

NOTICE OF THE SPECIAL VILLAGE BOARD MEETING

The special meeting of the Village Board is scheduled for
Tuesday, July 20, 2021, beginning at 6:45 p.m.
At Tinley Park Fire Station No. 46, 17355 S. 68th Court, Tinley Park, IL 60477

A copy of the agenda for this meeting is attached hereto and
can be found at www.tinleypark.org.

NOTICE - MEETING MODIFICATION DUE TO COVID-19

As of June 11, 2021, Governor Pritzker moved Illinois to Phase 5. Under Phase 5, all sectors of the economy can resume at regular capacity with new safety guidelines and procedures. Pursuant to the Illinois Department of Commerce & Economic Opportunity's Guidelines, it is recommended that any individual appearing in-person who is not fully vaccinated wear a face-covering to cover their nose and mouth.

Meetings are open to the public, but members of the public may continue to submit their public comments or requests to speak telephonically in advance of the meeting to clerksoffice@tinleypark.org or place requests in the Drop Box at the Village Hall by noon on July 20, 2021. Please note, written comments will not be read aloud during the meeting. A copy of the Village's Temporary Public Participation Rules & Procedures is attached to this Notice.

Kristin A. Thirion
Clerk
Village of Tinley Park

VILLAGE OF TINLEY PARK
TEMPORARY PUBLIC PARTICIPATION RULES & PROCEDURES

As of June 11, 2021, Governor Pritzker moved Illinois to Phase 5. Under Phase 5, all sectors of the economy can resume at regular capacity with new safety guidelines and procedures. Pursuant to the Illinois Department of Commerce & Economic Opportunity's Guidelines, it is recommended that any individual appearing in-person who is not fully vaccinated wear a face-covering to cover their nose and mouth.

The Mayor of Tinley Park is issuing the following rules for all Village Board and other public meetings in order to promote social distancing as required by the aforementioned Executive Orders and the requirements of the Open Meetings Act:

Written Comments

After publication of the agenda, email comments to clerksoffice@tinleypark.org. When providing written comments to be included as public participation at a public meeting, clearly identify the following in the subject line:

- The date of the meeting;
- The type of meeting for the written comments (e.g. Village Board meeting, Zoning Board of Appeals meeting, Plan Commission meeting, etc.);
- Name and any other identifying information the participant wish to convey to the public body;
- The category of public participation (e.g., Receive Comments from the Public, Agenda Items, etc.);
- For specific Agenda Items, identify and include the specific agenda item number;
- The entire content of the comments will be subject to public release. The Village of Tinley Park is under no obligation to redact any information.

The contents of all comments will be provided to the relevant public body for their review. **Written comments will not be read aloud during the meeting. If you wish to publicly address the public body, you may request to participate via teleconference as described below.**

Comments must be submitted by 12:00 pm on the day of the meeting. However, it is strongly recommended that comments be emailed not less than twenty-four (24) hours prior to the meeting so the appropriate Board members, Commissioners, Board members, and Committee members have sufficient time to review the comments prior to the meeting.

Live Public Participation During Meeting

After publication of the agenda, those wishing to participate in a live telephone call option at a public meeting must register by 12:00 pm on the day of the meeting. A Village representative will call the participant at the relevant portion of the meeting and the participant will be allowed to participate telephonically at the meeting. To participate in a live telephone call during the meeting, a request shall be submitted by email to clerksoffice@tinleypark.org. The following information must be included the subject line:

- The date of the meeting;
- The type of meeting for the written comments (e.g. Village Board meeting, Zoning Board of Appeals meeting, Plan Commission meeting, etc.);
- Name and any other identifying information the participant wish to convey to the public body;
- The category of public participation (e.g., Receive Comments from the Public, Agenda Items, etc.); and
- For specific Agenda Items, identify and include the specific agenda item number.

If the participant provides an email address, they will receive a confirmation email that their request has been logged. If the participant provides an email address and does not receive a confirmation email, they may call (708) 444-5000 during regular business hours to confirm the application was received.

Upon successful registration, the participant's name will be placed on an internal Village list. On the date and during relevant portion of the meeting, the participant will be called by a Village representative. The Village representative will call the provided telephone number and allow the phone to ring not more than four (4) times. If the call is not answered within those four (4) rings, the call will be terminated and the Village representative will call the next participant on the list.

The public comment should be presented in a manner as if the participant is in attendance at the meeting. At the start of the call, the participant should provide their name and any other information the participant wishes to convey. For comments regarding Agenda Items, identify and include the specific agenda item number. The participant should try to address all comments to the public body as a whole and not to any member thereof. Repetitive comments are discouraged. The total comment time for any single participant is three (3) minutes. Further time up to an additional three (3) minutes may be granted by motion. A participant may not give his or her allotted minutes to another participant to increase that person's allotted time.

MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Special Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Tuesday, July 20, 2021, beginning at 6:45 PM at the Tinley Park Fire Station No. 46, 17355 S. 68th Court, Tinley Park, Illinois.

6:45 PM CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

ITEM #1

SUBJECT: CONSIDER APPROVAL OF AGENDA

ACTION: Discussion - **Consider approval of agenda as written or amended.**

COMMENTS: _____

ITEM #2

SUBJECT: CONSIDER APPROVAL OF MINUTES OF THE SPECIAL
VILLAGE BOARD MEETINGS HELD ON JUNE 29, 2021.

ACTION: Discussion: **Consider approval of minutes as written or amended.**

COMMENTS: _____

ITEM #3

SUBJECT: CONSIDER PROCLAIMING TUESDAY, AUGUST 3RD, 2021, AS THE
38TH ANNUAL NATIONAL NIGHT OUT IN THE VILLAGE OF TINLEY
PARK- **President Glotz**

ACTION: Discussion: National Night Out is an annual community-building campaign that promotes police-community partnerships and neighborhood camaraderie. This is the 38th year that the Village of Tinley Park has participated in this national event. **Consider proclaiming Tuesday, August 3, 2021, as the 38th Annual National Night Out in the Village of Tinley Park.**

COMMENTS: _____

ITEM #4

SUBJECT: RECEIVE PRESENTATION OF THE TINLEY PARK
BUSINESS SPOTLIGHT - **President Glotz & Clerk Thirion**

ACTION: Discussion: The following Business will be presented:

- Dunkin Donuts - 19420 S. Harlem Avenue and 7935 171st Street.
- Maher Funeral Home – 17101 71st Avenue.

No specific action required.

COMMENTS:

ITEM #5

SUBJECT: CONSIDER APPOINTING MARIE GRZESKOWIAK TO THE POSITION
OF POLICE CLERK MATRON. - **President Glotz**

ACTION: Discussion: Marie Grzeskowiak started at the Police Department as a part-time Clerk Matron in May of 2018 and quickly picked up on the multiple tasks required of the various police administrative shifts. She continued to excel at her duties and in October 2020 accepted increased hours to provide for staff coverage. Marie continues to be an asset to the Police Department and will be outstanding in filling the full-time opening of Police Clerk Matron.

Marie is a long-time Tinley Park resident, attended Andrew High School, and after graduation Marie attended post-secondary education locally obtaining a Bachelor degree in criminal justice. **Consider appointing Marie Grzeskowiak to the position of Police Clerk Matron, effective July 21, 2021.**

COMMENTS:

ITEM #6

SUBJECT: CONSIDER APPOINTING BARB BALCERZAK TO THE POSITION OF
BUILDING PERMIT TECHNICIAN - **President Glotz**

ACTION: Discussion: Barb Balcerzak started in Community Development in February of 2015 as a Clerk I. Due to COVID reductions her position became part-time in 2020. Barb is a team player who is committed to providing a high level of customer service to every resident, contractor, and business owner interacting with the Community Development Department. She is an asset to the department and is recommended for promotion to the full-time position of Building Permit Technician. **Consider appointing Barb Balcerzak to the position of Building Permit Technician, effective July 21, 2021.**

COMMENTS: _____

ITEM #7

SUBJECT: CONSIDER APPOINTING EILEEN SCHOLZ TO THE POSITION OF ASSISTANT TREASURER - **President Glotz**

ACTION: Discussion: Eileen has dedicated over 24 years to the Village and is an integral part of the Finance Department. Her knowledge of operations and institutional knowledge is second to none. Eileen quarterbacks the audit and budget process, while tackling day to day issues that arise in many areas of Village business. She is always willing to put in the time to complete tasks and ensure they are correct. Eileen is a dedicated employee willing to lead, assist, contribute and help whenever asked. She is an exceptional problem solver, project manager, and even better team member, and gives the Village her best every day. Eileen is recommended for promotion to the Assistant Treasurer position. **Consider appointing Eileen Scholz to the position of Assistant Treasurer, effective July 21, 2021.**

COMMENTS: _____

ITEM #8

SUBJECT: CONSIDER APPOINTING AMY LUTCHEN TO THE POSITION OF SENIOR ACCOUNTANT - **President Glotz**

ACTION: Discussion: Amy Lutchen has been with the Village for about two and a half years. She brought over 20 years of private sector experience as an assistant controller. Amy assists in financial reporting, accounting functions, project management and other duties as assigned. She is an excellent Finance Department team member and helps make Tinley Park a better place. Amy is recommended for promotion to the position of Senior Accountant. **Consider appointing Amy Lutchen to the position of Senior Accountant, effective July 21, 2021.**

COMMENTS: _____

ITEM #9

SUBJECT: CONSIDER APPOINTING LEASHA DREW-COOPER TO THE POSITION OF SENIOR ACCOUNTANT - **President Glotz**

ACTION: Discussion: Leasha has been with the Village just over two years and brought with her a breadth of knowledge from public sector accounting, the banking industry and municipal government experience. She takes pride in her work and is a true professional and a pleasure to work with. Leasha works on many financial reporting, manages projects in conjunction with other departments, and assists in other department initiatives as requested. The Village of Tinley Park Finance department is lucky to have such a great team member. Leasha is recommended for promotion to the position of Senior Accountant. **Consider appointing Leasha Drew-Cooper to the position of Senior Accountant, effective July 21, 2021.**

COMMENTS: _____

ITEM #10

SUBJECT: CONSIDER APPOINTING CHRISTOPHER FRANKENFIELD TO THE POSITION OF ACCOUNTANT II - **President Glotz**

ACTION: Discussion: Chris Frankenfield has been with the Village just over three and a half years and he is a significant part of the Village's customer service, overseeing day to day operations at the front counter and assists in financial reporting functions. Chris is a great team member willing to take on all tasks thrown his way and does a great job for the residents of Tinley Park. He has demonstrated his abilities and is recommended for promotion to Accountant II. **Consider appointing Christopher Frankenfield to the position of Accountant II, effective July 21, 2021.**

COMMENTS: _____

ITEM #11

SUBJECT: RECOGNIZE ANDREW BROWN ON HIS APPOINTMENT TO VILLAGE TREASURER - **President Glotz**

ACTION: Discussion: The Mayor, Clerk, and Board of Trustees would like to recognize Andrew Brown on his recent appointment to Village Treasurer. **No specific action required.**

COMMENTS: _____

ITEM #12

SUBJECT: CONSIDER THE FOLLOWING COMMISSION APPOINTMENT FOR FISCAL YEAR 2022 - **President Glotz**

ACTION: Discussion:

Plan

Angela Gatto

Consider appointing Angela Gatto as Commissioner to the Plan Commission for Fiscal Year 2022.

COMMENTS:

ITEM #13

SUBJECT: CONSIDER REMOVAL OF MICHAEL CUTRANO AS A MEMBER AND CHAIR OF THE SENIOR SERVICE COMMISSION AND AS A MEMBER OF THE MARKETING COMMISSION - **President Glotz**

ACTION: Discussion: **Consider removal of Michael Cutrano as a member and chair of the Senior Service Commission and as a member of the Marketing Commission.**

COMMENTS:

ITEM #14

SUBJECT: CONSIDER THE FOLLOWING BOARD COMMISSION LIAISON APPOINTMENTS FOR FISCAL YEAR 2022 - **President Glotz**

ACTION: Discussion:

**ADVISORY COMMISSION
ON LABOR &
DEVELOPMENT**

Dennis Mahoney

CIVIL SERVICE

William Brady

ECONOMIC COMMERCIAL

Michael Mueller

ENVIRONMENTAL

Dennis Mahoney

MARKETING

Diane Galante

PLAN

Michael Mueller

POLICE PENSION BOARD

William Brennan

SENIOR SERVICES

William Brady

SISTER CITIES

William Brady

VETERANS

Colleen Sullivan

ZONING BOARD of APPEALS

Michael Mueller

CRIME PREVENTION

William Brennan

DARE

William Brennan

**EMERGENCY TELEPHONE
& SYSTEM BOARD**

William Brennan, Board Liaison
(Public Safety)

Colleen Sullivan, Board Liaison
(Finance)

William Brady, (Admin & Legal)

COMMENTS: _____

ITEM #15

SUBJECT: CONSIDER APPROVAL OF THE FOLLOWING CONSENT
AGENDA ITEMS:

- A. CONSIDER APPROVING AN EXCEPTION TO SECTION 2.11 OF THE PERSONNEL MANUAL (DUAL CAPACITY EMPLOYMENT) TO ALLOW COLBY ZEMAITIS, TO HOLD THE POSITIONS OF ASSISTANT PUBLIC WORKS DIRECTOR AND VILLAGE ENGINEER.
- B. CONSIDER APPROVING AN EXCEPTION TO SECTION 2.11 OF THE PERSONNEL MANUAL (DUAL CAPACITY EMPLOYMENT) TO ALLOW AN OFFER OF EMPLOYMENT TO BE EXTENDED TO AN EXISTING PART TIME EMPLOYEE, ROXANE TYSEN, IN ORDER TO HOLD THE PART TIME POSITION OF BOTH COMMISSION SECRETARY AND PART-TIME CLERK.
- C. CONSIDER ADOPTING RESOLUTION 2021-R-061 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND CRYDER ENTERPRISES FOR HYDRANT PAINTING IN THE AMOUNT OF \$99,600.
- D. CONSIDER ADOPTING RESOLUTION 2021-R-062 APPROVING A QUOTE BETWEEN THE VILLAGE OF TINLEY PARK AND SUPERIOR PUMPING SERVICES FOR POST 3 LIFT STATION PUMP REPLACEMENT IN THE AMOUNT OF \$21,739.70.
- E. CONSIDER ADOPTING RESOLUTION 2021-R-056 APPROVING A FOUR-YEAR CONTRACT WITH SIMPLE RECYCLING ILLINOIS, LLC.
- F. CONSIDER ADOPTING RESOLUTION 2021-R-063 AUTHORIZING SOLE TERRITORIAL TO AIR ONE EQUIPMENT, INC., TO PURCHASE MSA AIR BOTTLES USED FOR SELF-CONTAINED BREATHING APPARATUS (SCBA) IN THE AMOUNT OF \$78,000.
- G. CONSIDER REQUEST FROM FAMILY OUTREACH PROGRAM TO CONDUCT A TAG DAY FUNDRAISER ON FRIDAY AND SATURDAY, AUGUST 6 AND 7, 2021, AT CERTAIN INTERSECTIONS IN THE VILLAGE OF TINLEY PARK.
- H. CONSIDER REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, AUGUST 14, 2021, ON OLCOTT AVENUE, BETWEEN 16426 AND 16439 FROM 2:00 P.M. TO 10:00 P.M.

- I. CONSIDER REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, AUGUST 21, 2021, ON OCONTO AVENUE, BETWEEN 16708 AVENUE AND SANDY LANE FROM 3:00 P.M. TO 10:00 P.M.
- J. CONSIDER REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, SEPTEMBER 11, 2021, ON ALMOND AVENUE, BETWEEN 92ND AVENUE AND GREENWOOD DRIVE FROM 1:00 P.M. TO 10:00 P.M.
- K. CONSIDER PAYMENTS OF OUTSTANDING BILLS IN THE AMOUNT OF \$2,795,149.11 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JULY 2, JULY 9, AND JULY 16, 2021.

ACTION: Discussion: **Consider approval of consent agenda items.**

COMMENTS: _____

ITEM #16

SUBJECT: CONSIDERING ADOPTING ORDINANCE 2021-R-049 AUTHORIZING A SHED SIZE VARIANCE AT 19330 EDGEBROOK LANE - JURZEC -
Trustee Galante

ACTION: Discussion: The Petitioner, Daniel Jurzec, is seeking a Variation from the Zoning Ordinance to permit a 448 sq. ft. storage shed instead of the maximum permit 200 sq. ft.

The Zoning Board of Appeals held a Public Hearing on July 8, 2021, and voted 4-0 to recommend approval of the variation request in accordance with plans and findings of fact in the in the Staff Report. **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #17

SUBJECT: CONSIDERING ADOPTING RESOLUTION 2021-R-064 APPROVING A COOK COUNTY CLASS 8 REQUEST FOR MIRA REAL ESTATE PROPERTY LOCATED AT 6775 PROSPERI DRIVE - **Trustee Galante**

ACTION: Discussion: This Resolution provides support for the Cook County Class 8 Incentive for MIRA Real Estate, LLC who recently purchased this property. The applicant proposes to invest \$6,000,000 in substantial improvements to the property in order to reoccupy the building and has stated that the Class 8 incentive is necessary to make this project feasible.

The Economic and Commercial Commission reviewed the application at its July 12, 2021, meeting and voted 7-0 to recommend approval of the Class 8 reclassification. This item was discussed at the Committee of the Whole committee held prior to this meeting. **This Resolution is eligible for adoption.**

COMMENTS:

ITEM #18

SUBJECT: CONSIDERING ADOPTING RESOLUTION 2021-R-065 APPROVING A COOK COUNTY CLASS 8 REQUEST FOR IMAGINE ASPEN, LLC FOR PROPERTY LOCATED AT 6851 W. 167TH STREET - **Trustee Galante**

ACTION: Discussion: This Resolution provides support for the Cook County Class 8 Incentive to Imagine Aspen, LLC who is the contract-purchaser of the property. The applicant plans to invest \$400,000 into the building to convert it into a 23-suite style salon facility, install a sprinkler system and improve the landscaping around the building. The project will result in an increase of 27 jobs when fully operational.

The Economic and Commercial Commission reviewed the application at its July 12, 2021, meeting and voted 7-0 to recommend approval of the Class 8 request. This item was discussed at the Committee of the Whole committee held prior to this meeting. **This Resolution is eligible for adoption.**

COMMENTS:

ITEM #19

SUBJECT: CONSIDER ADOPTING RESOLUTION 2021-R-067 APPROVING AN EXTENSION TO THE CONTRACT FOR KURTZ AMBULANCE SERVICE FOR EMERGENCY MEDICAL SERVICES - **Trustee Brennan**

ACTION: Discussion: Staff has completed its review of the past three (3) years of service with Kurtz/AMR Ambulance and they have satisfactorily met the requirements for both program/service and cost options. Based on the original contract, there is the option of two, 2-year contract extensions. It is recommended that the Village combine both extensions to extend four (4) years for maximum cost and service efficiencies. Staff is requesting the approval of the contract extension for a not to exceed amount of \$2,174,677.99. This was discussed at the Committee of the Whole meeting on June 29, 2021, and recommended for approval. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #20

SUBJECT: CONSIDER WAIVING FIRST READING AND ADOPTING RESOLUTION 2021-R-068 AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND 163RD & HARLEM LLC FOR PROPERTY AT 16300 S. HARLEM AVENUE (PETE'S FRESH MARKET) - **Trustee Galante**

ACTION: Discussion: 163rd & Harlem LLC, is requesting the Village provide economic assistance to make improvements to their shopping center. The proposed incentive consists of sharing a maximum of \$5.5 million of TIF Incremental revenue produced by this site alone. The Village proposes to share 80% of the TIF increment produced for a maximum of 10 years to reimburse the eligible costs with conditions outlined in the draft agreement.

The Economic and Commercial Commission (ECC) reviewed the incentive request at its July 12, 2021, meeting and voted 7-0 to recommend approval. This item was discussed at the Committee of the Whole meeting held prior to this meeting. **If first reading is waived, this Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #21

SUBJECT: CONSIDER WAIVING FIRST READING AND ADOPTING ORDINANCE 2021-O-050 GRANTING A SUBSTANTIAL DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT (PETE’S FRESH MARKET) - **Trustee Galante**

ACTION: Discussion: The Petitioner, for Pete’s Fresh Market, is requesting approval of the proposed Site/Architecture Plans, a Substantial Deviation from the Park Place Planned Unit Development, for their 24.2-acre property located at 16300 Harlem Avenue. The proposed development is Phase 2 of a three-phase project. Phase 2 includes the construction of a Pete’s Fresh Market store with attached in-line retail tenant space north of the grocery store and an expansion of the warehouse.

The Plan Commission held a Public Hearing on June 17, 2021, and voted 5-0 to recommend approval of Special Use for a Substantial Deviation in accordance with the plans submitted and adopted Findings of Fact as proposed by Village Staff in the June 17, 2021, Staff Report. **If first reading is waived, this Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #22

SUBJECT: CONSIDER ADOPTING RESOLUTION 2021-R-060 AUTHORIZING THE VILLAGE MANAGER TO CONTRACT FOR THE PURCHASE OF ELECTRICITY - ELECTRICAL AGGREGATION PROGRAM - **Trustee Brady**

ACTION: Discussion: The Village’s electric aggregation program contract is expiring in October. This Resolution authorizes the Village Manager to contract for the purchase of electricity with the company that has been determined by the Village Board at the Committee of the Whole held prior to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #23

SUBJECT: RECEIVE COMMENTS FROM STAFF -

COMMENTS: _____

ITEM #24

SUBJECT: RECEIVE COMMENTS FROM THE BOARD -

COMMENTS: _____

ITEM #25

SUBJECT: RECEIVE COMMENTS FROM THE PUBLIC -

COMMENTS: _____

ITEM #26

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- B. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

ADJOURNMENT

**MINUTES OF THE SPECIAL BOARD MEETING OF THE TRUSTEES,
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,
ILLINOIS, HELD JUNE 29, 2021**

The special meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 S. Oak Park Avenue, Tinley Park, IL on June 29, 2021. President Glotz called this meeting to order at 7:28 p.m.

At this time, Trustee Mueller stated this meeting is being conducted pursuant to Governor Pritzker's disaster proclamation and Public Act 101-0640, which amends requirements of the Open Meetings Act due to the COVID-19 pandemic. Although remote attendance is an option, all Board members were present.

Clerk Thirion called the roll. Present and responding to roll call were the following:

Village President: Michael W. Glotz

Deputy Village Clerk: Kristin A. Thirion

Trustees:

William P. Brady

William A. Brennan

Diane M. Galante

Dennis P. Mahoney

Michael G. Mueller

Colleen M. Sullivan

Absent:

Also Present:

Village Manager: David Niemeyer

Asst. Village Manager: Patrick Carr

Village Attorney: Patrick Connelly

**A PUBLIC HEARING HELD ON JUNE 29, 2021, BEFORE THE CORPORATE
AUTHORITIES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL
COUNTIES, ILLINOIS, TO CONSIDER THE PROPOSED ANNEXATION
AGREEMENT FOR THE PROPERTY LOCATED AT 19501-19701 HARLEM AVENUE
– TINLEY PARK BUSINESS CENTER SUBDIVISION**

Motion was made by Trustee Brennan, seconded by Trustee Mahoney, to open the Public Hearing to consider the proposed annexation agreement for the property located at 19501-19701 Harlem Avenue – Tinley Park Business Center Subdivision. Vote by roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Community Development Director Kimberly Clarke presented an overview of the proposed annexation agreement for the property located at 19501-19701 Harlem Avenue, Tinley

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Park Corporate Center Subdivision. The Village is considering entering into an annexation agreement with SP HVH Tinley Park, LLC., the contract purchasers of 110 acres of land located at the northeast corner of Vollmer Road and Harlem Avenue. The agreement acknowledges the purchasers' desires to annex, zone, and develop the property as a business park with 1.3 million square feet of industrial buildings. The agreement outlines the conveyance of land to the Village for a future communications tower, the construction of watermain beyond the purchaser's property, and the Village's waiver of building permit fees up to \$1 million to offset those additional costs.

On June 3, 2021, the Plan Commission held a public hearing to consider the approval of a concept planned unit development, which proposed the first phase of a multi-building light industrial facility. A favorable vote 5-0 to recommend this proposal to the Village Board was received by the Plan Commissioners.

The contractor will be investing approximately \$87 million in the site over a few phases. Lot one on the north end of the site has received final approval. The remaining lots, two and three will be reviewed when the developer is ready with the plans for these phases. The development will be subject to the building's codes of the Village. The Village will assist in reclassifying the property to a Cook County Class 8 property tax designation. The developer will be providing substantial improvements to the area. The Village will be partnering with the developer to extend the Village's watermain to Vollmer Road and to the Odyssey subdivision. The watermain goes beyond the developer's site and for that cost, the agreement mentions a waiver of building permit fees of approximately \$1 million to make accommodations for additional watermain. The watermain extension will be completed in Phase One of the development prior to the issuance of a building permit for building one.

The developer will be conveying lot four to the Village for the construction of a new communication tower. The developer will provide a stone access driveway to this tower prior to the start of Phase Two to the site.

Contingent on the engineer's approval and all other jurisdictional approvals the Village will work with the developer to allow mass grading of the site in advance of building permit fees. A Special Service Area will be placed on the property.

All the other terms of the agreement are standard.

Receive comments from the Petitioner. No one came forward.

Receive comments from the public. No one came forward.

Motion was made by Trustee Brady, seconded by Trustee Mahoney, to adjourn the Public Hearing. Vote by roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried and adjourned the Public Hearing at 7:37 p.m.

Trustee Mueller asked if anyone from the public requested to comment either in writing,

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telephonically or in-person. Deputy Clerk Godette stated there were no written comments or requests to comment via telephone received for this item. No one came forward.

Motion was made by Trustee Brennan, seconded by Trustee Sullivan, to adjourn the special Board meeting. Vote by roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried and adjourned the special Board meeting at 7:38 p.m.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

Village President

ATTEST:

Village Clerk

**MINUTES OF THE SPECIAL BOARD MEETING OF THE TRUSTEES,
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,
ILLINOIS, HELD JUNE 29, 2021**

The special meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on June 29, 2021. President Glotz called this meeting to order at 7:39 p.m.

President Glotz stated this meeting is being conducted pursuant to Governor Pritzker's disaster proclamation and Public Act 101-0640, which amends requirements of the Open Meetings Act due to the COVID-19 pandemic. Although remote attendance is an option, all Board members were present.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

Clerk Thirion called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Deputy Village Clerk:	Kristin A. Thirion
Trustees:	William P. Brady William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	
Also Present:	
Village Manager:	David Niemeyer
Asst. Village Manager:	Patrick Carr
Village Attorney:	Patrick Connelly

Motion was made by Trustee Mueller, seconded by Trustee Mahoney, to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to approve and place on file the minutes of the regular Village Board meeting held on June 15, 2021. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to suspend the public comment rules for Item #3, **A RESOLUTION 2021-R-042 RECOGNIZING THE SIGNIFICANT ACCOMPLISHMENTS OF BRAD L. BETTENHAUSEN, TREASURER/FINANCE DIRECTOR, AND WISHING HIM A FOND FAREWELL FOR NEARLY FOUR DECADES OF DEDICATED SERVICE TO THE VILLAGE OF TINLEY PARK.** Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to adopt and place on file **RESOLUTION 2021-R-042 RECOGNIZING THE SIGNIFICANT ACCOMPLISHMENTS OF BRAD L. BETTENHAUSEN, TREASURER/FINANCE DIRECTOR, AND WISHING HIM A FOND FAREWELL FOR NEARLY FOUR DECADES OF DEDICATED SERVICE TO THE VILLAGE OF TINLEY PARK.** This Resolution recognizes Brad L. Bettenhausen, Village Treasurer/Finance Director, for his 37 years (and 4 months) service to the Village of Tinley Park. Brad will retire June 30, 2021.

President Glotz asked if there were any comments from members of the Board or public.

Former Mayors Edward Zabrocki and David Seaman, Former Trustees Gregory Hannon and Bernard Brady, and Former Trustee and Clerk Patrick Rea spoke to the many accomplishments Treasurer Bettenhausen has made over his more than 37 years with the Village. Former Mayor Seaman mentioned Brad's work during the recession of 2008, noting that during this time the Village still received an AA+ rating from Standard & Poors. Former Mayor Zabrocki spoke to Brad's family history with the Village and thanked Brad for his dedication and fiscal responsibility. Former Trustee Hannon commented on the Board's trust in Brad's ability and thanked him for keeping the Board informed on finances which assisted them in making sound financial decisions. Former Trustee Brady stated that as a former Board member and resident he would like to thank Brad for all his years of service to the Village. He stated that as a Board member he felt that with Brad's knowledge and experience Village was in the best hands possible. Former Trustee and Clerk Rea commented on the dedication to the Village from Brad's father former Fire Chief Robert Bettenhausen. He stated that during his tenure with the Village Brad assisted the State of Illinois and other governmental agencies in formulating policies. He thanked Brad for all his hard work over the years.

Library Board President Catherine Hannon and Interim Library Administration Zach Musil thanked Brad for his years of guidance and assistance. With Brad's guidance, the Library Board was able to put the library in the favorable position that it is in today. Library President Hannon stated that Brad is a true friend to the community.

Treasurer Bettenhausen thanked everyone for their kind comments stating that his work is a result of a team effort with the Board and Village Staff. He stated that no two days have been alike, every day was something different.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Kent Oliven and Past Presidents Michael Peterson and Kenneth Robinson, on behalf of the Illinois Municipal Treasurers Association (IMTA) and Association of Public Treasurers of the United States and Canada, made a presentation to Brad Bettenhausen on his retirement in recognition and gratitude of his contributions to IMTA and the Treasurers and Finance Directors throughout the State of Illinois.

At this time David Niemeyer thanked Brad on behalf the Village Staff for all of his service over the years. Mr. Niemeyer stated that Brad is top in his field. His knowledge in all fields of municipal government far surpass most municipal treasurers.

Motion was made by Trustee Brennan, seconded by Trustee Brady, to adopt and place on file **RESOLUTION 2021-R-054 APPOINTING BRAD BETTENHAUSEN AS LOCAL HISTORIAN.** Mr. Bettenhausen is retiring as Village Treasurer on June 30, 2021. This appointment will allow him to continue his research on Tinley Park's history which will benefit the Village by having its history memorialized. This

Meeting of the Board of Trustees – Minutes**June 29, 2021**

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resolution appoints Mr. Bettenhausen as Local Historian which is an unpaid position. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time President Glotz presented the Tinley Park Business Spotlight.

- Bella Sposa Bridal Boutique, 9524 179th Street

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to appoint **THE FOLLOWING COMMISSION APPOINTMENTS FOR FISCAL YEAR 2022.**

New members are noted with an asterisk (*)

Senior Services

Henry Bujnowski*

Veterans

John Maher (Associate)*

Planning

Garrett Gray (Chair, Plan)

Eduardo Mani

Jim Gaskill

Kehla West

Frank Loscuito

Ken Shaw*

Greg Maniatis*

Jeff Stack*

Jennifer Vargas*

Marketing

Daniel Fitzgerald, Chair

Mike Cutrano

Al Siegers

Michael Sevier

Debbie Melchert

Julie Dekker

Jackie Bobbitt

Dennis Suglich

Stephanie Pyrzyński

Bernie Greenawalt

Jim Green

Kelly Oswald

Paul Yedwofski

Barbara Moore*

Garrett Gray (Associate)

Carol Bradtke (Associate)

Courtney Rourke (Associate)

Janet Czuchra (Associate)

Jason Freeland (Associate)

Nick Halikias (Associate)

Motion was made by Trustee Brennan, seconded by Trustee Brady, to consider **THE FOLLOWING STAFF APPOINTMENTS FOR THE 2022 FISCAL YEAR:**

- David Niemeyer, Village Manager
- Patrick Carr, Assistant Village Manager & Emergency Management & Communications Director
- Andrew Brown, Treasurer
- Donna Framke, Marketing Director
- Kimberly Clarke, Community Development Director
- Matthew Walsh, Police Chief
- John Urbanski, Public Works Director
- Angela Arrigo, Human Resources Director
- Peterson, Johnson & Murray Chicago, LLC, Village Attorneys

President Glotz asked if there were any comments from members of the Board or public. Trustee Galante stated that she does not agree with the process of these appointments. She feels employment processes should be handled through Human Resources, including any employee issues. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. Abstain: Galante. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mueller, to adopt and place on file **RESOLUTION 2021-R-055 APPOINTING AN AUTHORIZED AGENT TO ACT FOR THE VILLAGE OF TINLEY PARK IN ADMINISTRATION OF THE ILLINOIS MUNICIPAL RETIREMENT FUND**. In accordance with the Illinois Municipal Retirement Fund (IMRF) rules, an authorized agent must be appointed by the Village Board to act for the Village of Tinley Park with regard to its participation in IMRF. This resolution names Human Resources Director, Angela Arrigo, as the authorized agent on behalf of the Village effective with the passage of this resolution, to replace Brad Bettenhausen who is retiring. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mueller, to consider approving the following Consent Agenda items:

The following Consent Agenda items were read by the Deputy Village Clerk:

- A. APPOINTING DAN REDA AS INTERIM DEPUTY CHIEF/FIRE SUPPRESSION FOR UP TO A MAXIMUM OF FOUR MONTHS.
- B. CONSIDER APPROVAL OF RESOLUTION 2021-R-056 AUTHORIZING THE APPROVAL OF A CONTRACT WITH SIMPLE RECYCLING ILLINOIS, LLC.
- C. CONSIDER A REQUEST FOR A BLOCK PARTY PERMIT ON SUNDAY, AUGUST 1, 2021, ON HORSESHOE DRIVE, BETWEEN SURREY DRIVE AND GORY PARK, FROM 2:00 P.M. TO 10:00 P.M.
- D. CONSIDER A REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, JULY 17, 2021, ON POTTAWATTOMI TRAIL, BETWEEN 8030 AND 8130, FROM 12:00 P.M. TO 10:00 P.M.
- E. CONSIDER PAYMENTS OF OUTSTANDING BILLS IN THE AMOUNT OF \$984,909.44 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JUNE 18 AND JUNE 25, 2021.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. Trustee Mueller motioned to remove Consent Agenda Item B for a separate vote, seconded by Trustee Brennan:

- B. CONSIDER APPROVAL OF RESOLUTION 2021-R-056 AUTHORIZING THE APPROVAL OF A CONTRACT WITH SIMPLE RECYCLING ILLINOIS, LLC.

Vote on roll call for Consent Agenda Items 10A, 10C, 10D, and 10E. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to table Consent Agenda Item 10B, **APPROVAL OF RESOLUTION 2021-R-056 AUTHORIZING THE APPROVAL OF A CONTRACT WITH SIMPLE RECYCLING ILLINOIS, LLC**, to the July 20, 2021, Village Board meeting. President Glotz as if anyone from the Board or public would care to discuss. No one came forward. Vote on roll call: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-050 AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY LOCATED AT 19501-19701 HARLEM AVENUE-TINLEY PARK BUSINESS CENTER SUBDIVISION**. The Village is considering entering into an Annexation Agreement with the contract Purchasers of 110 acres of land located at the northeast corner of Vollmer Road and Harlem Avenue. The Agreement acknowledges the Purchasers' desires to annex, zone and develop the property as a business park with 1.3 million square feet of industrial buildings. The Agreement outlines the conveyance of land to the Village for a future communications tower, the construction of watermain beyond the Purchaser's property, and the Village's waiver of building permit fees up to \$1 million to offset those additional costs. First reading was held on this item at the June 15, 2021, Village Board meeting. A Public Hearing was held on this annexation agreement prior to this meeting.

Village Treasurer Andrew Brown stated that annexing this parcel into the Village will bring an estimated \$25 million in Equalized Assessment Valuations (EAV) to the Village tax rolls. The Village will be eligible for an estimated amount of \$370,000 in additional property tax revenue. He also spoke to the improvements to the water systems that are proposed by the developer. Mr. Brown noted that by annexing this property the Village will be able to take control and oversee the development.

President Glotz asked if there were any comments from members of the Board or public.

Trustee Galante asked if the incentive for \$1 million went before the Economic Commercial Commission (ECC). Community Development Director Kimberly Clarke stated that it went before ECC on June 14, 2021. The ECC was in favor of the incentive. Trustee Galante wanted to be sure the Village was not added costs to others by providing this incentive. Mr. Brown stated the incentive is in lieu of the water system improvements and the wear and tear on the roads due to facilities not located in the Village. He reiterated that if this property were not be annexed by Tinley Park, the tax revenue received from this property would be going elsewhere.

Trustee Mueller stated the meetings that were held regarding this annexation:

1. Neighborhood meeting - April 21, 2021
2. Plan Commission Workshop - May 20, 2021
3. Plan Commission Public Hearing - June 3, 2021
4. Economic Commercial Commission - June 14, 2021
5. Village Board, First Read - June 15, 2021
6. Village Board, Public Hearing - June 29, 2021
7. Village Board, Adoption - June 29, 2021

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **ORDINANCE 2021-O-034 ANNEXING 110 ACRES OF PROPERTY LOCATED AT 19501-19701 HARLEM AVENUE TO THE VILLAGE OF TINLEY PARK, IL (TINLEY PARK BUSINESS CENTER)**. This Ordinance includes annexing property generally located at the northeast corner of Vollmer Road and Harlem Avenue for the purposes of developing a business park in the Village of Tinley Park. The first reading was held on this item at the June 15, 2021, Village Board meeting.

President Glotz asked if there were any comments from members of the Board. President Glotz asked Public Works Director John Urbanski to explain the advantages of the water main improvements (looping Odyssey) will have for the Village. Mr. Urbanski explained that as of this date the Odyssey subdivision is supported by one (1) watermain which runs down Ridgeland Avenue. If a break were to occur with this watermain it would shut down an entire subdivision in order to make repairs. This proposed loop (watermain improvement) included with this annexation would afford the Village a secondary source of water if there were issues on the Ridgeland Avenue watermain. Mr. Urbanski stated that the Ridgeland Avenue watermain is older. President Glotz noted the watermain improvement made by the developer is a great benefit to the Village.

President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **ORDINANCE 2021-O-035 AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE PROPERTY LOCATED AT 19501-19701 HARLEM AVENUE TO THE ORI ZONING DISTRICT (TINLEY PARK BUSINESS CENTER/SCANNELL PROPERTIES)**. The Plan Commission held a Public Hearing on June 3, 2021, and voted 5-0 to recommend approval of the Map Amendment (Rezoning) to the ORI, Office and Restricted Industrial Zoning District in accordance with the plans as listed in the "Listed Reviewed Plans" and Findings of Fact in the June 3, 2021, Staff Report. The Village Board held a first reading on the Plan Commission's recommendation at the June 15, 2021, meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **ORDINANCE 2021-O-036 APPROVING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT WITH EXCEPTIONS RELATED TO THE DEVELOPMENT OF THE TINLEY PARK BUSINESS CENTER LOCATED AT 19501-19701 HARLEM AVENUE**. The Plan Commission held a Public Hearing on June 3, 2021, concerning the Tinley Park Business Center Planned Unit Development and voted 5-0 to recommend approval of the Special Use and adopt the Findings of Fact in accordance with the plans as listed in the list of "Review Plans" as noted in the staff report dated June 3, 2021. The Village Board reviewed the Plan Commission's recommendation at the June 15, 2021, Village Board meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

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Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-052 APPROVING AND ACCEPTING A FINAL PLAT FOR THE TINLEY PARK BUSINESS CENTER SUBDIVISION LOCATED AT 19501-19701 HARLEM AVENUE**. The Plan Commission reviewed the Final Plat of Subdivision with a recommended condition that the approval is subject to Final Engineering Plan approval by the Village Engineer on June 3, 2021, and voted 5-0 to recommend approval.

First reading was held on this item at the June 15, 2021, Village Board meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-051 APPROVING A COOK COUNTY CLASS 8 REQUEST FOR TINLEY PARK BUSINESS CENTER SUBDIVISION LOCATED AT 19501 & 19701 HARLEM AVENUE**. This Resolution provides support for the request for a Cook County Class 8 incentive which reduces the tax assessment ratio for the property necessary to support the development of a business park with a total of 1.3 million square feet of building space.

This request was reviewed at the June 14th, 2021, Economic Commercial Commission and Committee of the Whole on June 15, 2021.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to move Agenda Item 21, **CONSIDER ADOPTING ORDINANCE 2021-O-047 GRANTING VARIATIONS FOR GROUND SIGN AND ELECTRONIC MESSAGE CENTER SIZE FOR TRINITY LUTHERAN CHURCH AND SCHOOL AT 6850 159TH STREET**, to agenda item 16a. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee , seconded by Trustee, to adopt and place on file **ORDINANCE 2021-O-047 GRANTING VARIATIONS FOR GROUND SIGN AND ELECTRONIC MESSAGE CENTER SIZE FOR TRINITY LUTHERAN CHURCH AND SCHOOL AT 6850 159TH STREET**. The Petitioner, Rick Schauer on behalf of Trinity Lutheran Church and School, is seeking the Variations for the overall size and height of the ground sign and the permitted maximum size of the Electronic Message Center display.

The Zoning Board of Appeals held a Public Hearing on June 24, 2021 and voted 5-0 to recommend approval of the requested Variation, in accordance with plans and findings of fact indicated in the Staff Report.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **ORDINANCE 2021-O-048 AMENDING TITLE III OF THE TINLEY PARK MUNICIPAL CODE ENTITLED “STANDING COMMITTEES” AND “CONSENT AGENDA”**. Legal has prepared an

Meeting of the Board of Trustees – Minutes**June 29, 2021**

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ordinance recommending a few code changes to what is allowed on the consent agenda that falls more in line with standard municipal practices, as well as updating the Board Committee names, meeting times, and liaison relationship. This item was considered at the Committee of the Whole held prior to this meeting.

Trustee Galante asked if this Ordinance would be eliminating committees. President Glotz and Village Manager Niemeyer both stated that committees are not being eliminated. President Glotz noted that the Committee Chairperson can call a committee meeting anytime. Items brought to a committee are held with three (3) trustees and if the same item is brought to a Committee of the Whole, they would be reviewed by six (6) trustees. He stated eliminating regularly scheduled committee meetings creates efficiency for staff, these meetings more often than not need to be cancelled because they are not being held and most items are brought to the Committee of the Whole for discussion by the Board.

Mr. Niemeyer believes that having meetings twice a month as opposed more often makes the process easier and more efficient for both the Board and staff. He reiterated that a Committee Chairperson call a meeting of his or her committee anytime.

Village Attorney Connelly concurred with both President Glotz and Village Manager Niemeyer. He stated that a Committee Chair has the authority to call a committee meeting when needed. The committee meeting would need to be posted according to Open Meetings Act provisions. He clarified that a combination of any two (2) members of the committee also has the authority to call for a committee meeting. He also noted that other provisions in this Ordinance are clean-up. These include updating of Committee and Commission names and the pairing of Committee Chairs as liaisons for Commission. The Mayor with Board approval will appoint commission liaisons as needed.

Trustee Galante asked who will the commission liaisons be? Mr. Niemeyer stated that the liaison for commissions is no longer based on the committee. The liaison will be assigned by the Mayor with the support of the Board. Liaisons will not be eliminated.

Trustee Galante asked how trustees will know which commissions they are liaisons to. Village Manager Niemeyer stated this item will be on the Village Board meeting agenda on July 20, 2021.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. Abstain: Galante. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Brennan, to table **RESOLUTION 2021-R-060 AUTHORIZING THE VILLAGE MANAGER TO CONTRACT FOR THE PURCHASE OF ELECTRICITY – ELECTRICAL AGGREGATION PROGRAM WITH ELIGO ENERGY FOR A ONE YEAR TERM.**

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **ORDINANCE 2021-O-045 GRANTING A VARIATION TO PERMIT A CORNER FENCE IN A SECONDARY FRONT YARD FOR CERTAIN PROPERTY LOCATED AT 17501 HUMBER LANE.** The Petitioner, Sarah Geiger, is seeking a Variation from the Zoning Ordinance to permit a 5-foot high open-style aluminum fence to extend into the required secondary front yard of their property.

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The Zoning Board of Appeals held a Public Hearing on June 10, 2021 and voted 6-0 to recommend approval of the Variation request in accordance with plans and findings of fact in the Staff Report.

President Glotz asked if there were any comments from members of the Board.

President Glotz had concerns with the property comparisons used for this variation. Community Development Director Clarke stated that this particular lot has no adjacent neighbor behind them and there would be no impact or negative affect. The comparison exhibits what was going on in the area.

President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney, to adopt and place on file **ORDINANCE 2021-O-046 GRANTING A DETACHED GARAGE SETBACK VARIATION FOR CERTAIN PROPERTY LOCATED AT 17515 65TH AVENUE**. The Petitioners, John & Barb Niedzwiecki are seeking a Variation to permit a garage to have a setback of 2.5 feet instead of the required minimum 5 feet. The Variation will increase the current setback and allow for the replacement of the deteriorating garage.

The Zoning Board of Appeals held a Public Hearing on June 24, 2021 and voted 5-0 to recommend approval of the Variation request in accordance with plans as listed and adopt the Findings of Fact in the Staff Report.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan, to adopt and place on file **RESOLUTION 2021-R-057 AUTHORIZING THE EXECUTION OF AN EASEMENT AGREEMENT WITH LOYOLA UNIVERSITY HEALTH SYSTEM (LUHS) AND THE VILLAGE OF TINLEY PARK FOR PROPERTY LOCATED AT 17901 96TH AVENUE**. The easement agreement will grant the Village a non-exclusive perpetual utility easement and temporary construction easement to install the necessary utilities on property owned by Loyola University Health Systems.

This agreement was reviewed at the Committee of the Whole meeting early this evening.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-058 AUTHORIZING THE EXECUTION OF AN EASEMENT AGREEMENT WITH LOYOLA UNIVERSITY MEDICAL CENTER FOR PROPERTY LOCATED AT 18100 96TH AVENUE**. This agreement will grant the Village of Tinley Park a nonexclusive perpetual easement and a temporary construction easement related to the installation of a new sanitary sewer line and related lift station.

This agreement was reviewed at the Committee of the Whole meeting earlier this evening.

Community Development Director Clarke noted that the legal description for the lift station may be amended slightly. Loyola University is aware of this.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-059, WAIVING BIDS AND APPROVING A PROPOSAL BETWEEN THE VILLAGE OF TINLEY PARK AND J & J NEWELL FOR TIF FUNDED SIDEWALK IMPROVEMENTS FOR SOUTH STREET AND 174TH STREET.** J&J was asked to prepare and submit a quote to remove various sections of sidewalk and concrete stairs along the north side of South Street and the south side of 174th Street and add code compliant steps to one sidewalk in front of 17407 174th Street. This work extends from Oak Park Avenue to 66th Court on South Street and from 67th Court to limits of the road improvements for The Boulevard on 174th Street.

The proposal is in the amount of \$25,090.60. The unit prices will match the prices currently in place as part of the Village's current contract for the Sidewalk and Curb Replacement Project.

This item was discussed at the Committee of the Whole meeting held previous to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff.

Village Manager Niemeyer congratulated Andrew Brown on his appointment to Village Treasurer.

Police Chief Matthew Walsh noted that the Police Department will be diligently working to monitor fireworks violations over the July 4th weekend. He asked the public to keep the fireworks displays to the professionals.

Marketing Director Donna Framke stated the next Music in the Plaza will be held on July 10th at Zabrocki Plaza.

Village Manager Niemeyer congratulated Public Works Director Urbanski on his recent marriage.

Treasurer Andrew Brown congratulated Brad Bettenhausen on his retirement and thanked him for all his help. He looks forward to working with the Board and Staff and thanked them for all their support.

President Glotz asked if there were any comments from members of the Board.

Trustee Brady wished everyone a happy and safe July 4th. He reminded everyone to attend the Stars and Stripes Run held by the Tinley Park Park District on the 4th of July at McCarthy Park.

President Glotz asked if there were any comments from members of the public. There were none.

Meeting of the Board of Trustees – Minutes**June 29, 2021**

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Motion was made by Trustee Brennan, seconded by Trustee Mueller, at 9:10 p.m. to adjourn to Executive Session to discuss the following:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.
- B. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- C. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Sullivan, to adjourn the Village Board meeting at 9:33 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

Village President

ATTEST:

Village Clerk

TINLEY PARK



PROCLAMATION

Recognizing Tuesday, August 3rd, 2021 as
“National Night Out”
In the Village of Tinley Park

WHEREAS, the National Association of Town Watch (NATW) annually sponsors a nationwide crime, drug, and violence prevention program entitled “National Night Out” on the first Tuesday in August; and

WHEREAS, the 38th Annual “National Night Out” provides a unique opportunity for the Village of Tinley Park to join forces with thousands of other communities across the country in promoting cooperative, police-community crime prevention efforts, and to assist the Tinley Park Police Department in said efforts; and

WHEREAS, , it is essential that all citizens of Tinley Park be aware of the importance of crime prevention programs and potential impact on reducing drugs, crime, and violence in the Village; and

WHEREAS, police-community partnerships, neighborhood safety efforts, civic awareness, and community cooperation are important themes of the “National Night Out” program; and

NOW, THEREFORE, BE IT PROCLAIMED, by the President, the Clerk, and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, that the first Tuesday in August, August 3rd, 2021, be designated as “National Night Out” in the Village of Tinley Park.

APPROVED this 20th Day of July 2021.

MICHAEL W. GLOTZ, VILLAGE PRESIDENT

ATTEST: KRISTIN A. THIRION, CLERK

TRUSTEE WILLIAM P. BRADY

TRUSTEE WILLIAM A. BRENNAN

TRUSTEE DIANE M. GALANTE

TRUSTEE DENNIS P. MAHONEY

TRUSTEE MICHAEL G. MUELLER

TRUSTEE COLLEEN M. SULLIVAN

TINLEY PARK BUSINESS SPOTLIGHT

President Glotz and
Clerk Thirion

**CONSIDER THE APPOINTMENT
OF
MARIE GRZESKOWIAK
TO THE POSITION OF
POLICE CLERK MATRON**

President Glotz

**CONSIDER THE APPOINTMENT
OF
BARB BALCERZAK
TO THE POSITION OF
BUILDING PERMIT
TECHNICIAN**

President Glotz

**CONSIDER THE APPOINTMENT
OF
EILEEN SCHOLZ
TO THE POSITION OF
ASSISTANT TREASURER**

President Glotz

**CONSIDER THE APPOINTMENT
OF
AMY LUTCHEN
TO THE POSITION OF
SENIOR STAFF ACCOUNTANT**

President Glotz

**CONSIDER THE APPOINTMENT
OF
LEASHA DREW-COOPER
TO THE POSITION OF
SENIOR STAFF ACCOUNTANT**

President Glotz

**CONSIDER THE APPOINTMENT
OF
CHRISTOPHER FRANKENFIELD
TO THE POSITION OF
ACCOUNTANT II**

President Glotz

**RECEIVE RECOGNITION OF
ANDREW BROWN ON HIS
APPOINTMENT TO
VILLAGE TREASURER**

President Glotz

**CONSIDER CERTAIN
COMMISSION
APPOINTMENTS FOR FISCAL
YEAR 2022**

President Glotz

CONSIDER REMOVAL OF COMMISSIONER

President Glotz

**CONSIDER THE FOLLOWING
BOARD COMMISSION LIAISON
APPOINTMENTS FOR FISCAL
YEAR 2022**

President Glotz



Interoffice Memo

Date: July 16, 2021

To: Committee of the Whole

From: David Niemeyer, Village Manager

cc: Pat Carr, Assistant Village Manager
Angela Arrigo, Human Resources Director
Paul O'Grady, Village Attorney
Patrick Connelly, Village Attorney

Subject: Dual Capacity Employment

On the Board consent agenda are two requests to waive Section 2.11 of the personnel code prohibiting an employee from holding 2 different positions. This is a very unusual requirement in my opinion, but the Board can waive it as it has in the past.

The two requests are as follows:

- Colby Zemaitis was recently promoted to Assistant Public Works Director. He is also holding the title of Village Engineer until we hire a new Village Engineer.
- Roxanne Tysen currently serves as commission secretary for a couple of commissions. We previously discussed getting the Clerk's Office part-time clerical help as we did not replace the full-time FOIA coordinator position. We interviewed Roxanne and she has the skills to fill the position. Her total hours with the Village will not exceed 1000 hours per year so she will not receive IMRF or insurance benefits.



Interoffice Memo

Date: July 16, 2021

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Interoffice Memo

Date: July 13, 2021

To: John Urbanski, Public Works Director

From: Joe Fitzpatrick, Water & Sewer Superintendent

Subject: Hydrant Painting Project Bid Award

Presented for Committee of the Whole and Village Board discussion and action.

Description: The Village paints fire hydrants throughout town every year. We painted approximately 600 hydrants per year previously, making this an eight-year program to paint every hydrant. We have increased the number of hydrants to paint to 1,200. The program will now be four years long.

Background: The hydrant painting project was advertised to prospective bidders on June 24, 2021 with a public bid opening on July 12, 2021. The Village received the following three (3) bids with the Deputy Clerk and Water & Sewer Superintendent from the Village present.

<u>Contractor:</u>	<u>Location:</u>	<u>Bid:</u>
Cryder Enterprises	Minooka, IL	\$99,600
Capital Industrial Coatings	Hammond, IN	\$186,900
Lankford Construction Co.	Tinley Park, IL	\$192,000

Budget/ Finance: Funding in the amount of \$99,600 is available in approved FY2022 Budget.

Budgeted Amount	\$108,000
Bid Amount	<u>\$99,600</u>
Under Budget	\$8,400

Staff Direction Request: Approve a contract with Cryder Enterprises to paint fire hydrants in the amount of \$99,600.

Attachments:

- 1) Bid Tabulation
- 2) Letter of Recommendation
- 3) Service Contract

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-061

**A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE VILLAGE OF TINLEY
PARK AND CRYDER ENTERPRISES, INC., FOR THE 2022 FIRE HYDRANT PAINTING
PROGRAM**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

RESOLUTION NO. 2021-R-061**APPROVING AN AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CRYDER ENTERPRISES, INC., FOR THE 2022 FIRE HYDRANT PAINTING PROGRAM**

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into an Agreement with Cryder Enterprises, Inc., a true and correct copy of such Contract being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Contract" be entered into and executed by said Village of Tinley Park, with said Contract Extension to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 20th day of July, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 20th day of July, 2021, by the President of the Village of Tinley Park.

Village President

ATTEST:

Deputy Village Clerk

EXHIBIT 1

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-0061, “**A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CRYDER ENTERPRISES, INC., FOR THE 2022 FIRE HYDRANT PAINTING PROGRAM,**” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

DEPUTY VILLAGE CLERK

**Interoffice****Memo**

Date: July 13, 2021

To: John Urbanski, Public Works Director

From: Joe Fitzpatrick, Water & Sewer Superintendent

Subject: Replace Pumps at Post 3 (7350 175th Street) Lift Station

Presented for Committee of the Whole and Village Board discussion and action.

Description: Replace two (2) jockey pumps at Post 3 storm water lift station. The three (3) storm pumps will remain.

Background: When the control panel and other electrical work was completed at Post 3 last year, the two (2) jockey pumps were pulled for inspection. Upon inspection, the pump housings have begun to deteriorate beyond the point of repair. Replacing the pumps now, will avoid costly emergency pump replacement when complete pump failure occurs. Sole source purchase and install is requested based on quality of work Superior Pumping Services provides the Village. Superior Pumping Services is the contractor we use for needed repairs when components in lift stations and pumping stations fail. Superior Pumping Services has been used exclusively for over 4 years. The contractor is able to provide quality work while keeping costs lower than other companies offering the same services. Superior Pumping Services has become very familiar with the Village's stations and our needs.

<u>Contractor:</u>	<u>Location:</u>	<u>Quote:</u>
Superior Pumping Services	Hobart, IN	\$21,739.70

Budget/ Finance: Funding in the amount of \$21,739.70 is available in the approved FY2022 Budget.

Budgeted Amount	\$64,000.00
Quote Amount	\$21,739.70
Under Budget	\$42,260.30

Staff Direction Request: Approve the sole source purchase and installation of pumps in the amount of \$21,739.70.

Attachments:

- 1) Quote for pumps and installation of two (2) pumps at Post 3.

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-062

**A RESOLUTION APPROVING THE SOLE SOURCE PURCHASE AND INSTALLATION OF
PUMPS AT THE POST 3 LIFT STATION WITH SUPERIOR PUMPING SERVICES**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

RESOLUTION NO. 2021-R-062**APPROVING THE SOLE SOURCE PURCHASE AND INSTALLATION OF PUMPS AT THE POST 3 LIFT STATION WITH SUPERIOR PUMPING SERVICES**

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Sole Source Purchase with Superior Pumping Services, a true and correct copy of such quote being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Sole Source Purchase" be entered into and executed by said Village of Tinley Park, with said quote to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid quote.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 20th day of July, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 20th day of July, 2021, by the President of the Village of Tinley Park.

Village President

ATTEST:

Deputy Village Clerk

EXHIBIT 1

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-0062, “**A RESOLUTION APPROVING THE SOLE SOURCE PURCHASE AND INSTALLATION OF PUMPS AT THE POST 3 LIFT STATION WITH SUPERIOR PUMPING SERVICES,**” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

DEPUTY VILLAGE CLERK



Interoffice Memo

Date: July 20, 2021
To: Village Board
Cc: Dave Niemeyer, Village Manager
From: Hannah Lipman, Assistant to the Village Manager
Subject: Textile Recycling Program - Update

At the June 15th Committee of the Whole, the Village Board recommended a no-cost Textile Recycling Program for Village residents move to Village Board for approval. Staff had asked the Board to table the final agreement while we waited for a response from Simple Recycling regarding contract length. Simple Recycling was originally asking for a five (5) year contract, but staff requested a shorter-term length being a new program offering. The final contract for approval is a four (4) contract with a three (3) year renewal option. There were no other concerns or changes.

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2021-O-056

**A RESOLUTION AUTHORIZING THE APPROVAL OF A CONTRACT WITH
SIMPLE RECYCLING ILLINOIS LLC**

MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-056**A RESOLUTION AUTHORIZING THE APPROVAL OF A CONTRACT WITH SIMPLE RECYCLING ILLINOIS LLC**

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into an Agreement with Simple Recycling Illinois LLC, a true and correct copy of such Agreement being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Agreement be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Agreement" be entered into and executed by said Village of Tinley Park, with said Agreement to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Agreement.

Section 4: This Resolution shall take effect from and after its adoption and approval.

ADOPTED this 20th day of July, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

EXHIBIT 1

SIMPLE RECYCLING AGREEMENT

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-056, “A RESOLUTION AUTHORIZING THE APPROVAL OF A CONTRACT WITH SIMPLE RECYCLING ILLINOIS LLC” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

AGREEMENT FOR COLLECTION OF SOFT RECYCLABLES

This Agreement for the Collection of Soft Recyclables ("Agreement") is made and entered into this 29th day of June, 2021, (the "Date of Execution") by and between the Village of Tinley Park, a municipal corporation with an address at 16250 Oak Park Avenue, Tinley Park, IL 60477 (herein referred to as the "Village"), and Simple Recycling Illinois LLC, an Illinois corporation with a business address at 5425 Naiman Parkway, Solon, OH 44139 (together which with its successors and assigns, herein referred to as "Contractor").

WITNESSETH:

WHEREAS, Contractor is skilled and experienced in the collection and efficient recycling and disposition of Soft Recyclables; and

WHEREAS, the VILLAGE desires to limit and restrict the quantity of Soft Recyclables which are deposited in the landfill; and

WHEREAS, the VILLAGE has selected Contractor to collect, identify, haul, recycle and/or dispose of Soft Recyclables in the VILLAGE'S Service Area; and

WHEREAS, Contractor can provide such services and is in the business of and has the expertise, experience, resources and capability to perform the collecting, identifying, packaging, hauling, recycling and/or disposing of Soft Recyclables; and

Now, THEREFORE, in consideration of the premises and material promises set forth below and other consideration the receipt and sufficiency of which is hereby acknowledged by the parties, Contractor and the VILLAGE (herein collectively called the "Parties") hereby agree as follows:

1. **Term.** This Agreement shall begin upon the Date of Execution and continue for an initial term of four (4) years (the "Initial Term"). At the end of the Initial Term Contractor and the VILLAGE have the right to renew for an unlimited number of additional three (3) year terms upon mutual agreement (such term an "Extension Term" and collectively, the "Term"). Unless either Party provides written notice to the other Party at least sixty (60) days prior to the end of the Initial Term, the Term shall automatically renew for the Extension Term. During the Term, Contractor shall have the sole and exclusive rights to collect and pick up Soft Recyclables in the VILLAGE'S Service Area through municipal contracted pick up as well as municipal contracted collection events and location.

2. **Collection Procedures.** During the Term and after the Date of Commencement, Contractor shall collect all acceptable Soft Recyclables set-out for recycling and collection by Residential Customers in approved Containers. The decision of what is an "acceptable" Soft Recyclable shall be made in the sole reasonable discretion of Contractor. However, in no event shall Contractor be required to accept any Excluded Items (excluded items include, but are not limited to the following items: garbage, hazardous waste, carpet, newspapers, mattresses, large furniture, large appliances, yard waste) and in no event shall Contractor provide service to Commercial Customers. Contractor shall not be responsible for collecting Soft Recyclables

which have fallen or been placed Curbside but are not in a Container. Contractor agrees to operate collection vehicles in such a manner to prevent materials from being blown from the vehicle. If at any time during collection and transport, Soft Recyclables are spilled onto a street, sidewalk, or private property, Contractor shall clean up and place in the collection vehicle all Soft Recyclables before the vehicle proceeds to the next stop on the collection route or shall promptly make all other reasonably necessary arrangements for the immediate clean-up of spilled Soft Recyclables. Contractor agrees to remove and dispose of all Soft Recyclables at no cost to the VILLAGE.

3. Ownership. Soft Recyclables set out for collection on the regularly scheduled collection day shall belong to Contractor from the time of its set-out. Soft Recyclables physically collected by Contractor shall be deemed acceptable Soft Recyclables for the purposes of its obligations under this Agreement.

4. Set Out Procedures. Residents shall place Soft Recyclables into Containers and place Containers at Curbside for collection. Overflow material shall be placed adjacent to the Container(s) in plastic bags or other easily handled container. Soft Recyclables shall not be set out in tied bundles. Contractor must collect all Soft Recyclables that are set out in this manner and are placed within seven (7) feet of the Curbside. Containers shall be placed in a manner that will not interfere with or endanger the movement of vehicles or pedestrians. When construction work is being performed in the right-of-way, Containers shall be placed as close as practicable to an access point for the collection vehicle. Contractor may decline to collect any Soft Recyclables not set out in accordance with this paragraph.

5. Contamination and Improper Set Out. If Contractor encounters any improperly packaged Soft Recyclables or other contaminants in the Container, Contractor may leave those materials in the Container or remove them from the Container and leave them Curbside. Contractor must place a tag on the contaminant(s) that is not collected, collect the acceptable items, and leave contaminants at Curbside.

6. Collection Schedule. Contractor shall divide the Service Area into collection areas to coincide with VILLAGE collection dates. Collections shall be made from Service Recipients on a regular schedule in accordance with the existing VILLAGE recycling pickup schedule; however, Contractor reserves the right to alter the frequency of the scheduled pickups on an as needed basis.

Contractor shall not be required to perform any service under this Agreement on Holidays. Contractor may interrupt the regular schedule and quality of service because of street repairs, snow or other closures of public routes, which in Contractor's sole reasonable discretion makes the pick-up of the Soft Recyclables from a Service Recipient impracticable under the circumstances.

7. Missed Collections and Complaints. Service Recipients shall be instructed by the VILLAGE to report missed collections and complaints to Contractor. The Program Brochure and other program information shall include contact information for the Contractor to facilitate communication from Service Recipients. Contractor shall give prompt and courteous attention to all reported missed collections and complaints.

8. **Inventory of Containers.** During the term of this Agreement, Contractor shall purchase (at its sole cost) and maintain an inventory of acceptable and approved Containers for distribution to Service Recipients. Prior to commencement of service under this Agreement, Contractor shall provide new Containers to each Service Recipient. Containers shall initially be delivered to Service Recipients with an informational brochure on the recycling collection program described herein that is produced and printed by the contractor and approved by the VILLAGE, which approval shall not be unreasonably withheld (the "Program Brochure").

9. **No Contractor's Fee.** Under no circumstance will the VILLAGE, its residents or Service Recipients incur any fees, charges or assessments to the Contractor for Contractor's delivery of services under this Agreement.

10. **Public Information and Education Program.** The VILLAGE shall provide public information in the normal course to inform Service Recipients of this recycling program. The content and timing of the VILLAGE' public information shall be coordinated with Contractor. The VILLAGE agrees to announce the program to residents a minimum of six (6) times per year using municipal communication channels.

Contractor may prepare and distribute its own promotional materials. Contractor shall participate in VILLAGE-directed promotion and education efforts as outlined below:

- a. During the course of the routine recycling pick up, provide and distribute notices regarding rejected materials and proper set out procedures.
- b. Training of employees to deal courteously with customers on the telephone and on-route to promote the collection service and explain proper material preparation.
- c. Coordinate with the VILLAGE for distribution of written promotional and instructional materials directly to Service Recipients.
- d. Provide advice to the VILLAGE on promotion and education material content and presentation.

11. **Telephone and Customer Service.** Contractor shall maintain and staff a local toll-free telephone number where complaints of Service Recipients shall be received, recorded and handled by Contractor, between the hours of 9:00 AM and 4:30 PM Monday through Friday, excluding Holidays. Typically, all "call backs" shall be attempted a minimum of one time prior to 6:00 p.m. on the day of the call.

12. **Marketing and Disposition of Recyclable Material.** Contractor shall be solely responsible for the marketing and sale of collected Soft Recyclables, and shall be solely responsible for the storage and disposition of the Soft Recyclables in the event it is unable to sell the Soft Recyclables in a timely manner.

13. **Insurance.** During the term of this Agreement Contractor agrees to keep in force, with an insurance company licensed to transact business in the state of Illinois, an "occurrence basis" insurance policy or policies indemnifying, defending and saving harmless the VILLAGE from all damages (except for damages caused by the VILLAGE's own negligence, willful misconduct or failure) which may be occasioned to any person, firm, or corporation, whether

damages are by reason of any willful or negligent act or acts on part of Contractor, its agents or employees, with limits no less than:

a. General Liability: One Million and no/100 Dollars (\$1,000,000.00) combined single limit per occurrence for bodily injury, personal injury, and property damage.

b. Vehicle Liability: One Million and no/100 Dollars (\$1,000,000.00) combined single limit per accident for bodily injury and property damage.

c. Worker's Compensation/Industrial Insurance: Limits as required by the State of Illinois. The general liability provisions in automobile liability policies are to contain, or be endorsed to contain, the following provisions:

- (i) The VILLAGE, its officers, officials, employees, and volunteers are to be covered as insureds as respects: liability arising out of activities performed by or on behalf of Contractor; products and completed operations of Contractor; premises owned, occupied, or used by Contractor; or automobiles owned, leased, hired, or borrowed by Contractor.
- (ii) Contractor's insurance coverage shall be primary insurance as the VILLAGE, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by the VILLAGE, its officers, officials, employees, or volunteers shall be in excess of Contractor's insurance and shall not contribute with it.
- (iii) Any failure to comply with reporting provisions of the policy shall not affect coverage provided to the VILLAGE, its officers, officials, employees, or volunteers.
- (iv) Contractor's insurance shall apply separate to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
- (v) Each insurance policy required by this clause shall be endorsed to state that coverage shall not be suspended, voided, canceled by either party, nor reduced in coverage or in limits except after thirty (30) days' prior written notice has been given to the VILLAGE.

14. Taxes. Contractor agrees to save the VILLAGE harmless from any and all taxes or assessments of any kind or nature levied by any political subdivision upon Contractor by reason of services rendered for Soft Recyclables and disposal for the VILLAGE.

15. Employee Conduct. All Contractor personnel must maintain a courteous and respectful attitude toward the public at all times. At no time may they solicit, request or receive gratuities of any kind. Contractor must direct its employees to avoid loud and/or profane language at all times during the performance of duties. Any employee of Contractor who engages in misconduct or is incompetent or negligent in the proper performance of duties or is disorderly, dishonest, intoxicated, or discourteous must be removed from service under this contract by Contractor.

16. Monthly Reports. Contractor shall provide monthly project status reports. These reports will be due within twenty-five (25) days of the close of the month being reported. At a minimum, the reports shall include detailed data to allow analysis of collection and processing efficiencies including pounds of Soft Recyclables collected in the prior month.

17. Inspections. Upon reasonable advanced request to Contractor, the VILLAGE may inspect the facilities, equipment and operations of Contractor to assure itself of the appearance and compliance with provisions of this Agreement. Upon reasonable advance request, the VILLAGE may review the records kept on the Soft Recyclables collected under the terms of this Agreement to test and validate the weights claimed. the VILLAGE agrees to notify Contractor, in writing, at least forty-eight (48) hours prior to any such inspection.

18. Meetings and Communications. In order to minimize misunderstanding and to provide thereafter a forum for discussing and resolving any issues that may arise, the parties agree to meet on a regular basis and hereby adopt communications procedures as follows:

Designation of Representatives. Each party shall send at least one representative to each meeting. The VILLAGE shall send to each meeting at least one staff member with operation expertise. Each party shall designate one, and only one, representative as its Lead Representative. If a party sends only one representative to any meeting, that person shall be conclusively presumed to be its Lead Representative.

19. Compliance with Laws and Regulations. Contractor agrees that, in performance of work and services under this contract, Contractor will qualify under and comply with any and all applicable federal, State and local laws and regulations now in effect, or hereafter enacted during the Term, which are applicable to Contractor, its employees, agents or subcontractors, if any, with respect to the work and services described herein.

20. Termination and Breach. In the event of a breach of the terms and conditions of this Agreement by either Party hereunder, the non-breaching Party may elect to terminate this Agreement by providing the defaulting Party with a written notice of such default, and allowing the breaching Party a period of thirty (30) days from and after the date of such notice to cure the breach complained of to the satisfaction of the non-breaching Party. In the event said breach is not cured within the thirty (30) day period, this Agreement shall be terminated (for-cause) as of the last day of the period.

21. Severability. Should one or more of the provisions of this Agreement be held by any court to be invalid, void or unenforceable, the remaining provisions shall nevertheless remain and continue in full force and effect, provided that the continuation of such remaining provisions does not materially change the original intent of this Agreement.

22. Independent Contractor Status. In the performance of services pursuant to this Agreement, Contractor shall be an independent contractor and not an officer, agent, servant or employee of the VILLAGE. Contractor shall have exclusive control over the details of the service and work performed and over all persons performing such service and work. Contractor shall be solely responsible for the acts and omissions of its officers, agents, employees, Contractors and subcontractors, if any. Neither Contractor nor its officers, agents, employees or subcontractors shall obtain any right to retirement benefits, Workers' Compensation benefits, or any other benefits which accrue to the VILLAGE employees and Contractor expressly waives and claim it may have or acquire to such benefits.

23. Definitions.

a. Commercial Customer: The term "Commercial Customer" means non-residential customers, including businesses, public or private schools, institutions, governmental agencies and all other users of commercial-type Garbage collection services.

b. Container: The term "Container" means a bag, supplied by Contractor for use by the Residential Customer to set out Soft Recyclables.

c. Curb or Curbside: The words "Curb" or "Curbside" relate to the homeowners' property, within five (5) feet of the Public Street or Private Road without blocking sidewalks, driveways or on-street parking. If circumstances preclude, a Curbside shall be considered a placement suitable to the resident, convenient to Contractor's equipment, and mutually agreed to by the VILLAGE and Contractor.

d. Excluded Items: The term "Excluded Items" means Garbage, Hazardous Waste, large furniture, large appliances such as refrigerators, stoves, washers and dryers, magazines, newspapers, car seats, cribs, mattresses, paint, tires, cleaners, etc. and any item heavier than fifty (50) pounds.

e. Garbage: The term "Garbage" means all putrescible and non-putrescible solid and semi-solid wastes, including, but not limited to, rubbish, ashes, industrial wastes, grass, yard debris, leaves, swill, demolition and construction wastes, dead animals piles of debris, car parts, construction or demolition debris, any item that would be considered Hazardous Waste, or stumps.

f. Hazardous Waste: The term "Hazardous Waste" means any hazardous, toxic or dangerous waste, substance or material, or contaminant, pollutant or chemical, known or unknown, defined or identified as such in any existing or future local, state or federal law, statute, code, ordinance, rule, regulation, guideline, decree or order relating to human health or the environment or environmental conditions, including but not limited to any substance that is defined as hazardous by 40 C.F.R. Part 261 and regulated as hazardous waste by the United States Environmental Protection Agency under Subtitle C of the Resource Conservation and Recovery Act ("RCRA") of 1976, 42 U.S.C. § 6901 et seq., as amended by the Hazardous and Solid Waste Amendments ("HSWA") of 1984; the Toxic Substances Control Act, 15 U.S.C. § 2601 et seq.; or any other federal statute or regulation governing the treatment, storage, handling or disposal of waste imposing special handling or disposal requirements similar to those required by Subtitle C of RCRA or any Minnesota statute or regulation governing the treatment, storage, handling or disposal of wastes and imposing special handling requirements similar to those required by federal law.

g. Holiday: The term "Holiday" means the following days: New Year's Day, Martin Luther King's Day, President's Day, Memorial Day, Independence Day, Labor Day, Columbus Day, Veteran's Day, Thanksgiving Day and Christmas Day, unless otherwise specified by the the VILLAGE recycling holiday schedule.

h. Residential Customer: The term "Residential Customer" means and individual or individuals residing in a living space rented, leased or owned.

i. Service Area: The Service Area will encompass all of the VILLAGE'S curbside, residential trash and recycling collection area, as it may be amended from time to time.

j. Service Recipients: The term "Service Recipients" means Residential Customers of the VILLAGE in the Service Area.

k. Soft Recyclable: The term "Soft Recyclable" means items of an individual weight less than fifty (50) pounds and can be carried by one person. Soft Recyclables include

primarily men's, women's and children's clothing as well as items such as jewelry, shoes, purses, hats, toys, pictures, mirrors, blankets, drapes and curtains, pillows, rags, sewing scraps, sleeping bags, small furniture, small appliances, irons, radios and audio equipment, TVs and video equipment, cameras, lamps, hairdryers, tools, toasters, microwaves, coffee makers, computers and household or consumer electronics, silverware, dishes, pots and pans, glasses and the like. The definition of Soft Recyclable is subject to modification in the discretion of Contractor based upon experience gained during the term of this Agreement.

24. Additional Services. Upon mutual agreement between the Village and Contractor, the Contractor shall establish a drop-box for Soft Recyclables at the VILLAGE'S recycling drop-off facility. The type of drop-box shall be approved by the Contractor, with the appearance subject to the mutual agreement of the Parties to this Agreement. The drop-box shall be viewed by the Contractor no less frequently than every week and shall be emptied of its contents on a schedule determined by the Contractor, but with sufficient frequency to avoid creating an unseemly appearance.

27. Service Modifications. To avoid confusion with the VILLAGE'S existing collector for trash and recycling, the Parties agree that the Contractor will not collect any material set outside of the Container, such as small furniture, small appliances, televisions and other items which do not fit into the Container. The Contractor and the VILLAGE agree to discuss this service modification at the quarterly meetings set forth under Section 20 herein, with a goal of allowing the Contractor to collect and recycle these materials for the VILLAGE as soon as practicable.

IN WITNESS WHEREOF, the parties have executed and delivered this Agreement as of the Date of Execution first written above.

THE VILLAGE OF TINLEY PARK

By: _____
Its: _____

SIMPLE RECYCLING ILLINOIS LLC

By: _____
Sonny Wilkins, Vice President

EMORANDUM

Date: June 10, 2021
To: Village Manager
From: Aireen Arellano – Environmental Enhancement Commission Chair
Subject: Curbside Textile Recycling

Background

A proposal was received from Simple Recycling that would address concerns of residents about having access to recycling services for items not currently suitable for curbside pickup – specifically, textiles.

Simple Recycling Illinois LLC, proposes that the Village of Tinley Park collaborate with them to begin a no-charge curbside textile (and home goods) recycling collection program. This is different from donation centers and thrift stores in that the clothing is not required to be in usable condition. No drop boxes are required; Simple Recycling sends a van to pick up the bags. The program does not target clothing donations to charities; rather it is aimed at residents who place clothing and textile material in the curbside trash. Environmental advocates support textile recycling programs, noting that approximately 99% of textiles can be recycled. Proponents of curbside fabric recycling suggest that increased awareness of the value of textiles and a determination to divert these materials away from landfills can benefit all.

David Bryla, a representative of Simple Recycling services, presented the curbside textile collection services for the Village to the EEC at the March 2020 meeting. After the Commission weighed the pros and cons of the services, they agreed this would be a beneficial program for both the environment and residents currently receiving curbside services.

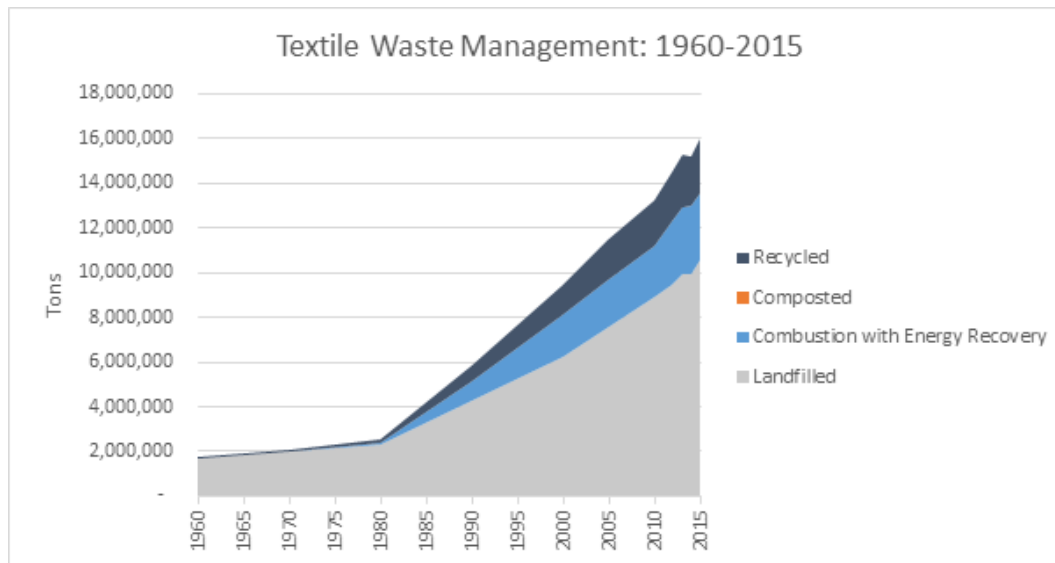
Information on the United States EPA website estimated the generation of 16 million tons of textiles during 2015. This figure represents 6.1% of total MSW (Municipal Solid Waste) that year. Approximately 10.5 million tons of the 16 million tons of textiles were absorbed by landfills. This was 7.6 percent of all MSW landfilled.

The chart /table below reflect data on textiles since 1960.

ITEMS THAT ARE ACCEPTABLE FOR SIMPLE RECYCLING COLLECTION...

- ☐ Men's Clothing
- ☐ Children's Clothing
- ☐ Women's Clothing
- ☐ Boots & Shoes
- ☐ Bedding
(sheets, pillow cases,
blankets, comforters)
- ☐ Belts & Ties
- ☐ Books
- ☐ Bras
- ☐ Coats & Jackets
- ☐ Fashion Accessories
- ☐ Handbags & Purses
- ☐ Hats & Gloves
- ☐ Kitchenware
- ☐ Linens
- ☐ Pillows
- ☐ Sandals & Slippers
(in pairs)
- ☐ Socks
(single or in pairs)
- ☐ Stuffed Animals
- ☐ Table Linens
- ☐ Tools
- ☐ Towels
- ☐ Toys
- ☐ Undergarments

Items we CANNOT collect include: Appliances, Furniture, Tires, Paint, Carpeting, Mattresses, Traditional Recyclables (metal, glass, paper), Hazardous Waste.



Sources: American Apparel and Footwear Association, International Trade Commission, and the Secondary Materials and Recycled Textiles Association

Simple Recycling will increase the diversion of Tinley Park textiles from landfills. A reduction in MSW entering the landfills should help minimize increases to future Refuse and Recycling Collection Services Contracts.

How it works:

- Simple Recycling mails a postcard to introduce the program, followed by a mailer including two plastic collection bags and instructions to residents.
- Residents place the bags curbside on their garbage day (during the week they have recycling pickup) next to their regular garbage and recycling containers, to be collected in a Simple Recycling van. When a bag is picked up, the driver leaves a new bag behind.
- Average annual collection is approximately seven pounds per household.
- The program is free to the Village.

- Homewood Disposal is aware of the program and acknowledges its potential to reduce contamination at recycling facilities.

Simple Recycling would handle the startup, collection, processing and management of the program. They recommend educational communication with residents with an emphasis on further reduction of waste to landfills. All handouts would be pre-approved by the Village prior to distribution (see attached sample).

Simple Recycling and Village staff will work with Homewood Disposal to coordinate pickups. The EEC has reached out to Homewood Disposal and discovered they are familiar with this program adopted by several Illinois communities (Elgin, Hanover Park, Hoffman Estates, Niles, and Skokie). A benefit of the program for refuse companies includes a reduction of textile contamination and increases in collection efficiency for traditional recycling material. Homewood Disposal will be ready to assist with the program if the Village votes to enact it.

Residents of Tinley Park embrace "green" changes. Illinois communities have experienced very positive feedback from residents for the Simple Recycling Program as it benefits the environment at no cost to the village/residents.

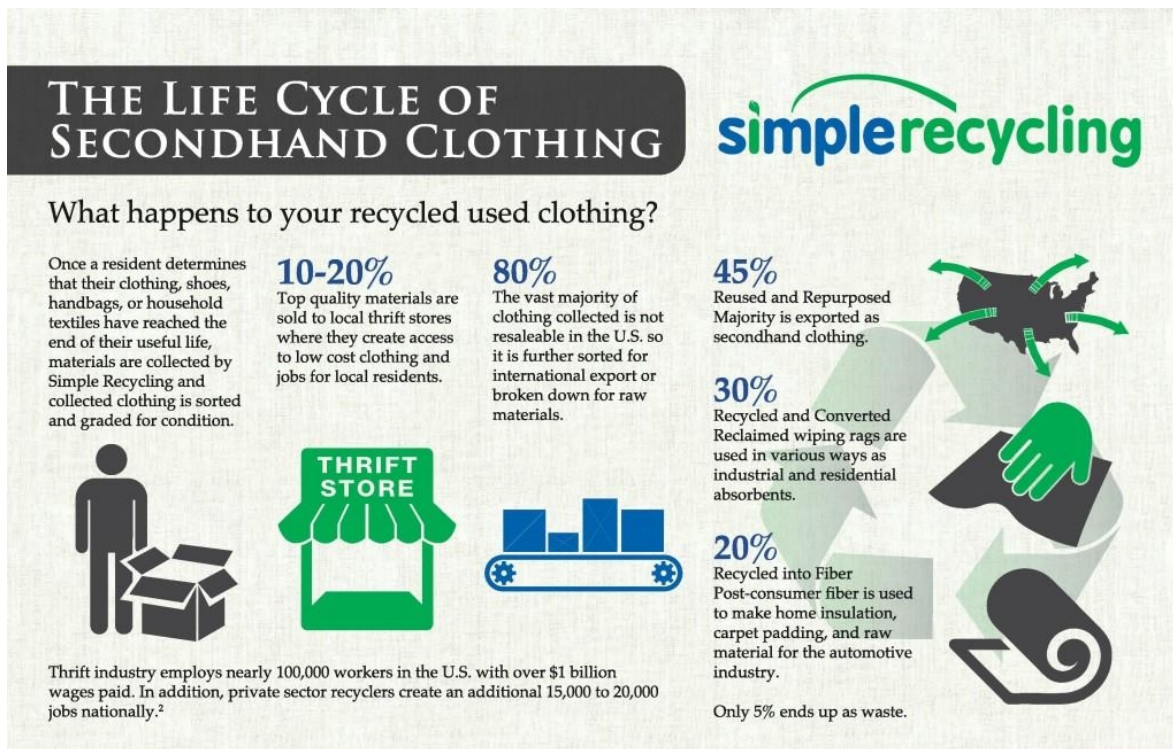
Direct Benefits to residents:

- Convenience of curbside pickup at no cost.
- No restrictions to the condition of the clothing/textiles. (stained and ripped textiles are accepted)
- Pride in knowing their community supports green initiatives.

