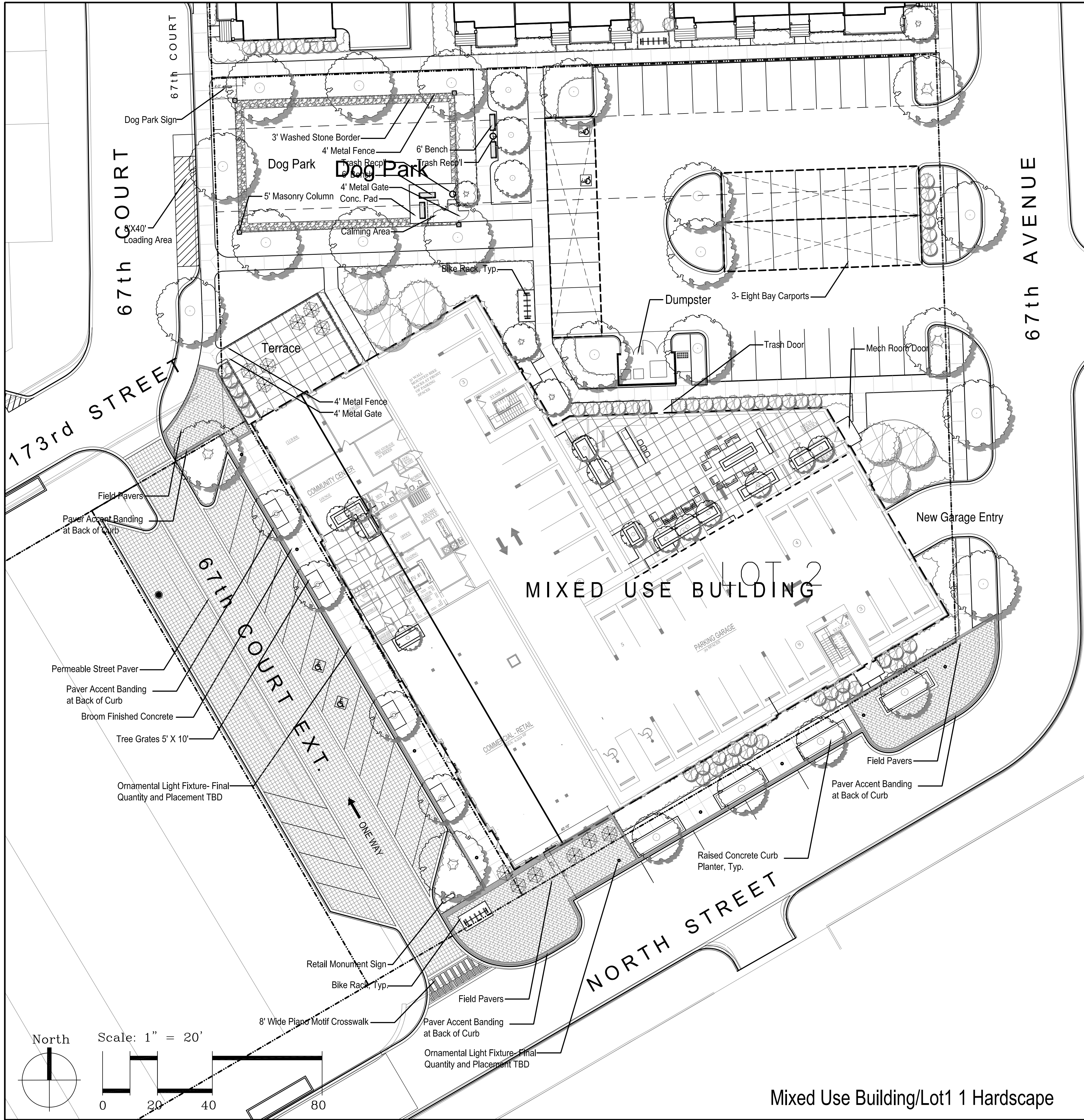
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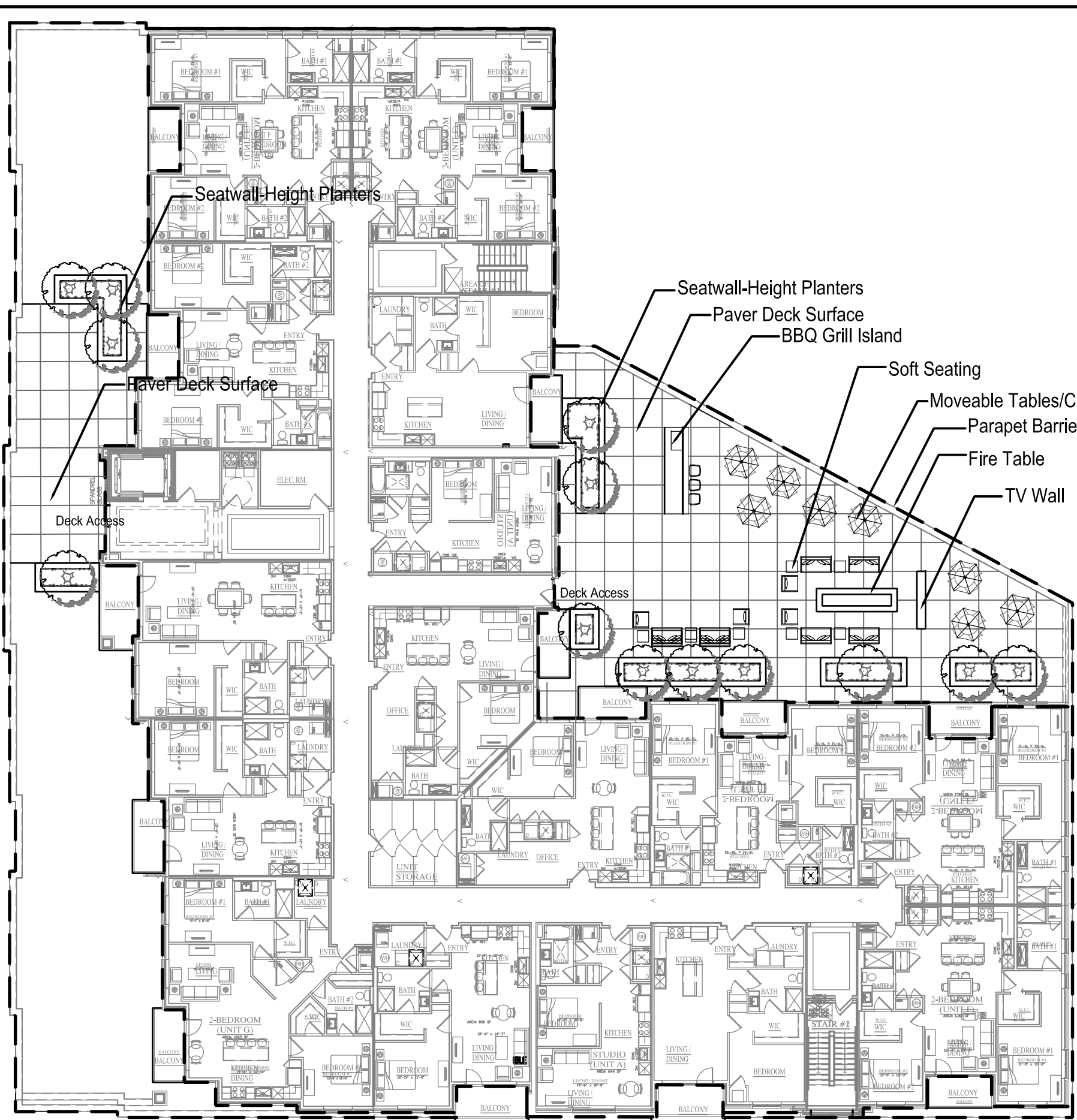
JOB NO: LP230045.00 PROJ MGR: TJS  
DRAWN: TJS CHECKED: --  
LANDSCAPE NOTES/DETAILS