Direct Benefits to Village:

- Educational opportunity for residents to learn more about the high percentage of used textiles that are recyclable.
- Less pollution and increased energy savings.
- Increased awareness of reused and repurposed, recycled and converted, and post-consumer handling of material goods and raw material.
- Tinley Park would be the FIRST Southwest Suburb to adopt this curbside textile recycling program, establishing the Village of Tinley Park as a leader in environmental stewardship.

Other Benefits:



- People in developing countries / third-world nations reap benefits
- Energy conservation
- Development of additional markets
- Reduction in landfill space
- Reduction in greenhouse gases
- Reduction of post-consumer waste in landfills (textiles can lead to problems in landfills)
- Reduction in pressure on virgin resources
- Reduction in demand for dyes and fixing agents

Tinley Park residents will be educated on how pickups will work and how this program is not designed to compete with donations to charitable organizations. Emphasis will be placed on how residents can reduce more waste by participating in both programs. Other communities have included recommendations for various charitable organizations to reassure residents that this is good for charitable organizations and on informational pages included on their website.

EEC Chair connected with Schaumburg's Logistics Coordinator in the Engineering & Public Works Department in September 2020, who shared a survey of the surrounding communities to determine potential issues with startup and ongoing service:

- How are missed pickups handled?
- How often are pickups missed?
- How are residents notified about non-collectible items?
- Was there an increase in initial call volumes?
- If increased call volume, did it decrease over time?

- Pros / cons for each community?
- General feedback from residents?
- Thoughts on the agreement/implementation/program?

See attached spreadsheet for the positive responses.

EEC also connected with the Assistant to the Village Manager of the Village of Northbrook in October 2020, who also echoed the positive feedback of the curbside textile collection program.

Potential Actions (if approved)	Projected Date
Item presented Village Board	June 15, 2021
Item to VB Meeting consent agenda	Date TBD
Agreement Signed	Date TBD
Routes and schedules provided to Homewood Disposal	Date TBD
Coordination of educational material with Marketing Department, staff, and Simple Recycling	Date TBD
Educational Material approved and printed	Date TBD
Communications to residents via website, weekly newsletter and social media	Date TBD
Bags mailed	Date TBD
Program begins	August 2021

The EEC recommends the Village Board authorize the Village Manager to execute an Agreement with Simple Recycling Illinois LLC, for the collection of soft recyclables and approve the required Resolution.



Department Memo

Stephen C. Klotz,
Interim Fire Chief Administrator

A handwritten signature in black ink, appearing to read "Step Klotz".

MEMO #21-104

Date: July 13, 2021
To: Patrick Carr, Assistant Village Manager
From: Stephen C. Klotz, Interim Fire Chief Administrator
Subject: Authorize Sole Territorial to Air One Inc, to purchase MSA Air Bottles

Description:

We are requesting authorization to replace 120 Air Bottles used for our SCBA (Self Contained Breathing Apparatus) which reached their 15 year end of life at the end of June 2021. We currently have 60 SCBA units and are required to have a spare air bottle for each unit.

Background:

We currently applied for a grant in January 2021 to replace all of our SCBA units. As of this date we have not received any information on the status of the grant. The current air bottles have reached their end of life use (15 years) which is mandated by NFPA and DOT Standards. Replacing these bottles will put us in compliance with these standards.

Budget:

We presently budgeted \$100,000 towards the replacement of the expired air bottles. The cost to replace 120 air bottles came in under budget at \$78,000.

SCK/mb

Attachment

cc: C. Frankenfield, Finance
Electronic File



**AIR ONE
EQUIPMENT, INC.**

360 Production Drive, South Elgin IL 60177
Telephone: (847) 289-9000 Fax: (847) 289-9001
website: www.aoe.net

FOR: TINLEY PARK FIRE DEPARTMENT
6825 W. 174TH ST.

DATE: 7/13/2021

TINLEY PARK, ILLINOIS 60477

ATTN: Dep Chief Dan Reda

REF: SCBA CYLINDERS

Qty	Part Number	DESCRIPTION:	Each	Extended
120	10204941	MSA H30 MINUTE (4500PSI) CARBON CYLINDER WITH THREADED CONNECTION FOR EXISTING MSA SCBA	\$650.00	\$78,000.00

Total of All Equipment: **\$78,000.00**

NOTES:

1. PER MSA SPECIAL PRICING (MFD) EXPIRES 07/31/2021
2. CAN BE ADAPTED TO G1 SCBA WITH DOVETAIL AND QUICK CONNECT KIT LATER.

Thank You!

Estimated Delivery:
ON REQUEST

Timothy Sarhage, Sales Manager
Air One Equipment, Inc.

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-063

**A RESOLUTION AUTHORIZING SOLE TERRITORIAL TO AIR ONE EQUIPMENT, INC., TO
PURCHASE MSA AIR BOTTLES USED FOR SELF-CONTAINED BREATHING APPARATUS
(SCBA)**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

RESOLUTION NO. 2021-R-063**A RESOLUTION AUTHORIZING SOLE TERRITORIAL TO AIR ONE EQUIPMENT, INC., TO PURCHASE MSA AIR BOTTLES USED FOR SELF-CONTAINED BREATHING APPARATUS (SCBA)**

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered a quote with Air One Equipment, Inc., a true and correct copy of such quote being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Contract" be entered into and executed by said Village of Tinley Park, with said Contract Extension to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 20th day of July, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 20th day of July, 2021, by the President of the Village of Tinley Park.

Village President

ATTEST:

Village Clerk

EXHIBIT 1

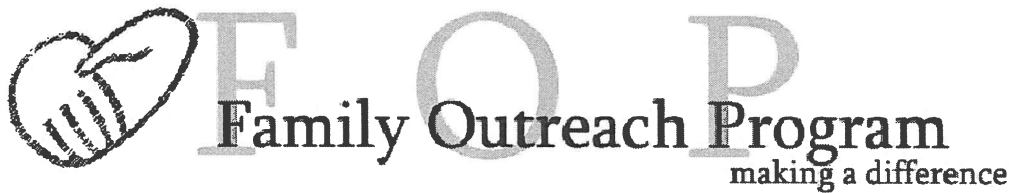
STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-063, “**A RESOLUTION AUTHORIZING SOLE TERRITORIAL TO AIR ONE EQUIPMENT, INC., TO PURCHASE MSA AIR BOTTLES USED FOR SELF-CONTAINED BREATHING APPARATUS (SCBA),**” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



2223 Plainfield Rd. Crest Hill, IL 60403

Ph. 815 730 -9567 Fax 815 846-8377 • cityoutreach@aol.com

Laura Godette
Tinley Park Village Hall
16250 S. Oak Park Avenue
Tinley Park, Illinois 60477
(708) 444-5000 Fax 708 444-5099

July 8, 2021

Dear Mayor and City Council,

Greetings. We of the Family Outreach Program would like to express our deep appreciation for your times in the past when you have granted permission to conduct a fundraiser for our area charity.

The Family Outreach Program is an Illinois registered not for profit organization, Illinois Tax exempt ID #E9942-4614-01, and a 501(c)(3) federal non-profit-human service agency. It is one of the largest distributors of food to the needy in the Greater Chicago Counties as documented by the Northern Illinois Food Bank.

If possible, we wish to request a TAG DAY in the Village of Tinley Park for August 6 and 7, 2021. Locations of the Tag Day would be intersections within the Village of Tinley Park that are permitted, where stop light intersections exist. For example, Harlem and 175th, Harlem and 163rd, Southside of 88th and Route 6, 88th and 167, and 88th and 175th. We will send you a certificate of liability through Illinois Securities for the above dates if the dates are acceptable.

If you have any further questions, please contact us at the above number. Also, we would be happy to mention your kindness in our local publications.

Again, we are deeply grateful for your attention and concern for this aid program.

Thank you and have a nice day.

Sincerely, 

Lawrence George, Program Manager

INTERNAL REVENUE SERVICE
P. O. BOX 2508
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: **AUG 15 2002**

FAMILY OUTREACH PROGRAM INC
2223 PLAINFIELD RD
CREST HILL, IL 60435

Employer Identification Number:
36-4270767
DLN:
17053144003002
Contact Person:
HIRAM LEE HARVILLE ID# 31257
Contact Telephone Number:
(877) 829-5500
Accounting Period Ending:
January 31
Form 990 Required:
Yes
Addendum Applies:
No

Dear Applicant:

Based on information supplied, and assuming your operations will be as stated in your application for recognition of exemption, we have determined you are exempt from federal income tax under section 501(a) of the Internal Revenue Code as an organization described in section 501(c)(3).

We have further determined that you are not a private foundation within the meaning of section 509(a) of the Code, because you are an organization described in sections 509(a)(1) and 170(b)(1)(A)(vi).

If your sources of support, or your purposes, character, or method of operation change, please let us know so we can consider the effect of the change on your exempt status and foundation status. In the case of an amendment to your organizational document or bylaws, please send us a copy of the amended document or bylaws. Also, you should inform us of all changes in your name or address.

As of January 1, 1984, you are liable for taxes under the Federal Insurance Contributions Act (social security taxes) on remuneration of \$100 or more you pay to each of your employees during a calendar year. You are not liable for the tax imposed under the Federal Unemployment Tax Act (FUTA).

Since you are not a private foundation, you are not subject to the excise taxes under Chapter 43 of the Code. However, if you are involved in an excess benefit transaction, that transaction might be subject to the excise taxes of section 4958. Additionally, you are not automatically exempt from other federal excise taxes. If you have any questions about excise, employment, or other federal taxes, please contact your key district office.

Grantors and contributors may rely on this determination unless the Internal Revenue Service publishes notice to the contrary. However, if you lose your section 509(a)(1) status, a grantor or contributor may not rely on this determination if he or she was in part responsible for, or was aware of, the act or failure to act, or the substantial or material change on the

Letter 947 (DO/CG)



OFFICE OF THE ATTORNEY GENERAL
STATE OF ILLINOIS

Kwame Raoul
ATTORNEY GENERAL

April 6, 2021

FAMILY OUTREACH PROGRAM, INC.
2223 PLAINFIELD RD.
CREST HILL, IL 60435

RE: RE: Status of FAMILY OUTREACH PROGRAM, INC. under the Illinois Charitable
Laws
CO# 01034822

Dear Registrant:

This letter is pursuant to your request that the Attorney General confirm the status of
FAMILY OUTREACH PROGRAM, INC. under the Charitable Organization Laws.

This organization is currently registered with the Attorney General's Charitable Trust and
Solicitations Bureau as CO# 01034822. It is current in the filing of its financial reports, having
filed its report for the period ended January 31, 2020. Please let us know if you require further
information.

Sincerely,

Christopher Flint, Compliance Officer II
Charitable Trusts Bureau
100 West Randolph Street, 11th Floor
Chicago, IL 60601-3175
(312) 814-5840





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

07/08/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER

Illinois Securities Company
327 Republic Ave
Joliet, IL 60435

CONTACT

NAME: Beverly Reeves

PHONE

(A/C, No, Ext): (815)729-4664

FAX

(A/C, No): (815)729-9351

E-MAIL

ADDRESS: beverly@ilsecurities.com

INSURER(S) AFFORDING COVERAGE

NAIC #

INSURER A: Arlington/Roe & Co.

INSURER B:

INSURER C:

INSURER D:

INSURER E:

INSURER F:

INSURED

Family Outreach Program, Inc
Larry George
2405 Essington Rd
#59
Joliet, IL 60435

COVERAGES

CERTIFICATE NUMBER: 00000688-878210

REVISION NUMBER: 76

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:		WS441928	09/21/2020	09/21/2021	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPI/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A			PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Family Outreach Program, Inc. solicitation event: August 6 & 7, 2021
attn: Laura Godette
Fax: 708.444.5099

CERTIFICATE HOLDER

Village of Tinley Park
attn: Laura Godette
16250 S Oak Park Ave.
Tinley Park, IL 60477

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Beverly F. Reeves

(BFR)

BLOCK PARTY APPLICATION

Village of Tinley Park
 16250 South Oak Park Avenue, Tinley Park, Illinois 60477
 Phone: 444-5000

Representative: _____
 Address: _____ Phone: _____
 Organization: _____
 Specific Location of Party: _____
 Request Date: _____
 Time: _____ a.m./p.m. To: _____ a.m./p.m.
 Purpose: _____
 Person or Persons In Charge:
 Name: _____ Phone: _____
 Name: _____ Phone: _____
 Name: _____ Phone: _____
 Number of Barricades Needed: _____ DO NOT USE VEHICLES AS BARRICADES.

PLEASE NOTE

The applicants have the responsibility of ascertaining that the street is not blocked in such a manner as to cause delay in the performance of emergency duties by the police department, fire department, ambulance or public works department. It is recommended that there be no parking on the hydrant side of the street. (moveable road block, refreshments served from curb, no large vehicles parked on street, no entertainment, music boxes or band blocking street).

A person or persons shall be responsible for the removal of any road block in the event of an emergency.

The applicants are responsible for any injury, damage to property or illegal actions during the block party.

The applicants are responsible for maintaining order and obedience to the village, county, and state laws.

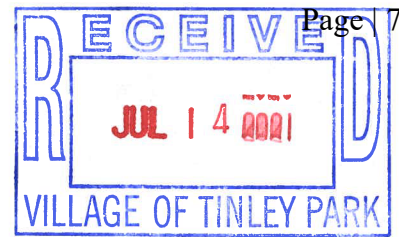
In the event that there should be directive, written or oral, from the police department to discontinue the party for proper reasons, then the applicants must comply.

Signed: _____

VILLAGE USE ONLY

Fire Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Police Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Village Clerk:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>

Permits & Licenses Committee: _____

**BLOCK PARTY APPLICATION**

Village of Tinley Park

16250 South Oak Park Avenue, Tinley Park, Illinois 60477

Phone: 444-5000

Representative: Carly Richardson

Address: _____

Phone: _____

Organization: N/ASpecific Location of Party: 16700 Block of Oconto Ave 16708 to SANDY LANERequest Date: August 21, 2021Time: 3:00 a.m./p.m. To: 10:00 a.m./p.m.Purpose: Meet new neighbors

Person or Persons In Charge:

Name: Carly Richardson

Phone: _____

Name: _____

Phone: _____

Name: _____

Phone: _____

Number of Barricades Needed: 4 DO NOT USE VEHICLES AS BARRICADES.**PLEASE NOTE**

The applicants have the responsibility of ascertaining that the street is not blocked in such a manner as to cause delay in the performance of emergency duties by the police department, fire department, ambulance or public works department. It is recommended that there be no parking on the hydrant side of the street. (moveable road block, refreshments served from curb, no large vehicles parked on street, no entertainment, music boxes or band blocking street).

A person or persons shall be responsible for the removal of any road block in the event of an emergency.

The applicants are responsible for any injury, damage to property or illegal actions during the block party.

The applicants are responsible for maintaining order and obedience to the village, county, and state laws.

In the event that there should be directive, written or oral, from the police department to discontinue the party for proper reasons, then the applicants must comply.

Signed: Carly Richardson**VILLAGE USE ONLY**

Fire Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Police Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Village Clerk:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>

Permits & Licenses Committee: _____

DUE TO COVID-19 RESTRICTIONS, THE VILLAGE WILL ONLY APPROVE BLOCK PARTIES
OF 50 PEOPLE OR LESS

BLOCK PARTY APPLICATION

Village of Tinley Park
16250 South Oak Park Avenue, Tinley Park, Illinois 60477
Phone: 444-5000

Representative: Joy Gallivan
Address: [REDACTED] Phone: [REDACTED]
Organization: _____
Specific Location of Party: Almond Ave (between 92nd Ave + Greenwood Drive)
Request Date: 9/11/2021
Time: 1:00 a.m./(p.m.) To: 10:00 a.m./(p.m.)
Purpose: _____
Person or Persons In Charge:
Name: Joy Gallivan Phone: [REDACTED]
Name: Keri Bottom Phone: [REDACTED]
Name: Lisa Brothen Phone: [REDACTED]
Number of Barricades Needed: 2 DO NOT USE VEHICLES AS BARRICADES.

PLEASE NOTE

The applicants have the responsibility of ascertaining that the street is not blocked in such a manner as to cause delay in the performance of emergency duties by the police department, fire department, ambulance or public works department. It is recommended that there be no parking on the hydrant side of the street. (moveable road block, refreshments served from curb, no large vehicles parked on street, no entertainment, music boxes or band blocking street).

A person or persons shall be responsible for the removal of any road block in the event of an emergency.

The applicants are responsible for any injury, damage to property or illegal actions during the block party.

The applicants are responsible for maintaining order and obedience to the village, county, and state laws.

In the event that there should be directive, written or oral, from the police department to discontinue the party for proper reasons, then the applicants must comply.

Signed: Joy Gallivan

VILLAGE USE ONLY

Fire Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Police Chief:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>
Village Clerk:	Approved <input type="checkbox"/>	Not Approved <input type="checkbox"/>

Permits & Licenses Committee: _____

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Voucher List
Village of Tinley Park

Bank code : ap_ff

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
51121	5/11/2021	003511 CULLIGAN WATER CONDITIONING	46185		BOTTLE FREE COOLER, FILTER, E	
					36-00-000-73845	142.00
					Total :	142.00
51521	5/15/2021	020085 RTIC	051521		36 OZ BOTTLES, WIDE MOUTH LID	
					36-00-000-73845	2,441.66
					Total :	2,441.66
511212	5/11/2021	003511 CULLIGAN WATER CONDITIONING	46186		BOTTLE FREE COOLERS	
					36-00-000-73845	624.00
					Total :	624.00
3 Vouchers for bank code : ap_ff						Bank total : 3,207.66

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192806	7/2/2021	002856 AIRY'S, INC	24897	VTP-018508	POST 4 IMPROVEMENT PROJECT~ 61-00-000-75320	54,947.70
					Total :	54,947.70
192807	7/2/2021	011466 ALBERTSONS/SAFEWAY	062821		****0415 VENDING AND BRAD'S RE 01-14-000-73115	3.99
					01-15-000-72220	19.95
					Total :	23.94
192808	7/2/2021	018781 ALTORFER INDUSTRIES INC	58R000184		RETURN OF FRICTION LOC AND SC 01-26-023-72530	-88.69
			P58C0001493		GLASS	
					01-26-023-72530	217.72
			P58R0000165		FRICTION LOC AND SCREW RETUF 01-26-023-72530	-88.69
					Total :	40.34
192809	7/2/2021	002628 AMERICAN WATER	063021		JUNE'21 SEWER TREATMENT BRO 64-00-000-73225	46,556.64
					Total :	46,556.64
192810	7/2/2021	020071 AMSIVE LLC	546820		CASS/NCOA ONE CUSTOMER SUP 60-00-000-72310	105.00
					64-00-000-72310	45.00
			546823		LATE NOTICES FOR JUNE 2021	
					60-00-000-72310	243.66
					64-00-000-72310	104.42
					60-00-000-72110	348.81
					64-00-000-72110	149.49
			546824		JUNE 1ST 2021 WATER BILLS	
					60-00-000-72310	1,153.50
					64-00-000-72310	494.35
					Total :	2,644.23
192811	7/2/2021	014936 AQUAMIST PLUMBING & LAWN	112512	VTP-018321	IRRIGATION RPZ TESTING LAGRAM 01-26-023-72790	121.00
					Total :	121.00

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192812	7/2/2021	014511 AREA LANDSCAPE SUPPLY, INC.	2072433		SOD 01-26-023-73680	22.50
					Total :	22.50
192813	7/2/2021	012372 B & K EQUIPMENT COMPANY	0000414648	VTP-018468	OIL SPILL BUCKET 01-26-025-72530	3,000.00
					Total :	3,000.00
192814	7/2/2021	018807 BAXTER & WOODMAN INC	0224377		1808229.20 PHASE 1 - GIS UPDATE 60-00-000-75813 63-00-000-75813 64-00-000-75813	517.13 517.13 443.24
					Total :	1,477.50
192815	7/2/2021	002974 BETTENHAUSEN CONSTRUCTION SERV	210089		SEMI TRUCK TIME FOR HAULING S 01-26-023-72890 60-00-000-73681 63-00-000-73681 64-00-000-73681	630.00 170.10 44.10 55.80
			210090		SEMI TRUCK TIME FOR HAULING S 01-26-023-72890 60-00-000-73681 63-00-000-73681 64-00-000-73681	135.00 198.45 22.05 94.50
					Total :	1,350.00
192816	7/2/2021	020088 BUCKLEY, KEITH	050521		HALF PAYMENT FOR CANCELLED € 01-35-000-72923	375.00
					Total :	375.00
192817	7/2/2021	020145 BYLINE BANK	Ref001407191		UB Refund Cst #00504279 60-00-000-20599	36.84
					Total :	36.84
192818	7/2/2021	003396 CASE LOTS INC	5331		PAPER TOWELS 01-26-025-73580	231.20
			5332		TOILET PAPER	

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Voucher List
Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192818	7/2/2021	003396 CASE LOTS INC	(Continued)		01-26-025-73580	299.40
					Total :	530.60
192819	7/2/2021	003229 CED/EFENGEE	5025-1001616		FLUOR LAMP 01-26-025-72520	240.00
					Total :	240.00
192820	7/2/2021	015199 CHICAGO PARTS & SOUND LLC	2-0000832		PUSH BUMPER 01-17-205-72540	999.00
					Total :	999.00
192821	7/2/2021	016572 CHRISTIANSEN, PAULA	062321		PURCHASED STICKER AND SOLD \	1.50
					06-00-000-79005	1.50
					Total :	1.50
192822	7/2/2021	013820 CINTAS CORPORATION	4088425471		MATS- PW GARAGE 01-26-025-72790	185.64
			4088654330		MATS - PD 01-26-025-72790	89.31
					Total :	274.95
192823	7/2/2021	013892 COMED	6771163052		ACCT#6771163052 RT25 TRAFFIC S	1,387.73
					01-26-024-72510	1,387.73
					Total :	1,387.73
192824	7/2/2021	013878 COMED - COMMONWEALTH EDISON	0052035006		ACCT#0052035006 6720 SOUTH ST	1,338.47
			0363058226		01-26-025-72510 ACCT#0363058226 TFLT 9340 W 17	65.49
			0369095018		01-26-024-72510 ACCT#0369095018 6761 N. ST 5/20-	216.30
			0522112018		01-26-024-72510 ACCT#0522112018 RT/25 PARKING	32.21
			1224165129		01-26-024-72510 ACCT#1224165129 7053 W 183RD S	204.70
			2761036017		01-26-024-72510 ACCT#2761036017 MCDONNELL DE	

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Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192824	7/2/2021	013878 COMED - COMMONWEALTH EDISON	(Continued)			
			3784064010		01-26-024-72510 ACCT#3784064010 16301 CENTRAL	46.26
					60-00-000-72510	101.42
					63-00-000-72510	101.42
			6771163043		ACCT#6771163043 87TH AVE 3PS 1	
					01-26-024-72510	2,970.98
			7063131025		ACCT#7063131025 7813 174TH ST	
					64-00-000-72510	33.65
			7398024011		ACCT#7398024011 7000 W 183RD S	
					01-26-024-72510	67.85
					Total :	5,178.75
192825	7/2/2021	018234 CORE & MAIN LP	P061065		METER SUPPLIES	
				VTP-018502	60-00-000-74175	1,799.00
				VTP-018502	64-00-000-74175	771.00
					60-00-000-73630	212.94
					63-00-000-73630	23.66
					64-00-000-73630	101.40
			P107029		EZ VALVE	
				VTP-018522	60-00-000-73630	2,138.22
				VTP-018522	63-00-000-73630	237.58
				VTP-018522	64-00-000-73630	1,018.20
			P112136		ULTSLV - WIDE RANGE BELL	
					60-00-000-73630	1,295.33
					63-00-000-73630	143.93
					64-00-000-73630	616.82
					Total :	8,358.08
192826	7/2/2021	017650 CRASH CHAMPIONS LLC-MOKENA	10603188		LEFT FRONT BUMPER DAMAGE UN	
				VTP-018491	01-17-205-72540	1,500.34
					Total :	1,500.34
192827	7/2/2021	003635 CROSSMARK PRINTING, INC	82990		BUSINESS CARDS D.NAVAS	
					01-17-205-72310	36.65
			83085		VEHICLE ENFORCEMENT FORM 4	
					01-17-205-72310	495.90

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Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192827	7/2/2021	003635 003635 CROSSMARK PRINTING, INC	(Continued)		Total :	532.55
192828	7/2/2021	020142 DECKINGA, DERK	062421		DUPLICATE STICKERS PURCHASE 06-00-000-79005	3.00
					Total :	3.00
192829	7/2/2021	003864 DITCH WITCH MIDWEST	PSO104778-1		EXT LIFE HDD LITHIUM 01-26-024-72530	83.68
					Total :	83.68
192830	7/2/2021	004152 ECOLAB PEST ELIMINATION INC.	4732857		COCKROACH/RODENT PROGRAM 01-26-025-72790	573.44
			4732858		COCKROACH/RODENT PROGRAM 01-26-025-72790	86.48
					Total :	659.92
192831	7/2/2021	004094 EJ EQUIPMENT INC.	P30187		CLAMPS FOR HOSE 60-00-000-72530 63-00-000-72530 64-00-000-72530	61.70 20.57 35.26
					Total :	117.53
192832	7/2/2021	011176 ELEMENT GRAPHICS & DESIGN, INC	17756		FORD INTERCEPTOR KIT DECALS 01-17-205-72540	539.90
			17761		2015 EXPLORER UNIT 15A REPAIR 01-17-205-72540	111.91
					Total :	651.81
192833	7/2/2021	004019 EVON'S TROPHIES & AWARDS	061521		NAME BADGE R.EARLEY 01-12-000-73110	12.30
					Total :	12.30
192834	7/2/2021	018480 FARNSWORTH GROUP	225894		0170121.27 VTP BROOKSIDE GLEN 01-33-310-72847	742.50
					Total :	742.50
192835	7/2/2021	004756 FIRST MIDWEST BANK 312	312-2031		SAFE DEPOSIT RENT 312-2031 01-17-205-73600	137.00

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192835	7/2/2021	004756 004756 FIRST MIDWEST BANK 312	(Continued)		Total :	137.00
192836	7/2/2021	012941 FMP	52-486344		ALTERNATOR CORE CHARGE	
			52-48876		01-21-000-72540	-47.04
			52-488820		PART FOR GAS NATURALLY ASPIR	138.32
					01-33-300-72540	
					CORE CREDIT	-16.00
					01-33-300-72540	
					Total :	75.28
192837	7/2/2021	017852 FUN EXPRESS, INC.	710322606-01		YARD STAKES,LEIS FOR BLOCK PA	
					01-35-000-72923	392.14
					Total :	392.14
192838	7/2/2021	004298 FUN FUN FUN DJ'S	061521.		CRUISE NIGHT DJ SVC FOR JULY 1	
					01-35-000-72923	175.00
					Total :	175.00
192839	7/2/2021	002877 G. W. BERKHEIMER CO., INC.	889835		KLEEN PLEAT	
					01-26-025-72520	130.14
					Total :	130.14
192840	7/2/2021	020147 GIBBS, ALYSSA	Ref001407193		UB Refund Cst #00511884	
					60-00-000-20599	66.53
					Total :	66.53
192841	7/2/2021	004438 GRAINGER	9943102450	VTP-018527	COFFEE MAKER	
					01-17-205-73600	956.42
					Total :	956.42
192842	7/2/2021	017373 HEARTLINE FITNESS SYSTEMS	130318		TEST CARDIOVASCULAR EQUIPME	
					01-17-205-72530	195.00
					Total :	195.00
192843	7/2/2021	010238 HOME DEPOT CREDIT SERVICES	062521		****2304 MOP REFILL AND BUCKET	
					01-26-025-73580	94.91
					Total :	94.91

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Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192844	7/2/2021	012328 HOMER INDUSTRIES	S164949		DROP CHARGE - CHIPS 01-26-023-72890	50.00
					Total :	50.00
192845	7/2/2021	011032 HUB INTERNATIONAL MIDWEST LTD.	2328042		4YEAR NOTARY BOND FOR K.THIR 01-13-000-72720	20.00
					Total :	20.00
192846	7/2/2021	017779 HUNTER EQUIPMENT SERVICE OF	CHI020-3199		LEVERLESS INSERTS - TIRE MACH 01-26-025-72520	22.00
					Total :	22.00
192847	7/2/2021	004978 ILLINOIS ASSOC OF CHIEFS OF	8367		SAFE-T ACT TRAINING 6/29/21 S.TE 01-17-205-72140	90.00
					Total :	90.00
192848	7/2/2021	015497 ILLINOIS SECRETARY OF STATE	062921		NOTARY COMMISSION FOR K.THIR 01-13-000-72720	10.00
					Total :	10.00
192849	7/2/2021	005127 INGALLS OCCUPATIONAL MEDICINE	296264		EMPLOYMENT SCREENING MAY 20 01-14-000-72985 01-26-025-72446 01-35-000-72446	70.00 126.00 124.00
					Total :	320.00
192850	7/2/2021	020143 INTEGRATED MORTGAGE LENDING	Ref001407189		UB Refund Cst #00479781 60-00-000-20599	35.01
					Total :	35.01
192851	7/2/2021	017866 J & J NEWELL CONCRETE	21-5807		FALL 2020 SIDEWALK REPLACEME 01-26-023-75200	39,757.71
					Total :	39,757.71
192852	7/2/2021	005251 J AND R SALES AND SERVICE INC.	0343216		BLOWER NOZZLES AND CHAIN LO 01-26-023-73410	287.97
			0343295		CHAIN RAPID MICRO 01-26-023-73410	97.68

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192852	7/2/2021	005251 005251 J AND R SALES AND SERVICE INC.	(Continued)			Total : 385.65
192853	7/2/2021	019630 JOTFORM, INC.	06282108	VTP-018529	ONLINE FORM BUILDER 01-16-000-72655	4,740.00
					Total :	4,740.00
192854	7/2/2021	020141 KINSELLA, JOSEPH	062821		STICKER REIMB FOR VEHICLE SOL 06-00-000-79005	25.00
					Total :	25.00
192855	7/2/2021	020146 KROLCZYK, ARON	Ref001407192		UB Refund Cst #00509304 60-00-000-20599	11.64
					Total :	11.64
192856	7/2/2021	011258 LONDON, SONNY	062321		LUNCH PER DIEM FOR TRI-RIVER F 01-17-220-72140	15.00
					Total :	15.00
192857	7/2/2021	019023 M & F SERVICES ONE INC	2328		TESTING AND CERT OF 3/4 WATTS 01-26-025-72790	100.00
					Total :	100.00
192858	7/2/2021	013969 MAP AUTOMOTIVE OF CHICAGO	40-618856		REAR ROTOR VENTED 01-17-205-72540	33.04
			40-619106		LOCK RING AND MODULE KIT 01-21-000-72540	218.21
			40-619399		CORE CREDIT 01-17-205-72540	-48.00
					Total :	203.25
192859	7/2/2021	012631 MASTER AUTO SUPPLY, LTD.	062821		BELT TENSIONER 01-26-023-72540	99.63
			15030-104478		28 XTRACLEAR 01-26-023-72530	17.98
					Total :	117.61
192860	7/2/2021	017828 MC DONOUGH, JAMES & KATHERINE	Ref001407188		UB Refund Cst #00471088; Rfnd dup 60-00-000-20599	164.34

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Voucher List
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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192860	7/2/2021	017828	017828 MC DONOUGH, JAMES & KATHERIN (Continued)		Total :	164.34
192861	7/2/2021	005645	MEADE ELECTRIC COMPANY INC.	696686	TRAFFIC SIGNAL MAINTENANCE 01-26-024-72775	495.00
					Total :	495.00
192862	7/2/2021	006074	MENARDS	6821	SIDECUT PLIER,STOPS RUST, TOP 01-26-023-73410	35.39
				6822	TOP RAIL BLK 01-26-023-73410	46.98
				6969	PL LANDSCAPE BLOCK ADH 10OZ 01-26-025-72520	19.96
				6970	SCREWDRIVER AND GRAFFITI REM 01-26-025-73410	9.49
					01-26-025-72520	8.48
				7172	BLUEBLEND MOPO HEAD AND EME 01-26-025-73580	27.96
					01-35-000-72954	19.40
				7212	RETURN MOP HEADS 01-26-025-73580	-27.96
				7293	DAWN,CLEANER,SOFT SOAP,HOO 01-26-025-73580	26.90
					01-35-000-72954	13.78
				7297	AIR HOSE,ENDCUT BLD CARBIDE,I 01-26-025-73410	232.92
				7342	PRO PAINT, BRUSH,ROLLER TRAY 01-26-024-73620	43.42
				7353	VH SINK PARTS 01-26-025-72520	23.96
				7403	CORNER BRACE,WOOD SCREW F 01-26-025-72520	2.76
					Total :	483.44
192863	7/2/2021	005856	MONROE TRUCK EQUIPMENT,INC.	331508	SWITCH CIRCUIT BREAKER 01-21-000-72540	36.23
					Total :	36.23

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Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192864	7/2/2021	015723 NICOR	01981510009		ACCT#01981510009 METER3968961 01-26-025-72511	40.91
			53463710003		ACCT#53463710003 METER 291221 01-26-025-72511	46.10
			54072310003		ACCT#54072310003 METER 435331 01-26-025-72511	809.93
			64423710009		ACCT#64423710009 METER 335839 01-26-025-72511	253.82
			73675410002		ACCT#73675410002 METER 356130 01-26-025-72511	1,098.79
			74433410003		ACCT#74433410003 METER 357540 01-26-025-72511	40.91
			83523710008		ACCT#83523710008 METER 302620 01-26-025-72511	188.34
			96019958527		ACCT#96019958527 METER 458266 01-26-025-72511	161.08
Total :						2,639.88
192865	7/2/2021	006221 NORTHERN SAFETY CO. INC.	904451193		NITRILE GLOVES 01-26-025-73580	359.90
Total :						359.90
192866	7/2/2021	006475 PARK ACE HARDWARE	065923/1		ACCT#891432 INV 065923/1 STIFF F 01-26-023-73410	27.19
			065937/1		ACCT#891432 INV 065937/1 BOTAN 01-35-000-72954	21.08
			065939/1		ACCT#891432 INV#065939/1 HTH U 01-26-023-73550	25.56
			065940/1		ACCT#891431 INV#065940/1 RATCH 60-00-000-73110	79.50
					63-00-000-73110	8.83
					64-00-000-73110	37.86
			065941/1		ACCT#891432 INV 065941/1 SCREW 01-26-023-73410	5.59
			065954/1		ACCT#891432 INV 065954/1 CABLE 01-26-023-73410	35.16
			065983/1		ACCT#891432 INV 065983/1 FATMA	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192866	7/2/2021	006475 PARK ACE HARDWARE	(Continued)		01-26-023-73410	15.99
			065987/1		ACCT#891432 INV 065987/1 GREAS	
					60-00-000-73410	12.08
					63-00-000-73410	1.34
					64-00-000-73410	5.76
					Total :	275.94
192867	7/2/2021	006597 PITNEY BOWES PURCHASE POWER	062821		ACCT#8000-9000-0107-6300 POSTA	
					01-33-300-72110	235.18
					01-41-040-72110	51.66
					01-13-000-72110	126.85
					01-17-217-72110	41.00
					01-19-020-72110	19.89
					01-35-000-72110	87.46
					01-33-310-72110	198.39
					06-00-000-72110	1,153.61
					01-41-050-72110	9.60
					60-00-000-72110	394.98
					64-00-000-72110	169.28
					01-14-000-72110	1,074.15
					Total :	3,562.05
192868	7/2/2021	015491 PIZZO & ASSOCIATES, LTD.	24615		FAIRFILED GLEN POND RESTORAT	
				VTP-017818	30-00-000-73681	2,505.24
					Total :	2,505.24
192869	7/2/2021	020144 REMAX SYNERGY	Ref001407190		UB Refund Cst #00498388	
					60-00-000-20599	106.79
					Total :	106.79
192870	7/2/2021	015230 RIDGE LANDSCAPE SERVICES LLC	7748		MOWING MULT LOCATIONS 5/30-6/	
			7810	VTP-018307	01-26-023-72881	40,143.90
				VTP-018457	LAWN RESTORATIONS 16759,1690	
				VTP-018457	60-00-000-72881	1,382.50
				VTP-018457	63-00-000-72881	1,382.50
				VTP-018457	64-00-000-72881	1,185.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192870	7/2/2021	015230	015230 RIDGE LANDSCAPE SERVICES LLC (Continued)		Total :	44,093.90
192871	7/2/2021	006974	RINGHOFER, WILLIAM	060121	HEALTH INSURANCE REIMB - JUNE 01-17-205-72435	642.50
					Total :	642.50
192872	7/2/2021	013442	ROADSAFE-TRAFFIC SYSTEMS,INC	132983	SAFETY CONES	
				VTP-018443	01-26-023-73845	640.00
				VTP-018443	01-26-024-73845	320.00
				VTP-018443	60-00-000-73845	640.00
					Total :	1,600.00
192873	7/2/2021	006922	RUBINO'S ITALIAN IMPORTS	062821	BENCHES ON THE AVE JUDGING 01-35-000-72954	48.95
					Total :	48.95
192874	7/2/2021	007049	RYDIN	380800	NO SOLICITOR DECAL 01-13-000-72310	275.00
					Total :	275.00
192875	7/2/2021	007629	SAM'S CLUB DIRECT	062121.	WATER FOR EMA GARAGE 01-21-000-72220	20.16
			062821		B.BETTENHAUSEN RETIREMENT N 01-26-024-73115	10.96
					01-26-023-73115	21.91
					60-00-000-73115	7.67
					63-00-000-73115	7.67
					64-00-000-73115	6.57
					01-15-000-72220	107.28
			063021		ICE FOR BRAD'S RETIREMENT PAF 01-15-000-72220	11.45
					Total :	193.67
192876	7/2/2021	007092	SAUNORIS	663329	SOD AND PALLET 01-26-023-73680	170.00
				663330	PALLET REFUND 01-26-023-73680	-19.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192876	7/2/2021	007092 007092 SAUNORIS	(Continued)		Total :	151.00
192877	7/2/2021	019814 SHI INTERNATIONAL CORP	B13696968	VTP-018528	VIRTUALIZATION SOFTWARE LICEI 01-16-000-72655	12,537.00
					Total :	12,537.00
192878	7/2/2021	012238 STAPLES BUSINESS ADVANTAGE	3479496433		LEGAL PAPER AND PAPER CLIPS 01-14-000-73110	31.61
			3479496435		INK STAMPS 01-17-205-73110	18.99
			3479961895		LABELS,FOLDER,TONER 01-17-205-73110	245.77
			3479961896		TONER 01-17-205-73110	246.58
					Total :	542.95
192879	7/2/2021	014793 STS TOWING	8501		FLATBED 01-21-000-72540	50.00
					Total :	50.00
192880	7/2/2021	007205 SUBURBAN LABORATORIES INC.	190800		LEAD AND COPPER TESTING 60-00-000-72865	1,662.50
					64-00-000-72865	712.50
					Total :	2,375.00
192881	7/2/2021	007297 SUTTON FORD INC./FLEET SALES	530888		SOCKET AND WIRE ASY 01-17-205-72540	292.61
					Total :	292.61
192882	7/2/2021	011248 TEMPERATURE EQUIPMENT CORP.	6823465-00		PARTS FOR RT TOWER AC 01-26-025-72520	23.45
					Total :	23.45
192883	7/2/2021	007777 THOMPSON ELEVATOR INSPECTION	21-1755		1 INFO REPORT,48 SEMI ANNUAL E 01-33-300-72853	1,938.00
					Total :	1,938.00
192884	7/2/2021	019192 TINLEY PARK CONVENTION CENTER	0601-dpfbk0476920002		BOOKING FEE 5/16/21-5/30/21 CON	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192884	7/2/2021	019192 TINLEY PARK CONVENTION CENTER	(Continued)		01-21-000-72750	150,000.00
					Total :	150,000.00
192885	7/2/2021	007800 TK ELEVATOR CORPORATION	3005987402		MAINTENANCE FOR ELEVATOR FIF 01-26-025-72790	855.00
					Total :	855.00
192886	7/2/2021	014510 TRUGREEN	140953516		LAWN TREATMENT WATERSFORD	
				VTP-018310	01-26-023-72881	90.00
			141008492		LAWN TREATMENT RETENTION AR	
				VTP-018310	01-26-023-72881	575.00
			141260087		LAWN TREATMENT - 167TH ST MEI	
				VTP-018310	01-26-023-72881	40.00
			141262305		LAWN TREATMENT 167TH ST PUM	
				VTP-018310	01-26-023-72881	90.00
			141265616		LAWN TREATMENT VH	
				VTP-018310	01-26-023-72881	90.00
					Total :	885.00
192887	7/2/2021	015456 TUGEND, ALLISON	070121		B.BETTENHAUSEN RETIREMENT P. 01-15-000-72220	353.40
					Total :	353.40
192888	7/2/2021	004106 TYLER TECHNOLOGIES, INC	045-345126		EDEN LICENSING WEB EXTENTION	
				VTP-018022	30-00-000-74167	3,260.00
					Total :	3,260.00
192889	7/2/2021	002165 ULINE, INC	135122607		CUBE BOXES	
					01-26-023-73110	44.06
					60-00-000-73110	27.76
					63-00-000-73110	3.08
					64-00-000-73110	13.23
					01-26-024-73110	22.03
			135124672		FLR STAND AND PROTECTIVE INSE	
					01-35-000-73870	249.79
					Total :	359.95

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192890	7/2/2021	008040 UNDERGROUND PIPE & VALVE CO	049320-01		PLUMBING SUPPLIES	
				VTP-018494	60-00-000-73630	74.34
				VTP-018494	63-00-000-73630	8.26
				VTP-018494	64-00-000-73630	35.40
					Total :	118.00
192891	7/2/2021	008095 VISSERS COLLISION CENTER	160001239		LEFT FRONT DAMAGE TO UNIT 20A	
				VTP-018530	01-17-205-72540	1,043.47
					Total :	1,043.47
192892	7/2/2021	010165 WAREHOUSE DIRECT WORKPL SOLTNS 4984212-0			CHAIRS	
					01-26-023-73110	470.94
					Total :	470.94
192893	7/2/2021	020087 WHISKEY ROAD	050521		PERFORMANCE OF WHISKEY ROAD	
				VTP-018418	01-35-000-72923	750.00
					Total :	750.00
192894	7/2/2021	008221 WILLE BROTHERS COMPANY	372941		READY MIX CONCRETE	
					01-26-023-73770	694.00
					Total :	694.00
192895	7/2/2021	008226 WYMAN & COMPANY	46136		FRAMING AND MOUNTING OF RES	
					01-98-000-99000	240.00
					Total :	240.00
90 Vouchers for bank code : apbank						Bank total : 414,417.82

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3254	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ADVNET 01-14-000-72542	232.50
Total :						232.50
3255	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-2	PAYEE-ADVNET 01-14-000-72542	232.50
Total :						232.50
3256	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-3	PAYEE-ADVNET 01-14-000-72542	234.52
Total :						234.52
3257	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-4	PAYEE-ADVNET 01-14-000-72542	234.52
Total :						234.52
3258	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-5	PAYEE-ADVNET 01-14-000-72542	234.52
Total :						234.52
3259	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-ELECTROSTIM MEDCL SVC 01-14-000-72542	229.42
Total :						229.42
3260	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-2	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	275.33
Total :						275.33
3261	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	81.66
Total :						81.66
3262	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-3	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	81.66
Total :						81.66
3263	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR	201130W025	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	179.84

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3263	6/30/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	179.84
3264	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	83.78
					Total :	83.78
3265	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-2		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	83.78
					Total :	83.78
3266	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-2		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	129.08 129.07
					Total :	258.15
3267	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	149.15 149.14
					Total :	298.29
3268	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	129.08 129.07
					Total :	258.15
3269	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	132.96 132.95
					Total :	265.91
3270	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-5		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	105.42 105.41
					Total :	210.83
3271	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-6		PAYEE-PARKVIEW ORTHOPAEDIC (C) 01-14-000-72542 70-00-000-72542	129.08 129.07

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3271	6/30/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	258.15
3272	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-7		PAYEE-PARKVIEW ORTHOPAEDIC 01-14-000-72542 70-00-000-72542	129.08 129.07
					Total :	258.15
3273	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	3,006.98
					Total :	3,006.98
3274	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 70-00-000-72542	1,048.33 1,048.33
					Total :	2,096.66
3275	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 200803W006		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	1,113.02
					Total :	1,113.02
3276	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 200803W006		PAYEE-WOODLAKE MEDICAL MAN/ 01-14-000-72542	4,010.21
					Total :	4,010.21
3277	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041		PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	247.40
					Total :	247.40
3278	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028		PAYEE-INGALLS HEALTH SYSTEM 01-14-000-72542	877.53
					Total :	877.53
3279	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028-2		PAYEE-INGALLS HEALTH SYSTEM 01-14-000-72542	684.39
					Total :	684.39
3280	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028-3		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	1,347.47

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3280	6/30/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	1,347.47
3281	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028-4		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	83.78
					Total :	83.78
3282	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210622W024		PAYEE-PACE SUBURBAN BUS 01-14-000-72542	1,776.12
					Total :	1,776.12
3283	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	150.73
					70-00-000-72542	150.73
					Total :	301.46
3284	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-2		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	128.66
					70-00-000-72542	128.66
					Total :	257.32
3285	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	70.63
					70-00-000-72542	70.62
					Total :	141.25
3286	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-6		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	113.59
					70-00-000-72542	113.59
					Total :	227.18
3287	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-7		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	105.42
					70-00-000-72542	105.41
					Total :	210.83
3288	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-8		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542	105.42
					70-00-000-72542	105.41

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3288	6/30/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	210.83
3289	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	70.57
					70-00-000-72542	70.56
					Total :	141.13
3290	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008		PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,704.52
					Total :	1,704.52
3291	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210526W019		PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	2,247.68
					Total :	2,247.68
3292	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-6		PAYEE-IPMG	
					01-14-000-72542	35.68
					Total :	35.68
3293	6/30/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-7		PAYEE-ISO SERVICES, INC.	
					01-14-000-72542	11.10
					Total :	11.10
40 Vouchers for bank code : ipmq						Bank total : 24,724.20
133 Vouchers in this report						Total vouchers : 442,349.68

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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

____ Village President

____ Village Clerk

____ Date

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192896	7/9/2021	013709 3E CO ENVIR.ECOLOG.ENG.	UO21061451		RENEWAL OF SDS MANAGEMENT	
				VTP-018547	01-26-023-73845	341.00
				VTP-018547	01-26-024-73845	170.50
				VTP-018547	60-00-000-73845	213.13
				VTP-018547	63-00-000-73845	25.58
				VTP-018547	64-00-000-73845	102.29
					Total :	852.50
192897	7/9/2021	020120 ABOUT FACE ART	061421		AIRBRUSH TATTOOS FOR BLOCK F	
				VTP-018506	01-35-000-72923	500.00
					Total :	500.00
192898	7/9/2021	010318 ADVOCATE CHRIST MEDICAL CNTR	060721		CPR SUPPLIES - 10HEARTSAVER C	
					01-19-020-73606	200.00
					Total :	200.00
192899	7/9/2021	014341 AFTERMATH, INC.	JC2021-4692		BIO-HAZARDOUS CLEANING 6/30/2	
					01-17-205-72750	155.00
					Total :	155.00
192900	7/9/2021	018932 ALOHA CHICAGO ENTERTAINMENT	051321.		3 LUAU SHOWS AT BLOCK PARTY	
				VTP-018409	01-35-000-72923	500.00
					Total :	500.00
192901	7/9/2021	002418 AMERICAN LEGION POST NO. 615	070321		MEMORIAL DAY LUNCHEON	
					01-41-050-72220	350.00
					Total :	350.00
192902	7/9/2021	002628 AMERICAN WATER	4000216929		JULY'21 FLAT MONTHLY FEE	
					64-00-000-73225	455.67
					Total :	455.67
192903	7/9/2021	014936 AQUAMIST PLUMBING & LAWN	112409		IRRIGATION 6/21/21 LAGRANGE ME	
				VTP-018321	01-26-023-72790	583.75
					Total :	583.75
192904	7/9/2021	003166 B & J TOWING AND AUTO REPAIR	18820		SAFETY INSPECTION	

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192904	7/9/2021	003166 B & J TOWING AND AUTO REPAIR	(Continued)		01-26-024-72266	25.00
					01-26-023-72266	112.00
					60-00-000-72266	34.65
					63-00-000-72266	34.65
					64-00-000-72266	29.70
					Total :	236.00
192905	7/9/2021	003359 BACKFLOW SOLUTIONS INC	6391		VTP CROSS CONNECTION CONTRI	
					60-00-000-72790	2,969.91
			6392		ANNUAL SUBSCRIPTION FEE	
					60-00-000-72790	495.00
					Total :	3,464.91
192906	7/9/2021	010953 BATTERIES PLUS - 277	P41066086		SKA 12-8F BATTERY	
					14-00-000-74150	140.00
			P41256745		SLA12-12F2 BATTERY	
					14-00-000-74150	153.88
					Total :	293.88
192907	7/9/2021	020104 BAZILLION SONGS LLC	051321		FOR THE PERFORMANCE OF TROF	
				VTP-018453	01-35-000-72923	1,300.00
					Total :	1,300.00
192908	7/9/2021	012966 BOLING, THOMAS	6-21(A)		SHAREPOINT MAINTENANCE JUN'2	
				VTP-018477	01-16-000-72650	562.50
			6-21(B)		SHAREPOINT AD HOC SVC AND TR	
					01-16-000-72650	1,368.75
					Total :	1,931.25
192909	7/9/2021	020105 CADILLAC GROOVE	051321		FOR THE PERFORMANCE OF CADI	
				VTP-018454	01-35-000-72923	1,300.00
					Total :	1,300.00
192910	7/9/2021	003406 CDS OFFICE TECHNOLOGIES	INV1382866		PANASONIC LEATHER POUCHES F	
					01-17-220-73600	250.00
					Total :	250.00

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192911	7/9/2021	003243 CDW GOVERNMENT INC	F953679		DIRECTOR LAPTOPS	
				VTP-018515	01-16-000-74128	1,710.00
			G018769		DIRECTOR LAPTOPS	
				VTP-018515	01-16-000-74128	1,568.00
					Total :	3,278.00
192912	7/9/2021	015199 CHICAGO PARTS & SOUND LLC	3-0045107		BRAKE PARTS FOR POLICE STOCK	
				VTP-018549	01-17-205-72540	965.78
					Total :	965.78
192913	7/9/2021	017349 CHICAGO STREET CCDD, LLC	20763		DUMP FEE 6/21/21	
					01-26-023-72890	490.00
					Total :	490.00
192914	7/9/2021	012057 COMCAST CABLE	8771401810170142		16250 OAK PARK AVE ACCT# 8771	
				VTP-018391	01-14-000-72125	233.35
			8771401810265348		ACCT#8771401810265348 6829 173	
					01-19-000-72517	217.42
			8771401810784702		ACCT#8771401810784702 7825 167	
					01-19-000-72517	84.42
					Total :	535.19
192915	7/9/2021	013878 COMED - COMMONWEALTH EDISON	0021100130		ACCT#0021100130 RT/23 METER 17	
					01-26-024-72510	34.94
			1222218001		ACCT#1222218001 1E OPA NORTH	
					70-00-000-72510	81.47
			2777112019		ACCT#2777112019 175TH & SANDL	
					01-26-023-72510	440.08
			3214011009		ACCT#3214011009 16853 LAKEWO	
					64-00-000-72510	184.41
			6483053261		ACCT#6483053261 17495 LAGRAN	
					01-26-023-72510	43.28
			8363023007		ACCT#8363023007 179TH & 82ND A	
					60-00-000-72510	154.40
					63-00-000-72510	154.40
					Total :	1,092.98

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192916	7/9/2021	018311 CONNECTION	71464632	VTP-018504	EDGE 8GB C3 USB 3.0 FLASH DRIV 01-17-225-73600	717.50
					Total :	717.50
192917	7/9/2021	018325 DAILY SOUTHTOWN	166164234		SUBSCRIPTION THRU 9/22/21 01-14-000-72720	53.50
					Total :	53.50
192918	7/9/2021	017603 DANDAN, RICK TARIQ	063021		INVOICE - PLAN REVIEW AND INSP 01-33-300-72790	34,207.02
					Total :	34,207.02
192919	7/9/2021	018456 DEL GALDO LAW GROUP, LLC	26552		LEGAL SVC 4/21-5/31/21 01-14-000-72850	2,026.25
					Total :	2,026.25
192920	7/9/2021	003884 DIAMOND TRAFFIC PRODUCTS	0031291-IN	VTP-018428	#OMEGA G 2RT ~ 01-17-220-72530	4,216.50
					Total :	4,216.50
192921	7/9/2021	014111 DONNELLY, TODD A.	051321	VTP-018455	FOR THE PERFORMANCE OF MR. I 01-35-000-72923	1,200.00
					Total :	1,200.00
192922	7/9/2021	011269 ELLIS, DON	143	VTP-018424	THREE SOUND ENGINEERS AND E 01-35-000-72923	2,200.00
					Total :	2,200.00
192923	7/9/2021	011269 ELLIS, DON	137	VTP-018420	SOUND ENGINEER SERVICES FOR 01-35-000-72923	900.00
					Total :	900.00
192924	7/9/2021	004019 EVON'S TROPHIES & AWARDS	061421		36X24 WALNUT PLAQUE FOR C.FLI 01-19-000-72974	923.00
					Total :	923.00
192925	7/9/2021	011611 FOX VALLEY FIRE & SAFETY CO.	IN00446269		RADIO MAINTENANCE 14-00-000-72550	95.00

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192925	7/9/2021	011611 011611 FOX VALLEY FIRE & SAFETY CO.	(Continued)		Total :	95.00
192926	7/9/2021	004298 FUN FUN FUN DJ'S	061521..		CRUISE NIGHT DJ SVC FOR JULY 2 01-35-000-72923	175.00
					Total :	175.00
192927	7/9/2021	018476 GRACIE GLOBAL LLC	GG-08870	VTP-018539	GST LEVEL 2 FULL CERTIFICATION 01-17-220-72140	895.00
					Total :	895.00
192928	7/9/2021	018636 HARTIGAN & O'CONNOR P.C.	19405		CASE 2017 L 65067 EBERHARDT V 01-14-000-72850	419.50
					Total :	419.50
192929	7/9/2021	005029 ILLINOIS EPA	ILR400460		FY-2022 BILLING STORMWATER M 65-00-000-72861	1,000.00
					Total :	1,000.00
192930	7/9/2021	005167 ILLINOIS TAX INCREMENT ASSOC	674472		DUES FOR 7/1/21-6/30/22 01-15-000-72720	1,200.00
					Total :	1,200.00
192931	7/9/2021	005022 ISAWWA	200064865		WATER MAIN SERVICE LINE & STR 60-00-000-72140 64-00-000-72140 63-00-000-72140	25.20 21.60 25.20
					Total :	72.00
192932	7/9/2021	004206 JBR INC. FUNDWAYS OF ILL.INC.	051321	VTP-018425	RENTAL OF CARNIVAL RIDES AND 01-35-000-72923	5,154.00
					Total :	5,154.00
192933	7/9/2021	019353 JUST 4 JUMPS INC	20750	VTP-018408	RENTAL OF CARNIVAL RIDES AND 01-35-000-72923	4,468.08
					Total :	4,468.08
192934	7/9/2021	016616 KURTZ AMBULANCE SERVICE INC.	10754		EMS SERVICE AGREEMENT 6/1/21- 01-21-000-72856	39,690.33

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192934	7/9/2021	016616 016616 KURTZ AMBULANCE SERVICE INC.	(Continued)		Total :	39,690.33
192935	7/9/2021	020149 LAURENT, DOREEN	070721		GLITTER TATTOOS FOR BLOCK PA 01-35-000-72923	350.00
					Total :	350.00
192936	7/9/2021	019379 MACQUEEN EMERGENCY GROUP	W01083		DASH PUMPER SERVICE 01-19-000-72540	837.00
			W01088		DASH PUMPER 01-19-000-72540	1,170.87
					Total :	2,007.87
192937	7/9/2021	015157 MAGGIE SPEAKS, INC.	051321	VTP-018456	FOR THE PERFORMANCE OF FINA 01-35-000-72923	1,300.00
					Total :	1,300.00
192938	7/9/2021	013969 MAP AUTOMOTIVE OF CHICAGO	40-620402		BATTERY AND CORE 01-19-020-72540	115.08
			40-620403		WIPER BLADE AND WINTER WIP 01-26-023-72540	51.14
			40-620550		EVOLUTION CERAMIC PAD B/PAD S 01-17-205-72540	181.85
			40-620551		FRONT AND REAR ROTOR, FILTER 01-26-023-72540	206.14
					Total :	554.21
192939	7/9/2021	005765 MARTIN WHALEN O.S. INC.	IN2776359		COPY MACHINE MONTHLY CONTR 01-21-000-72750	932.73
			IN2785132	VTP-018538	CONTRACT 19681-01~6/29/21-6/28/	
				VTP-018538	01-14-000-72750	5,993.61
				VTP-018538	01-17-205-72750	4,495.22
				VTP-018538	01-19-000-72750	749.21
				VTP-018538	01-19-020-72750	749.21
				VTP-018538	01-21-000-72750	1,498.41
				VTP-018538	01-21-210-72750	1,498.41
				VTP-018538	01-26-023-72750	1,997.86
				VTP-018538	01-26-024-72750	1,997.86

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192939	7/9/2021	005765 MARTIN WHALEN O.S. INC.	(Continued)			
				VTP-018538	01-33-300-72750	499.47
				VTP-018538	01-33-310-72750	499.47
				VTP-018538	01-33-320-72750	499.47
				VTP-018538	01-35-000-72750	1,498.41
				VTP-018538	01-41-056-72750	1,498.41
				VTP-018538	60-00-000-72750	665.96
				VTP-018538	63-00-000-72750	665.96
				VTP-018538	64-00-000-72750	665.91
					Total :	26,405.58
192940	7/9/2021	014667 MATISE, JOSEPH E	050521			
				VTP-018416	PERFORMANCE OF THE WALK-INS 01-35-000-72923	800.00
					Total :	800.00
192941	7/9/2021	018509 MCCARTHY II, TIMOTHY EDWIN	070621			
					PERF FARMERS MARKET 7/24/21 01-35-000-72923	75.00
					Total :	75.00
192942	7/9/2021	005844 MCDONALD'S	070821			
					JUN"21 PRISONER MEALS 01-17-220-72230	158.15
					Total :	158.15
192943	7/9/2021	020148 MEDPRO HEALTH PROVIDERS LLC	070621			
					16820 S OPA CODE COMPLIANCE C 27-00-000-79116	15,497.50
					Total :	15,497.50
192944	7/9/2021	006074 MENARDS	7173			
					GATEMOUTH 16 TOOL BAG 01-26-024-73840	5.39
					01-26-023-73840	10.80
					60-00-000-73840	5.67
					63-00-000-73840	1.89
					64-00-000-73840	3.24
					Total :	26.99
192945	7/9/2021	012517 MERIDIAN IT INC	4958838			
					PROJ 009473 AD HOC SVC T&M NE 01-16-000-72650	1,140.00

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192945	7/9/2021	012517 012517 MERIDIAN IT INC	(Continued)		Total :	1,140.00
192946	7/9/2021	017764 MONTANA & WELCH, LLC.	13752		LICENSE HEARING - EEB PREP FC 01-14-000-72876	780.00
					Total :	780.00
192947	7/9/2021	017651 MSC INDUSTRIAL SUPPLY CO.	4732813001		WASHERS,BULB,HEX NUT,CRIMP,L 01-26-024-72540 01-26-023-72540 01-26-023-72530 60-00-000-72540 63-00-000-72540 64-00-000-72540	52.17 104.35 91.14 54.78 18.26 31.31
					Total :	352.01
192948	7/9/2021	015386 MUNICIPAL GIS PARTNERS, INC	5867		JUN'21 GIS STAFFING 01-16-000-72652 60-00-000-72652 63-00-000-72652 64-00-000-72652	5,640.59 3,553.57 394.84 1,692.17
					Total :	11,281.17
192949	7/9/2021	014443 MURPHY & MILLER, INC	MC00010208	VTP-018462	HVAC SERVICE CONTRACT- 2ND B 01-26-025-72790	592.83
					Total :	592.83
192950	7/9/2021	015723 NICOR	06821610000		ACCT#06821610000 METER 276933 60-00-000-72511 63-00-000-72511 64-00-000-72511	15.66 15.66 13.42
			09977410001		ACCT#09977410001 METER514688: 01-26-025-72511	153.31
			12213610004		ACCT#12213610004 METER 503139 01-26-025-72511	604.12
			12213610004		ACCT#12213610004 METER 503139 01-26-025-72511	578.07
			12213610004.		ACCT#12213510004 METER 503139	

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192950	7/9/2021	015723 NICOR	(Continued)		01-26-025-72511	10.33
					Total :	1,390.57
192951	7/9/2021	010135 ONSITE COMMUNICATIONS USA, INC	51214		RADIO SERVICE	
			51226		01-19-000-72550	190.00
					MOTOROLA RADIO AND MICROPHC	
					01-19-000-72550	920.00
					Total :	1,110.00
192952	7/9/2021	013096 PACE SYSTEMS INC	IN00037303		CAMERA AND INSTALL FOR 179TH	
				VTP-018474	01-26-025-72552	1,180.00
					Total :	1,180.00
192953	7/9/2021	006499 PITNEY BOWES INC	1018439432		ACCT#0012198182 EQUIP RENTAL	
					01-14-000-72750	75.00
					60-00-000-72750	75.00
					Total :	150.00
192954	7/9/2021	006656 PITNEY BOWES RESERVE ACCOUNT	070421		PITNEY BOWES RESERVE ACCOUI	
					01-14-000-72110	12.64
					06-00-000-72110	22.95
					01-17-205-72110	1,964.41
					Total :	2,000.00
192955	7/9/2021	015491 PIZZO & ASSOCIATES, LTD.	25050		FAIRFILED GLEN POND RESTORAT	
				VTP-017818	30-00-000-73681	4,081.75
					Total :	4,081.75
192956	7/9/2021	006780 POMP'S TIRE SERVICE, INC	410875578		(4) 235/70R16 FORTITUDE TIRES U	
				VTP-018541	01-17-205-73560	485.36
					Total :	485.36
192957	7/9/2021	006507 POSTMASTER, U. S. POST OFFICE	070621		JULY'21 WATER BILLS	
					60-00-000-72110	2,058.02
					64-00-000-72110	882.01
					Total :	2,940.03

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192958	7/9/2021	006559 PRAXAIR DISTRIBUTION, INC	64353445		ACETYLENE 5/20/21-6/20/21	
					01-26-024-73730	48.02
					01-26-023-73730	96.03
					60-00-000-73730	33.61
					63-00-000-73730	33.61
					64-00-000-73730	28.81
					Total :	240.08
192959	7/9/2021	019583 PRECISE MRM LLC	200-1031776		5MB FLAT DATA PLAN US WITH NAI	
					01-26-023-72655	189.00
					Total :	189.00
192960	7/9/2021	013587 PROSHRED SECURITY	990088977		SHREDDING SERVICES - VH	
					01-16-000-72650	1,766.00
					Total :	1,766.00
192961	7/9/2021	006361 RAY O' HERRON CO INC	2117890-IN		WALLET BOOK	
					01-17-220-73610	192.10
					Total :	192.10
192962	7/9/2021	015230 RIDGE LANDSCAPE SERVICES LLC	7799		LAWN RESTORATION - WATER MAI	
				VTP-018537	60-00-000-72881	2,210.25
				VTP-018537	63-00-000-72881	2,210.25
				VTP-018537	64-00-000-72881	1,894.50
					Total :	6,315.00
192963	7/9/2021	006874 ROBINSON ENGINEERING CO. LTD.	21060364		11-320 TP THE BLVD AT CENTRAL S	
					27-00-000-72840	586.00
					Total :	586.00
192964	7/9/2021	019092 RORY GROUP, LLC	3643		BUSINESS CONSULTING FEE - JUL	
					01-11-000-72790	3,000.00
					Total :	3,000.00
192965	7/9/2021	007453 SERVICE SANITATION, INC.	8178840		PORTAPOTTIES AND HAND WASHI	
			8198554	VTP-018542	01-35-000-72923	1,230.00
					FIREMAN TRAINING CENTER REST	
					01-19-000-72750	168.89

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192965	7/9/2021	007453 007453 SERVICE SANITATION, INC.	(Continued)		Total :	1,398.89
192966	7/9/2021	007393 SOUND SONIC INC	071821	VTP-018531	FOR DJ ENTERTAINMENT AT THE B 01-35-000-72923	695.00
					Total :	695.00
192967	7/9/2021	007224 STANDARD EQUIPMENT COMPANY	P29963		NOZZLE, WINDSHIELD 01-26-023-72530	70.50
					Total :	70.50
192968	7/9/2021	012238 STAPLES BUSINESS ADVANTAGE	3474948825		CLOROX WIPES 01-17-205-73600	176.97
			3480465376		PENS,PAPER,GLUE 01-14-000-73110	47.72
					01-35-000-73110	61.47
			3480465378		4PORT USB HUB 01-17-205-73110	20.58
			3480465379		DETECTOR 01-17-205-73600	62.99
					Total :	369.73
192969	7/9/2021	015452 STEINER ELECTRIC COMPANY	S006932313.001		INDICATOR FUSE 01-26-025-73570	154.00
					Total :	154.00
192970	7/9/2021	005521 STEPHEN A. LASER ASSOCIATES	2007279		ASSESSMENTS S.MILLER,D.VARGA/ 01-17-205-72446	1,650.00
					01-41-040-72846	1,100.00
					Total :	2,750.00
192971	7/9/2021	007297 SUTTON FORD INC./FLEET SALES	531446		FILTER 01-26-023-72540	55.35
					Total :	55.35
192972	7/9/2021	007886 THEODORE POLYGRAPH SERVICE	7470		POLYGRAPH EXAM - S.MILLER 01-17-205-72446	200.00
					Total :	200.00

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192973	7/9/2021	014854 THOMSON REUTERS-WEST PYMNT CTF	844636372		ONLINE SOFTWARE SUBSCRIPTIO 01-17-225-72852	199.94
					Total :	199.94
192974	7/9/2021	016877 TINLEY GLASS CORPORATION	460		CUSTOM DESKTOP WITH HOLE 01-26-025-74110	225.00
					Total :	225.00
192975	7/9/2021	018160 TINLEY PARK BOWL INC	070721		RENTAL 10 BEAN BAG GAMES 01-35-000-72923	150.00
					Total :	150.00
192976	7/9/2021	013040 TINLEY PARK FIRE DEPT	061121		PETTY CASH REIMB/INSPECT MEE 01-19-020-72220 01-19-020-73110	28.98 69.14
					Total :	98.12
192977	7/9/2021	019712 TM TIRE CO INC	133407	VTP-018534	CLEAN, SANDBLAST AND PAINT 15 01-26-023-73560	750.00
					Total :	750.00
192978	7/9/2021	015532 TRI-ELECTRONICS, INC.	271959	VTP-018493	DUAL READER INTERFACE MODUL 01-26-025-73570	4,166.30
					Total :	4,166.30
192979	7/9/2021	014510 TRUGREEN	141966785	VTP-018310	LAWN TREATMENT 183RD ST & CO 01-26-023-72881	95.00
			142007582	VTP-018310	LAWN TREATMENT 1 OPA DOWNT 01-26-023-72881	125.00
					Total :	220.00
192980	7/9/2021	018106 TURNING TECHNOLOGIES, LLC	390673-IN		TURNING POINT PREM INST LIC 01-19-020-72655	600.00
					Total :	600.00
192981	7/9/2021	008040 UNDERGROUND PIPE & VALVE CO	048238	VTP-018473	HYDRANT REPAIR PARTS 60-00-000-73632	58.10
				VTP-018473	64-00-000-73632	24.90

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192981	7/9/2021	008040 UNDERGROUND PIPE & VALVE CO	(Continued)			
				VTP-018473	60-00-000-73632	49.70
				VTP-018473	64-00-000-73632	21.30
				VTP-018473	60-00-000-73632	194.60
				VTP-018473	64-00-000-73632	83.40
				VTP-018473	60-00-000-73632	210.00
				VTP-018473	64-00-000-73632	90.00
				VTP-018473	60-00-000-73632	476.00
				VTP-018473	64-00-000-73632	204.00
			049713		MAIN BREAK CLAMPS	
				VTP-018535	60-00-000-73630	213.57
				VTP-018535	63-00-000-73630	23.73
				VTP-018535	64-00-000-73630	101.70
				VTP-018535	60-00-000-73630	371.70
				VTP-018535	63-00-000-73630	41.30
				VTP-018535	64-00-000-73630	177.00
					Total :	2,341.00
192982	7/9/2021	011416 VERIZON WIRELESS	9882499964		ACCT#442345192-00001 WATER RE	
					60-00-000-72127	31.94
					63-00-000-72127	31.94
					64-00-000-72127	27.37
					Total :	91.25
192983	7/9/2021	006362 VILLAGE OF OAK LAWN	1-9990015-00		ACCT# 1-9990015-00 6/1/21-7/1/21	
					60-00-000-73220	902,244.15
					63-00-000-73220	832,840.75
					Total :	1,735,084.90
192984	7/9/2021	008095 VISSERS COLLISION CENTER	160001168		REAR TAILGATE LOCK DAMAGE ON	
				VTP-018545	01-17-205-72540	930.00
					Total :	930.00
192985	7/9/2021	019455 WALSH LAW GROUP PC	8738		LABOR AND INVESTIGATION SVC 6	
					01-14-000-72850	1,168.50
					Total :	1,168.50

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Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192986	7/9/2021	011055 WARREN OIL CO.	W1399180		N.L. GAS USED 6/2/21-6/23/21	
					01-42-000-73530	503.36
					14-00-000-73530	53.87
					01-14-000-73531	1,020.82
					01-14-000-73532	111.34
					01-33-300-73530	235.66
					01-26-024-73530	775.49
					01-26-023-73530	1,872.28
					60-00-000-73530	1,464.65
					63-00-000-73530	366.16
					64-00-000-73530	784.63
					01-21-000-73530	235.38
					01-19-020-73530	93.93
					01-19-000-73530	653.65
					01-17-205-73530	12,637.43
					01-12-000-73530	224.05
Total :						21,032.70

91 Vouchers for bank code : apbank

Bank total : 1,978,045.97

91 Vouchers in this report

Total vouchers : 1,978,045.97

The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date

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Voucher List
Village of Tinley Park

Page: 1

Bank code : ap_py

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
126322	7/16/2021	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-PPPR080121		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	1,057.50
			BCBS-NA-PR080121		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	2,081.00
Total :						3,138.50
1 Vouchers for bank code : ap_py						Bank total : 3,138.50

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192987	7/16/2021	020158 ABU HEJLEH, NASER	Ref001407774		UB Refund Cst #00497556- Rfnd ove 60-00-000-20599	477.18
					Total :	477.18
192988	7/16/2021	010318 ADVOCATE CHRIST MEDICAL CNTR	063021		BLS INSTRUCTOR E-CARDS 01-19-020-73606	10.00
					Total :	10.00
192989	7/16/2021	019563 AEP ENERGY INC	3013134248		ACCT#3013134248 4384028017 681 01-26-024-72510	63.71
			3013134259		ACCT#3013134259 #4623055116 19 08-00-000-72510	151.98
					01-26-024-72510	7,756.99
					Total :	7,972.68
192990	7/16/2021	002734 AIR ONE EQUIPMENT, INC	168485P		BUNKER GEAR 01-19-000-74619	570.75
					Total :	570.75
192991	7/16/2021	020163 AKINSOLA, OLASUMBO	Ref001407779		UB Refund Cst #00496933 60-00-000-20599	140.46
					Total :	140.46
192992	7/16/2021	002424 AMERICAN WATER WORKS ASSOC	7001939664		AWWA DUES FOR C.YOUEPEL 60-00-000-72720	29.05
					63-00-000-72720	29.05
					64-00-000-72720	24.90
					Total :	83.00
192993	7/16/2021	020071 AMSIVE LLC	547201		JULY 1ST 2021 WATER BILLS 60-00-000-72310	1,348.39
					64-00-000-72310	577.88
					Total :	1,926.27
192994	7/16/2021	002665 APPLE CHEVROLET	348549		HOSE 01-21-000-72540	140.79
					Total :	140.79

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192995	7/16/2021	014936 AQUAMIST PLUMBING & LAWN	111435	VTP-018321	IRRIGATION	
					01-26-023-72790	317.50
					Total :	317.50
192996	7/16/2021	020156 ARCO MECHANICAL EQUIPMENT SALE	19386		CALIBRATION OF DETECTION MON	
					01-19-000-72520	565.00
					Total :	565.00
192997	7/16/2021	018237 ARCTIC GLACIER U.S.A.INC.	3050118904		ICE	
					01-19-000-72220	267.90
					Total :	267.90
192998	7/16/2021	018293 ARTISTIC HOLIDAY DESIGNS LLC	1589		HOLIDAY DECOR FROZEN VITRAIL	
			1590		01-35-000-72954	3,823.20
					ORNAMENTS AND GARLAND FOR I	
					01-35-000-72954	5,727.10
					Total :	9,550.30
192999	7/16/2021	002537 AURELIO'S PIZZA	44		PIZZA FOR EMA - 4TH OF JULY	
					01-21-000-72220	141.60
					Total :	141.60
193000	7/16/2021	003015 BEHRENS, JERRY	AP080121		JERRY BEHRENS HEALTH INSURAI	
					01-17-205-72435	162.50
					Total :	162.50
193001	7/16/2021	002974 BETTENHAUSEN CONSTRUCTION SERV	210093		TRUCK TIME HAULING SWEEPING:	
					01-26-023-72890	195.00
					60-00-000-73681	286.65
					63-00-000-73681	31.85
					64-00-000-73681	136.50
			210094		TRUCK TIME FOR LIMESTONE DEL	
					01-26-023-73860	60.00
					70-00-000-73860	20.00
					60-00-000-73860	75.60
					63-00-000-73860	8.40
					64-00-000-73860	36.00

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193001	7/16/2021	002974	002974 BETTENHAUSEN CONSTRUCTION S (Continued)		Total :	850.00
193002	7/16/2021	002923	BLACK DIRT INC.	650	6-WHEEL PULVERIZED DIRT	
					60-00-000-73680	113.40
					63-00-000-73680	12.60
					64-00-000-73680	54.00
					Total :	180.00
193003	7/16/2021	003127	BLUE CROSS BLUE SHIELD	BCBS-NA-AP080121	IL065LB000001212-0 HEALTH INS E	
					01-26-023-72435	156.00
					01-33-300-72435	121.00
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					60-00-000-72435	71.15
					63-00-000-72435	13.55
					64-00-000-72435	36.30
					01-12-000-72435	128.00
					01-19-020-72435	268.50
					01-26-023-72435	364.00
					01-33-300-72435	96.00
					60-00-000-72435	60.27
					63-00-000-72435	11.48
					64-00-000-72435	30.75
					60-00-000-72435	63.80
					64-00-000-72435	32.55
					63-00-000-72435	12.15
					64-00-000-72435	32.55
				BCBS-NA-PPAP080121	IL065LB000001212-0 HEALTH INS E	
					01-17-205-72435	1,057.50
					Total :	2,848.50

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193004	7/16/2021	020151 BOYCE, BRANDON	071321		PERFORMANCE AT THE JULY 17 FA 01-35-000-72923	75.00
					Total :	75.00
193005	7/16/2021	011692 BYTE SIZED SOLUTIONS LLC	15038		E-SCHEDULE SOLUTIONS ANNUAL 01-19-000-72655	3,600.00
					Total :	3,600.00
193006	7/16/2021	014148 CALL ONE	726251		VILLAGE LANDLINE PHONE SERV I 01-19-000-72120	2,929.26
					60-00-000-72120	3,864.06
					63-00-000-72120	429.34
					64-00-000-72120	1,840.03
					01-17-205-72120	2,258.25
					01-14-000-72120	620.00
					01-11-000-72120	5.13
					01-12-000-72120	11.81
					01-17-205-72120	11.81
					01-19-000-72120	2.57
					01-26-023-72120	3.08
					01-26-024-72120	3.08
					01-33-000-72120	6.16
					60-00-000-72120	7.70
					01-12-000-72120	49.94
					01-14-000-72120	156.05
					01-15-000-72120	31.21
					01-17-205-72120	93.63
					01-19-000-72120	43.69
					01-19-020-72120	12.48
					01-26-023-72120	18.73
					01-26-024-72120	18.73
					01-33-000-72120	99.87
					01-35-000-72120	18.73
					01-42-000-72120	12.48
					60-00-000-72120	62.42
					63-00-000-72120	6.23

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193006	7/16/2021	014148 014148 CALL ONE	(Continued)		Total :	12,616.47
193007	7/16/2021	003304 CARLIN-MORAN LANDSCAPE INC	3702		6419 167TH ST TREE CUTTING AND 01-33-300-72744	2,400.00
					Total :	2,400.00
193008	7/16/2021	019216 CARMAN, TIMOTHY	070321	VTP-018524	SEALCOATING - POST 17 9233 LAP 64-00-000-72520	750.00
					Total :	750.00
193009	7/16/2021	003229 CED/EFENGEE	4975-1004630	VTP-018536	STREET LIGHT BULBS 01-26-024-73570	1,836.60
			5025-1001801		WIRES,CONNECTORS,TORK 01-26-024-73570	488.18
					Total :	2,324.78
193010	7/16/2021	015199 CHICAGO PARTS & SOUND LLC	2J0003130		CHRGGRD UNV CNTRLMDL AND L/	
					01-17-205-72540	139.50
					Total :	139.50
193011	7/16/2021	003137 CHRISTOPHER B.BURKE ENGINEERING	167472		01.R160373.00007 POST 4 LIFT STA 61-00-000-75320	1,549.00
			167473		01.R160373.00008 POST 5 LIFT STA 61-00-000-72840	2,016.00
			167473.		01.R160373.00008 POST 5 LIFT STA 61-00-000-72840	770.00
			167474		01.R160373.003C LIGHTING PHASE 30-00-000-75500	1,898.00
			167476		01.R160373.00023 2021 FIRE HYDR 60-00-000-72790	3,546.50
					Total :	9,779.50
193012	7/16/2021	013820 CINTAS CORPORATION	5068006114		MEDICINE CABINET - PW GARAGE 01-26-025-73117	319.98
			5068006132		MEDICINE CABINET - PD SHOOTING 01-26-025-73117	14.65
			5068006153		MEDICINE CABINET - FD#47 01-26-025-73117	225.08

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193012	7/16/2021	013820 CINTAS CORPORATION	(Continued) 5068006157		MEDICINE CABINET - VH 01-26-025-73117	198.93
			5068006163		MEDICINE CABINET - PUBLIC SAFE 01-26-025-73117	139.24
			5068006180		MEDICINE CABINET - FIRE STATIO 01-26-025-73117	98.08
			5068006182		MEDICINE CABINET FIRE STATION 01-26-025-73117	219.92
			5068006187		MEDICINE CABINET - FIRE DEPT TF 01-26-025-73117	58.01
			5068006193		MEDICINE CABINET - PD 01-26-025-73117	142.49
			5068006197		MEDICINE CABINET - PUMP HOUSE 01-26-025-73117	14.65
			5068006198		MEDICINE CABINET FD#46 01-26-025-73117	415.97
			5068006200		MEDICINE CABINET -PUMP HOUSE 01-26-025-73117	32.52
			5068615554		SHARS START UP ML BK SYS 1 GA 01-26-025-73117	106.37
					Total :	1,985.89
193013	7/16/2021	013820 CINTAS CORPORATION	4089688975		MATS- PW GARAGE 01-26-025-72790	185.64
					Total :	185.64
193014	7/16/2021	012917 COLLEGE OF DUPAGE	13075		#1242974 J.GRAVES FINANCIAL CR 01-17-220-72140	225.00
					Total :	225.00
193015	7/16/2021	012057 COMCAST CABLE	8771401810010702		ACCT#8771401810010702 16250 OF 01-35-000-72517	10.51
			8771401810028977		ACCT#8771401810028977 7980 183 01-26-025-72517	52.55
					Total :	63.06

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Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193016	7/16/2021	013878 COMED - COMMONWEALTH EDISON	0519019106		ACCT#0519019106 6750 SOUTH ST 12-00-000-72510	5.30
			2587063010		ACCT#2587063010 17311 OPA 5/20- 12-00-000-72510	20.25
			4329016037		ACCT#4329016037 17238 OPA 5/20- 12-00-000-72510	25.11
			7090006006		ACCT#7090006006 17231 OPA 5/20- 70-00-000-72510	20.25
					Total :	70.91
193017	7/16/2021	012826 CONSTELLATION NEWENERGY, INC.	20554764701		ACCT#875225 UTIL#4373166015 5/2 60-00-000-72510	7,046.43
			20554779301		ACCT#875227 UTIL#5095140029 17 64-00-000-72510	4,723.94
			20554994701		ACCT#875222 UTIL#3613125002 5/2 64-00-000-72510	984.53
			20554997001		ACCT#875223 UTIL#3670129006 5/2 64-00-000-72510	438.09
			20554999901		ACCT#875224 UTIL#3784068018 18 60-00-000-72510	11,253.39
					Total :	24,446.38
193018	7/16/2021	018234 CORE & MAIN LP	P163374		3/4 RUBBER MTR WASHER 60-00-000-73630	21.42
					63-00-000-73630	2.38
					64-00-000-73630	10.20
			P180075		SCREW VB RISER AND ADJ VLV BC 60-00-000-73630	159.33
					63-00-000-73630	17.70
					64-00-000-73630	75.87
					Total :	286.90
193019	7/16/2021	018152 CORE INTEGRATED MARKETING	121973	VTP-018518	FEATHER FLAGS AND HARDWARE 30-00-000-72987	506.00
					30-00-000-72987	14.43
					Total :	520.43

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193020	7/16/2021	011499 CORRPRO COMPANIES	652406		CATHODIC PROTECTION SURVEY	
				VTP-018429	60-00-000-72750	1,050.00
				VTP-018429	63-00-000-72750	1,050.00
				VTP-018429	64-00-000-72750	900.00
					Total :	3,000.00
193021	7/16/2021	003635 CROSSMARK PRINTING, INC	82456		BUSINESS CARDS M.SHAH	
			82919		01-33-320-72310	36.65
					FY22 BUDGET BOOKS	
					01-14-000-72310	1,417.00
					Total :	1,453.65
193022	7/16/2021	012855 CYLINDERS INC.	10352		PLOW CYLINDER , ROD STOCK,SE	
					01-26-023-72540	487.65
					Total :	487.65
193023	7/16/2021	018456 DEL GALDO LAW GROUP, LLC	26608		LEGAL SVC 2/26-6/30/21 BRIMMOR	
			26609		01-14-000-72850	1,025.00
					LEGAL SVC TP CIVIL SERVICE COM	
					01-41-040-72850	743.75
					20-00-000-72850	3,605.00
					Total :	5,373.75
193024	7/16/2021	018379 DM INDUSTRIAL JANITORIAL SERV	6474		POLICE STATION JANITORIAL SERV	
				VTP-018480	01-26-025-72790	3,300.00
					Total :	3,300.00
193025	7/16/2021	011176 ELEMENT GRAPHICS & DESIGN, INC	17789		BANNER FOR NATIONAL NIGHT OU	
					01-17-215-73830	72.89
					Total :	72.89
193026	7/16/2021	020153 EMRICH, JASON	070221		SENIOR DISCOUNT REFUNDED FO	
					06-00-000-79005	23.50
					Total :	23.50
193027	7/16/2021	019561 ENDLESS COMMUNICATIONS USA LLC	DG-1237		PUSH TO TALK LTE DATA RADIO SV	
					01-42-000-72540	45.83