L1.4





Mixed Use Building/Lot1 1 Hardscape



Mixed Use Building/Lot1 1 Hardscape  
Roof Deck Hardscape



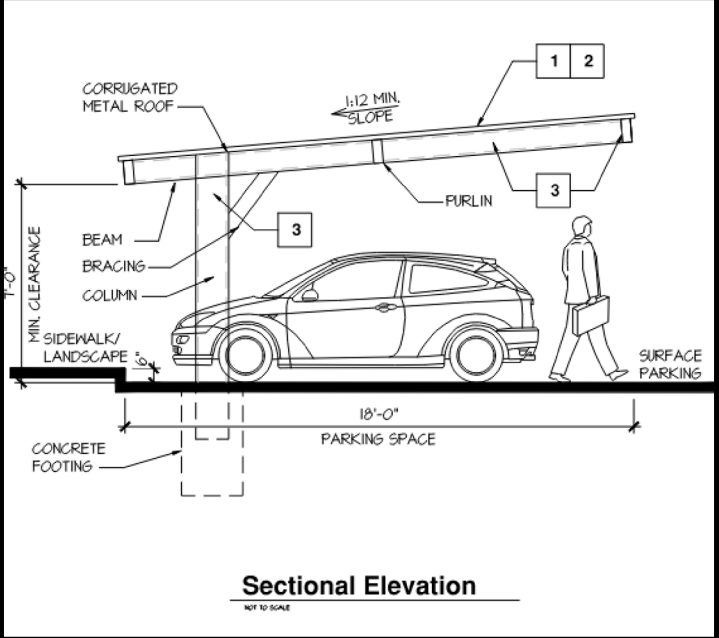
Seatwall-Height Planters



Fire Table, TV Wall, Soft Seating



BBQ Grill Island  
Mixed Use Building  
Second Floor Roof Deck Character



Car Port Character

22023-06-15 - Project Submittal Issued

ISSUE DATE: 06-15-2023	
REVISIONS	
July 11, 2023	Village Comments
Aug 27, 2023	Village Comments



West Point at Harmony Square  
Tinley Park, Illinois

JOB NO: LP230045.00 PROJ MGR: TJS  
DRAWN: TJS CHECKED: ...  
MIXED USE BLDG HARDSCAPE



Permeable Paver Street - Unilock Eco Priora, 5"x10"

Main Field:

Granite Fusion

Banding Accent:

Il Campo Granite

Pavers for Accent Areas - Unilock Mattoni

Main Field:

Charleston

Banding Accent:

Burgundy in smooth Mattoni finish

Match Existing Village Streetlights

67th COURT

Dog Park Sign

DOG PARK

TH PARK

Townhome Park Sign

67th AVENUE

172nd STREET

TH Monment Sign

67th AVENUE

Signage Location

No Scale

Raised Concrete Curb Planters

Piano Motif Crosswalk: Unilock Series 3000 Paver - 6"x6"

Ice Grey

Black Granite

Jamison 5' x 10' Tree Grate | Linear Lines

Movable Planters | 3 Sizes - Precast Concrete Finish

Note: Bench and Trash Receptacle Selection TBD

Mixed Use Building Streetscape Details

DETAILS PER LAKOTA STREETSCAPE PLAN - 01/31/2019

No Scale

MASONRY COLUMNS- CONCRETE BLOCK  
COLOR TO MATCH MIXED USE BUILDING

AMERISTAR ECHELON PLUS ALUMINUM FENCE AND GATE  
COLOR- BLACK POWDER COAT  
4' MAXIMUM HEIGHT

DEVELOPER'S OPTION: ALUMINUM PLATE 'DOG  
SILHOUETTES' MOUNTED TO FENCE  
COLOR- BLACK POWDER COAT

Dog Park Fence

Scale: 1/16"=1'-0"

MODEL D

Bike Rack- (5 Stall)

Urban Accessories - Model D- Black Finish

No Scale

22023-06-15 - Project Submittal Issued

ISSUE DATE:	06-15-2023
REVISIONS	
July 11, 2023	Village Comments
Aug. 27, 2023	Village Comments





GROUND FLOOR PLAN

SCALE: 3/32" = 1'-0"

# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23





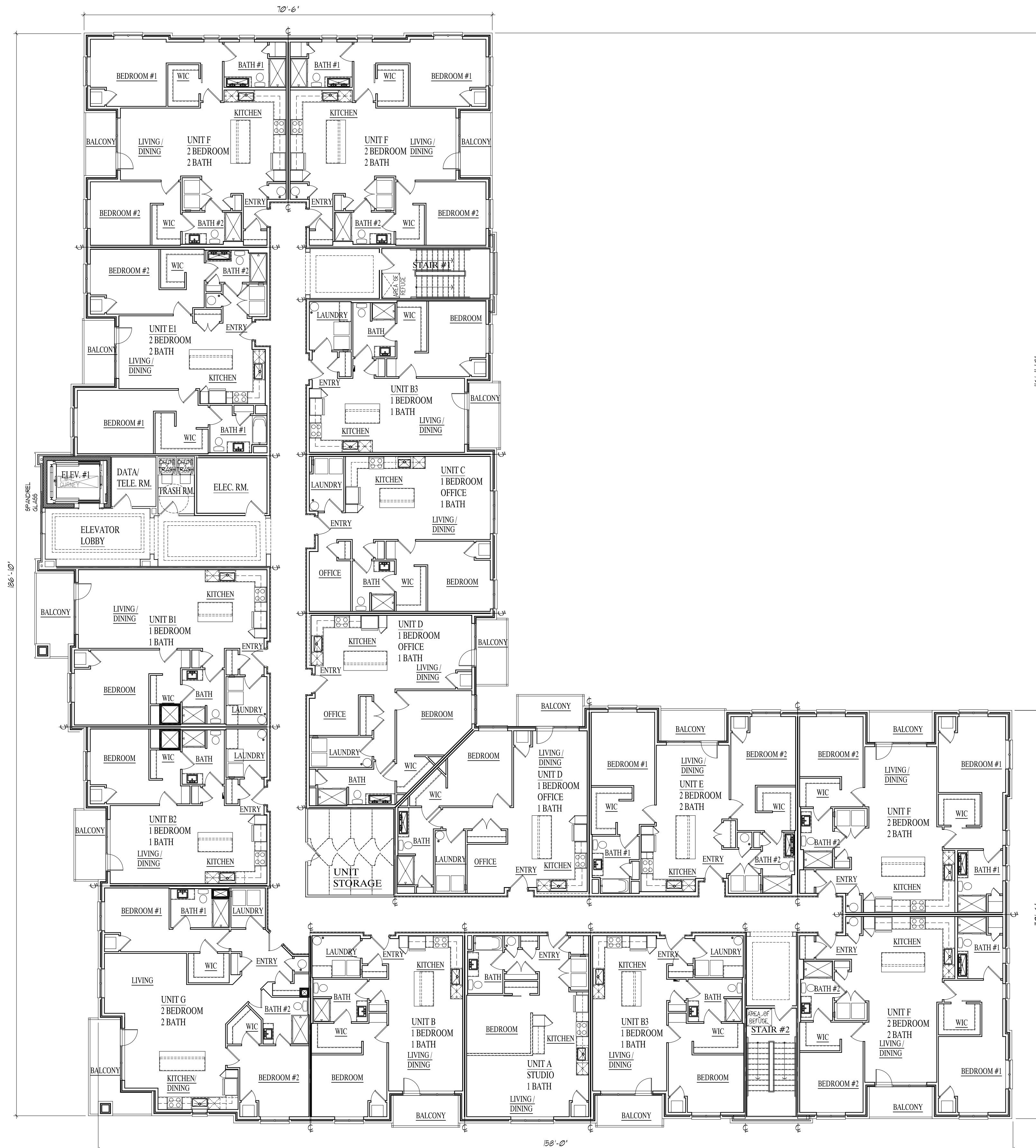
SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23