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193027	7/16/2021	019561	019561 ENDLESS COMMUNICATIONS USA L (Continued)		Total :	45.83
193028	7/16/2021	004019	EVON'S TROPHIES & AWARDS	060421	PLATES OXIDIZE BRIGHT GOLD BR 01-19-000-72974	72.52
				063021	PLASTIC NAME PLATE - T.CONDOI 01-26-025-72520	23.36
				070721	BRIGHT GOLD NOTCHED WITH HO 01-19-000-72974	13.84
					Total :	109.72
193029	7/16/2021	015853	FIRE SERVICE INC.	35828	TRUCK SERVICE 01-19-000-72540	441.00
					Total :	441.00
193030	7/16/2021	015058	FLEETPRIDE	77276786	FUEL CARTRIDGE AND HD AIR MIS 01-26-023-72540	235.56
					Total :	235.56
193031	7/16/2021	012941	FMP	52-490009	MTC FT 187 SCREEN ASY 01-26-023-72540	31.19
				52-490110	FVP BRAKE ROTOR AND BRAKE P/ 60-00-000-72540	81.62
					63-00-000-72540	27.20
					64-00-000-72540	46.65
					Total :	186.66
193032	7/16/2021	011611	FOX VALLEY FIRE & SAFETY CO.	IN00450288	WIRELESS ALARM MAINTENANCE 14-00-000-72750	8,525.50
				VTP-018398	Total :	8,525.50
193033	7/16/2021	004298	FUN FUN FUN DJ'S	061521...	CRUISE NIGHT DJ SERVICE JULY 2 01-35-000-72923	175.00
					Total :	175.00
193034	7/16/2021	019349	GARVEY'S OFFICE PRODUCTS	PINV2104436	POST IT FLAG 01-19-000-73110	8.98
				PINV2104838	SHEET PROTECTOR 01-19-000-73110	3.54

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
193034	7/16/2021	019349 019349 GARVEY'S OFFICE PRODUCTS	(Continued)			Total : 12.52
193035	7/16/2021	004538 GOLDY LOCKS INC	696216		KEY RING 01-26-025-73840	18.70
					Total :	18.70
193036	7/16/2021	015198 GREEN PROMOTING LLC	14787		PROMOTIONAL ITEMS 01-35-000-73210	230.01
			54382	VTP-018544	DOWNTOWN SUMMER EVENTS T-S 01-35-000-73210	3,773.54
					Total :	4,003.55
193037	7/16/2021	020159 HAJ, AHMAD	Ref001407775		UB Refund Cst #00498715 Rfnd dupl 60-00-000-20599	482.63
					Total :	482.63
193038	7/16/2021	012463 HANSON AGGREGATES INC.	40581719		BED BACKFILL 70-00-000-73860 01-26-023-73860 60-00-000-73860 63-00-000-73860 64-00-000-73860	54.76 164.27 206.98 23.00 98.55
					Total :	547.56
193039	7/16/2021	019161 HISKES DILLNER O'DONNELL	13182		05014.001 TP ETHICS REVIEW THR 01-14-000-72850	60.00
					Total :	60.00
193040	7/16/2021	005186 INTERSTATE BATTERY SYSTEM	301551		BLEM-AGM 01-21-000-72540	179.85
			302086		BLEM 60-00-000-72540 63-00-000-72540 64-00-000-72540	24.12 8.04 13.79
					Total :	225.80
193041	7/16/2021	004848 INTOXIMETERS, INC.	684791		MOUTHPIECE ASIV OR ECIR 01-17-220-73550	159.00

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193041	7/16/2021	004848 004848 INTOXIMETERS, INC.	(Continued)		Total :	159.00
193042	7/16/2021	005379 KLEIN, THORPE & JENKINS, LTD	219018		5409-001 ADMINISTRATIVE HEARIN 01-14-000-72850	565.50
					Total :	565.50
193043	7/16/2021	001439 M & M AUTO GLASS & UPHOL.SERV.	515430		TINTED WINDSHIELD ~ 01-26-023-72530	495.00
					Total :	495.00
193044	7/16/2021	007100 M. E.SIMPSON COMPANY, INC	37010		WATER LEAK LOCATING	
				VTP-018507	60-00-000-72513	406.35
				VTP-018507	63-00-000-72513	45.15
				VTP-018507	64-00-000-72513	193.50
					Total :	645.00
193045	7/16/2021	013969 MAP AUTOMOTIVE OF CHICAGO	40-619655		T/ROD END	
			40-620118		01-21-000-72540	30.45
					VALV ASSY, VLV-G/RECR 01-21-000-72540	259.85
					Total :	290.30
193046	7/16/2021	012631 MASTER AUTO SUPPLY, LTD.	15030-104738		U JOINT STRENGTH534G FLUSH 01-21-000-72540	25.25
					Total :	25.25
193047	7/16/2021	006074 MENARDS	07552		WIRE FOR TRAILERS,HEAT SHRINI 01-21-000-72530	238.34
			08058		PICK SHOVEL 01-21-000-72530	29.64
			7559		3M ORIGINAL 14 DAY 01-26-024-73620	5.97
					01-26-023-73620	11.94
					60-00-000-73620	4.18
					63-00-000-73620	4.18
					64-00-000-73620	3.57
			7564		COMPRESSION SLEEV,COMP ELB(01-26-025-72520	38.81

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193047	7/16/2021	006074 MENARDS	(Continued) 7622		LEMISHINE BOOSTER AND CLR RE 01-26-025-73580	18.14
			7664		TRIMMER 01-26-023-73410	319.98
			7678		HOSE,PET SCOOP,PAIL,WEIGHT PI 01-35-000-72954	128.64
			7695		COMPRESSION INSERT,GRIND ME 01-26-025-73630	36.49
					Total :	839.88
193048	7/16/2021	010810 MUNICIPAL SERV. CONSULTING INC	TPCN-6-21		CONS SVC CIMP FOR VTPJUNE'21 30-00-000-75812	45,251.00
					11-00-000-72750	18,091.50
					Total :	63,342.50
193049	7/16/2021	020160 MURRAY, RICHARD	Ref001407776		UB Refund Cst #00465206 60-00-000-20599	87.85
					Total :	87.85
193050	7/16/2021	006475 PARK ACE HARDWARE	065995/1		ACCT#891432 INV 065995/1 STAPLE 01-26-023-73840	36.97
			066016/1		ACCT#891431 INV 066016/1 BATTEI 60-00-000-73110	4.40
					63-00-000-73110	0.49
					64-00-000-73110	2.10
			066030/1		ACCT#891432 INV#066030/1 SNAP 60-00-000-73410	14.09
					63-00-000-73410	1.57
					64-00-000-73410	6.70
			066039/1		ACCT#891431 INV 066039/1 ROUNE 60-00-000-73410	4.62
					63-00-000-73410	0.51
					64-00-000-73410	2.20
			066049/1		ACCT#891432 INV#066049/1 HOSE 60-00-000-73630	3.32
					63-00-000-73630	0.37

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193050	7/16/2021	006475 PARK ACE HARDWARE	(Continued)			
			066050/1		64-00-000-73630	1.58
					ACCT#891431 INV#066050/1 COUPI	
					60-00-000-73630	16.97
					63-00-000-73630	1.89
					64-00-000-73630	8.08
			066051/1		ACCT#891431 INV#066051/1 RETUF	
					60-00-000-73630	-7.94
					63-00-000-73630	-0.88
					64-00-000-73630	-3.78
			66004/1		ACCT#9404 INV#66004/1 EXCHANG	
					01-19-000-73540	19.99
			66023/1		ACCT# 8813 INV#66023/1 PIGTAIL C	
					01-21-000-72530	9.18
					Total :	122.43
193051	7/16/2021	006499 PITNEY BOWES INC	1018494587		ACCT#0012198182 REPAIRS ON PC	
					01-14-000-72750	49.50
					60-00-000-72750	49.50
					Total :	99.00
193052	7/16/2021	006507 POSTMASTER, U. S. POST OFFICE	070321		FIRE PREVENTION MAILINGS - 4 R	
					01-19-020-72110	220.00
					Total :	220.00
193053	7/16/2021	006635 POWER EQUIPMENT LEASING CO.	W2750		VEHICLE INSPECTION	
				VTP-018548	01-26-023-72266	1,390.00
				VTP-018548	01-26-024-72266	1,265.00
					Total :	2,655.00
193054	7/16/2021	013587 PROSHRED SECURITY	990090423		SHREDDING SERVICES - PD	
					01-17-205-72750	169.60
					Total :	169.60
193055	7/16/2021	006361 RAY O' HERRON CO INC	2128276-IN		POLICE CANINE TP POLICE SEAL	
					01-17-220-73610	91.96
					Total :	91.96

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193056	7/16/2021	006870 RELIABLE FIRE EQUIPMENT	45463	VTP-018554	FIRE EXTINGUISHERS RECERTIFIC 01-21-000-72530	896.00
Total :						896.00
193057	7/16/2021	015230 RIDGE LANDSCAPE SERVICES LLC	7757	VTP-018553	LAWN RESTORATIONS - WATER M/	539.88
				VTP-018553	60-00-000-72881	539.88
				VTP-018553	63-00-000-72881	462.74
			7813	VTP-018553	64-00-000-72881	462.74
				VTP-018550	LAWN RESTORATION	2,000.00
					01-26-023-72790	2,000.00
Total :						3,542.50
193058	7/16/2021	006874 ROBINSON ENGINEERING CO. LTD.	21060365		12-238 TP 80TH AVE PROJECT COC	
			21060366		30-00-000-75810	401.50
			21060367		15-530 TP BROOKSIDE MEADOWS	1,505.00
			21060368		01-14-000-72840	4,067.23
			21060369		20-R0005.014 TP FY 2021 PMP RES	828.50
			21060370		06-00-000-72840	88,750.00
			21060372		20-R0382 TP MIDLOTHIAN CREEK S	13,885.00
			21060373		65-00-000-72840	6,295.50
			21060374		21-R0005.01 TP FY 2022 PMP RESL	895.50
					05-00-000-72840	895.50
					21-R0315 TP 174TH ST RECONSTR	
					27-00-000-75806	
					21-R0430 TP SCANNELL DEV-VOLL	
					01-14-000-72840	
					21-R0489 TP STARBUCKS,TINLEY-F	
					01-14-000-72840	
					21-R0490 TP STARBUCKS,TINLEY-L	
					01-14-000-72840	
Total :						117,523.73
193059	7/16/2021	020157 ROSE, TAMMY	Ref001407771		UB Refund Cst #00499947-rfnd overc	493.21
					60-00-000-20599	493.21
Total :						493.21
193060	7/16/2021	016334 RUSH TRUCK CENTERS	3023522587		RETURN BRAKE SHOE KIT	

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193060	7/16/2021	016334 RUSH TRUCK CENTERS	(Continued)		01-26-023-72540	-63.84
			3024095633		HTR ACTUATOR / NAVISTAR	
					60-00-000-72540	33.50
					63-00-000-72540	11.17
					64-00-000-72540	19.13
			3024096970		ADJUSTER BRK SLACK	
					01-26-023-72540	137.57
					Total :	137.53
193061	7/16/2021	007629 SAM'S CLUB DIRECT	071321		SENIOR CENTER SNACKS,COFFEE	
					01-26-024-73115	19.39
					01-26-023-73115	38.79
					60-00-000-73115	13.58
					63-00-000-73115	13.58
					64-00-000-73115	11.63
					01-41-056-72954	54.86
					Total :	151.83
193062	7/16/2021	007092 SAUNORIS	665952		SOD AND PALLET CHARGE	
					60-00-000-73680	141.75
					63-00-000-73680	15.75
					64-00-000-73680	67.50
					Total :	225.00
193063	7/16/2021	020162 SAYLOR, DAVID & CANDY	Ref001407778		UB Refund Cst #00507735	
					60-00-000-20599	22.16
					Total :	22.16
193064	7/16/2021	020161 SCHMITT, JAMES	Ref001407777		UB Refund Cst #00490137	
					60-00-000-20599	132.00
					Total :	132.00
193065	7/16/2021	007453 SERVICE SANITATION, INC.	8178841	VTP-018542	PORTAPOTTIES AND HANDWASHIN	
					01-35-000-72923	1,230.00
					Total :	1,230.00

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193066	7/16/2021	019814 SHI INTERNATIONAL CORP	B13734132	VTP-018528	VIRTUALIZATION SOFTWARE LICEI 01-16-000-72655	3,156.00
					Total :	3,156.00
193067	7/16/2021	007109 SIRCHIE FINGER PRINT LABS	0504340-IN	VTP-018540	WHITE WRITE-ON TAB LIFTER 4 IN 01-17-225-73550	381.39
					Total :	381.39
193068	7/16/2021	020152 SMITH, RUTHERINE	070121		SENIOR DISCOUNT DIFF REFUND I 06-00-000-79005	23.50
					Total :	23.50
193069	7/16/2021	012238 STAPLES BUSINESS ADVANTAGE	3481348244		PAPER CLIP,BLUE BORDER,POST I 01-14-000-73110	112.89
					Total :	112.89
193070	7/16/2021	007438 SUB TRAILER HITCH, INC.	13340		JACK WHEEL 01-21-000-72530	20.95
					Total :	20.95
193071	7/16/2021	007297 SUTTON FORD INC./FLEET SALES	531375		MOTOR ASY - WIPER 01-21-000-72540	119.84
			531526		MANIFOLD ASY FUEL, KIT-O RING 01-21-000-72540	214.95
			531750		SHAFT ASY 01-17-205-72540	215.04
			531965		SOCKET AND WIRE 01-17-205-72540	292.61
			532226		MOTOR ASY WIPER 01-26-023-72540	123.20
					Total :	965.64
193072	7/16/2021	007717 THIRD DISTRICT FIRE CHIEF ASSN	4590		MONTHLY LUNCHEON MEETING L.I 01-19-000-72220	40.00
					Total :	40.00
193073	7/16/2021	007777 THOMPSON ELEVATOR INSPECTION	21-1908		2 NEW CONSTRUCTION PERMIT IN 01-33-300-72853	378.00

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193073	7/16/2021	007777	007777 THOMPSON ELEVATOR INSPECTIOI (Continued)		Total :	378.00
193074	7/16/2021	012187	TOTAL AUTOMATION CONCEPTS, INC	C010500	1 YEAR AUTOMATION SERVICE CO 01-26-025-72790	7,322.50
				VTP-018463	Total :	7,322.50
193075	7/16/2021	007955	TRAFFIC CONTROL & PROTECTION	107411	24"X12" 080 ALUM BLANK - STD RA 01-26-023-73830	179.15
				107425	SIGN HOLDER RING WITH HARDW. 01-26-023-73830	44.00
				107494	DECORATIVE STOP SIGN 01-26-023-73830	1,633.95
				VTP-018460	Total :	1,857.10
193076	7/16/2021	007930	TRANS UNION	06100327	CREDIT SUMMARY,EMPLOYMENT (C 01-17-225-72852	152.64
					Total :	152.64
193077	7/16/2021	007909	TRI-RIVER POLICE TRAINING REG	5004	TRAINING JUVENILE INTERR & DEL 01-17-220-72140	450.00
					Total :	450.00
193078	7/16/2021	014510	TRUGREEN	139681640	LAWN TREATMENT 5/3-5/19/21 MUL 01-26-023-72881	10,726.00
				VTP-018310	Total :	10,726.00
193079	7/16/2021	008040	UNDERGROUND PIPE & VALVE CO	049245	HYDRANT REPAIR PARTS 60-00-000-73632	781.20
				VTP-018486	64-00-000-73632	334.80
					Total :	1,116.00
193080	7/16/2021	018250	VERIZON CONNECT NWF INC	OSV000002483557	CUST ID TINL001 06/01-06/30/21 01-26-023-72790	229.90
					Total :	229.90
193081	7/16/2021	010165	WAREHOUSE DIRECT WORKPL SOLTNS 4935541-1.		FORM, AUTO REP QD 50 PK 01-17-205-73110	128.00

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193081	7/16/2021	010165	010165 WAREHOUSE DIRECT WORKPL SO	(Continued)		Total : 128.00
193082	7/16/2021	020087	WHISKEY ROAD	071221	PERFORMANCE OF WHISKEY ROA 01-35-000-72923	375.00
						Total : 375.00
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3294	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	2104 2011 2008 2103	PAYEE-ALPHA REVIEW CORPORAT	
					70-00-000-72542	3.92
					01-14-000-72542	22.31
					70-00-000-72542	3.97
					01-14-000-72542	56.31
					70-00-000-72542	3.92
					01-14-000-72542	3.67
					70-00-000-72542	3.66
					01-14-000-72542	91.19
					70-00-000-72542	3.92
					01-14-000-72542	4.17
					70-00-000-72542	4.16
					01-14-000-72542	3.76
					70-00-000-72542	3.75
					01-14-000-72542	3.67
					70-00-000-72542	3.66
					01-14-000-72542	31.10
					70-00-000-72542	3.92
					01-14-000-72542	27.34
					70-00-000-72542	3.66
			2104 2011 2008 2103		PAYEE-ALPHA REVIEW CORPORAT	
					01-14-000-72542	22.87
					70-00-000-72542	3.92
					01-14-000-72542	3.42
					70-00-000-72542	3.41
					01-14-000-72542	18.46
					70-00-000-72542	2.50
					01-14-000-72542	3.28
					70-00-000-72542	3.28
					01-14-000-72542	32.20
					70-00-000-72542	4.15
					01-14-000-72542	3.28
					70-00-000-72542	3.28
					01-14-000-72542	3.89
					70-00-000-72542	3.88
Total :						393.88

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3295	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ADVNET 01-14-000-72542	186.18
Total :						186.18
3296	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-2	PAYEE-ADVNET 01-14-000-72542	193.12
Total :						193.12
3297	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-3	PAYEE-ADVNET 01-14-000-72542	186.18
Total :						186.18
3298	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-4	PAYEE-ADVNET 01-14-000-72542	234.52
Total :						234.52
3299	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-5	PAYEE-ADVNET 01-14-000-72542	191.10
Total :						191.10
3300	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-6	PAYEE-ADVNET 01-14-000-72542	234.52
Total :						234.52
3301	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	30.79
Total :						30.79
3302	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	200825W018	PAYEE-JERRY CHERRINGTON & NE 01-14-000-72542	9,000.00
Total :						9,000.00
3303	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201119W024	PAYEE-PARKVIEW ORTHOPAEDIC (I 01-14-000-72542 70-00-000-72542	125.49 125.48
Total :						250.97
3304	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-2	PAYEE-PARKVIEW ORTHOPAEDIC (I	

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3304	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	(Continued)		
					01-14-000-72542	82.88
					70-00-000-72542	82.87
					Total :	165.75
3305	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-PETERSON, JOHNSON & MI	
					01-14-000-72542	232.50
					Total :	232.50
3306	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	3,006.98
					Total :	3,006.98
3307	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201130W025	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	214.65
					Total :	214.65
3308	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201119W024	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,048.33
					70-00-000-72542	1,048.33
					Total :	2,096.66
3309	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,113.02
					Total :	1,113.02
3310	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-ADVNET	
					01-14-000-72542	124.14
					Total :	124.14
3311	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ADVNET	
					01-14-000-72542	186.18
					Total :	186.18
3312	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-2	PAYEE-ADVNET	
					01-14-000-72542	234.52
					Total :	234.52

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3313	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-8	PAYEE-ADVANET 01-14-000-72542	234.52
Total :						234.52
3314	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-9	PAYEE - ADVANET 01-14-000-72542	193.12
Total :						193.12
3315	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-10	PAYEE- CIOX HEALTH 01-14-000-72542	37.54
Total :						37.54
3316	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-1	PAYEE - DUPAGE MEDICAL 01-14-000-72542	81.62
Total :						81.62
3317	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	1,459.90
Total :						1,459.90
3318	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-1	PAYEE - IL BONE AND JOINT 01-14-000-72542	283.09
Total :						283.09
3319	7/14/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-8	PAYEE - IL BONE AND JOINT 01-14-000-72542	189.28
Total :						189.28
3320	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-7	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	154.93
Total :						154.93
3321	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-6	CLAIM #201019W041 CLAIM DATE 1 01-14-000-72542	189.28
Total :						189.28
3322	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-5	PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	236.60

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Voucher List
Village of Tinley Park

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Bank code : ipmq

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3322	7/13/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	236.60
3323	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041-4		PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	235.77
					Total :	235.77
3324	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041-3		PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	235.77
					Total :	235.77
3325	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041-2		PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	283.92
					Total :	283.92
3326	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201130W025		PAYEE-ILLINOIS BONE AND JOINT 01-14-000-72542	81.66
					Total :	81.66
3327	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028-2		PAYEE-INGALLS HEALTH SYSTEM 01-14-000-72542	383.56
					Total :	383.56
3328	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 210323W028		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	83.78
					Total :	83.78
3329	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 200803W006		PAYEE-LOYOLA UNIVERSITY MED (C 01-14-000-72542	266.99
					Total :	266.99
3330	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 210526W019		PAYEE-ONE CALL MEDICAL 01-14-000-72542	390.00
					Total :	390.00
3331	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC (C 01-14-000-72542 70-00-000-72542	135.80 135.79

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3331	7/13/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	271.59
3332	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	102.24
					70-00-000-72542	102.24
					Total :	204.48
3333	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-2		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	105.42
					70-00-000-72542	105.41
					Total :	210.83
3334	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	20.22
					70-00-000-72542	20.21
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3335	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	135.80
					70-00-000-72542	135.79
					Total :	271.59
3336	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-5		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	40.83
					70-00-000-72542	40.83
					Total :	81.66
3337	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	125.90
					70-00-000-72542	125.90
					Total :	251.80
3338	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 200505W003		PAYEE-PETERSON JOHNSON & ML	
					01-14-000-72542	19.50
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3339	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 190326W026		PAYEE-PETERSON JOHNSON & ML	
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Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3339	7/13/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	994.50
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3342	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 200211W025		PAYEE-PETERSON, JOHNSON & ML 01-14-000-72542	448.50
					Total :	448.50
3343	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-TECH SURGICAL INC 01-14-000-72542 70-00-000-72542	184.87 184.87
					Total :	369.74
3344	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 210421W008		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	1,704.52
					Total :	1,704.52
3345	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 210526W019		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	2,247.68
					Total :	2,247.68
3346	7/13/2021	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-2		PAYEE-WOODLAKE MEDICAL MAN/ 01-14-000-72542	4,270.55
					Total :	4,270.55
53 Vouchers for bank code : ipmq						Bank total : 35,561.86
150 Vouchers in this report						Total vouchers : 374,753.46

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Voucher List
Village of Tinley Park

Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date



ZONING BOARD OF APPEALS STAFF REPORT

July 8, 2021 – Public Hearing

Petitioner

Daniel Jurzec

Property Location

19330 Edgebrook Lane

PIN

19-09-11-201-002-0000

Zoning

R-2 Single Family
Residential
Brookside Glen PUD

Approval Sought

Variation

Project Planner

Lori Kosmatka
Associate Planner

Jurzec – Storage Shed Size Variation

19330 Edgebrook Lane



EXECUTIVE SUMMARY

The Petitioner, Daniel Jurzec (property owner), is seeking a 248 sq. ft. Variation from Section III.I. of the Zoning Code (Residential Accessory Structures and Uses) and the Tinley Park Comprehensive Building Code to permit a 448 sq. ft. storage shed, instead of the maximum permitted 200 sq. ft., at the property located at 19330 Edgebrook Lane in the R-2 PUD (Single Family Residential, Brookside Glen PUD) zoning district.

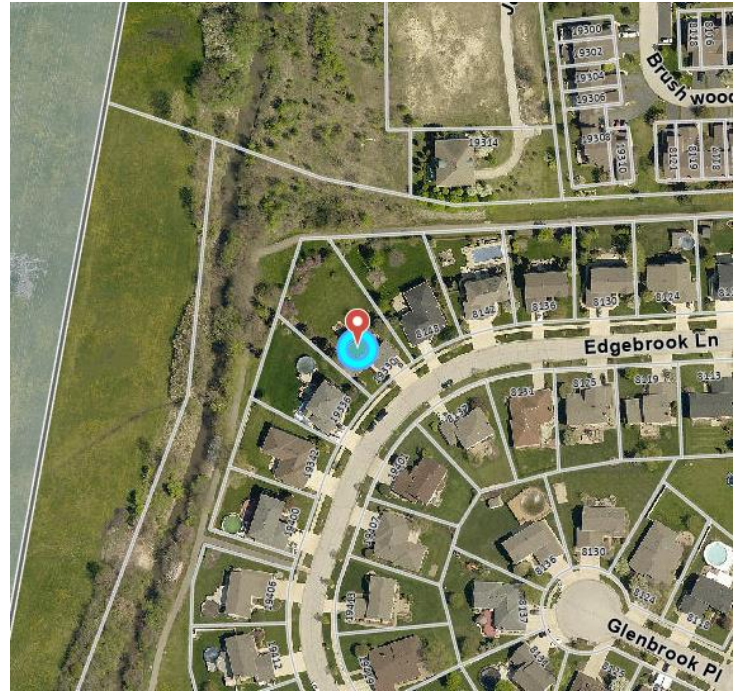
The Petitioner is proposing to construct a new storage shed, larger than permitted by code, to accommodate his yard tools for lawn maintenance and gardening, as well as additional storage needs.

The Petitioner noted that their lot is unique due to its relatively large size in comparison to the surrounding neighborhood and the Village overall. The subject property is a large lot that exceeds the minimum lot size requirements of the R-2 zoning district by approximately 7,266 square feet. There is little visibility to the shed since the rear yard backs up to open land owned Frankfort Square Park District and ComEd property for their overhead power lines. The larger storage shed is being proposed instead of a detached garage, which would be permitted at the proposed location, but would require installation of a driveway.

EXISTING SITE & HISTORY

The subject property is a 20,266 sq. ft. deep, irregularly shaped interior lot with approximately 77 feet of frontage along Edgebrook Lane. The lot is part of the Brookside Glen PUD, and within Brookside Glen Unit 1 Subdivision. This is a newer subdivision, platted in 1996, containing lots along Edgebrook Lane that have been developed with single-family homes.

There is an open metal fence surrounding the rear yard. The lot's side and rear property lines all contain drainage and utility easements. There is a ten-foot easement along the rear, and a five-foot easement along the side property lines to the northeast and southwest, abutting the neighbors on Edgebrook Lane. The single-family home has a three-car attached garage. There is no detached garage nor shed currently on the property.



Location Map



View from Front Property Line



View Looking Northwest Along Open Fence at Northeast Property Side

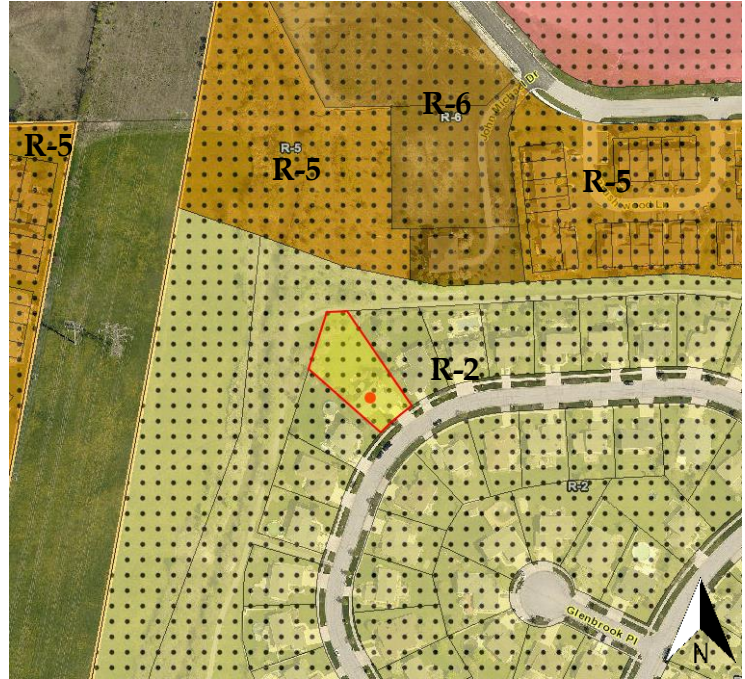


Panoramic 180 of Back Yard

ZONING & NEARBY LAND USES

The subject property (*outlined in red in the graphic to the right*) is an interior lot, located in the R-2 Single-Family Residential zoning district within the Brookside Glen PUD. The R-2 Zoning District requires a minimum lot area of 13,000 sq. ft. The subject property is 20,666 sq. ft., which exceeds the minimum lot area requirement by approximately 7,266 sq. ft. The subject property is slightly larger than adjacent properties due to the unique shape of the rear yard.

The subject property has similarly zoned R-2 single-family home neighbors on each side to the northeast and southwest along Edgebrook Lane. To the northwest abutting the rear of the subject property, Frankfort Square Park District owns the land which consists of open land, Union Creek, and a pumping station. There is also property owned by ComEd for their overhead power lines.



Zoning Map

Accessory Structure Code Requirements

Per Zoning Code Section III regulations for Residential Zoning Districts, accessory structures, including sheds, are permitted to encroach into the side and rear yards, but not the front yard. The R-2 Zoning District requires minimum yard setbacks, which are a 30 ft. front yard, 10ft. side yard, and a 35 ft. rear yard. Per Section III.I, accessory structures shall not be located less than ten feet from a principal building, and not located than five feet to the side and rear lot lines.

Section III.I.2.b. (Residential Accessory Structures) of the Zoning Ordinance limits residential accessory structures, such as detached garages, for single-family homes to a maximum floor area of 720 square feet, while Section 313 of the Village of Tinley Park Comprehensive Building Code limits storage/utility sheds to a maximum floor area of 200 square feet and height of 15 ft. Shed and detached garage building regulations differ by construction requirements, flooring, doors, and height. These code requirements are intended to ensure that detached accessory structures remain accessory to the principal structure that is located on a property. By not allowing excessively large residential structures on lots, it keeps a traditional residential look and feel to single-family residential neighborhoods.

Previous Approvals

Historically, the Village has not approved Variations to bulk requirements for accessory structures that are applied evenly throughout the Village's different zoning districts. Storage shed size Variations were previously reviewed by the Building/Community Development Committee of the Village Board, which makes tracking prior Variation requests for this specific request difficult. However, three recent Variation requests (indicated below) did consider the lot size to permit larger detached garages. These previous Variations were located on lots that were larger than required by their zoning district and larger than those in their surrounding neighborhood. The findings of fact in these cases all mention the excess lot sizes, garage placement, and that the proposals did not detract from the overall neighborhood or surrounding properties.

All were located on large lots and located back from the front right-of-way, and did not negatively impact the neighborhood or adjacent properties.

- 6420 16th St (2020-O-025) – 152 sq. ft. Variation to permit a detached garage to be 872 sq. ft. in size.
- 6224 Gaynelle Rd (2015-O-004) – 216 sq. ft. Variation to permit a detached garage to be 936 sq. ft. in size.
- 7427 Dorothy Ln (2013-O-047) – 178 sq. ft. Variation to permit a detached garage to be 898 sq. ft. in size.

VARIATION REQUEST

The Petitioner is proposing construction of a 28 ft. x 16 ft. (448 sq. ft.) storage shed to be located in the rear of their property, setback and aligned 11.5 feet away from the northeast side property line. The proposed shed will comply with other zoning requirements. It will not exceed the maximum height of 15 feet, and will be setback 30.8 feet from the principal structure (10-foot minimum setback required). It will also meet the five-foot accessory structure setback from side and rear lot lines and is not located in any easement; the structure is proposed 11.5 feet from the side lot line and not within the minimum required rear yard.

As noted by the Petitioner's photo showing the view from the front property line (*on page 2 of this report*), the location of the proposed shed will not be within prominent line of sight from the right-of-way.

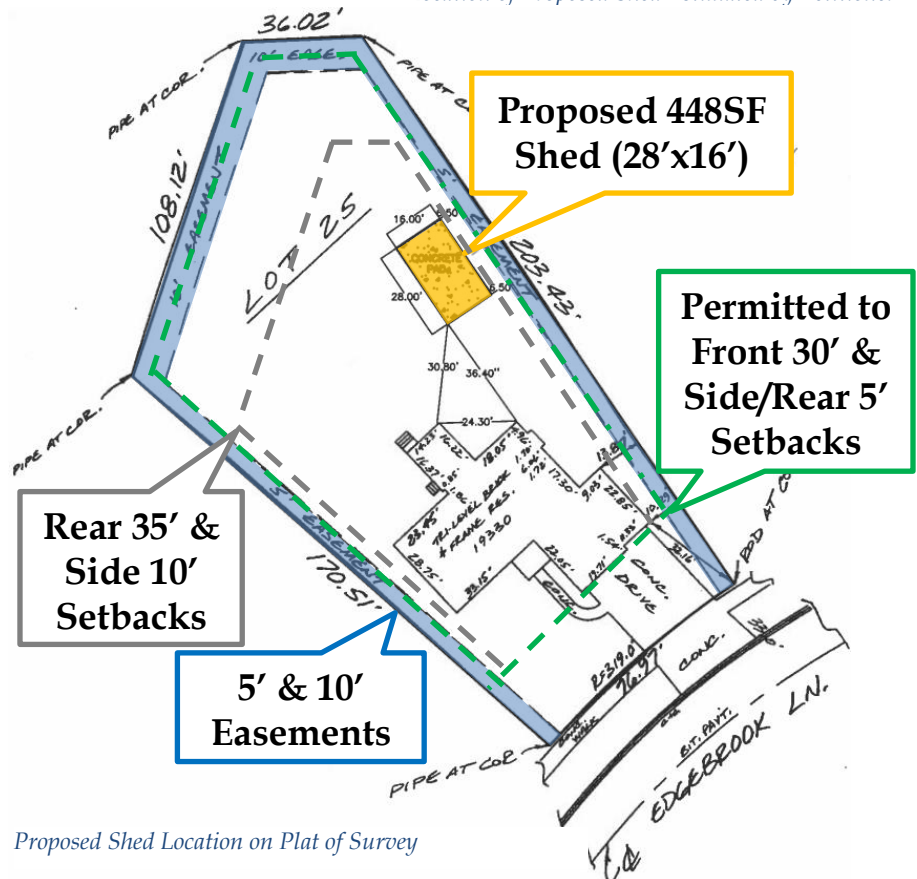
The intent of the larger storage shed size is to provide space for lawn maintenance equipment as well as overall space that can be used for storage, while also maintaining a well-designed structure that doesn't look out-of-place on a residential lot. The desired lawn maintenance equipment includes a riding lawn mower with bagger, fertilizer spreader, fertilizer, snowblower, yard tools, and yard waste barrels.

The Petitioner states that currently, he uses contractors to maintain the property and desires to purchase lawn equipment to personally maintain his property. The additional equipment including will add to his storage needs. His current storage capacity is limited within the existing three car garage which already contain three vehicles.

A detached garage is permitted at the proposed size and location but to be considered a garage by definition, it requires a driveway to be run to it. The Petitioner does not wish to run the driveway since it is unneeded impervious surface and costs that detracts from the site and structure.



Location of Proposed Shed Estimated by Petitioner



Proposed Shed Location on Plat of Survey



Sample Design Option for Proposed Shed

The Petitioner is currently seeking to re-side his principal structure, and the proposed shed will match. The Petitioner states the proposed shed will match the home's exterior roofline as well.

Permitted Alternatives

The Zoning Code allows the Petitioner options to meet the code either through a home addition, attached garage addition, or a detached garage. A detached garage is permitted up to 720 sq. ft. However, the property has existing physical conditions which limit options for alternative construction. The irregularly shaped lot has a narrow 77-foot frontage, with only 10.29 feet from the northeast property line to the home. Also, easements run along all the side and rear property lines. Since the use is not for vehicles, the Petitioner has noted he does not wish to run a driveway just for the ability to call the structure a detached garage.

Fire Department Review

Village Fire Department staff reviewed the proposal and did not have concerns about the proposed storage shed since it would comply with the Building Code requirements and large setback from the principal structure.

STANDARDS FOR A VARIATION

Section X.G.4. of the Zoning Ordinance states the Zoning Board of Appeals shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Zoning Board of Appeals must provide findings for the first three standards; the remaining standards are provided to help the Zoning Board of Appeals further analyze the request. Staff prepared draft responses for the Findings of Fact below.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
While the property can yield a reasonable return while meeting the code, the property is uniquely large and has existing lot and building constraints, making permitted alternatives difficult to achieve or less desirable and appealing to neighboring properties.
2. The plight of the owner is due to unique circumstances.
The subject property exceeds the minimum lot area requirements of the zoning district by approximately 7,266 sq. ft. allowing adequate space for the proposed storage shed. Other accessory structure types of the proposed shed size are permitted at the proposed location.
3. The Variation, if granted, will not alter the essential character of the locality.
Due to the size of the lot and the proposed setbacks, the storage shed is not expected to detract from the residential feel of the overall neighborhood. The storage is proposed to be setback behind the home from the front yard property line and thus visibility of the structure from the right-of-way will be limited. The Petitioner proposes to siding and a roofline on the storage shed to match new siding to the home. Additionally, the shed design is residential and compliments the residential feel of the property and area.
4. Additionally, the Zoning Board of Appeals shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
 - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
- d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
- e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

MOTION TO CONSIDER

If the Zoning Board of Appeals wishes to act on this request, the appropriate wording of the motions reads as follows:

“...make a motion to recommend that the Village Board grant the Petitioner, Daniel Jurzec, a 248 sq. ft. Variation from Section III.I. of the Zoning Ordinance (Residential Accessory Structures) and Section 313 of the Tinley Park Comprehensive Building Code to permit construction of a 448 sq. ft. storage shed, instead of the maximum floor area of 200 sq. ft. at 19330 Edgebrook Lane in the R-2 PUD (Single-Family Residential, Brookside Glen PUD) Zoning District, consistent with the Submitted Plans and adopt the Findings of Fact indicated in the July 8, 2021 Staff Report, subject to the following condition:

- 1. No additional storage sheds or detached garages shall be permitted on the property.”**

[any conditions that the ZBA would like to add]

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2021-O-049

**AN ORDINANCE GRANTING A VARIATION TO PERMIT AN
INCREASED STORAGE SHED SIZE FOR CERTAIN PROPERTY
LOCATED AT 19330 EDGEBROOK LANE**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2021-O-049**AN ORDINANCE GRANTING A VARIATION TO PERMIT AN INCREASED
STORAGE SHED SIZE FOR CERTAIN PROPERTY LOCATED AT 19330
EDGEBROOK LANE**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition has been filed with the Village Clerk of this Village and has been processed in accordance with the Tinley Park Zoning Ordinance and Comprehensive Building Code by Daniel Jurzec (“Petitioner”), to grant a 228 sq. ft. Variation to permit the construction of a 448 sq. ft. storage shed instead of the maximum of 200 sq. ft.; and

WHEREAS, the Village of Tinley Park Zoning Board of Appeals (“ZBA”) held a Public Hearing on the question of whether the Variation should be granted on July 8, 2021, at the Village Hall and by teleconference per Gubernatorial Executive Order 2020-18 and the “Village of Tinley Park Temporary Public Participation Rules & Procedures” at which time all persons present were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said Public Hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said Public Hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, after hearing testimony on the petition, the ZBA found that the petition met the requisite standards enumerated in the Tinley Park Zoning Ordinance for granting the Variation and voted 4-0 to recommend to the Village President and Board of Trustees for the approval of the Variation; and

WHEREAS, the ZBA has filed its report of findings and recommendations regarding the Variation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variation; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the ZBA are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner have provided evidence establishing that he has met the standards for granting the Variation as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variation as set forth herein are in the public good and in the best interest of the Village and its residents and are consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
 - *While the property can yield a reasonable return while meeting the code, the property is uniquely large and has existing lot and building constraints, making permitted alternatives difficult to achieve or less desirable and appealing to neighboring properties..*
2. The plight of the owner is due to unique circumstances.
 - *The subject property exceeds the minimum lot area requirements of the zoning district by approximately 7,266 sq. ft. allowing adequate space for the proposed storage shed. Other accessory structure types of the proposed shed size are permitted at the proposed location.*
3. The Variation, if granted, will not alter the essential character of the locality.
 - *Due to the size of the lot and the proposed setbacks, the storage shed is not expected to detract from the residential feel of the overall neighborhood. The storage is proposed to be setback behind the home from the front yard property line and thus visibility of the structure from the right-of-way will be limited. The Petitioner proposes to siding and a roofline on the storage shed to match new siding to the home. Additionally, the shed design is residential and compliments the residential feel of the property and area.*
4. Additionally, the Zoning Board of Appeals also considered the extent to which the following facts are favorable to the Petitioner based on the established evidence:
 - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
- d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
- e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

SECTION 3: The Variation set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION: LOT 25 IN BROOKSIDE GLEN UNIT 1, BEING A SUBDIVISION IN THE NORTHEAST $\frac{1}{4}$ AND THE SOUTHEAST $\frac{1}{4}$ OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 25, 1996 AS DOCUMENT NUMBER R96-96412 IN WILL COUNTY, ILLINOIS.

PARCEL IDENTIFICATION NUMBER: 19-09-11-201-002-0000

COMMONLY KNOWN AS: 19330 Edgebrook Lane, Tinley Park, Illinois

SECTION 4: A 248 sq. ft. Variation from Section III.I. of the Zoning Ordinance (Residential Accessory Structures) and Section 313 of the Tinley Park Comprehensive Building Code, to permit a 448 sq. ft. storage shed instead of the maximum of 200 sq. ft. is hereby granted to the Petitioner in the R- 2 PUD (Single-Family Residential, Brookside Glen PUD) Zoning District at the above-referenced Property.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-049, “AN ORDINANCE GRANTING A VARIATION TO PERMIT AN INCREASED STORAGE SHED SIZE FOR CERTAIN PROPERTY LOCATED AT 19330 EDGEBROOK LANE,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-064

**A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST
FOR MIRA REAL ESTATE, LLC LOCATED AT 6775 PROSPER
DRIVE, TINLEY PARK, ILLINOIS**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-064**A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST
FOR MIRA REAL ESTATE, LLC LOCATED AT 6775 PROSPERI
DRIVE, TINLEY PARK, ILLINOIS**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park desires to promote commercial and industrial development in the Village of Tinley Park; and

WHEREAS, the Cook County Assessor is operating under an ordinance enacted by the Cook County Board of Commissioners, and amended from time to time, which has instituted a program to encourage industrial and commercial development in Cook County known as the Cook County Real Property Classification Ordinance; and

WHEREAS, the Cook County Board of Commissioners has adopted a Real Property Assessment Classification 8 which provides an applicant a reduction in the assessment level for re-occupancy of an abandoned vacant industrial or commercial facility; and

WHEREAS, Class 8 requires the approval of the Cook County Board of Commissioners and the Village of Tinley Park; and

WHEREAS, MIRA Real Estate, LLC (Applicant) is applying for Class 8 property status pursuant to said aforementioned ordinance for certain real estate located at 6775 Prosperi Drive (Subject Property) in the Village of Tinley Park, Rich Township, Cook County, Illinois, with the Property Index Number 31-06-400-002-0000, and legally described in **Exhibit "A"** attached hereto, and has proven to this Board that the Subject Area is in need of revitalization, and,

WHEREAS, the Subject Property real estate is located in Rich Township; is currently vacant; and is certified eligible for Class 8 by Cook County;

WHEREAS, MIRA Real Estate, LLC intends to invest an estimated \$6 million towards improvements of the property and;

WHEREAS, the granting of a Class 8 tax incentive for the Subject Property is necessary for the development of the vacant property and execution of the intended project; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The President and Board of Trustees agree to grant a Cook County Real Estate Classification 8 status specifically for the special assessment of “occupation of vacant property” to MIRA Real Estate, LLC for re-occupancy of a vacant commercial building located at 6775 Prosperi Drive, Tinley Park, Rich Township, Cook County, Illinois, PIN Number 31-06-400-002-0000.

BE IT FURTHER RESOLVED, that the Village Clerk is hereby authorized and directed to forward a certified copy of this Resolution to the Offices of the Cook County Assessor, the Cook County Clerk and the Cook County Board of Commissioners.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-064, “A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST FOR MIRA REAL ESTATE, LLC LOCATED AT 6775 PROSPER DRIVE, TINLEY PARK, ILLINOIS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20th, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

EXHIBIT A**Legal Description & Location Map**

PIN: 31-06-400-002-0000.

COMMON ADDRESS: 6775 PROSPERI DRIVE

THAT PART OF THE FRACTIONAL SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 35 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, NORTH OF THE INDIAN BOUNDARY LINE, IN COOK COUNTY, ILLINOIS.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-065

**A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST
FOR IMAGINE ASPEN, LLC LOCATED AT 6851 W. 167th STREET,
TINLEY PARK, ILLINOIS**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

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Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-065**A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST
FOR IMAGINE ASPEN, LLC LOCATED AT 6851 W. 167th STREET,
TINLEY PARK, ILLINOIS**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park desires to promote commercial and industrial development in the Village of Tinley Park; and

WHEREAS, the Cook County Assessor is operating under an ordinance enacted by the Cook County Board of Commissioners, and amended from time to time, which has instituted a program to encourage industrial and commercial development in Cook County known as the Cook County Real Property Classification Ordinance; and

WHEREAS, the Cook County Board of Commissioners has adopted a Real Property Assessment Classification 8 which provides an applicant a reduction in the assessment level for re-occupancy of an abandoned vacant industrial or commercial facility; and

WHEREAS, Class 8 requires the approval of the Cook County Board of Commissioners and the Village of Tinley Park; and

WHEREAS, Imagine Aspen, LLC (Applicant) is applying for Class 8 property status pursuant to said aforementioned ordinance for certain real estate located at 6851 W. 167th Street (Subject Property) in the Village of Tinley Park, Bremen Township, Cook County, Illinois, with the Property Index Number 28-30-103-002-0000, and legally described in **Exhibit "A"** attached hereto, and has proven to this Board that the Subject Area is in need of revitalization, and,

WHEREAS, the Subject Property real estate is located in Bremen Township; is currently vacant; and is certified eligible for Class 8 by Cook County;

WHEREAS, Imagine Aspen, LLC intends to invest an estimated \$400,000 towards improvements of the property and;

WHEREAS, the granting of a Class 8 tax incentive for the Subject Property is necessary for the development of the vacant property and execution of the intended project; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The President and Board of Trustees agree to grant a Cook County Real Estate Classification 8 status specifically for the special assessment of “occupation of vacant property” to Imagine Aspen, LLC for re-occupancy of a vacant commercial building located at 6851 W. 167th Street, Tinley Park, Bremen Township, Cook County, Illinois, PIN Number 28-30-103-002-0000.

BE IT FURTHER RESOLVED, that the Village Clerk is hereby authorized and directed to forward a certified copy of this Resolution to the Offices of the Cook County Assessor, the Cook County Clerk and the Cook County Board of Commissioners.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-065, “A RESOLUTION APPROVING A COOK COUNTY CLASS 8 REQUEST FOR IMAGINE ASPEN, LLC LOCATED AT 6851 W. 167th STREET, TINLEY PARK, ILLINOIS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20th, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

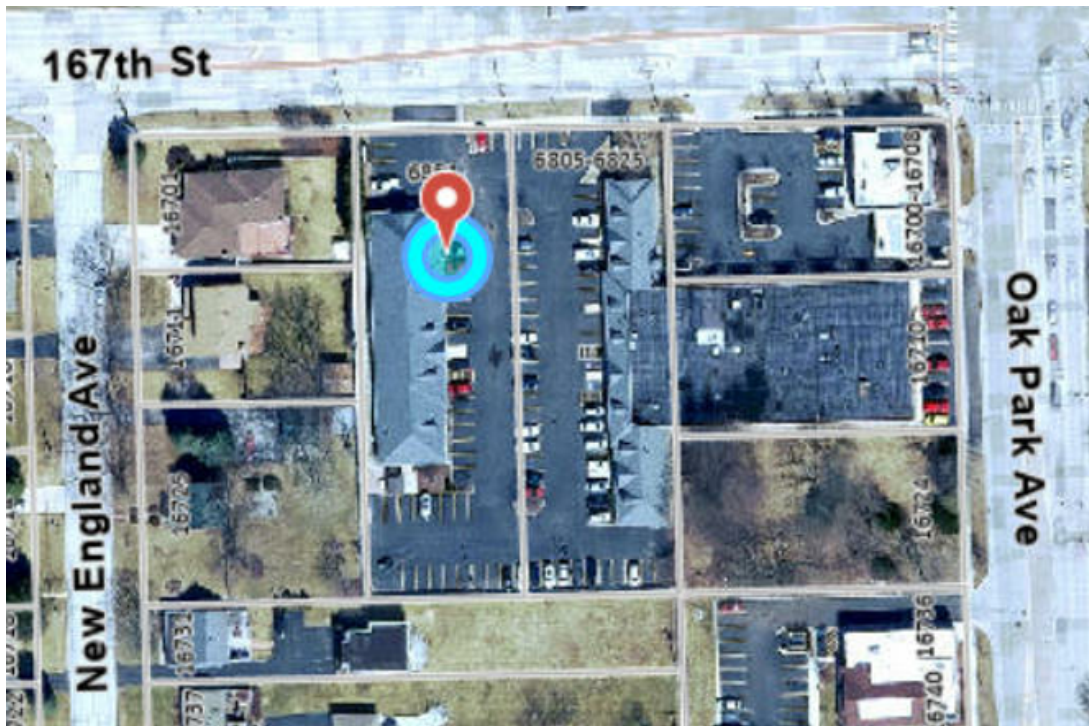
KRISTIN A. THIRION, VILLAGE CLERK

EXHIBIT A**Legal Description & Location Map**

PIN: 28-30-103-002-0000

COMMON ADDRESS: 6851 W. 167th Street

LOT 11 IN BLOCK 1 IN ELMORE'S OAK PARK AVENUE ESTATES, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART OF A DRAINAGE DITCH AS CONVEYED BY DOCUMENT NO. 377150), IN COOK COUNTY, ILLINOIS.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-067

**A RESOLUTION APPROVING THE FIRST AMENDMENT TO THE AMBULANCE
SERVICE CONTRACT WITH KURTZ AMBULANCE SERVICES, INC.**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees**

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Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-067**A RESOLUTION APPROVING THE FIRST AMENDMENT TO THE AMBULANCE SERVICE CONTRACT WITH KURTZ AMBULANCE SERVICES, INC.**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) and Kurtz Ambulance Services, Inc. have negotiated and now desire to enter into the First Amendment to the Ambulance Services Contract (“First Amendment”) attached hereto as Exhibit 1; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of said Village of Tinley Park and its residents to enter into this First Amendment; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That the President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that the aforesaid First Amendment between the Village and Kurtz, as set forth in Exhibit 1, be entered into and the Village President is hereby authorized to execute and memorialize said Agreement, subject to review and revision as to form by the Village Attorney.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-067, “**A RESOLUTION APPROVING THE FIRST AMENDMENT TO THE AMBULANCE SERVICE CONTRACT WITH KURTZ AMBULANCE SERVICES, INC.**” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 20th day of July, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

FIRST AMENDMENT TO AMBULANCE SERVICE CONTRACT

This First Amendment to Ambulance Service Contract (this “**First Amendment**”) is made and entered into as of the August 1, 2021 (“**First Amendment Effective Date**”), by and between Kurtz Ambulance Service, Inc., an American Medical Response company (“**AMR Kurtz**”) and Village of Tinley Park (“**Village**”) referred to herein collectively as the “**Parties**.”

WHEREAS, the Parties entered into that certain Ambulance Service Contract dated June 19, 2018 (the “**Agreement**”).

WHEREAS the Parties desire to amend the Agreement as set forth herein.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is acknowledged and agreed, the parties hereto agree as follows:

1. The term of the Agreement in Section 2 is hereby extended and will run through July 31, 2025.

2. Section 3A is deleted in its entirety and replaced as follows:

A minimum of five (5) Advanced Life Support Ambulances shall be available to respond to Village generated emergency calls during the hours of 6:00 A.M. to 6:00 P.M. and a minimum of four (4) ambulances during the hours of 6:00 P.M to 6:00 A.M. Such will be made available seven (7) days per week, 365 days per year (366 in any "leap year") during the term of this Contract. Contractor shall have a supervisor on duty and available by phone twenty-four (24) hours per day each day of the year, as well as a supervisor on duty.

3. Exhibit A is hereby deleted in its entirety and replaced as follows:

COMPENSATION

CUSTOMER agrees to pay AMR KURTZ the following annual subsidy, payable on a monthly basis, as detailed below.

Year	Monthly	Annual
August 1, 2020 – July 31, 2021	\$ 39,690.33	\$ 476,284.00
August 1, 2021– July 31, 2022	\$ 43,208.33	\$ 518,500.00
August 1, 2022– July 31, 2023	\$ 44,504.58	\$ 534,055.00
August 1, 2023-July 31, 2024	\$ 45,950.98	\$551,411.79
August 1, 2024 -July 31, 2025	\$ 47,599.27	\$ 570,711.20

Subsidy Return

All billing revenue collected by Provider, or its agent, from or on behalf of service recipients, in excess of the "Net Annual Collections" shown below will returned to the Village less a 4% billing fee; provided that such subsidy return shall never exceed the total annual subsidy paid by the Village to the Contractor, e.g., the maximum subsidy return the Village may receive for 8/1/2018- 7/31/2019 shall be \$399,937.00.

Additionally, the subsidy return shall not commence until such time as Contractor has covered its costs to the provide the services. It is understood that said subsidy return to the Village shall only be for services provided by ambulances assigned to the contract.

Year	Net Annual Collection
8/1/2021- 7/31/2022	\$2,252,842
8/1/2022- 7/31/2023	\$2,252,842
8/1/2024- 7/31/2024	\$2,252,842
8/1/2025- 7/31/2025	\$2,252,842

4. The chart in Exhibit B is hereby deleted in its entirety and replaced as follows:

	Resident			Non-Resident			Mileage	
Year	BLS	ALS-1	ALS-2	BLS	ALS-1	ALS-2	Resident	Non-Resident
August 1, 2020 – July 31, 2021	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$32.79	\$32.79
August 1, 2021– July 31, 2022	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$32.79	\$32.79
August 1, 2022– July 31, 2023	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$32.79	\$32.79
August 1, 2023– July 31, 2024	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$32.79	\$32.79
August 1, 2024– July 31, 2025	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$2,076.18	\$32.79	\$32.79

5. All other terms of the Agreement remain unchanged.

IN WITNESS WHEREOF, authorized representatives of the parties hereto have signed this First Amendment below as of the First Amendment Effective Date set forth above.

VILLAGE

AMR KURTZ

By: _____

[signature]

Name:

Title:

Date:

By: _____

[signature]

Name:

Title:

Date:



Interoffice Memo

Date: July 20, 2021
To: Committee of the Whole
CC: Dave Niemeyer, Village Manager
From: Kimberly Clarke, AICP, Community Development Director
Subject: Pete's Fresh Market Incentive Proposal



BACKGROUND

163rd & Harlem, LLC, is the real estate holding company for Pete's Fresh Market and owns the former K-Mart site located at 16300 S. Harlem Avenue. The project includes three phases: Phase I was approved in September of 2020 permitting a Special Use for a warehouse use in the former K-Mart building. Phase II, for which the incentive is being requested, includes the construction of an 88,608 sq. ft. Pete's Fresh Market grocery store with another 51,831 sq. ft. of in-line retail tenant space, an approximately 12,400 sq. ft. expansion of the warehouse and dock area.

A 6b and 7b Cook County reclassification incentive was previously approved in May of 2020. The 6b

incentive was for the warehouse portion of the site and the 7b incentive was for the commercial land to be developed. The reclassifications provides a tax savings of approximately \$49 million over the 23 year life of the TIF.

DISCUSSION

This site is located within the 159th and Harlem TIF (tax increment financing) District and therefore, eligible for TIF funding. The terms of the agreement are as follows:

- Term-10 years
- Completion Date- December 31, 2022 (agreement allows for a 1 year extension for any force majeure delays)
- Project Cost- \$36.6 million
- Financial Assistance- \$5.5 million TIF incentive or 20% of the actual project costs, whichever is less.
 - 80 % of increment sharing. Based on the percentage, the development should be paid back in 8-9 years.
 - Lookback language-there is language allowing a lookback commencing on the sixth year of the available incremental tax term. It will allow the Village to consider modification of the available increment taxes in the event the maximum reimbursement cannot be paid by the end of the 10 years.
- Clawback- The agreement is contingent on the property operating as a grocery store for 10 years. In the event Pete's closes the grocery store prior to 10 years there is language being negotiated on requiring them to payback a portion of their economic assistance given from the Village. The TIF funding will be based on TIF increment generated by this site alone.

Pete's Fresh Market expects to generate \$50-60 million in annual gross sales. Once the project is complete, they expect to hire 30-40 full-time employees for the distribution facility and approximately 170 employees for the supermarket (155 full-time and 15 part-time). They expect the additional retail tenants to create 30-60 jobs and generate approximately \$10 million in annual gross sales.

BENEFITS

The project will be an enhancement to the Village by encouraging development of an area previously designated as blighted by the Village. It will create over 200 jobs between all of the retail locations and distribution facility and increase property tax value and sales tax revenue.

Incentive Policy Checklist

The following statements are in line with the Village or Tinley Park's incentive policy.

1. Due to its location in an area previously designated as blighted, this project meets the Target Development Area Incentive Policy Requirement outlined in section B-8.
2. The project will create over 25 jobs as outlined in section B-1.
3. As a project expected to exceed \$1 million in capital investment, this project meets the Minimum Capital Investment Policy requirement.
4. The project has an annual retail sales of at least \$5 million as outlined in section B-5.

REQUEST

The Economic and Commercial Commission (ECC) reviewed the incentive request at its July 12, 2021 meeting and voted 7-0 to recommend approval. Staff requests for the Committee of the Whole to move this item forward for consideration at the Village Board later this evening.

Attachment

1. TIF Redevelopment Agreement dated 7.15.21

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-068

**A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT
FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND
HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND 163RD
& HARLEM LLC FOR PROPERTY AT 16300 S HARLEM AVENUE.
(PETE'S FRESH MARKET)**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees**

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Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-068

**A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT
FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND
HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND 163RD
& HARLEM LLC FOR PROPERTY AT 16300 HARLEM AVENUE.
(PETE'S FRESH MARKET)**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") and 163RD & Harlem LLC (the "Developer") have negotiated and now desire to enter into a Tax Increment Financing Redevelopment Agreement ("Agreement") pertaining to the economic development and revitalization of certain areas of the Village located within the 159th and Harlem TIF District ("TIF District"), attached hereto as Exhibit 1; and

WHEREAS, pursuant to 65 ILCS 5/8-1-2.5 of the Illinois Municipal Code in conjunction with 65 ILCS 5/11-74.4-1 *et seq.* ("TIF Act") the Village is authorized to appropriate and expend funds necessary for economic development and revitalization of real property within said TIF District; and

WHEREAS, it is the intent of the Village and the Developer, pursuant to said Agreement, to promote the economic development and revitalization of certain real property located at 16300 Harlem Avenue, Tinley Park, Illinois, PIN: 27-24-202-020-0000 and 27-24-202-021-0000; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of said Village of Tinley Park and its residents to enter into this Agreement with the Developer; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that the aforesaid Agreement between the Village and the Developer, as set forth in Exhibit 1, be entered into and the Village President is hereby authorized to execute and memorialize said Agreement, subject to review and revision as to form by the Village Attorney.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 20th day of July, 2021.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-068, “A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND 163RD & HARLEM, LLC FOR PROPERTY AT 16300 S. HARLEM AVENUE” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 20th day of July, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

VILLAGE CLERK

TP REVISIONS 7/15/21

**VILLAGE OF TINLEY PARK
TAX INCREMENT FINANCING
REDEVELOPMENT AGREEMENT
16300 S. Harlem Ave, Tinley Park, Illinois 60477**

(Pete's Fresh Market)

THIS REDEVELOPMENT AGREEMENT (the "Agreement") is made and entered into this _st day of July, 2021 (the "Effective Date"), by and between the **VILLAGE OF TINLEY PARK**, an Illinois municipal corporation (the "Village") and **163RD & HARLEM LLC**, an Illinois limited liability company (the "Developer"), (the Village and Developer are hereinafter sometimes collectively referred to as the "Parties," and individually as a "Party", as the context may require).

WITNESSETH:

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, as amended from time to time (65 ILCS 5/11-74.4-1 et seq.) (the "Act"), the Village has undertaken a program to redevelop certain property within the Village which is generally bounded as follows: 159th Street on the north (except for certain parcels west of Oak Park Avenue and north of 159th Street), the northern boundary of Siemsen Meadows (165th Street, extended) on the south, Oak Park Avenue on the east, and Olcott Avenue on the west (the "Redevelopment Project Area"). The Redevelopment Project Area is legally described and depicted in **Exhibit A** attached hereto and made apart hereof; and

WHEREAS, on August 18, 2020, the President and Board of Trustees (the "Corporate Authorities") of the Village, after giving all necessary notices and conducting all necessary meetings and public hearings required by the Act, adopted the following ordinances (collectively the "TIF Ordinances"): (A) Ordinance No. 2020-O-44: An Ordinance Designating the Tax

Increment Redevelopment Project Area; (B) Ordinance No. 2020-O-45: An Ordinance Approving the 159th and Harlem Redevelopment Plan and Redevelopment Project; and (C) Ordinance No. 2020-O-46: An Ordinance Adopting Tax Increment Financing; and

WHEREAS, Developer is the fee title holder of the property legally described and depicted in **Exhibit B** attached hereto and made apart hereof (“Property”); and

WHEREAS, the Property is located within the boundaries of the Redevelopment Project Area; and

WHEREAS, the Property is currently improved with an abandoned building retail store on the southern portion of the Property (the “Former Retail Store”); and

WHEREAS, Developer proposes to undertake a major capital investment in the Property and the Former Retail Store, including the renovation of the Former Retail Store into a warehouse, the construction of a new approximately 88,608 sq. ft. Pete’s Fresh Market grocery store (the “Grocery Store”); the construction of approximately 51,831 sq. ft. of retail tenant space north of the Grocery Store (“Retail Space”); and an optional approximately 12,400 sq. ft. expansion of the Former Retail Store for use as additional warehouse space.

WHEREAS, the Village has approved the final development plans for the renovation of the Former Retail Store into a warehouse and the construction of the Grocery Store and Retail Space (collectively, the “Project”), attached hereto as **Exhibit C**, as may be amended from time to time, are referred to herein as the “Project Plans”; and

WHEREAS, the Developer has estimated that the hard and soft costs for the Project are approximately \$36.68 million (the “Project Budget”) as set forth on **Exhibit D** attached hereto; and

48 **WHEREAS**, to facilitate the development and construction of the Project and subject to
49 and in accordance with the terms of this Agreement, the Village has agreed to reimburse the
50 Developer for certain Project costs solely from Available Incremental Taxes, as those terms are
51 defined below; and

52 **WHEREAS**, the Developer has agreed to develop and construct the Project in accordance
53 with this Agreement, all Village codes, ordinances and regulations (except to the extent the Village
54 has granted relief therefrom), as applicable to the Project Plans, and all other governmental
55 authorities having jurisdiction over the Property and the Project; and

56 **WHEREAS**, the Developer represents and warrants to the Village, and the Village finds
57 that, but for the financial assistance to be provided by the Village to the Developer pursuant to this
58 Agreement, the Project, would not be economically viable and, concomitantly, it is not reasonably
59 anticipated that the Developer would develop and construct the Project as contemplated; and

60 **WHEREAS**, this Agreement has been submitted to the Corporate Authorities of the
61 Village for consideration and review, and the Corporate Authorities have taken all actions required
62 to be taken prior to approval and execution of this Agreement in order to make the same binding
63 upon the Village according to the terms hereof, and this Agreement has been submitted to the
64 manager of the Developer for consideration and review, and the manager has taken all actions
65 required to be taken prior to approval and execution of this Agreement in order to make the same
66 binding upon the Developer according to the terms hereof; and

67 **WHEREAS**, the Corporate Authorities of the Village, after due and careful consideration,
68 have concluded that (A) the Developer meets high standards of creditworthiness on the basis it
69 will deploy its own capital to finance the Project (B) the development and construction of the
70 Project as provided herein will avoid significant vacancies at the Shopping Center, further the

growth of the Village, facilitate the redevelopment of a portion of the Redevelopment Project Area, improve the environment of the Village, increase the assessed valuation of the real estate situated within the Village, increase sales tax revenue, foster increased economic activity within the Village's commercial sectors, increase employment opportunities within the Village by creating and retaining jobs, improve the retail base of the Village and attract new tenants to the Shopping Center and other retail properties in the Village, is in the best interest of the Village, and is otherwise in the best interests of the Village by furthering the health, safety, morals and welfare of its residents and taxpayers; and (C) without the financial assistance contemplated by this Agreement, the Project would not be feasible; and

WHEREAS, pursuant to its Authority under (A) the Act; (B) its home rule powers under the Article VII, Section 6 of the Illinois Constitution; and (C) Economic Development Act of the Illinois Municipal Code, 65 ILCS 5/8-1-2.5 pertaining to economic incentive agreements, the Village wishes to enter into this Agreement with the Developer.

NOW THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Village and the Developer do hereby agree as follows:

ARTICLE I
RECITALS PART OF THE AGREEMENT

The representations, covenants and recitations set forth in the foregoing recitals are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Article I.

**ARTICLE II
DEVELOPER OBLIGATIONS**

2.1 Developer Obligations and Agreements. In consideration of the substantial commitment of the Village to the redevelopment of the Redevelopment Project Area pursuant to the TIF Ordinances and its commitments contained in this Agreement, the Developer shall fulfill, or has fulfilled, the following obligations:

A. The Developer shall construct the Project substantially in accordance with the Project Plans, and the Developer shall use commercially reasonable efforts to complete the Project on or before December 31, 2022 (the "Project Completion Date"), subject to any Force Majeure Delays (as defined below) and atypical construction delays; provided, however, that if Developer has not commenced construction of the Project on or before August 31, 2021, (the "Project Commencement Date"), either Party shall have the right to terminate this Agreement.

B. The Developer will exercise reasonable efforts to advance, or cause other parties to advance the funds necessary to construct and complete the Project.

C. The Developer will exercise reasonable efforts to secure or cause to be secured, all required permits, entitlements, authorizations and approvals necessary or required to construct and complete the Project (collectively, the "Village Approvals"). The Village will expeditiously process all of the Developer's requests and applications for Village Approvals.

D. In the event a claim is made against the Village, its officers, officials, agents and employees or any of them, or if the Village, its officers, officials, agents and employees or any of them (the "Indemnified Party" or "Indemnified

Parties”), is made a party-defendant in any proceeding arising out of or in connection with the Developer’s construction, operation, duties, obligations and responsibilities under the terms of this Agreement, the Project, including but not limited to, any claim or cause of action concerning construction of the Project and matters pertaining to hazardous materials and other environmental matters in existence as of the date of this Agreement, to the extent permitted by law, the Developer shall indemnify, defend and hold harmless the Indemnified Parties, or any Indemnified Party, from all claims, liabilities, losses, taxes, judgments, costs, fines, fees, including expenses and reasonable attorney’s fees, in connection therewith (collectively, “Losses”); provided, however, that to the extent that any Losses are caused the negligence, fraud or willful misconduct of, or the violation of any applicable law, regulation, code or ordinance by, any Indemnified Party, the Developer shall have no obligation to indemnify such Indemnified Parties for any such Losses. Any such Indemnified Party may obtain separate counsel to participate in the defense thereof at his or her own expense. The Indemnified Parties shall cooperate in the defense of such proceedings and be available for any litigation related appearances which may be required. Further, the Developer shall be entitled to settle any and all claims for money, in such amounts and upon such terms as to payment as it may deem appropriate, without the prior approval or consent of the Indemnified Parties, or any of them, as the case may be, provided that neither the Village nor any of the other Indemnified Parties shall be required

142 to contribute to such settlement except to the extent that Losses that are the
143 subject of the settlement are caused by the negligence, fraud or willful
144 misconduct of an Indemnified Party.

145 E. Notwithstanding anything herein to the contrary, none of the Indemnified
146 Parties shall be liable to the Developer for damages of any kind or nature
147 whatsoever or otherwise in the event that, except where due to the
148 negligence, fraud or willful misconduct of, or the violation of any applicable
149 law, regulation, code or ordinance by, one or more of the Indemnified
150 Parties, all or any part of the Act, or any of the TIF Ordinances or other
151 ordinances of the Village adopted in connection with either the Act or this
152 Agreement, shall be declared invalid or unconstitutional in whole or in part
153 by the final (as to which all rights of appeal have expired or have been
154 exhausted) judgment of any court of competent jurisdiction
155 (“Unconstitutional Finding”), and by reason thereof either the Village is
156 prevented from performing any of the covenants and agreements herein or
157 the Developer is prevented from enjoying the rights and privileges hereof;
158 provided that nothing in this Section 2.1.E shall limit otherwise permissible
159 claims by the Developer against the Village or actions by the Developer
160 seeking specific performance of this Agreement or payment of amounts due
161 in the event of a breach of this Agreement by the Village. In the event of
162 an Unconstitutional Finding, Developer shall, at its option, be released from
163 its obligations under this Agreement.

164 F. Upon reasonable (no less than two (2) business days) prior written notice,
165 the Village Manager, or his designee, shall have access to all portions of the
166 Project while it is under construction during normal business days and hours
167 for the purpose of determining compliance with this Agreement, applicable
168 laws and applicable regulations; provided, however, that any such person(s)
169 shall comply with all construction site rules and regulations while such
170 person(s) is on or near the Property. Additionally, the Developer shall keep
171 and maintain detailed accountings of expenditures demonstrating the total
172 actual costs of the Developer's Project costs As and to the extent the same
173 are disclosed to Village in compliance with subsection G. below, the Village
174 shall treat all such information as confidential business materials, the
175 disclosure of which would cause the Developer competitive harm. All such
176 books, records and other documents, including but not limited to the general
177 contractor's and subcontractors' sworn statements, general contracts,
178 subcontracts, purchase orders, waivers of lien, paid receipts and invoices,
179 and documentation evidencing that the Developer has incurred and paid any
180 expense for which reimbursement as the Developer's Project costs,
181 including Redevelopment Project Costs, is sought by Developer hereunder
182 shall be made available in electronic format for inspection, copying, audit
183 and examination, solely to enable the Village to comply with the Act, by an
184 authorized representative of the Village for a period of one (1) year after
185 issuance of the Certificate of Completion (as defined below). The Village
186 shall treat all such information as confidential business materials, the

disclosure of which would cause the Developer competitive harm. As such, the Village shall not disclose any such information pursuant to a Freedom of Information Act request unless compelled to by the Attorney General or a court of competent jurisdiction.

G. The Developer shall cooperate with the Village and provide the Village with the information in Developer's possession or control required and necessary under the Act to enable the Village to comply with the Act and its obligations under this Agreement.

H. The Developer shall comply with the fair employment/affirmative action principles required by the Act and the TIF Ordinances, and with all applicable federal, state and municipal regulations in connection with the construction of the Project.

I. The Developer has furnished to the Village a Project Budget showing total costs for the Project in the amount of \$36.68 million as set forth in Exhibit

D. The Developer hereby certifies to the Village that, to the best of the Developer's knowledge as of the date of this Agreement, the Project Budget attached as Exhibit D is a true, correct and complete, good faith estimate of the Project Budget as of the date hereof in all material respects.

2.2 Representations and Warranties About Ownership. The Developer represents, warrants and covenants that, to its knowledge, no member, official, officer, employee of the Village, or any commission or committee exercising authority over the Project or the Property, or any consultant hired by the Village or the Developer with respect thereto, owns or controls or has owned or controlled any interest, direct or indirect, in the Project or any portion of the Property,

or will own or control any interest in the Project, and that this Agreement will not violate Section 5/11-74.4-4(n) of the Act. Any representation or warranty made “to Seller’s actual knowledge” or similar terms shall not be deemed to imply any duty of inquiry. For purposes of this Section 2.2, “knowledge” shall mean and refer only to the actual knowledge of the Developer’s general counsel and shall not be construed to refer to the knowledge of any other member, partner, officer, director, agent, employee or representative of the Developer or any affiliate of the Developer.

2.3 Disclosure. In accordance with Illinois law, 50 ILCS 105/3.1, simultaneously with the execution of this Agreement by the Parties, the Developer shall submit a sworn affidavit to the Village disclosing the identity of every owner and beneficiary having any interest, real or personal, in the Property, and every member, shareholder, limited partner, or general partner entitled to receive more than 7 1/2% of the total distributable income of the Developer. The sworn affidavit shall be substantially similar to the one attached as Exhibit E, attached hereto and made a part of this Agreement.

ARTICLE III VILLAGE OBLIGATIONS

3.1 Village Economic Assistance. In consideration of the substantial commitment of the Developer to the development and construction of the Project, and in order to induce the Developer to undertake the Project, the Village shall provide economic assistance to the Developer by reimbursing it for Five Million Five Hundred Thousand Dollars and No Cents (\$5,500,000.00) in Redevelopment Project Costs, or twenty percent (20%) of the Actual Project Costs, as defined in Section 3.6(A) below, whichever is less (the “Maximum Reimbursement Amount”) by annual installment payments (the “Economic Assistance”) commencing as soon as Available Increment Taxes (defined below) are available for payment to the Developer. The Economic Assistance shall be comprised of Available Incremental Taxes, as defined in Section 3.2 below. The Maximum

Reimbursement Amount shall be reimbursed, to the extent the Developer has incurred
Redevelopment Project Costs, by Available Incremental Taxes

A. **Available Incremental Taxes.** Following issuance of the Certificate of Expenditure, as defined below, the Village shall pay the Developer from Available Incremental Taxes generated during the Available Incremental Tax Term for Redevelopment Project Costs incurred by the Developer. The term "Available Incremental Taxes" shall mean eighty percent (80%) of all net incremental ad valorem real property taxes received by the Village, if any, arising from the levies upon the Property attributable to the then current equalized assessed valuation of the Property over and above the initial equalized assessed value of the Property, all as determined pursuant to Section 5/11-74.4-8 of the Act and the TIF Ordinances. The Parties acknowledge that the initial equalized assessed value of the Property, as set forth in the TIF Ordinances, the term "Redevelopment Project Costs" shall mean and include all costs defined as "redevelopment project costs" in Section 5/11-74.4-3(q) under the Act and which have been of the Act which are eligible for reimbursement approved in the TIF Ordinances. The term "Available Incremental Tax Term" shall mean that approximately 10-year period, commencing December 1 of the first calendar year for which property taxes are payable based on an assessed value of the Property that takes into account the Project improvements, and ending approximately 10 years thereafter; provided, however, that Developer will be entitled to Available Incremental Taxes for each of the ten years during the Available

Incremental Tax Term even if such Available Incremental Taxes in the last year have not yet been paid to Developer before the end of the Available Incremental Tax Term. [For example, if the Project is completed in calendar year 2022 and real estate taxes for calendar year 2022 payable in calendar year 2023 are based on an assessed value of the Property that takes into account the Project improvements, then the Available Incremental Tax Term will begin on the date such Available Incremental Taxes for such year are paid to Developer (estimated to be December 1, 2023) and end on the date the tenth (10th) annual payment of Available Incremental Taxes are paid to Developer (estimated to be December 1, 2033).]

B. Commencing the sixth year of the Available Incremental Tax Term, the Village agrees to review with Developer the payment of Available Incremental Taxes relative to the Maximum Reimbursement Amount, and consider modification of the Available Incremental Taxes in the event the Maximum Reimbursement Amount will not be paid at the conclusion of Available Incremental Tax Term. Any decision to modify the payment of the Available Incremental Taxes is at the Village's sole discretion.

3.2 The Developer agrees and understands that: (1) the sole source of funds for payment of the Economic Assistance is expressly limited to Available Incremental Taxes; (2) the Developer is assuming the risk that the applicable Available Incremental Taxes generated during the term of this Agreement may be less than the Maximum Reimbursement Amount; (3) the Developer will have no right to compel the exercise of any taxing power of the Village for payment of any of the reimbursement amounts; (4) the Village's reimbursement obligations pursuant to this

Agreement do not and will not represent or constitute a general obligation or a pledge of the faith and credit of the Village, the State of Illinois or any political subdivision thereof;

3.3 Timing of Reimbursement Payments.

A. Upon completion of the Project (which shall be deemed to have occurred upon the issuance of a temporary or permanent Certificate of Occupancy by the Village), the Developer shall submit a Certificate of Expenditure, substantially in the form set forth on Exhibit F (the "Certificate of Expenditure") to document and substantiate the amount of Project costs incurred by the Developer (the "Actual Project Costs"), including Redevelopment Project Costs. In addition to the Certificate of Expenditure, the Developer's submission shall include such evidence reasonably acceptable to the Village that validates the Developer has incurred such Redevelopment Project Costs. Such evidence shall include, but is not limited to, owner's sworn statements, contractor and subcontractor lien waivers, invoices and cancelled checks related thereto, or such other documents as may be appropriate or required. The Village shall approve the Certificate of Expenditure within thirty (30) days of receipt, provided that all necessary and sufficient supporting documentation has been supplied by the Developer. All costs approved pursuant to a Certificate of Expenditure shall be included in the calculation of Actual Project Costs.

3.4 Certificate of Completion. Upon the Developer's written request, the Village shall issue to the Developer a Certificate of Completion in recordable form confirming that the Developer has fulfilled its obligation to complete the Project (which shall be deemed to have

occurred upon the issuance of a temporary or permanent Certificate of Occupancy by the Village) in accordance with the terms of this Agreement. The Village shall issue the Certificate of Completion only upon (i) the Village's determination of Developer's completion of the Project in accordance with the terms of this Agreement, and (ii) the Village's approval of a Certificate of Expenditure, as applicable for the Project. The Village shall respond to the Developer's written request for a Certificate of Completion within thirty (30) days by issuing said Certificate or a written statement detailing the ways in which the Project, as applicable does not conform to this Agreement or has not been completed in accordance with this Agreement, and the measures which must be taken by the Developer in order to obtain the applicable Certificate of Completion ("Punch List"). The Punch List shall be deemed binding on the Village and once issued, the Village shall not be permitted to add items to the Punch List, with the exception of items related to life safety or required by governmental agencies or state and federal law. The Developer may resubmit a written request for a Certificate of Completion upon accomplishment of the items on the Punch List.

3.5 Developer Indemnification. In the event a claim is made against the Developer, its members, managers, directors, partners, affiliates, shareholders, officers, officials, agents and employees or any of them, or if the Developer, its directors, partners, affiliates, shareholders, officers, officials, agents and employees or any of them (the "Developer Indemnified Party" or "Developer Indemnified Parties"), is made a party-defendant in any proceeding arising out of or in connection with: (a) the Village's duties, obligations and responsibilities under the terms of this Agreement, (b) the Village's breach of any of its obligations under this Agreement, (c) the Village's violation of any applicable law, regulation, code or ordinance; or (d) any negligence, fraud or willful misconduct of the Village, the Village shall, to the extent permitted by law,

326 indemnify, defend and hold harmless the Developer Indemnified Parties, or any Developer
 327 Indemnified Party, from all claims, liabilities, losses, taxes, judgments, costs, fines, fees, including
 328 expenses and reasonable attorney's fees, in connection therewith. Any such Developer
 329 Indemnified Party may obtain separate counsel to participate in the defense thereof at his or her
 330 own expense. The Developer Indemnified Parties shall cooperate in the defense of such
 331 proceedings and be available for any litigation related appearances which may be required.
 332 Further, the Village shall be entitled to settle any and all claims for money, in such amounts and
 333 upon such terms as to payment as it may deem appropriate, without the prior approval or consent
 334 of the Developer Indemnified Parties, or any of them, as the case may be, provided that neither the
 335 Developer nor any of the other Developer Indemnified Parties shall be required to contribute to
 336 such settlement.

337 **3.6 Terms and Conditions of Economic Assistance.** The Parties recognize and agree
 338 that the Village's commitment to provide the Economic Assistance to Developer is expressly
 339 contingent upon Developer's completion of the Project (as provided in Section 3.4 above), and the
 340 operation of the Grocery Store (by an affiliated operating entity separate from Developer) for a
 341 period of at least ten (10) years (the "Grocery Store Operation Period"). If Developer, an affiliated
 342 operating entity separate from Developer, or its or their successors or assigns, fail to operate the
 343 Grocery Store for the Grocery Store Operation Period, it shall forfeit all then unpaid future
 344 Economic Assistance it may be entitled to pursuant to this Agreement be required to reimburse the
 345 Village for all previously provided Economic Assistance pursuant to the following schedule:

Grocery Store Years of Operation	Percentage of Economic Assistance to be Repaid
0	100%
1	90%
2	80%
3	70%

4	60%
5	50%
6	40%
7	30%
8	20%
9	10%

346

347 3.7 A failure to temporarily operate a Grocery Store for a period of up to one (1) year
348 due business interruptions caused by remodeling, pandemic, epidemic, governmental restrictions,
349 takings, and limitations arising subsequent, war, state or national emergency, government
350 mandated closures, damage or destruction by fire or other casualty, strike, shortage of material or
351 labor, unusually adverse weather conditions, tornadoes or cyclones, and other events or conditions
352 beyond the reasonable control of the Developer, an affiliated operating entity separate from
353 Developer, or its or their successors or assigns, shall be considered a "Permitted Operational
354 Delay." In the event of a Permitted Operational Delay, Developer, an affiliated operating entity
355 separate from Developer, or its or their successors or assigns, shall notify the Village of the nature
356 of the event claimed to constitute Permitted Operational Delay. Notification shall be provided in
357 accordance with Section 6.8. Operation of the Grocery Store impaired by reason of the designated
358 event shall be tolled for that period of time reasonably necessary to remove or otherwise cure the
359 impediment to performance and the Developer, an affiliated operating entity separate from
360 Developer, or its or their successors or assigns shall be obligated to pursue such remedy or cure
361 with reasonable diligence given the nature of the impairment, to the extent the same may be
362 reasonably cured. In no event shall the Permitted Operational Delay exceed one (1) year.

363 3.8 Developer shall have no further obligations under this Agreement.

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365

366 **ARTICLE IV**
367 **AUTHORITY**

368 4.1 **Village Powers and Authority.** The Village hereby represents and warrants to
369 the Developer that the Village has full constitutional and lawful right, power and authority, under
370 currently applicable law, to execute and deliver and perform the terms and obligations of this
371 Agreement, and the foregoing has been, or will be, duly and validly authorized and approved by
372 all necessary Village proceedings, findings and actions. Accordingly, this Agreement constitutes
373 the legal, valid and binding obligation of the Village, and is enforceable in accordance with its
374 terms and provisions and the execution of this Agreement does not require the consent of any other
375 governmental authority.

376 4.2 **Developer Powers and Authority.** The Developer hereby represents and warrants
377 to the Village that the Developer has full lawful right, power and authority, under currently
378 applicable law, to execute and deliver and perform the terms and obligations of this Agreement,
379 and the foregoing has been or will be duly and validly authorized and approved by all necessary
380 Developer actions. Accordingly, this Agreement constitutes the legal, valid and binding obligation
381 of the Developer, is enforceable in accordance with its terms and provisions and does not require
382 the consent of any other party.

383 4.3 **Authorized Parties.** Except in cases where the approval or authorization of the
384 Village's Corporate Authorities is required by law, whenever, under the provisions of this
385 Agreement, or other related documents and instruments or any duly authorized supplemental
386 agreements, any request, demand, approval, notice or consent of the Village or the Developer is
387 required, or the Village or the Developer is required to agree to, or to take some action at, the
388 request of the other, such request, demand, approval, notice or consent, or agreement shall be given
389 for the Village, unless otherwise provided herein, by the Village Manager or his designee and for

the Developer by any officer of the Developer so authorized (and, in any event, the officers executing this Agreement are so authorized). Any Party shall be authorized to act on any such request, demand, approval, notice or consent, or agreement or other action and neither Party hereto shall have any complaint against the other as a result of any such action taken.

ARTICLE V DEFAULTS AND REMEDIES

5.1 Breach. A Party shall be deemed to be in breach this Agreement if it fails to materially perform, observe or comply with any of its covenants, agreements or obligations hereunder or breaches or violates any of its representations contained in this Agreement after the expiration of any cure period applicable thereto.

5.2 Cure of Breach. Except as otherwise provided herein, prior to the time that a failure to perform any other action or omission to perform any such obligation or action described in Section 5.1 shall be deemed to be a breach hereof, the Party claiming such failure shall provide written notification to the Party alleged to have failed to perform of the alleged failure and shall demand performance. No breach of this Agreement may be found to have occurred if performance has commenced to the reasonable satisfaction of the complaining Party within sixty (60) days of the receipt of such notice; provided, however that if the Developer alleges that the Village has failed to pay Incremental Taxes as and when required, then the Village shall have thirty (30) days to cure such default. The prosecution of the conduct necessary to remedy the alleged breach must be diligently pursued until the cure is perfected. The obligation to cure defaults, as herein required, shall be tolled during any applicable time period during which a delay in performance is permitted as an event of one or more Force Majeure Delays under the provisions of Section 6.3 hereof but the tolling of the performance of any obligation shall be limited to the obligation or action as to which the Force Majeure Delay provisions apply.

In the event that either Party shall breach any provision of this Agreement and fail to cure said breach as provided in the preceding paragraph or as elsewhere provided in this Agreement, the non-defaulting Party may enforce the terms hereof by filing any action or proceeding available at law or in equity, in any court of competent jurisdiction, including an action for specific performance of the covenants and agreements herein contained. Notwithstanding the foregoing, the Village remedy for monetary breaches shall be limited to its actual (but not exemplary, consequential or punitive) damages in an amount not to exceed its out-of-pocket expenses incurred in connection with this Agreement, including attorneys' fees. Except as otherwise set forth herein, no action taken by a Party pursuant to the provisions of this Section 5.2 or pursuant to the provisions of any other section of this Agreement shall be deemed to constitute an election of remedies and all remedies set forth in this Agreement shall be cumulative and nonexclusive of any other remedy either set forth herein or available to any Party at law or in equity. Notwithstanding anything herein to the contrary, in the event that the Developer fails to complete the Project, the Village's sole remedy shall be to withhold payment of Incremental Taxes.

5.3 Default Shall Not Permit Termination of Agreement. No default under this Agreement shall entitle any Party to terminate, cancel or otherwise rescind this Agreement; provided, however, this limitation shall not affect any other rights or remedies the Parties may have by reason of any default under this Agreement.

5.4 Right to Enjoin. In the event of any violation or threatened violation of any of the provisions of this Agreement by a Party, any other Party shall have the right to apply to a court of competent jurisdiction for an injunction against such violation or threatened violation, and/or for a decree of specific performance.

ARTICLE VI GENERAL PROVISIONS

6.1 Timing of Essence. Time is of the essence of this Agreement. The Parties will make every reasonable effort to expedite the subject matters hereof and acknowledge that the successful performance of this Agreement requires their continued cooperation.

6.2 **Mutual Assistance.** The Parties agree to take such actions, including the execution and delivery of such documents, instruments and certifications (and, in the case of the Village, the adoption of such ordinances and resolutions), as may be necessary or appropriate from time to time to carry out the terms, provisions and intent of this Agreement and to aid and assist each other in carrying out such terms, provisions and intent. The Village agrees that it shall not revoke or amend one or more of the TIF Ordinances if such revocation or amendment would prevent or impair the development of the Project in accordance with this Agreement or the Village's performance of its obligations hereunder. The Parties shall cooperate fully with each other in securing from any and all appropriate governmental authorities (whether federal, state, county or local) any and all necessary or required permits, entitlements, authorizations and approvals to develop and construct the Project.

6.3 **Force Majeure.** Neither the Village nor Developer nor any successor in interest to either of them shall be considered in breach of or in default of its obligations under this Agreement in the event of any delay caused by pandemic, epidemic, governmental restrictions, takings, and limitations arising subsequent, war, state or national emergency, government mandated closures, damage or destruction by fire or other casualty, strike, shortage of material or labor, unusually adverse weather conditions such as, by way of illustration and not limitation, severe rain storms or below-freezing temperatures of abnormal degree or for an abnormal duration, tornadoes or cyclones, and other events or conditions beyond the reasonable control of the Party

affected which in fact interferes with the ability of such Party to discharge its obligations hereunder (in each case, a “Force Majeure Delay”). In each case where a Party hereto believes its performance of any specific obligation, duty or covenant is delayed or impaired by reason of an event of Force Majeure Delay, the Party claiming the benefit of this Section 6.3 shall notify the other Party of the nature of the event claimed to constitute Force Majeure Delay and, specifically, the obligation, duty or covenant which it believes is delayed or impaired by reason of the designated event. Notification shall be provided in accordance with Section 6.8. Performance of the obligation, duty or covenant impaired by reason of the designated event shall be tolled for that period of time reasonably necessary to remove or otherwise cure the impediment to performance and the Party relying on the event of Force Majeure Delay shall be obligated to pursue such remedy or cure with reasonable diligence given the nature of the impairment, to the extent the same may be reasonably cured. In no case shall an event of Force Majeure Delay toll the performance of any obligation, duty or covenant not directly or indirectly implicated in the claimed event of Force Majeure Delay. Further, nothing herein shall be deemed to preclude the right of the Party entitled, by the terms of this Agreement, to receive the performance of any obligation, duty or covenant to challenge the validity of a claimed event of Force Majeure Delay. Force Majeure Delays will not apply to a Party’s obligation under this Agreement to pay money to another Party.

6.4 Amendment. This Agreement, and any exhibits attached hereto, may be amended only by the mutual consent of the Parties evidenced by a written amendment, by the adoption of an ordinance or resolution of the Village approving said written amendment, as provided by law, and by the execution of said written amendment by the Parties or their successors in interest. Notwithstanding the foregoing, an amendment to the Project Plans shall not require an amendment to this Agreement. In addition, the Village Manager may effect Minor Modifications to this

Agreement without the same being deemed an amendment to this Agreement which requires action by the Village President and the Board of Trustees. For the purposes of this Agreement, the term “Minor Modification” means a modification or waiver of any requirement, specification, or other term set forth in this Agreement, consented to by the Parties in writing, whereby such modification or waiver does not materially affect the goals, purposes, or nature of the Agreement.

6.5 Entire Agreement. This Agreement sets forth all agreements, understandings and covenants between and among the Parties relative to the matters herein contained. This Agreement supersedes all prior agreements, negotiations and understandings, written and oral, and shall be deemed a full integration of the entire agreement of the Parties.

6.6 Severability. If any provisions, covenants, agreement or portion of this Agreement, or its application to any person, entity or property, is held invalid, such invalidity shall not affect the application or validity of any other provisions, covenants or portions of this Agreement and, to that end, all provisions, covenants, agreements or portions of this Agreement are declared to be severable.

6.7 Consent or Approval. Except as otherwise specifically provided in this Agreement, whenever consent or approval written or otherwise of any Party to this Agreement is required, such consent or approval shall not be unreasonably withheld, delayed or conditioned.

6.8 Illinois Law. This Agreement shall be construed in accordance with the laws of the State of Illinois.

6.9 Notice. Any notice, request, consent, approval or demand (each, a “Notice”) given or made under this Agreement shall be in writing and shall be given in the following manner: (A) by personal delivery of such Notice; or (B) by mailing of such Notice by certified mail, return receipt requested; or (C) by commercial overnight delivery of such Notice for next business day

507 delivery. All Notices shall be delivered to the addresses set forth in this Section 6.8. Notice served
508 by certified mail shall be effective on the fifth Business Day (as defined below) after the date of
509 mailing. Notice served by commercial overnight delivery for next business day shall be effective
510 on the next Business Day following deposit with the overnight delivery company. For purposes
511 hereof, the first "business hour" of a Business Day shall be 8:00 a.m. Central time and the last
512 "business hour" shall be 6:00 p.m. Central time. The term "Business Day" shall be Monday
513 through Friday, excluding federal and State of Illinois holidays.

514 If to the Village:

515 Village of Tinley Park
516 Attn: Village Manager
517 16250 South Oak Park Avenue
518 Tinley Park, Illinois 60477
519 dniemeyer@tinleypark.org

520 with a copy to:

521 Peterson, Johnson & Murray Chicago, LLC
522 Attn: Kevin Kearney
523 200 West Adams Street, Suite 2125
524 Chicago, Illinois 60606
525 kkearney@pjmchicago.com

526 If to the Developer:

527 163rd & Harlem LLC
528 4333 South Pulaski Road
529 Chicago, Illinois 60632
530 Attention: Stephanie Dremonas
531 stephanie@pmrealtyinc.com
532

533 with a copy to:

534 Horwood Marcus & Berk Chtd.
535 Attention: David H. Sachs
536 500 West Madison Street, Suite 3700
537 Chicago, Illinois 60661
538 dsachs@hmbllaw.com
539

540
541 **6.10 Counterparts.** This Agreement may be executed in several counterparts, each of
542 which shall be an original and all of which shall constitute but one and the same agreement.

543 **6.11 Term of Agreement.** The term of this Agreement shall commence on the Effective
544 Date and continue until the earlier of: (A) the Developer's receipt of the Maximum Reimbursement
545 Amount or (B) the last day of the Available Incremental Tax Term, whichever is later; provided,
546 however, the Village's obligation to make a final reimbursement payment of Available
547 Incremental Taxes under either Available Incremental Tax Term shall survive the term of the
548 Agreement and the Developer's rights and remedies to enforce such obligation shall survive the
549 term of the Agreement.

550 **6.12 Good Faith and Fair Dealing.** Village and Developer acknowledge their duty to
551 exercise their rights and remedies hereunder and to perform their covenants, agreements and
552 obligations hereunder, reasonably and in good faith.

553 **6.13 Drafting.** Each Party and its counsel have participated in the drafting of this
554 Agreement therefore none of the language contained in this Agreement shall be presumptively
555 construed in favor of or against either Party.

556 **6.14 Recording.** The Developer shall be permitted to record, at its costs and expense, a
557 memorandum of this Agreement with the Cook County Recorder of Deeds.

558 **6.15 Covenants Run with the Land/Successors and Assigns.** It is intended that the
559 covenants, conditions, agreements, promises, obligations and duties of each Party as set forth in
560 this Agreement shall be construed as covenants and that, to the fullest extent legally possible, all
561 such covenants shall run with and be enforceable against both the covenanted and the Property.
562 Such covenants shall terminate upon termination or expiration of this Agreement. On or before
563 the last date of payment of Incremental Taxes, the Village shall provide a release to confirm

564 termination of this Agreement which Developer may, at its sole cost and expense, record against
565 the Property. This Agreement shall inure to the benefit of, and shall be binding upon each
566 Developer and each Developer's respective successors, grantees and permitted assigns, and upon
567 successor corporate authorities of the Village and successor municipalities.

568 **6.16 Assignment.** Prior to issuance of the Certificate of Completion, Developer may
569 not assign this Agreement, or any rights of obligations hereunder, to any party, except to an
570 affiliate or party providing financing for the Project, without the prior express written consent
571 of the Village. After to issuance of the Certificate of Completion, the Developer may assign
572 this Agreement, or any rights of obligations hereunder, provided that the Developer delivers
573 notice not more than thirty (30) days after such assignment taking effect.

574 **6.17 Partial Funding.** Except as otherwise set for in this Agreement, the Developer
575 acknowledges and agrees that the economic assistance to be received by the Developer as set forth
576 in this Agreement is intended to be and shall be a source of partial funding for the Project and
577 agrees that any additional funding above and beyond said economic assistance shall be solely the
578 responsibility of the Developer. The Developer acknowledges and agrees that the amount of
579 economic assistance set forth in this Agreement represents the maximum amount of economic
580 assistance to be received by the Developer, provided the Developer complies with the terms and
581 provisions set forth in this Agreement. The Developer further acknowledges and agrees that the
582 Village is not a joint developer or joint venturer with the Developer and the Village is in no way
583 responsible for completion of any portion of the Project.

584 **6.18 Attorney Fees.** Should it become necessary to bring legal action or proceedings to
585 enforce this Agreement, or any portion thereof, or to declare the effect of the provisions of this
586 Agreement, the prevailing party shall be entitled to recover or offset against sums due, its costs,

including reasonable attorneys' and consultants' fees, in addition to whatever other relief the prevailing party may be entitled.

6.19 Estoppel Certificates. Each of the Parties hereto agrees to provide the other, upon not less than ten (10) business days prior request, a certificate certifying that this Agreement is in full force and effect (unless such is not the case, in which such Party shall specify the basis for such claim), that the requesting Party is not in default of any term, provision or condition of this Agreement beyond any applicable notice and cure provision (or specifying each such claimed default) and certifying such other matters reasonably requested by the requesting Party. If either Party fails to comply with this provision within the time limit specified, it shall be deemed to have appointed the other as its attorney-in-fact for execution of same on its behalf as to the specific request only.

[SIGNATURE PAGES FOLLOW]

610

611 **IN WITNESS WHEREOF**, the Parties have duly executed this Agreement pursuant to all
612 requisite authorizations as of the date first above written.

613

614 **VILLAGE OF TINLEY PARK,**
615 an Illinois Municipal Corporation

616 By: _____
617

618 Village President

619 **ATTEST:**

620 _____
621 Village Clerk

163RD & HARLEM LLC,
an Illinois limited liability company

By: _____
Name: _____
Its: _____,

622

623

624 STATE OF ILLINOIS)

625) SS

626 COUNTY OF COOK)

627 I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO

628 HEREBY CERTIFY that the above-named _____ is personally known to

629 me to be the _____ of _____, and also personally

630 known to me to be the same person whose name is subscribed to the foregoing instrument as such

631 _____ and respectively, and that he appeared before me this day in person

632 and severally acknowledged that, as such _____, he signed and delivered

633 the said instrument, pursuant to authority given by the limited partnership as his free and voluntary

634 act, and as the free and voluntary act and deed of said _____ of said limited

635 partnership, for the uses and purposes therein set forth.

636 GIVEN under my hand and official seal, this _____ day of _____, 2021.

637 Commission expires _____

638 _____ Notary Public

639

640

641

EXHIBIT A**Legal Description of Redevelopment Project Area**

**THOSE PARTS OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, SECTION 18,
TOWNSHIP 36 NORTH, RANGE 13, SECTION 19, TOWNSHIP 36 NORTH, RANGE 13,
ALL EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS
MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:**

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID SUPER-K SUBDIVISION AND THE WEST LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO THE NORTH LINE OF SAID LOT 2;

THENCE EASTERLY ALONG THE NORTH LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO A WEST LINE OF LOT 3 IN SAID SUPER-K SUBDIVISION;

THENCE NORTHERLY, NORTHWESTERLY AND NORTHERLY ALONG THE WEST LINES OF LOT 3 IN SAID SUPER-K SUBDIVISION, TO THE WESTERN MOST NORTHWEST CORNER OF SAID LOT 3, ALSO BEING THE WESTERN MOST SOUTHWEST CORNER OF LOT 1 IN PARK PLACE SUBDIVISION AS PER PLAT THEREOF RECORDED DECEMBER 7, 1992 AS DOCUMENT NUMBER 92914537;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION TO THE NORTH LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION AND THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG SAID WEST LINE, TO THE SOUTH LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER 22379900;

THENCE EASTERLY ALONG SAID SOUTH LINE, TO THE EAST LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER;

THENCE NORTHERLY ALONG SAID EAST LINE, AND THE NORTHERLY PROLONGATION THEREOF TO THE NORTH LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG SAID NORTH LINE, TO THE NORTHEAST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY TO THE SOUTHWEST CORNER OF SECTION 18, ALSO THE NORTHWEST CORNER OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE SOUTH LINE OF SECTION 18, ALSO THE NORTH LINE OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF

THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO A POINT 15 FEET NORTH OF THE RIGHT OF WAY OF 159TH STREET AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE SOUTHEASTERLY TO A POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF 159TH STREET AND THE EAST LINE OF THE WEST 65 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE EASTERLY, SOUTHERLY AND EASTERLY ALONG THE RIGHT OF WAY OF 159TH STREET, TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE

EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A

DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING, TO THE SOUTHWEST CORNER THEREOF AND ALSO THE SOUTHEAST CORNER OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED

JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING;

THENCE CONTINUING WESTERLY ON THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING, TO THE WESTERN MOST NORTHWEST CORNER OF OUTLOT C IN DUN RAVEN PLACE PHASE II AS PER PLAT THEREOF RECORDED SEPTEMBER 28, 2001 AS DOCUMENT NUMBER 0010908493;

THENCE SOUTHWESTERLY TO A POINT OF TANGENCY IN THE NORTH LINE OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216 BEING THE WESTERLY TERMINUS OF AN ARC HAVING A RADIUS OF 192.00 FEET AND AN ARC LENGTH OF 300.13 FEET;

THENCE WESTERLY AND SOUTHWESTERLY ALONG THE NORTHERLY LIMITS OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS 352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART

OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS 352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264, TO THE WEST LINE OF SAID LOT 3, ALSO THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067;

THENCE SOUTHERLY ALONG THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067, ALSO THE WEST LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558;

THENCE SOUTHEASTERLY ALONG THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WESTERLY LINE OF CENTENNIAL DRIVE AS DEDICATED BY INSTRUMENT RECORDED JULY 9, 1980 AS DOCUMENT NUMBER 25509385;

THENCE CONTINUING SOUTHEASTERLY ALONG THE SOUTHEASTERLY PROLONGATION OF THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHERLY ON THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE NORTHEASTERLY ALONG THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC) AND THE SOUTHEAST

LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE

SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING;

THENCE EASTERLY ALONG THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54

SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING, TO THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EASTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 1, THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 AND THE NORTH LINE OF LOT 2 ALL IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202, TO THE SOUTH LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778

THENCE WESTERLY, SOUTHWESTERLY AND SOUTHERLY ALONG THE SOUTH LINE, SOUTHEAST LINE AND EAST LINE OF BREMEN TOWN DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHWESTERLY ALONG THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHERLY ALONG THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778 TO THE NORTH LINE OF LOT 16 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 16 AND THE NORTH LINE OF LOT 15 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17 IN BREMEN WOODE SUBDIVISION AS

PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17, AND THE EAST LINE OF LOT 17 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY, WESTERLY, NORTHERLY, EASTERLY AND NORTHERLY ALONG THE EASTERN LIMITS OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 18, THE NORTH LINE OF LOT 19, THE NORTH LINE OF LOT 20, THE NORTH LINE OF LOT 21 AND THE NORTH LINE OF LOT 26 ALL IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTH LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING;

THENCE NORTHERLY ALONG THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST

OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING, TO THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222;

THENCE SOUTHWESTERLY AND WESTERLY ALONG THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222, TO THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020;

THENCE SOUTHERLY ALONG THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE OF LOT 1 AND THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157, TO THE POINT OF BEGINNING.

EXCEPTING FROM THE ABOVE THE FOLLOWING DESCRIBED PARCELS OF LAND:

LOT 83 THROUGH LOT 89 (BOTH INCLUSIVE) IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND T2419778.

ALSO,

LOT 1 THROUGH LOT 12 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE I AS PER PLAT THEREOF RECORDED DECEMBER 21, 1990 AS DOCUMENT NUMBER 90619247.

ALSO,

LOT 1 THROUGH LOT 5 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE II AS PER PLAT THEREOF RECORDED OCTOBER 28, 1993 AS DOCUMENT NUMBER 93870509.

Map of Redevelopment Project Area

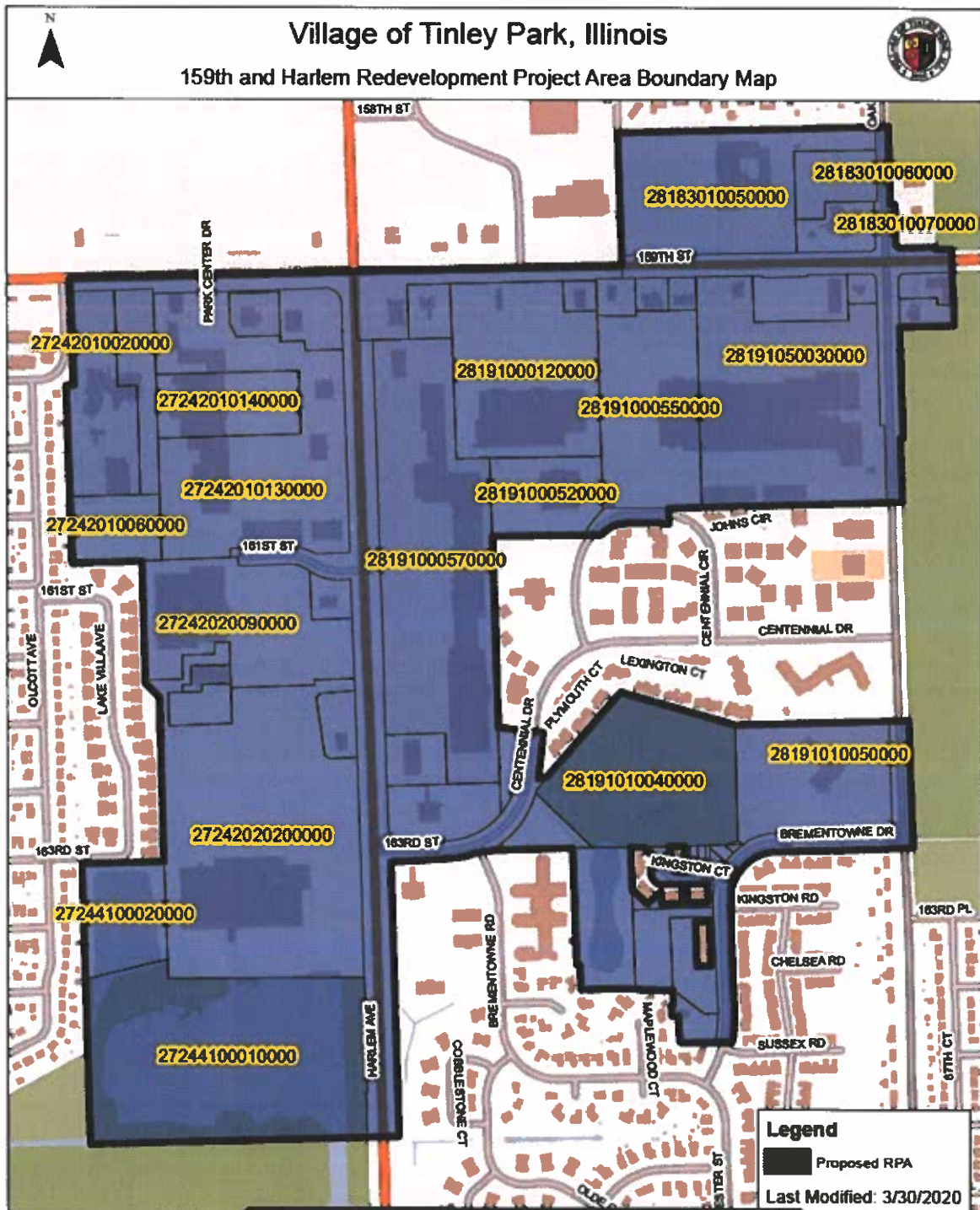


EXHIBIT B**Legal Description and Map of Property****PARCEL 1:**

LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE EASEMENTS FOR THE BENEFIT OF PARCEL 1 FOR INGRESS, EGRESS, ACCESS AND PARKING FOR VEHICULAR OR PEDESTRIAN TRAFFIC, AS CREATED IN THE SHOPPING CENTER RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED JUNE 21, 1991 AS DOCUMENT 91303346, UPON AND ACROSS THE PARKING AREAS, ENTRANCES, EXITS, DRIVEWAYS, WALKS AND SERVICE DRIVES AS LOCATED WITHIN THE "COMMON AREAS", AS COMMON AREAS ARE DEFINED IN SAID AGREEMENT, EXCEPTING THEREFROM THAT PORTION FALLING WITHIN ABOVE DESCRIBED PARCEL 1.

PIN(S): 27-24-202-020-0000; 27-24-202-020-0000

COMMONLY KNOWN AS: 16300 South Harlem Avenue
Tinley Park, Illinois

EXHIBIT C
Project Plans

DRAFT

EXHIBIT D**Project & Redevelopment Budgets**

DETAILED BUDGET		
Land Acquisition:	\$	5,000,000
Soft Costs/Fees:		
Construction Documents	\$	317,000
Design Schematic	\$	127,624
Entitlements	\$	30,876
Legal/Accounting	\$	158,500
Commissions	\$	245,000
Total Soft Cost/Fees	\$	879,000
Hard Construction Costs:		
Excavation/Sitework/Demo	\$	1,800,000
Steel	\$	2,200,000
Concrete/Paving (core/shell)	\$	700,000
Masonry	\$	1,600,000
Roof/Metal Panel	\$	1,250,000
Electrical (core/shell)	\$	450,000
Mechanical (Sewer and Water)	\$	2,500,000
Carpentry (core/shell)	\$	325,000
General Requirements	\$	100,000
Distribution Center	\$	3,500,000
Additional Tenants	\$	4,500,000
Tenant Improvements Build Out:		
Concrete/Paving	\$	300,000
Electrical	\$	1,750,000
Carpentry	\$	325,000
Tile	\$	20,000
Wood	\$	1,200,000
Signage	\$	300,000
Paint	\$	75,000
Fire Protection	\$	225,000
Plumbing	\$	200,000
Landscaping and Irrigation	\$	400,000
Furniture, Fixture, & Equipment:		
Carpeting	\$	5,000
Door	\$	45,000
Equipment	\$	500,000
Equipment Cooking	\$	100,000
HVAC	\$	350,000
Interior Shelving	\$	50,000
Lights and Fixtures	\$	300,000
Refrigeration	\$	2,400,000
Store Fixture	\$	45,000
Dock Levelers	\$	40,000
Pressure Washer	\$	9,000
Compactor	\$	35,000
Faucets	\$	15,000
Steel Doors	\$	30,000
Cart Corrals	\$	15,000
Registers	\$	240,000
Money Counters	\$	5,000
Service Counters	\$	35,000
Toilet Partitions	\$	13,000
Cases/Refrigeration	\$	2,500,000
Steel (Racks)	\$	350,000
Total Hard Cost	\$	30,802,000
Total Development Cost	\$	36,681,000

EXHIBIT E**Form of Disclosure Affidavit**

State of Illinois)
) ss
 County of _____)

I, _____, reside at _____ in the
 City/Village of _____, County of _____, State of
 Illinois, being first duly sworn and having personal knowledge of the below facts, swear to the
 following:

That I am over the age of eighteen and serve as the _____ of _____ (the
 "Developer").

That the property in question has a common street address referred to as:
 _____, in the Village of Tinley Park, County of Cook,
 State of Illinois, and with a Property Index Number(s) of _____ (hereinafter
 "Redevelopment Property").

That I understand that pursuant to Illinois law, prior to execution of the redevelopment agreement
 between the Developer and the Village, Illinois law requires the owner, authorized trustee, corporate
 official or managing member or agent to submit a sworn affidavit to the Village disclosing the identity
 of every owner and beneficiary who will obtain any interest, real or personal, in the Property and/or
 Project, and every shareholder who will be entitled to receive more than 7.5% of the total distributable
 income of any corporation having any interest, real or personal, in the Redevelopment Property and/or
 project after this transaction is consummated.

As the owner, authorized trustee, corporate official or managing member or agent, I declare under oath
 that (choose one):

- (a) The owners or beneficiaries of the trust are _____; or
- (b) The shareholders with more than 7.5% interest are _____; or
- (c) The members with more than 7.5% interest in the limited liability company are _____, or
- (d) The corporation is publicly traded and there is no readily known individual having greater than
 a 7.5% interest in the corporation.

This instrument is made to induce the Village to enter into the redevelopment agreement and in
 accordance with the Illinois law.

Affiant: _____

Subscribed and Sworn to before me this _____ day of September, 2021.

 Notary Public

EXHIBIT F**Form of Certificate of Expenditure**

Date: _____, 2021

To: Village of Tinley Park, (the "Village")

Re: 163RD & HARLEM LLC ("Developer") \$_____ Incremental Tax
Reimbursement

This Certificate of Expenditure is provided pursuant to the Village of Tinley Park Tax Increment Financing Redevelopment Agreement (Phase I) by and between Developer and the Village, dated _____, 2021, as authorized pursuant to Resolution No. 2021-R-____ (the "Redevelopment Agreement"). All terms used herein shall have the same meaning as when used in the Redevelopment Agreement.

Developer hereby certifies that, as of the date hereof, \$_____ has been advanced by Developer in connection with the Project. Such amount has been properly incurred, is a proper charge made or to be made in connection with the Project costs, including Redevelopment Project Costs. Total Project costs are \$_____ and Redevelopment Project Costs are \$_____. Documents substantiating these expenditures and their payment are attached hereto.

IN WITNESS WHEREOF, Developer has caused this certification to be signed on its behalf as of the date shown above.

163RD & HARLEM LLC

By: _____

Name: _____

Title: _____



PLAN COMMISSION STAFF REPORT

June 17, 2021 – Public Hearing

Pete's Fresh Market Phase 2

16300 S. Harlem Avenue

Petitioner

Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner)

Property Location

16300 S. Harlem Avenue

PIN

27-24-202-020-0000 &
27-24-202-021-0000

Zoning

B-3 PD (General Business and Commercial, Park Place PUD)

Approvals Sought

- Special Use Permit for a Substantial Deviation from PUD
- Plat of Subdivision
- Site Plan/Architectural Approval

Project Planner

Paula J. Wallrich, AICP
Planning Manager



EXECUTIVE SUMMARY

The Petitioner, Petros Drimonas, on behalf of 163rd & Harlem LLC. for Pete's Fresh Market, is requesting approval of the proposed Site/Architecture Plans, a Substantial Deviation from the Park Place Planned Unit Development (PUD), and Plat of Subdivision for their 24.2-acre property located at 16300 Harlem Avenue (former K-Mart property). The proposed development is Phase 2 of a three-phase project. Phase 2 includes the construction of an 88,608 Sq. Ft. Pete's Fresh Market (PFM) store; 51,831 Sq. Ft. of in-line retail tenant space north of the grocery store; a ±12,400 Sq. Ft. expansion of the warehouse; an expansion of the existing dock on the south side of the warehouse building and the addition of a new dock area south of the warehouse addition.

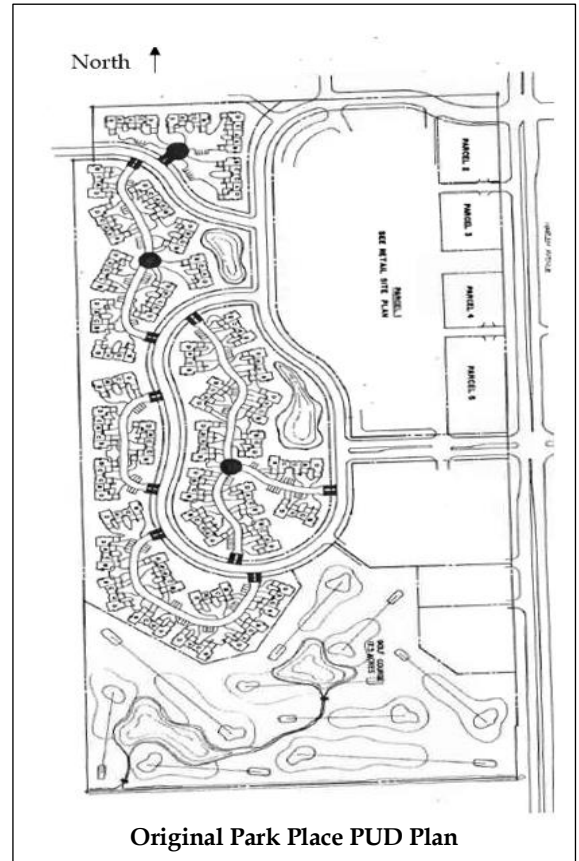
Phase 1 was approved in September of 2020 and included the granting of a Special Use for the warehouse in the former K-Mart building. The approvals were conditioned upon occupancy of the grocery store by September 1, 2022. Phase 3 will involve the subdivision of property along Harlem Avenue for outlots.

Changes from the May 27, 2021 Plan Commission workshop meeting are indicated in **Red**.

BACKGROUND

Pete's Fresh Market is headquartered in Chicago IL. They currently operate 17 different existing locations in the metropolitan area with ongoing plans to open more stores in the Chicagoland area. Most recently they opened a store in Matteson and have plans for stores in New Lenox, Orland Park and Oak Lawn.

The proposed development will require an amendment to the existing Park Place Planned Unit Development (PUD) as a Substantial Deviation. Park Place was adopted November 7, 1989 (89-O-045) and included Single Family (R-1) and General Business and Commercial uses (B-3) with the hope of attracting a hotel, restaurant, office and retail uses. Additionally, there were plans to build a 9-hole golf course as part of the mixed-use PUD. The residential uses were constructed on the west side of the property and in 1993 the Village amended the PUD (93-O-36) to allow for the construction of the Aldi store. A PACE Warehouse Store (a membership buyer's club) was already constructed north of Aldi and is now occupied by Sam's Club. Two years later in 1995, the Village amended the PUD again to provide for the K-Mart store (95-O-001) and outlot; the required stormwater management essentially eliminated any future plans for a golf course. The perimeter fencing, landscape berms and parking lot improvements were all constructed with the development of the K-Mart store.



The subject site comprises 24.2 acres and will be developed in three phases. Phase 1, approved in September of 2020, included the granting of a Special Use for a Substantial Deviation to allow a warehouse/distribution use in the B-3 zoning district. The approvals were conditioned upon occupancy of the grocery store by September 1, 2022 and allowed for the overnight storage of five (5) delivery vehicles. The Petitioner has cleaned up the site and landscaping, and recently painted the building. The new color represents a great improvement to the façade and complements the new proposed market.

Phase 2 represents the current proposal under consideration and includes the construction of an 88,608 Sq. Ft. Pete's Fresh Market (PFM) store; 51,831 Sq. Ft. of in-line retail tenant space north of the grocery store; a +12,400 Sq. Ft. expansion of the warehouse; an expansion of the existing dock on the south side of the warehouse building to accommodate additional trucks and the addition of a new dock area south of the warehouse addition. Phase 3 will involve the subdivision of property along Harlem Avenue for outlots.



Before

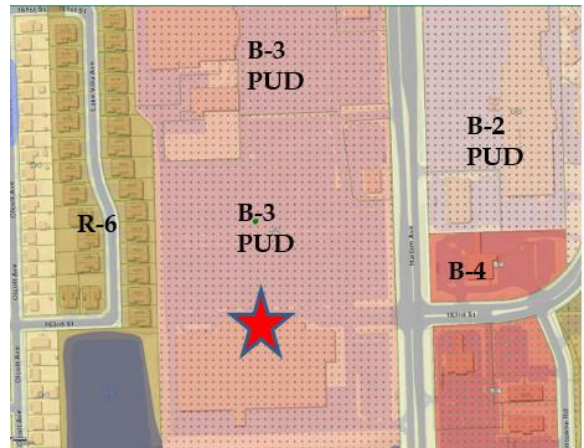


After

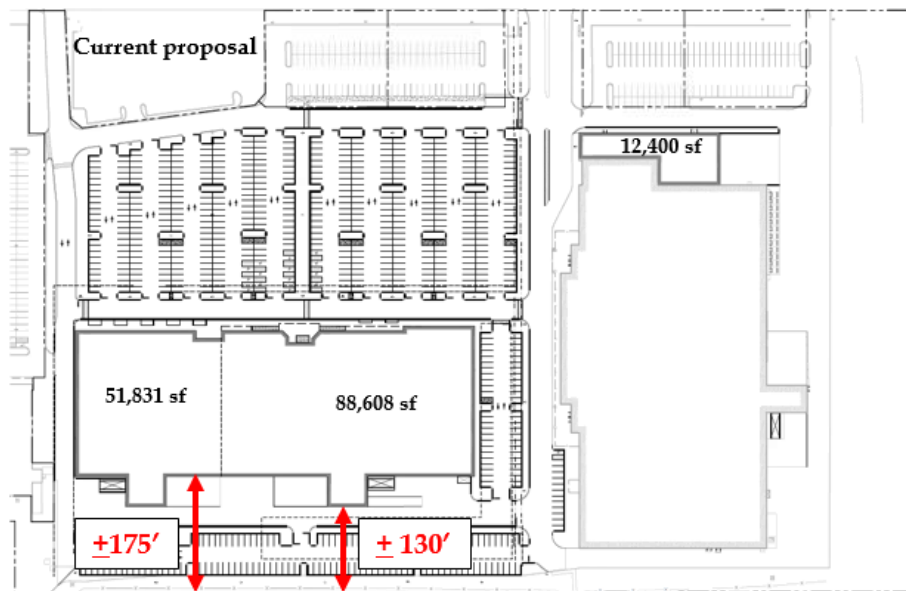
ZONING & NEARBY LAND USES

The subject parcel is located in the Park Place PUD with the underlying zoning of B-3. It is located along Harlem Avenue, one of the Village's major commercial corridors.

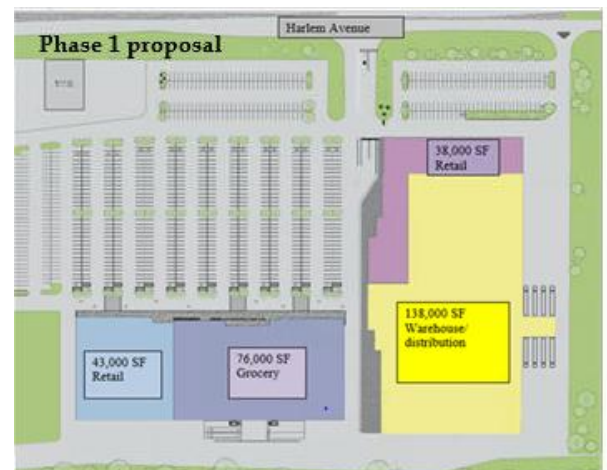
The property to the north is also zoned B-3 PUD (Park Center Plaza PUD) and is developed with commercial uses. The property to the west is developed with residential duplexes, zoned R-6. To the east, across Harlem Avenue, the property is zoned B-4 (Office and Service Business District) and is occupied by a medical office building. Just north of the medical office building is the Tinley Park Plaza retail center and is zoned B-2 PUD. South of the subject property is an unincorporated and undeveloped parcel that has been used for various recreational uses (frisbee golf and dog park) that is operated by the Tinley Park-Park District.



SITE PLAN



Overall Site Plan: Several revisions have been made to the site plan that was presented with the Phase 1 proposal. In response to concerns regarding noise impact on the neighborhood to the west, the Petitioner has moved the location of the grocery store (particularly the truck docks) and in-line stores further away from the residential neighborhood. The docks are now proposed at approximately 130' and the building approximately 175' from the west property line. In addition to moving the truck dock further east it allows for the separation of parking fields between employees and patrons. The previous plan also contemplated retail uses along the east end of the warehouse. The new plan consolidates the retail to the north of the grocery store. The new plan also provides for 4 new outlots along Harlem Avenue.



The revised site plan also provides for improved pedestrian access throughout the site as well as from Harlem Avenue. All of the comments recommended by staff regarding sidewalks and landscape buffers between vehicular drive aisles and pedestrian ways have been incorporated into the final design. Crosswalks have been incorporated where necessary and overhangs from vehicles have been taken into consideration where sidewalks abut vehicular parking. A minimum 8' sidewalk has been provided in those areas. A central landscaped boulevard has been provided which provides an east-west pedestrian accessway that focuses on the front access of the grocery store. This area also helps to break up the asphalt parking lot with fifteen (15) canopy trees. All parking aisles and parking spaces meet code requirements. Bike racks are provided near the entrance of the grocery store. An area has also been designated for outdoor dining near the grocery store main entrance.

The site has three points of access. One at 163rd as a signalized intersection; the north and south entrances have right-in/right-out access. As part of the Park Place PUD a blanket access and parking easement extends north to the 161st signalized intersection. It is expected that some of PFM's customers may use that access as well.

Parking

As previously stated by staff, *"parking is an imperfect science"* and while zoning ordinances attempt to assign parking ratios based on the average intensity of the uses, the reality is that there is no real standard of the industry and municipalities enforce a range of parking requirements. In the proposed multi-tenant plaza, which also has a cross parking easement with the development to the north (Sam's Club), there are many shared parking opportunities; depending on the future mix of tenants there will be a range in parking demand as well.

The proposed site plan provides a total of 665 spaces available to customers and employees of the 140,439 Sq. Ft. development. This represents a ratio of 4.7 spaces per 1,000 Sq. Ft. of gross leasable floor area. As a point of comparison, the recent approval for the Brixmor development (across the street from the subject site) provided the same parking ratio (4.7/1,000) for their entire Phase I & II development (511 spaces for 108,328 Sq. Ft. of development). The Zoning Ordinance requires 6.5 spaces per 1,000 Sq. Ft. of gross leasable floor area for a planned shopping center. However, that ratio dates back to the 80's and 90's. By today's standard this is considered excessive and is based on *'the day after Thanksgiving'* parking counts. If the current standard is applied to the Pete's development, a total of 913 parking spaces would be required resulting in the need for an additional 248 parking spaces beyond what they are currently proposing. In speaking with the Petitioner, who has experience operating 17 grocery stores, some stores operate successfully with ratios as low as 3 spaces /1,000 Sq. Ft. The parking fields located at the front and side of the store provide a ratio of 3.7 spaces/1,000 Sq. Ft. (excluding the rear parking area). The rear parking area (134 spaces) will be used primarily for employees. The Petitioner has not finalized their labor requirements but do not anticipate more than 200 employees working over 3 shifts. They do not anticipate more than 120-140 employees on site at any given time. The warehouse is expected to have between 10-20 employees; there is a parking area (13 spaces) dedicated for warehouse employees at the northwest end of the warehouse building.

It is staff's contention that retail locations are often 'overparked' resulting in expansive areas of asphalt that are mostly unused and result in high energy, development and environmental costs. As society continues to trend to more efficient modes of travel and less car dependent shopping patterns, it is Staff's opinion that the relationship and proximity of parking to the uses, along with a balance of green space and good circulation patterns, translates to an appropriate parking ratio as proposed. As an exception to the code it will however still need to be noted as part of the PUD approval.

Open Item #1: Identify the parking ratio as an exception to the Village parking requirements.

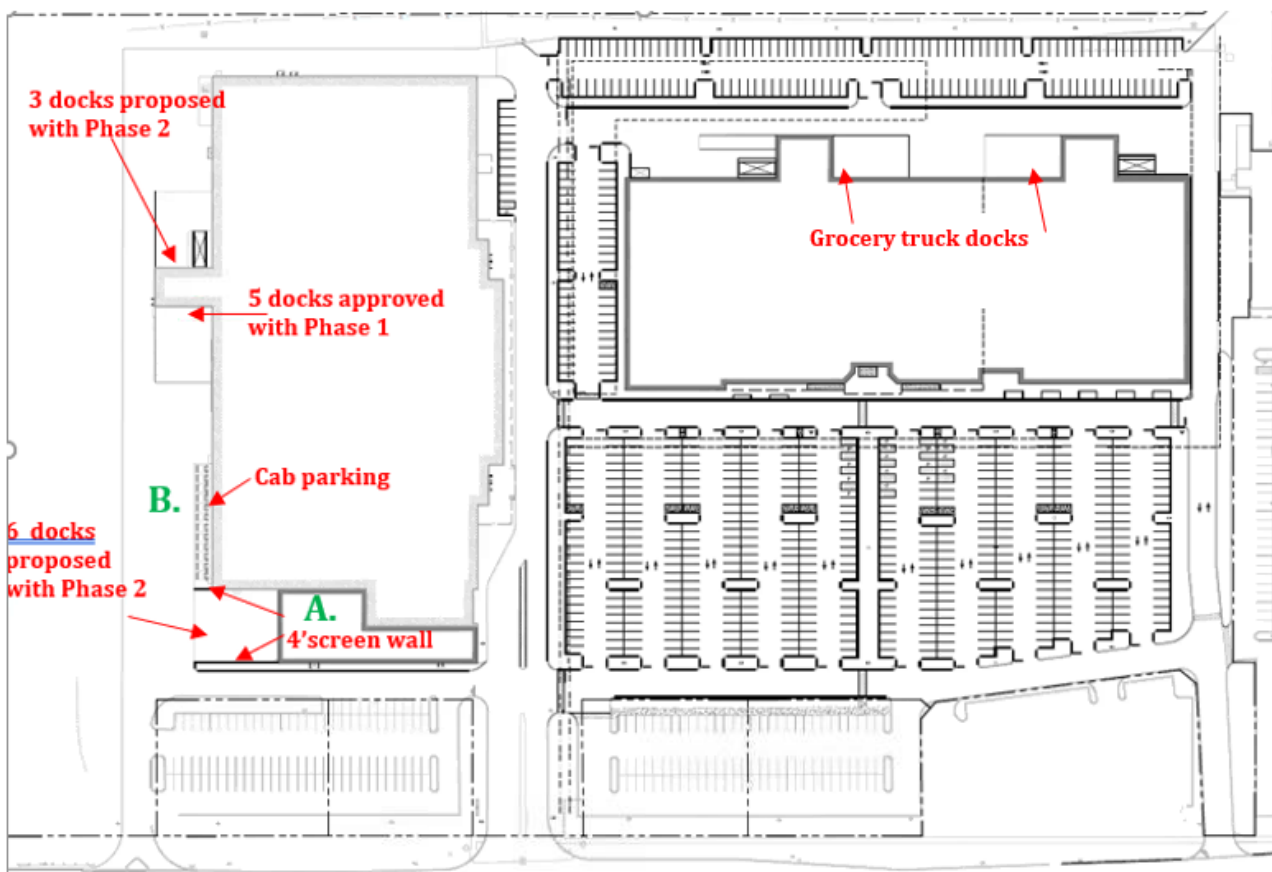
Parking was largely indicated as acceptable to the Commission based on the evidence of existing Pete's locations and similar commercial centers in the Village.

Delivery operations

There are five (5) existing docks on the south side of the warehouse that were approved for use with Phase 1 approvals. In Phase 2 there are three (3) additional docks added to the west side of the existing dock and another dock area has been added to the south side of the warehouse addition. This is a recessed dock area with a 4' screen wall (see A. below) to be constructed along the east side of the dock area. This screen wall, along with existing and new proposed evergreen plantings, will provide screening of the dock area.

There is also a proposed truck cab parking area along the south side of the warehouse (See B. below). There is room for twelve (12) cabs to be parked in this area which may include overnight parking. There is a 4' screen wall that will be constructed along the east side of this area.

There will be delivery operations for both the grocery store and the warehouse. Hours of operation for both facilities will be between the hours of 7:00 to 10:00 p.m. This conforms with the Village's noise abatement ordinances. The grocery store anticipates no more than five (5) semi-truck deliveries per day and 5-7 smaller panel trucks for a total of 10-12 truck movements a day for the grocery store. This is consistent with industry standards that cite 10-12 deliveries/day. (TransNow Transportation Northwest "Truck Trip Generation by Grocery Stores", August 2010, Commissioned by U.S. Department of Transportation), with suburban store averages as high as 14 trucks per day ("Food Distribution Supply Chain Data Collection", Washington State Department of Transportation, February 2016). With Phase 1 approvals it was noted that the warehouse anticipates 10-12 truck movements per day.



Overnight Parking

There are two code requirements governing the overnight storage of delivery vehicle: Per Section V.C.7.e.: "Parking of trucks, when accessory to the conduct of a permitted use, shall be limited to vehicles having not more than 1 ½ tons capacity – except for pick-up or delivery service during normal business hours. Any truck exceeding 1 ½ tons capacity shall be

adequately screened from public view when parked." It is staff's opinion that the dock area south of the warehouse is adequately screened from public view. It is also important to note that there is a landscape berm to the south and a fence with landscaping to the west of this area. There are no homes immediately adjacent to this area.

In addition, per Section III.O., overnight parking of delivery vehicles defined as *"Open Storage- Level 1, and over 8,000 pounds in weight"* is prohibited in the B-3. PFM is requesting an exception to this requirement. The approval of overnight storage of delivery vehicles will require an exception to the PUD ordinance.

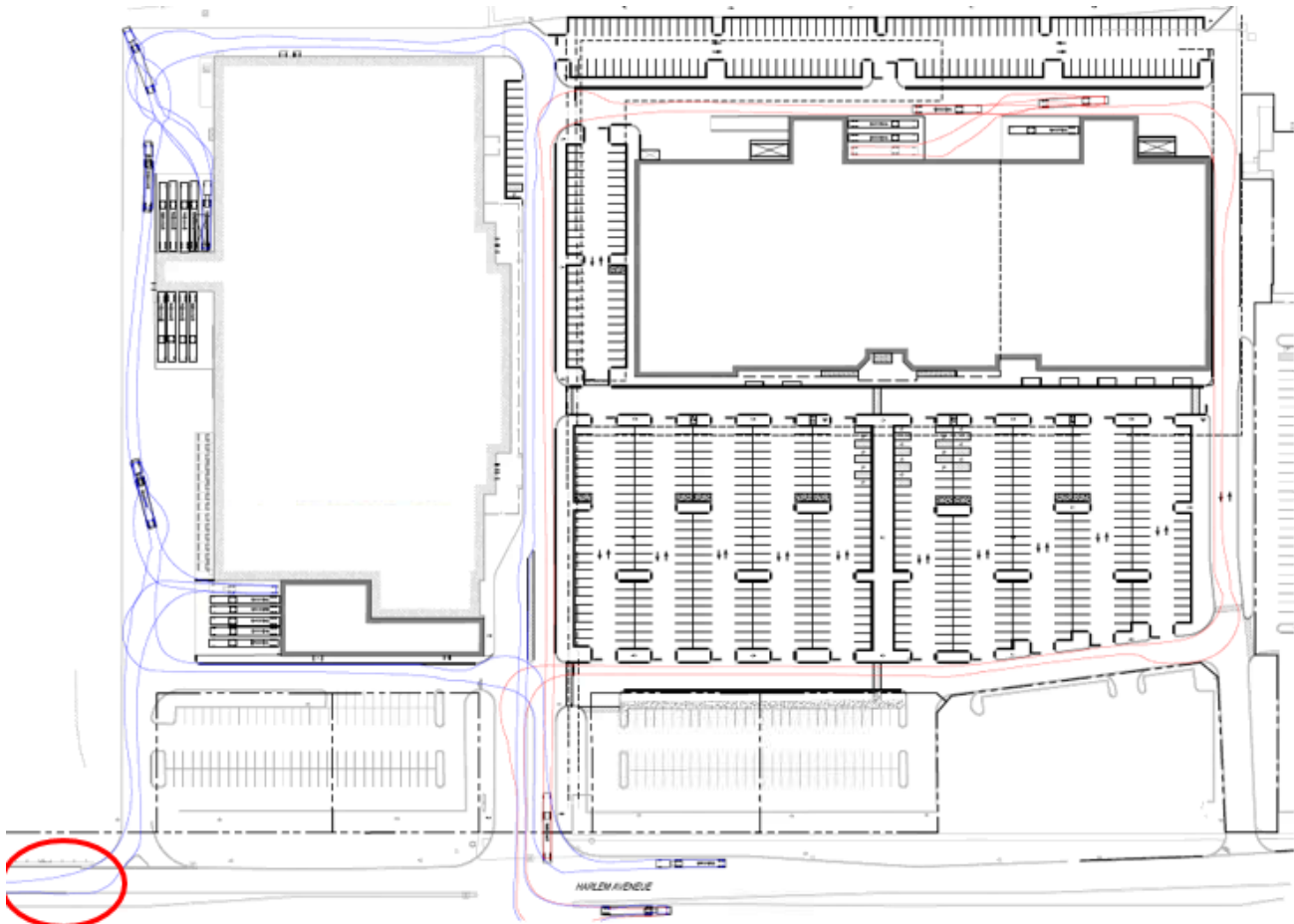
As part of Phase 1 there was approval for storage of five (5) trucks overnight. As part of Phase 2 there is a request to park an additional five (5) trucks, for a maximum of ten (10) trucks to be parked overnight (with or without cabs). There is also a request to park up to six (6) cabs overnight. Although the cab may not fit the definition with respect to the weight limit, staff recommends noting it as an exception as well to best document the proposed operations.

Open Item #2: Discuss the parking of trucks and cabs overnight and identify the overnight parking of ten (10) trucks and six (6) cabs as an exception to the Village requirements.

Clarification was given about why and when the cabs and trucks will be stored on site. This typically is due to peak times and to ensure loading operations aren't stalled when waiting for trucks to return or make deliveries.

Truck Route/Turning Radius

The graphic below outlines the delivery truck routes for the grocery store and the warehouse. These routes have been reviewed and approved by the Village Engineer with the exception of the egress route from the southern access. As depicted in the graphic, the truck will encroach the passing lane upon exiting the site and therefore does not meet IDOT standards. The Petitioner is working through this issue with the engineers, however it will remain as an 'Open Item' until resolved.

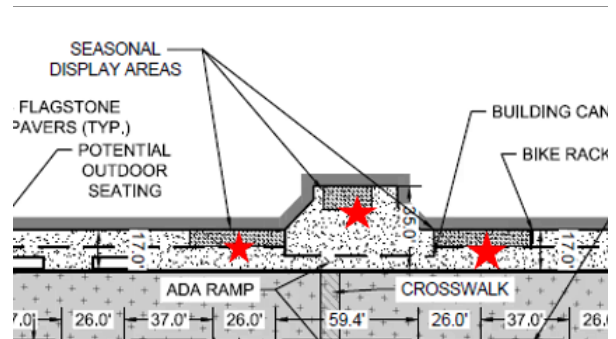


Open Item #3: Satisfy engineering concerns regarding turning radius for delivery truck.

A condition of approval has been added that the project is subject to final engineering review and approval of the final engineering plans. The turning radius will need to satisfy their comments related to safe truck turning movements prior to permitting.

Outdoor Sales Display.

Pete's Fresh Market typically provides outdoor display areas along the frontage of the store. This can be addressed as part of an Outdoor Sales Display Level 1 application which requires administrative approval, however, Level 1 outdoor sales are limited to times between April 15 and October 15. The Petitioner is requesting sales beyond this time frame (for winter holiday displays). PFM has agreed to limit outdoor sales to the areas depicted on the site plan and limit the height of the display to five (5) feet in height. This can be provided within the PUD as an exception.



Open Item #4: Discuss providing for Level 1 Outdoor Sales Display without limitation to the time of year as an exception in the PUD within the designated areas (Plan C1.0) to a height no greater than 5'.

As part of the site plan review the following issues have been satisfactorily reviewed:

Site Plan

- Arrangement of buildings, parking, access, lighting, landscaping and drainage is compatible with adjacent land uses;
- Loading areas at rear or side;
- Vehicular ingress and egress provide safe, efficient and convenient movement to traffic;
- Safe movement of pedestrians;
- Attractive balance of green space; and
- Trash areas are screened.

ARCHITECTURE

GROCERY/IN-LINE RETAIL STORE

Staff has worked closely with the project architect to create unique architecture for the grocery and in-line retail building. The project architect created a clean and modern aesthetic that complements the plaza while providing contrast with the warm colors of the landscape and seasonal displays.

Staff also wanted to ensure the character of this plaza was compatible with other buildings in the PUD. With the recent painting of the warehouse in cool tones (white and gray) and the gray palette of the Sam's Club to the north, the final architecture establishes a compatible architectural character for the entire parcel including future outlots.



As stated by the project architect: "Architecturally, the success of this design is intended to transcend raw utility. It is intended to combine the energy and dynamics of a crafted exterior that carries the same quality and experience into the store with a program that encourages the user to enjoy the complete shopping experience. The architecture of the center represents a forward-looking design comprised of traditional materials (brick) that will be used in a timeless way. Colors, textures, and patterns will mesh to create dynamic surfaces that will give the building a unique character, both during the day and at night".

The architecture has evolved since the first submittal; staff is supportive of the final selection and proportion of materials. There is movement in the front façade with varying heights of the different blocks of material. The amount of masonry has been increased from the first proposal and contrasting tones of gray have been added to increase the 'warmth' of the color tones.



The in-line retail follows the aesthetic of the grocery store yet provides its own distinct architecture. The face brick is designed in a stipple pattern resulting in dramatic shadow patterns highlighted with accent lighting.



Building Materials

Structures measuring greater than 80,000 square feet must be constructed with at least 25% of each façade with face brick or decorative stone; the remaining 75% of each façade must be constructed of an approved masonry material. Alternate building materials may be used for architectural treatments, decorations or architectural accents provided they do not constitute more than 15% of any façade. All facades meet the minimum masonry requirements.

The front façade will be constructed of two different colors of face brick (Ghilbli Black and Panama White), an expanded metal screen system (white), clear and spandrel glazing and a prefinished aluminum curtain wall. The Panama White face brick will be constructed in a stippled pattern which provides opportunities for dramatic shadow patterns during the day as well as at night with the proposed lighting.



MASONRY (STIPPLED)

The Ghilbli Black face brick will be constructed in a stacked pattern resulting in a modern clean design. It will also be used in a stipple pattern for the inline retail storefronts. The metal mesh (Signal White) offers a contrast to the masonry.



MASONRY (STACKED)



METAL MESH

The north and south facades will be comprised primarily of the Ghilbli Black face brick in a 'stacked' design. The expanse of the facades is broken up with the use of Panama White face brick and spandrel glazing. The north façade also includes the white curtain wall and metal architectural screen.



SPLITFACE CMU



SSG CURTAIN WALL

The rear (west) façade is primarily split face block (QT Black).



South Facade



Rear Facade

Page 11 of 20

A Photometric Plan has been provided that provides light readings for the property as well as cut sheets for the selected light fixtures and standards. The light fixtures limit off-site glare and exceed photometric requirements at the property lines with a 0.0 FC reading. Light poles will not exceed 25' in height (maximum height allowed per ordinance).



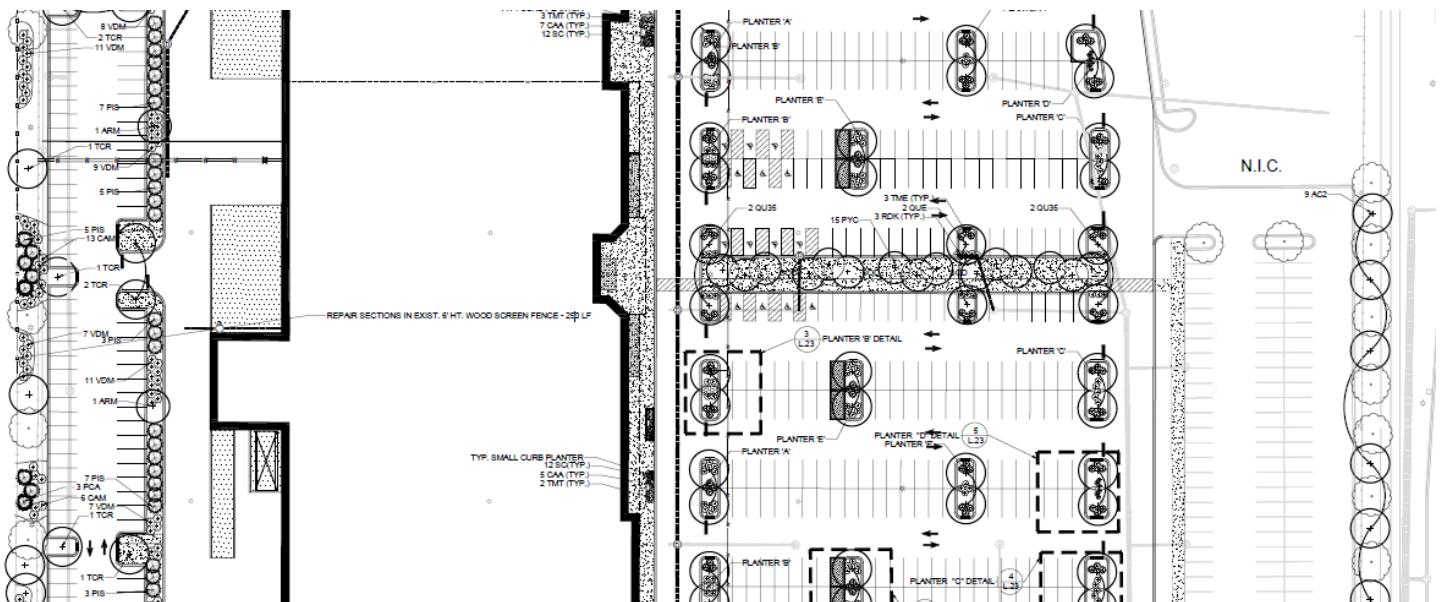
LANDSCAPE ARCHITECTURE

The project Landscape Architect has worked cooperatively with Staff to create a landscape plan that meets or exceeds the intent of the code. With the redevelopment of the expansive parking area east of the new grocery store, there is an opportunity to break up the 'sea of asphalt' and create a long 24' x 260' landscape island that not only bisects the parking area but creates a visual vista and pedestrian access to the main entrance of the store. A tree preservation plan has been submitted that will retain the landscape berms and existing bufferyard along the south and west property lines. Where there are some deficiencies in plant count, inadequate space makes it difficult to provide additional landscaping. Therefore, the caliper of the trees has been increased to 3.5" and 4" in certain areas of high visibility. The screening of the dock areas has been prioritized and evergreen plantings will supplement the screening provided by the 4' masonry walls. Foundation plantings have been provided for the warehouse addition and curbed planter areas have been provided along the front of the grocery and in-line stores. Landscape islands will be irrigated.

An inventory of the existing fence has been made and there are areas in need of repair. The Petitioner has identified approximately 250 l.f. in need of repair. Staff recommends making this a condition of approval with a deadline.



Open Item #6: Condition approvals on the repair of the existing fence along the west property line by August 1, 2021.



SIGNAGE

Ground Sign

There is an existing ground sign left on the property from the former K-Mart. The applicant requested to use the structure as part of the Phase 1 approvals; however, staff was unaware that it did not meet the code with respect to height. Additionally, it exceeds the height variance granted for the ground sign at Tinley Park Plaza across the street. The applicant has agreed to reduce the current height from 25' to 20' to match prior Village approvals of 20' in height and 267 sq. ft. in area for Tinley Park Plaza. Therefore, staff supports the proposed ground sign for Pete's with a height of 20' and overall area of 256 sq. ft.

The proposed ground sign also includes an electronic message display. Ordinance limits the size of electronic signs to 20% of the total sign face area. The proposed sign is 85.28 sq. ft. in size which represents 33% of the overall size. While this exceeds the ordinance limitations, staff believes it to be in proportion to the overall sign. If the electronic sign were to be reduced to the required 20% it would have to be reduced by 2'2" for a height of 3'2". This would significantly limit the signs usability.



Wall Signs

The Petitioner has proposed two (2) wall signs for the grocery store. Sign proposals for the in-line retailer have not been provided; the Petitioner has been advised that the future tenants will have to submit for their signs as part of their occupancy.

Wall signs for tenants with greater than 80,000 GFA (Gross floor area) are allowed one (1) wall sign per tenant frontage (Pete's is recognized as having two frontages- one being on a public accessway) at a ratio of 1 Sq. Ft. per 1 l.f. not to exceed 120 Sq. Ft. The proposed sign for Pete's is 147 Sq. Ft. which exceeds ordinance by 27 Sq. Ft. As a point of comparison, Tinley Park Plaza was given a variance of 76 Sq. Ft. The variance on size of the wall sign was based on the increased distance from Harlem Avenue; this can also provide a defense for Pete's variance request for the size of the wall sign.



~~Open Item #7: Consideration of an exception for the height and size of the ground sign to allow a 20' tall ground sign 256 Sq. Ft. in area and an exception to the maximum size of a wall sign to allow a wall sign of 147 Sq. Ft in size along each of the grocery store's two frontages.~~

PLAT OF SUBDIVISION

A final Plat of Subdivision has been submitted which provides for the consolidation of lots 3,4 and 6. The Plat is still under review by the engineer. There will also need to be approval of a Plat of Vacation for a Public Utility Easement that conflicts with the proposed development plans. Staff recommends all plats be conditioned upon engineering approval.

~~Open Item #8: Condition approval of Plat of Subdivision and Plat of Vacation on final engineering approval.~~

FIRE DEPARTMENT REVIEW

All items have been satisfied

ENGINEERING REVIEW

There are several open items identified by the Village Engineer, most of which will be resolved upon submittal of final engineering. The most critical issue appears to be the turning radius of trucks exiting the south entrance. The Petitioner is working with the Village engineer to resolve this issue. Staff recommends conditioning approvals on Engineering approval.

~~**Open Item #9: Condition approvals on final engineering approval.**~~

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission when analyzing a Special Use request. Staff will provide draft Findings for the Commission's at the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - *The proposed Exceptions are safe for the public, employees, and neighboring properties.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - *The additional commercial space will add additional shopping options for neighboring residents. Trucks and deliveries have been setback from property lines and screened by fencing and heavy landscape buffering. Mechanical units will be screen from view.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - *Neighboring properties are already developed and the proposal will not negatively affect any future development or redevelopment of the neighboring properties.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - *The site is already developed with adequate utilities and no additional utilities are needed for the parking lot. Stormwater drainage facilities have been planned for and will be met with the new development.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
 - *Site layout is designed to allow for safe circulation by delivery trucks, employees, and the general public within the site and on adjacent public streets.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and
 - *All other Village code requirements will be met.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
 - *The addition allows for Pete's fresh market to operate a newly constructed Grocery Store that will provide additional grocery options, employ people within the community, and provide additional tax benefits to various local government not being produce by the vacant site currently.*

STANDARDS FOR SITE PLAN APPROVAL & ARCHITECTURAL REVIEW

Section III.U. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards should be considered to have been met upon review from the Plan Commission.

Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as "belly-bands" (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to

break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.

- i. Screen Mechanicals: All mechanical devices shall be screened from all public views.
- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

MOTIONS TO CONSIDER

If the Plan Commission wishes to act on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan, it only moves the request to a vote. The conditions listed below are recommended by staff but can be added to, changed, or removed by the Commission based on their discussion of the approval of recommendation.

Motion 1 (Special Use for a Substantial Deviation):

"...make a motion to recommend that the Village Board grant a Special Use Permit for a Substantial Deviation from the Park Place PUD with Exceptions from the Zoning Ordinance, to the Petitioner, Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), to permit additional building development and lot changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the June 3, 2021 Staff Report."

Motion 2 (Site Plan and Architectural Approval):

"...make a motion to grant the Petitioner, Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), Final Site Plan and Architectural Approvals to construct Phase 2 and Phase 3 of the redevelopment, including a new 140,439 sq. ft. commercial building and expansion of the warehouse buildings with various site changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and subject to the following conditions:

- 1. Site Plan Approval is subject to the approval of the Special Use for a Substantial Deviation from the PUD and Final Plat by the Village Board.*
- 2. Site Plan Approval is subject to final engineering plan review and approval including truck turning at the southernmost driveway along Harlem Avenue.*
- 3. Site Plan Approval is subject to repair of the existing fence along the west property line by August 1, 2021.*

Motion 3 (Final Plat):

"...make a motion to recommend that the Village Board grant approval to the Petitioner Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), Final Plat of Subdivision Approval for the "163rd & Harlem LLC Subdivision" in accordance with the Final Plat submitted and dated 5-27-2021, subject to the condition that the approval is subject to Final Engineering Plan approval by the Village Engineer.

LIST OF REVIEWED PLANS - Pete's Fresh Market Phase 2

Submitted Sheet Name		Prepared By	Date On Sheet
C0.0	Site Location Map	Cage	05.27.21
C0.1	General Notes and Specifications	Cage	05.27.21
C0.2	VOTP Standards	Cage	05.27.21
C0.3	Demolition Plan	Cage	05.27.21
C1.0	Site Layout Plan/pavement striping plan	Cage	05.27.21
C1.1	Phasing Plan	Cage	05.27.21
C2.0	Site Grading Plan	Cage	05.27.21
C2.1	Soil Erosion& Sediment Control Plan	Cage	05.27.21
C2.2*	Soil Erosion & Sediment Control Details	Cage	05.27.21
C3.0	Site Utility Plan	Cage	05.27.21
C4.0*	Construction Details	Cage	05.27.21
C4.1*	Construction Details	Cage	05.27.21
C4.2*	Construction Details	Cage	05.27.21
L.11	Tree Protection Plan South	LG	05.27.21
L.12	Tree Protection Plan North	LG	05.27.21
L.21	Landscape Plan South	LG	05.27.21
L.22	Landscape Plan Center	LG	05.27.21
L.23	Landscape Plan North	LG	05.27.21
L.31	Landscape Details	LG	05.27.21
L.41	Existing Fence Survey	LG	05.27.21
EX-1	Truck Turn Exhibit	Cage	05.27.21
EX-2	Truck Turn Exhibit	Cage	05.27.21
EX-3	Truck Turn Exhibit	Cage	05.27.21
	Photometric Plan	KSA	05.27.21
	Detail Sheets (16)	LL	
	Plat of Subdivision	Schudt	05.27.21
	Plat of Subdivision - sheet 2	Schudt	05.27.21
	Plat of Vacation	Schudt	05.27.21
A2.0	Exterior Elevations -incl RTU	CT	05.27.21
A2.1	Architectural Material Elevations- Grocery	CT	05.27.21
A2.2	Architectural Material Elevations - In-line Tenants	CT	05.27.21
A2.5	Architectural Elevation- proposed addition	CT	05.27.21
A3.4	Architectural Roof Plan- Skylight Canopy	CT	05.27.21
A6.1	Architectural Screen System	CT	05.27.21
A6.2	Architectural Screen System-corner	CT	05.27.21
A.8	Architectural Building Materials	CT	05.27.21
A8.1	Representative Images for PFM	CT	05.27.21
A8.2	Architectural Elevations Masonry Take-offs	CT	05.27.21
A9.0	Rendering - View to PFM Entry	CT	05.27.21
A.9.1	Rendering - View to PFM Entry- night	CT	05.27.21
A9.2	Rendering - Aerial View to PFM Entry	CT	05.27.21

A9.3	Rendering – Aerial View from Southeast	CT	05.27.21
A9.4	Rendering – Aerial View from Northeast	CT	05.27.21
A9.5	Rendering – View to small shops	CT	05.27.21
A9.6	Rendering – View to small shops night	CT	05.27.21
A9.7	Rendering- View to loading dock	CT	05.27.21
GS-1	Ground sign	Holland	05.27.21
S-1M	Wall sign	Holland	05.27.21
AS2.0	Architectural Site Plan (Site Line/RTU Visibility)	CT	06.09.21

Shudt – Joseph A. Schudt Surveyor

Cage – Cage Civil Engineering

CT – Camburas & Theodore, LTD

LG - LG Workshop, LLC

KSA - KSA Lighting and Controls

LI - Lithonia Lighting

Holland - Holland Design Group

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2021-O-050

**AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL
DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT
(PETE'S FRESH MARKET)**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2021-0-050**AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL
DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT
(PETE'S FRESH MARKET)**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for the granting of a Special Use for a substantial deviation from the Park Place Planned Unit Development to allow for new construction and building additions at 16300 Harlem Avenue, Tinley Park, ("Subject Property") has been filed by Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on June 17, 2021, at the Village Hall of this Village of Tinley Park ("Village"), and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted 5-0 and has filed its report of findings and recommendations regarding the Special Use for a Substantial Deviation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special Use for a Substantial Deviation; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Special Use Permit for a Substantial Deviation set forth in Section VII.B.6 and Section X.J.5 of the Zoning Ordinance, and the proposed granting of the Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - *The proposed Exceptions are safe for the public, employees, and neighboring properties.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - *The additional commercial space will add additional shopping options for neighboring residents. Trucks and deliveries have been setback from property lines and screened by fencing and heavy landscape buffering. Mechanical units will be screen from view.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - *Neighboring properties are already developed and the proposal will not negatively affect any future development or redevelopment of the neighboring properties.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - *The site is already developed with adequate utilities and no additional utilities are needed for the parking lot. Stormwater drainage facilities have been planned for and will be met with the new development.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
 - *Site layout is designed to allow for safe circulation by delivery trucks, employees, and the general public within the site and on adjacent public streets.*

- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and
- *All other Village code requirements will be met.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
- *The addition allows for Pete's fresh market to operate a newly constructed Grocery Store that will provide additional grocery options, employ people within the community, and provide additional tax benefits to various local government not being produce by the vacant site currently.*

SECTION 3: The Special Use Permit for a Substantial Deviation set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

PARCEL 1: LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE EASEMENTS FOR THE BENEFIT OF PARCEL 1 FOR INGRESS, EGRESS, ACCESS AND PARKING FOR VEHICULAR OR PEDESTRIAN TRAFFIC, AS CREATED IN THE SHOPPING CENTER RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED JUNE 21, 1991 AS DOCUMENT 91303346, UPON AND ACROSS THE PARKING AREAS, ENTRANCES, EXITS, DRIVEWAYS, WALKS AND SERVICE DRIVES AS LOCATED WITHIN THE "COMMON AREAS", AS COMMON AREAS ARE DEFINED IN SAID AGREEMENT, EXCEPTING THEREFROM THAT PORTION FALLING WITHIN ABOVE DESCRIBED PARCEL 1.

PARCEL IDENTIFICATION NUMBERS: 27-24-202-020-0000 and 27-24-202-021-0000

COMMONLY KNOWN AS: 16300 S. Harlem Avenue, Tinley Park, Cook County

PETITIONER: Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC

SECTION 4: That a Special Use Permit for a Substantial Deviation, as defined in Zoning Ordinance Section VII.B.6., from the approved Park Place Planned Unit Development for certain property described in the above section, to permit the construction and reconstruction in accordance with the "List of Reviewed Plans" attached hereto as **Exhibit A**, with the following exceptions:

1. Exception from Section VIII.A.10 regarding the required parking ratio of 6.5 parking spaces per 1,000 sf to allow for a ratio of 4.7 spaces per 1000 sf.;
2. Exception from Section V.C.7.e to allow for the overnight storage of no more than ten (10) trucks and six (6) cabs;
3. Exception from the required turning radius for trucks exiting the site subject to final engineering;
4. Exception from Section III.O.6.c. to allow Level 1 Outdoor Sales Display without limitation to the time of year within the designated areas (Plan C1.0) to a height no greater than 5'; and
5. Exception from Section IX to allow a ground sign 20' in height with a total sign area of 256 Sq. Ft. in area; allow a wall sign of 147 Sq. Ft. in size along each of the grocery stores two frontages; allow for an electronic message display sign measuring 85.28 Sq. Ft. in size, which represents 33% of the overall sign area.

These exceptions are conditioned upon the following:

1. Repair of the perimeter fence; and
2. Final engineering approval.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

APPROVED the 20th day of July, 2021.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-050, "AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT (PETE’S FRESH MARKET),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021..

KRISTIN A. THIRION, VILLAGE CLERK

Exhibit A**LIST OF REVIEWED PLANS - Pete's Fresh Market Phase 2**

Submitted Sheet Name		Prepared By	Date On Sheet
C0.0	Site Location Map	Cage	05.27.21
C0.1	General Notes and Specifications	Cage	05.27.21
C0.2	VOTP Standards	Cage	05.27.21
C0.3	Demolition Plan	Cage	05.27.21
C1.0	Site Layout Plan/pavement striping plan	Cage	05.27.21
C1.1	Phasing Plan	Cage	05.27.21
C2.0	Site Grading Plan	Cage	05.27.21
C2.1	Soil Erosion& Sediment Control Plan	Cage	05.27.21
C2.2*	Soil Erosion & Sediment Control Details	Cage	05.27.21
C3.0	Site Utility Plan	Cage	05.27.21
C4.0*	Construction Details	Cage	05.27.21
C4.1*	Construction Details	Cage	05.27.21
C4.2*	Construction Details	Cage	05.27.21
L.11	Tree Protection Plan South	LG	05.27.21
L.12	Tree Protection Plan North	LG	05.27.21
L.21	Landscape Plan South	LG	05.27.21
L.22	Landscape Plan Center	LG	05.27.21
L.23	Landscape Plan North	LG	05.27.21
L.31	Landscape Details	LG	05.27.21
L.41	Existing Fence Survey	LG	05.27.21
EX-1	Truck Turn Exhibit	Cage	05.27.21
EX-2	Truck Turn Exhibit	Cage	05.27.21
EX-3	Truck Turn Exhibit	Cage	05.27.21
	Photometric Plan	KSA	05.27.21
	Detail Sheets (16)	LL	
	Plat of Subdivision	Schudt	05.27.21
	Plat of Subdivision – sheet 2	Schudt	05.27.21
	Plat of Vacation	Schudt	05.27.21
A2.0	Exterior Elevations -incl RTU	CT	05.27.21
A2.1	Architectural Material Elevations- Grocery	CT	05.27.21
A2.2	Architectural Material Elevations – In-line Tenants	CT	05.27.21
A2.5	Architectural Elevation- proposed addition	CT	05.27.21
A3.4	Architectural Roof Plan- Skylight Canopy	CT	05.27.21
A6.1	Architectural Screen System	CT	05.27.21
A6.2	Architectural Screen System-corner	CT	05.27.21
A.8	Architectural Building Materials	CT	05.27.21
A8.1	Representative Images for PFM	CT	05.27.21
A8.2	Architectural Elevations Masonry Take-offs	CT	05.27.21
A9.0	Rendering – View to PFM Entry	CT	05.27.21
A.9.1	Rendering – View to PFM Entry- night	CT	05.27.21
A9.2	Rendering – Aerial View to PFM Entry	CT	05.27.21
A9.3	Rendering – Aerial View from Southeast	CT	05.27.21
A9.4	Rendering – Aerial View from Northeast	CT	05.27.21
A9.5	Rendering – View to small shops	CT	05.27.21
A9.6	Rendering – View to small shops night	CT	05.27.21

A9.7	Rendering- View to loading dock	CT	05.27.21
GS-1	Ground sign	Holland	05.27.21
S-1M	Wall sign	Holland	05.27.21
AS2.0	Architectural Site Plan (Site Line/RTU Visibility)	CT	06.09.21

Shudt – Joseph A. Schudt Surveyor

Cage – Cage Civil Engineering

CT – Camburas & Theodore, LTD

LG - LG Workshop, LLC

KSA - KSA Lighting and Controls

LI - Lithonia Lighting

Holland - Holland Design Group

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE JUNE 17, 2021 REGULAR MEETING

ITEM #1 PUBLIC HEARING – PETE’S FRESH MARKET, 16300 HARLEM AVENUE – SITE PLAN/ARCHITECTURAL APPROVAL, SPECIAL USE PERMIT FOR A SUBSTANTIAL DEVIATION WITH EXCEPTIONS; PLAT OF SUBDIVISION, PLAT OF VACATION APPROVAL

Consider recommending the Village Board grant Petros Drimonas, on behalf of 163rd and Harlem LLC, a Special Use Permit for a substantial deviation from the Park Place Planned Unit Development and Plat of Subdivision/Plat of Vacation for their 24.2 acre property located at 16300 Harlem Avenue (former Super K-Mart property). The proposed development is Phase 2 of a three phase project. Phase 2 includes the construction of an ~88,608 Sq. Ft. Pete’s Fresh Market (PFM) store; ~51,831 Sq. Ft. of in-line retail tenant space north of the grocery store; a ~12,400 Sq. Ft. expansion of the warehouse; an expansion of the existing dock on the south side of the warehouse building and the addition of a new dock area south of the warehouse addition. This review will include Site and Architectural plan review.

Present Plan Commissioners:

Chairperson Garrett Gray
Eduardo Mani
James Gaskill
Steven Vick
Frank Loscuito

Absent Plan Commissioners:

Angela Gatto
Kehla West

Village Officials and Staff:

Dan Ritter, Senior Planner
Lori Kosmatka, Associate Planner

Petitioners:

Eugene Grzynkowicz, representing Pete’s Market
Fred Phaete, Cage Civil Engineering (participated electronically)

Members of the Public:

Lynn & Jim Romanenghi
Richard Howes
Julianna Mascio

CHAIRMAN GRAY asked for a motion to open the Public Hearing. Motion made by COMMISSIONER GASKILL, seconded by COMMISSIONER MANI. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing,

CHAIRMAN GRAY invited staff to start with the presentation of this item.

DAN RITTER, Senior Planner, noted that the Staff Report has been distributed to the Commission and posted on the Village website and will be attached to the minutes as part of the meeting record. He summarized the Staff Report for the Commission and reviewed the proposal.

CHAIRMAN GRAY asked if the Petitioner had anything they would like to add. The Petitioner did not have anything to add.

CHAIRMAN GRAY opened the item up for discussion by the Commission.

COMMISSIONER VICK stated that the conditions must be met, and that Pete's would be a good addition to the area.

COMMISSIONER MANI stated he echoed Commissioner Vick's comments.

COMMISSIONER GASKILL stated he had no comment.

COMMISSIONER LOSCUITO stated he agreed with the fellow Commissioners.

CHAIRMAN GRAY noted he liked the shift of the building to the east and foot traffic path, and believed it would be friendly for pedestrians. He felt there was appropriate screening, and commented there were no foot candles at property line. He believed the noise would be at a minimum as the general public would not park in the rear. He also noted the conditions needed a south turning lane. He then asked if the public wanted to speak.

Jim and Lynn Romanenghi were sworn in. They recalled when Kmart was in operation, employees blasted radio and smoked in the parking lot. They had to call police two to four times a month or she would sometimes go out there to talk to them. They raised noise concerns with trucks beeping and RTUs.

Dan Ritter stated that though the RTUs were moved from the front their locations were condensed.

Jim Romanenghi stated that RTUs are very noisy. Lynn Romanenghi stated this would ruin their lives. She asked the Petitioner to soundproof their back windows. She has lived here her whole life. She recalled residents sued Sam's Club to have the air conditioning moved. She noted there are at least three buildings directly behind the development. She reiterated her request to have the Petitioner soundproof windows. Jim Romanenghi stated they would have to live with two years of construction trucks and noises near their property. Lynn Romanenghi asked again for the Petitioner to soundproof at least the windows on the upper level for the three homes, and to put up cinder block wall to deaden the noise. She also asked them to do something about the parking lot and constant traffic. It was stated they would take Pete's to court like residents did to Sam's Club if they don't do something for us to stop loud noises.

Richard Howes stated he lives right behind the proposed development. He asked if they will be quiet after 10:00pm.

Dan Ritter stated the Petitioner that the Petitioner can better answer the question as they did at the workshop.

Eugene Grzynkowicz, representing as the Petitioner, stated the store hours would be 7:00am to 10:00pm, and that construction would only occur from 7:00am to 5:00pm. If any special activities would be required such as watermain work, they would notify the Village.

Richard Howes stated after 10pm is quiet time, but it was not the case at Sam's Club. Most of the people in our neighborhood are older and in bed by 8:00pm. He also asked about the fence.

Dan Ritter stated the applicant would be repairing and replacing parts of the fence as needed.

Richard Howes stressed concrete fence/walls would be nice or soundproof windows.

Mr. Grzynkowicz stated that they moved the building to the east. He apologized for Kmart's situation, but could not speak for what they did. He noted that Pete's Fresh Market is a different operation and polices and enforces their areas. He stated that he understands the residents' concerns. He noted they have employee breakrooms, and they encourage employees to use them. He noted that they would work with the Village on why they did certain things and look at the noise decibels and mechanical equipment. He stated they use different systems than most people and the condensers are low horsepower so they don't have the resonating sound like others.

Lynn Romanenghi stated she's sorry that people on Harlem Avenue might see the condenser units, but it's better than us having to hear them.

Mr. Grzynkowicz stated this whole sight thing is a different thing as concealing or screening them and referenced the Village sight line exhibit. It doesn't directly relate to the noise of the units.

Lynn Romanenghi stated she's concerned about hearing the low hum rather than seeing it.

Mr. Grzynkowicz stated the Pete's Fresh Market store in Willowbrook has about 95 feet, less distance then the proposal here, and has a wood fence about six or eight feet tall. That store has trucks and units on the roof and residences there and did not have one complaint.

Richard Howes asked if they are governed by the same quiet hours rule.

CHAIRMAN GRAY answered yes.

Juliana Mascio stated her address and was sworn in. She noted her biggest concern was her enjoyment of life and not having truck traffic. She believes everything they are doing is everything they can possibly do, but she already hears truck traffic at 10pm from Harlem Avenue. She also commented there was drag racing, but it will probably stop with the development. She knows it is expensive to put up a soundproof barrier.

Mr. Grzynkowicz said they use the best technology out there to lower the noise and be efficient. They will look at better trees for sound and look harder at decibels. He also stated a buffer wall depends on distance, noise, heights, and could end up being 12-14' high which is very tall and something you might not want to see. He referenced highway walls sometimes are that tall. He clarified they are not offering now to put that in. They will look at different measures to control sound.

Juliana Mascio stated she hopes it is done right from the get-go rather than to have it taken to court.

Mr. Grzynkowicz stated they have been open to concerns, and in coming to the area they want to be part of the community. He noted they added crosswalks and truck traffic control measures.

Jim and Lynn Romanenghi stated it would be two years of construction with bulldozers, backhoes, and beeping noises.