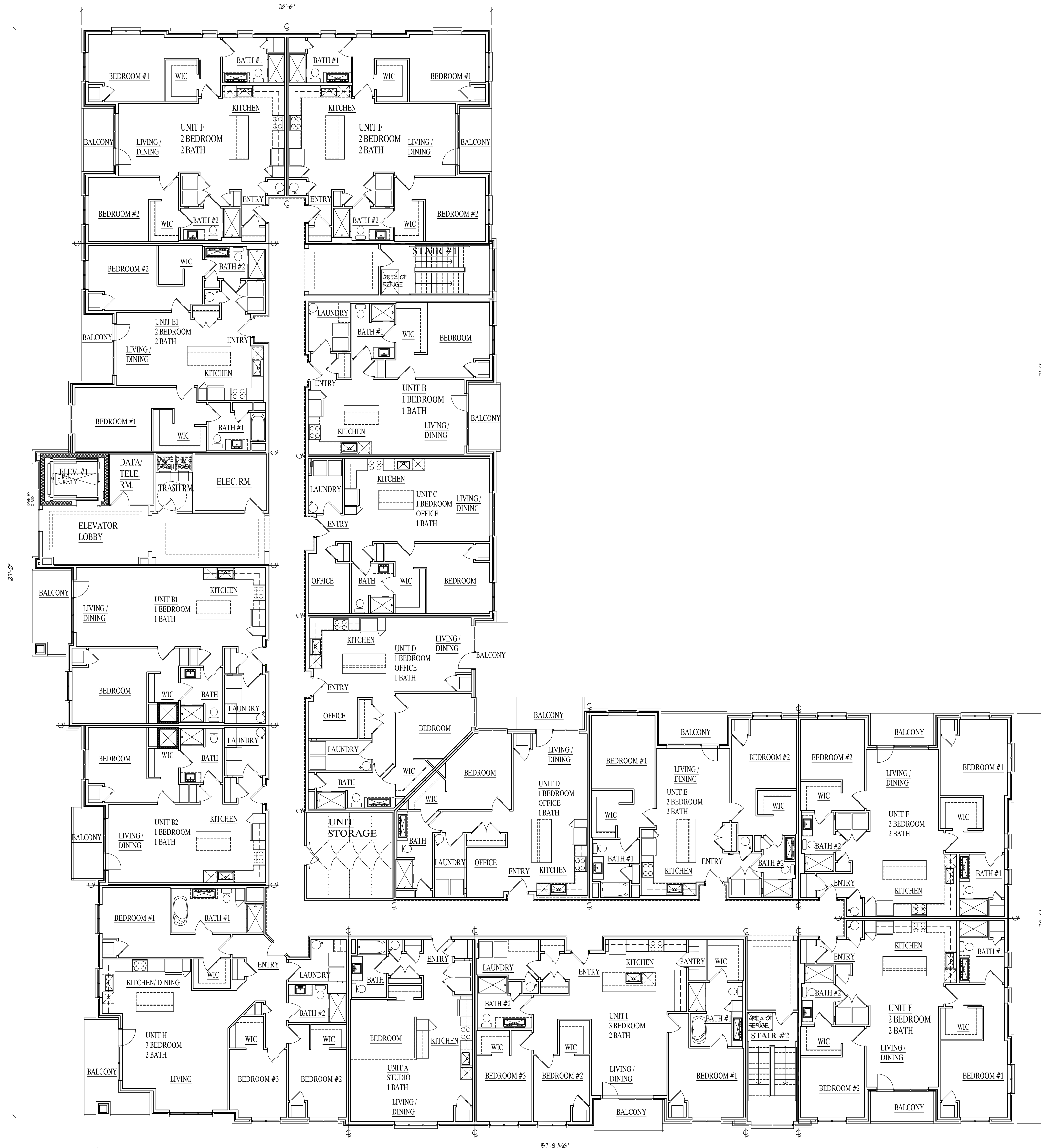
THIRD & FOURTH FLOOR PLANS

SCALE: 3/32" = 1'-0"

# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23





# FIFTH FLOOR PLAN

SCALE: 3/32" = 1'-0"

## WEST POINT AT HARMONY SQUARE

**West Point**  
BUILDERS, INC. SINCE 1957

MIXED USE  
08.31.23

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Design Group, Inc.  
1550 Spring Rd., Suite 100  
Oak Brook, IL 60523  
630-537-1416  
www.schwarzlewis.com





WEST ELEVATION (HARMONY SQUARE)

SCALE: 1/8" = 1'-0"

# WEST POINT AT HARMONY SQUARE

MIXED USE  
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- 
- T/TRUSS - ROOF
- (WIND. R.O.)
- 12'-4"
- 10'-0"
- 10'-0"
- 7'-4"
- T/FLOOR - 5th FL.
- (WIND. R.O.)
- 11'-4"
- 9'-0"
- 8'-0"
- 7'-4"
- T/FLOOR - 4th FL.
- (WIND. R.O.)
- 11'-4"
- 9'-0"
- 8'-0"
- 7'-4"
- T/FLOOR - 3rd FL.
- (WIND. R.O.)
- 11'-4"
- 9'-0"
- 8'-0"
- 7'-4"
- T/FLOOR - 2nd FL.
- (WIND. HDR)
- 14'-0"
- 15'-0"
- 10'-0"
- 7'-4"
- T/SLAB - 1st FL.

WEST ELEVATION (HARMONY SQUARE)		
①	BRICK VENEER	34%
②③	STONE VENEER & TRIM	20%
④	FIBER CEMENT PANEL	15%
⑤⑥⑦⑧	FIBER CEMENT TRIM PANEL	22%
⑨	STUCCO TRIM	7%
⑩⑪	ALUMINUM GRILLES	2%



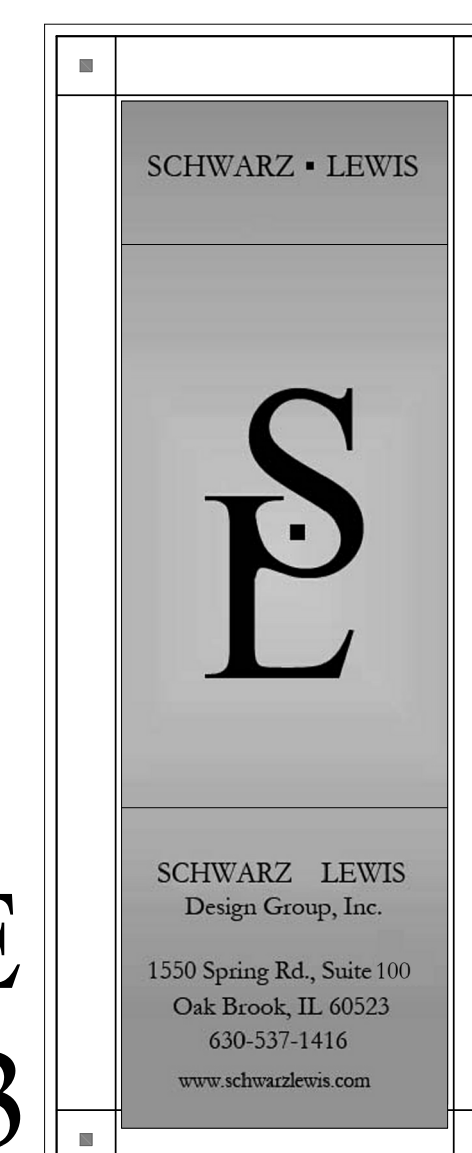
WEST ELEVATION (HARMONY SQUARE)  
SCALE: 1/8"=1'-0"

SCALE: 1/8" = 1'-0"



# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23







**SOUTH ELEVATION (NORTH ST.)**

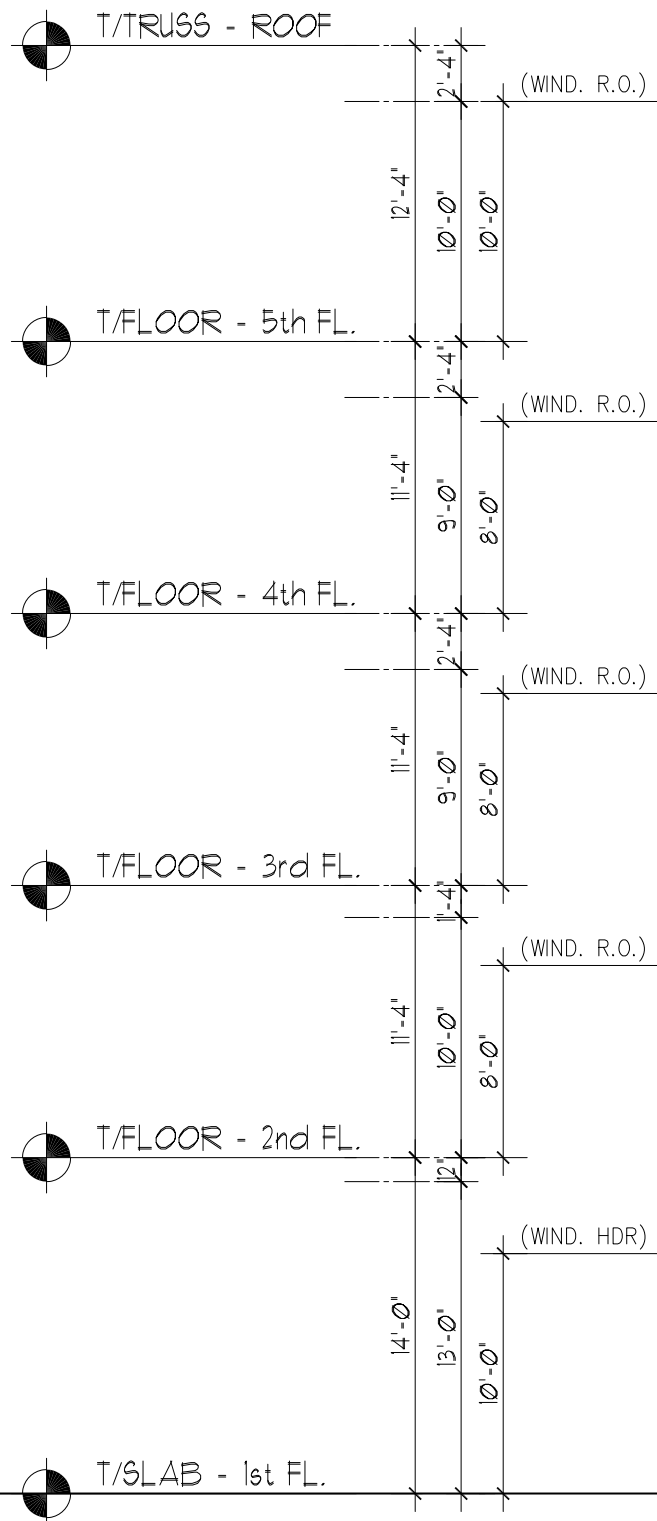
SCALE: 1/8"=1'-0"



# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23

- 1 BRICK - BRAMPTON BRICK COMPANY  
COLOR RIPLEY WITH GRAY MORTAR
- 2 MANUFACTURED STONE  
COLOR WHITE
- 3 MANUFACTURED STONE TRIM COLOR WHITE
- 4 FIBER CEMENT PANELS WITH FRY  
REGLET SYSTEM  
COLOR MONTEREY TAUPE
- 5 FIBER CEMENT PANELS  
COLOR PEARL GRAY
- 6 FIBER CEMENT PANELS  
COLOR ARTIC WHITE
- 7 HARDIE SMOOTH TRIM  
COLOR ARTIC WHITE
- 8 2" HARDIE SMOOTH TRIM  
COLOR MIDNIGHT BOOT
- 9 WINDOWS, DOORS AND STORE FRONT  
COLOR BLACK
- 10 DOORS  
COLOR WHITE
- 11 ALUMINUM GRILLE  
COLOR WHITE
- 12 ALUMINUM GRILLE TO MATCH BRICK OR  
MONTEREY TAUPE
- 13 STUCCO TRIM WITH ALUMINUM COPING  
COLOR WHITE
- 14 ALUMINUM HAND RAILS  
COLOR BLACK
- 15 FABRIC AWNINGS  
COLOR SUNERELLA FOREST GREEN
- 16 ALUMINUM AWNINGS  
COLOR BLACK
- 17 PUBLIC EVENT SIGNAGE
- 18 SPANDREL GLASS



SOUTH ELEVATION (NORTH ST.)	
1 BRICK VENEER	35%
2/3 STONE VENEER & TRIM	16%
4 FIBER CEMENT PANEL	24%
5/6/7/8 FIBER CEMENT TRIM PANEL	18%
13 STUCCO TRIM	6%
14/12 ALUMINUM GRILLES	1%

SOUTH ELEVATION (NORTH ST.)  
SCALE: 1/8"=1'-0"







NORTH ELEVATION (173rd ST.)

SCALE: 1/8"=1'-0"



# WEST POINT AT HARMONY SQUARE

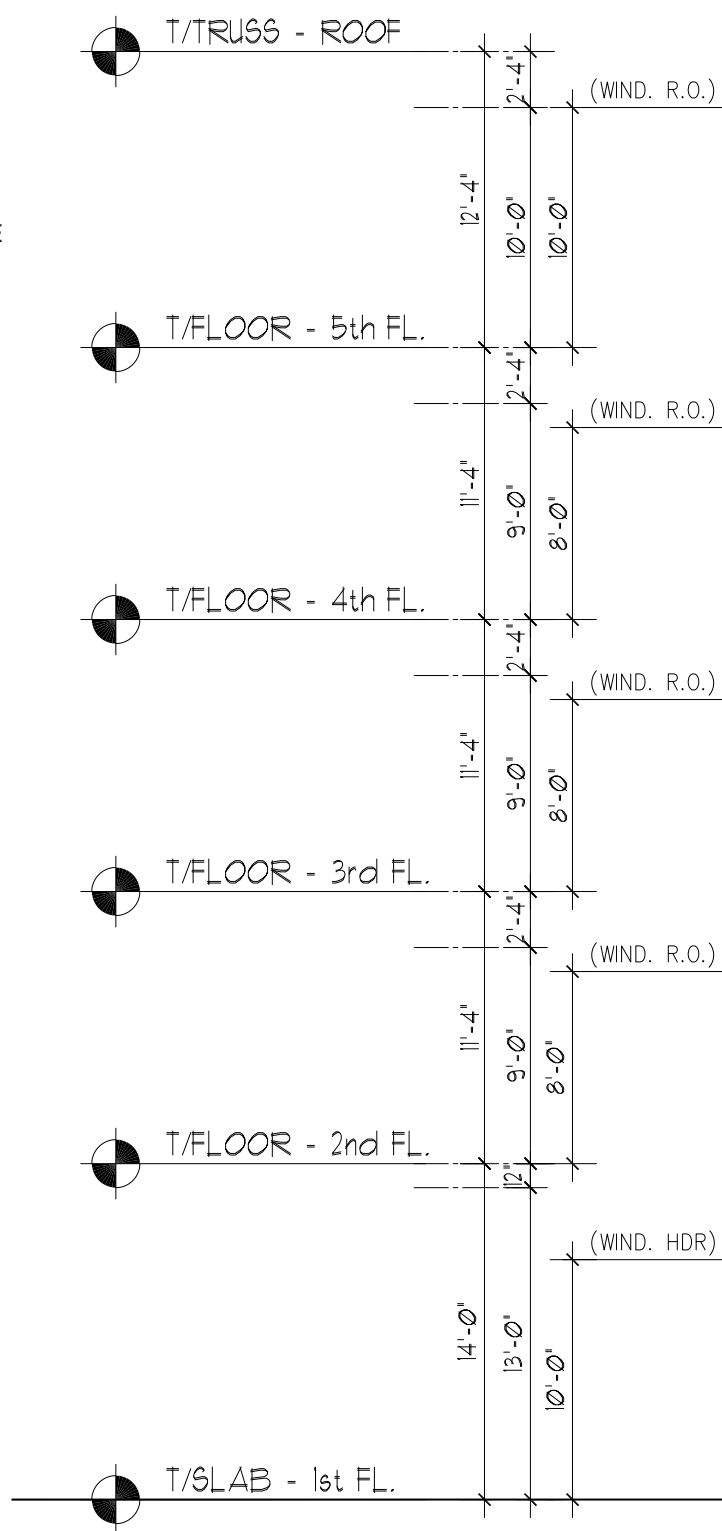
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Oak Brook, IL 60523  
630-537-1416  
www.schwarzlewis.com

- 1 BRICK - BRAMPTON BRICK COMPANY  
COLOR RIPLEY WITH GRAY MORTAR
- 2 MANUFACTURED STONE  
COLOR WHITE
- 3 MANUFACTURED STONE TRIM COLOR WHITE
- 4 FIBER CEMENT PANELS WITH FRY  
REGLET SYSTEM  
COLOR MONTEREY TAUPE
- 5 FIBER CEMENT PANELS  
COLOR PEARL GRAY
- 6 FIBER CEMENT PANELS  
COLOR ARTIC WHITE
- 7 HARDIE SMOOTH TRIM  
COLOR ARTIC WHITE
- 8 2" HARDIE SMOOTH TRIM  
COLOR MIDNIGHT SOOT
- 9 WINDOWS, DOORS AND STORE FRONT  
COLOR BLACK
- 10 DOORS  
COLOR WHITE
- 11 ALUMINUM GRILLE  
COLOR WHITE
- 12 ALUMINUM GRILLE TO MATCH BRICK OR  
MONTEREY TAUPE
- 13 STUCCO TRIM WITH ALUMINUM COPING  
COLOR WHITE
- 14 ALUMINUM HAND RAILS  
COLOR BLACK
- 15 FABRIC AWNINGS  
COLOR SUNBRELLA FOREST GREEN
- 16 ALUMINUM AWNINGS  
COLOR BLACK
- 17 PUBLIC EVENT SIGNAGE
- 18 SPANDREL GLASS



NORTH ELEVATION (173rd. ST.)	
1 BRICK VENEER	26%
2/3 STONE VENEER & TRIM	13%
4 FIBER CEMENT PANEL	32%
5/6/7/8 FIBER CEMENT TRIM PANEL	20%
9 STUCCO TRIM	7%
11/12 ALUMINUM GRILLES	2%



NORTH ELEVATION (173rd ST.)  
SCALE: 1/8"=1'-0"





EAST ELEVATION (67th AVE.)