CHAIRMAN GRAY noted the Petitioner has been open to revisiting a decibel study after hearing the neighbors' concerns of noise. He stated this is a reasonable thing to revisit. He stated that the Petitioner did move the building further away, and that the Petitioner seems open to looking into different types of trees that may be more absorptive toward the emanating sound. He noted that Eugene did express that there are different RTU technologies. He does think that the Petitioner hears the concerns and address it now rather than down the line. He noted it is commendable that the Petitioner is willing to tweak what is in the back. He reminded everyone that they are not Kmart. He recalled the later years of Kmart that the management was not up to snuff

Jim and Lynn Romanenghi noted the issues with Kmart's garbage, and that they would go out to clean the area with trash bags.

Dan Ritter noted that in his previous employment at Hoffman Estates, that it was hard to reach anyone at Kmart for issues. He noted that Pete's here has been much more receptive.

Jim Romanenghi noted he used to hear loud car radio sounds that were about 250 yards away from his house, and it would come through the windows of his house.

Mr. Grzynkowicz acknowledged the resident's issue and noted they would work with Village police on what kind of policing they would like them to do. He noted that they've implemented speed limit signs throughout the main driveway and have added security cameras, which will be about 200 inside and outside. He commented they are very big on security and the customer base. They want everyone to feel safe.

Richard Howes asked if it would be possible if on the west side of the fence that the thinned out or dead pine trees be cut down. They are owned by the association.

Mr. Grzynkowicz noted he has not been on the other side of the fence and would have to look, but cannot promise anything if they aren't on their property.

CHAIRMAN GRAY asked if there was a call to action for further discussions. He noted the Petitioner is willing to explore some alternatives and the sound concerns as a good neighbor policy.

COMMISSIONER VICK asked if there were any rules for truck idling.

Mr. Grzynkowicz stated dry good trucks pull in and stop. The refrigerated trucks stay running, but do have a shut off for the engine with the compressor stay cooling. The goal is to unload as quickly as they can. He noted many types of trucks deliver to Sam's Club and the trucks here are all theirs. Sam's club cannot control those trucks as well as them for that reason.

Lynn Romanenghi noted that a couple months ago there was jackhammering sound due to drainage problem from Sam's Club. She asked for confirmation that there is no drainage problem with Pete's.

Mr. Grzynkowicz stated they had nothing to do with Sam's Club, confirmed there are currently no drainage issues at the proposed development, it will be built to all drainage requirements.

CHAIRMAN GRAY noted this is regarding Pete's Fresh Market.

Jim Romanenghi asked that before any construction is started, if these issues could be resolved.

Mr. Grzynkowicz stated they were very proactive in responses and would work with the Village and engaging their architect. He noted by early next week they will have something in to the Village. They are under a timeline as well. He stated they are not promising anything. They will look at measures and propose solutions to the Village.

Dan Ritter asked the public if they could please leave their phone numbers and emails so they could be in touch.

Richard Howes asked if they are tearing down the old Aldi building.

Dan Ritter answered no, that is a separate lot and owner.

Mr. Grzynkowicz clarified that there is a green space near the Aldi which will be theirs, but not the Aldi building itself.

Lynn Romanenghi stated that the trucks would beep and asked again for a sound barrier.

CHAIRMAN GRAY asked that anyone speaking please come up to the lectern. He then asked if there were any other comments from the Commissioners with this new information discussed.

COMMISSIONER MANI thanked the residents for coming out to share their challenges. He also thanked the Petitioner for trying to lower the sound decibels as a good neighbor working together. He sees good faith in the Petitioner seeing what they can do to try to mitigate sound issues. He said it is hard to mitigate construction, and hopefully they can be on time or ahead of schedule.

Jim Romanenghi noted he would not care if he lived on the other end of the block.

COMMISSIONER MANI noted this is a community issue and the Petitioner is working to act in good faith.

Dan Ritter said they limited their construction hours more than the Village does, but there is noise with any positive redevelopment on sites.

Lynn Romanenghi stated you are breaking your own regulations to do this, and it impacts people.

CHAIRMAN GRAY asked if there were any other comments from Commissioners. Hearing none, he asked for a motion to close the Public Hearing. Motion made by COMMISSIONER MANI, seconded by COMMISSIONER VICK. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY asked staff to present the Standards.

DAN RITTER reviewed the draft Standards of Approval on these requests, summarizing the requests, as outlined in the Staff Report.

There were three motions for this item.

Motion 1-Special Use for a Substantial Deviation)

COMMISSIONER VICK made a motion to recommend that the Village Board grant a Special Use Permit for a Substantial Deviation from the Park Place PUD with Exceptions from the Zoning Ordinance, to the Petitioner, Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), to permit additional building development and lot changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the June 17, 2021 Staff Report.

Motion seconded by COMMISSIONER GASKILL. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 2-Site Plan Architectural Approval

COMMISSIONER LOSCUITO made a motion to grant the Petitioner, Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), Final Site Plan and Architectural Approvals to construct Phase 2 and Phase 3 of the redevelopment, including a new 140,439 sq. ft. commercial building and expansion of the warehouse buildings with various site changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and subject to the following conditions:

1. Site Plan Approval is subject to the approval of the Special Use for a, Substantial Deviation from the PUD and Final Plat by the Village Board.
2. Site Plan Approval is subject to final engineering plan review and approval including truck turning at the southernmost driveway along Harlem Avenue.
3. Site Plan Approval is subject to repair of the existing fence along the west property line by August 1, 2021.

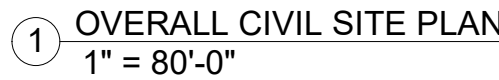
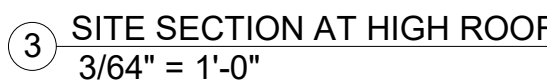
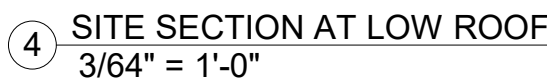
Motion seconded by COMMISSIONER VICK. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 3-Final Plat:

COMMISSIONER MANI made a motion to recommend that the Village Board grant approval to the Petitioner Petros Drimonas of Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), Final Plat of Subdivision Approval for the "163rd & Harlem LLC Subdivision" in accordance with the Final Plat submitted and dated 5-27-2021, subject to the condition that the approval is subject to Final Engineering Plan approval by the Village Engineer.

Motion seconded by COMMISSIONER LOSCUITO. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

This will likely be reviewed by the Village Board at their August 3rd meeting. Mr. Ritter stated he will stay in contact with the residents who supplied their information about the meeting and information received from the Petitioner. CHAIRMAN GRAY noted that if the residents wish to attend, they may do so.

SHEET NUMBER

AS2.0



PETE'S FRESH MARKET DEVELOPMENT - 16300 S. HARLEM AVENUE. TINLEY PARK IL

PLAN COMMISSION WORKSHOP SUBMITTAL – MAY 27, 2021



PLAN COMMISSION WORKSHOP SUBMITTAL

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MAY 27, 2021

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A9.5 - RENDERING – VIEW TO SMALL SHOPPES

A9.6 - RENDERING – VIEW TO SMALL SHOPPES (NIGHT)

A9.7 - RENDERING – VIEW TO LOADING DOCK

GS.1 – GROUND SIGN

S.1M – WALL SIGN

PROJECT NARRATIVE

MAY 27, 2021

PETE'S FRESH MARKET DEVELOPMENT 16300 S. HARLEM AVENUE TINLEY PARK IL

Preliminary approval of the development of a 24.2-acre site, including, expansion of an existing warehouse (by approximately 12,400 sf with 6 new loading docks and truck cab parking), a new Pete's Fresh market Grocery store (88,608 sf) and a proposed inline retail store (51,831 sf) adjacent to the proposed grocery store. Development will also include 4 future outlot development sites.

Pete's Fresh Market is headquartered in Chicago IL. They currently operate 17 different existing locations in the metropolitan area with ongoing plans to open even more stores in the Chicagoland area. Pete's Fresh Market (Pete's) distinguishes itself from its competition by demanding the best quality produce and merchandise at a price that is affordable to its clientele. Pete's stores consistently reflect this demand for quality in their stores as well, providing a bright and welcoming atmosphere, that presents itself in clean, modern, and accessible designs. Pete's maintains a vibrancy in all their stores with seasonal displays complimented with festive seasonal adornments. Pete's offers fresh juice bars, cafes, specialty cheese islands, hot bars with multiple made-to-order stations, and other amenities that the community desires but unfortunately does not currently have.

This proposed facility in Tinley Park is intended to be the best in their chain. Pete's will take all the details that it has incorporated in its development of their previous stores and craft them into what will be their most unique shopping experience to date. The residents of Tinley Park will experience a store, outside to in, that will welcome them and serve them as no other store has. Pete's strives to better serve each of the communities it becomes a part of. This destination is intended to lift this locale to an even higher level and serve the greater Tinley Park community.

Architecturally, the success of this design is intended to transcend raw utility. Instead, it is intended to combine the energy and dynamics of a crafted exterior that carries the same quality and experience into the store with a program that encourages the user to enjoy the complete shopping experience. The architecture of the center represents a forward-looking design comprised of traditional materials (brick) that will be used in a timeless way. Colors, textures, and patterns will mesh to create dynamic surfaces that will give the building a unique character, both during the day and at night.

At night, light will emanate from a veil of screening and the masonry projections will appear to dance along the facade as light and shadow give this design its signature loftiness. During the day, contrasting shades of deep charcoal gray brick and pearl white brick will create a delicately modeled facade. The interplay of these contrasting hues and textures will break down the massing, creating a sense of individual "charrettes" meant to engage and welcome the customer. The design takes full advantage of the durability and timelessness of these materials.

This center departs from the typical formulaic designs of the past favoring longevity, performance, and a well-planned design. Pete's Fresh Market has always taken pride in the structures they create and the marriage of quality design and superior product. These qualities remain paramount to their success.

Pete's will likely also contribute to Tinley Park in other ways. Pete's employees 120-130 people for their store and 10 to 20 for their warehouse. Parking for these employees shall be dedicated at the west of the site (the warehouse has dedicated parking at its northwest corner) and enforced by signage and store management.

This development has three phases:

The first phase is the redevelopment of the former vacant and distressed Kmart store at the south of the lot. Pete's will adaptively reuse this store as a warehouse for their products for distribution to their other local stores. Pete's may eventually incorporate some administrative offices into this warehouse space, but this will be Phase II work. As far as truck traffic, only Pete's and its vendors will load and unload at this facility.

The second phase is the development of the rest of the site for the new Pete's Grocery store and the new inline retail to its north (to be built at the same time). This phase will include the reorientation of the entire parking field to serve the Pete's and the retail, as well as all its associated infrastructure, landscaping (at the front of the store and in the parking fields), and lighting. Also, in this phase, Pete's shall expand to the east of the existing warehouse structure to expand the warehouse to better suit their needs (12,400 sf). Pete's will also assure that the storefront on the north (entry) side of this facility shall be cleaned up to avoid the look of "vacancy" but will also de-emphasize its appearance as an entry. Pete's will add masonry screen walls at the trash compacting units and at the truck docks to comply with their ordinances for screening. Finally, Pete's will add any required screening to roof top units, rack houses and condensers that are not obscured by parapets or other means as the code may require. Landscaping improvements will include significant improvements to the fencing at the western property line, additional plantings at the West and South buffer-yards, additional trees to meet or exceed code requirements, additional hedges along Harlem, and parking lot islands have been revised to be 10' wide.

The third phase will be the development of the out lots along Harlem Avenue. This design work has not yet begun and will not be a part of this submission other than the allocation for these lots on the civil plans.

Pete's will assure that the flow of traffic (vehicular, pedestrian and truck) will be with as little conflict as possible, as they know this is first, and foremost, a Grocery store shopping center. The secondary associated uses shall not impede this primary use.

Pete's Fresh Market looks forward to a long history with the Village of Tinley Park!



GENERAL REQUIREMENTS:

- ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED APRIL 1, 2016 AND SUPPLEMENTAL SPECIFICATIONS. WITHIN THE STANDARD SPECIFICATIONS, ARTICLES 105.01, 105.09, 105.10, 105.11, 105.12, 105.13 AND SECTION 109 SHALL NOT BE INCORPORATED INTO THIS CONTRACT.
- SCOPE OF WORK: THE PROPOSED IMPROVEMENTS CONSIST OF SUPPLYING ALL THE NECESSARY LABOR, MATERIAL AND EQUIPMENT TO SATISFACTORILY CONSTRUCT AND INSTALL ALL IMPROVEMENTS ACCORDING TO THE PLANS DESIGNATED HEREIN.
- CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE STANDARD SPECIFICATIONS AND CONTACT THE OWNER. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE ACTUAL LOCATION OF SURFACE STRUCTURES AND PLANS PROVIDED BY THE OWNER. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED HAZARD WARNING LIGHTS, DELINEATOR FENCE, AND OTHER ASSOCIATED FACILITIES AS REQUIRED FOR OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD AS PART OF THE DAILY OPERATIONS AT THIS SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
- CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER.
- CONTRACTOR PARKING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER.
- PRIOR TO PERFORMING ANY WORK IN OR ON THE RIGHT OF WAY OF ANY CITY OR STATE ROADWAY, THE CONTRACTOR SHALL NOTIFY THE CITY / STATE TRAFFIC ENGINEER'S OFFICE. THE CONTRACTOR SHALL ERECT WARNING SIGNS AND BARRICADES TO PROTECT THE TRAVELING PUBLIC AND HIS WORKERS. THE SIGNING AND BARRICADING SHALL CONFORM TO THE APPROPRIATE APPLICATIONS OUTLINED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE DIRECTED BY THE CITY / STATE TRAFFIC ENGINEER. IF PERMITS ARE REQUIRED TO CONDUCT THE WORK, THE CONTRACTOR SHALL SECURE THE PERMITS AND SUPPLY THEM TO THE OWNER AT NO ADDITIONAL COST. ALL FULL WIDTH LANE CLOSURES, PARTIAL LANE CLOSURES, AND CONSTRUCTION ADJACENT TO PAVEMENT SHALL BE IDENTIFIED, SIGNED, AND BARRICADES ERECTED IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC PROTECTION, BOTH ONSITE AND OFFSITE, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO MUNICIPAL BUILDING PERMIT. THE OWNER WILL SECURE THE N.P.D.E.S. PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT.
- WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- MAXIMUM CONTRACTION JOINT SPACING ON CONCRETE CURB AND GUTTER OR CONCRETE GUTTER SHALL NOT EXCEED 25'.
- SIDEWALK RAMPS FOR ADA SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. DETECTABLE WARNINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- HOT-MIX ASPHALT PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH SECTION 442 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING ELECTRONIC AS-BUILT DRAWINGS, FOR UTILITIES AND DETENTION AREAS, TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO SENDING TO THE VILLAGE FOR FINAL PROJECT ACCEPTANCE.
- CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR ENGINEER REVIEW AND APPROVAL A MINIMUM OF 4 WEEKS PRIOR TO ORDERING.
- REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION BY A DULY AUTHORIZED AND QUALIFIED OWNER'S REPRESENTATIVE BOTH DURING THE COURSE OF CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE. THE INSPECTOR SHALL HAVE AUTHORITY OVER MATERIALS OF CONSTRUCTION, METHODS OF CONSTRUCTION AND WORKSMANSHIP TO ENSURE COMPLIANCE WITH WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR REASONABLE TESTS AND PROOF OF QUALITY OF MATERIALS AS REQUESTED BY THE INSPECTOR. UPON DUE CAUSE, WHICH SHALL INCLUDE WEATHER CONDITIONS, WORKMANSHIP OR NON-ADHERENCE TO THE APPROVED PLANS AND SPECIFICATIONS, THE INSPECTOR SHALL HAVE THE AUTHORITY TO STOP CONSTRUCTION.
- WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL AGGREGATE BASE COURSE SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- ALL AGGREGATE BASE AREAS TO BE PAVED (PAVEMENT, SIDEWALK, CURB, OR STRUCTURES) SHALL BE PROOF-ROLLED WITH SEVERAL PASSES OF A FULLY LOADED DUMP TRUCK. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER 24 HOURS PRIOR TO PROOF ROLL AND SHALL MAKE ALL CORRECTIONS TO PROVIDE A SATISFACTORY SUBGRADE.
- ANY UNCONTROLLED CRACKING THAT OCCURS IN CONCRETE PAVEMENT, SIDEWALK, CURB, OR CURB AND GUTTER PRIOR TO FINAL ACCEPTANCE SHALL BE ROUTED OR SAWED AND SEALED ACCORDING TO THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED.
- ALL SIDEWALKS SHALL BE 4 INCHES IN THICKNESS AND CONSTRUCTED TO THE WIDTH SHOWN ON THE PLANS. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MIN. CROSS SLOPE OF 1% AND A MAX. CROSS SLOPE OF 2%. SIDEWALK THICKNESS SHALL BE INCREASED TO A MINIMUM 6" AT DRIVEWAYS

OR AS REQUIRED BY THE MUNICIPALITY.

- ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED, BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC SEWER OR WATER MAINS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE PROJECT SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY PROVIDE THE INFORMATION TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK EFFECTED BY OMISSIONS OR DISCREPANCIES. IF THE CONTRACTOR FAILS TO SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL.

EXISTING TOPOGRAPHY:

- ALL UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE DERIVED FROM EXISTING UTILITY MARKINGS, OLD SITE PLANS, UTILITY COMPANY MAPS, PRIVATE LOCATOR AND OBSERVED EVIDENCE.
- ALL PIPE SIZES REFERENCED HEREON ARE SHOWN ACCORDING TO UTILITY COMPANY MAPS, OLD SITE PLANS AND OBSERVED EVIDENCE. ALL PIPE SIZES AND INVERTS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE J.U.I.E. TELEPHONE NUMBER 1-800-892-0123. ALLOW 48 HOURS FOR LOCATIONS OTHER THAN EMERGENCY ASSISTANCE.

SITE DEMOLITION:

- EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY.
- NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH.
- CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND EXISTING PARKING LOT SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- ITEMS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED UNLESS INDICATED OTHERWISE.
- ALL TREES AND BRUSH INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ROOT BALLS.
- UNLESS OTHERWISE IDENTIFIED AND/OR NOTED ON THE DEMOLITION PLAN, CONTRACTOR SHALL FULLY DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF ALL EXISTING BUILDINGS, IMPROVEMENTS, AND RELATED APPURTENANCES AT THIS SITE AND PROPERTY. CONTRACTOR SHALL ALSO DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF EXISTING IMPROVEMENTS AND CONSTRUCTIONS IN THE PUBLIC RIGHT-OF-WAY NECESSARY TO ACCOMPLISH THE NEW PROJECT WORK DESCRIBED ELSEWHERE IN THESE BIDDING AND CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND APPROVALS FOR SUCH DEMOLITION WORK (BOTH INSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY) PRIOR TO COMMENCING ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS; AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING (TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES OCCUR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APPURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS.
- ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE PROVIDED TO THE OWNER AND ENGINEER. ADDITIONALLY, SOME EXISTING MATERIALS AND SYSTEMS MAY NEED TO BE RECYCLED AND/OR OTHERWISE SALVAGED IN ORDER TO MEET THE SUSTAINABILITY AND LEED REQUIREMENTS OF THIS PROJECT. SEE OTHER PORTIONS OF THESE BIDDING AND CONSTRUCTION DOCUMENTS FOR SUCH REQUIREMENTS.
- EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS; AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE.
- CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS, INCLUDING THE REMOVAL AND LAWFUL DISPOSAL OF MATERIALS AND SYSTEMS.
- CONTRACTOR SHALL SUBMIT A COMPLETE WRITTEN PLAN AND SCHEDULE FOR ALL PROPOSED DEMOLITION WORK TO OWNER AND ARCHITECT FOR REVIEW AND COMMENT, PRIOR TO BEGINNING ANY SUCH OPERATIONS. DURING THE COURSE OF THIS DEMOLITION WORK, IF ANY ARTIFACTS OR OTHER UNUSUAL ITEMS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY, BEFORE PROCEEDING ANY FURTHER. ANY EXPENSES RESULTING FROM THE FAILURE TO PROVIDE SUCH IMMEDIATE NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.

SITE LAYOUT:

- JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAX. INTERVALS, UNLESS INDICATED OTHERWISE.
- NORTHING-EASTING COORDINATES AND DIMENSIONS FOR CURB AND GUTTER ARE TO FACE OF CURB.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC AGENCY. NOTIFICATION SHALL OCCUR A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHT-OF-WAY. ALL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- P.C. CONCRETE PAVEMENT AND SIDEWALKS SHALL BE CLASS PV AND CLASS SI, RESPECTIVELY, IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- CONTRACTOR SHALL COORDINATE EQUIPMENT PADS WITH EQUIPMENT MANUFACTURERS.

SITE GRADING AND EROSION CONTROL:

- ALL SUBGRADE EXCAVATION AND COMPACTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "SOILS REPORT".
- ENGINEERED STRUCTURAL FILLS SHALL BE INCLUDED IN OVERALL SITE DEVELOPMENT TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE FLOOR SLABS ON GRADE AND ADJOINING PAVEMENT AREAS. REFER TO THE GEOTECHNICAL REPORT FOR APPROVED FILL MATERIALS.
- WHERE FIRM FOUNDATION MATERIAL IS NOT ENCOUNTERED AT THE GRADE ESTABLISHED, DUE TO UNSUITABLE SOIL, ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED COMPACTED GRANULAR MATERIAL.

- TOPSOIL SHALL BE STRIPPED IN ALL STRUCTURAL FILL AREAS BEFORE PLACEMENT OF FILL MATERIAL AND SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER OR PER PLAN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM EARTHWORK CALCULATIONS BASED ON THE PROVIDED PLANS AND TO LAWFULLY DISPOSE OF AND REMOVE ANY EXCESS MATERIAL FROM THE PROJECT SITE, OR TO PROVIDE ANY NECESSARY FILL MATERIAL THAT MAY BE REQUIRED TO MEET THE FINAL PLAN GRADES. THE DISPOSAL OR PROVIDING OF MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL."
- THE OWNER/ENGINEER SHALL PROVIDE THE SOIL EROSION AND SEDIMENT CONTROL PLANS INCLUDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN BOOKLET AND ASSOCIATED DOCUMENTS IN ACCORDANCE WITH THE "GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES," AND A COPY SHALL BE KEPT ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ALL INSPECTIONS, AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES REQUIRED BY THE GENERAL NPDES PERMIT UNTIL FINAL STABILIZATION OF ALL AREAS DISTURBED BY CONSTRUCTION OCCURS. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY MUST BE SEEDED, SODDED, BLANKETED OR OTHERWISE PROTECTED WITHIN 14 DAYS OF FINAL DISTURBANCE. ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT WHICH ARE LOCATED OUTSIDE OF THE PROPOSED SEEDING LIMITS SHALL BE GRADED TO DRAIN, FERTILIZED, SEEDED, MULCHED AND WATERED. THE COST ASSOCIATED WITH THE PLACEMENT OF ADDITIONAL FERTILIZER, SEED, MULCH AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A MINIMUM OF 70% VEGETATIVE COVERAGE IS REQUIRED PRIOR TO ACCEPTANCE. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE THE MINIMUM MEASURES REQUIRED. UNFORESEEN CHANGES IN SCOPE, SCHEDULE OR CONSTRUCTION METHODS MAY RESULT IN CHANGES OR ADDITIONS TO THIS PLAN AND THE SWPPP. ANY CHANGES OR ADDITIONS NECESSARY TO MAINTAIN COMPLIANCE WITH THE NPDES PERMIT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
- SHOULD PROJECT SCHEDULING PROHIBIT THE ABILITY TO SEED DISTURBED EARTH UPON COMPLETION OF GRADING, CONTRACTOR SHALL EMPLOY ALTERNATE SOURCE CONTROLS IN ADDITION TO THOSE ON THIS PLAN, INCIDENTAL TO THE CONTRACT.
- DUST CONTROL MUST BE PROVIDED AS NEEDED, BY WATERING OR OTHER MEANS.
- ALL AREAS WITH THE EXCEPTION OF PAVEMENT SHALL BE FINISHED IN ACCORDANCE WITH THE LANDSCAPE PLANS INCLUDED IN THE PLAN SET.
- CONTRACTOR SHALL INSTALL INLET FILTER PROTECTION BASKETS INSIDE ALL EXISTING AND PROPOSED MANHOLES AND INLET FRAMES.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A CONCRETE WASHOUT AREA FOR RINSING CONCRETE TRUCKS.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A TEMPORARY CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION TRAFFIC PER PLAN.
- CONTRACTOR SHALL PROVIDE AND USE A WHEEL WASH SYSTEM TO ENSURE THAT ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING THE SITE MAINTAIN CLEAN TIRES. ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS OR PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE SAME WORK DAY.
- ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS SPECIFIED OTHERWISE.
- ALL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE STABILIZED WITH NAG S75BN OR EQUIVALENT.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 6" TOPSOIL IN ALL ISLANDS, LANDSCAPE AREAS, AND OPEN SPACES.

SITE UTILITIES:

- THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
 - ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
 - VILLAGE OF TINLEY PARK OFFICE OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH IDOT SPECIFICATIONS. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) SHALL BE USED TO BACKFILL TRENCHES WITHIN PUBLIC RIGHT OF WAY. THE CLSM SHALL EXTEND 2 FT PAST THE PROPOSED PAVEMENT, CURB, OR SIDEWALK.
- OPEN CUT TRENCHES SHALL BE SHEETED AND BRACED AS REQUIRED BY THE GOVERNING STATE, FEDERAL LAWS AND MUNICIPAL ORDINANCES, AND AS MAY BE NECESSARY TO PROTECT LIFE, PROPERTY OR THE WORK.
- CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE AND MAINTAIN SUFFICIENT MEANS AND DEVICES TO REMOVE AND PROPERLY DISPOSE OF ALL WATER ENTERING THE EXCAVATIONS. WATER SHALL BE FILTERED AND DISCHARGED IN ACCORDANCE WITH THE NPDES REQUIREMENTS.
- ALL PIPE SHALL BE INSTALLED ON A BEDDING OF APPROVED, COMPACTED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE BEDDING MATERIAL SHALL BE INSTALLED PER STANDARD SPECIFICATIONS AND PROVIDED PLAN DETAILS.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- ALL SANITARY SEWERS SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE. INFILTRATION OF WATER, AND/OR EXFILTRATION OF WATER AS PER STANDARD SPECIFICATIONS. ALL SANITARY SEWERS SHALL BE DEFLECTION TESTED NO SOONER THAN 30 DAYS AFTER INSTALLATION. ALL MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER ASTM C 989 OR ASTM C 1244.
- STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - REINFORCED CONCRETE PIPE (RCP), ASTM C76
 - GASKETS - ASTM C443
 - FITTINGS - ASTM C443
 - SMOOTH INTERIOR WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), ASTM D3212, N-12 WT
 - WATER TIGHT JOINTS
 - JOINT SHALL BE SEALED SUFFICIENTLY TO PREVENT JETTING OR LEAKING AT THE JOINT
 - PVC STORM SEWER PIPING, ASTM D 3034, SDR 35
 - BELL-AND-SPIGOT ENDS
 - ASTM F 477, ELASTOMERIC SEALS FOR GASKETED JOINTS
 - FRAME AND GRATES
 - TYPE 1 CLOSED LID = NEENAH R-1713
 - TYPE 1 OPEN LID = NEENAH R-2504
 - TYPE 3 = NEENAH R-3281-A
 - DITCH GRATE = NEENAH R-4342

- SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - PIPE AND FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) SDR 26, ASTM D 3034, TYPE PSM
 - GASKETS - FLEXIBLE ELASTOMERIC, ASTM F 477, ASTM D 3139
 - JOINTS - ASTM D 3212
 - BEDDING - CLASS II, ASTM 2321
- ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SANITARY SEWER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR SHALL COORDINATE WATER MAIN, FIRE AND DOMESTIC WATER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5-FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5-FEET OUTSIDE THE BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTIONS.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL MANHOLES AND INLET CASTINGS LOCATED WITHIN BITUMINOUS ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A CONCRETE APRON AT THE SURFACE.
- FOR ALL WATERMAIN CONSTRUCTION:
 - WATER MAIN AND SERVICES TO BE INSTALLED WITH A MINIMUM OF 5'-6" OF COVER FROM FINISHED GRADE TO TOP OF WATER PIPE.
 - TWO COMPLETE PIPE LENGTHS OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON THE BRANCH LEG OF ALL TEES AND BOTH SIDES OF ALL 90 DEGREE BENDS.
 - ONE COMPLETE PIPE LENGTH OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL 11-1/4 AND 22-1/2 DEGREE BENDS.
 - ALL BENDS, TEES, PLUGS, VALVES AND HYDRANTS SHALL BE RESTRAINED JOINT.
 - ALL WATERMAIN PIPE 4" AND LARGER SHALL BE POLY WRAPPED DUCTILE IRON PIPE SPECIAL CLASS 52, 250 PSI RATING, WITH SINGLE GASKET JOINTS. CEMENT LINING SHALL BE PROVIDED FOR ALL PIPE.
 - ALL WATER SERVICE PIPE LESS THAN 4" SHALL BE COPPER PIPE, TYPE K OR PVC SDR 9 WITH A PRESSURE RATING OF 200 PSI.

INDEMNIFICATION:

- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE VILLAGE OF TINLEY PARK, AND CAGE ENGINEERING, INC. FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE OWNER OR CAGE ENGINEERING, INC. BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATIONS ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.

INSURANCE REQUIREMENTS

- THE CONTRACTOR SHALL PURCHASE AND MAINTAIN COMPREHENSIVE GENERAL LIABILITY AND OTHER INSURANCE SET FORTH BELOW WHICH WILL PROVIDE PROTECTION FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULTING FROM THE PERFORMANCE OF WORK BY ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR OR BY ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE.
 - COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE COVERING ALL AUTOMOBILES, TRUCKS, TRAILERS AND ANY OTHER MOTORIZED EQUIPMENT OWNED OR LEASED BY THE CONTRACTOR.
 - WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE IN ANY AMOUNT NOT LESS THAN STATUTORY LIMITS REQUIRED BY LAW.
 - COMPREHENSIVE GENERAL LIABILITY INSURANCE INCLUDING COVERAGE IN THE AMOUNT OF \$500,000 PER ACCIDENT FOR PROPERTY DAMAGE AND \$1,000,000 PER PERSON AND \$3,000,000 AGGREGATE PER ACCIDENT FOR BODILY INJURY, SICKNESS OR DISEASE, OR DEATH OF ANY PERSON.
- CERTIFICATE OF INSURANCE
 - THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL HE HAS FILED WITH THE MUNICIPALITY AND ITS INSPECTOR A CERTIFICATE OF INSURANCE SHOWING COMPLETE COVERAGE OF ALL INSURANCE REQUIRED, SIGNED BY THE INSURANCE COMPANIES OR THEIR AUTHORIZED AGENTS. EACH CERTIFICATE SHALL PROVIDE THAT COVERAGE SHALL NOT BE TERMINATED OR REDUCED WITHOUT 30 DAYS ADVANCE WRITTEN NOTICE TO THE MUNICIPALITY AND ITS INSPECTOR. THE CONTRACTOR SHALL NAME THE OWNER, THE VILLAGE OF TINLEY PARK AND CAGE ENGINEERING, INC. AS ADDITIONAL INSURED ON THE COMPREHENSIVE GENERAL LIABILITY AND AUTOMOBILE LIABILITY POLICIES.

CONSTRUCTION MEANS, METHODS, SAFETY

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING OSHA STANDARDS AND WITH ANY OTHER APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS UTILIZED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS IN THE PERFORMANCE OF THEIR WORK AND SHALL TAKE ANY OTHER ACTIONS NECESSARY TO PROTECT THE LIFE AN HEALTH OF EMPLOYEES ON THE JOB AND THE SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, EQUIPMENT, AND FOR SAFETY PRECAUTIONS OR PROGRAMS, UNLESS SUCH MEANS AND EQUIPMENT ARE SPECIFIED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH SECTION 108.06 LABOR, METHODS, AND EQUIPMENT OF THE "STANDARD SPECIFICATIONS."



REVISIONS

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF CAGE ENGINEERING, INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM CAGE ENGINEERING, INC.

PETE'S FRESH MARKET
REDEVELOPMENT
16300 S. HARLEM AVE.
TINLEY PARK, IL

PROJ NO: 200135

ENG :JGN

DATE : 05.27.2021

SHEET TITLE

GENERAL
NOTES &
SPECIFICATIONS

SHEET NUMBER

C0.1

OF 13

VILLAGE STANDARDS:

HENCEFORTH LIES THE VILLAGE OF TINLEY PARK'S STANDARDS. THESE ARE PROVIDED FOR REFERENCE ONLY AND SHOULD BE CROSS CHECKED WITH THE VILLAGE TO ENSURE THE MOST RECENT STANDARDS ARE BEING FOLLOWED.

PARKING LOTS

- ALL PARKING LOTS THAT ARE REQUIRED TO BE PROVIDED BY THE VILLAGE CODES OR ORDINANCES SHALL BE CONCRETE OR HOT-MIX ASPHALT
- ALL MATERIALS, SIZE OF AGGREGATES, THICKNESS OF LAYERS, COMPACTION AND INSTALLATION OF THE SAME SHALL COMPLY WITH THE LATEST EDITION OF DOT SSRBC OR IN ACCORDANCE WITH THE VILLAGE ENGINEER'S REQUIREMENTS.
- ALL PARKING LOT PAVEMENT SHALL BE PITCHED TO DRAIN ALL SURFACE WATER. CATCH BASINS OR INLETS WITH HEAVY-DUTY CAST IRON FRAME AND GRATES SHALL BE INSTALLED AND CONNECT TO STORM SEWER DIRECTING THE STORMWATER TO DRAINAGE SYSTEMS OR SWALES, IF NO STORM SEWER SYSTEM IS PRESENT.
- PARKING SPACES (LENGTH, WIDTH AND ADA STANDARDS) SHALL COMPLY WITH THE VILLAGE ZONING ORDINANCE AND THE CURRENT EDITION OF THE ILLINOIS ACCESSIBILITY CODE.
- ANY PARKING LOT BEING REPAIRED, REPAVED, SEAL-COATED OR RE-STRIPPED MUST COMPLY WITH THE CURRENT EDITION OF THE ILLINOIS ACCESSIBILITY CODE.
- WHEN THE APPLICATION FOR PERMIT IS MADE, DRAWINGS SHALL BE SUBMITTED SHOWING ALL AREAS OF IMPROVEMENTS, GRADE ELEVATIONS, STORM STRUCTURES (RIM AND INVERT ELEVATIONS) AND ALL OTHER INFORMATION REQUIRED TO CONFIRM PROPER STORM WATER DRAINAGE.
- ALL STORM LINES, STRUCTURES AND DETENTION (IF APPLICABLE) SHALL COMPLY WITH THE REQUIREMENTS OF THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) FOR PROJECTS IN COOK COUNTY OR THE WILL COUNTY STORMWATER MANAGEMENT ORDINANCE FOR PROJECTS IN WILL COUNTY.
- PARKING LOT DRAINAGE SHALL NOT FLOW ONTO ADJACENT PROPERTIES.

STREET SIGNS

- APPROPRIATE STREET SIGNS SHALL BE ERECTED AT EACH INTERSECTION.
- SIGN TYPE AND LOCATION(S) SHALL BE SUBJECT TO APPROVAL OF PUBLIC WORKS AND MUTCD. MANUAL.
- PRIOR TO FINAL INSPECTION ALL STREET SIGNS, INCLUDING STOP SIGNS, SPEED LIMIT SIGNS, ETC. SHALL BE INSTALLED.

PUBLIC UTILITIES

- ALL UTILITY DISTRIBUTION LINES (PHONE, ELECTRIC, CABLE, ETC.) SHALL BE IN PLACE UNDERGROUND THROUGHOUT EACH NEW SUBDIVISION OR DEVELOPMENT.
- LINES SHALL BE PLACED WITHIN EASEMENTS OR DEDICATED RIGHT OF WAY, IN A MANNER WHICH DOES NOT CONFLICT WITH OTHER UNDERGROUND SERVICES.
- ALL TRANSFORMER BOXES SHALL BE LOCATED SO AS NOT TO BE UNSIGHTLY OR HAZARDOUS TO THE PUBLIC.

CASH BOND REQUIREMENTS

- IT IS UNLAWFUL TO MAKE ANY OPENING, EXCAVATION OR TUNNEL UNDER ANY PUBLIC STREET, ALLEY, SIDEWALK, PARKWAY OR OTHER PUBLIC AREA IN THE VILLAGE WITHOUT SECURING A PERMIT. PERMIT APPLICATIONS CAN BE MADE AT TO THE VILLAGE CLERK AND SHALL SPECIFY THE INTENDED LOCATION AND PURPOSE OF THE EXCAVATION. PUBLIC WORKS WILL BE NOTIFIED OF THE PERMIT APPLICATION ONCE IT IS SUBMITTED
- APPLICANT SHALL AGREE TO PAY ALL COST FOR THE PROPOSED WORK AS WELL AS THE COST TO RESTORE THE PROJECT TO THE CONDITION THAT EXISTED BEFORE THE PROJECT BEGAN. NO SUCH PERMIT SHALL BE ISSUED UNTIL ONE OF THE FOLLOWING CASH BONDS HAS BEEN DEPOSITED WITH THE VILLAGE:
 - \$5,000 CASH BOND: A \$5,000 CASH BOND SHALL BE PROVIDED FOR ALL UTILITY TRENCHES CROSSING AN ALLEY, MINOR ARTERIAL OR RESIDENTIAL ROADWAY IN THE VILLAGE.
 - THE REPAIR SHALL INCLUDE THE PAVEMENT IMPROVEMENTS THE WIDTH OF THE TRENCH (AS WELL AS AN ADDITIONAL FIVE (5') OF SURFACE RESTORATION ON BOTH SIDES OF THE TRENCH), BACKFILL AND COMPACTION, CURB AND GUTTER, SIDEWALK, PARKWAY RESTORATION AND SITE CLEAN-UP, AS NEEDED.
- \$10,000 CASH BOND: A \$10,000 CASH BOND SHALL BE PROVIDED FOR ALL UTILITY TRENCHES CROSSING A SECONDARY AND MAJOR ARTERIAL, COLLECTOR, COMMERCIAL OR INDUSTRIAL ROADWAY IN THE VILLAGE.
- THE REPAIR SHALL INCLUDE THE PAVEMENT IMPROVEMENTS THE WIDTH OF THE TRENCH (AS WELL AS AN ADDITIONAL TEN (10') FEET OF SURFACE RESTORATION ON BOTH SIDES OF THE TRENCH), BACKFILL AND COMPACTION, CURB AND GUTTER, SIDEWALK, PARKWAY RESTORATION AND SITE CLEAN-UP, AS NEEDED.
- THE VILLAGE HAS THE RIGHT TO USE ITS OWN EMPLOYEES AND EQUIPMENT TO MAKE REASONABLE CHANGES OR HIRE OTHER SERVICES TO DO THE WORK AND CHARGE THE COST FOR THEIR TIME AND EQUIPMENT TO THE APPLICANT. ANY BALANCE OF SAID DEPOSIT REMAINING AFTER THE DEDUCTION OF SUCH COSTS SHALL BE RETURNED TO THE APPLICANT.
- IN CASES WHERE APPLICANT RESTORES THE PROJECT TO ITS ORIGINAL CONDITION, THE VILLAGE SHALL RETURN THE ENTIRE DEPOSIT ONE (1) YEAR FROM THE DATE OF APPLICATION OR RESTORATION, WHICHEVER IS LATER.
- NO SUCH PERMIT SHALL BE ISSUED UNLESS THE APPLICANT HAS ON FILE WITH THE VILLAGE AND IN FULL FORCE AND EFFECT, A BOND IN THE AMOUNT OF \$20,000 WITH SURETY TO BE APPROVED BY THE VILLAGE WITH CONDITIONS TO INDEMNIFY THE VILLAGE AGAINST ANY AND ALL LOSS OR LIABILITY RESULTING FROM THE MAKING OF SUCH OPENING AND/OR EXCAVATIONS.
- CASH BONDS WILL BE CASHED BY THE VILLAGE AND RETURNED AS NOTED AFTER THE PAVEMENT AND PARKWAY HAVE BEEN RESTORED, INSPECTED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- A CERTIFICATE OF INSURANCE WILL BE REQUIRED FROM UTILITY COMPANIES DOING WORK IN VILLAGE RIGHT OF WAY

GENERAL PROVISIONS FOR STORM SEWER

- THE STORM SEWERS WITHIN 5' CORPORATE LIMITS OR UNDER THE JURISDICTION OF THE VILLAGE OF TINLEY PARK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS LISTED BELOW AND BE PROVIDED TO SERVE EACH PROPERTY IN A SUBDIVISION OR DEVELOPMENT.
- ALL OF THESE FINALIZED, SIGNED AND APPROVED ITEMS MUST BE SUBMITTED TO THE VILLAGE ENGINEER TO ALLOW FOR REVIEW WITHIN TWO (2) WEEKS OF CONSTRUCTION. ANY INITIAL REVIEW REQUIREMENTS BY THE VILLAGE ENGINEER SHALL BE SUBMITTED DURING THE PRELIMINARY STAGES OF THE PROJECT ALLOWING SUFFICIENT TIME FOR COMMENTS, REVISIONS AND FINAL APPROVAL.

COORDINATION AND STAGING

- IN ADDITIONAL TO MEETING THE REQUIREMENTS OF THE SUBDIVISION AND DEVELOPMENT REGULATIONS, ALL LAND TO BE DEVELOPED SHALL MEET THE REQUIREMENTS OF THE VILLAGE'S FLOOD PLAIN ORDINANCE #73-0-003, THE SEWER PERMIT ORDINANCE AND THE WATERSHED MANAGEMENT ORDINANCE OF THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRDGC), LATEST VERSIONS.
- ALL STORM SEWER WORK BY THE CONTRACTOR SHALL BE APPROVED BY THE VILLAGE BOARD THEN COORDINATED WITH AND APPROVED BY THE VILLAGE BOARD, COUNTY, STATE, RAILROAD AND OTHER AUTHORITIES HAVING JURISDICTION. OWNER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF IMPROVEMENTS FOR ONE (1) YEAR FOLLOWING ACCEPTANCE BY THE VILLAGE.
- STORM SEWER CONSTRUCTION COORDINATION SHALL BE DONE THROUGH THE PUBLIC WORKS DEPARTMENT. CONSTRUCTION SHALL BE STAGED TO SERVICE THE ADJACENT PROPERTIES. A - PRE-CONSTRUCTION MEETING SHALL BE HELD TO DISCUSS THESE MATTERS.

- ALL STORM SEWER IMPROVEMENTS SHALL BE COORDINATED WITH THE VILLAGE ENGINEER AND PUBLIC WORKS DIRECTOR TO CONTINUE SERVICE TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION. AN EROSION CONTROL PLAN SHALL BE SUBMITTED, BY-PASS PUMPING MAY BE REQUIRED.

STORM SEWER DESIGN AND MATERIALS

- STORM SEWER SYSTEMS SHALL BE CONSTRUCTED THROUGHOUT EACH SUBDIVISION OR DEVELOPMENT TO CARRY STORM WATER FROM ALL INLETS AND CATCH BASINS TO AN ADEQUATE OUTFALL.
- THE MINIMUM DESIGN CAPACITY SHALL BE BASED UPON THE MOST RECENT VERSION OF THE ILLINOIS STATE WATER SURVEY, BULLETIN 70 FOR A 10-YEAR, 24-HOUR STORM EVENT.
- STORM SEWER SHALL BE DESIGNED TO FLOW FULL WITH A MINIMUM VELOCITY OF THREE FEET PER SECOND (3 FPS) AND NOT TO EXCEED TEN FEET PER SECOND (10 FPS).
- DRAINAGE SYSTEMS SHALL ANTICIPATE AND PROVIDE CAPACITY FOR TRANSMITTING DRAINAGE FROM OTHER TRIBUTARY AREAS, BUT NOT RETENTION OF THESE OTHER TRIBUTARY AREAS.
- SYSTEM DESIGNS SHALL MEET REGULATIONS FOR LONG RANGE FLOOD CONTROL PROGRAMS ESTABLISHED BY THE METROPOLITAN RECLAMATION DISTRICT AND/OR COOK AND WILL COUNTY.
- OPEN ROADSIDE DITCHES SHALL BE PROHIBITED, EXCEPT WHERE REQUIRED IN STATE OR COUNTY RIGHT OF WAYS, OR AS OTHERWISE APPROVED BY VILLAGE BOARD.
- CONCRETE HEADWALL AND APRON WITH RIPRAP SHALL BE PROVIDED FOR ANY OUTFALL STORM SEWER INTO AN EXISTING OPEN DITCH OR NATURAL WATER COURSE AS PER VILLAGE ORDINANCES.
- DRAIN INLETS SHALL BE PLACED IN STREET GUTTER AT ALL INTERSECTIONS AND ELSEWHERE WHERE REQUIRED BY TERRAIN.
- DRAINS SHALL NOT BE SPACED MORE THAN THREE HUNDRED (300') FEET APART ALONG THE GUTTER.
- STORM SEWERS SHALL BE A MINIMUM OF TEN (10') FEET CLEAR FROM ALL WATER TRANSMISSION MAINS OR WATER SERVICES.
- STORM SEWERS SHALL NOT BE DIRECTED INTO SANITARY SEWERS. NO CONNECTIONS BETWEEN SYSTEMS SHALL BE PERMITTED AT ANY TIME, DURING OR AFTER CONSTRUCTION.
- FOR ALL NEW CONSTRUCTION, DRAINAGE STRUCTURES SHALL BE FURNISHED ALONG THE REAR PROPERTY LINE ON THE CORNER OF EACH AND EVERY LOT. AS-BUILT DRAWINGS SHALL BE FURNISHED TO THE VILLAGE ENGINEER OR PUBLIC WORKS DIRECTOR FOR APPROVAL. OCCUPANCY PERMIT(S) SHALL NOT BE ISSUED UNTIL AS-BUILTS ARE APPROVED. SEE RECORD DRAWING REQUIREMENTS.
- STORM STRUCTURES SHALL BE PRECAST, REINFORCED CONCRETE SECTIONS, A MINIMUM OF FOUR (4') FEET IN DIAMETER WITH PRECAST, REINFORCED CONCRETE OFF-SET CONES, EXCEPT IF LOCATED AT THE END OF A STORM LINE. CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478.
- FLARED END SECTIONS SHALL BE DESIGNED TO BE AT OR ABOVE NORMAL WATER LEVEL (NWL) WHEN PLACED ALONG DETENTION PONDS.
- STORM STRUCTURES SHALL HAVE ALL LIFTING HOLES, JOINTS AND GAPS TUCK POINTED WITH HYDRAULIC CEMENT.
- STORM SEWER IN THE RIGHT OF WAY SHALL BE REINFORCED CONCRETE PIPE (RCP) WITH A MINIMUM OF TWELVE (12") INCH DIAMETER WITH FLARED END SECTION AND GRATES. SHALL CONFORM TO ASTM C-76 OR C-507 WITH JOINTS CONFORMING TO C-443.
- STORM SEWER OUTSIDE THE RIGHT OF WAY MAY BE DUAL-WALL, SMOOTH INTERIOR ADS HP STORM SEWER PIPE MEETING AND EXCEEDING ASTM F-2881 AND AASHTO M-330. PIPE SHALL BE JOINED WITH A GASKETED, INTEGRAL BELL AND SPIGOT JOINT MEETING ASTM F-2881.

- NO STORM STRUCTURES SHALL BE LOCATED IN SIDEWALKS, DRIVEWAYS OR CROSSWALKS.
- ALL STRUCTURES SHALL HAVE A MAXIMUM OF TWELVE (12") INCHES OF ADJUSTING RINGS.
- STORM STRUCTURES (MANHOLES, CATCH BASINS AND INLETS) SHALL BE PRECAST SECTIONS CONFORMING TO ASTM D-478 AND HAVE ECCENTRIC CONE SECTIONS INSTALLED TO LINE UP WITH THE STEPS, IN APPLICABLE.
- NO STORM SEWER SHALL BE LOCATED BENEATH BUILDINGS OR STRUCTURES. IT SHALL BE A MINIMUM OF TEN (10') FEET SEPARATION BETWEEN THE STORM SEWER AND BUILDING OR STRUCTURES.
- AN UNDERDRAIN IN A FABRIC LINED TRENCH SHALL BE REQUIRED AT ALL LOW POINTS IN PARKING LOTS AND ROADWAYS, OR AS RECOMMENDED BY THE VILLAGE ENGINEER.
- IN PARKING LOT DESIGNS, A MINIMUM OF TWO TEN (10') FINGER DRAINS SHALL BE PROVIDED.

STORM SEWER SERVICES

- SERVICES FOR SUMP PUMP DISCHARGE MUST BE CONSTRUCTED FOR EACH LOT OR BUILDING.
- STORM SEWER SERVICES MUST BE MINIMUM OF FOUR (4") INCHES IN DIAMETER. SIZE MUST ACCOMMODATE SUMP PUMP DISCHARGE, AS WELL AS SURFACE RUNOFF.
- SERVICE LINES SHALL BE A MINIMUM OF SDR 35.
- SERVICES SHALL BE CONNECTED TO A MANHOLE OR CATCH BASIN, WHERE AVAILABLE.
- AIR GAPS MUST BE PROVIDED FOR ALL SUMP PUMP SERVICES. WHERE A SERVICE WYE EXISTS, CONNECTIONS CAN BE MADE, BUT AN AIR GAP SHALL BE PROVIDED WHERE SERVICE EXITS THE STRUCTURE.
- SUMP PUMPS SHALL BE USED TO DISCHARGE STORM WATER ONLY.

FRAME AND LIDS

- FRAMES SHALL BE HEAVY DUTY - EAST JORDAN IRON WORKS (EJIW) 1050Z1
- CURB LIDS SHALL BE TYPE A WITH CLOSED PICK HOLES IN THE PAVEMENT AREAS THAT ARE NOT INTENDED TO TAKE STORM WATER (NOT CURB LINE) WITH STORM AND VILLAGE OF TINLEY PARK SHALL BE CAST ON THE LID
- LIDS INTENDED TO TAKE STORM WATER SHALL BE EJIW TYPE M2 FLAT GRATES THAT STATE "DUMP NO WASTE", "DRAINS TO WATERWAYS" AND INCLUDE FISH SYMBOL OR APPROVED EQUAL IN AND OUTSIDE PAVEMENT.
- CURB STRUCTURES INTENDED TO TAKE STORM WATER SHALL BE EJIW 1040 M1 OR APPROVED EQUAL THAT STATE "DUMP NO WASTE", "DRAINS TO WATERWAYS" AND INCLUDE THE TROUT SYMBOL.
- TYPE 8 GRATES CAN BE USED IN GRASS RESIDENTIAL AREAS FOR INLETS AND CATCH BASINS.
- FRAMES SHALL BE SET ON A BITUMINOUS MATERIAL TO PREVENT INFLOW AS WELL.

INSPECTION AND APPROVAL

- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE PUBLIC WORKS AND/OR BUILDING DEPARTMENT TO DISCUSS THE FOLLOWING:
 - PROJECT CONTACTS (PROJECT MANAGER AND 24-HOUR CONTACT)
 - START AND COMPLETION DATES
 - PROJECT TIMELINE (I.E. VILLAGE HOLIDAYS, PUBLIC EVENTS, WEEKEND WORK, ETC.)
 - REQUIRED ACCESS FOR LOCAL RESIDENTS, SCHOOL BUSES, GARBAGE TRUCKS, ETC.
 - POTENTIAL DETOUR ROUTES
 - MATERIAL STORAGE LOCATIONS
 - RESIDENT CONFRONTATION
 - TRAFFIC CONTROL AND PROTECTION
- FULL TIME INSPECTION SHALL BE REQUIRED BY THE VILLAGE/CONSULTANTS WHILE THE STORM SEWER SYSTEM ARE BEING CONSTRUCTED. IT IS THE DEVELOPER'S RESPONSIBILITY TO COVER THE COST OF THE INSPECTION SERVICES.
- ALL STORM SEWER AND STRUCTURES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS; AS WELL AS ALL JOINTS MORTARED BEFORE FINAL INSPECTION AND APPROVAL.

GENERAL PROVISIONS FOR WATER SERVICES

- WATER MAINS SHALL NOT BE LESS THAN EIGHT (8") INCHES IN DIAMETER.
- HYDRANTS AND SHUTOFF VALVES SHALL BE INCLUDED SYSTEM DESIGN.
- NEW WATER MAIN SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN COMPLETE LOOPS.
- WATER MAINS SHALL BE LOCATED AT HIGH POINTS.
- MAXIMUM HYDRANT SPACING SHALL BE 300', UNLESS ORDERED OTHERWISE BY VILLAGE ENGINEER AND FIRE CHIEF.
- WATER MAINS MAY BE REQUIRED TO BE A MINIMUM OF TWELVE (12") INCHES WHEN THEY ARE LOCATED ALONG THE PERIMETER OF A DEVELOPMENT OR ARE WITHIN AN INDUSTRIAL OR COMMERCIAL DEVELOPMENT.
- WATER MAINS SHALL BE A MINIMUM OF TEN (10') FEET CLEAR FROM ANY SANITARY SEWERS OR SEWER SERVICES AND MEET ALL OTHER STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS REQUIREMENTS.
- ALL WATER MAIN SHALL BE BURIED A MINIMUM OF FIVE AND A HALF (5-1/2') FEET AND A MAXIMUM OF EIGHT (8') FEET BELOW GRADE.
- CONSTRUCTION OF WATER MAIN SHALL BE STAGED TO MAINTAIN SERVICE TO ALL ADJACENT PROPERTIES.
- ALL TEMPORARY SHUT-DOWNS CANNOT OCCUR WITHOUT WRITTEN PERMISSION FROM THE VILLAGE ENGINEER OR PUBLIC WORKS DIRECTOR AND SHALL BE OF SHORT DURATION.
- ALL WATER MAIN SHALL BE LOCATED IN PUBLIC RIGHT OF WAY OR DRAINAGE AND UTILITY EASEMENTS.
- CONSTRUCTION SHALL NOT BE LOCATED IN PRIVATE PROPERTY AND THE FULL RESPONSIBILITY OF THE PROPERTY OWNER. A VALVE SHALL BE INSTALLED TO SEPARATE PUBLIC AND PRIVATE OWNERSHIP.
- PRIVATE WATER MAINS SHALL HAVE A VALVE IN THE RIGHT OF WAY OR EASEMENT THAT ALLOWS THE VILLAGE TO SHUT OFF THE SERVICE SHOULD DAMAGE OCCUR TO THE WATER MAIN OR SERVICE. REPAIRS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL CHANGES IN DIRECTION SHALL BE RESTRAINED AND THRUST BLOCKED.

PERMIT REQUIREMENTS

- AN ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) PERMIT SHALL BE PREPARED, SUBMITTED FOR REVIEW TO THE VILLAGE ENGINEER AND APPROVED BY THE VILLAGE BOARD. THE FULL RESPONSIBILITY OF THE PERMIT AUTHORITIES AUTHORIZING THE CONSTRUCTION OF THE WATER MAINS IN THE VILLAGE BEFORE CONSTRUCTION BEGINS. A COPY OF EACH OF THE APPROVED PERMITS SHALL BE PROVIDED TO THE VILLAGE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

COORDINATION AND STAGING

- ALL WATER MAIN WORK BY THE CONTRACTOR SHALL BE APPROVED BY THE VILLAGE BOARD THEN COORDINATED WITH THE VILLAGE, COUNTY, STATE, RAILROAD AND OTHER AUTHORITIES HAVING JURISDICTION. OWNER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF IMPROVEMENTS FOR ONE (1) YEAR FOLLOWING ACCEPTANCE BY THE VILLAGE.
- WATERMAIN CONSTRUCTION COORDINATION SHALL BE DONE THROUGH THE PUBLIC WORKS DEPARTMENT. CONSTRUCTION SHALL BE STAGED TO SERVICE THE ADJACENT PROPERTIES. AN EROSION CONTROL PLAN SHALL BE SUBMITTED.
- ALL NEWLY CONSTRUCTED WATER MAINS THAT HAVE NOT YET BEEN ACCEPTED BY THE VILLAGE SHALL BE COORDINATED WITH AND APPROVED BY THE VILLAGE BOARD, COUNTY, STATE, RAILROAD AND OTHER AUTHORITIES HAVING JURISDICTION.
- UPON COMPLETION OF CONSTRUCTION, AS-BUILTS SHALL BE PREPARED, SUBMITTED AND APPROVED BY THE VILLAGE ENGINEER SHOWING THE EXACT LOCATION OF ALL SERVICES, WATER MAINS, VALVE VAULTS, SHUT-OFF VALVES AND SIMILAR FACILITIES. SEE VILLAGE RECORD DRAWING REQUIREMENT SECTION.

WATER MAIN MATERIAL AND FITTINGS

- WATER MAINS SHALL BE CONSTRUCTED OF BITUMINOUS COATED, CEMENT LINED DUCTILE IRON PIPE (DIP), CLASS 52 AND POLY-WRAPPED, EXCEPT WHERE UNSTABLE FOUNDATION CONDITIONS OR AGGRESSIVE SOIL CONDITIONS INDICATE TO THE VILLAGE ENGINEER THAT PIPE OF ANOTHER MATERIAL WOULD BE MORE SATISFACTORY.
- ALL DUCTILE IRON WATER MAIN AND FITTINGS SHALL BE POLYETHYLENE TUBE ENCASED.
- JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS.
- SHALL CONFORM TO ANSI A-21.51 (AWWA C-151) OR AWWA C-900 FOR EIGHT (8") INCH THROUGH TWELVE (12") INCH MAIN AND C-905 FOR FOURTEEN (14") THROUGH TWENTY-FOUR (24") MAIN WITH TRACER WIRE FOR ALL PVC WATER MAIN. TRACER WIRE SHALL BE ACCESSIBLE THROUGH VALVE BOXES OR VALVE VAULTS. PVC WATER MAIN SHALL BE POLY-WRAPPED. ALL PVC WATER MAIN SHALL BE APPROVED BY THE VILLAGE PRIOR TO INSTALLATION.
- CEMENT MORTAR LINING SHALL CONFORM TO ANSI A-21.4 (AWWA C-104).
- WATER MAINS LOCATED IN INDUSTRIAL AND COMMERCIAL DEVELOPMENTS SHALL INCLUDE SHUT-OFF VALVES AND FIRE HYDRANTS.
- MEG A LUG SERIES 1100 OR APPROVED EQUAL SHALL BE USED TO RESTRAIN ALL MECHANICAL JOINT FITTINGS, VALVES, HYDRANTS, ETC.
- ALL PIPE SHALL BE FURNISHED WITH A DEPTH MARK TO ASSURE THAT THE SPIGOT END IS INSERTED TO THE FULL DEPTH OF THE JOINT.

WATER SERVICES

- INDIVIDUAL SERVICES SHALL BE CONNECTED TO THE MAINLINE AND SERVE EACH ADJOINING LOT, TRACT OR BUILDING SITE.
- EACH SERVICE SHALL EXTEND FROM THE MAIN TO A POINT AT LEAST EIGHT (8') FEET BEYOND THE OUTSIDE CURB LINE. CONNECTION SHALL BE A ONE-FOOT (1") CLAMP WITH A FULL CIRCLE C-CLAMP CLOSURE (I.E. POWER SEAL CLAMP).
- WATER SERVICES SHALL BE A MINIMUM OF ONE (1") INCH, TYPE K COPPER WITH NO COUPLINGS AND TERMINATED AT A SHUT-OFF VALVE AND B-BOX FOR EACH SINGLE FAMILY RESIDENCE.
- WATER SERVICES LARGER THAN TWO (2") INCHES SHALL BE CONSTRUCTED OF CEMENT LINED DUCTILE IRON PIPE, CLASS 52, UNLESS APPROVED BY THE VILLAGE ENGINEER AND AGREED TO BE PRIVATE.
- ALL WATER SERVICES SHALL BE OF THE SIZE AND MATERIALS SPECIFIED BY THE VILLAGE ENGINEER AND SIZED BASED ON THE PLUMBING REQUIREMENTS AND FIXTURE NEEDS.
- ALL SERVICE TAPS SHALL BE SUPPORTED BY A SADDLE. SERVICE TAPS OVER 1" SHALL BE EPOXY-COATED AND SUPPORTED BY STAINLESS STEEL STRAPS. THE USE OF A C-CLAMP IS ALSO ACCEPTABLE.
- SERVICES LARGER THAN TWO (2") INCHES SHALL BE MADE WITH A STAINLESS STEEL TAPPING TEE (SPLIT TEE) WITH EPOXY-COATED, STAINLESS STEEL BANDS (1-1/2" OR 2") TO CONNECT TO VILLAGE WATER MAIN OR AS APPROVED BY THE VILLAGE ENGINEER. SHUT OFF VALVE SHALL BE NO FURTHER THAN TWO (2") FEET FROM THE MAIN. THESE SHALL ENTER THE BUILDING WITH A RISER SPOOL AND PIECE AND THREADED ROD.
- B-BOXES SHALL NOT BE LOCATED IN SIDEWALKS OR DRIVEWAYS OR BURIED UNDERGROUND, TO BE LOCATED 18" IN FRONT OF SIDEWALK. IF SIDEWALK DOESN'T EXIST, IT SHALL BE 7-1/2" FROM THE FRONT LOT LINE.
- A PRECAST BASE SHALL BE PROVIDED TO INSURE STABILITY.
- SERVICES SHALL NOT BE BACKFILLED UNTIL INSPECTED BY THE VILLAGE.
- AS-BUILTS SHALL BE PREPARED AND SUBMITTED TO THE VILLAGE ENGINEER SHOWING THE EXACT LOCATION OF ALL SERVICES, WATER MAINS, MANHOLE, SHUT-OFF VALVES AND SIMILAR FACILITIES. SEE VILLAGE RECORD DRAWING REQUIREMENT SECTION.
- AT ALL RE-DEVELOPMENT LOCATIONS, ALL UNDERSIZED WATER SERVICES AND LEAD SERVICES MUST BE ABANDONED AT THE MAIN AND REPLACED BACK TO THE WATER METER. LEAD SERVICES AND CONTAMINATED

- SOILS SHALL BE REMOVED AND SHIPPED TO AN APPROPRIATE LANDFILL FOR DISPOSAL.
- WATER SERVICES ARE THE PROPERTY OWNER'S RESPONSIBILITY FROM THE FACILITY TO THE B-BOX OR SERVICE VALVE.
- SERVICE COUPLINGS WILL ONLY BE PERMITTED IF THE SERVICE LINE EXCEEDS ONE HUNDRED (100') FEET FOR A ONE (1") INCH LINE OR SIXTY (60') FEET FOR A ONE AND A HALF (1-1/2") INCH OR TWO (2") LINE. NO COUPLINGS SHALL BE PERMITTED UNDER ANY PAVED SURFACE, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVEWAY APRONS AND ROADWAYS.
- DOMESTIC WATER SERVICES THAT ARE TAPPED OFF A FIRE SERVICE LINE REQUIRE THE MAIN TO BE SIZED LARGE ENOUGH TO SATISFY THE DEMAND FOR FIRE AND DOMESTIC WATER FLOWS WITH A SEPARATE SHUT OFF FOR THE DOMESTIC WATER.

FIRE HYDRANTS

- HYDRANTS SHALL BE EAST JORDAN IRON WORKS WATERMASTER® 5BR250.
- HYDRANT SYSTEM SHALL INCLUDE A RESILIENT SEATED GATE VALVE AND TESTED TO 300 PSI.
- HYDRANTS SHALL HAVE A SIX (6") INCH BARREL ALONG WITH TWO (2), TWO AND ONE-HALF (2-1/2") INCH HOSE CONNECTIONS AND ONE, FOUR AND ONE-HALF (4-1/2") INCH PUMPER NOZZLE.
- HYDRANT SHALL CONNECT TO MAIN WITH SIX (6") INCH VALVE AND INCLUDE A VALVE BOX STABILIZER.
- HYDRANTS SHALL BE INSTALLED AT INTERVALS OF THREE HUNDRED (300') FEET. ALL SPACING SHALL BE APPROVED BY THE VILLAGE ENGINEER AND VILLAGE FIRE PREVENTION.
- HYDRANTS SHALL BE LOCATED A MINIMUM OF THREE (3') FROM THE BACK OF CURB, TWO (2') FROM THE EDGE OF A BIKE PATH OR SIDEWALK AND FIVE (5') FROM A DRIVEWAY.
- HYDRANT SHALL BE CONSTRUCTED FACING TOWARD THE CURB OVER A WASHED GRAVEL BASE OF 3/4" STONE AND COVERED BY A MEMBRANE.
- HYDRANT SHALL HAVE A SIX (6") FOOT BURY AND THE CENTER OF THE PUMPER NOZZLE A MINIMUM OF TWO (2') FEET ABOVE FINISHED GRADE.
- HYDRANT SHALL HAVE A BREAKAWAY FLANGE AND CONNECTIONS. HYDRANT BREAKAWAY SHALL BE SIX (6") INCHES ABOVE FINISHED GRADE.
- HYDRANTS SHALL BE PAINTED YELLOW.
- FOUR (4) MEG A LUG RESTRAINTS SHALL BE PROVIDED AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND HYDRANT BARREL. ANY HYDRANT REPAIRS OR REPLACEMENT REQUIRE REPLACEMENT OF ALL THE BONNET BOLTS AND PACKING BOLTS. REPLACEMENT BOLTS SHALL BE STAINLESS STEEL.
- NO WATER SHALL FLOW FROM A VILLAGE HYDRANT UNLESS A PUBLIC WORKS OR AUTHORIZED VILLAGE REPRESENTATIVE IS PRESENT. MAINTENANCE IS PROPERTY OWNER'S RESPONSIBILITY.

VALVES

- SHUT-OFF VALVES SHALL BE PROVIDED AT EACH BRANCH MAIN CONNECTION AND ELSEWHERE AS REQUIRED TO PERMIT ADEQUATE SECTIONALIZING FOR MAINTENANCE PURPOSES.
- GATE VALVES SHALL BE USED ON WATER MAIN 12" AND SMALLER. VALVES SHALL OPEN TURNING COUNTER-CLOCKWISE. LOCATED A MAXIMUM OF EIGHT HUNDRED (800') FEET APART.
- BUTTERFLY VALVES SHALL BE USED FOR WATER MAIN 16" AND LARGER. EXCEPT TAPPING VALVES. EACH BUTTERFLY VALVE SHALL BE FURNISHED WITH A MANUAL OPERATOR WITH A TWO (2") INCH SQUARE OPERATING NUT. THE OPERATOR SHALL OPEN THE VALVE COUNTER-CLOCKWISE.
- VALVES SHALL BE INSTALLED ON RESILIENT WEDGE GATE VALVES WITH BRONZE MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509 AND TESTED TO 300 PSI.
- VALVES SHALL HAVE MECHANICAL JOINTS.
- VALVES SHALL BE CLOW, MUELLER OR EAST JORDAN IRON WORKS (EJIW).
- VALVES SHALL NOT BE LOCATED IN DRIVEWAYS OR SIDEWALKS.
- VALVE SHALL ALIGN WITH CENTER OF FRAME OPENING.
- ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.
- NO VALVES SHALL BE TURNED UNLESS A PUBLIC WORKS OR AUTHORIZED VILLAGE REPRESENTATIVE IS PRESENT.

VALVE VAULTS

- ALL SHUT OFF VALVES ARE REQUIRED TO BE IN A VAULT, UNLESS APPROVED BY THE VILLAGE ENGINEER.
- VALVE VAULT SHALL BE A MINIMUM OF FIVE (5') FOOT DIAMETER PRECAST, REINFORCED CONCRETE. FIVE (5') FOOT DIAMETER VAULTS FOR TEN (10") INCH MAIN AND UNDER; SIX (6") FOOT DIAMETER VAULT FOR TWELVE (12") MAINS AND LARGER MEETING ASTM C-478 SPECIFICATIONS.
- ALL HOLES AND JOINTS SHALL BE TUCK-POINTED.
- THE OPERATING NUTS OF THE VALVE SHALL BE ACCESSIBLE THROUGH THE FRAME AND LID.
- STEEL REINFORCED PLASTIC STEPS SHALL BE PROVIDED AND BE SIXTEEN (16") INCHES ON CENTER.
- SHALL SIT ON A MINIMUM OF FOUR (4") INCHES OF COMPACTED GRAVEL
- PIPE OPENING SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT PIPE SLEEVES.
- PICK HOLES SHALL NOT CREATE OPENINGS THROUGH THE VAULT COVER.

FRAME AND LIDS

- FRAMES SHALL BE HEAVY DUTY - EAST JORDAN IRON WORKS (EJIW) 1020A
- LIDS SHALL BE TYPE A WITH CLOSED PICK HOLES
- WATER AND VILLAGE OF TINLEY PARK SHALL BE CAST ON THE LID
- FRAMES SHALL BE SET ON A MASTIC MATERIAL TO PREVENT INFLOW AS WELL.

PRESSURE TAPS

- CONNECTIONS TO ALL VILLAGE WATER MAINS SHALL BE PRESSURE CONNECTIONS UNLESS OTHERWISE APPROVED BY THE VILLAGE ENGINEER.
- ANY CUTTING-IN-SLEEVES SHALL BE COORDINATED WITH PUBLIC WORKS DEPARTMENT.
- PRESSURE TAP MATERIALS SHALL BE DUCTILE IRON WITH STAINLESS STEEL TAPPING SLEEVES AND STAINLESS STEEL BOLTS.
- ALL NEW MATERIALS AND EXPOSED PIPE SHALL BE DISINFECTED PRIOR TO CONNECTION.
- CUT-IN SLEEVES SHALL BE ROMAC OR APPROVED EQUAL.

INSPECTION, TESTING AND APPROVAL

- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE PUBLIC WORKS AND/OR BUILDING DEPARTMENT TO DISCUSS THE FOLLOWING:
 - PROJECT CONTACTS
 - START AND COMPLETION DATES
 - PROJECT TIMELINE (I.E. VILLAGE HOLIDAYS)
 - REQUIRED ACCESS FOR LOCAL RESIDENTS, SCHOOL BUSES, GARBAGE TRUCKS, ETC...
 - POTENTIAL DETOUR ROUTES
 - MATERIAL STORAGE LOCATIONS
 - TRAFFIC CONTROL AND PROTECTION
 - FULL TIME INSPECTION SHALL BE REQUIRED BY THE VILLAGE/CONSULTANTS WHILE THE WATER SYSTEM AND SERVICES ARE BEING CONSTRUCTED. FOR NEW DEVELOPMENTS, IT IS THE DEVELOPER'S RESPONSIBILITY TO COVER THE COST OF THE INSPECTION SERVICES.
 - ALL WATER MAIN SHALL BE PRESSURE TESTED AS PER STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION AND THOROUGHLY DISINFECTED AS PER AWWA STANDARD C851-92.
 - ALL NEW WATER MAIN SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST OF NO LESS THAN ONE-HUNDRED AND FIFTY (150 POUNDS PER SQUARE INCH (PSI) FOR A PERIOD OF TWO (2) HOURS WITH NO LOSS. THE VILLAGE HAS THE RIGHT TO EXTEND THE DURATION OF THE TEST UP TO SIX (6) HOURS.
 - WATER SAMPLES AND PRESSURE TESTING SHALL BE COORDINATED AND OBSERVED BY VILLAGE REPRESENTATIVE OR LICENSED VILLAGE WATER OPERATOR. AFTER THREE (3) FAILED TESTS, A SITE COORDINATION MEETING MAY BE NECESSARY.
 - THE NEWLY INSTALLED WATER MAIN SYSTEM SHALL BE TESTED BY A CERTIFIED IEPA LABORATORY. SAMPLES SHALL BE COLLECTED BY A REPRESENTATIVE HIRED BY THE CONTRACTOR. THE TESTING SHALL ENSURE THE MAINS ARE NOT BACTERIOLOGICALLY CONTAMINATED. TWO (2) CONSECUTIVE TESTS WHERE SAMPLES ARE COLLECTED TWENTY-FOUR (24) HOURS APART SHALL PASS THE LABORATORY TESTS. THE VILLAGE HAS THE RIGHT TO COLLECT A SAMPLE AS WELL AND HAVE IT TESTED TO ENSURE THE SAMPLES SUBMITTED TO THE LABORATORY ARE FROM THE SAME LOCATION. THIS TESTING PROCEDURE SHALL BE PAID FOR BY THE CONTRACTOR.
 - FLUSHING OF THE MAINS PRIOR TO SAMPLING AND PRESSURE TESTS SHALL BE COORDINATED WITH PUBLIC WORKS DEPARTMENT A MINIMUM OF FORTY-EIGHT (48) HOURS IN ADVANCE TO REMOVE CONTAMINATED MATERIALS AND SOLIDS THAT MAY HAVE OCCURRED DURING CONSTRUCTION.
 - CAUTIONS SHALL BE FOLLOWED TO ENSURE TESTING MATERIALS AND NON-APPROVED WATER DO NOT FLOW INTO ACTIVE MAINS.
 - ALL VALVE VAULTS SHALL BE SEALED AND TUCK-POINTED TO THE SATISFACTION OF THE VILLAGE SO INFILTRATION CANNOT AND WILL NOT OCCUR AND MAY BE SUBJECT TO A VACUUM TEST AT THE CONTRACTOR'S EXPENSE.
- CHLORINATION STANDARDS**
- ALL CONTRACTORS DISINFECTING WATER SYSTEM COMPONENTS USING GAS CHLORINE SHALL ABIDE WITH THE FOLLOWING REQUIREMENTS:
- PROCEDURE
1. MINIMUM OF TWENTY-FOUR (24) HOUR NOTICE BEFORE CHLORINATING. CALL 708-444-5500 TO SCHEDULE CHLORINATION.
 2. ONLY AUTHORIZED VILLAGE EMPLOYEES SHALL OPERATE WATER SYSTEM VALVES AND TURN ON/OFF SAMPLING WHIPS WHILE SAMPLES ARE BEING COLLECTED.
- Ø EQUIPMENT
1. ALL CHLORINATION AND SAFETY EQUIPMENT MUST MEET OR EXCEED THE STANDARDS AND RECOMMENDATIONS SET BY THE CHLORINE INSTITUTE, INC.
 - Ø REQUIREMENT FOR CHLORINATING CONTRACTORS
 1. CHLORINATOR MUST BE A LICENSED PLUMBER OR CERTIFIED ILLINOIS WATER OPERATOR WITH A MINIMUM OF FIVE (5) YEARS OF EXPERIENCE AND A MINIMUM OF FIVE (5) YEARS OF EXPERIENCE WORKING WITH CHLORINE DISINFECTION OF WATER SUPPLY SYSTEMS.
 2. CHLORINATION CONTRACTOR MUST BE BONDED AND INSURED, AND HAVE PROOF OF BOTH ON FILE WITH THE VILLAGE.
 3. CHLORINATION CONTRACTOR MUST HAVE UPDATED EMERGENCY PHONE NUMBERS ON FILE WITH THE VILLAGE.
 4. CHLORINATION CONTRACTOR MUST COMPLY WITH STATE AND FEDERAL REGULATIONS REGARDING TRANSPORTATION AND HANDLING OF CHLORINE CYLINDERS.
 - A. SHIPPING AND EMERGENCY PAPERS FOR EVERY JOG LOCATION
 - B. PROOF OF INSURANCE FOR HAULING AND HANDLING CHLORINE GAS
 - C. COMMERCIAL DRIVER'S LICENSE WITH HAZMAT ENDORSEMENT AND MEDICAL

- CARD
- D. COPY OF EMERGENCY RESPONSE GUIDEBOOK IN VEHICLE
- E. HAZMAT CERTIFICATE OF REGISTRATION
- F. HAZARDOUS MATERIAL PLACARDS DISPLAYED ON VEHICLE

- UNDER NO CIRCUMSTANCES SHALL CHLORINE CONTRACTORS BE ALLOWED TO APPLY HEAT TO THE CHLORINE CYLINDER (I.E. HOT BATHS, PROPANE TORCHES, ETC.) WHILE THE CYLINDER IS BEING USED IT MUST BE IN A VERTICAL POSITION, AS WELL AS BEING AFFIXED TO A SOLID OBJECT.
- PRIOR TO WORK, THE CHLORINATOR MUST PROVIDE A DETAILED WRITTEN CHLORINATION AND FLUSHING PLAN TO THE VILLAGE FOR REVIEW AND APPROVAL.
- AT ANY TIME, THE VILLAGE, OR ITS AUTHORIZED REPRESENTATIVE, MAY ASK FOR PROOF OF ANY OR ALL OF THE ABOVE INFORMATION. IF YOU HAVE ANY QUESTIONS PLEASE FEEL FREE TO CONTACT THE VILLAGE OF TINLEY PARK PUBLIC WORKS DEPARTMENT.

GENERAL PROVISIONS FOR SANITARY SEWERS

COORDINATION AND STAGING

- ALL SANITARY SEWER AND LIFT STATION WORK BY THE CONTRACTOR MUST BE APPROVED BY THE VILLAGE BOARD THEN COORDINATED WITH THE VILLAGE, COUNTY, STATE, MWRD AND OTHER AUTHORITIES HAVING JURISDICTION. OWNER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF IMPROVEMENTS FOR ONE (1) YEAR FOLLOWING ACCEPTANCE BY THE VILLAGE.
- SANITARY SEWER COORDINATION SHALL BE DONE THROUGH THE PUBLIC WORKS DEPARTMENT. CONSTRUCTION SHALL BE STAGED TO SERVICE ADJACENT PROPERTIES. TEMPORARY BYPASS PUMPING SHALL BE OF SHORT DURATION WITH A MINIMUM OF FORTY-EIGHT (48) HOUR NOTICE TO THE VILLAGE ENGINEER OR PUBLIC WORKS DEPARTMENT SO THE RESIDENTS AFFECTED BY THIS PROCESS CAN BE NOTIFIED AND ABLE TO ARRANGE THEIR SCHEDULES ACCORDINGLY. AN EROSION CONTROL PLAN SHALL BE SUBMITTED.
- ALL NEWLY CONSTRUCTED SANITARY SEWERS THAT HAVE NOT YET BEEN ACCEPTED BY THE VILLAGE SHALL BE PLUGGED AT THE END OF EACH WORKING DAY AND KEPT CLEAN.

SANITARY SEWER MATERIAL AND FITTINGS

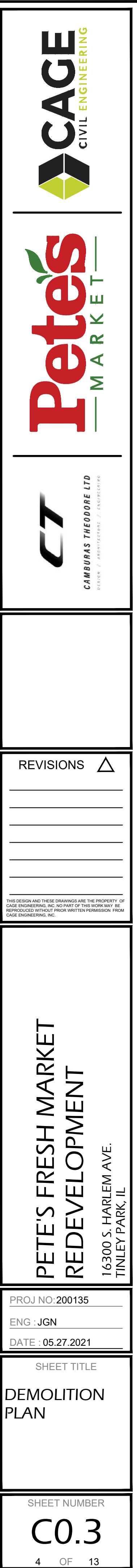
- SANITARY SEWER SHALL BE CONSTRUCTED OF PVC PLASTIC PIPE WITH TRACER WIRE CONFORMING TO:
 - RIM TO INVERT UP TO TWENTY (20') FEET
 - PIPE CONFORMING TO ASTM D-3034 (SDR 26)
 - ELASTOMERIC SEALS CONFORMING TO ASTM D-3212
 - RIM TO INVERT GREATER THAN TWENTY (20') FEET
 - PIPE CONFORMING TO ASTM D-2241 (SDR 21)
 - ELASTOMERIC SEALS CONFORMING TO ASTM D-3139
- FITTINGS SHALL BE PVC SDR 26 HEAVY WALL OR C-905 AS APPLICABLE
- ALSO ACCEPTABLE ARE C-900 (DR 18) FOR 12" PIPE AND C-905 (DR 25) FOR 15"-18" SEWERS
- FORCE MAIN SHALL BE CONSTRUCTED OF PVC PLASTIC PIPE CONFORMING TO DR-18 AWWA C-900 WITH JOINTS CONFORMING TO ASTM D-3139
- A MINIMUM OF 150 PSI PRESSURE CLASS SHALL BE PROVIDED FOR THE FITTINGS.

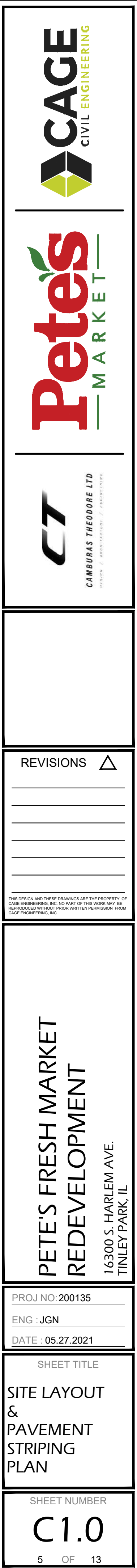
SEWER SERVICES

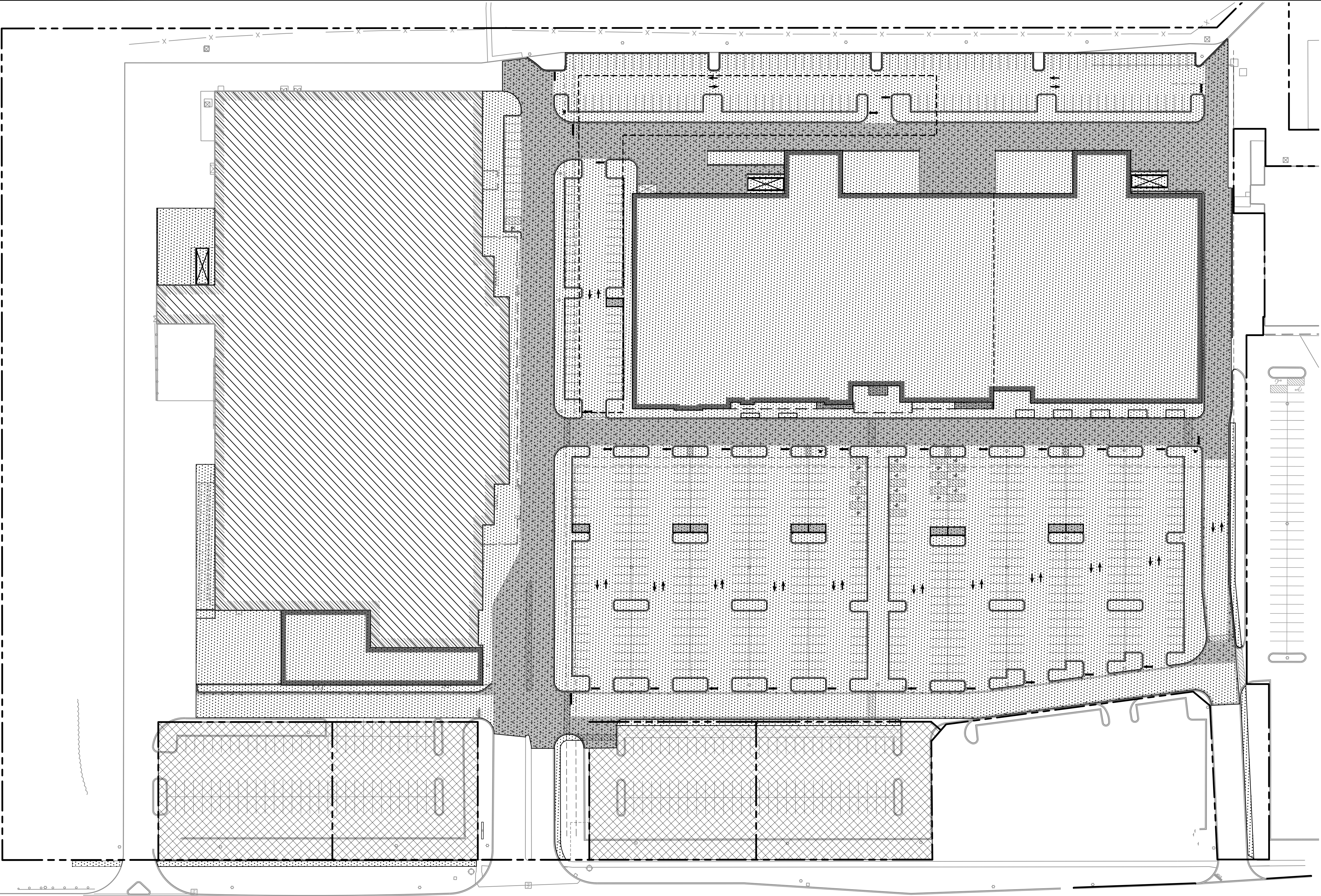
- SERVICE STUBS SHALL BE INSTALLED TO SERVE ALL PROPERTIES IN A SUBDIVISION OR DEVELOPMENT.
- SERVICES SHALL BE LOCATED AT THE CENTER LINE OF EACH LOT AND SHALL EXTEND TO WITHIN ONE (1') FOOT OF THE FRONT LOT LINE AND CONNECT TO MAIN WITH NO SHEAR COUPLINGS.
- ALL SERVICE LATERALS SHALL BE INSTALLED TO A POINT EIGHT (8') FEET BEYOND THE OUTSIDE BACK OF CURB, PLUGGED AND IDENTIFIED BY A TWO BY FOUR (2"x4") PLACED AT THE PLUG, PAINTED GREEN.
- SERVICE STUBS SHALL BE A MINIMUM OF SIX (6") INCHES (PVC SDR-26) AND LOCATED BY DIMENSIONS PROVIDED FROM THE NEAREST DOWNSTREAM MANHOLE ON THE AS-BUILT DRAWINGS.
- SERVICES LARGER THAN SIX (6") INCHES, MATERIALS SHALL BE IN ACCORDANCE WITH ASTM STANDARDS LISTED UNDER MATERIALS AND FITTING SECTIONS ABOVE.
- SEWER SERVICES ARE CONSIDERED PRIVATE FROM THE SEWER MAIN TO THE BUILDING/STRUCTURE.
- INDIVIDUAL SERVICES MUST BE CONSTRUCTED WITH THE MOST CURRENT VILLAGE ORDINANCES AND STANDARD DETAILS.
- CLAY TILE SEWER SERVICES SHALL BE REPLACED WITH PVC SDR-26 PIPE AND ABANDONED AT THE MAIN OR STRUCTURALLY LINED WITH A PRODUCT APPROVED BY THE PUBLIC WORKS DEPARTMENT. PRE AND POST LINE TELEVISION IS REQUIRED.
- NEW RESIDENTIAL SEWER SERVICES REQUIRE A CLEAN-OUT TO BE INSTALLED WITHIN FIVE (5') FEET OF THE FOUNDATION AND SHALL BE CONSTRUCTED WITH PVC SDR-26.

MANHOLES

- MANHOLES ARE REQUIRED WHERE THERE ANY CHANGE OF DIRECTION EXISTS OR A CONNECTION OF TWO (2) OR MORE SEWERS.
- MANHOLES SHALL BE A MINIMUM OF FOUR (4") DIAMETER, PRECAST CONCRETE SECTIONS CONFORMING TO STM C-478 WITH A CONTINUOUS LAYER OF NON-HARDENING, PREFORMED BITUMINOUS MASTIC MATERIAL OR O-RING GASKET PLACED AT EACH JOINT TO PREVENT INFLOW.
- MEMBRANES SHALL BE PROVIDED ON THE SEAMS AND THE ECCENTRIC CONE SHALL LINE UP WITH THE STEEL REINFORCED PLASTIC STEPS.
- MANHOLE STEPS SHALL BE SIXTEEN (16") INCHES ON CENTER AND SECURELY ANCHORED IN PLACE. STEPS SHALL BE COPOLYMER POLYPROPYLENE REINFORCED WITH ½" GRADE 60 STEEL REINFORCEMENT MEETING OSHA STANDARDS.
- ALL MANHOLES SHALL HAVE AN EXTERNAL CHIMNEY SEAL.
- ALL MANHOLES SHALL HAVE A MAXIMUM OF TWELVE (12") INCHES OF ADJUSTING RINGS.
- WATERTIGHT FLEXIBLE CONNECTORS SHALL CONFORM TO ASTM C-443 AND C-923 WITH STAINLESS STEEL BANDS WHICH SHALL BE

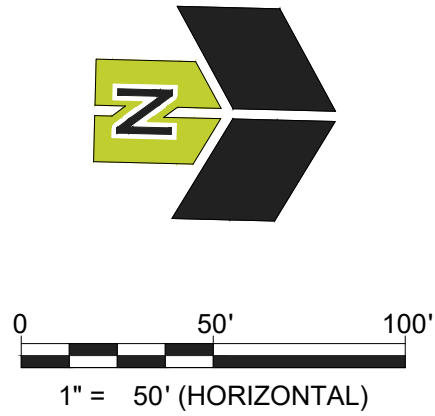




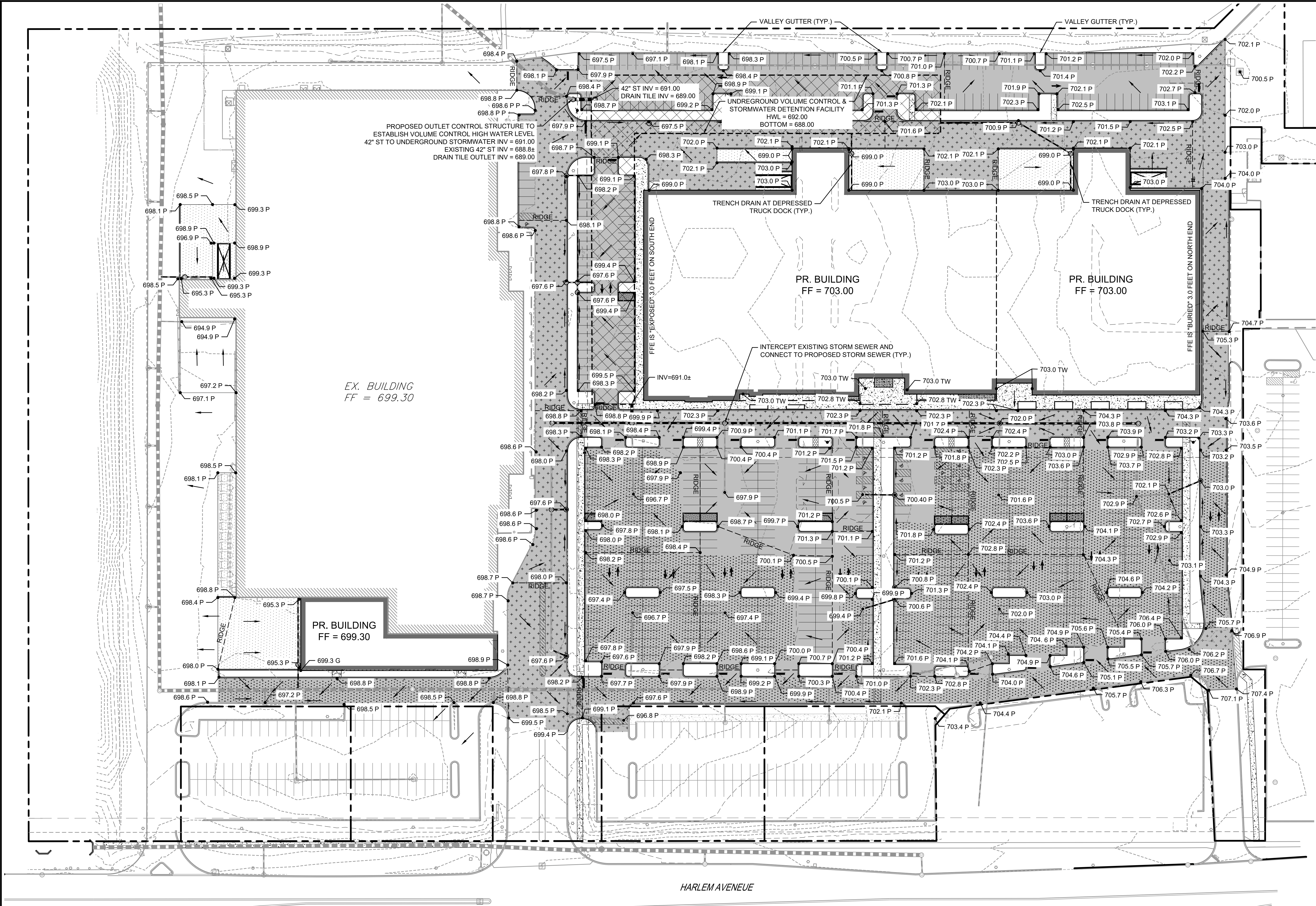


PHASING LEGEND

	PHASE 1 IMPROVEMENTS
	PHASE 2 IMPROVEMENTS
	PHASE 3 IMPROVEMENTS



				<p>PETE'S FRESH MARKET REDEVELOPMENT 16300 S. HARLEM AVE. TINLEY PARK, IL</p>	PROJ NO: 200135
					ENG : JGN
					DATE : 05 27 2021
					SHEET TITLE
					<p>PHASING PLAN</p>
					SHEET NUMBER
					<p>C1.1</p>
					6 OF 13



STORMWATER MANAGEMENT SUMMARY

EXISTING DETENTION (SPO PERMIT NO. 91-298)
EXISTING DETENTION SERVICE AREA (SPO PERMIT NO. 91-298) = 52.4 ACRES
RELEASE RATE = 9.1 CFS (0.174 CFS/AC)
EXISTING RUNOFF COEFFICIENT = 0.79
REQUIRED DETENTION VOLUME = 10.8 AC-FT
PROVIDED DETENTION VOLUME AT HWL = 12.9 AC-FT

PROPOSED REDEVELOPMENT DETENTION
REDEVELOPMENT AREA = 12.9 ACRES
WATERSHED SPECIFIC RELEASE RATE = 0.25 CFS/AC
SITE SPECIFIC RELEASE RATE = 0.174 CFS/AC
EXISTING REQUIRED DETENTION FOR REDEVELOPMENT = 2.64 AC-FT
PROPOSED RUNOFF COEFFICIENT = 0.86 (90% IMPERVIOUS)
PROPOSED REQUIRED DETENTION VOLUME FOR REDEVELOPMENT = 4.91 AC-FT
INCREMENTAL DETENTION VOLUME = 2.27 AC-FT
NEW REQUIRED DETENTION VOLUME (10.8 AC-FT + 2.27 AC-FT) = 13.07 AC-FT
ADDITIONAL DETENTION VOLUME TO BE CONSTRUCTED = 0.17 AC-FT

PROPOSED REDEVELOPMENT VOLUME CONTROL
REDEVELOPMENT AREA = 12.9 ACRES
PROPOSED IMPERVIOUS AREA (90% ASSUMED) = 11.6 ACRES
REQUIRED VOLUME CONTROL STORAGE = 0.97 AC-FT

PROPOSED UNDERGROUND STORMWATER MANAGEMENT FACILITY
NOMINAL AREA = 0.5 ACRES (22,000 SF)
PROPOSED CROWN = 692.00 FEET
OUTLET INVERT = 691.00 FEET
UNDER DRAIN INVERT = 689.00 FEET
PROPOSED INVERT = 688.00 FEET

VAULT STORAGE (BELOW OUTLET INVERT) = 2.0 FEET X 1.00 X 0.50 X 0.5 AC = 0.5 AC-FT
VAULT STORAGE (BELOW U.D. INVERT) = 1.0 FEET X 1.00 X 0.5 AC = 0.5 AC-FT
TOTAL VOLUME DETENTION STORAGE PROVIDED = 1.0 AC-FT
TOTAL DETENTION VOLUME STORAGE PROVIDED = 1.0 AC-FT



0 164.042 328.084
1" = 50' (HORIZONTAL)



REVISIONS

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PETE'S FRESH MARKET
REDEVELOPMENT
16300 S. HARLEM AVE.
TINLEY PARK, IL

PROJ NO: 200135

ENG: JGN

DATE: 05.27.2021

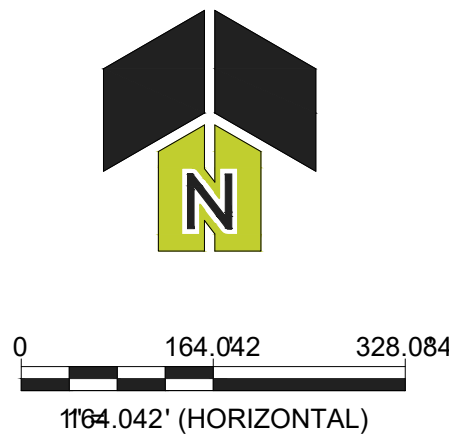
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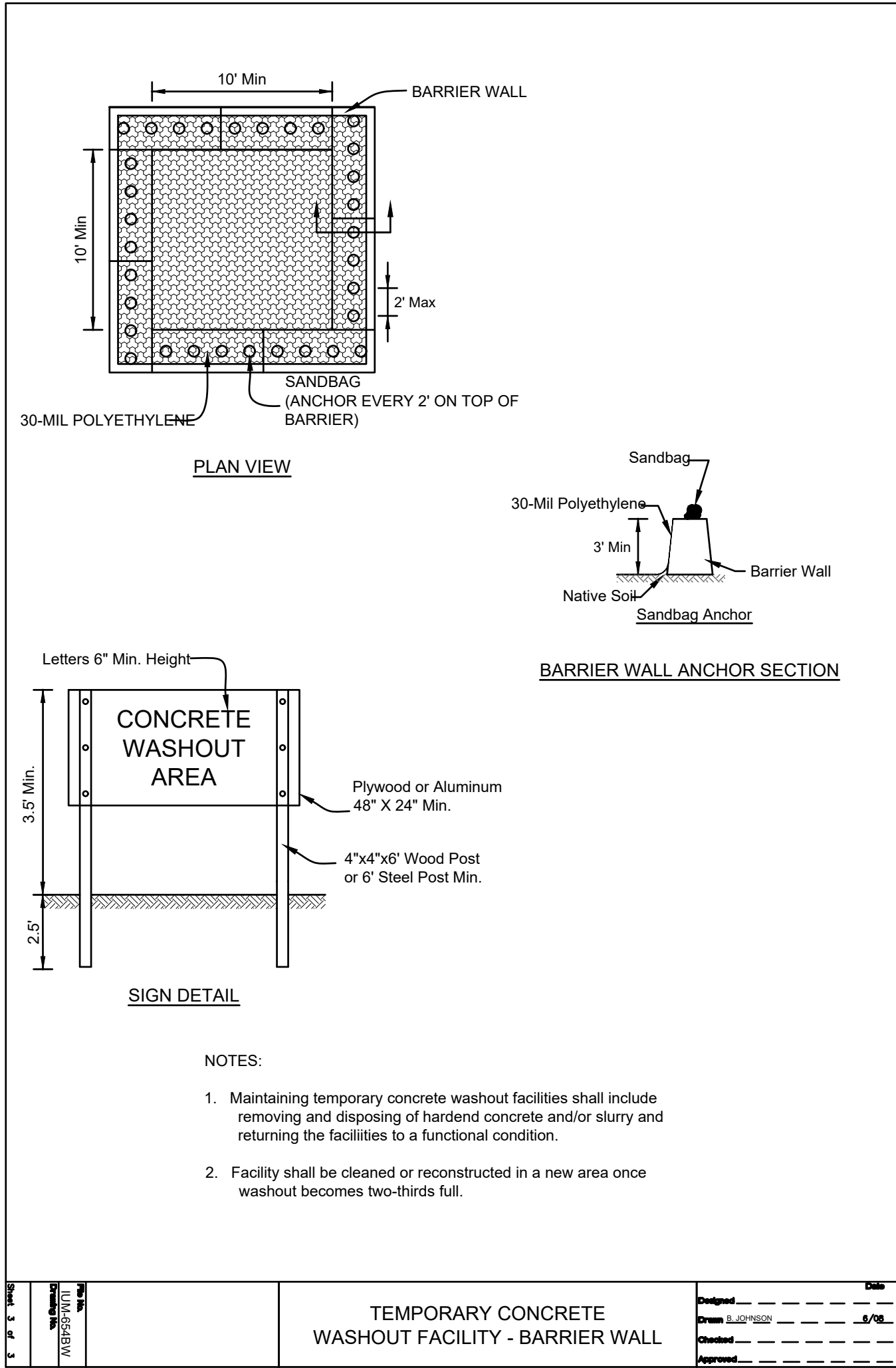
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PLAN

SHEET NUMBER

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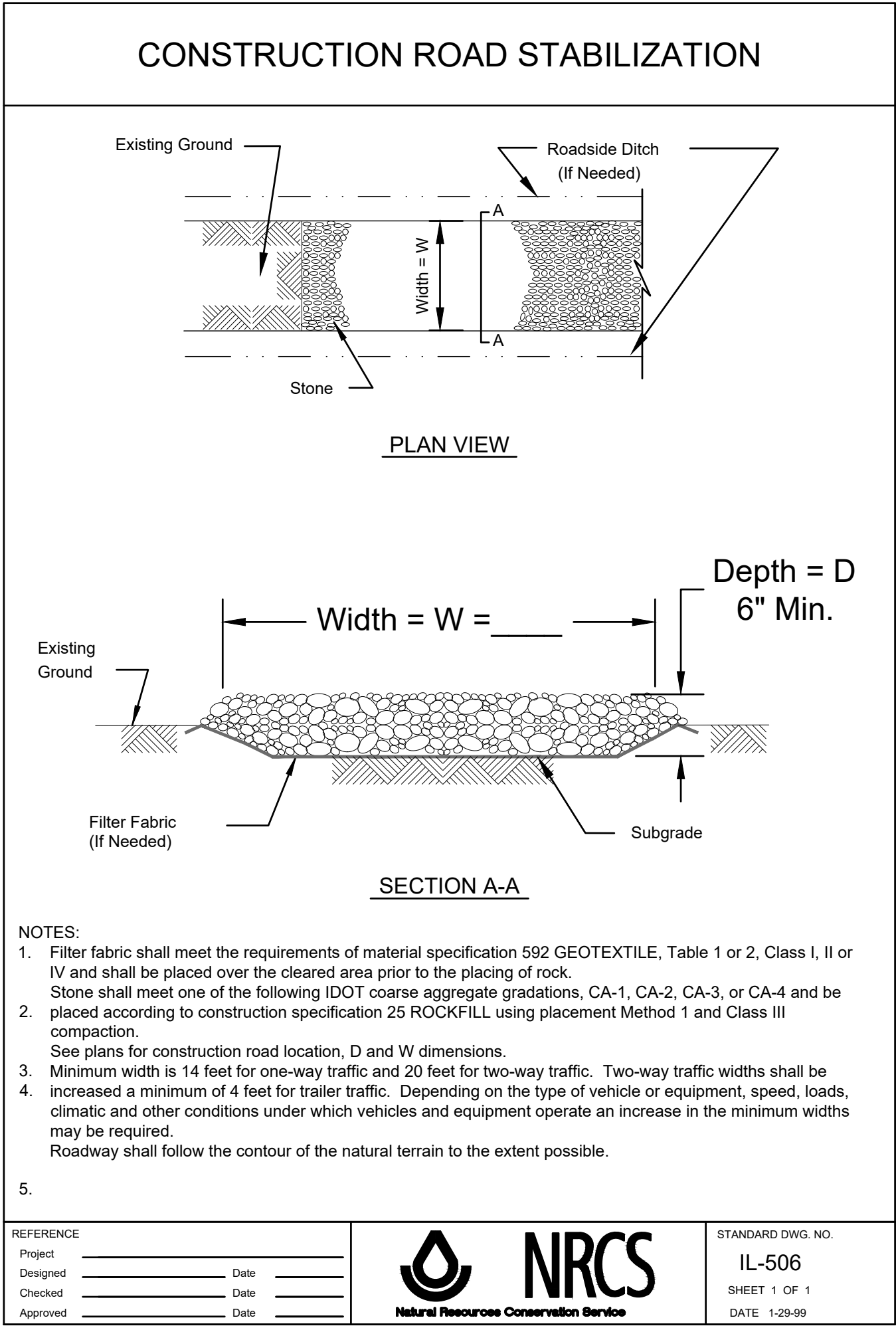
6 OF 13





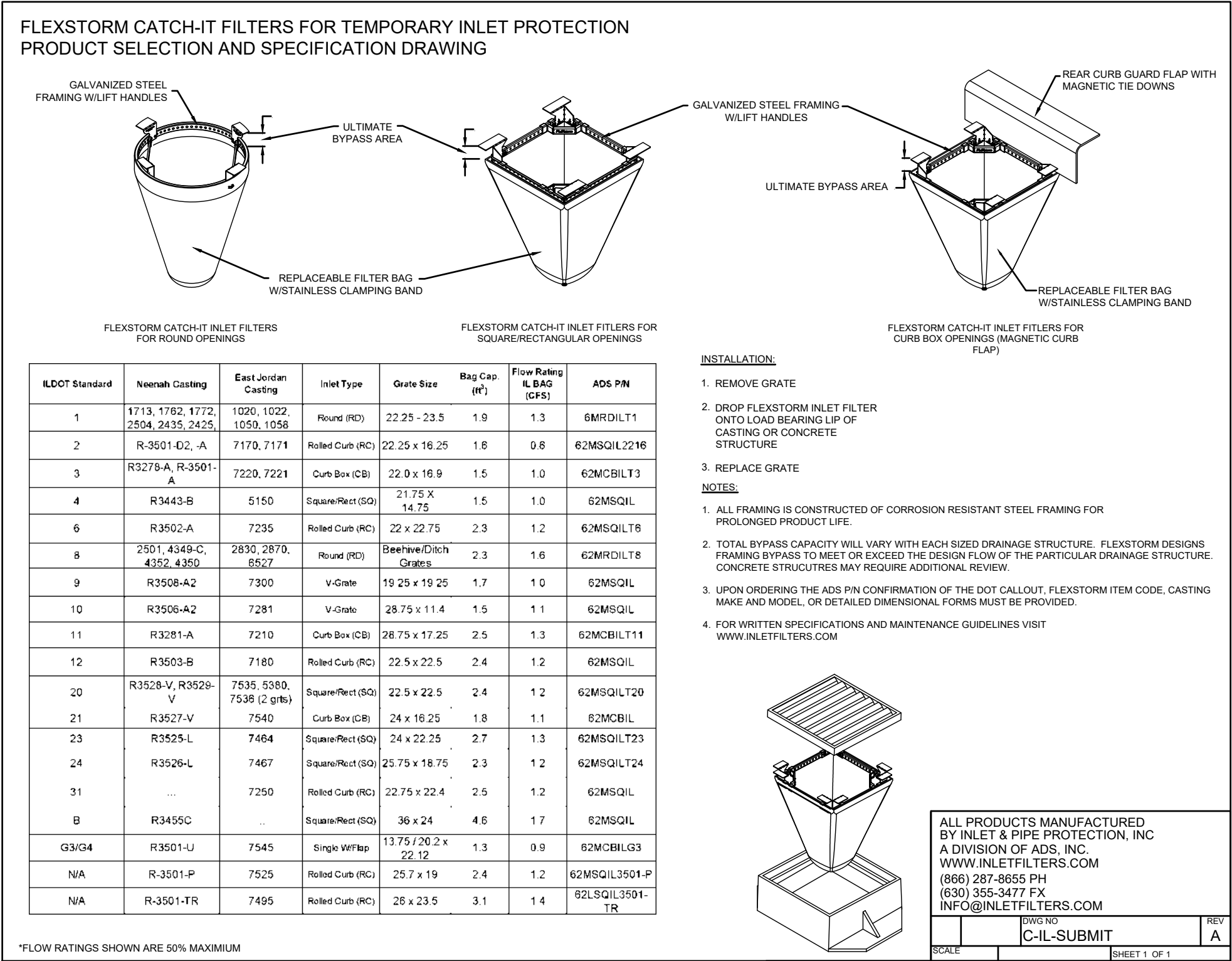
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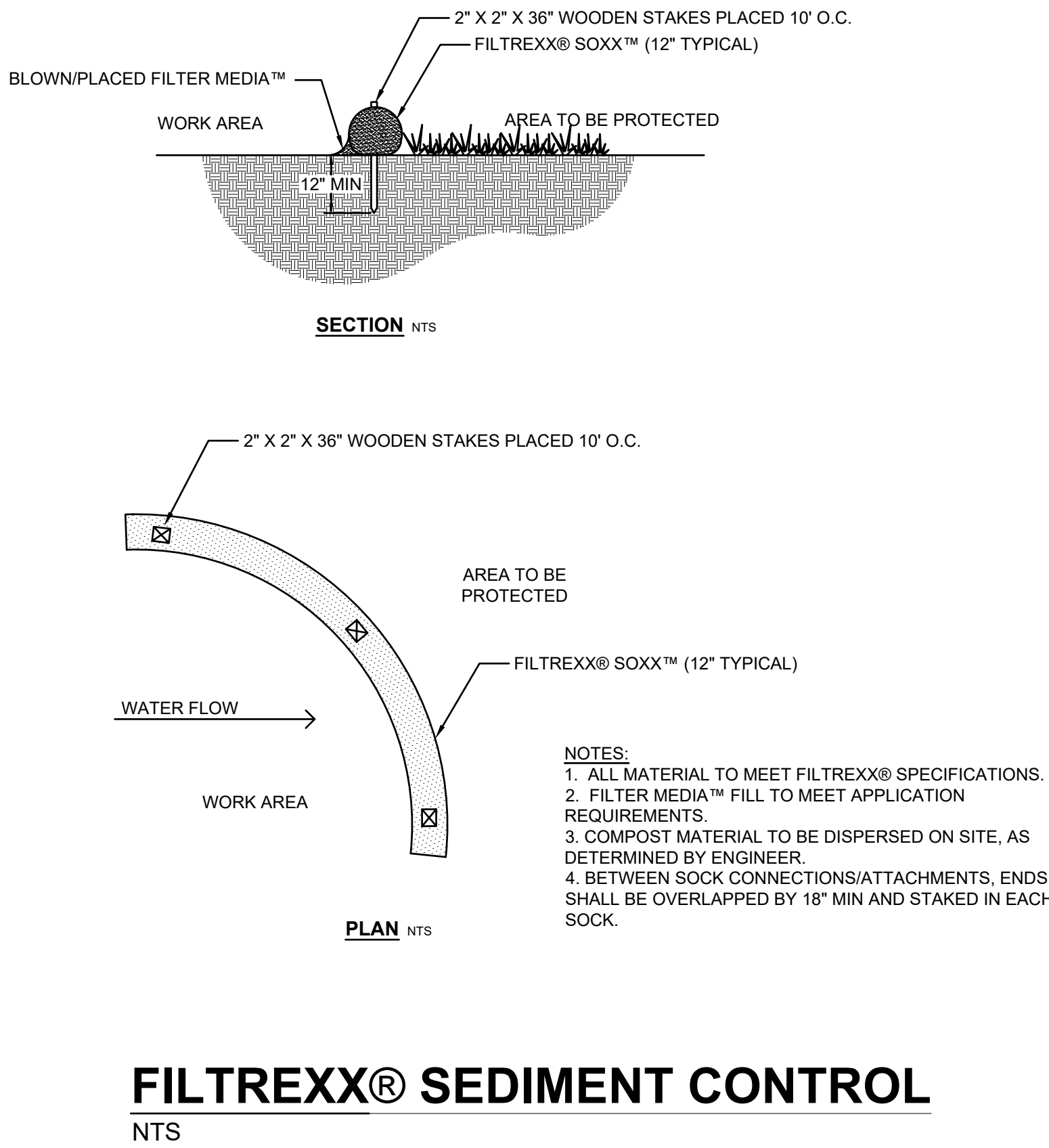
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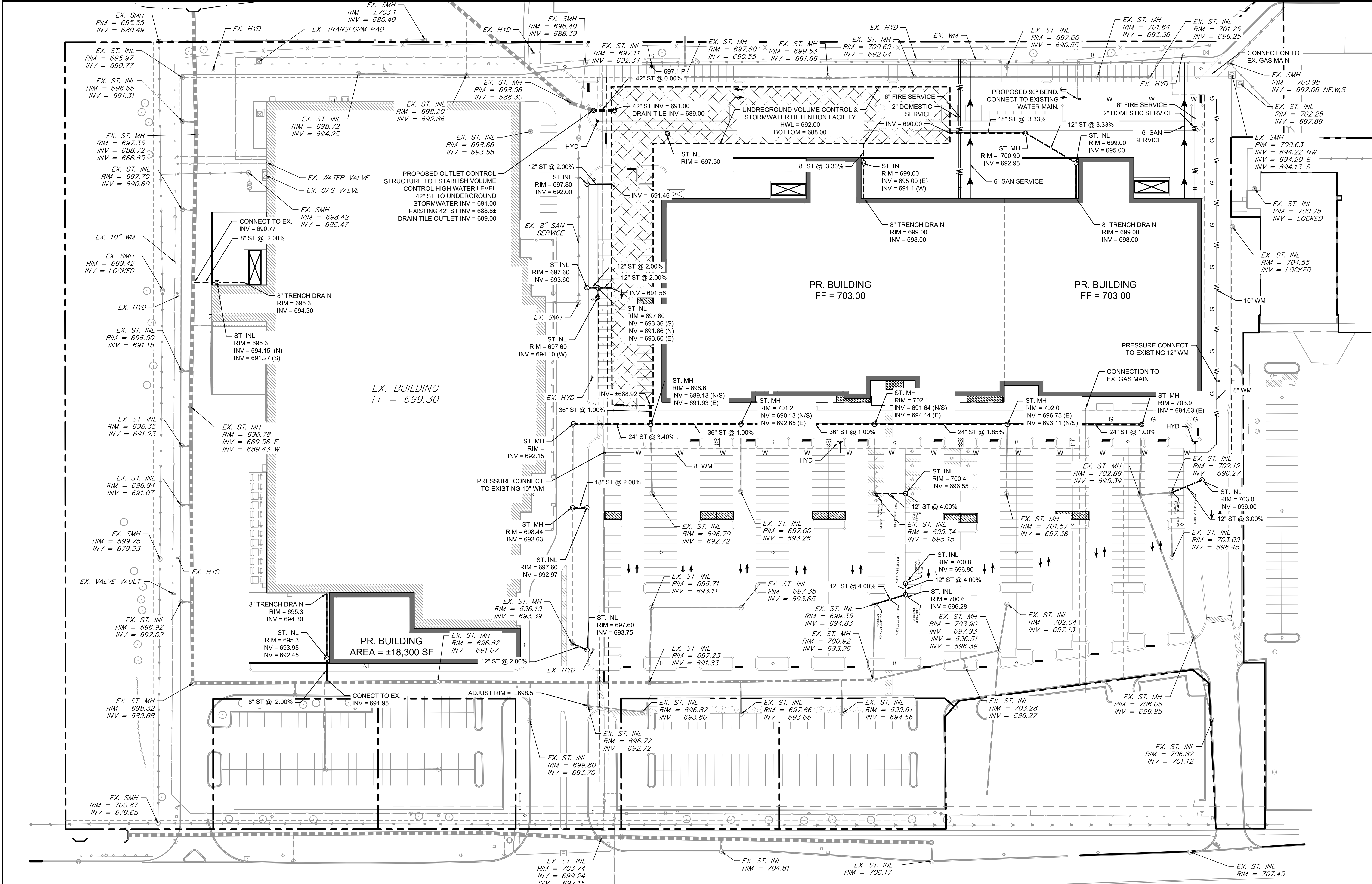
INLET PROTECTION DETAIL

Scale: NOT TO SCALE



SEDIMENT LOG DETAIL

Scale: NOT TO SCALE



REVISIONS

PETE'S FRESH MARKET REDEVELOPMENT

16300 S. HARLEM AVE. TINLEY PARK, IL

PROJ NO: 200135

ENG: JGN

DATE: 05.27.2021

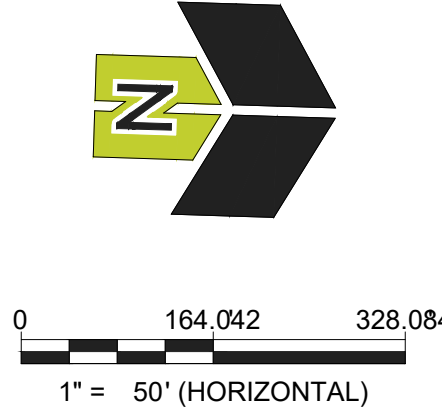
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SITE UTILITY PLAN

SHEET NUMBER

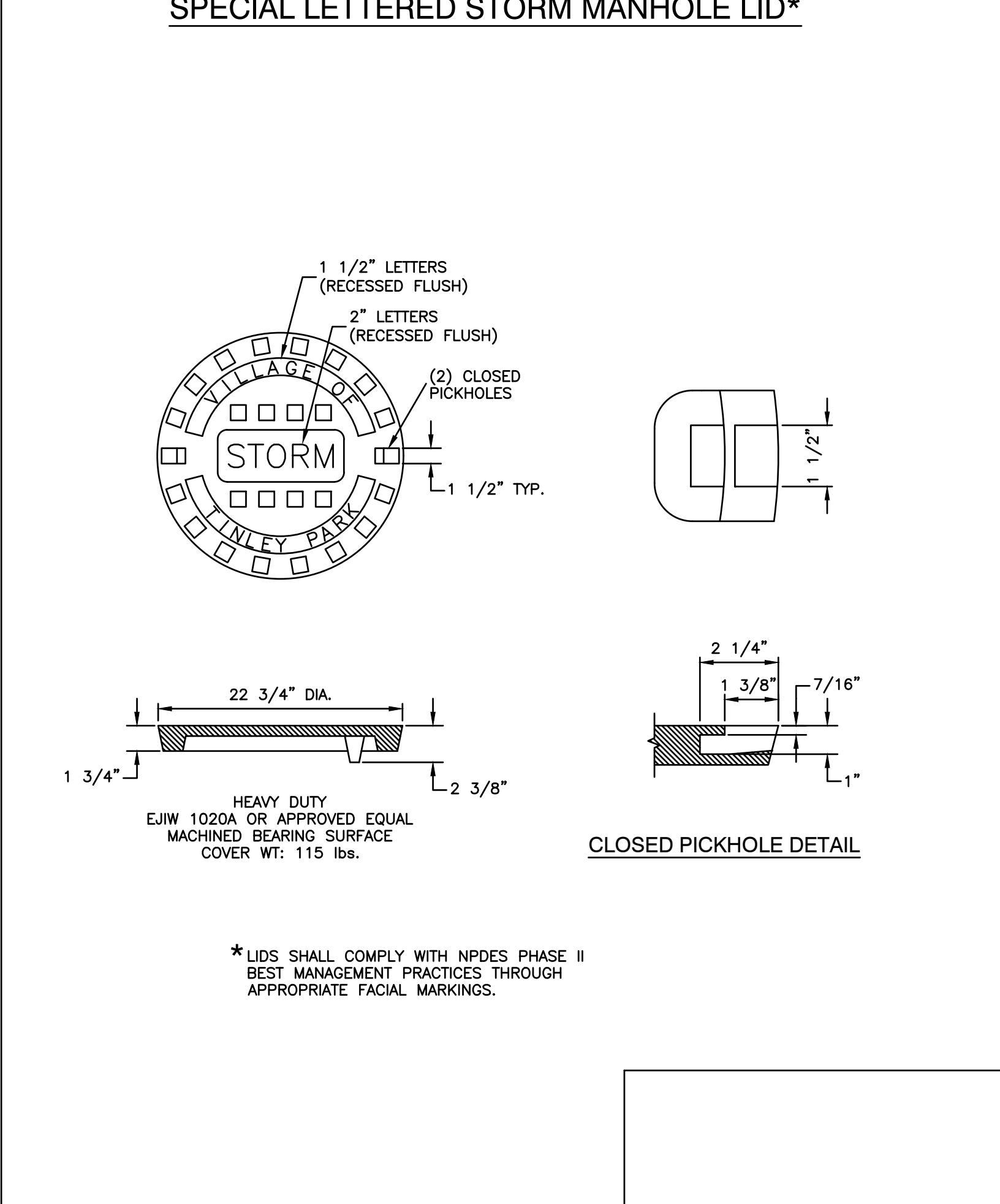
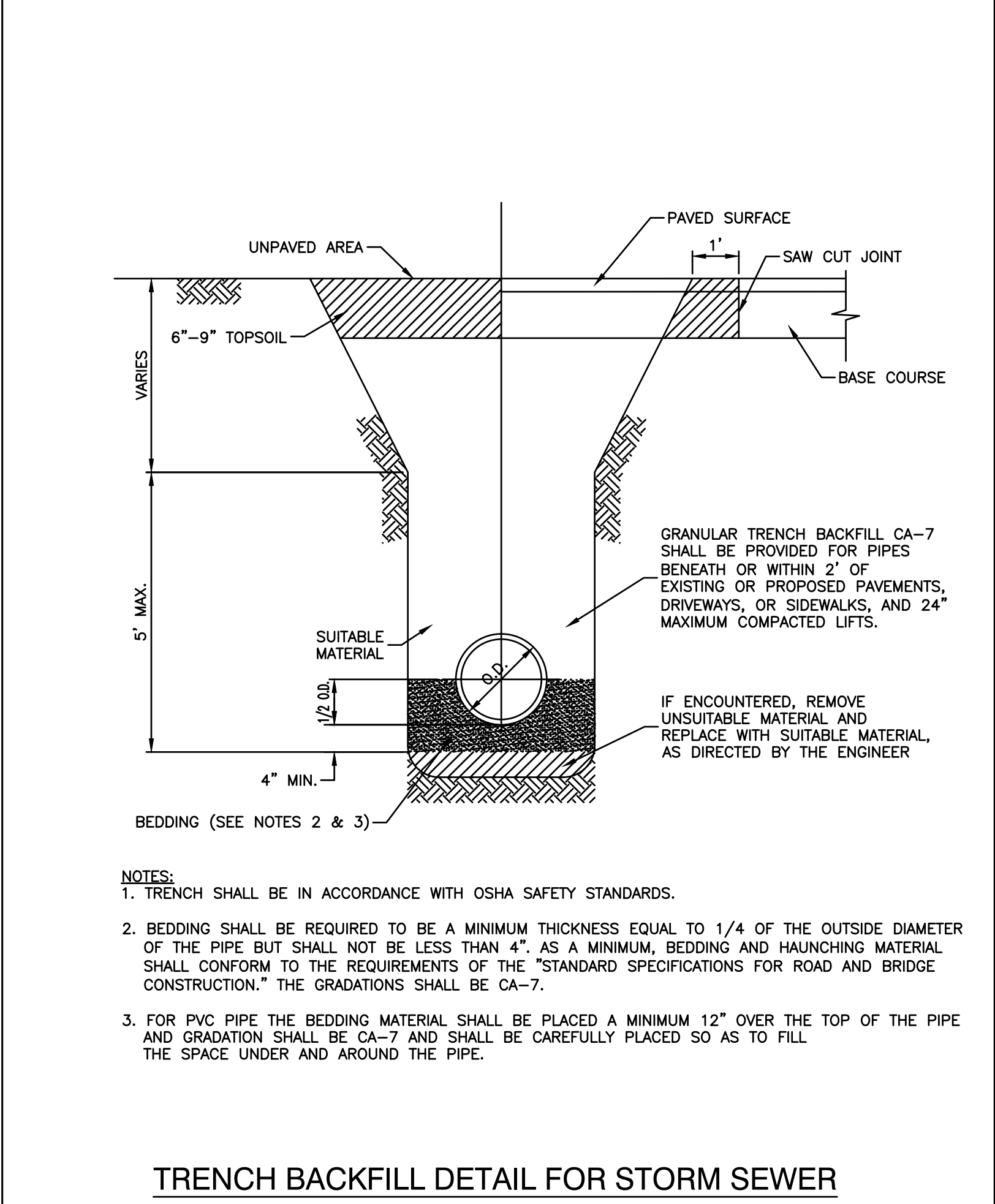
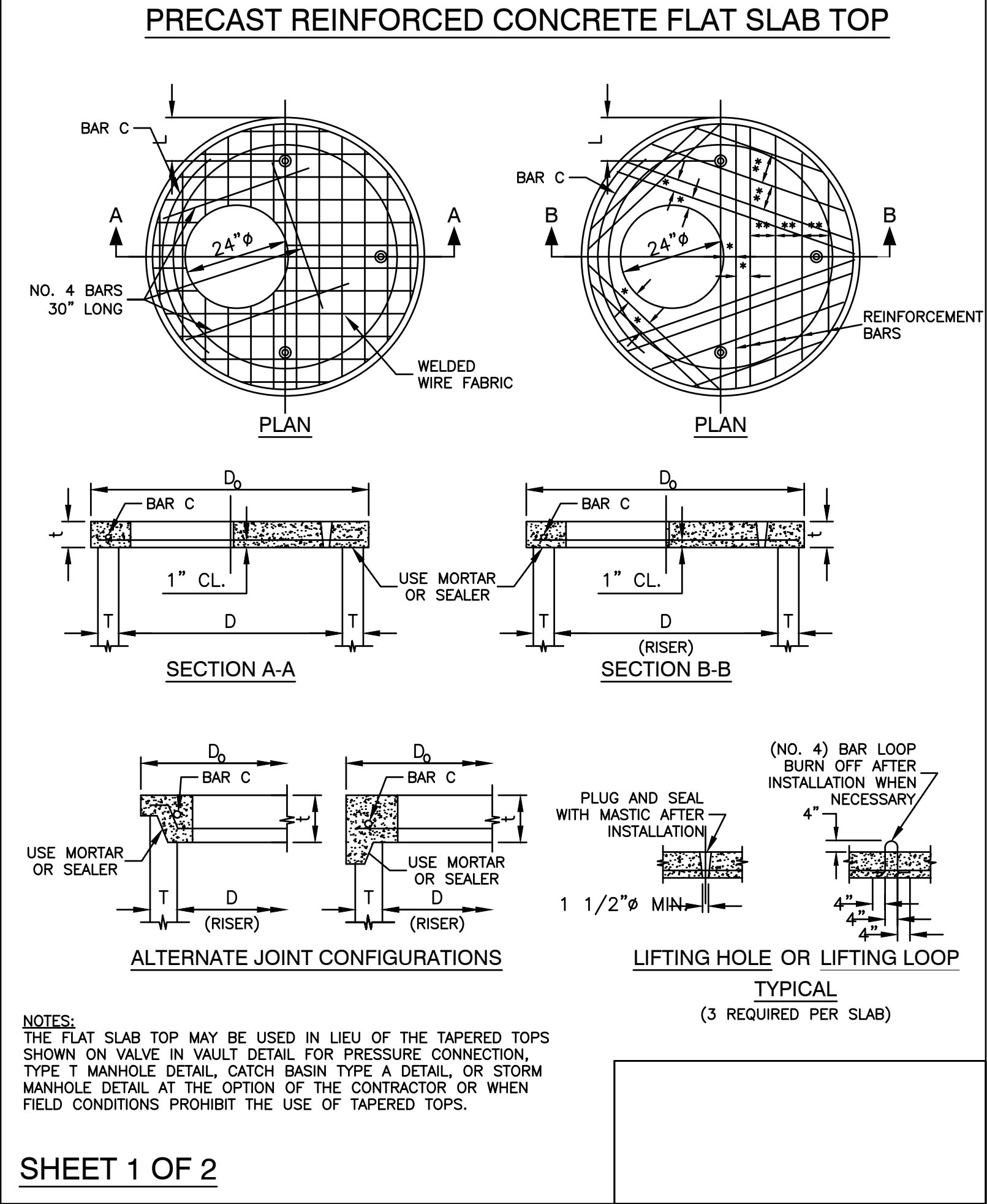
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9 OF 13



10 OF 13

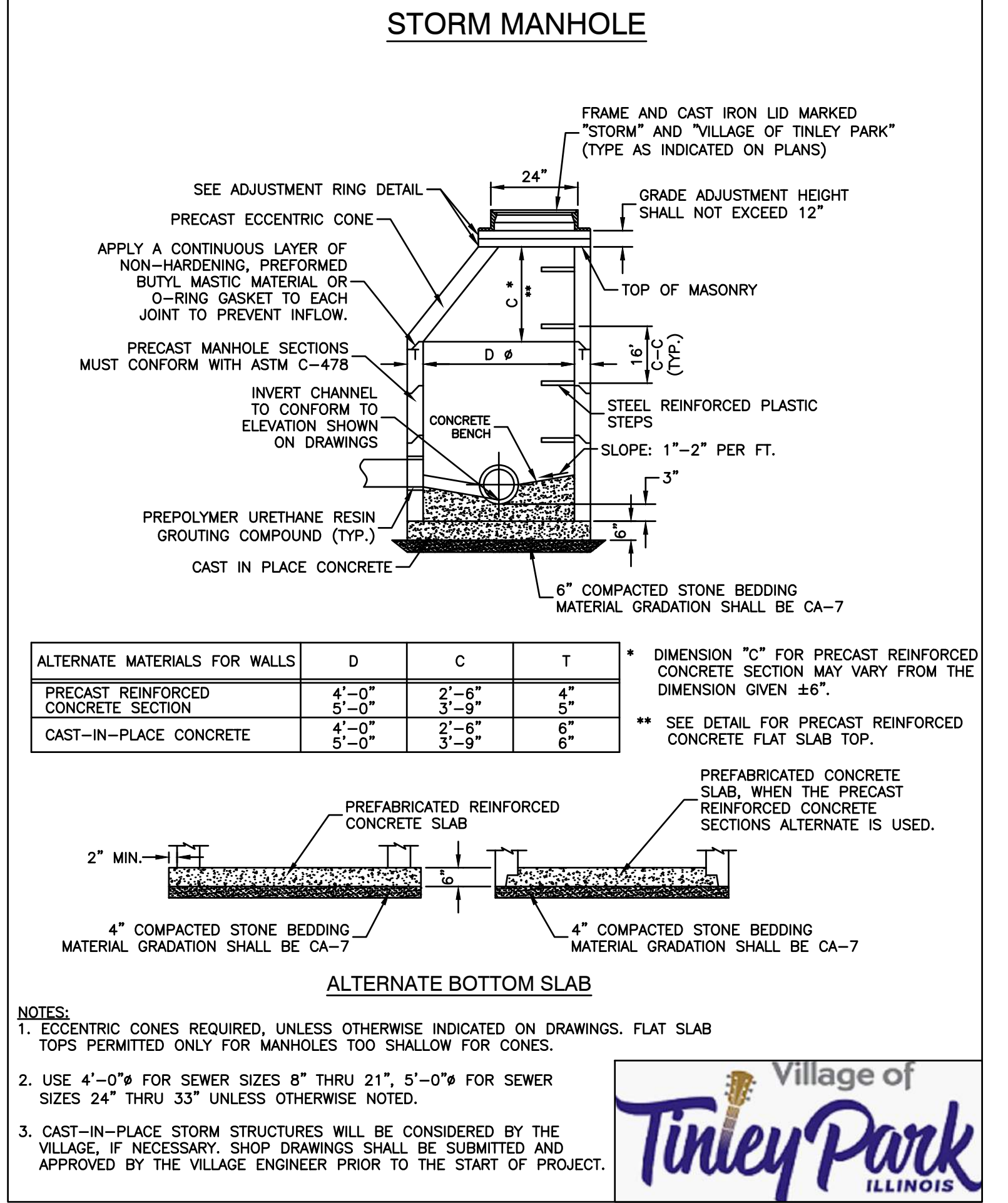
11 OF 13



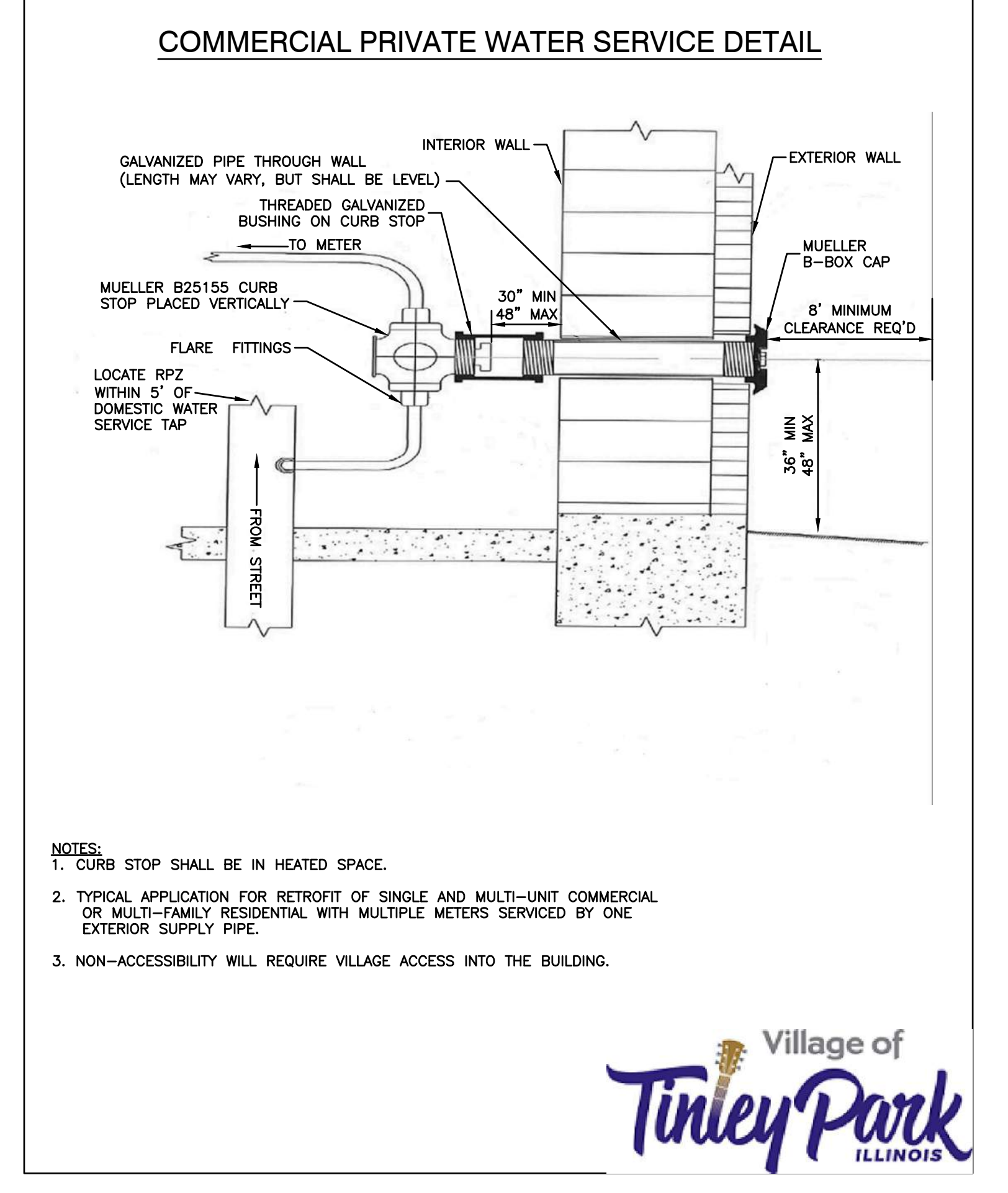
CONCRETE FLAT SLAB DETAIL
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TRENCH BACKFILL STORM SEWER DETAIL
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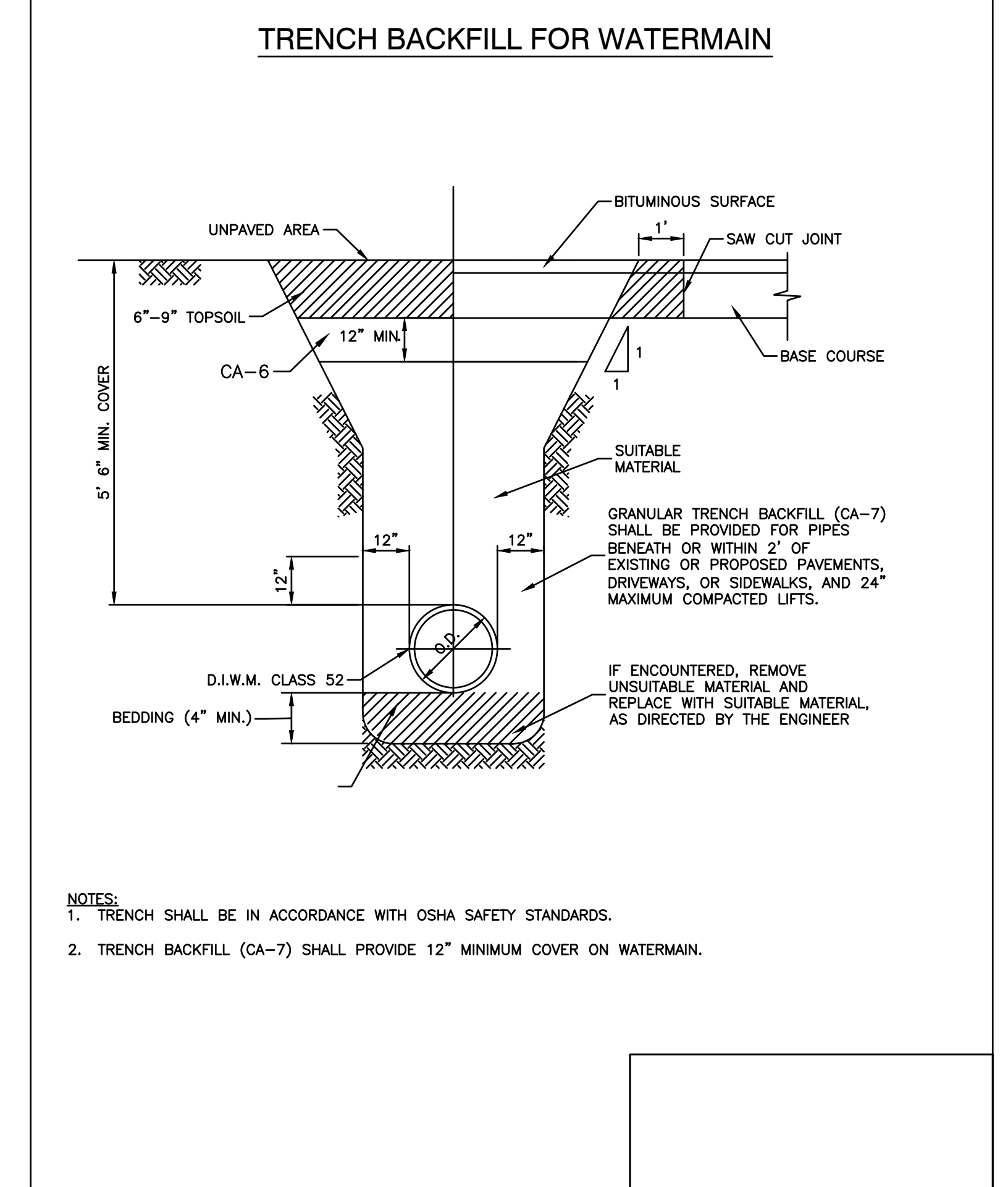
STORM MANHOLE LID DETAIL
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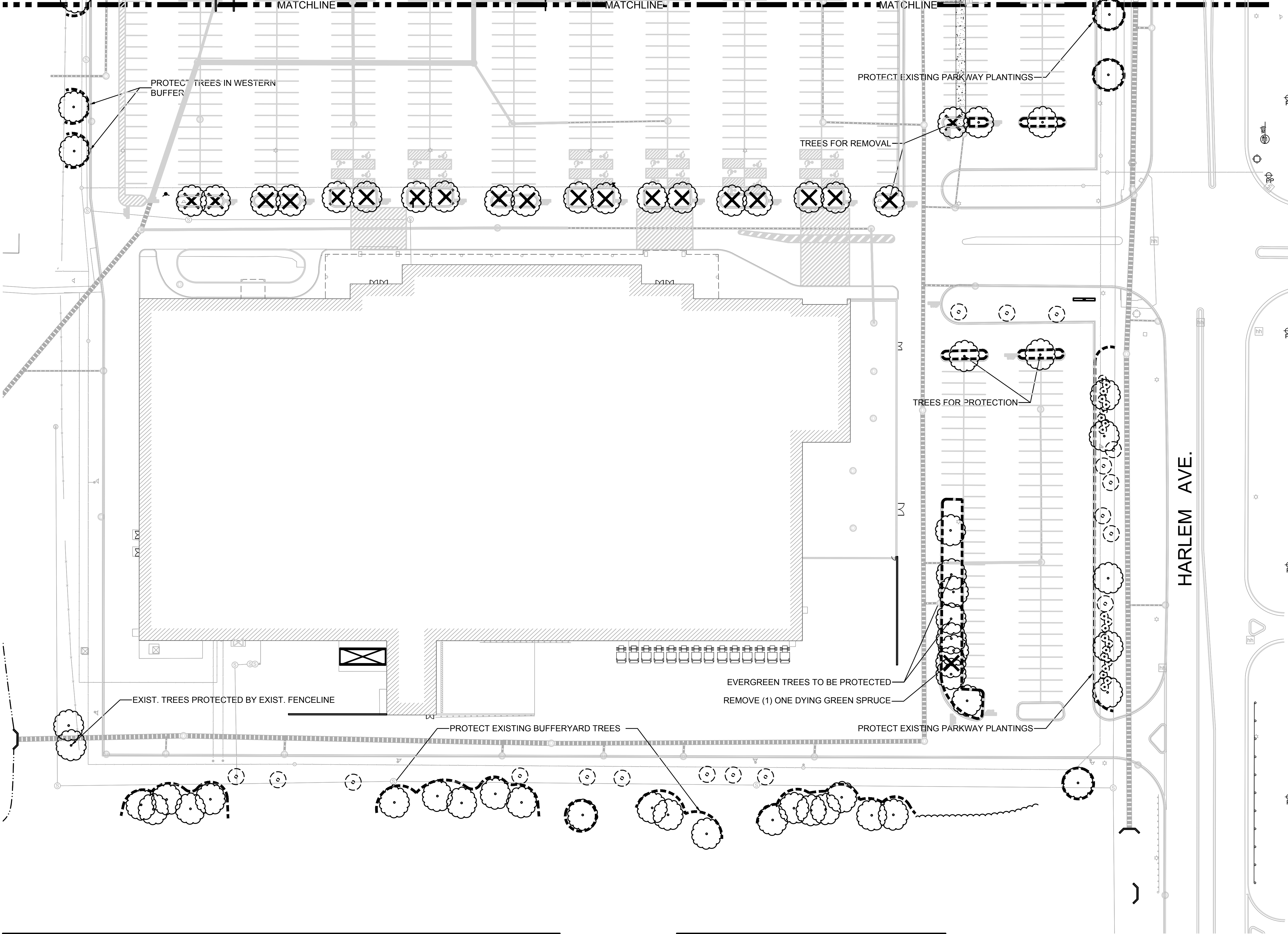
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COMMERCIAL PRIVATE WATER SERVICE DETAIL
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TRENCH BACKFILL WATERMAIN DETAIL
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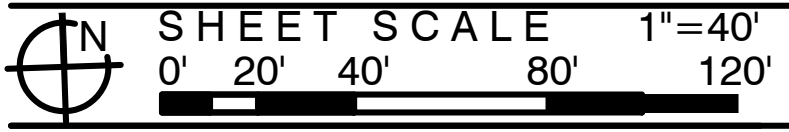
1 TREE REMOVAL & PROTECTION PLAN SOUTH

EXISTING VEGETATION DESCRIPTION

THE PROJECT SITE CONSISTS OF A VACATED BIG BOX SITE AND OUTLOTS. SITE CONSISTS OF VARIOUS TREES THROUGHOUT THE PERIMETER, PARKING ISLANDS, AND PARKWAY. PARKWAY AND PERIMETER TREES WILL BE PRESERVED. TREES IN PARKING ISLANDS, WHERE NECESSARY, WILL BE REMOVED.

TREE PROTECTION & REMOVAL LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING DECIDUOUS TREE TO BE REMOVED
-  BARRIER FENCING TO BE INSTALLED



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ph. 773.697.4388
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SEAL



EXPIRES 08/2021

PROJECT TEAM

CIVIL ENGINEER:



PROJECT NAME



16300 S. HARLEM AVE.
TINLEY PARK IL

DRAWING ISSUED

NO.	TITLE	DATE
1.	Preliminary Review	11/12/2020
2.	Per Village Comment	01/05/2021
3.	Per Village Comment	01/15/2021
4.	Per Village Comment	02/03/2021
5.	Per Village Comment	02/26/2021
6.	Plan Commission Workshop	05/27/2021

SET TYPE
LANDSCAPE PLANS

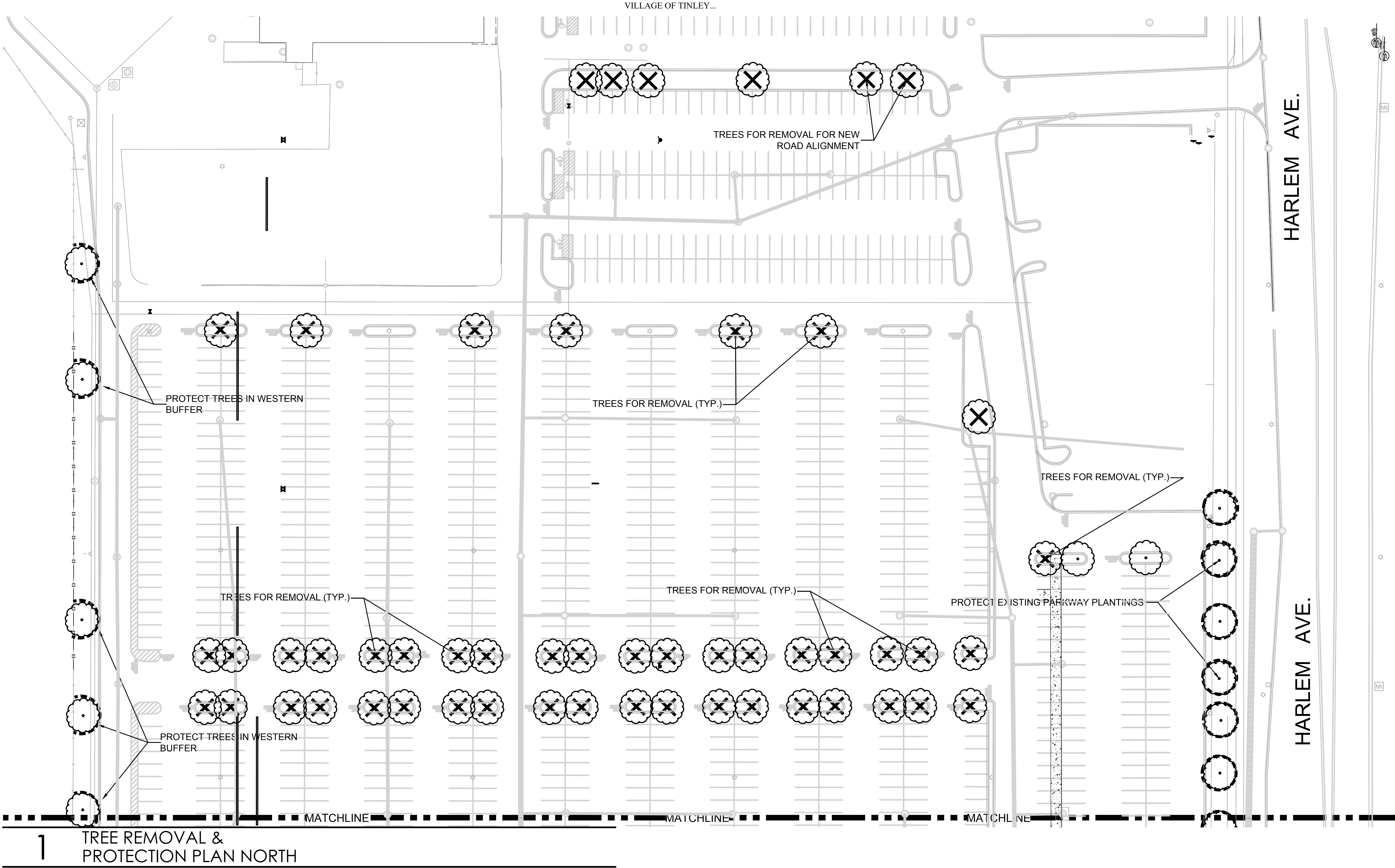
PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

SHEET TITLE
TREE PROTECTION & REMOVAL
PLAN SOUTH

SHEET NUMBER

L.11






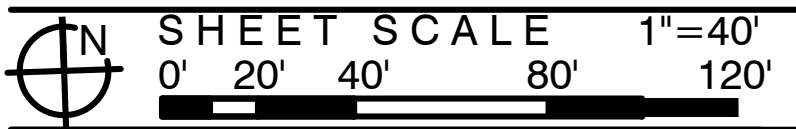
1 TREE REMOVAL & PROTECTION PLAN NORTH

TREE PROTECTION & REMOVAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS AND PERMISSIONS TO PRUNE, REMOVE, AND/OR TRANSPLANT ANY TREES ON SITE.
- DEAD AND DYING MATERIAL ON THE SITE SHALL BE REMOVED OR PRUNED. MATERIALS NOT LABELED ON THE PROTECTION PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.
- DURING CONSTRUCTION EXISTING TREES OVER FOUR INCHES IN CALIPER SHALL BE PROTECTED WITH BARRIER FENCING.
- BARRIER SHALL BE CONSTRUCTED OF A MIN. 3' TALL SNOW FENCE OR SIMILAR AND SUPPORT POSTS MIN. 6' O.C. AND SHALL BE ERECTED ONE FOOT BEYOND THE DRIP LINE OFF ALL EXISTING TREES ON SITE AND ADJACENT SITES TO REMAIN.
- BARRIER FENCING SHOWN ON THE PLAN IS APPROXIMATE. CONTRACTOR SHALL ADJUST LOCATION OF BARRIER TO POSITION OUTLINED IN COMMENT 4.
- NO EXCESS SOIL OR ADDITIONAL FILL, BUILDING MATERIALS OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE BARRIER.
- NO VEHICLES OR HEAVY MACHINERY SHALL BE ALLOWED TO WORK WITHIN THE BARRIER AREA.
- NO ATTACHMENTS OR WIRES, OTHER THAN PROTECTIVE GUY WIRES, SHALL BE ATTACHED TO ANY OF THE TREES WHICH ARE WITHIN PROTECTIVE BARRIER.
- STUMPS OR TREE REMAINS NOT TO BE FULLY EXCAVATED SHALL BE REMOVEED. A STUMP GRINDER SHALL BE USED TO REMOVE ALL REMAINING ROOTS AND WOODY MATERIAL. WITHIN A 24" RADIUS OF THE TREE TRUNK TO MIN. 6" BELOW GRADE. DISTURBED AREA SHALL BE BACKFILLED WITH COMPACTED TOPSOIL TO MEET SURROUNDING GRADES.

TREE PROTECTION & REMOVAL LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING DECIDUOUS TREE TO BE REMOVED
-  BARRIER FENCING TO BE INSTALLED



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CIVIL ENGINEER:


PROJECT NAME



16300 S. HARLEM AVE.
TINLEY PARK IL

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6.	Plan Commission Workshop	05/27/2021

SET TYPE
LANDSCAPE PLANS

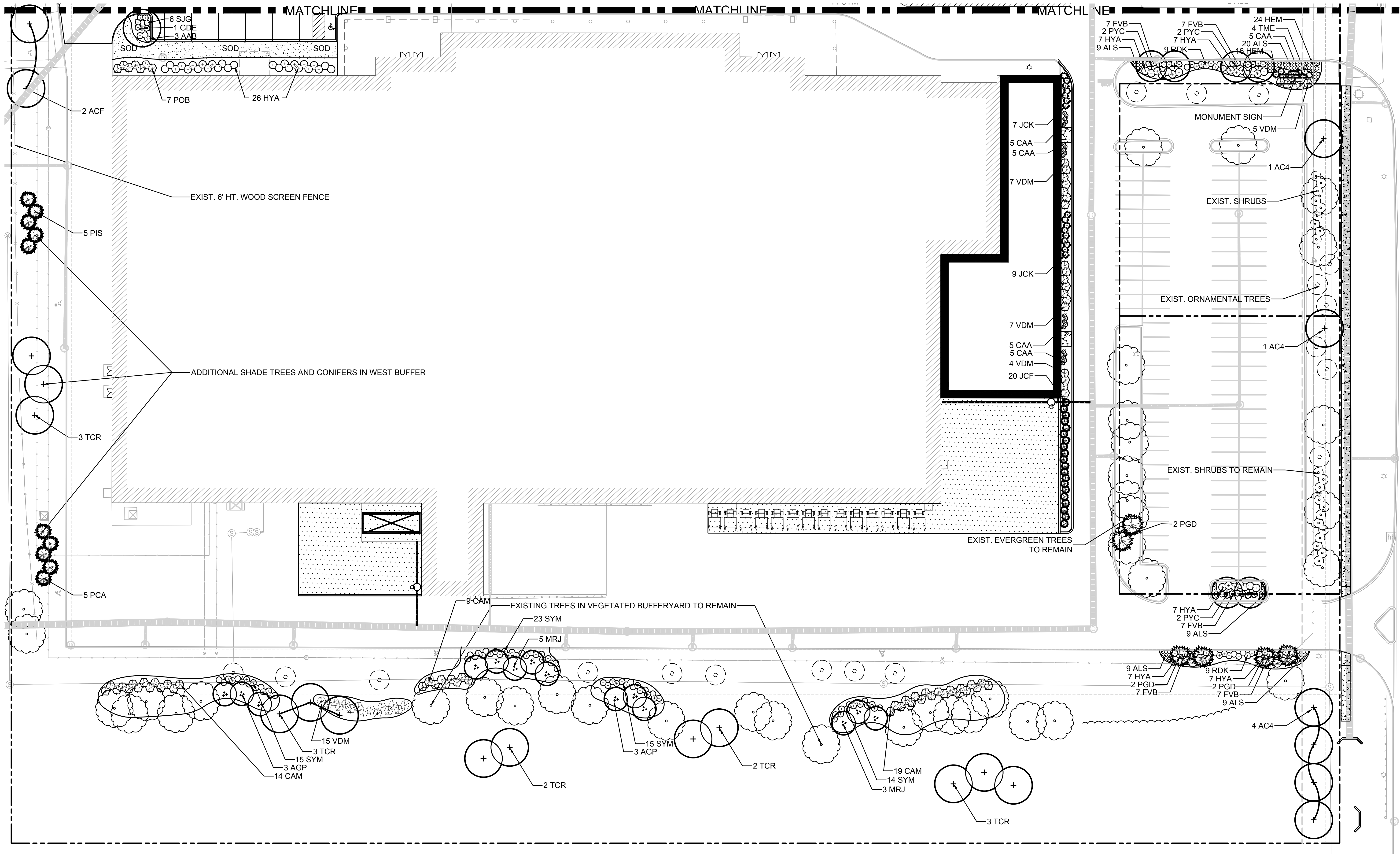
PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

SHEET TITLE
TREE PROTECTION & REMOVAL
PLAN NORTH

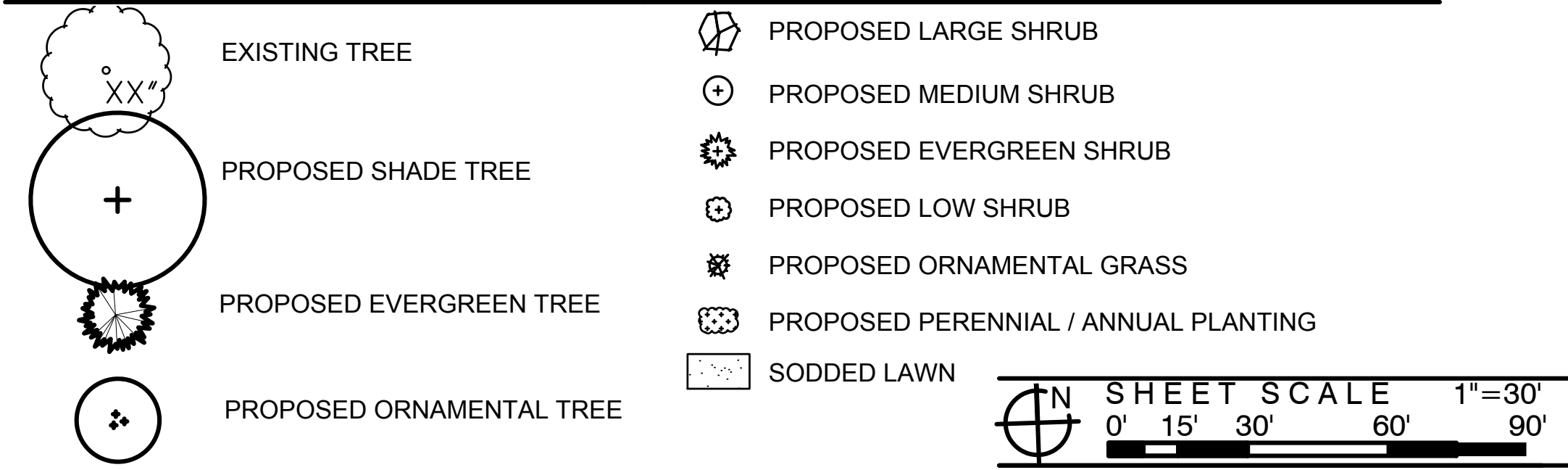
SHEET NUMBER

L.12



1 LANDSCAPE PLAN SOUTH

LANDSCAPE LEGEND



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TINLEY PARK IL

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6.	Plan Commission Workshop	05/27/2021

SET TYPE
LANDSCAPE PLANS

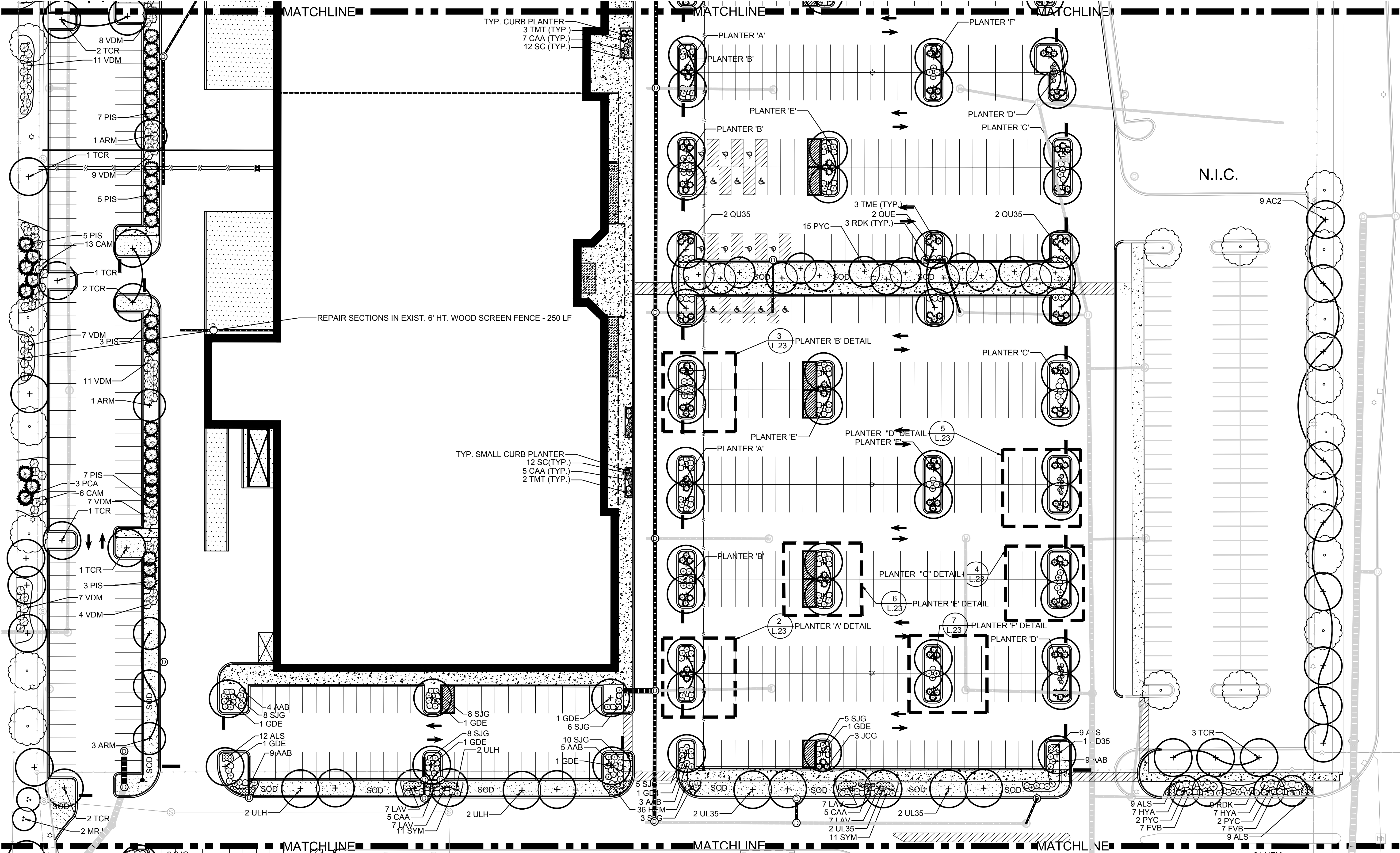
PROJECT NUMBER
2011006

DATE	
11-10-2020	
DRAWN BY:	APPROVED BY:
LCG	LCG
SHEET TITLE	

LANDSCAPE PLAN SOUTH

SHEET NUMBER

L.21



1 LANDSCAPE PLAN CENTER

LANDSCAPE LEGEND

EXISTING TREE

PROPOSED SHADE TREE

EVERGREEN TREE

PROPOSED ORNAMENTAL TREE

PROPOSED LARGE SHRUB

PROPOSED MEDIUM SHRUB

PROPOSED EVERGREEN SHRUB

PROPOSED LOW SHRUB

PROPOSED ORNAMENTAL GRASS

PROPOSED PERENNIAL / ANNUAL PLANTING

SODDED LAWN

N

SHEET SCALE 1"=30'

0' 15' 30' 60' 90'

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PROJECT TEAM

CIVIL ENGINEER:



PROJECT NAME



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TINLEY PARK IL

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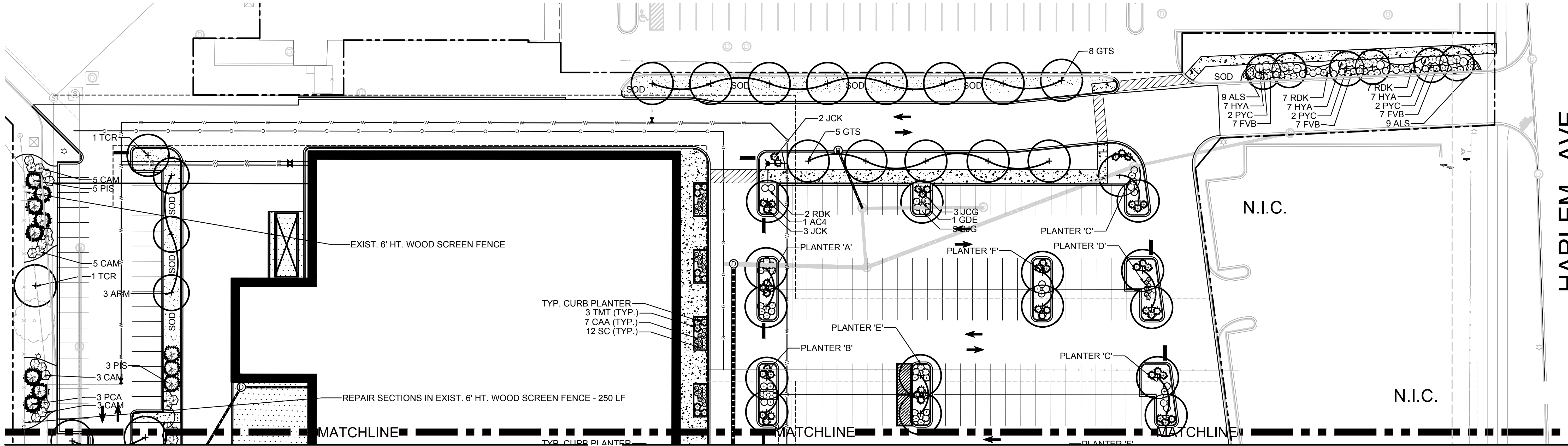
SET TYPE
LANDSCAPE PLANS

PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

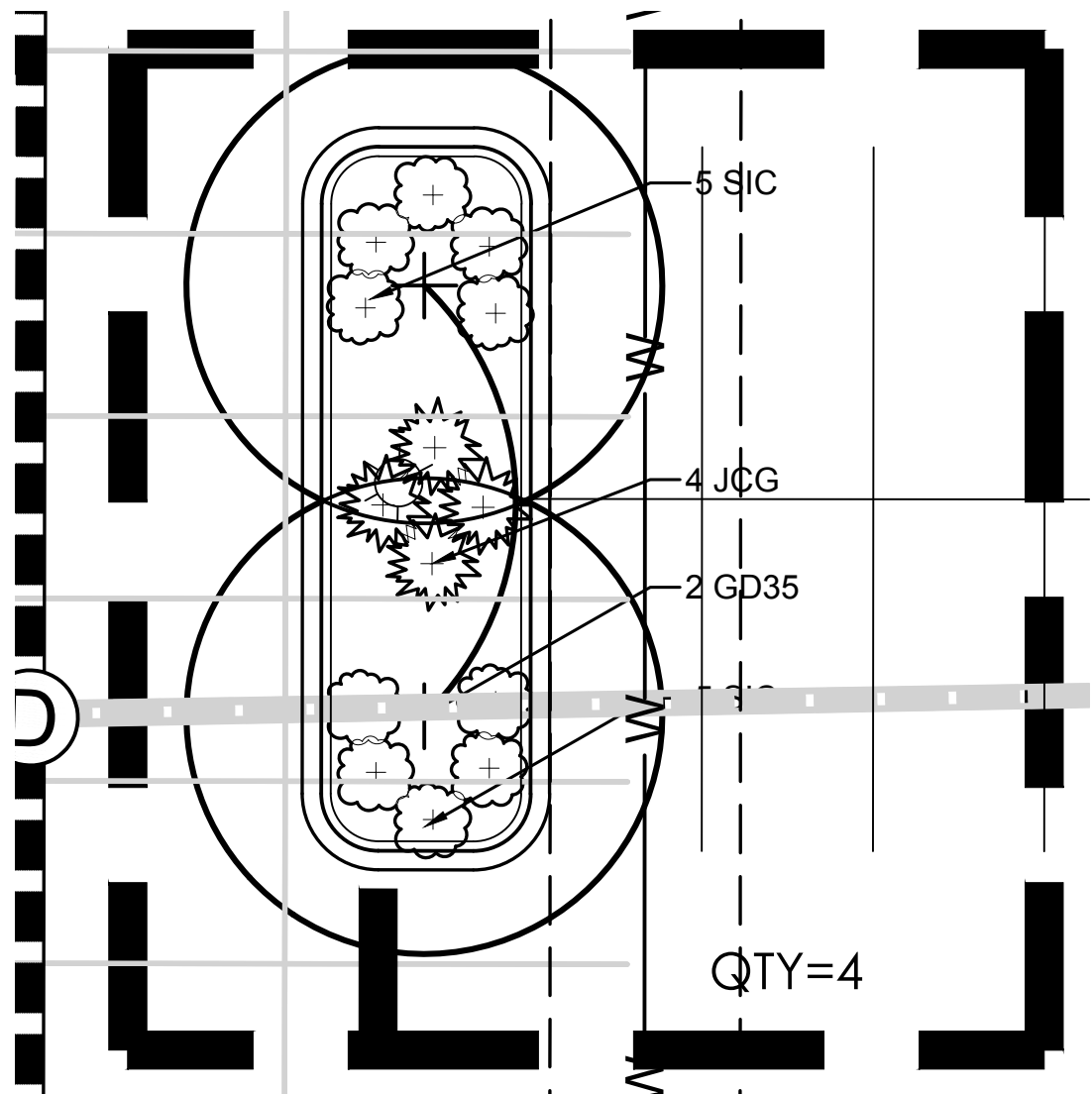
SHEET TITLE
LANDSCAPE PLAN CENTER
SHEET NUMBER