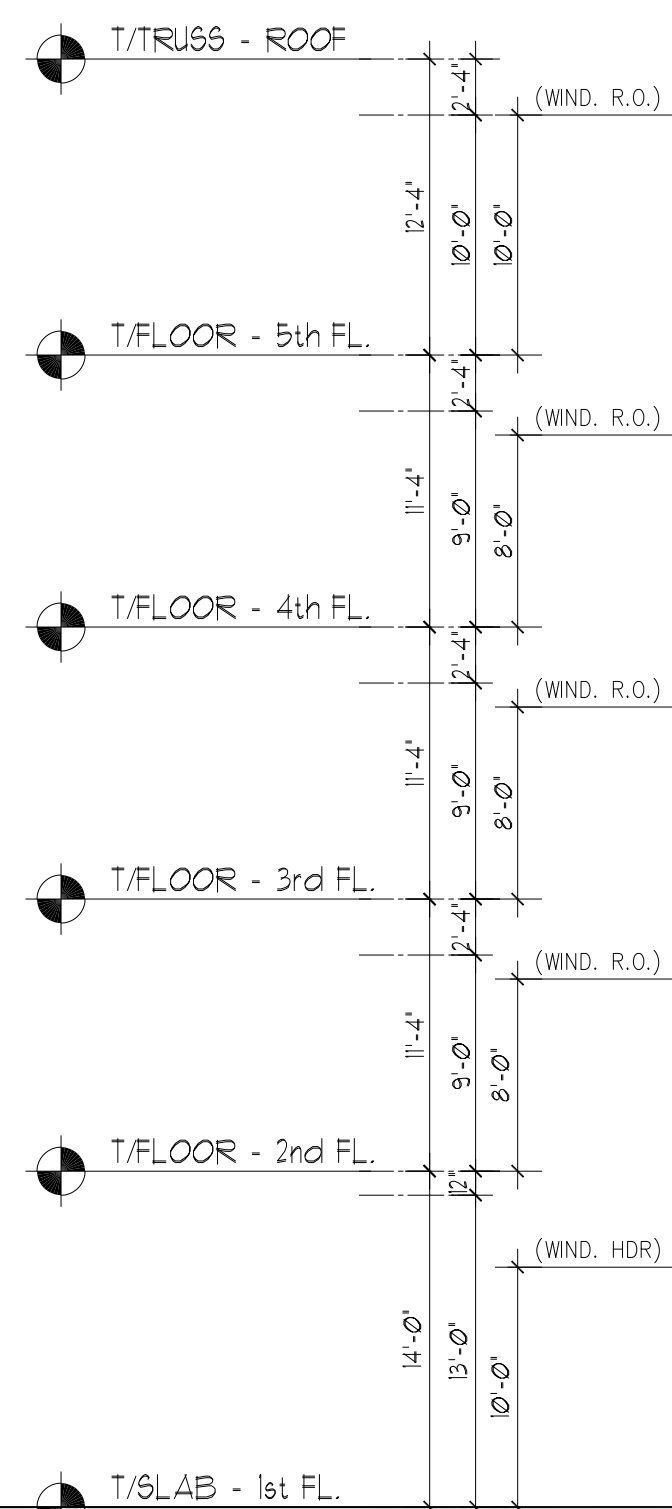
SCALE: 1/8"=1'-0"



# WEST POINT AT HARMONY SQUARE

MIXED USE  
08.31.23

- 1 BRICK - BRAMPTON BRICK COMPANY  
COLOR RIPLEY WITH GRAY MORTAR
- 2 MANUFACTURED STONE  
COLOR WHITE
- 3 MANUFACTURED STONE TRIM COLOR WHITE
- 4 FIBER CEMENT PANELS WITH FRY  
REGLET SYSTEM  
COLOR MONTEREY TAUPE
- 5 FIBER CEMENT PANELS  
COLOR PEARL GRAY
- 6 FIBER CEMENT PANELS  
COLOR ARTIC WHITE
- 7 HARDIE SMOOTH TRIM  
COLOR ARTIC WHITE
- 8 2" HARDIE SMOOTH TRIM  
COLOR MIDNIGHT SOOT
- 9 WINDOWS, DOORS AND STORE FRONT  
COLOR BLACK
- 10 DOORS  
COLOR WHITE
- 11 ALUMINUM GRILLE  
COLOR WHITE
- 12 ALUMINUM GRILLE TO MATCH BRICK OR  
MONTEREY TAUPE
- 13 STUCCO TRIM WITH ALUMINUM COPING  
COLOR WHITE
- 14 ALUMINUM HAND RAILS  
COLOR BLACK
- 15 FABRIC AWNINGS  
COLOR SUNBRELLA FOREST GREEN
- 16 ALUMINUM AWNINGS  
COLOR BLACK
- 17 PUBLIC EVENT SIGNAGE
- 18 SPANDREL GLASS



EAST ELEVATION (67th AVE.)	
1 BRICK VENEER	27%
2/3 STONE VENEER & TRIM	17%
4 FIBER CEMENT PANEL	27%
5/6/7/8 FIBER CEMENT TRIM PANEL	22%
13 STUCCO TRIM	6%
11/12 ALUMINUM GRILLES	1%



EAST ELEVATION (67th AVE.)  
SCALE: 1/8"=1'-0"