L.22



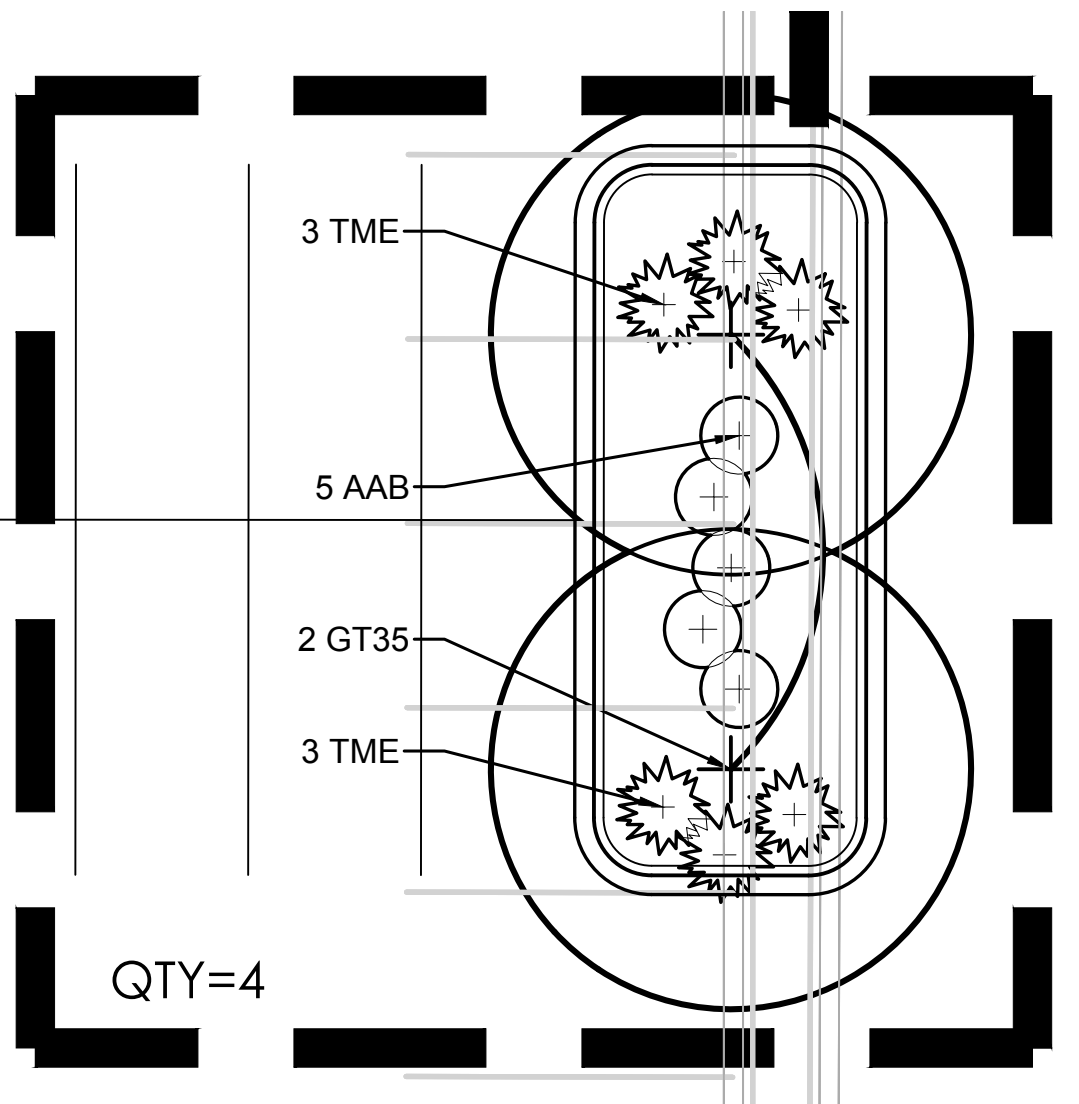
1 LANDSCAPE PLAN NORTH

SCALE: 1"=30'



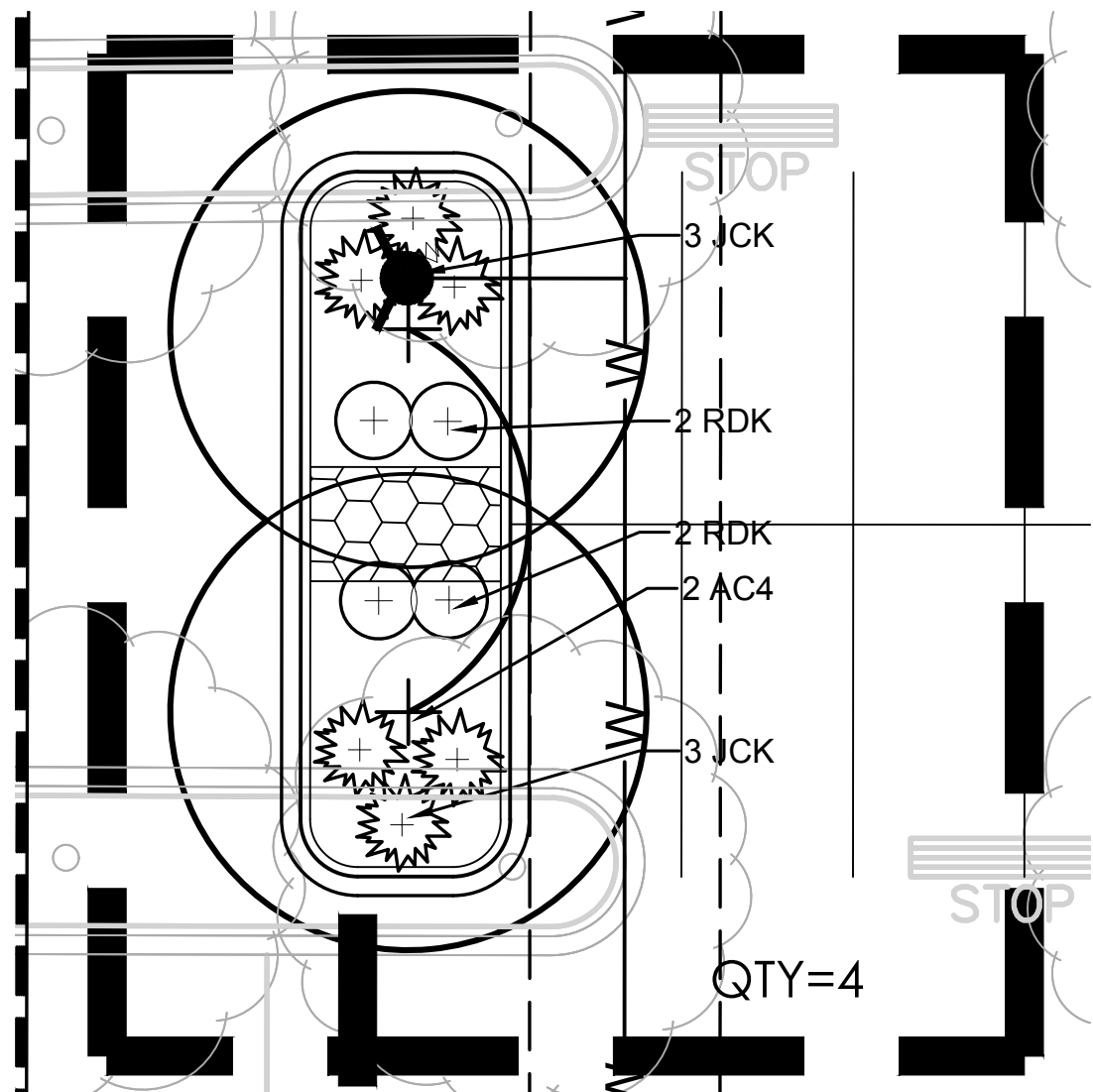
2 TYPICAL PLANTED ISLAND 'A'

SCALE: 1" = 10'-0"



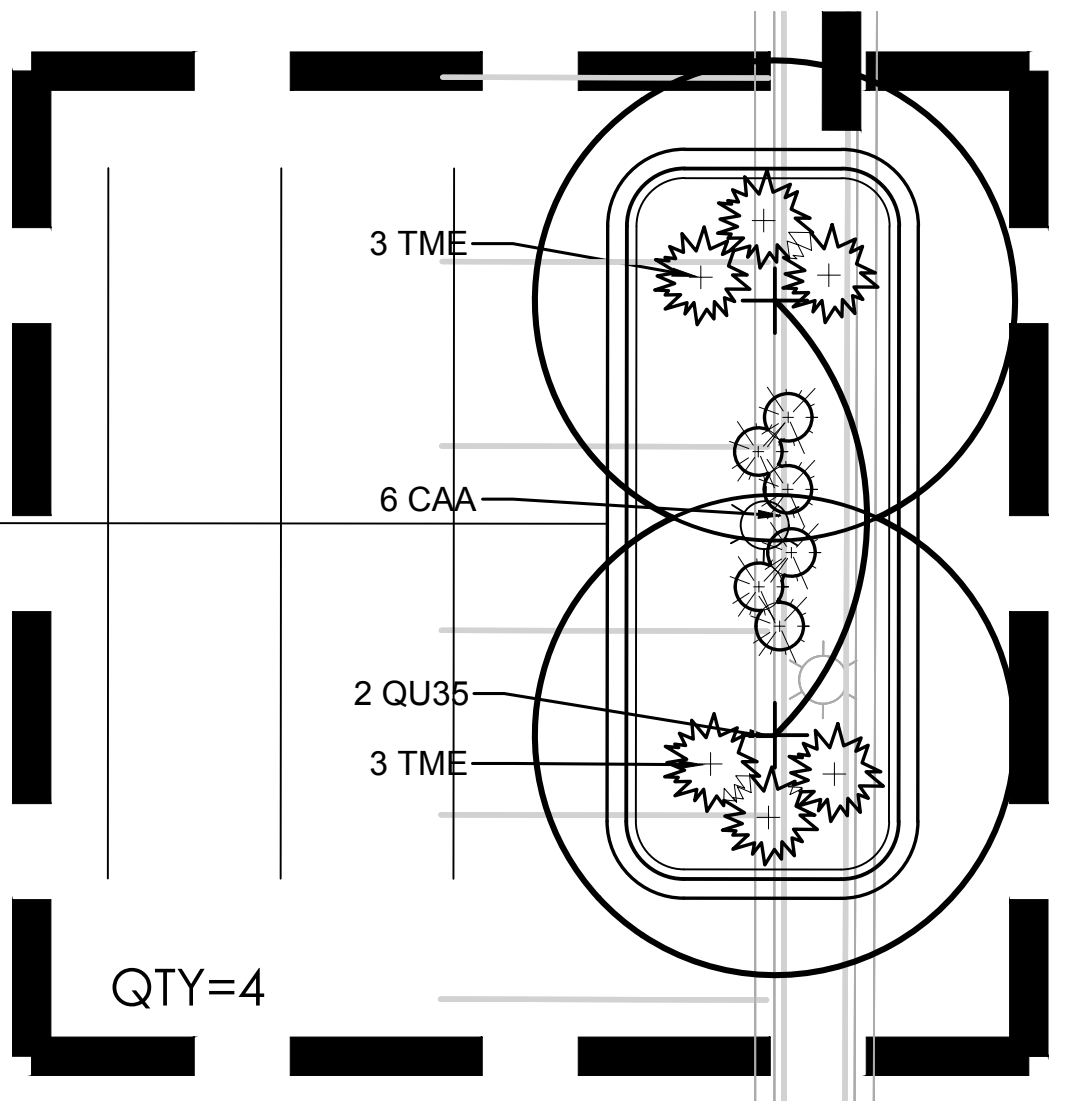
4 TYPICAL PLANTED ISLAND 'C'

SCALE - 1" = 10'-0"



3 TYPICAL PLANTED ISLAND 'B'

SCALE: 1" = 10'-0"



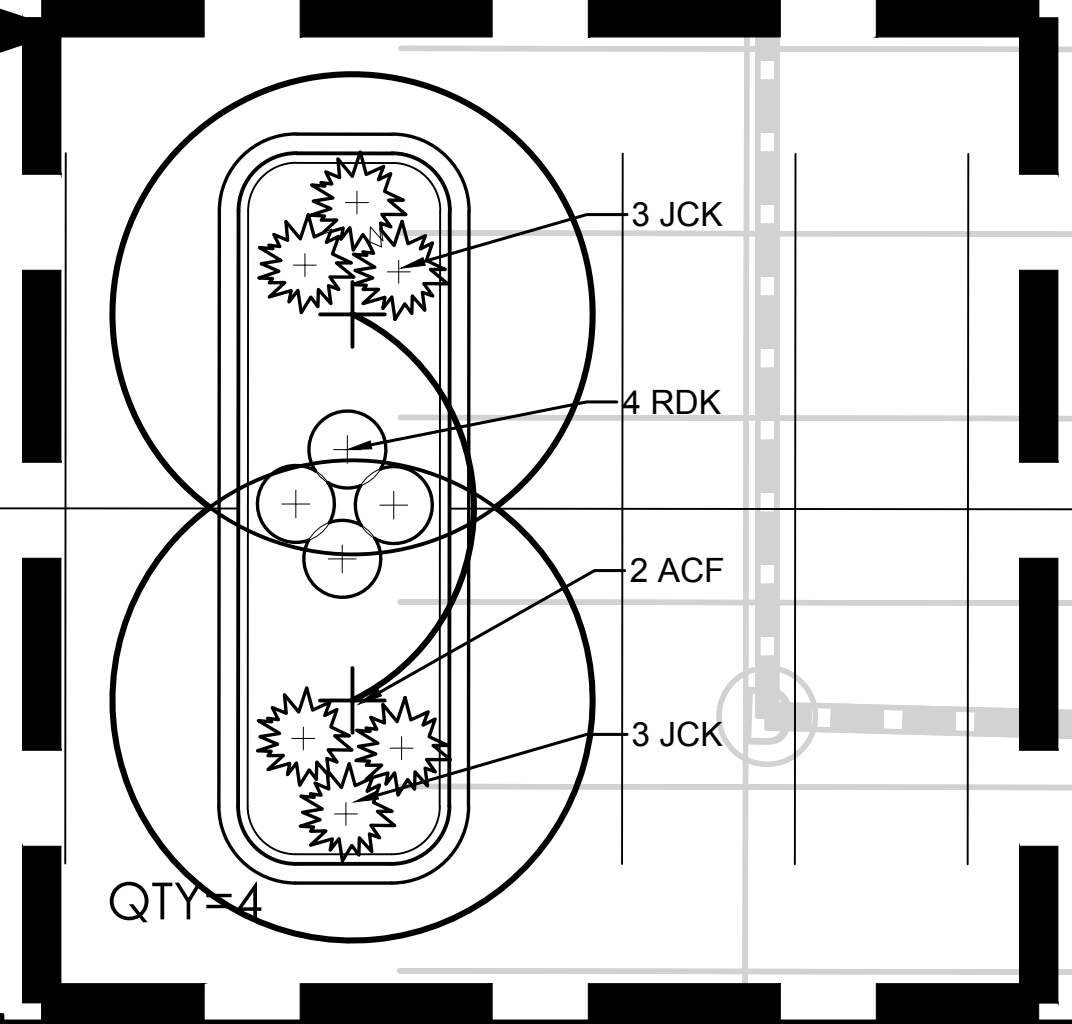
5 TYPICAL PLANTED ISLAND 'D'

SCALE - 1" = 10'-0"

PLANT LIST

SYM	SIZE	QTY	BOTANICAL NAME	COMMON NAME	COMMENT
DECIDUOUS SHADE TREES					
ACF	2.5" CAL.	10	ACER FREEMANII 'MARMO'	MARMP FREEMANII MAPLE	B&B
AC4	4.0" CAL.	24	ACER FREEMANII 'MARMO'	MARMP FREEMANII MAPLE	B&B
ARM	2.5" CAL.	10	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	B&B
GDE	2.5" CAL.	17	GYMNOCLADUS DIOIC. 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	B&B
GD35	3.5" CAL.	10	GYMNOCLADUS DIOIC. 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	B&B
GTS	3.5" CAL.	24	GLEDITSIA TRI. 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	B&B
QUE	2.5" CAL.	6	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	B&B
QU35	3.5" CAL.	8	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	B&B
PYC	2.5" CAL.	31	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	B&B
TCR	2.5" CAL.	22	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B&B
ULH	2.5" CAL.	15	ULMUS 'REGAL'	REGAL ELM	B&B
UL35	3.5" CAL.	4	ULMUS 'REGAL'	REGAL ELM	B&B
ORNAMENTAL TREES					
AGP	6' MULTI.	6	AMELANCHIER GRAN. 'PRINCESS DI'	PRINCESS DIANA SERVICEBERRY	B&B
MRJ	6' MULTI.	10	MALUS X 'RED JEWEL'	RED JEWEL CRABAPPLE	B&B
EVERGREEN TREES					
JCF	8' HT.	20	JUNIPERUS CHINENSIS 'FAIRVIEW'	FAIRVIEW JUNIPER	B&B
PIS	6' HT.	41	PINUS STROBUS	WHITE PINE	B&B
PCA	6' HT.	11	PICEA ABIES	NORWAY SPRUCE	B&B
PGD	8' HT.	6	PICEA GLAUCA VAR. DENSATA	BLACK HILLS SPRUCE	B&B
DECIDUOUS SHRUBS					
AAB	30" HT.	90	ARONIA ARBUT. 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	B&B
CAM	30" HT.	77	CORNUS ALBA 'ARGENTEO MARG.'	CREAM EDGE DOGWOOD	B&B
FVB	18" W.	70	FORSYTHIA VIRIDISS. 'BRONXENSIS'	BRONX FORSYTHIA	B&B
HYA	24" HT.	95	HYDRANGEA ARBOR. 'ANNABELLE'	ANNABELLE HYDRANGEA	B&B
POB	30" HT.	58	PYHSOCARPUS OPUL. 'DIABOLO'	DIABOLO NINEBARK	B&B
RDK	3 GAL.	61	ROSA 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	B&B
SIC	3 GAL.	90	CRISPA CUTLEAF STEPHANANDRA	STEPHANANDRA INCISA 'CRISPA'	B&B
SJG	24" HT.	145	SPIREA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIREA	B&B
SYM	24" HT.	89	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	B&B
VDM	30" HT.	160	VIBURNUM DENTATUM BLUE MUFFIN	ARROWWOOD VIBURNUM	B&B

SYM	SIZE	QTY	BOTANICAL NAME	COMMON NAME	COMMENT
EVERGREEN SHRUBS					
JCG	30" HT.	38	JUNIPER CHIN. 'SEA GREEN'	SEA GREEN JUNIPER	B&B
JCK	24" W.	69	JUNIP. CHIN. 'KALLAY'S COMPACTA'	KALLAY COMPACT JUNIPER	B&B
TMT	24" W.	19	TAXUS X MEDIA 'TAUNTON'	TAUNTON YEW	B&B
TME	24" W.	76	TAXUS X MEDIA 'EVERLOW'	EVERLOW DENSE YEW	B&B
ORNAMENTAL GRASSES					
CAA	#3 CONT.	106	CALAMAGROSTIS ACUT. 'STRICTUS'	STRICTUS FEATHER REED GRASS	
GROUNDCOVER / PERENNIALS					
ALS	#1 CONT.	113	ALLUM TANGUT 'SUMMER BEAUTY'	SUMMER BEAUTY WILD ONION	18" O.C.
HEM	#1 CONT.	76	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	15" O.C.
LAV	#1 CONT.	28	LAVENDULA 'MUNSTEAD STRAIN'	MUNSTEAD ENGLISH LAVENDAR	24" O.C.
SC	4" POT	210	SEASONAL COLOR	SEASONAL COLOR	12" O.C.
SOD	SQ. YD.	2,560	SODDED LAWN		

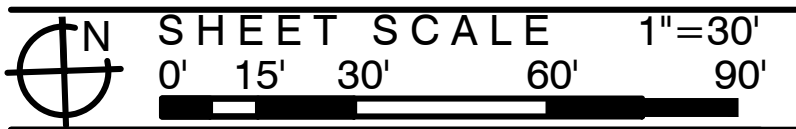


7 TYPICAL PLANTED ISLAND 'F'

SCALE - 1" = 10'-0"

LANDSCAPE LEGEND

	EXISTING TREE		PROPOSED LARGE SHRUB
	PROPOSED SHADE TREE		PROPOSED MEDIUM SHRUB
	EVERGREEN TREE		PROPOSED EVERGREEN SHRUB
	PROPOSED ORNAMENTAL TREE		PROPOSED LOW SHRUB
			PROPOSED ORNAMENTAL GRASS
			PROPOSED PERENNIAL / ANNUAL PLANTING
			SODDED LAWN



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PROJECT TEAM

CIVIL ENGINEER:
CAGE
CIVIL ENGINEERING

PROJECT NAME



16300 S. HARLEM AVE.
TINLEY PARK IL

DRAWING ISSUED

NO.	TITLE	DATE
1.	Preliminary Review	11/12/2020
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3.	Per Village Comment	01/15/2021
4.	Per Village Comment	02/03/2021
5.	Per Village Comment	02/26/2021
6.	Plan Commission Workshop	05/27/2021

SET TYPE
LANDSCAPE PLANS

PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

SHEET TITLE
LANDSCAPE PLAN NORTH

SHEET NUMBER

L.23

LANDSCAPE NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS AND PERMISSIONS TO INSTALL THE PROPOSED IMPROVEMENTS
2. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE VILLAGE OF TINLEY PARK LANDSCAPING CODES AND ZONING ORDINANCES.
3. PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL HAVE DIGGERS HOTLINE LOCATE AND MARK ALL UNDERGROUND UTILITY FACILITIES AND LINES.
4. ALL PLANT MATERIALS (EXCEPT FOR GROUNDCOVER, ANNUALS, AND PERENNIALS) SHALL BE BALLED AND BURLAPPED STOCK AND MEET CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK (ANSI 260.1-1986) OR EQUAL. PLANT MATERIALS MUST BE SUPPLIED WITHIN A 150 MILE RADIUS OF PROJECT SITE WITHIN NORTHEAST ILLINOIS. CONTRACTOR MAY SUBSTITUTE CONTAINER STOCK FOR SHRUBS IF SIZES ARE EQUAL TO SPECIFIED B&B STOCK, WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
5. IF SPECIFIED PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, PLANTS WITH SIMILAR WHOLESALE VALUE AND LANDSCAPE CHARACTERISTICS MAY BE SUBSTITUTED UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT AND VILLAGE STAFF.
6. SOIL IN GROUNDCOVER BEDS SHALL BE AMENDED USING 2 INCHES OF MUSHROOM COMPOST INCORPORATED INTO THE TOP 4 INCHES OF SOIL.
7. DISTURBED AREAS TO RECEIVE SOD SHALL BE TILLED TO 6" DEPTH AND FINE GRADED TO PROVIDE SMOOTH BASE SURFACE. IF EXISTING SOIL IS A MAJORITY OF CLAY OR UNSUITABLE, 2" OF FINE GRADED TOPSOIL SHALL BE ADDED PRIOR TO TILLING. EXISTING SOD AREAS SHALL HAVE TURF REMOVED WITH AUTOMATED SODCUTTER OR HAND SPACE TO REMOVE ALL BLADES AND ROOTS. 1" OF FIND GRADED TOPSOIL SHALL BE TILLED AND GRADED.
8. TREE AND SHRUB BACKFILL MIXTURE SHALL BE 2 PARTS EXIST. NATIVE TOPSOIL AND 1 PART SPHAGNUM PEAT MOSS W/ DECOMPOSED MANURE.
9. ALL SHRUB BEDS AND INDIVIDUAL TREE PLANTINGS, UNLESS OTHERWISE NOTED, SHALL RECEIVE A 4 INCH LAYER OF SHREDDED HARDWOOD MULCH. ALL GROUNDCOVER, ANNUAL AND PERENNIAL BEDS SHALL RECEIVE A 2 INCH LAYER OF THE SAME MULCH MATERIAL. COSTS FOR MULCH SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF PLANTINGS.
10. NURSERY TAGS (SPECIES, SIZE) FOR ALL SHADE TREES SHALL REMAIN ATTACHED TO TREES UNTIL FINAL APPROVAL FROM MUNICIPALITY.
11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT (BEGINNING ON THE OWNER'S POSSESSION DATE). THIS AGREEMENT SHALL COVER MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DEAD OR DAMAGED LANDSCAPING TO PRESERVE THE SAME QUANTITY AND QUALITY AS INITIALLY APPROVED.
12. CONTRACTOR SHALL PROVIDE A SEPARATE ESTIMATE FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM FOR COMPLETE EFFECTIVE COVERAGE OF ALL LAWN AREAS AND SHRUB BEDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL AND APPLY FOR ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK. IRRIGATION PLANS SHALL INCLUDE HUNTER PRO-C CONTROLLER W/WIRELESS SOLAR SYNC STATION AND HUNTER SPRAYHEADS AND NOZZLES. IRRIGATION WORK SHALL BE WARRANTY ALL LABOR AND MATERIALS FOR 1 FULL YEAR AFTER INSTALLATION AND TESTING.
13. TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET TO FIRE HYDRANTS, TRANSFORMERS OR OTHER ABOVE GROUND UTILITIES. ANY DISCREPANCY ON THE PLAN RELATED TO THESE PROXIMATE UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.

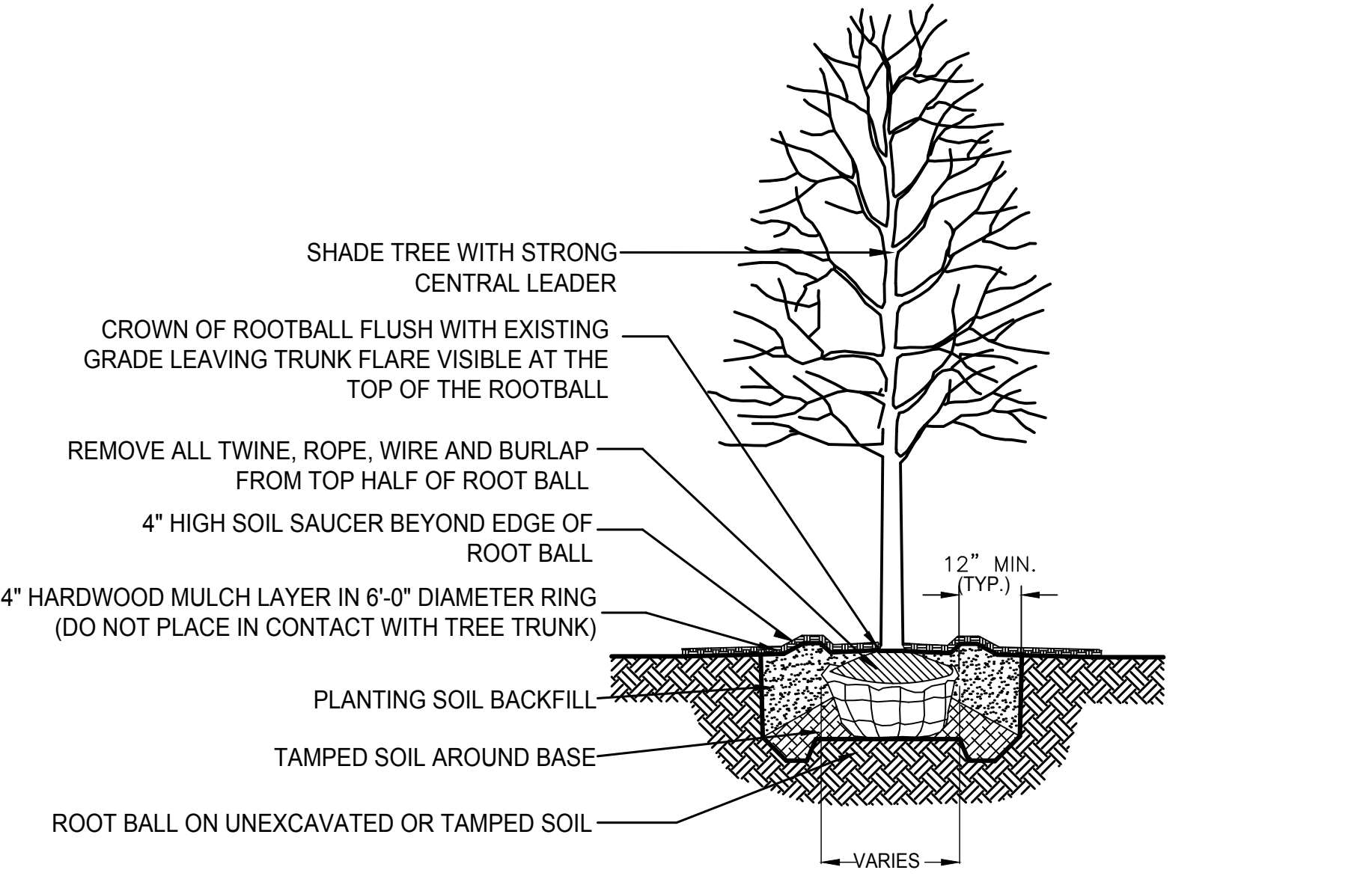
VILLAGE LANDSCAPE REQUIREMENT CALCULATIONS

DESCRIPTION	REQUIREMENT	AREA / LENGTH	DETAILS
TOTAL SITE		1,159,368 S.F.	
TOTAL BUILDINGS		140,438 S.F. 184,197 S.F. 324,635 S.F.	PETE'S MARKET ANCHOR 2 TOTAL
ZONING		B-3	
TOTAL PARKING	SQUARE FOOTAGE OF PARKING AREA / VEHICLE USE AREA	792,440 S.F.	

BUFFERYARDS

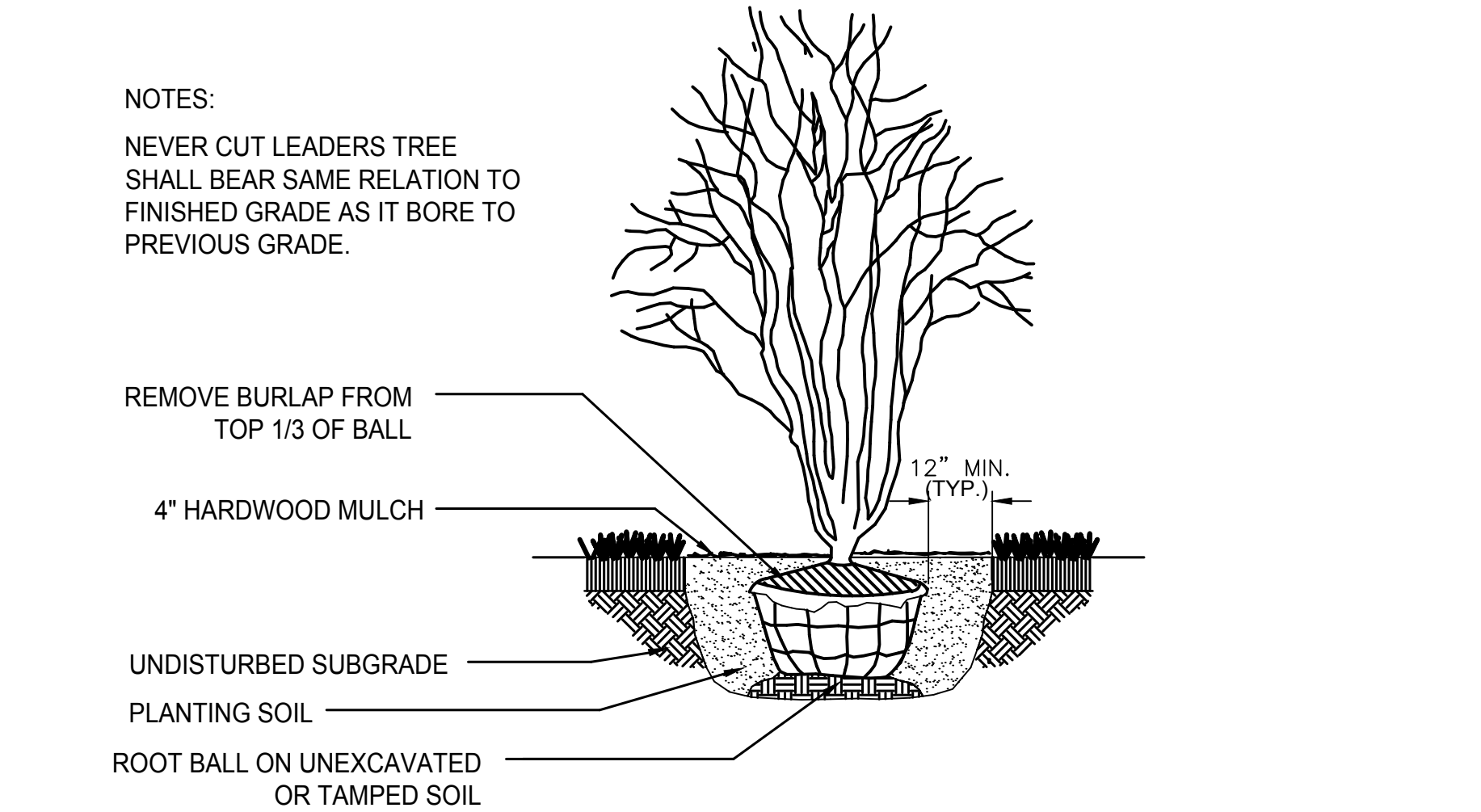
	REQUIRED WIDTH	PROPOSED WIDTH	LENGTH	REQUIRED PLANTINGS	PROPOSED PLANTINGS	COMMENTS
WEST (C BUFFERYARD)	25'	25'	790 LF	14 CT 6 US 56 SH	21 CT 28 US 60 SH	BUFFERYARD LENGTH ONLY CALCULATED TO NORTH SIDE OF NEIGHBORHOOD WALK. EXISTING TREES INCLUDED IN PROPOSED PLANTINGS.
SOUTH (C BUFFERYARD)	25'	100'	885 LF	31 CT 13 US 124 SH	31 CT 14 US 124 SH	EXISTING TREES INCLUDED IN PROPOSED PLANTINGS.

DESCRIPTION	REQUIREMENT	AREA / LENGTH	PROPOSED	COMMENTS
FOUNDATION	LANDSCAPE COVERAGE ALONG 70% OF BUILDING FOUNDATION THAT FACES PUBLIC RIGHT-OF-WAY; 10' WIDE LANDSCAPED AREA (530 LF X 70% = 371 LF REQUIRED)	44% (235 LF) OR 2,350 SF	7 PLANTERS - 7.5' X 19' EACH & SOUTHEAST PLANTER= 2,887 SF	
INTERIOR	1 TREE PER 10,000 SQ. FT.	792,440 / 10,000 = 80 TREES	96 NEW TREES 14 EXIST.	TREES NOT IN END ISLANDS
PARKWAY	1 TREE PER 25 LINEAL FEET ALONG HARLEM AVENUE	28 TREES	28 CT 6 UT	EXISTING UNDERSTORY TREES HAVE BEEN SHOWN ON THE PLAN
PARKING LOT	15% OF PARKING LOT TO BE LANDSCAPED	431,870 X 15% = 64,780 S.F.	45,998 S.F. OR 10.6 %	TREES UPSIZED TO 3.5" AND 4.0" CAL. FOR DEFICIT
PARKING LOT	CONTINUOUS SCREENING OF ADJACENT PROPERTIES AND STREETS - 675 LF REQUIRED.	675 LF.	0 LF	VILLAGE STAFF REQUESTED REMOVAL. CONCERNS ABOUT OUTLOT DEVELOPMENT
PARKING LOT ISLANDS	1 TREE AND 1 SHRUB PER 200 SF OF ISLAND	16,744 / 200 = 83.72	90 TREES 247 SHRUBS	TREES IN END ISLANDS
GROUND MOUNTED SIGNS	2 SQ. FT. OF LANDSCAPING FOR EACH 1 SQ. FT. OF SIGN FACE	200 SF X 2 = 400 SF	656 SF	



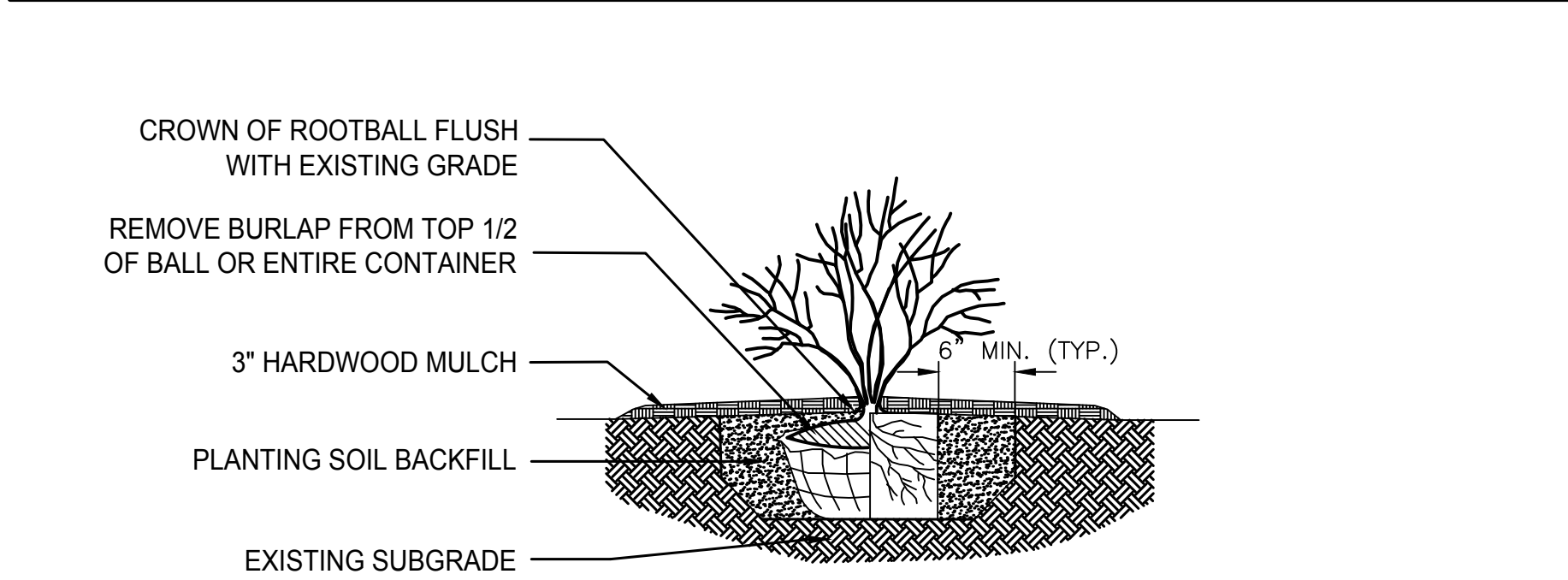
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NOT TO SCALE



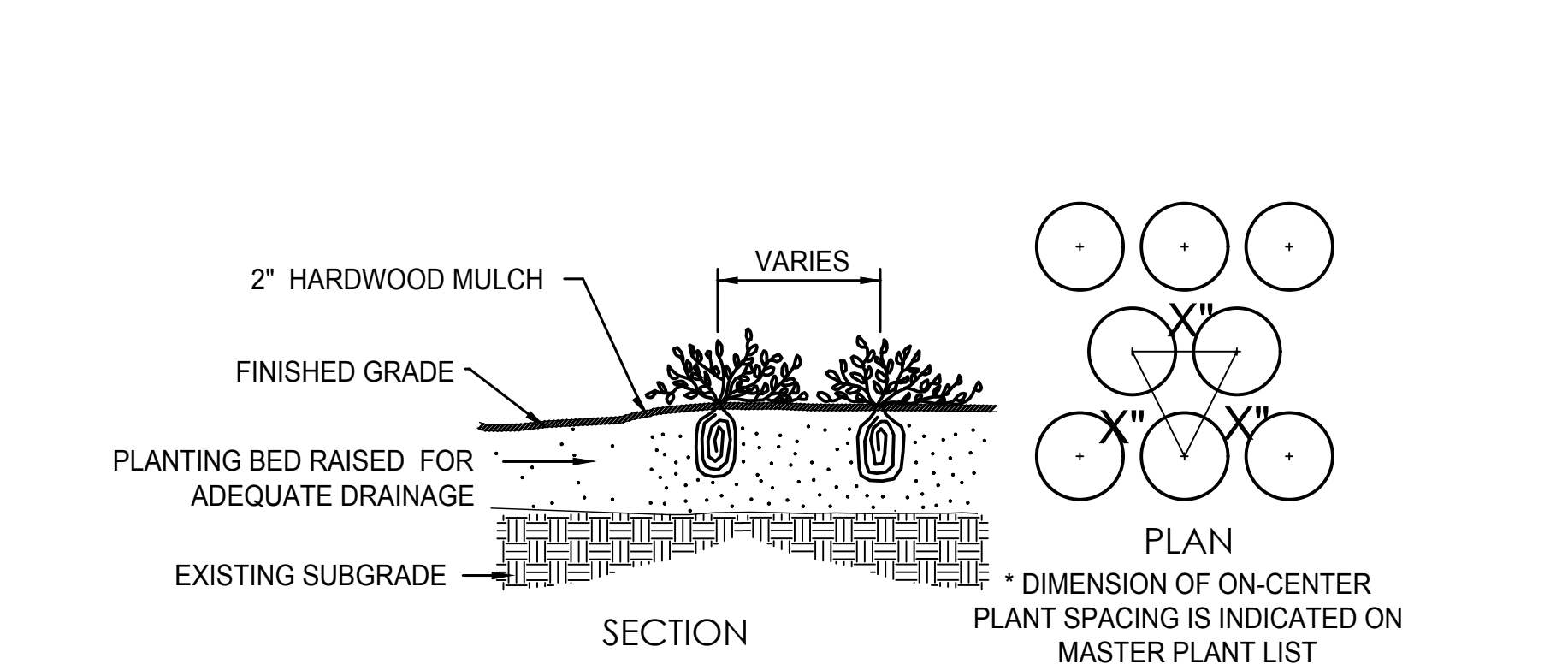
2 ORNAMENTAL TREE PLANTING DETAIL

NOT TO SCALE



3 SHRUB PLANTING DETAIL

NOT TO SCALE



4 PERENNIAL / ANNUAL PLANTING DETAIL

NOT TO SCALE

LGWorkshop,LLC

Landscape Architecture
Site Planning
Illustration

2324 W. Armitage Avenue
Chicago, IL 60647
ph. 773.697.4388
www.LGWLA.com

SEAL



EXPIRES 08/2021

PROJECT TEAM

CIVIL ENGINEER:



PROJECT NAME



16300 S. HARLEM AVE.
TINLEY PARK IL

DRAWING ISSUED

NO.	TITLE	DATE
1.	Preliminary Review	11/12/2020
2.	Per Village Comment	01/05/2021
3.	Per Village Comment	01/15/2021
4.	Per Village Comment	02/03/2021
5.	Per Village Comment	02/26/2021
6.	Plan Commission Workshop	05/27/2021

SET TYPE
LANDSCAPE PLANS

PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

SHEET TITLE
LANDSCAPE PLAN /
DETAILS & NOTES

SHEET NUMBER

L.31



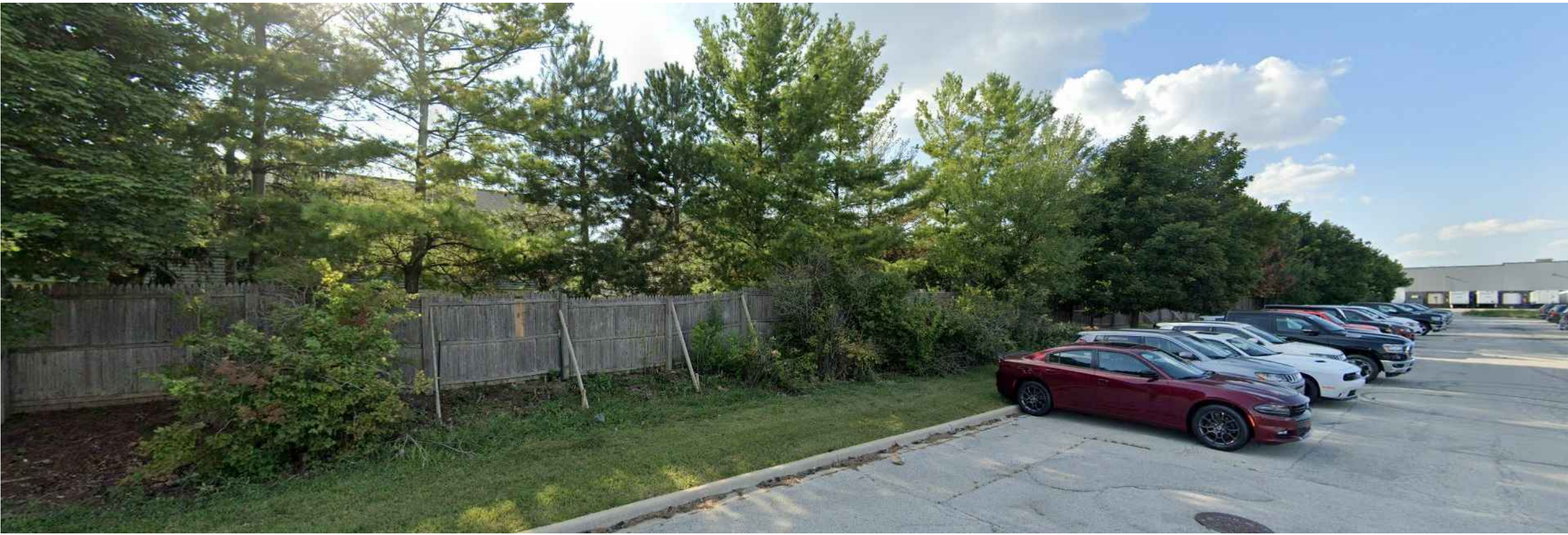
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2 EXISTING FENCE CONDITION @ NORTH DETENTION AREA NOT TO SCALE



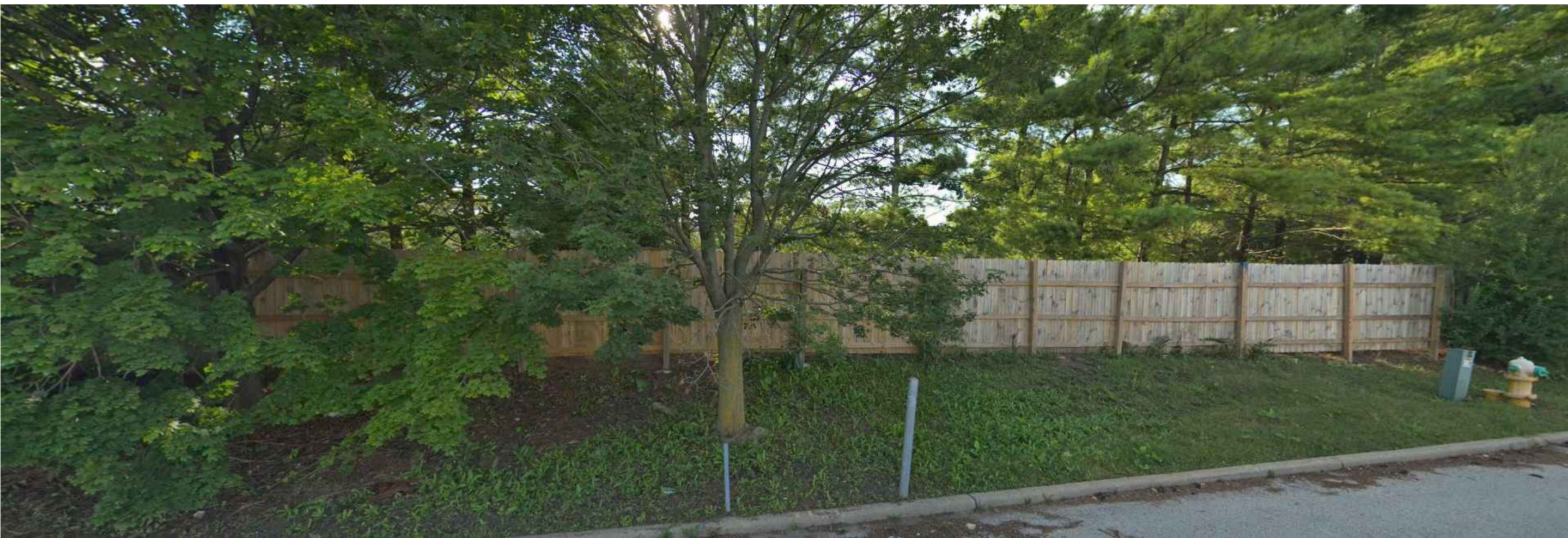
3 EXISTING FENCE CONDITION @ PEDESTRIAN CROSSING NOT TO SCALE



4 EXISTING FENCE CONDITION @ PARKING LOT - PART OF 250 LF OF REPLACEMENT FENCE NOT TO SCALE



5 EXISTING FENCE CONDITION @ PARKING LOT - PART OF 250 LF OF REPLACEMENT FENCE NOT TO SCALE



6 EXISTING FENCE CONDITION @ NORTH END NOT TO SCALE

EXISTING FENCE

THE FENCE SOUTH OF THE PEDESTRIAN ACCESS IS RELATIVELY NEW AND IN GOOD CONDITION. ALSO THE NORTHERNMOST 150' HAS BEEN REPLACED WITH NEW WITHIN THE PAST FEW YEARS.

THE FENCE TO THE NORTH OF THE PEDESTRIAN ACCESS, IS OLDER AND NEEDS SOME REPAIR. CONTRACTOR TO REPLACE ANY MISSING BOARDS, BROKEN OR LEANING POSTS AND FULL SECTIONS WHERE REQUIRED. APPROXIMATLY 250 L.F. OF FENCE REPAIR

LG

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SEAL

EXPIRES 08/2021

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SET TYPE
LANDSCAPE PLANS

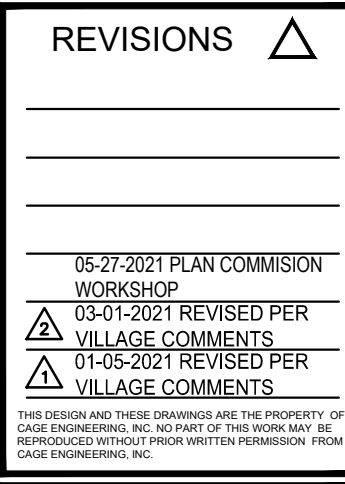
PROJECT NUMBER
2011006

DATE
11-10-2020
DRAWN BY: LCG
APPROVED BY: LCG

SHEET TITLE
EXISTING FENCE SURVEY

SHEET NUMBER

L.41



**PETE'S FRESH MARKET
REDEVELOPMENT**
16300 S. HARLEM AVE.
TINLEY PARK, IL

PROJ NO:200135

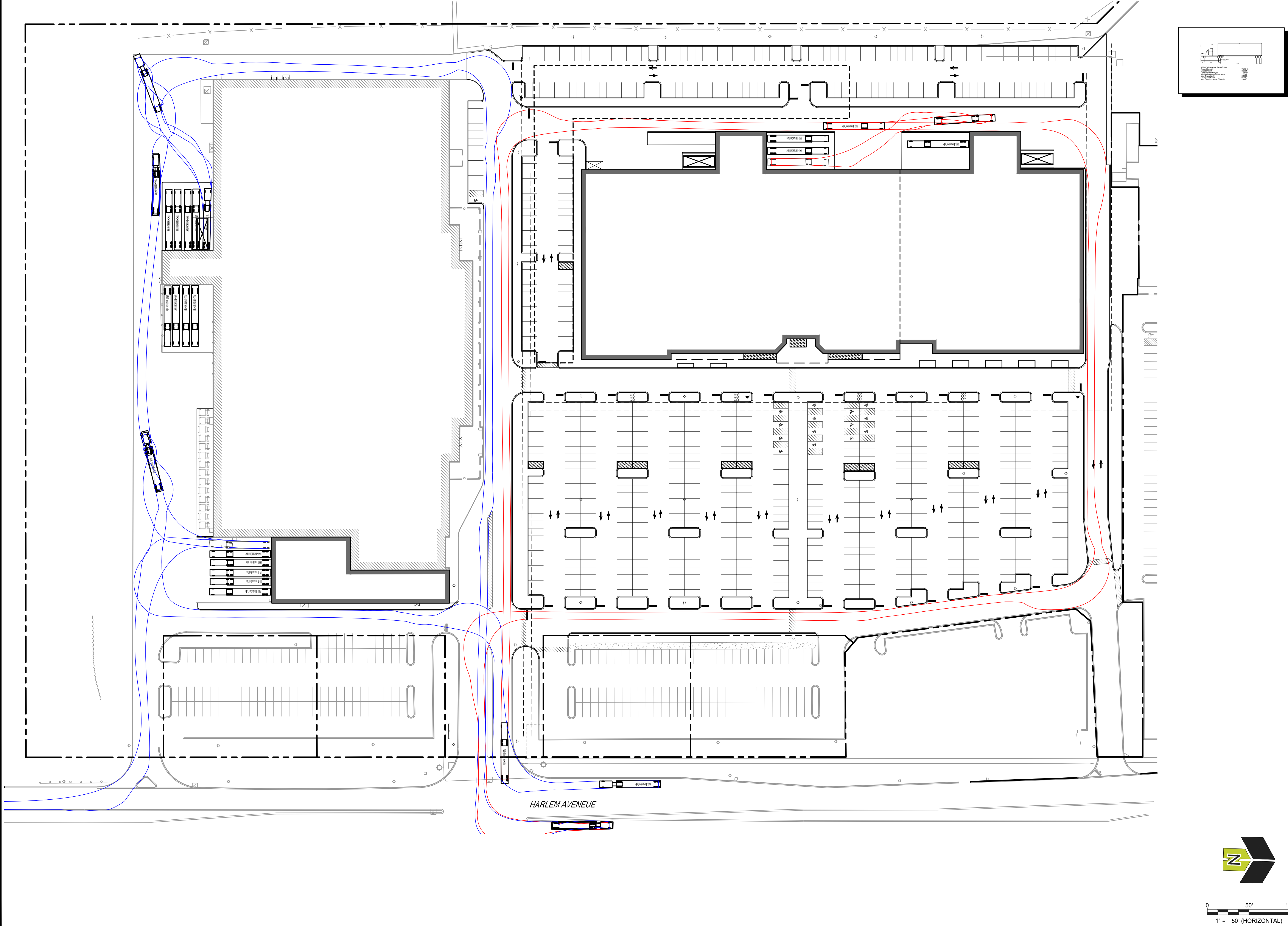
ENG : JGN




DATE : 11.13.2020

SHEET TITLE

TRUCK TURN
EXHIBIT

SHEET NUMBER
EX-1
1 OF 13





REVISIONS

05-27-2021 PLAN COMMISSION WORKSHOP

05-07-2021 REVISED PER VILLAGE COMMENTS

01-05-2021 REVISED PER VILLAGE COMMENTS

PETE'S FRESH MARKET REDEVELOPMENT

16300 S. HARLEM AVE. TINLEY PARK, IL

PROJ NO: 200135

ENG: JGN

DATE: 11.13.2020

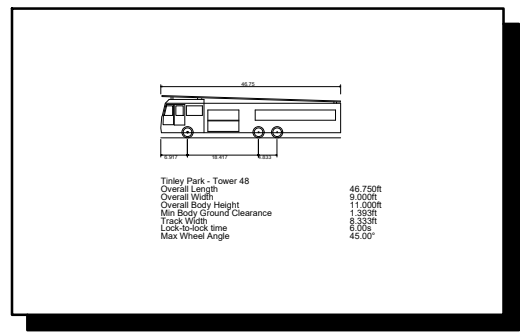
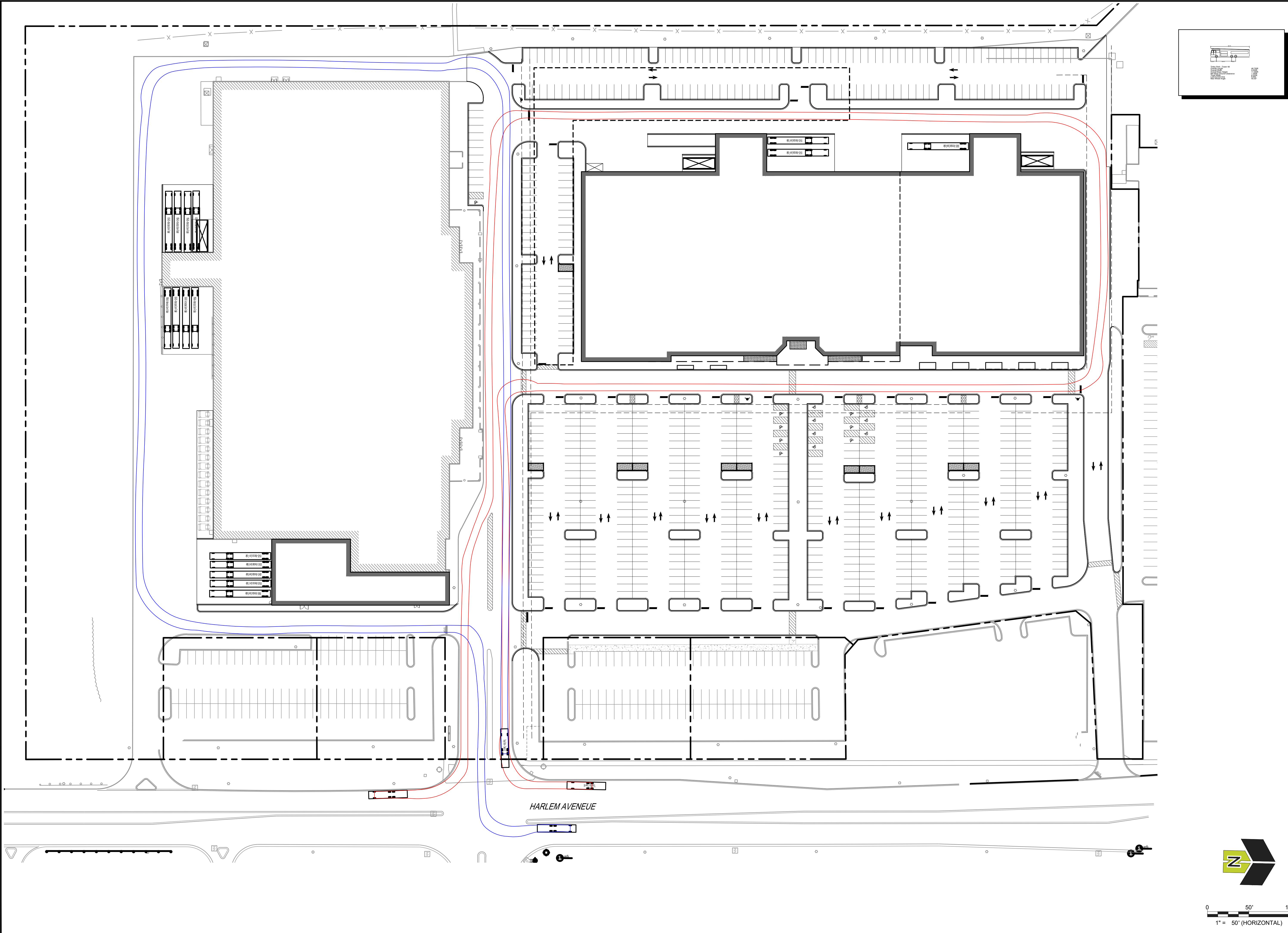
SHEET TITLE

TRUCK TURN EXHIBIT

SHEET NUMBER

EX-2

1 OF 13



0 50' 100'
1" = 50' (HORIZONTAL)



REVISIONS
05-27-2021 PLAN COMMISSION WORKSHOP
05-07-2021 REVISED PER VILLAGE COMMENTS
01-05-2021 REVISED PER VILLAGE COMMENTS

PETE'S FRESH MARKET
REDEVELOPMENT
16300 S. HARLEM AVE.
TINLEY PARK, IL

PROJ NO: 200135
ENG: JGN
DATE: 11.13.2020

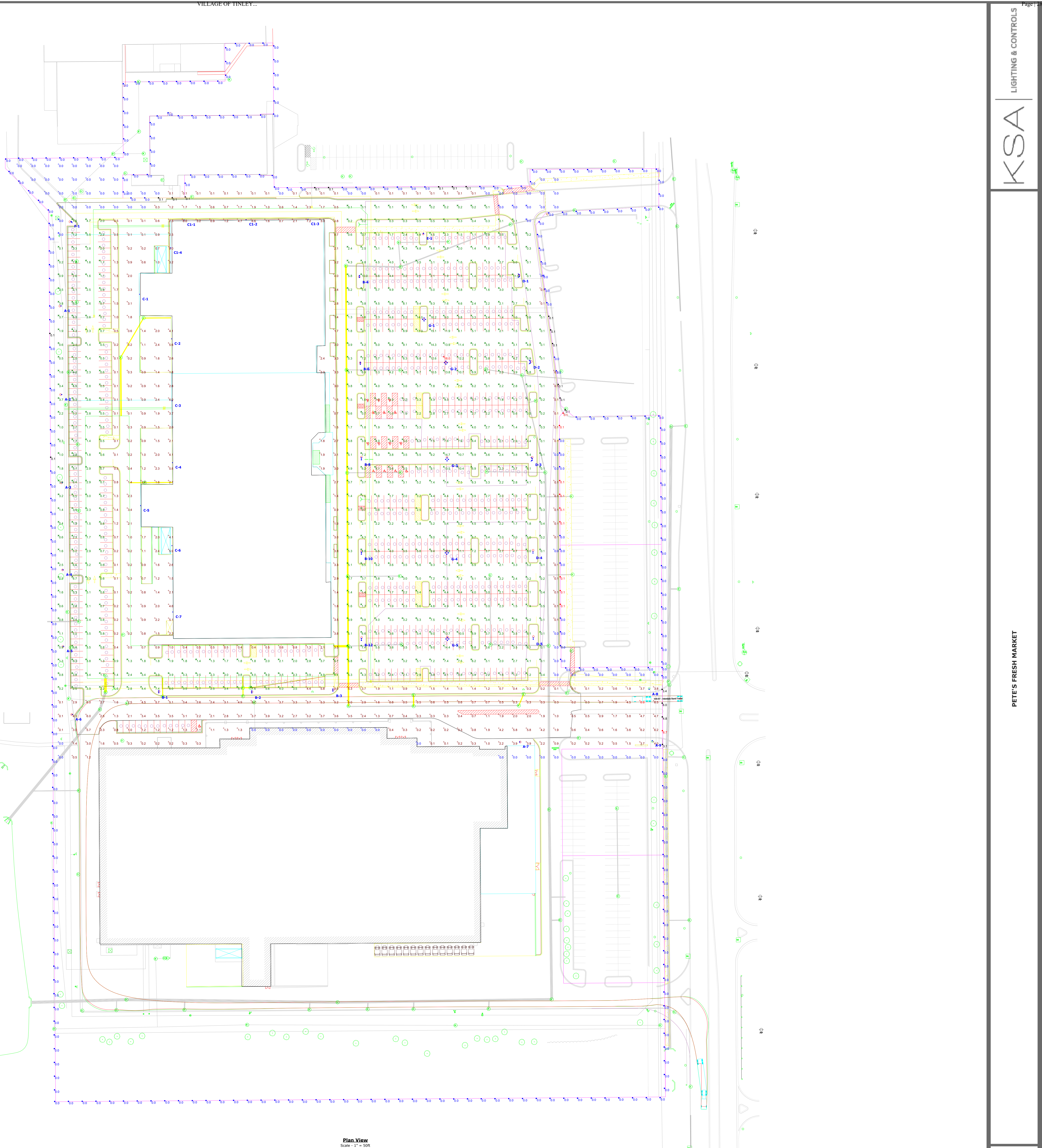
SHEET TITLE
TRUCK TURN EXHIBIT

SHEET NUMBER
EX-3
1 OF 13

Schedule	Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency	Distribut ion	Polar Plot	Notes
		A		9	Lithonia Lighting	DSX1 LED P9 40K BLC MVOLT	DSX1 LED P9 40K BLC MVOLT	LED	1	DSX1_LED_P9_40K_BLC_MVOL_T.Hes	22611	0.95	241	100%	TYPE III, SHORT, BUC RATING: B2 - U0 - G3		
		B		8	Lithonia Lighting	DSX1 LED P9 40K T3M MVOLT	DSX1 LED P9 40K T3M MVOLT	LED	1	DSX1_LED_P9_40K_T3M_MVOL_T.Hes	26790	0.95	482	100%	TYPE III, MEDIUM, BUC RATING: B3 - U0 - G4		
		C		7	Lithonia Lighting	WDOE3 LED P4 70CR1 R4 40K	WDOE3 LED WITH P4 - PERFORMANCE PACKAGE 4000K, 70CR1, TYPE 4 OPTIC		1	WDOE3_LED_P4_70CR1_R4_40K.Hes	12537	0.95	87.8914	100%	TYPE IV, SHORT, BUC RATING: B2 - U0 - G2		
		C1		4	Lithonia Lighting	WDOE3 LED P1 70CR1 R2 40K	WDOE3 LED WITH P1 - PERFORMANCE PACKAGE 4000K, 70CR1, TYPE 2 OPTIC		1	WDOE3_LED_P1_70CR1_R2_40K.Hes	7649	0.95	51.1717	100%	TYPE II, SHORT, BUC RATING: B2 - U0 - G4		
		D		5	Lithonia Lighting	[...]	[...]	[...]	1	[...]	12648.29	0.95	366	100%	[...]		
		E		1	Lithonia Lighting	DSX1 LED P9 40K T3M MVOLT HS	DSX1 LED P9 40K T3M MVOLT with louvers shade	LED	1	DSX1_LED_P9_40K_T3M_MVOL_T_HS.Hes	21708	0.95	241	100%	TYPE III, SHORT, BUC RATING: B3 - U0 - G4		
		F		1	Lithonia Lighting	DSX1 LED P9 40K LCCO MVOLT	DSX1 LED P9 40K LCCO MVOLT	LED	1	DSX1_LED_P9_40K_LCCO_MVOLT.Hes	16825	0.95	241	100%	TYPE I, MEDIUM, BUC RATING: B2 - U0 - G4		
		G		5	Lithonia Lighting	DSX1 LED P9 40K T3M MVOLT	DSX1 LED P9 40K T3M MVOLT	LED	1	DSX1_LED_P9_40K_T3M_MVOL_T.Hes	26790	0.95	964	100%	TYPE III, MEDIUM, BUC RATING: B3 - U0 - G4		

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #4	+	1.6 ft	6.6 ft	0.0 ft	N/A	N/A
Calc Zone Entry Site	+	2.7 ft	18.0 ft	0.0 ft	N/A	N/A
Calc Zone Parking Area	+	2.6 ft	18.0 ft	0.0 ft	N/A	N/A
Calc Zone Property Boundary	+	0.1 ft	6.7 ft	0.0 ft	N/A	N/A
Calc Zone Property Lot Line	+	0.0 ft	0.1 ft	0.0 ft	N/A	N/A

Luminaire Locations						
No.	Label	X	Y	Height	Orientation	Tilt
1	A	27.60	1158.80	25.00	90.00	0.00
2	A	28.60	1030.00	25.00	90.00	0.00
3	A	29.20	901.80	25.00	90.00	0.00
4	A	30.50	775.20	25.00	90.00	0.00
5	A	31.40	663.90	25.00	90.00	0.00
6	A	44.20	564.70	25.00	90.00	0.00
7	A	695.40	523.80	25.00	0.00	0.00
8	A	883.50	602.50	25.00	180.00	0.00
9	A	888.10	525.50	25.00	0.00	0.00
10	B	170.80	597.80	25.00	0.00	0.00
11	B	396.00	597.60	25.00	0.00	0.00
12	B	423.90	660.30	25.00	0.00	0.00
13	B	462.50	1201.70	25.00	0.00	0.00
14	B	463.80	1075.40	25.00	0.00	0.00
15	B	465.30	936.50	25.00	0.00	0.00
16	B	465.30	799.40	25.00	0.00	0.00
17	B	465.30	674.00	25.00	0.00	0.00
18	B	465.30	548.60	25.00	0.00	0.00
19	B	465.30	423.20	25.00	0.00	0.00
20	B	465.30	297.80	25.00	0.00	0.00
21	C	142.80	1175.80	20.00	270.00	0.00
22	C	189.40	1111.00	20.00	270.00	0.00
23	C	190.20	1021.00	20.00	270.00	0.00
24	C	190.70	931.00	20.00	270.00	0.00
25	C	145.30	866.50	20.00	270.00	0.00
26	C	189.90	810.30	20.00	270.00	0.00
27	C	151.10	713.80	20.00	270.00	0.00
28	C1	207.70	1283.90	18.00	0.00	0.00
29	C1	297.70	1284.20	18.00	0.00	0.00
30	C1	387.70	1284.90	18.00	0.00	0.00
31	C1	188.30	1243.30	18.00	270.00	0.00
32	D	694.90	1202.90	25.00	0.00	0.00
33	D	710.90	1077.30	25.00	0.00	0.00
34	D	713.60	936.80	25.00	0.00	0.00
35	D	715.70	800.50	25.00	0.00	0.00
36	D	715.10	675.10	25.00	0.00	0.00
37	E	950.50	1265.40	25.00	180.00	0.00
38	F	42.30	1281.50	25.00	90.00	0.00
39	G	556.40	1130.30	25.00	0.00	0.00
40	G	588.10	1070.70	25.00	0.00	0.00
41	G	589.80	935.70	25.00	0.00	0.00
42	G	589.40	799.80	25.00	0.00	0.00
43	G	590.30	674.60	25.00	0.00	0.00



Plan View
Scale: 1" = 50'



D-Series Size 1

LED Area Luminaire



Catalog
Number

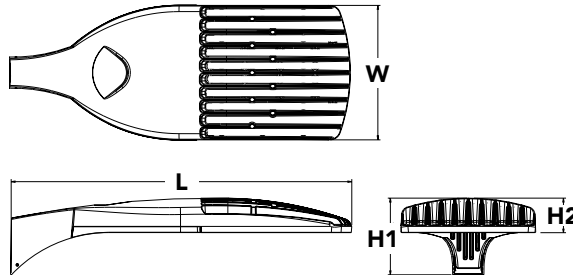
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	30K 3000 K	T1S Type I short	MVOLT ⁵ 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included
	P1 P4 ¹ P7 ¹	40K 4000 K	T5VS Type V very short ³		SPA Square pole mounting
	P2 P5 ¹ P8	50K 5000 K	T5S Type V short ³		RPA Round pole mounting ⁷
	P3 P6 ¹ P9 ¹		T5M Type V medium ³		WBA Wall bracket ³
	Rotated optics		T5W Type V wide ³		SPUMBA Square pole universal mounting adaptor ⁸
	P10 ² P12 ²		BLC Backlight control ⁴		RPUMBA Round pole universal mounting adaptor ⁸
	P11 ² P13 ^{1,2}		LCCO Left corner cutoff ⁴		
			RCCO Right corner cutoff ⁴		Shipped separately
					KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹
			TFTM Forward throw medium		

Control options			Other options	Finish <i>(required)</i>
Shipped installed			Shipped installed	
NLTAIR2	nLight AIR generation 2 enabled ¹⁰	PIR	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 5fc ^{17,18}	DDBXD Dark bronze
PIRHN	Network, high/low motion/ambient sensor ¹¹	PIRH	High/low, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 5fc ^{17,18}	DBLXD Black
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹²	PIR1FC3V	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 1fc ^{17,18}	DNAXD Natural aluminum
PER5	Five-pin receptacle only (controls ordered separate) ^{12,13}	PIRH1FC3V	Bi-level, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 1fc ^{17,18}	DWHXD White
PER7	Seven-pin receptacle only (controls ordered separate) ^{12,13}	FAO	Field adjustable output ^{17,19}	DDBTXD Textured dark bronze
DMG	0–10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁴			DBLBXD Textured black
DS	Dual switching ^{15,16,17}			DNATXD Textured natural aluminum
				DWHGXD Textured white
			Shipped separately	
			BS Bird spikes ²¹	
			EGS External glare shield	



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX1-LED

Rev. 07/30/20

Page 1 of 8

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK U	Shorting cap ²²
DSX1HS 30C U	House-side shield for P1, P2, P3, P4 and P5 ²⁰
DSX1HS 40C U	House-side shield for P6 and P7 ²⁰
DSX1HS 60C U	House-side shield for P8, P9, P10, P11 and P12 ²⁰
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁹
DSX1EGS (FINISH) U	External glare shield

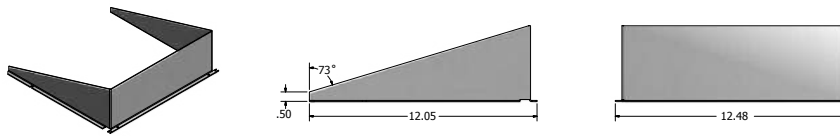
For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- HA not available with P4, P5, P6, P7, P9 and P13.
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- Requires (2) separately switched circuits with isolated neutral.
- Reference Controls Option Default settings table on page 4.
- Reference Motion Sensor table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Control Option Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

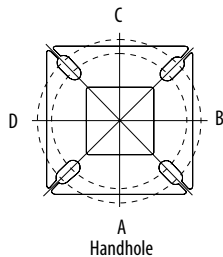
Options

EGS - External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

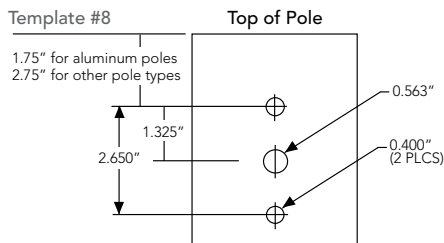
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

DSX1 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

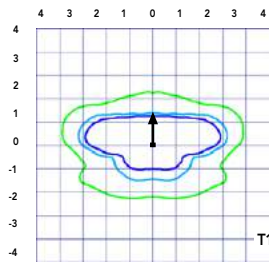
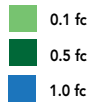
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

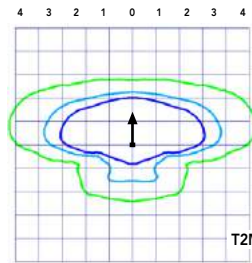


Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

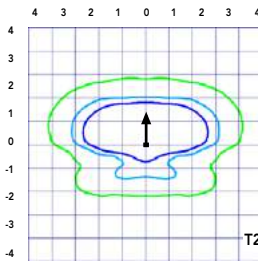
LEGEND



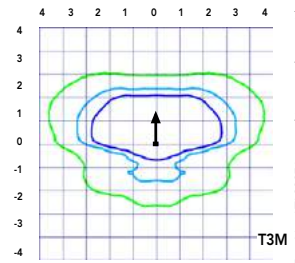
Test No. LTL23211 tested in accordance with IESNA LM-79-08.



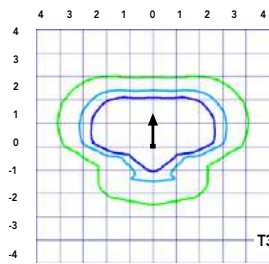
Test No. LTL23164B tested in accordance with IESNA LM-79-08.



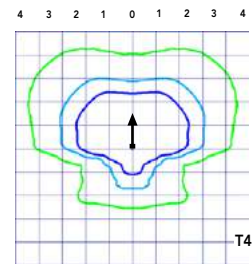
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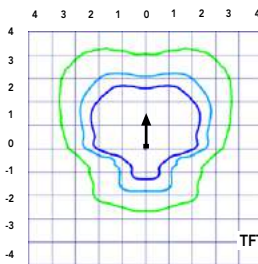
Test No. LTL23271 tested in accordance with IESNA LM-79-08.



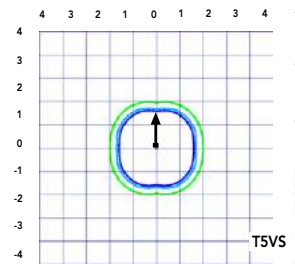
Test No. LTL23211 tested in accordance with IESNA LM-79-08.



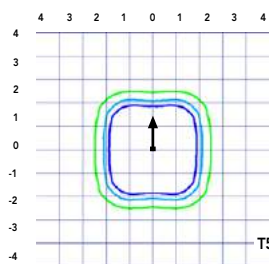
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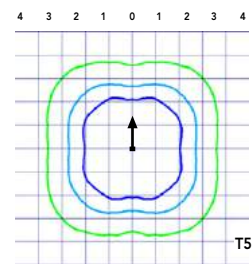
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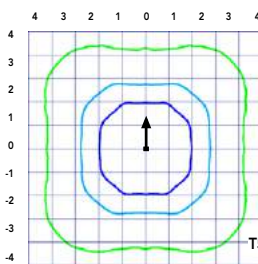
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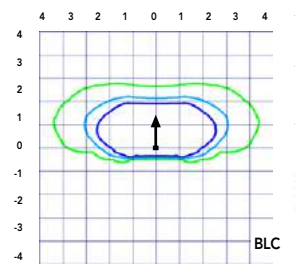
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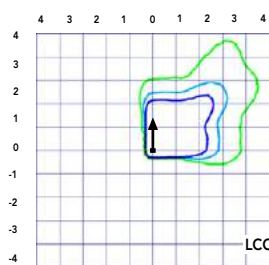
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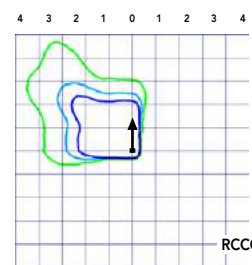
Test No. LTL23222 tested in accordance with IESNA LM-79-08.



Test No. LTL23271 tested in accordance with IESNA LM-79-08.



Test No. LTL23211 tested in accordance with IESNA LM-79-08.



Test No. LTL23164B tested in accordance with IESNA LM-79-08.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

					Current (A)					
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FA0	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FA0 device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136
				TSS	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136
				TSM	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136
				TSW	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129
				T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128
				T2M	8,283	2	0	2	118	8,923	2	0	2	127	9,036	2	0	2	129
				T3S	8,021	2	0	2	115	8,641	2	0	2	123	8,751	2	0	2	125
				T3M	8,263	2	0	2	118	8,901	2	0	2	127	9,014	2	0	2	129
				T4M	8,083	2	0	2	115	8,708	2	0	2	124	8,818	2	0	2	126
				TFTM	8,257	2	0	2	118	8,896	2	0	2	127	9,008	2	0	2	129
				TSVS	8,588	3	0	0	123	9,252	3	0	0	132	9,369	3	0	0	134
				TSS	8,595	3	0	1	123	9,259	3	0	1	132	9,376	3	0	1	134
				TSM	8,573	3	0	2	122	9,236	3	0	2	132	9,353	3	0	2	134
				TSW	8,517	3	0	2	122	9,175	4	0	2	131	9,291	4	0	2	133
				BLC	6,770	1	0	2	97	7,293	1	0	2	104	7,386	1	0	2	106
				LCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
				RCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
30	1050	P3	102W	T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125
				T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125
				T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130
				TSS	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130
				TSM	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130
				TSW	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117
				T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117
				T2M	13,490	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118
				T3S	13,064	3	0	3	105	14,074	3	0	3	113	14,252	3	0	3	114
				T3M	13,457	2	0	2	108	14,497	2	0	2	116	14,681	2	0	2	117
				T4M	13,165	2	0	3	105	14,182	2	0	3	113	14,362	2	0	3	115
				TFTM	13,449	2	0	3	108	14,488	2	0	3	116	14,672	2	0	3	117
				TSVS	13,987	4	0	1	112	15,068	4	0	1	121	15,259	4	0	1	122
				TSS	13,999	3	0	1	112	15,080	3	0	1	121	15,271	3	0	1	122
				TSM	13,963	4	0	2	112	15,042	4	0	2	120	15,233	4	0	2	122
				TSW	13,872	4	0	3	111	14,944	4	0	3	120	15,133	4	0	3	121
				BLC	11,027	1	0	2	88	11,879	1	0	2	95	12,029	1	0	2	96
				LCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
				RCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
30	1400	P5	138W	T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116
				T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116
				T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121
				TSS	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121
				TSM	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121
				TSW	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71
				RCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
				T2S	19,206	3	0	3	105	20,690	3	0	3	113	20,952	3	0	3	114
				T2M	19,305	3	0	3	105	20,797	3	0	3	114	21,060	3	0	3	115
				T3S	18,696	3	0	3	102	20,141	3	0	3	110	20,396	3	0	4	111
				T3M	19,258	3	0	3	105	20,746	3	0	3	113	21,009	3	0	3	115
				T4M	18,840	3	0	4	103	20,296	3	0	4	111	20,553	3	0	4	112
				TFTM	19,246	3	0	4	105	20,734	3	0	4	113	20,996	3	0	4	115
				TSVS	20,017	4	0	1	109	21,564	4	0	1	118	21,837	4	0	1	119
				T5S	20,033	4	0	2	109	21,581	4	0	2	118	21,854	4	0	2	119
				T5M	19,983	4	0	2	109	21,527	5	0	3	118	21,799	5	0	3	119
				T5W	19,852	5	0	3	108	21,386	5	0	3	117	21,656	5	0	3	118
				BLC	15,780	2	0	3	86	16,999	2	0	3	93	17,214	2	0	3	94
				LCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
				RCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
60	1050	P8	207W	T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119
				T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116
				T2S	25,548	3	0	4	106	27,522	3	0	4	114	27,871	3	0	4	116
				T2M	25,680	3	0	3	107	27,664	3	0	3	115	28,014	3	0	3	116
				T3S	24,870	3	0	4	103	26,791	3	0	4	111	27,130	3	0	4	113
				T3M	25,617	3	0	4	106	27,597	3	0	4	115	27,946	3	0	4	116
				T4M	25,061	3	0	4	104	26,997	3	0	4	112	27,339	3	0	4	113
				TFTM	25,602	3	0	4	106	27,580	3	0	4	114	27,929	3	0	4	116
				TSVS	26,626	5	0	1	110	28,684	5	0	1	119	29,047	5	0	1	121
				T5S	26,648	4	0	2	111	28,707	5	0	2	119	29,070	5	0	2	121
				T5M	26,581	5	0	3	110	28,635	5	0	3	119	28,997	5	0	3	120
				T5W	26,406	5	0	4	110	28,447	5	0	4	118	28,807	5	0	4	120
				BLC	20,990	2	0	3	87	22,612	2	0	3	94	22,898	2	0	3	95
				LCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71
				RCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138
				TSS	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136
				TSM	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80
60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134
				TSVS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135
				TSS	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134
				TSM	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134
				TSW	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79
60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121
				T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124
				TSS	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123
				TSM	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72
60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121
				T3S	24,862	5	0	5	108	26,783	5	0	5	116	27,122	5	0	5	117
				T3M	25,695	5	0	5	111	27,680	5	0	5	120	28,031	5	0	5	121
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122
				TSVS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123
				TSS	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122
				TSM	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122
				TSW	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72
				RCCO	15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



WDGE3 LED

Architectural Wall Sconce

Catalog
Number

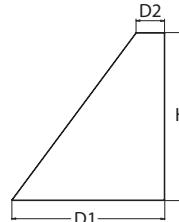
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs
 (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	MVOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	347 ¹	SRM Surface mounting bracket
	P3	50K 5000K		R4 Type 4	480 ¹	ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁴
	P4			RFT Forward Throw		
						Shipped separately
						AWS 3/8inch Architectural wall spacer
						PBBW Surface-mounted back box (top, left, right conduit entry)

Options				Finish	
E15WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min)	Standalone Sensors/Controls		DDBXD	Dark bronze
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.		DBLXD	Black
PE ²	Photocell, Button Type	PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching		DNAXD	Natural aluminum
DMG ³	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.		DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.		DSSXD	Sandstone
SPD10KV	10kV Surge pack	Networked Sensors/Controls		DDBTXD	Textured dark bronze
		NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.		DBLBXD	Textured black
		NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.		DNATXD	Textured natural aluminum
		See page 4 for out of box functionality		DWHGXD	Textured white
				DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE3PBBW DDBXD U	WDGE3 surface-mounted back box (specify finish)

NOTES

- 347V and 480V not available with E15WH and E20WC.
- PE not available in 480V and with sensors/controls.
- DMG option not available with sensors/controls.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE3 LED
 Rev. 11/16/20

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	52W	R2	7,037	136	1	0	1	7,649	148	2	0	1	7,649	148	2	0	1
		R3	6,922	134	1	0	2	7,524	145	1	0	2	7,524	145	1	0	2
		R4	7,133	138	1	0	2	7,753	150	1	0	2	7,753	150	1	0	2
		RFT	6,985	135	1	0	2	7,592	147	1	0	2	7,592	147	1	0	2
P2	59W	R2	7,968	135	2	0	1	8,661	147	2	0	1	8,661	147	2	0	1
		R3	7,838	133	1	0	2	8,519	144	1	0	2	8,519	144	1	0	2
		R4	8,077	137	1	0	2	8,779	149	1	0	2	8,779	149	1	0	2
		RFT	7,909	134	1	0	2	8,597	146	2	0	2	8,597	146	2	0	2
P3	71W	R2	9,404	132	2	0	1	10,221	143	2	0	1	10,221	143	2	0	1
		R3	9,250	130	2	0	2	10,054	141	2	0	2	10,054	141	2	0	2
		R4	9,532	134	2	0	2	10,361	145	2	0	2	10,361	145	2	0	2
		RFT	9,334	131	2	0	2	10,146	142	2	0	2	10,146	142	2	0	2
P4	88W	R2	11,380	129	2	0	1	12,369	140	2	0	1	12,369	140	2	0	1
		R3	11,194	127	2	0	2	12,167	138	2	0	2	12,167	138	2	0	2
		R4	11,535	131	2	0	2	12,538	142	2	0	2	12,538	142	2	0	2
		RFT	11,295	128	2	0	2	12,277	139	2	0	2	12,277	139	2	0	2

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	52W	0.437	0.246	0.213	0.186	0.150	0.110
P2	59W	0.498	0.287	0.251	0.220	0.175	0.126
P3	71W	0.598	0.344	0.300	0.262	0.210	0.152
P4	88W	0.727	0.424	0.373	0.333	0.260	0.190

Lumen Output in Emergency Mode (4000K, 70 CRI)

Option	Dist. Type	Lumens
E15WH	R2	3,185
	R3	3,133
	R4	3,229
	RFT	3,162
E20WC	R2	3,669
	R3	3,609
	R4	3,719
	RFT	3,642

Lumen Multiplier for 80CRI

CCT	Multiplier
30K	0.891
40K	0.906
50K	0.906

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

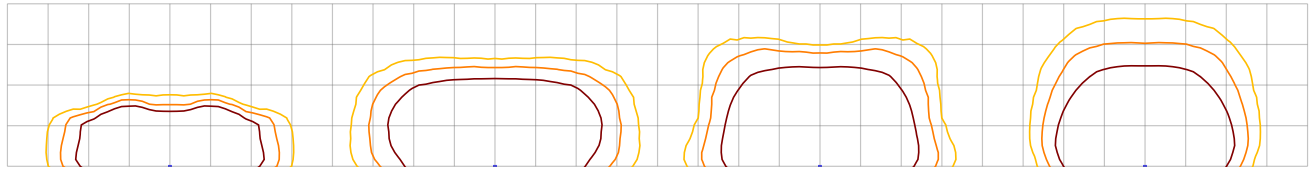
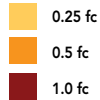
Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.98	>0.97	>0.92

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.
Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 15ft
Grid = 15ft x 15ft

WDGE3 LED P3 40K 70CRI R2

WDGE3 LED P3 40K 70CRI R3

WDGE3 LED P3 40K 70CRI R4

WDGE3 LED P3 40K 70CRI RFT

Emergency Egress Options

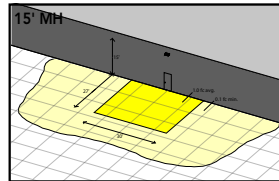
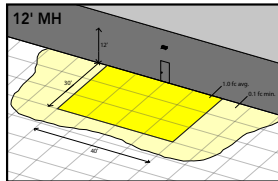
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain, minimum of 60% of the light output at the end of 90 minutes.