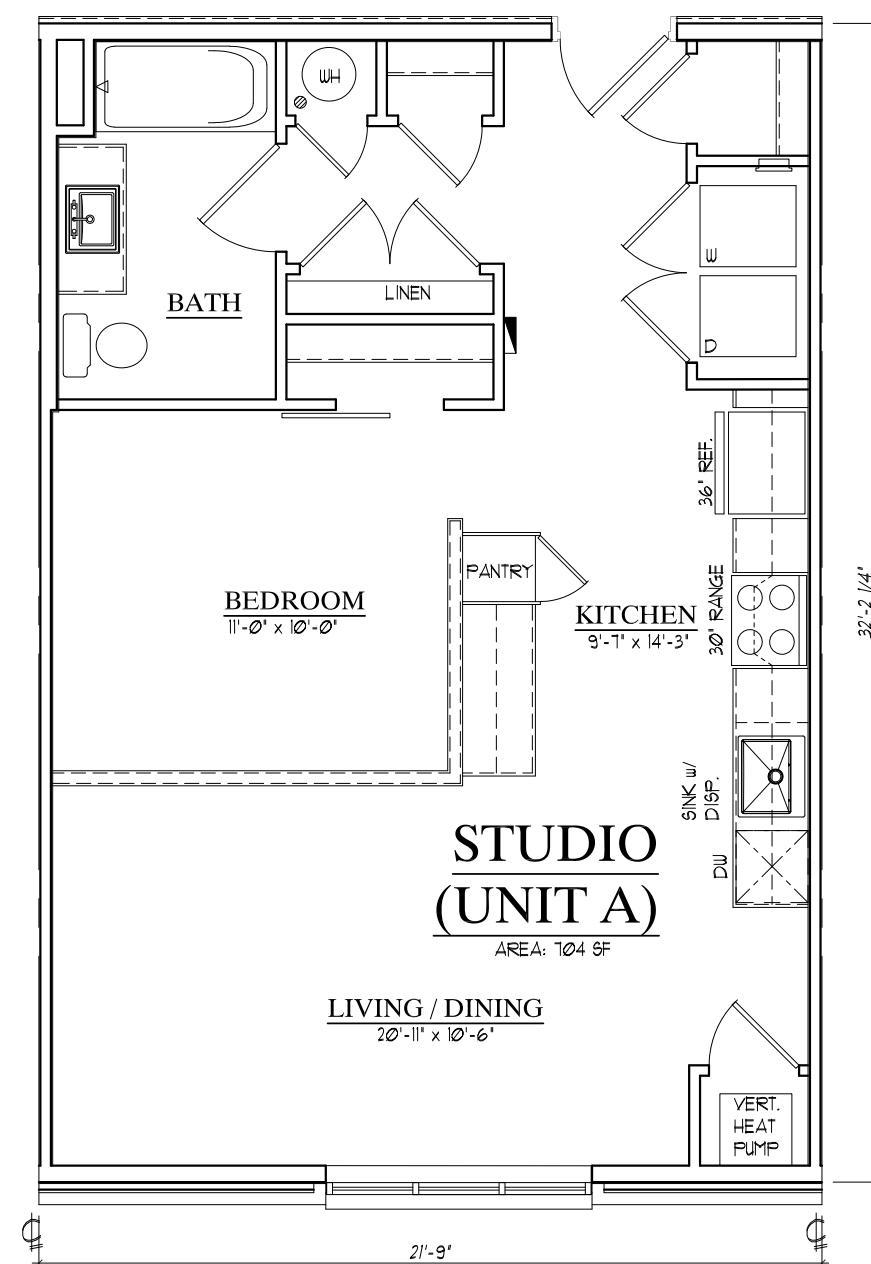
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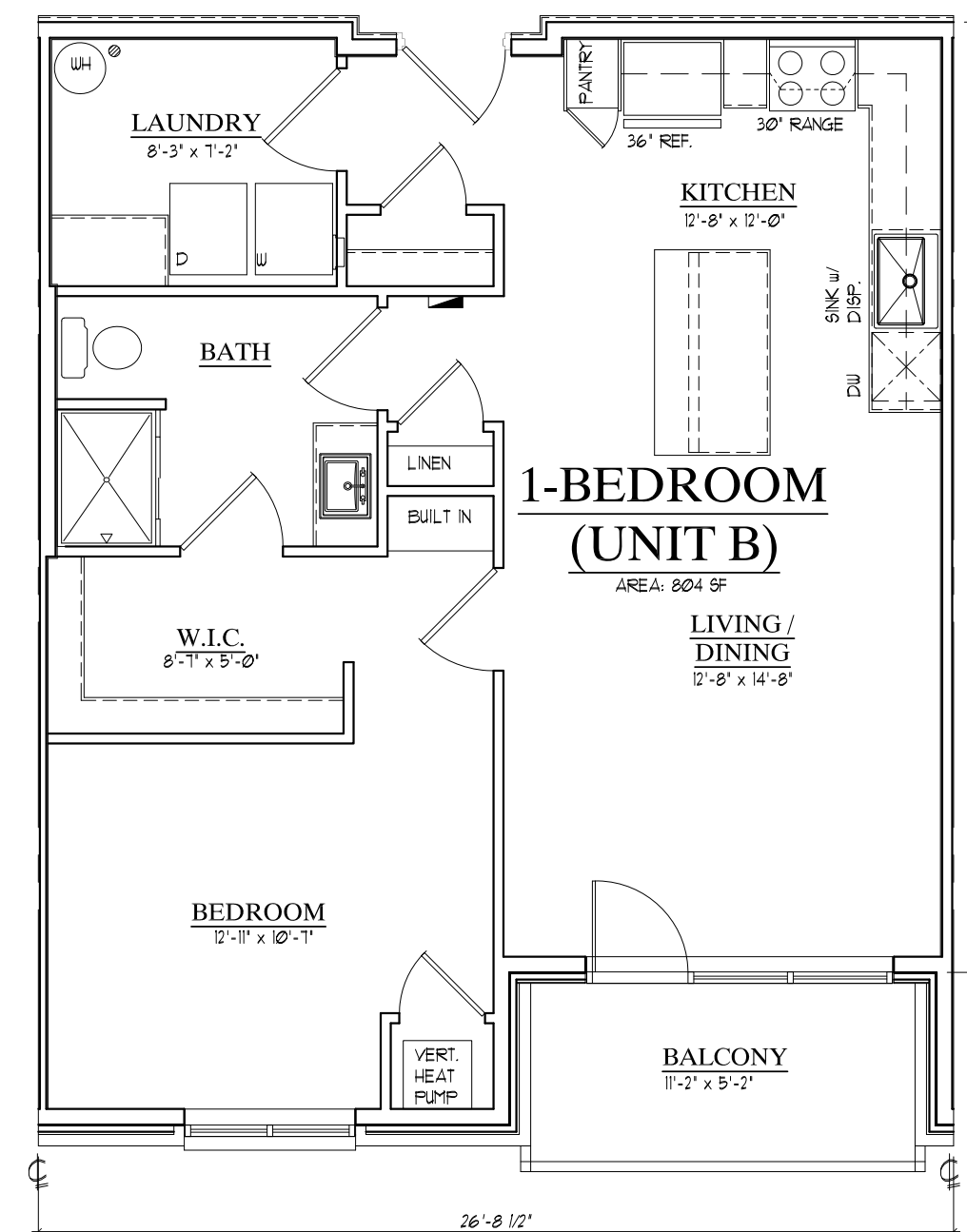
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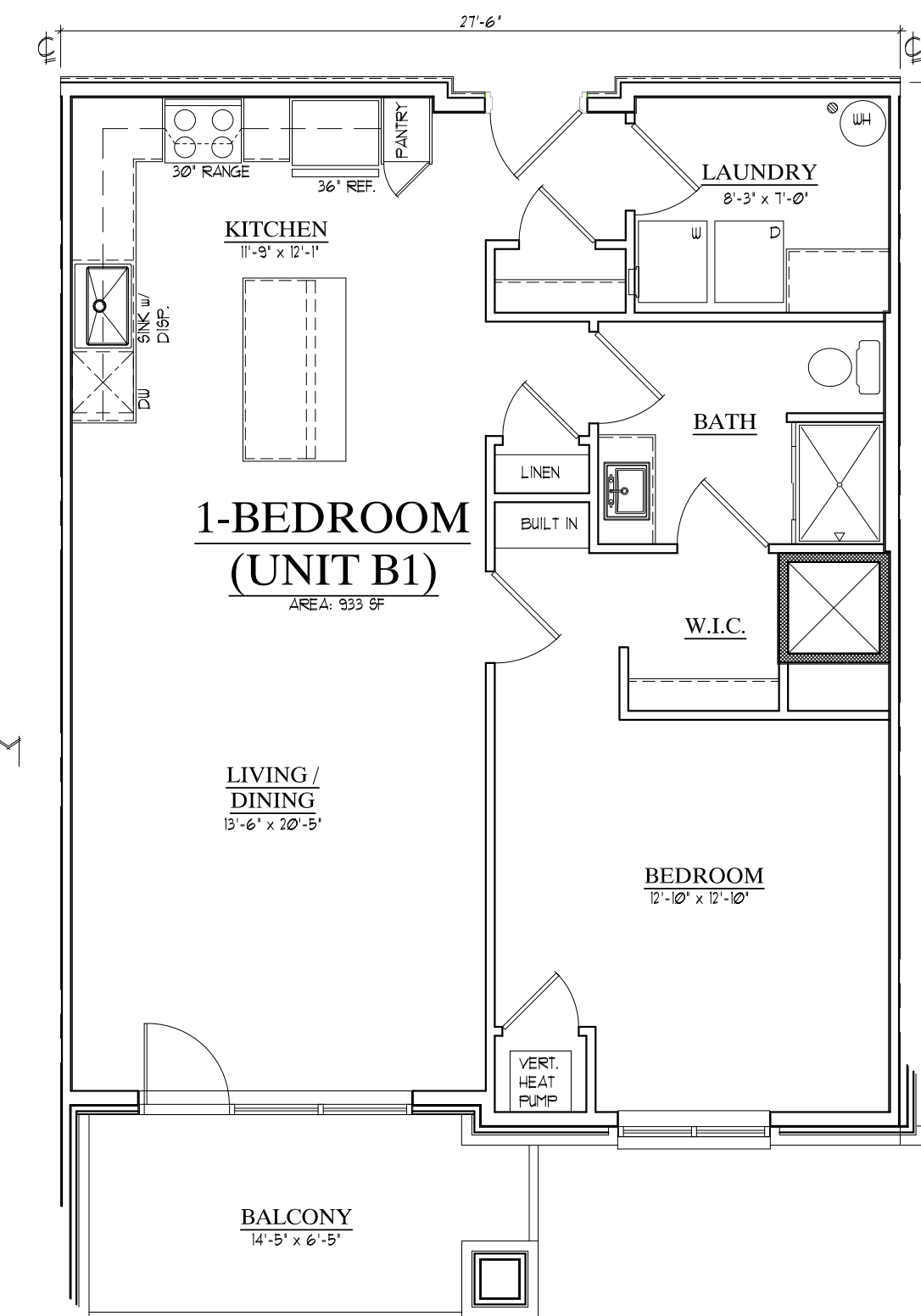
STUDIO/ CONVERTIBLE  
-UNIT A  
104 sq. ft.



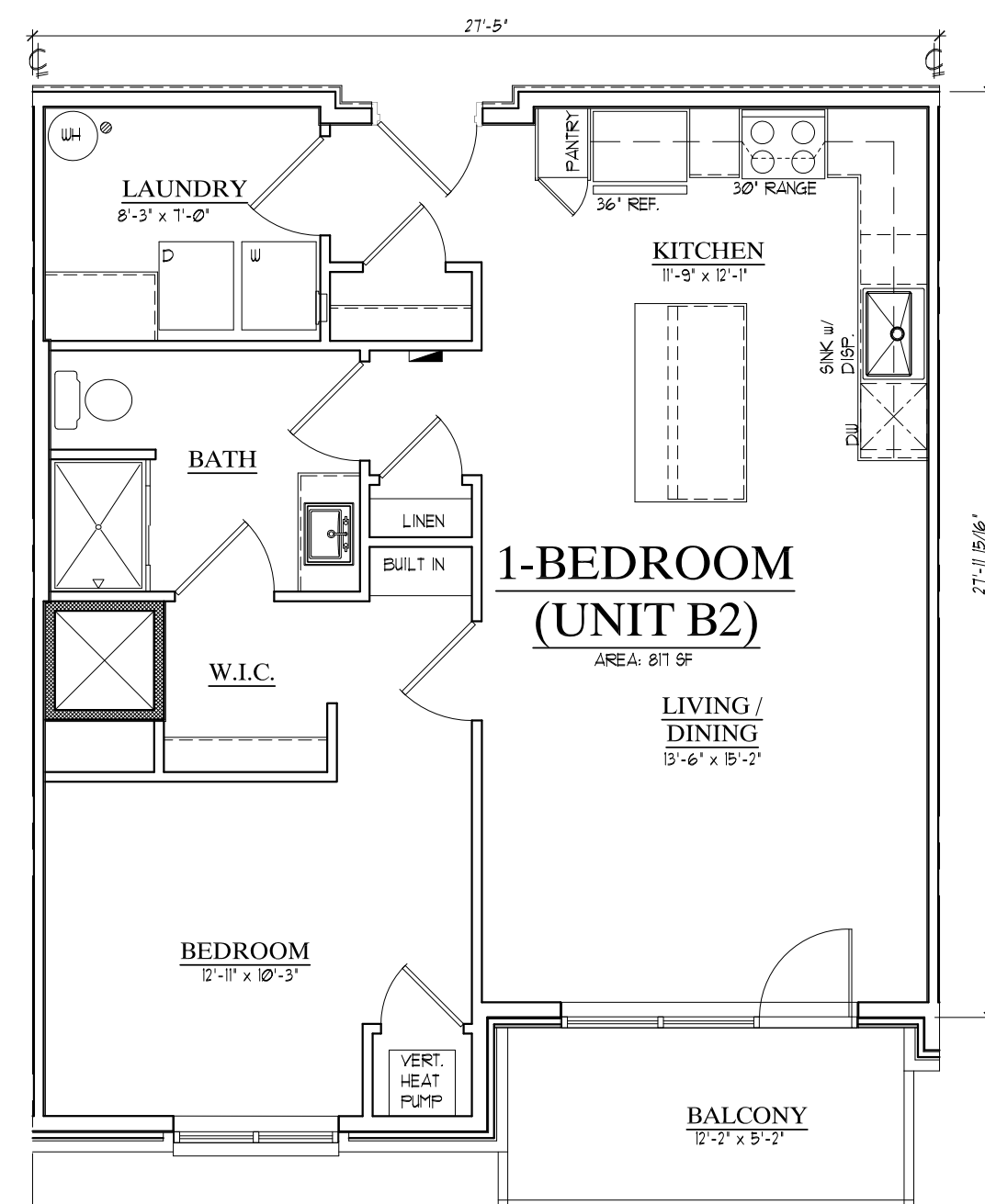
ONE BEDROOM  
-UNIT B  
808 sq. ft.



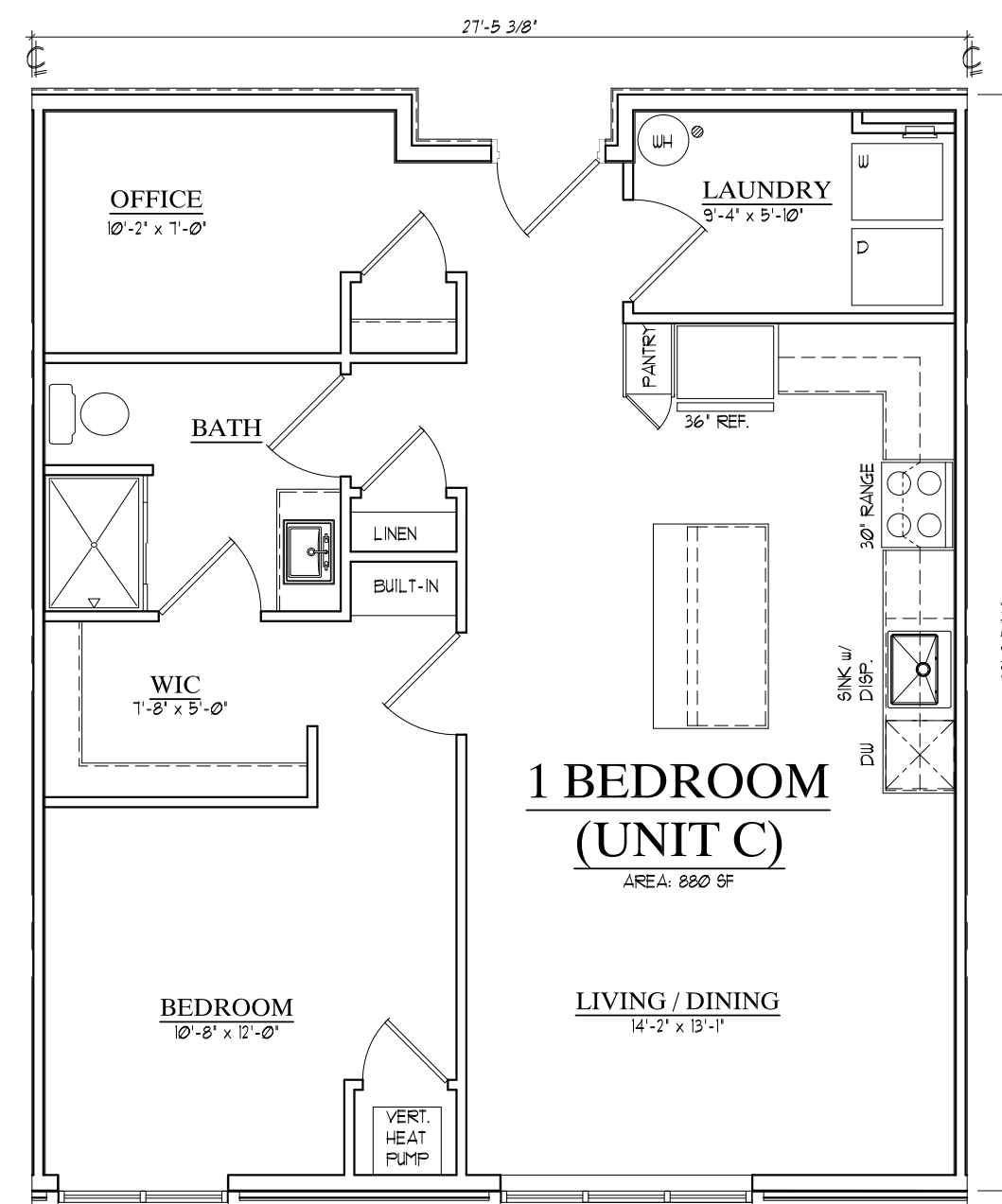
ONE BEDROOM  
-UNIT B1  
933 sq. ft.



ONE BEDROOM  
-UNIT B2  
817 sq. ft.



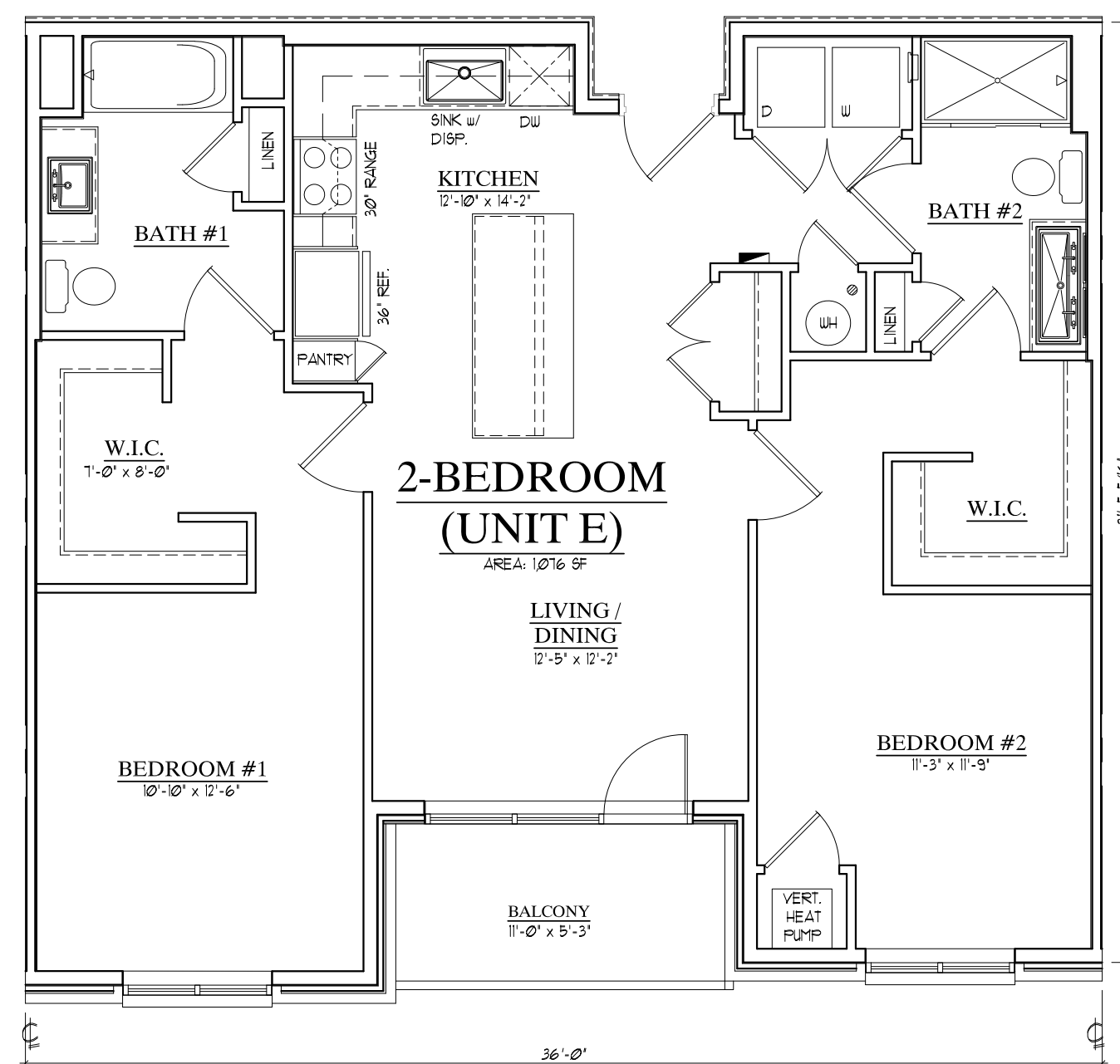
1 BEDROOM  
-UNIT C  
880 sq. ft.



ONE BEDROOM  
-UNIT D  
880 sq. ft.



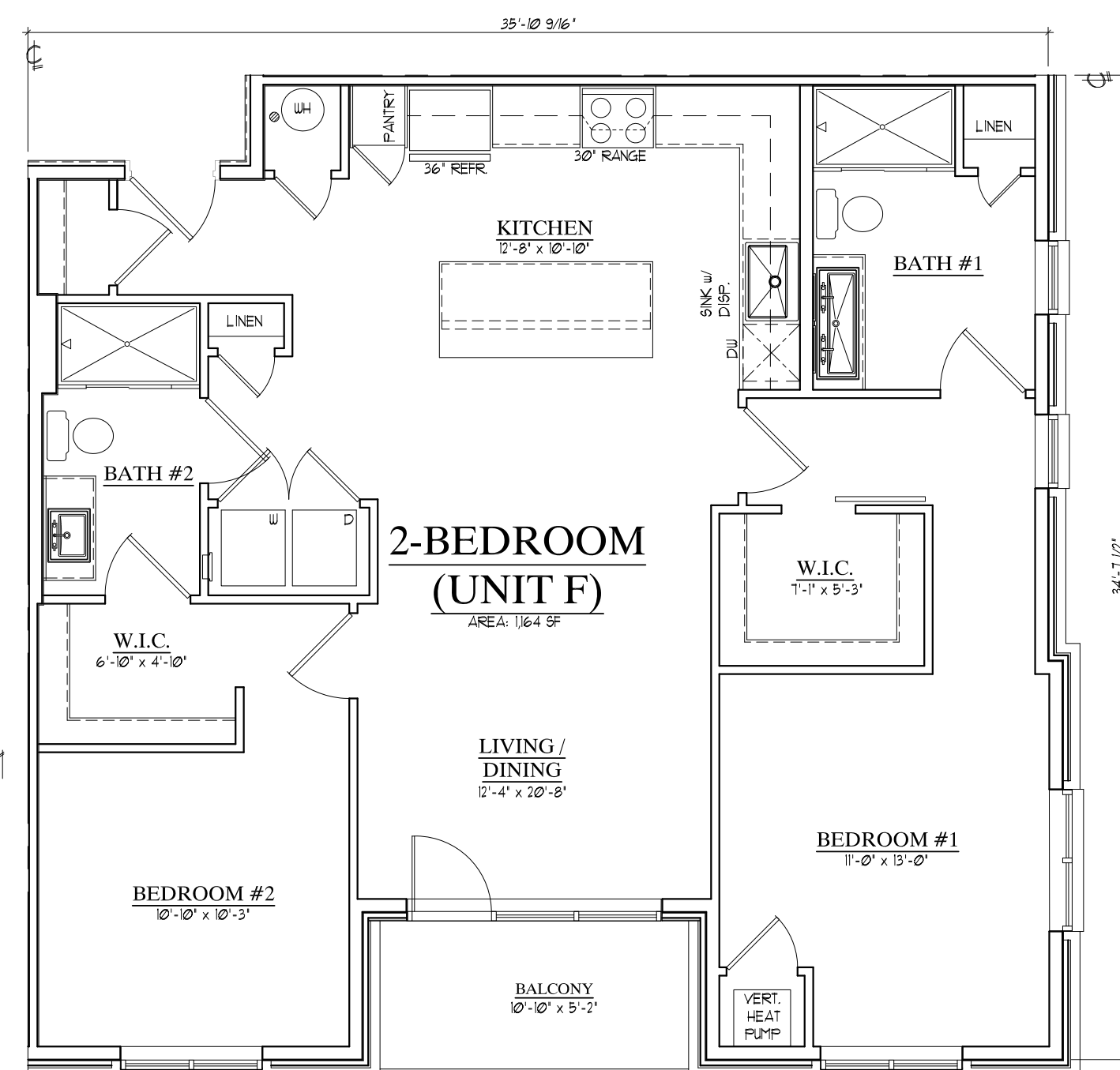




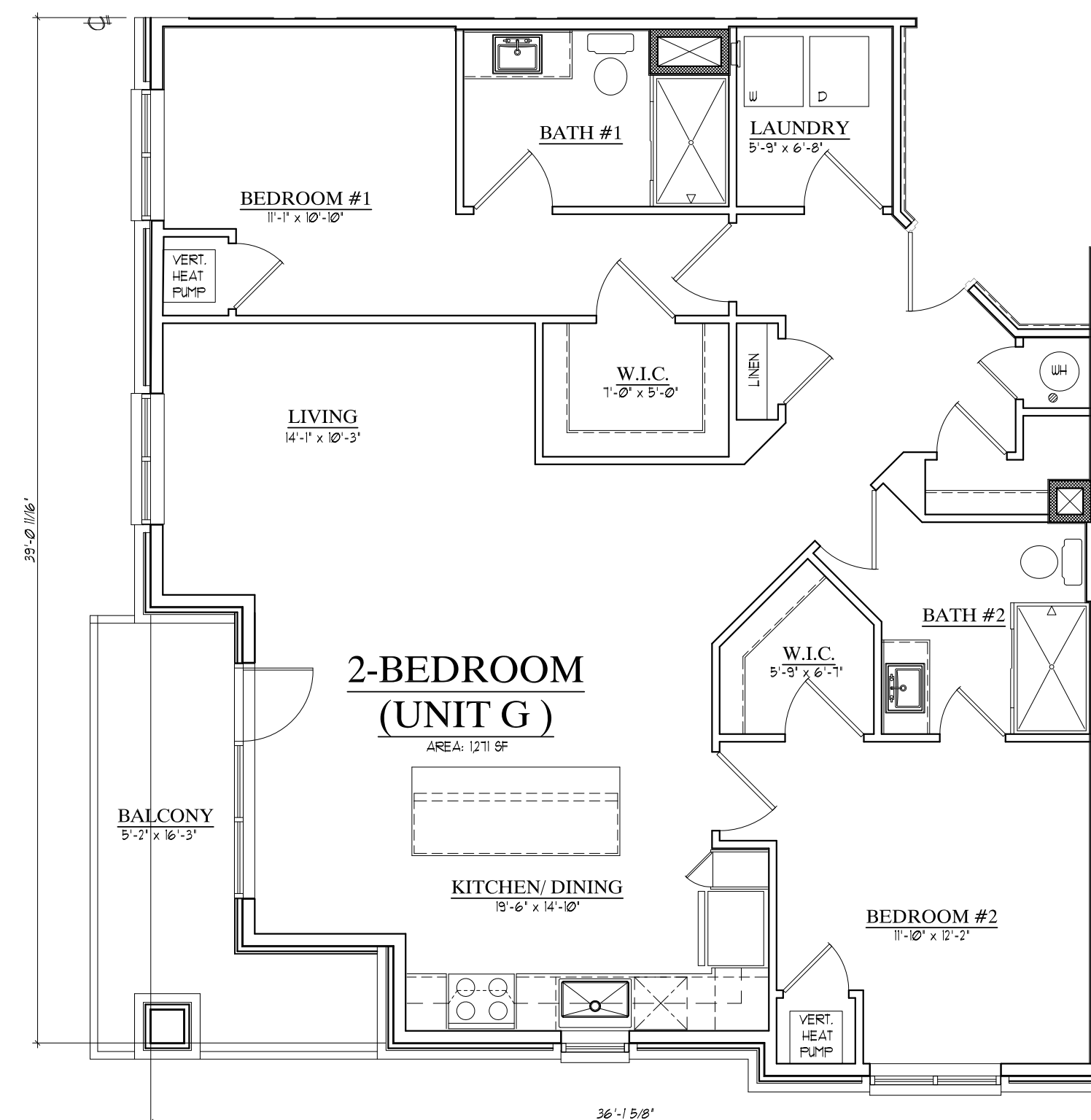
TWO BEDROOM  
-UNIT E  
1,016 sq. ft.



TWO BEDROOM  
-UNIT E1  
1,094 sq. ft.



TWO BEDROOM  
-UNIT F  
1,164 sq. ft.



TWO BEDROOM  
-UNIT G  
1,211 sq. ft.



WEST POINT AT  
HARMONY SQUARE

MIXED USE  
08.31.23



THREE BEDROOM  
-UNIT I  
1,429 sq. ft.