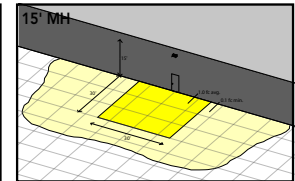
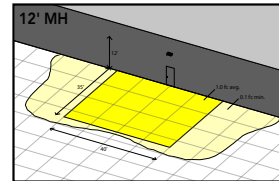
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E15WH or E20WC and R4 distribution.

Grid = 10ft x 10ft



WDGE3 LED xx 40K 70CRI R4 MVOLT E15WH



WDGE3 LED xx 40K 70CRI R4 MVOLT E20WC

Motion/Ambient Sensor (PIR, PIRH)

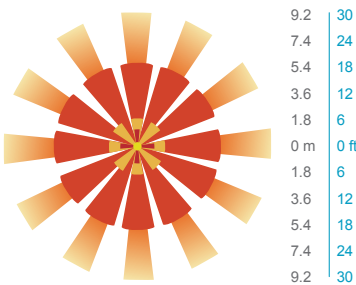
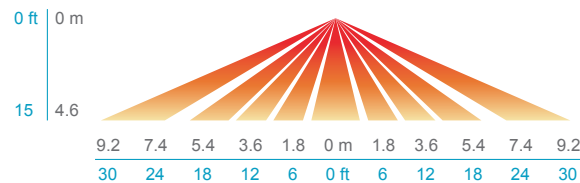
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

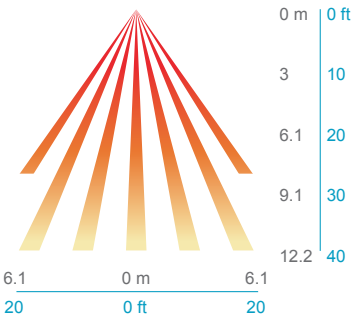
PIR

HIGH VIEW

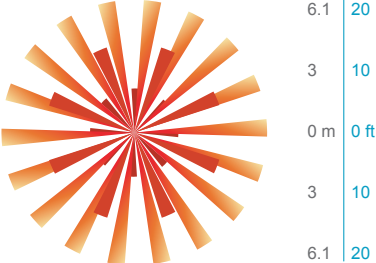


PIRH

SIDE VIEW



TOP VIEW



Motion/Ambient Sensor Default Settings

Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



**NLTAIR2 PIR – nLight AIR
Motion/Ambient Sensor**

D = 8"
H = 11"
W = 18"



PBBW – Surface-Mounted Back Box

D = 1.75"
H = 9"
W = 18"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



FEATURES & SPECIFICATIONS

INTENDED USE — Only customers in USA are eligible for this program.

Square Straight Steel is a general purpose light pole for up to 25-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — Pole Shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .12"), or 50 KSI (7-gauge, .18"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4" and 5".

Pole Top: A flush non-metallic black top cap is provided for all poles ordered without a tenon.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A color matched durable ABS plastic two-piece full base cover, is provided with each pole assembly.

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Exterior parts are protected by a TGIC or Urethane polyester powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. Extra durable standard powder-coat finishes include Dark Bronze, Black and Natural Aluminum colors.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Notes

Type



SSS QS

SQUARE STRAIGHT STEEL – QUICK SHIP

ORDERING INFORMATION

Example: SSS QS 20 4C DM19AS DDBXD

SSS	QS					
Series	Quick Ship	Pole Length (FT)	Nominal shaft size/ wall thickness¹	Mounting	Finish	Options
SSS	QS	10 10' 12 12' 14 14' 16 16' 18 18' 20 20' 25 25'	4C 4" / 11 Gauge 4G 4" / 7 Gauge 5C 5" / 11 Gauge 5G 5" / 7 Gauge	<u>Tenon mounting</u> PT Open top (includes top cap) T20 2-3/8" O.D. (2" NPS) <u>DSX/R SX Drill mounting²</u> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90°	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum	L/AB Less anchor bolts (Include when anchor bolts are not provided)

PROGRAM RULES:

- Only options listed in the ordering tree are valid for the Quick Ship program.
- Nomenclature must include "QS" after "SSS" to be qualified for Quick Ship.
Example: SSS QS 20 4C DM19AS DDBXD
- Total order quantity cannot exceed 10 poles.
- Anchor bolts will be shipped separately.
- Quick Ship orders cannot have "Not Before Date" or "Ship Date".
- Quick ship orders cannot have standard pole lines.
- All pole orders must include "Call Before Number" to avoid delays.

NOTES:

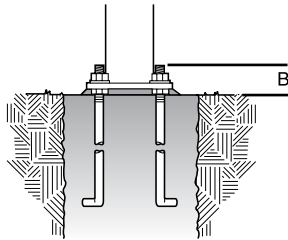
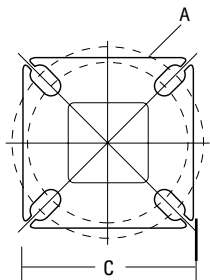
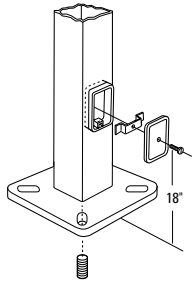
- Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.12" | "G" - 0.18".
- Refer to the luminaire spec sheet for the correct drilling template pattern and orientation compatibility.

TECHNICAL INFORMATION — EPA (ft2) with 1.3 gust

Catalog Number	Nominal Shaft Length (ft.)	Pole Shaft Size (Base in. x Top in. x ft.)	Wall thick (in)	Gauge	EPA (ft ²) with 1.3 gust						Bolt circle (in)	Bolt size (in. x in. x in.)	Approximate ship weight (lbs.)
					80 MPH	Max. weight	90 MPH	Max. weight	100 MPH	Max. weight			
SSS QS 10 4C	10	4.0 x 10.0	0.1196	11	30.6	765	23.8	595	18.9	473	8-9	3/4 x 18 x 3	75
SSS QS 12 4C	12	4.0 x 12.0	0.1196	11	24.4	610	18.8	470	14.8	370	8-9	3/4 x 18 x 3	90
SSS QS 14 4C	14	4.0 x 14.0	0.1196	11	19.9	498	15.1	378	11.7	293	8-9	3/4 x 18 x 3	100
SSS QS 16 4C	16	4.0 x 16.0	0.1196	11	15.9	398	11.8	295	8.9	223	8-9	3/4 x 18 x 3	115
SSS QS 18 4C	18	4.0 x 18.0	0.1196	11	12.6	315	9.2	230	6.7	168	8-9	3/4 x 18 x 3	125
SSS QS 20 4C	20	4.0 x 20.0	0.1196	11	9.6	240	6.7	167	4.5	150	8-9	3/4 x 18 x 3	140
SSS QS 20 4G	20	4.0 x 20.0	0.1793	7	14	350	11	275	8	200	8-9	3/4 x 30 x 3	198
SSS QS 20 5C	20	5.0 x 20.0	0.1196	11	17.7	443	12.7	343	9.4	235	10-12	1 x 36 x 4	185
SSS QS 20 5G	20	5.0 x 20.0	0.1793	7	28.1	703	21.4	535	16.2	405	10-12	1 x 36 x 4	265
SSS QS 25 4C	25	4.0 x 25.0	0.1196	11	4.8	150	2.6	100	1	50	8-9	3/4 x 18 x 3	170
SSS QS 25 4G	25	4.0 x 25.0	0.1793	7	10.8	270	7.7	188	5.4	135	8-9	3/4 x 30 x 3	245
SSS QS 25 5C	25	5.0 x 25.0	0.1196	11	9.8	245	6.3	157	3.7	150	10-12	1 x 36 x 4	225
SSS QS 25 5G	25	5.0 x 25.0	0.1793	7	18.5	463	13.3	333	9.5	238	10-12	1 x 36 x 4	360

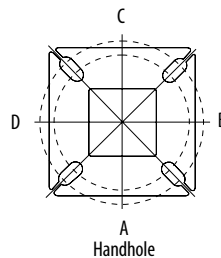
* EPA values are based on ASCE 7-93 wind map.

BASE DETAIL



POLE DATA						
Shaft base size	Bolt circle A	Bolt projection B	Base diameter C	Base plate thickness	Anchor bolt and template number	Anchor bolt description
4"C	8" – 9"	3.25"– 3.75"	8"– 8.25"	0.75"	ABSSS-4C	3/4"x18"x3"
4"G	8" – 9"	3.38"– 3.75"	8"– 8.25"	0.875"	ABSSS-4G	3/4"x30"x3"
5"	10" – 12"	3.5"– 4"	11"	1"	ABSSS-5	1"x36"x4"

HANDHOLE ORIENTATION



Default DM19AS is on side B.

IMPORTANT INSTALLATION NOTES:

- **Do not** erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

PLAT OF VACATION

OF THE PUBLIC UTILITY AND DRAINAGE EASEMENT
DESCRIBED AS FOLLOWS:

BEING A PART OF LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 4 IN SUPER-K SUBDIVISION, THENCE ON A BEARING NORTH 89 DEGREES 59 MINUTES 35 SECONDS EAST A DISTANCE 30.00 FEET ALONG THE SOUTH PROPERTY LINE OF LOT 4 TO THE POINT OF BEGINNING; THENCE ON A BEARING OF NORTH 00 DEGREES 00 MINUTES 25 SECONDS WEST A DISTANCE OF 10.00 FEET; THENCE ON A BEARING OF NORTH 89 DEGREES 59 MINUTES 35 SECONDS EAST A DISTANCE OF 248.01 FEET; THENCE ON A BEARING OF NORTH 00 DEGREES 00 MINUTES 25 SECONDS WEST A DISTANCE OF 19.63 FEET; THENCE ON A BEARING OF NORTH 89 DEGREES 59 MINUTES 35 SECONDS EAST A DISTANCE OF 92.46 FEET; THENCE ON A BEARING OF SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST A DISTANCE OF 49.63 FEET; THENCE ON A BEARING OF SOUTH 89 DEGREES 59 MINUTES 35 SECONDS WEST A DISTANCE OF 340.46 FEET; THENCE ON A BEARING OF NORTH 00 DEGREES 00 MINUTES 25 SECONDS WEST A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

EXISTING LOT IDENTIFICATION NO.
P.I.N. 27-24-202-020-0000 AND 27-24-202-021-0000

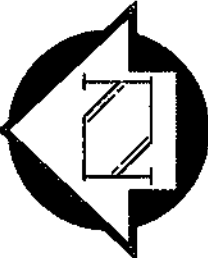
EASEMENT TO BE VACATED



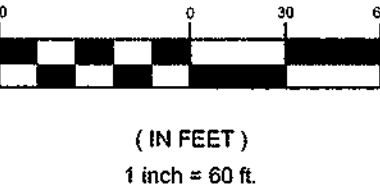
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: jas@jaseng.com http://www.jaseng.com



GRAPHIC SCALE



BASIS OF BEARINGS
ARE BASED ON BEARINGS SHOWN ON THE PLAT OF SUBDIVISION OF
SUPER-K SUBDIVISION.

OWNERS CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF COOK }

163rd & HARLEM LLC, does hereby certify that it is the Owner of the hereon described property and that it, as such Owner, has caused the said property to be surveyed and easements to be vacated as shown on the hereon drawn plat.

Dated This _____ day of _____, A.D. 2021.

163rd AND HARLEM LLC
4333 SOUTH PULASKI ROAD
CHICAGO, IL 60632

By: _____

Title: _____

NOTARY PUBLIC

STATE OF ILLINOIS } SS
COUNTY OF COOK }

I, _____, a Notary Public in and for the County in the State aforesaid, do hereby certify that _____, of 163rd AND HARLEM LLC, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day and acknowledged that they signed and delivered the foregoing instrument as their own free and voluntary act and as the free and voluntary act of said Limited Liability Company.

Given under my hand and Notarial seal this _____ day of _____, A.D. 2021.

Notary Public
My commission expires: _____

BOARD OF TRUSTEES APPROVAL

Approved and accepted this _____ day of _____, A.D. 2021, by the President and Board of Trustees of the Village of Tinley Park, Cook County, Illinois.

By: _____
Village President

ATTEST: _____
Village Clerk

VACATION OF PUBLIC UTILITY AND DRAINAGE EASEMENT ACCEPTANCE CERTIFICATE

The Approving Authorities on signing this document hereby release and consent to the release Vacation and Abrogation of the Public Utility and Drainage easement (Shown Hereon)

VACATION OF PUBLIC UTILITY AND DRAINAGE EASEMENT ACCEPTANCE CERTIFICATE

ACCEPTED: _____ DATE: _____
NICOR, INC.

PRINTED NAME AND TITLE

ACCEPTED: _____ DATE: _____
COMMONWEALTH EDISON COMPANY

PRINTED NAME AND TITLE

ACCEPTED: _____ DATE: _____
AT & T, INC.

PRINTED NAME AND TITLE

ACCEPTED: _____ DATE: _____
COMCAST CORPORATION

PRINTED NAME AND TITLE

ACCEPTED: _____ DATE: _____
ABBEE WOODS HOMEOWNERS ASSOCIATION

PRINTED NAME AND TITLE

ACCEPTED: _____ DATE: _____

PLAN COMMISSION WORK SHOP SUBMITTAL 5 27 21

STATE OF ILLINOIS }
COUNTY OF WILL } SS.

THIS IS TO CERTIFY THAT WE, JOSEPH A. SCHUDT & ASSOCIATES, HAVE SURVEYED AND PLATTED THE ABOVE DESCRIBED PROPERTY FOR THE PURPOSE OF VACATING A PORTION OF THE EASEMENT AS SHOWN HEREON, AND THAT THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID PROPERTY.

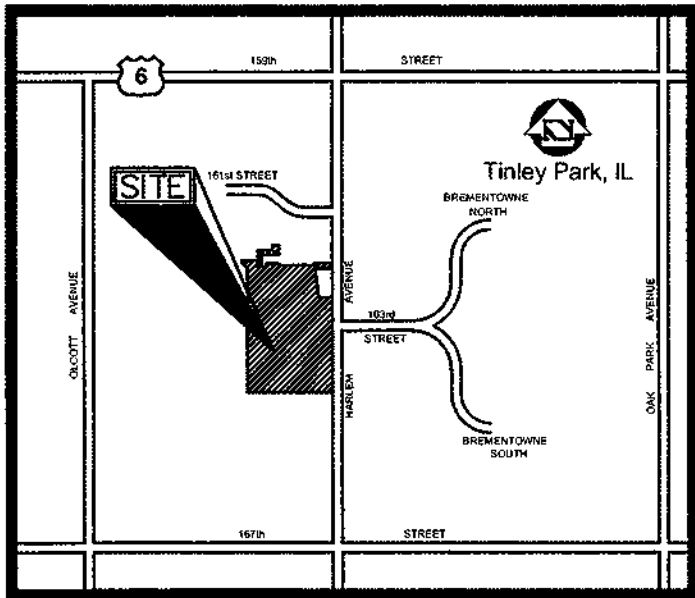
GIVEN UNDER MY HAND AND SEAL.

MOKENA, ILLINOIS
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)



2-03-21

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3152 (EXP. 11-30-22) 96-002-010V

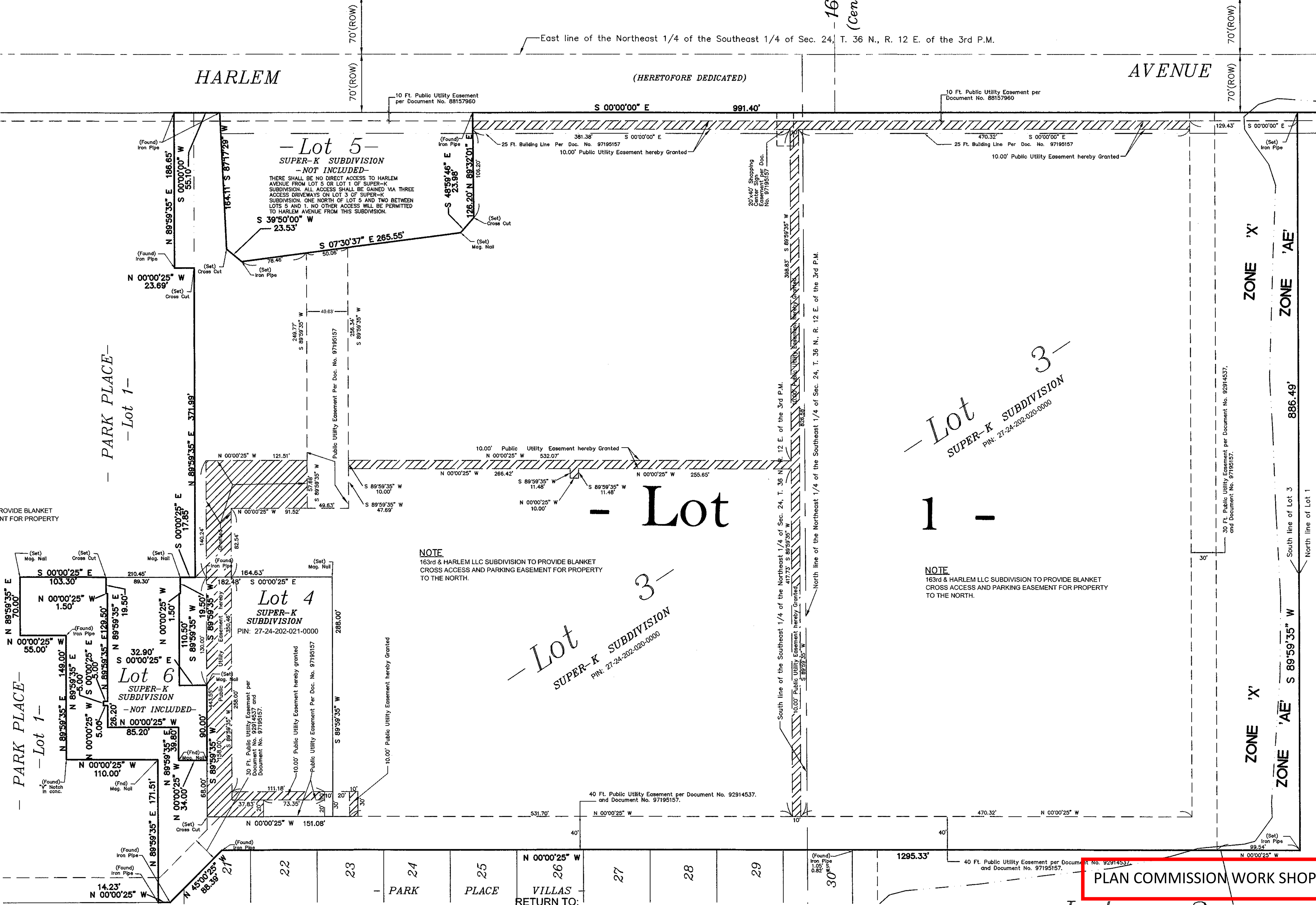
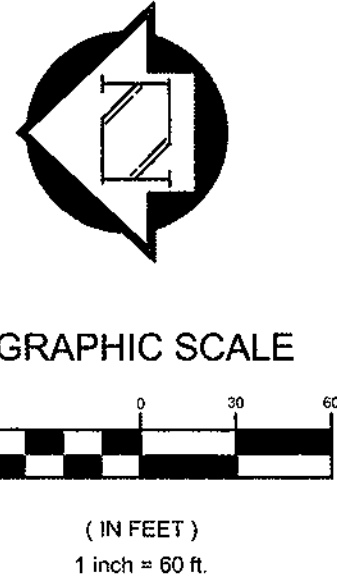


VICINITY MAP
(NOT TO SCALE)
INDICATES SITE LOCATION

FINAL PLAT OF 163rd & HARLEM LLC SUBDIVISION

BEING A RESUBDIVISION OF LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN'S: 27-24-202-020-0000 AND 27-24-202-021-0000



NOTE
163rd & HARLEM LLC SUBDIVISION TO PROVIDE BLANKET CROSS ACCESS AND PARKING EASEMENT FOR PROPERTY TO THE NORTH.

NOTE
163rd & HARLEM LLC SUBDIVISION TO PROVIDE BLANKET CROSS ACCESS AND PARKING EASEMENT FOR PROPERTY TO THE NORTH.

NOTE
163rd & HARLEM LLC SUBDIVISION TO PROVIDE BLANKET CROSS ACCESS AND PARKING EASEMENT FOR PROPERTY TO THE NORTH.

MAIL FUTURE TAX BILLS TO:
163rd AND HARLEM LLC
4333 SOUTH PULASKI ROAD
CHICAGO, IL 60632



CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: survey@jaseng.com http://www.jaseng.com

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Any use or reproduction of this document or the attached drawings, or the use of the design approach ideas or concepts described in this document and the attached drawings, in whole or in part by any means whatsoever is strictly prohibited except with written consent of JOSEPH A. SCHUDT & ASSOCIATES.

Lot 2 -
SUPER-K SUBDIVISION

PLAN COMMISSION WORK SHOP SUBMITTAL 5 27 21

FINAL PLAT OF
163rd & HARLEM LLC SUBDIVISION

BEING A RESUBDIVISION OF LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN'S: 27-24-202-020-0000 AND 27-24-202-021-0000

LOT AREA

LOT 1 1,159,035 SQ. FT. (26.608 ACRES)

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to

The Village of Tinley Park

Commonwealth Edison Company

SBC Telephone Company,

Authorized C.A.T.V. Franchise, Grantees,

their respective licensees, successors and assigns jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantees' facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof. The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2(c), as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlets", "common elements", "open space", "open area", "common ground", "parking" and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment. Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

MUNICIPAL UTILITY EASEMENTS

Non-exclusive, perpetual easements are hereby reserved for and granted to the Village of Tinley Park, Illinois, its successors and assigns over all areas marked "Public Utility and Drainage Easement" on the Plat for the perpetual right, privilege and authority to construct, reconstruct, install, remove, repair, inspect, maintain, and operate overland drainage services and storm water volume control routes, storm and/or sanitary sewers and services, and water mains and services, together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village in, over, upon, along, under and through said indicated easement, together with right of access across and upon the property for necessary personnel and equipment to do any of the above work. The right is also granted to cut down and trim or remove any fences, temporary structures, trees, shrubs, roots or other plants and appurtenances without obligation to restore or replace and without need for providing compensation therefore on the easement that interfere with the operation of the sewers, mains, and services provided. No permanent buildings, structures or other obstructions shall be placed on said easements without the prior written consent of the Village, but same may be used at the risk of the owner for gardens, shrubs, landscaping, and other purposes that do not then or later interfere with the aforesaid uses or rights. Where an easement is used for both sewer and other utilities, the other utility installation shall be subject to the ordinances of the Village of Tinley Park and to Village approval as to design and location.

An easement is hereby reserved for and granted to

NI-COR GAS COMPANY

its respective successors and assigns ("NI-COR") to install, operate, maintain, repair, replace and remove, facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Public Utility and Drainage Easement." "Common Area or Areas" and streets and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this plat as "Common Elements," together with the right to install required service connections over or under the surface of each lot and Common Area or Areas to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limited to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over NI-COR facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of NI-COR. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof. The term "Common Elements" shall have that meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)) as amended from time to time. The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

NOTE

163rd & HARLEM LLC SUBDIVISION TO PROVIDE BLANKET CROSS ACCESS AND PARKING EASEMENT FOR PROPERTY TO THE NORTH.

OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

163rd AND HARLEM LLC, does hereby certify that it is the Owner of the hereon described property and that it, as such Owner, has caused the said property to be surveyed and resubdivided with the dedications and easements as shown on the hereon drawn plat.

Dated This _____ day of _____, A.D. 2021.

4333 SOUTH PULASKI ROAD
CHICAGO, IL 60632

By: _____

Title: _____

SCHOOL DISTRICT CERTIFICATE

This is to certify that to the best of my knowledge, we, the above, as Owners of the property herein described in the surveyor's certificate, which will be known as 163rd and Harlem, LLC Subdivision is located within the boundaries of Community Consolidated School District 146, Victor J. Andrew High School District 230, and Moraine Valley Community College District 524, in Cook County, Illinois.

Dated This _____ day of _____, A.D. 2021.

By: _____

Title: _____

NOTARY PUBLIC

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, _____, a Notary Public in and for the County in the State aforesaid, do hereby certify that _____, of 163rd AND HARLEM LLC, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day and acknowledged that they signed and delivered the foregoing instrument as their own free and voluntary act and as the free and voluntary act of said Limited Liability Company.

Given under my hand and Notarial seal this _____ day of _____, A.D. 2021.

Notary Public

My commission expires: _____

PLAN COMMISSION

Approved by the Plan Commission of the Village of Tinley Park, Cook County, Illinois, at a meeting held on the _____ day of _____, A.D. 2021.

BY: _____
Chairman

BOARD OF TRUSTEES

Approved and accepted this _____ day of _____, A.D. 2021, by the President and Board of Trustees of the Village of Tinley Park, Cook County, Illinois.

BY: _____
Village President

ATTEST: _____
Village Clerk

VILLAGE CLERK

This is to certify that I, Village Clerk of the Village of Tinley Park, Cook County, Illinois, find no deferred installments of outstanding or unpaid special assessments dues against the hereon drawn property.

Dated this _____ day of _____, A.D. 2021.

Village Clerk

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF WILL } SS

This is to certify that I, D. Warren Opperman, Illinois Professional Land Surveyor No. 3152, have surveyed and resubdivided the above described property and further described as follows:

LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

This property contains 26.608 acres, more or less, all in the Village of Tinley Park, Cook County, Illinois.

Basis of bearings is the Super-K Subdivision.

I further certify that I have resubdivided the same into one lot as shown. This plat correctly represents said survey. Monuments shown are in place as located. Dimensions are in feet and decimal parts thereof.

This is to certify that we have examined FIRM Map Number 17031C0706 J, and 17031C0708 J Effective date August 19, 2008, as issued by the Federal Emergency Management Agency for Cook County, with reference to the above named tract, by elevation, and find the property to be in Zone X (No shading) which is an area determined to be outside the 0.2% annual chance (500-year) flood plain and Zone AE which is a Special Flood Hazard Area subject to inundation by the 1% annual chance (100-Year) flood, also known as the base flood, where base flood elevations have been determined. This statement is for Flood Insurance purposes only and does not necessarily indicate all areas subject to flooding.

Dated: FEBRUARY 3RD, A.D. 2021.

Engineer & Surveyor: Joseph A. Schudt & Associates (184-001172)
9455 Enterprise Drive
Mokena, IL 60448
1-708-720-1000

Illinois Professional Land Surveyor No. 3152 (Exp. 11-30-22)



2-03-21

Sheet 2 of 2

96-002-010 SP

MAIL FUTURE TAX BILLS TO:

163rd AND HARLEM LLC
4333 SOUTH PULASKI ROAD
CHICAGO, IL 60632

RETURN TO:

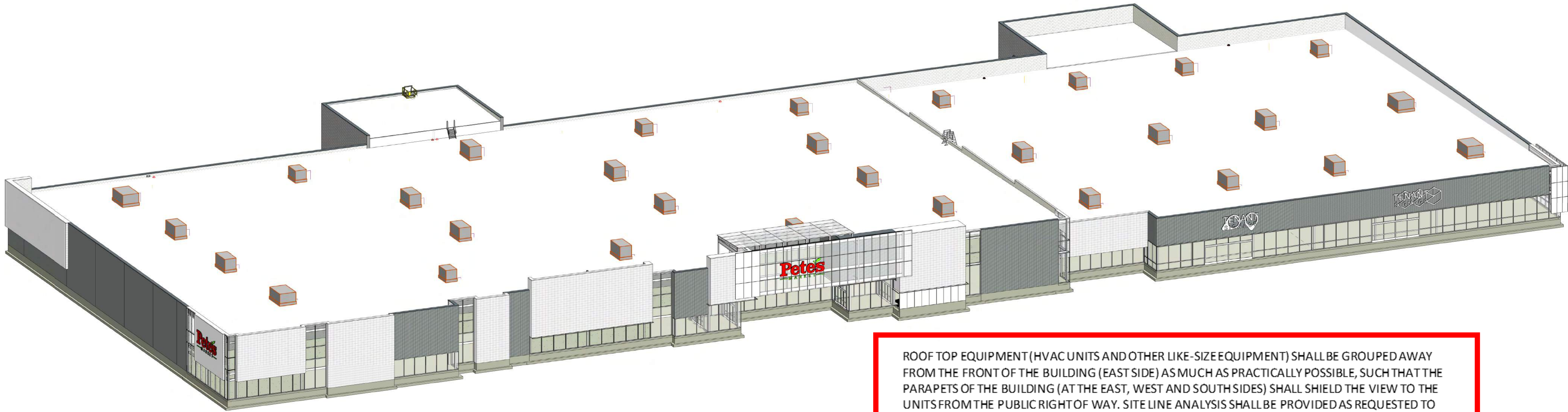


Joseph A. Schudt & Associates

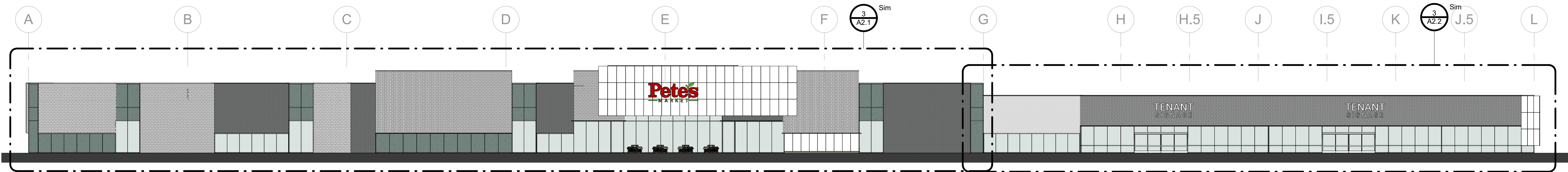
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: survey@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

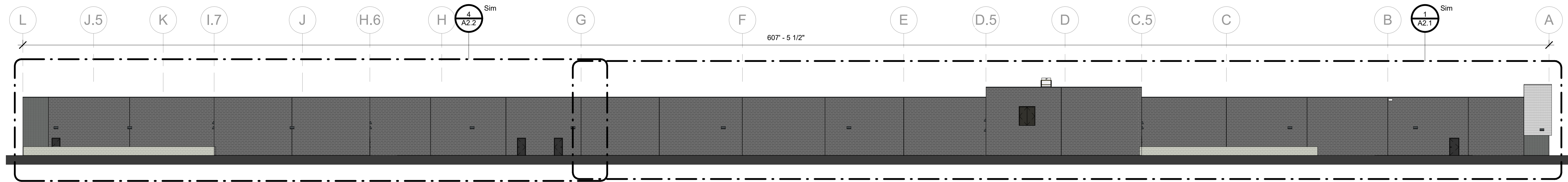
COPYRIGHT 2021
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ALL RIGHTS RESERVED
Any use or reproduction of this document or the attached drawings, or the use of the design approach ideas or Concepts described in this document and the attached drawings, in whole or in part by any means whatsoever is strictly prohibited except with written consent of JOSEPH A. SCHUDT & ASSOCIATES.



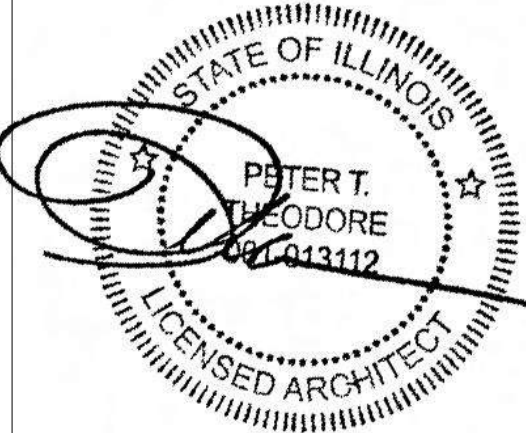
③ 3D AXONOMETRIC - BUILDING ELEVATION EAST



① OVERALL ARCHITECTURAL ELEVATION - EAST
3/64" = 1'-0"



② OVERALL ARCHITECTURAL ELEVATION - WEST
3/64" = 1'-0"



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I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES

PETE'S FRESH MARKET

16300 S. HARLEM AVE.
TINLEY PARK, IL 60477

REVISION LOG

DELTA	DESCRIPTION	DATE	BY
00	N/A	06-06-2020	CT

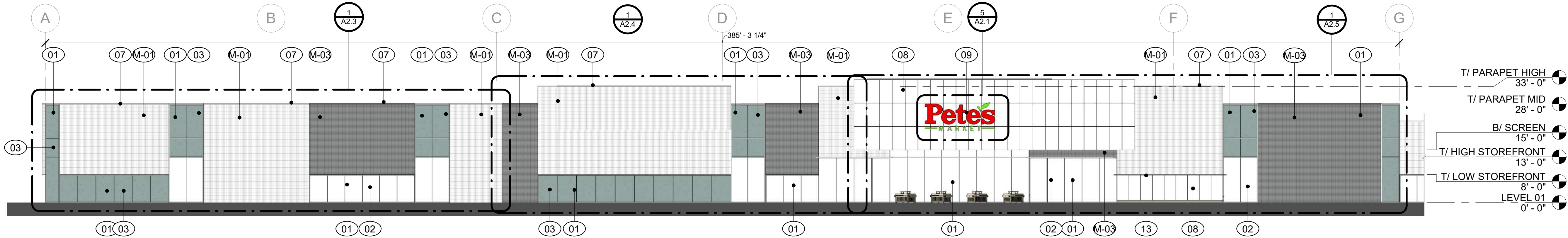
ISSUE DATES

TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021

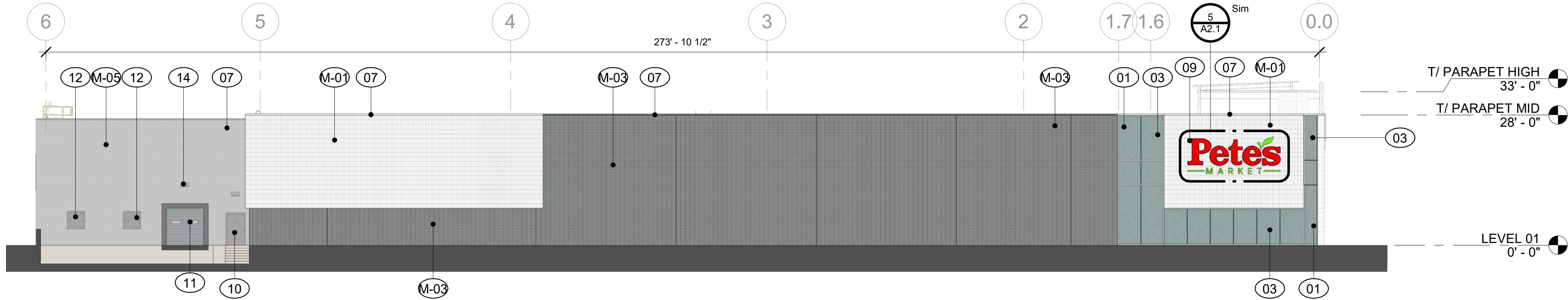
PROJECT NUMBER	20-58002
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SHEET TITLE	ARCHITECTURAL BUILDING ELEVATIONS - OVERALL
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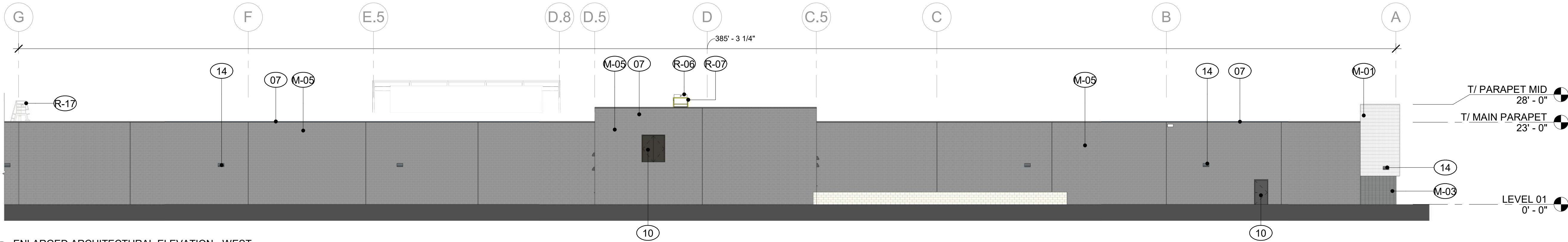
SHEET NUMBER	A2.0
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3 ENLARGED ARCHITECTURAL ELEVATION - EAST 01
1/16" = 1'-0"



4 ENLARGED ARCHITECTURAL ELEVATION - SOUTH
1/16" = 1'-0"



1 ENLARGED ARCHITECTURAL ELEVATION - WEST
1/16" = 1'-0"



NOTE: SHOWN FOR REFERENCE ONLY

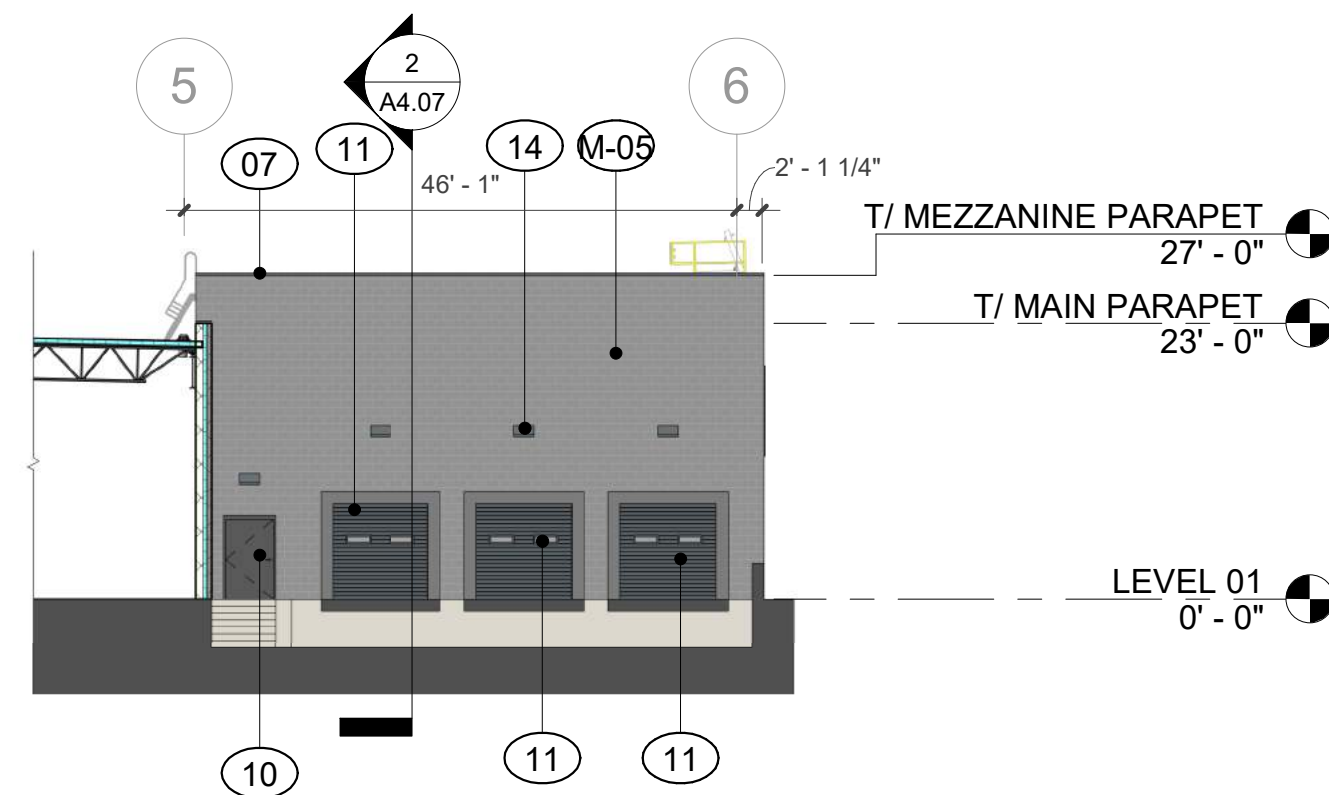
5 PETE'S SIGNAGE (x2)
1/4" = 1'-0"

PROJECT BUILDING SIGNAGE

SEE SIGNAGE DRAWINGS FOR BUILDING SIGNAGE AREA, AND INSTALLATION DETAILS. SIGNAGE IS FACTORED INTO OVERALL STUCTURAL DESIGN CAPACITY.

MATERIALS

SEE SIGNAGE DRAWINGS FOR SIGNAGE MATERIALS AND ILLUMINATION TYPE. FOR ELECTRICAL REQUIREMENTS SEE ELECTRICAL DRAWINGS (NOT YET AVAILABLE)



2 ENLARGED ARCHITECTURAL ELEVATION - LOADING DOCK NORTH
1/16" = 1'-0"

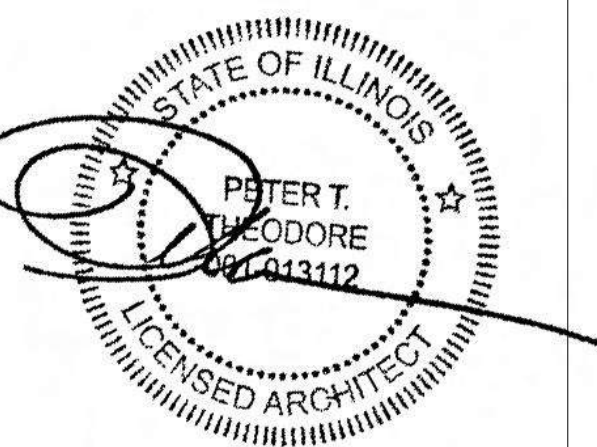
MATERIAL KEYNOTES

- 01 PRE-FINISHED ALUMINUM CURTAINWALL SYSTEM (TUBELITE SSG 400 SERIES WITH 2 1/2" x 6" CAPTURED PERIMETER AND HORIZONTAL MULLIONS). (COLOR: BONE WHITE [1P])
- 02 GLAZING - 1" INSULATED CLEAR, GLASS CONFIGURATION:(OUTER LITE 1/4" HEAT-STRENGTHENED WITH SOLARBAN 70 ON #2 SURFACE, 1/2" AIR SPACE, AND 1/4" HEAT-STRENGTHENED INSIDE LITE)
- 03 SPANDREL GLAZING - 1" INSULATED OPAQUE, GLASS CONFIGURATION:(OUTER LITE 1/4" HEAT-STRENGTHENED WITH SOLARBAN 70 ON #2 SURFACE, 1/2" AIR SPACE, AND 1/4" HEAT-STRENGTHENED INSIDE LITE WITH 'WARM GREY' PAINT ON #4 SURFACE)
- 07 PREFINISHED ALUMINUM COPING WITH POSITIVE PITCH TO ROOF (COLOR: TO MATCH FACADE MATERIAL BELOW. VERIFY COLOR WITH ARCHITECT)

- 08 RAISED EXPANDED ALUMINUM MESH SCREEN SYSTEM ON FRAMELESS SUB-STRUCTURE (SCREEN AND FRAME COLOR: RAL 9010 "PURE WHITE")
- 09 BUILDING SIGNAGE FURNISHED AND INSTALLED BY OTHERS.
- 10 HOLLOW METAL DOOR AND FRAME EXTERIOR. PRIME & PAINT (COLOR: TO MATCH ADJACENT)
- 11 OVERHEAD paneled PRE-FINISHED STEEL RECEIVING DOOR (COLOR TO MATCH ADJACENT). BUMPER AND DOCK SEAL PER TENANT'S SPECIFICATIONS
- 12 COMPACTOR DOOR (COLOR TO MATCH ADJACENT)
- 13 LIGHT FIXTURE: LED ON STANCHION MOUNT (SEE ELECTRICAL DRAWINGS)

- 14 LIGHT FIXTURE: WALL-PAK GENERAL SITE ILLUMINATION PER CODE REQUIREMENTS (SEE ELECTRICAL DRAWINGS)
- M-01 SMOOTH MASONRY WHITE BRICK (S.ANSELMO PANAMA WHITE 9.25"x4.5"x2" WITH MEDUSA WHITE MORTAR) VERTICAL SOLDIER COURSING WITH PROTRUDING UNIT PER ARCHITECT'S LAYOUT (1/G1.0)
- M-03 SMOOTH MASONRY BLACK BRICK (S.ANSELMO GHIBLI BLACK 9.25"x4.5"x2" WITH CRUSHED SHALE BLACK MORTAR) HORIZONTAL STACK BOND WITH DEEP RAKED JOINTS
- M-05 SPLIT FACE MASONRY UNIT 4x8x16 (TRENWYTH "QT BLACK" INTEGRAL COLOR BLOCK) WITH SPECIMIX "BLACK" MORTAR
- R-06 3'-0" X 2'-6" LOCKABLE OSHA APPROVED ROOF HATCH, WITH "BILCO LADDER UP SAFETY POLE. CONFIRM FINAL LOCATION IN FIELD AND VERIFY WITH TENANT'S DRAWINGS

- R-07 HATCHGUARD OSHA APPROVED FALL PROTECTION GAURDRAIL SYSTEM (PAINTED SAFETY YELLOW MOUNTED TO ROOF. ALL PENETRATIONS FLASHED AND SEALED.
- R-17 ROOF TRANSFER SHIP LADDER WITH PLATFORM AND HANDRAILS (O'KEEFE'S INC MODEL 522A OR APPROVED EQUAL) VERIFY LADDER LENGTHS IN FIELD PRIOR TO SUBMITTING SHOP DRAWINGS TO ARCHITECT FOR REVIEW.



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PETE'S FRESH MARKET

16300 S. HARLEM AVE.
TINLEY PARK, IL 60477

REVISION LOG	DATE:	BY:						
	06-09-2020	CT						
DELTA:	DESCRIPTION:	N/A						
			00					

ISSUE DATES

TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021

PROJECT NUMBER
20-58002

SHEET TITLE
ARCHITECTURAL OVERALL ELEVATIONS - ENLARGED 01

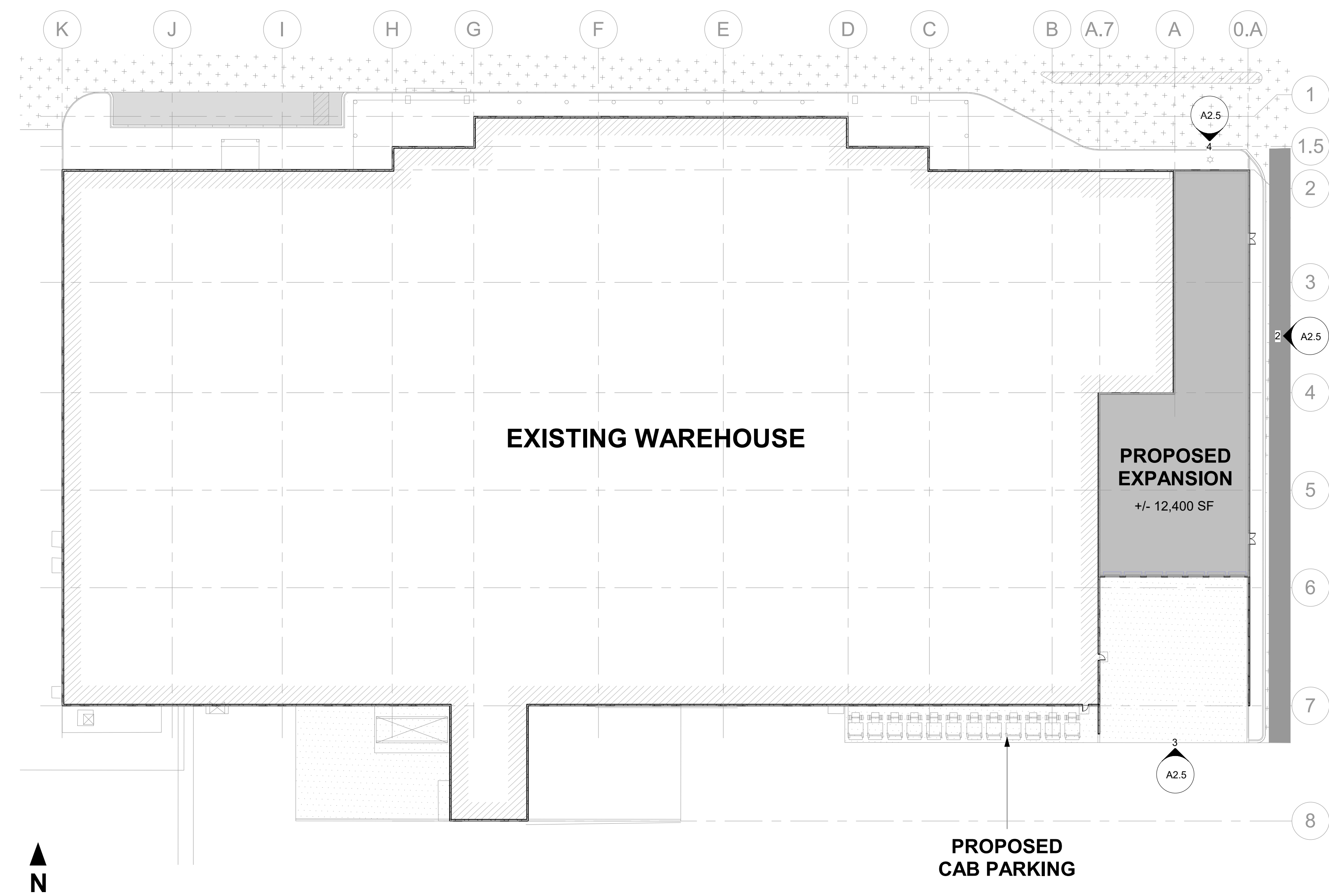
SHEET NUMBER

A2.1



- M-02 SMOOTH MASONRY BLACK BRICK (S ANSELMO GIBLI BLACK 9.25"x4.5"x2" WITH CRUSHED SHALE BLACK MORTAR) HORIZONTAL COURSING WITH PROTRUDING UNIT PER ARCHITECT'S LAYOUT (2/G1.0)
- M-03 SMOOTH MASONRY BLACK BRICK (S ANSELMO GIBLI BLACK 9.25"x4.5"x2" WITH CRUSHED SHALE BLACK MORTAR) HORIZONTAL STACK BOND WITH DEEP RAKED JOINTS
- M-04 SMOOTH MASONRY WHITE BRICK (S ANSELMO PANAMA WHITE 9.25"x4.5"x2" WITH MEDUSA WHITE MORTAR) VERTICAL SOLDIER COURSING STACK BOND WITH DEEP RAKED JOINTS
- M-05 SPLIT FACE MASONRY UNIT 4x8x16 (TRENWYTH "QT BLACK" INTEGRAL COLOR BLOCK) WITH SPECIMIC "BLACK" MORTAR

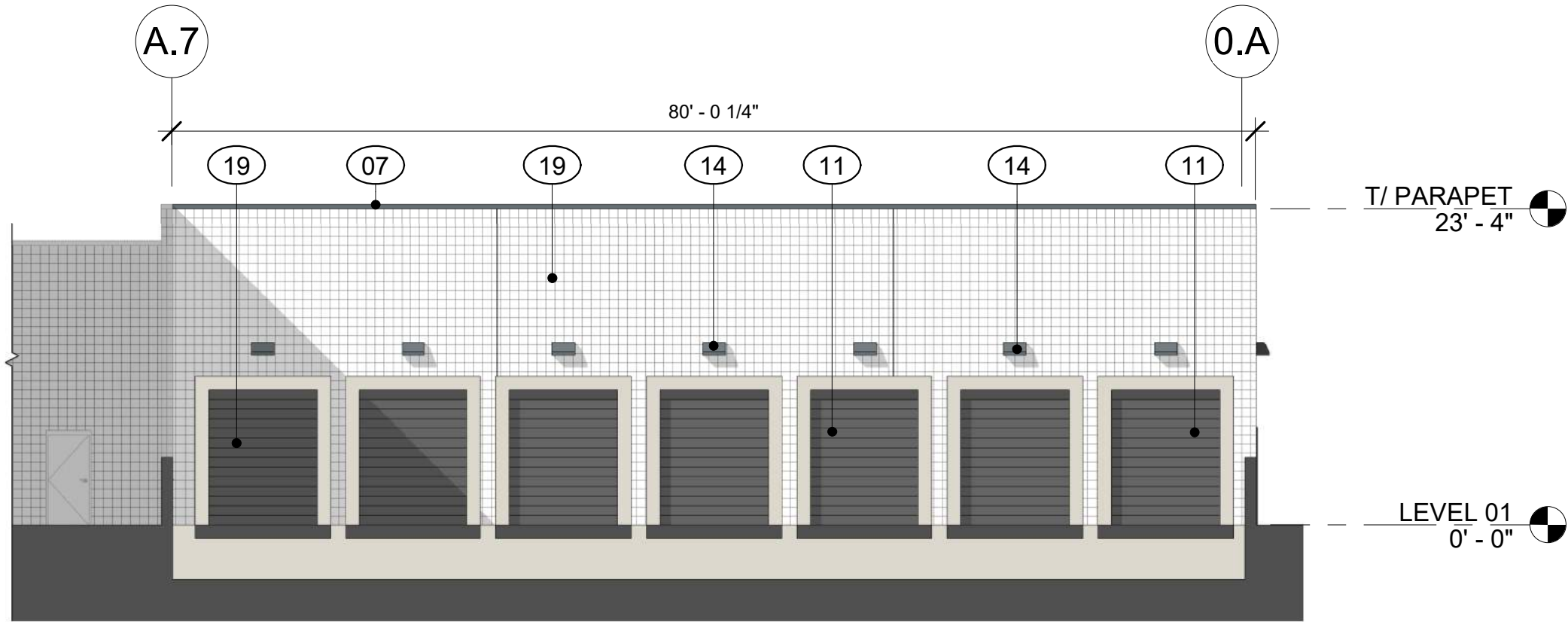
A2.2



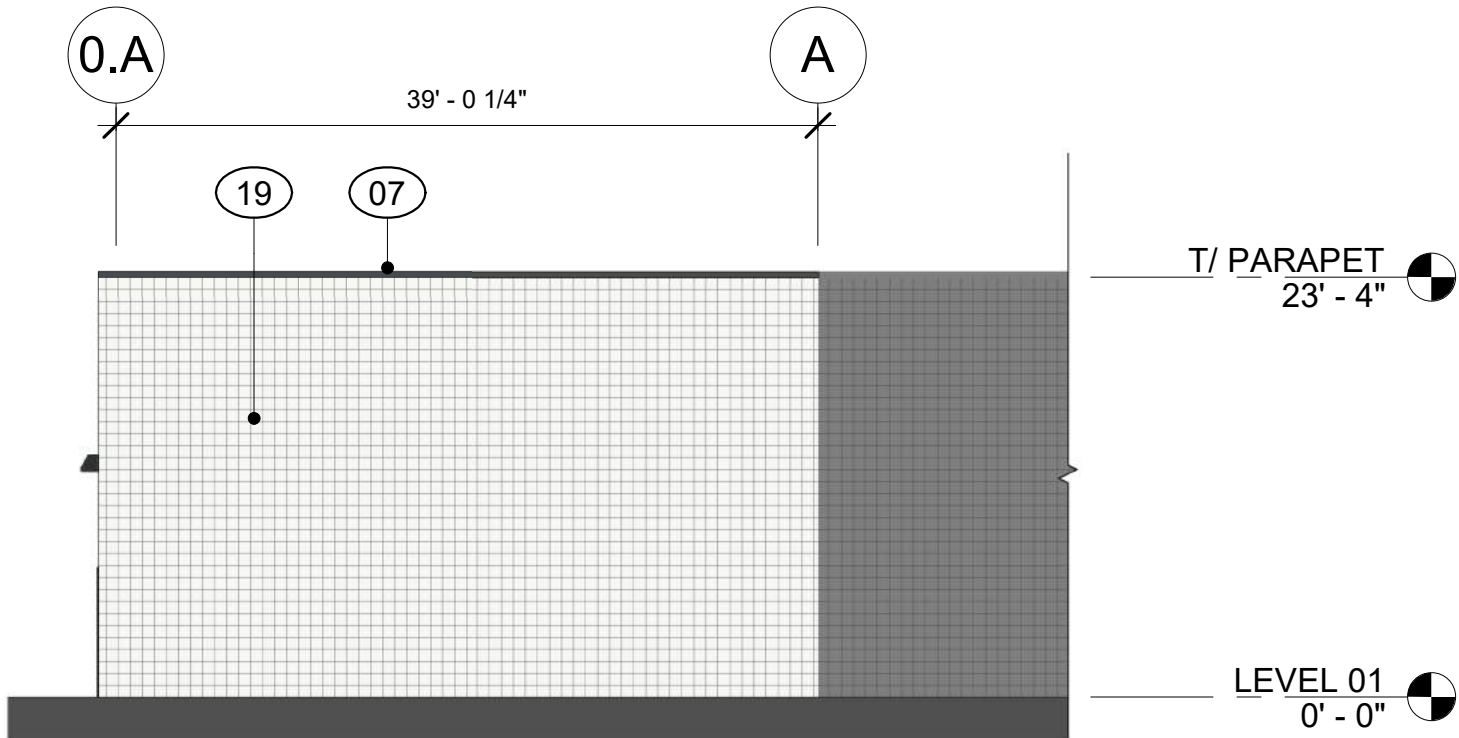
1 ARCHITECTURAL OVERALL FLOOR PLAN - LEVEL 01
1" = 40'-0"

MATERIAL KEYNOTES

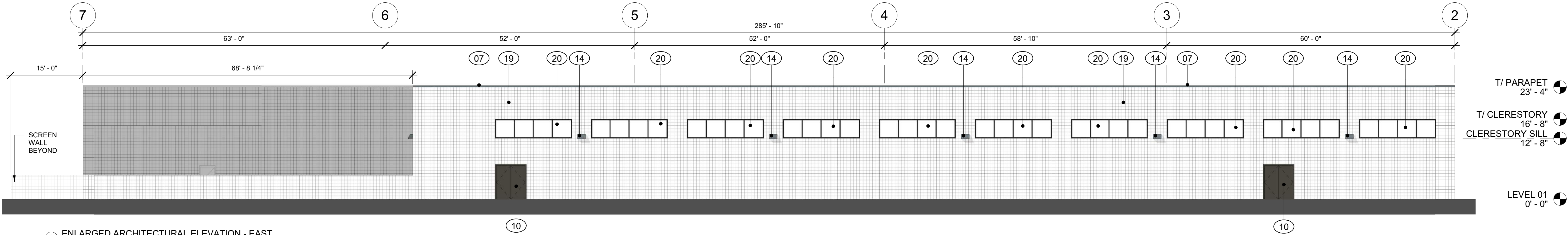
- 07 PREFINISHED ALUMINUM COPING WITH POSITIVE PITCH TO ROOF (COLOR: TO MATCH FACADE MATERIAL BELOW. VERIFY COLOR WITH ARCHITECT)
- 10 HOLLOW METAL DOOR AND FRAME EXTERIOR. PRIME & PAINT (COLOR: TO MATCH ADJACENT)
- 11 OVERHEAD PANELED PRE-FINISHED STEEL RECEIVING DOOR (COLOR TO MATCH ADJACENT). BUMPER AND DOCK SEAL PER TENANT'S SPECIFICATIONS
- 14 LIGHT FIXTURE: WALL-PAK GENERAL SITE ILLUMINATION PER CODE REQUIREMENTS (SEE ELECTRICAL DRAWINGS)
- 19 SPLIT FACE MASONRY UNIT 8x8 (TRENWYTH "MIDWEST WHITE") WITH SPECIMIX "WHITE" MORTAR. PAINTED TO MATCH EXISTING IF NECESSARY (SW EXTERIOR "WHITE" PROVIDE ARCHITECT WITH DRAWN DOWNS FOR APPROVAL)
- 20 CLEAR GLASS CLERESTORY WINDOW SYSTEM (TUBELITE 14000 SERIES 2"x4.5" PROFILE COLOR: BLACK)



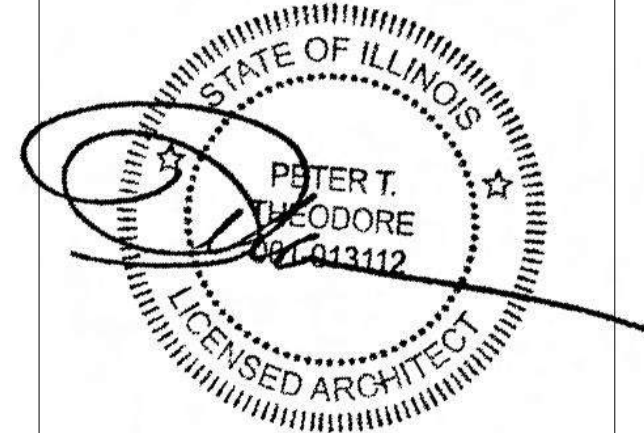
3 ENLARGED ARCHITECTURAL ELEVATION - SOUTH
3/32" = 1'-0"



4 ENLARGED ARCHITECTURAL ELEVATION - NORTH
3/32" = 1'-0"



2 ENLARGED ARCHITECTURAL ELEVATION - EAST
3/32" = 1'-0"



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PETE'S FRESH MARKET

16300 S. HARLEM AVE.
TINLEY PARK, IL 60477

REVISION LOG

DATE	BY:	DESCRIPTION
08-08-2020	CT	N/A
00		

ISSUE DATES

TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	

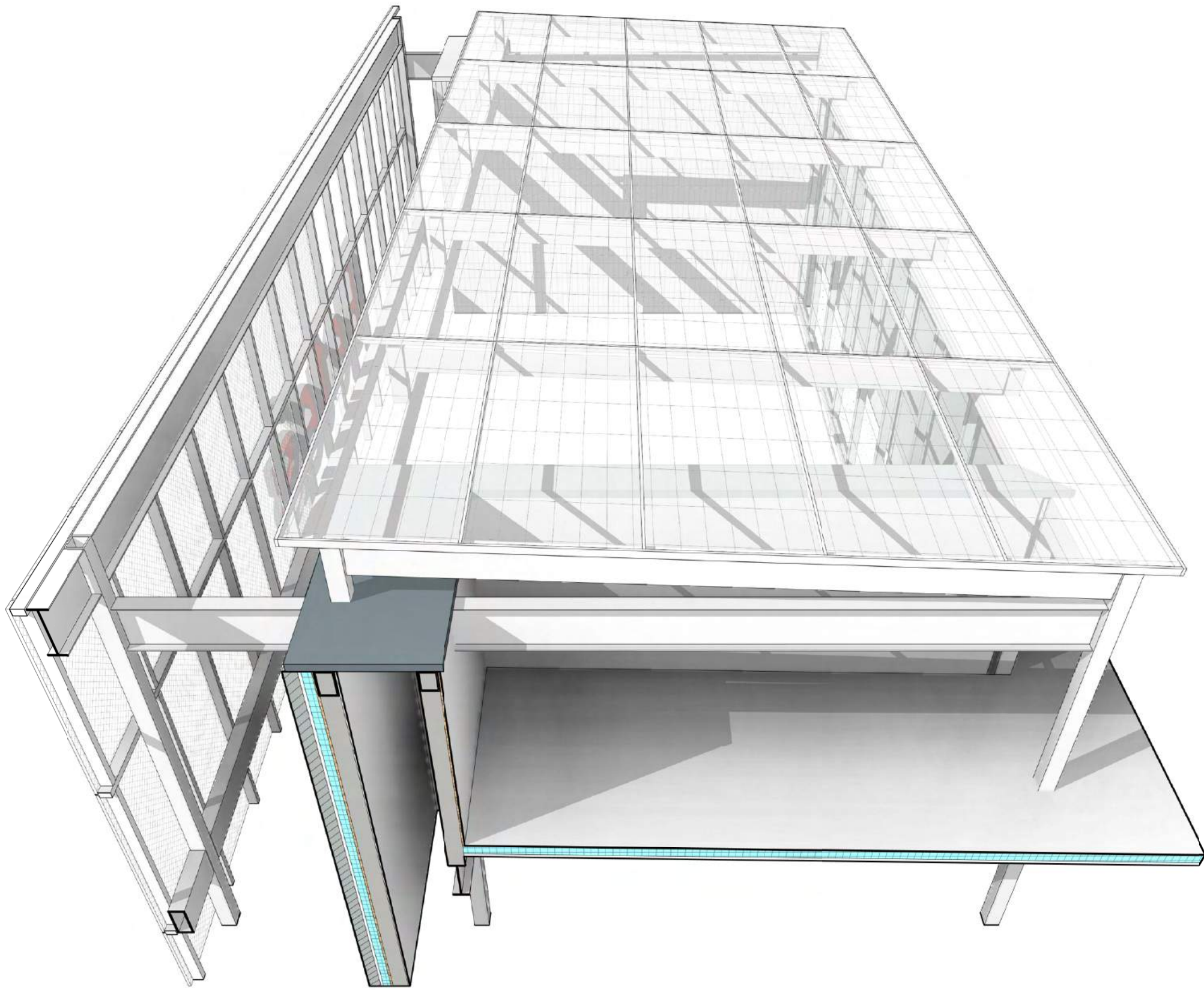
05-27-21

PROJECT NUMBER
20-58002

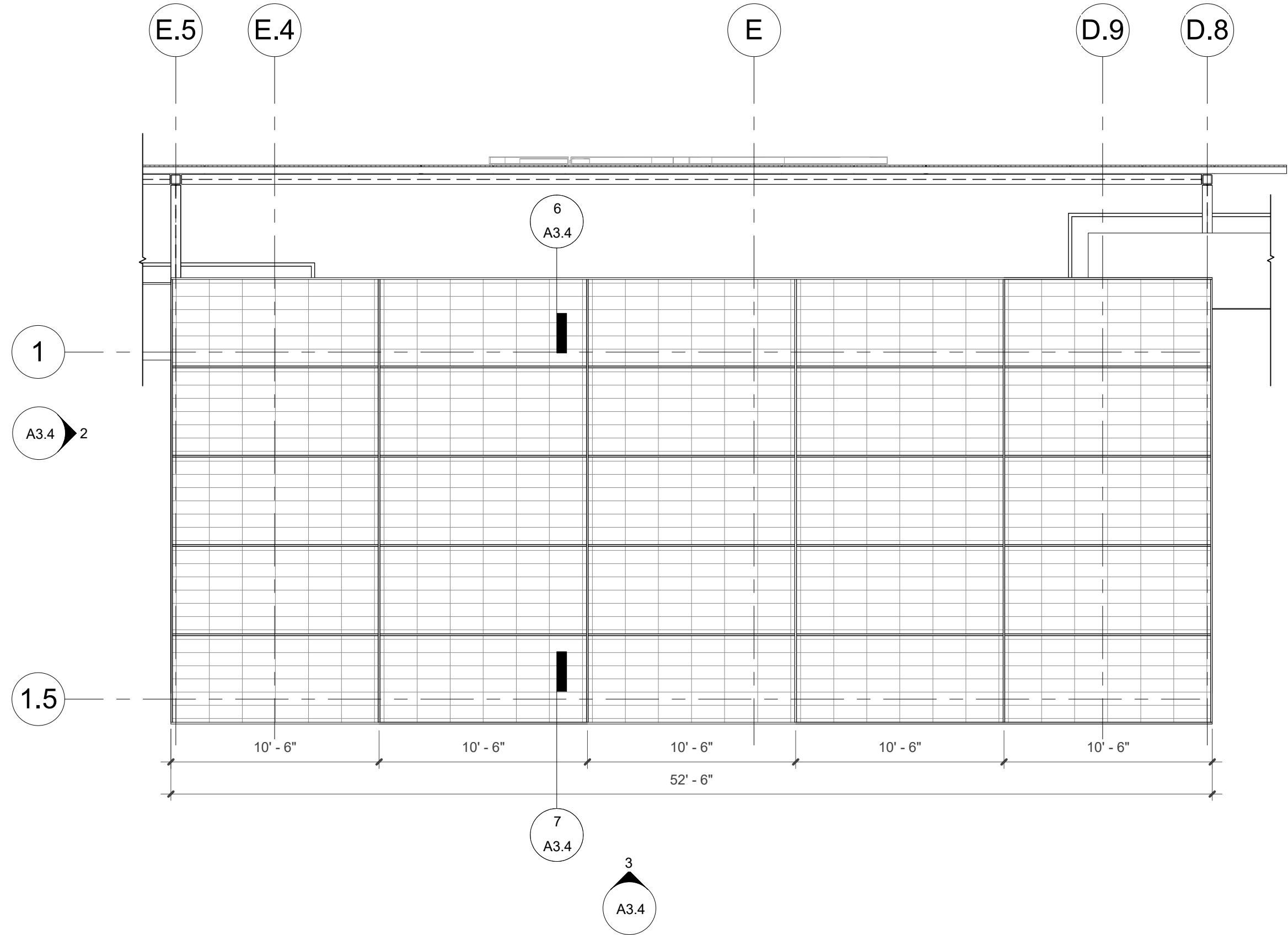
SHEET TITLE
ARCHITECTURAL ELEVATIONS - PROPOSED ADDITION

SHEET NUMBER

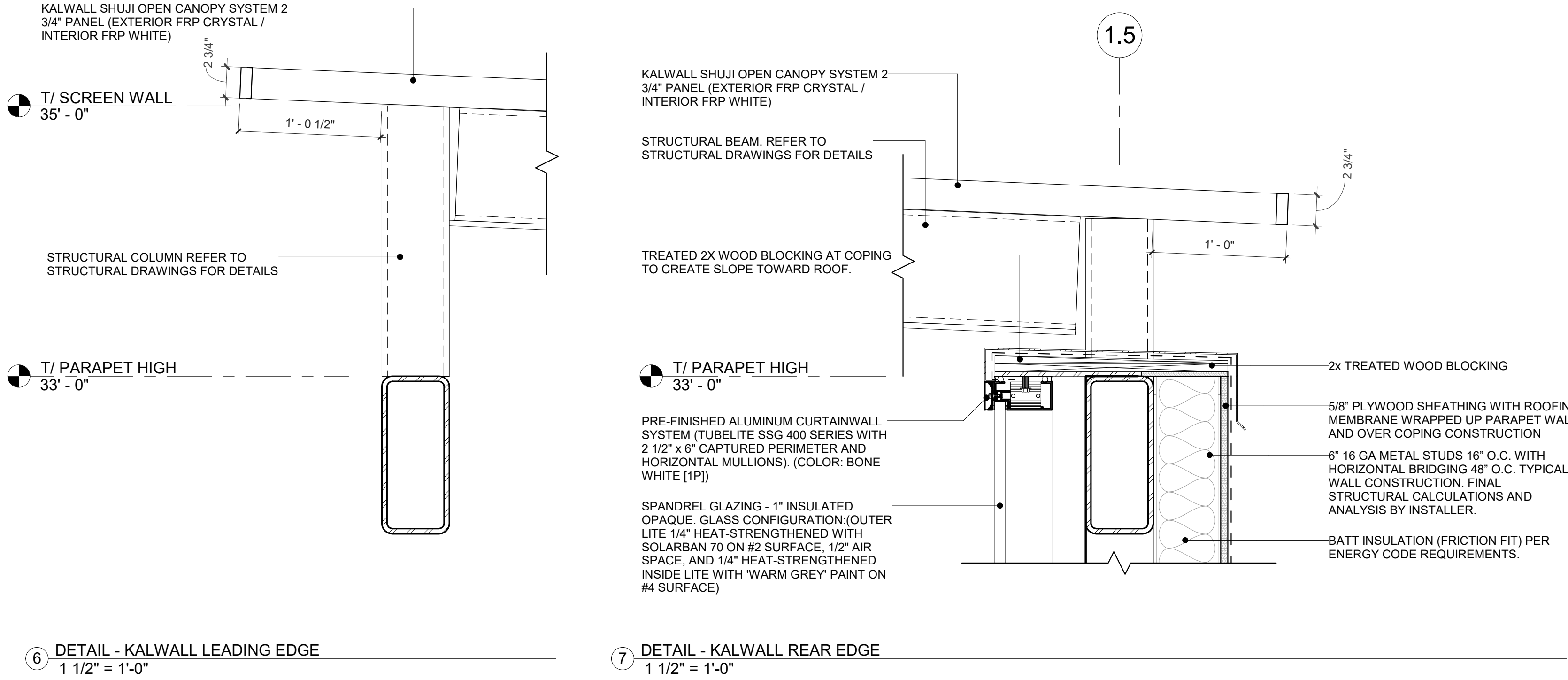
A2.5



5 PERSPECTIVE - VIEW TO CANOPY SKYLIGHT

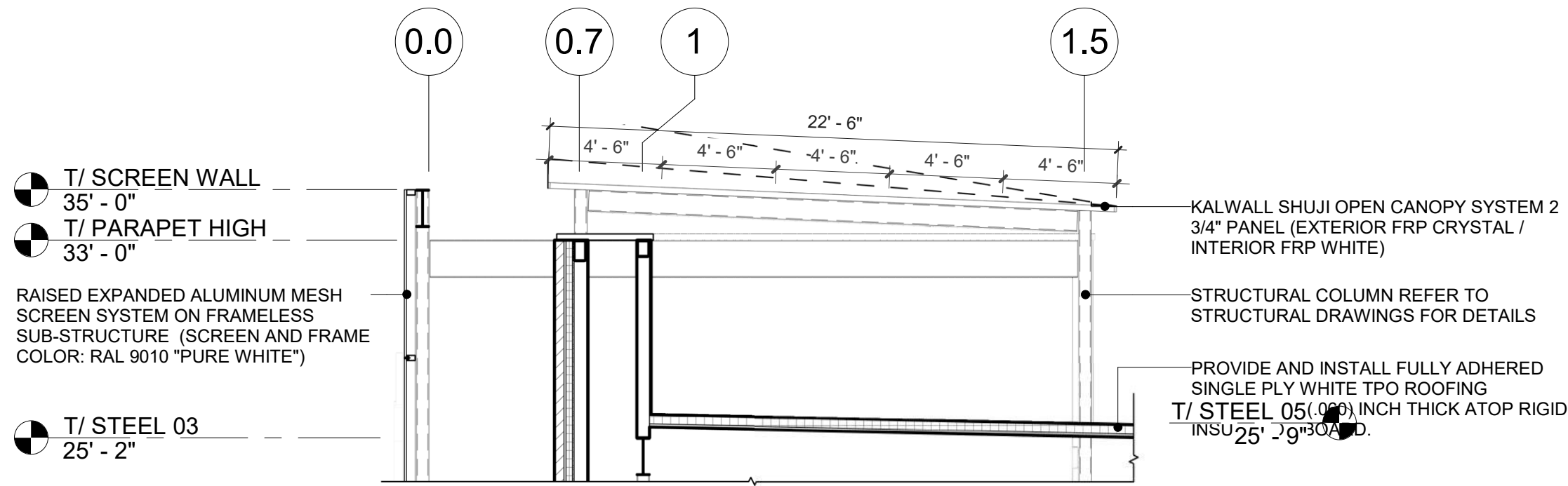


1 ENLARGED PLAN - SKYLIGHT CANOPY
3/16" = 1'-0"

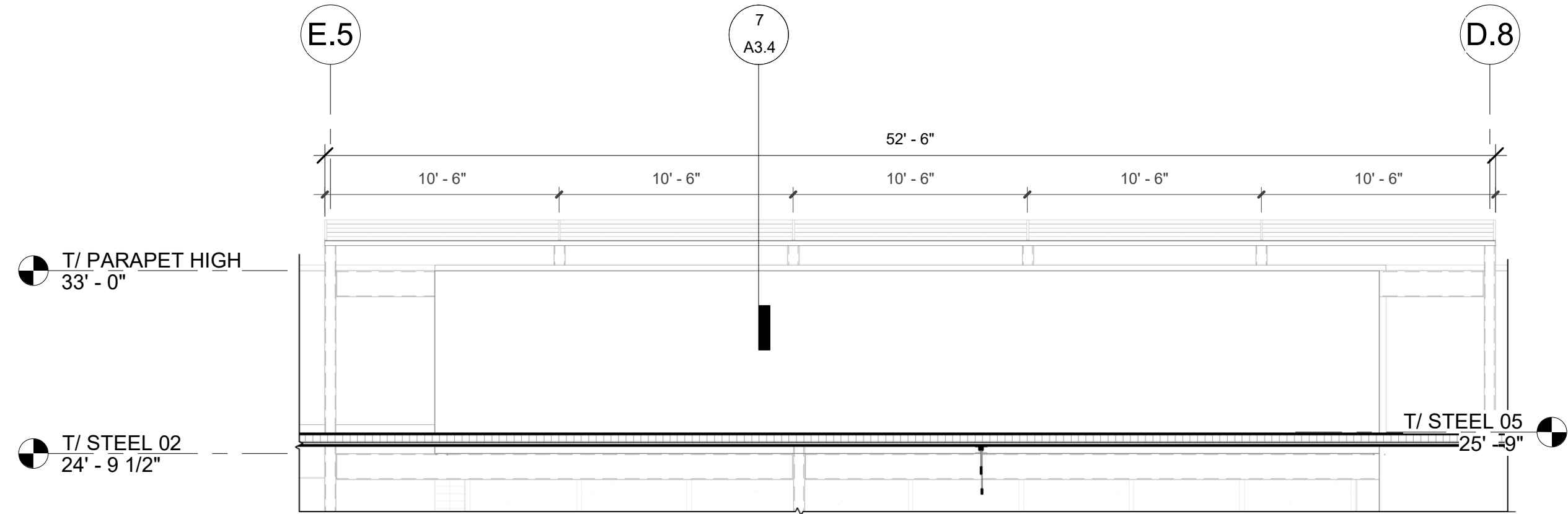


6 DETAIL - KALWALL LEADING EDGE
1 1/2" = 1'-0"

7 DETAIL - KALWALL REAR EDGE
1 1/2" = 1'-0"



2 ELEVATION - SKYLIGHT CANOPY - NORTH
3/16" = 1'-0"



3 ELEVATION - SKYLIGHT CANOPY - WEST
3/16" = 1'-0"



KALWALL®

high performance translucent building systems

KALWALL SPECIFICATION:

Panel: 2.75" | 70mm

Grid core: shoji

Exterior FRP: crystal

Interior FRP: white

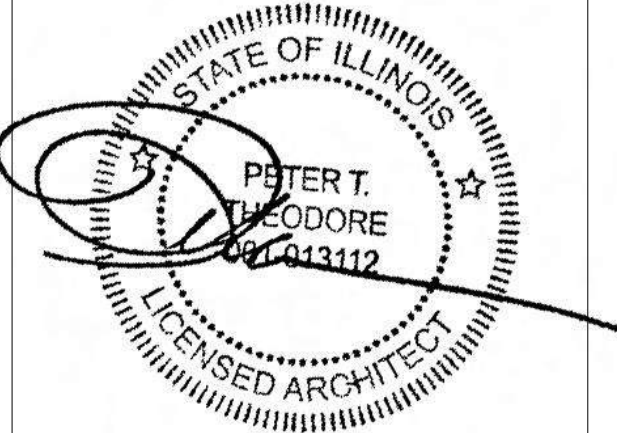
System finish: black #95

U-Value: .53 | 2.74 Wm²K

Solar Heat Gain Coefficient: 0.27

Visible Light Transmission: 35%

4 KALWALL SPECIFICATIONS



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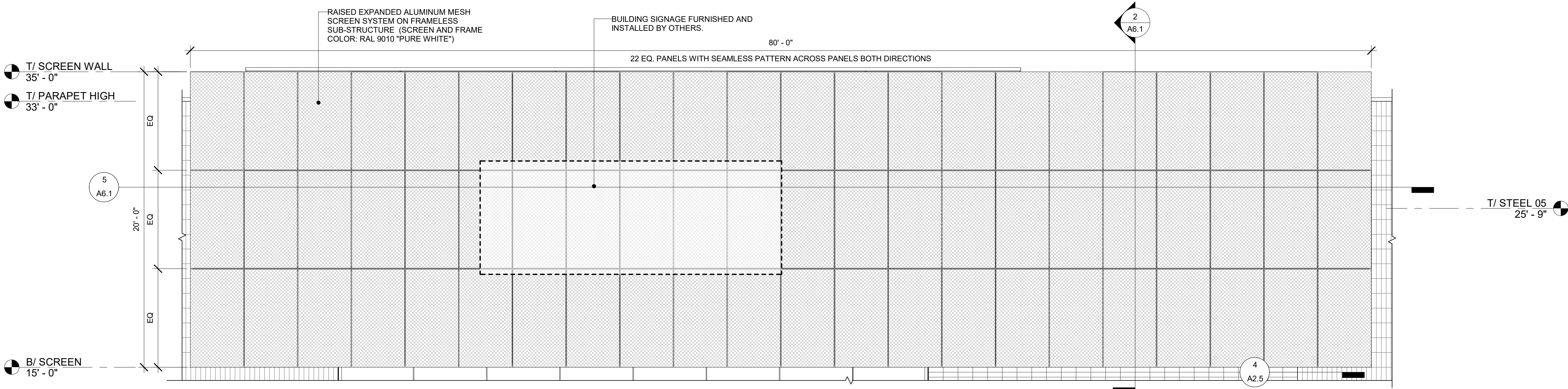
PETE'S FRESH MARKET

**16300 S. HARLEM AVE.
TINLEY PARK, IL 60477**

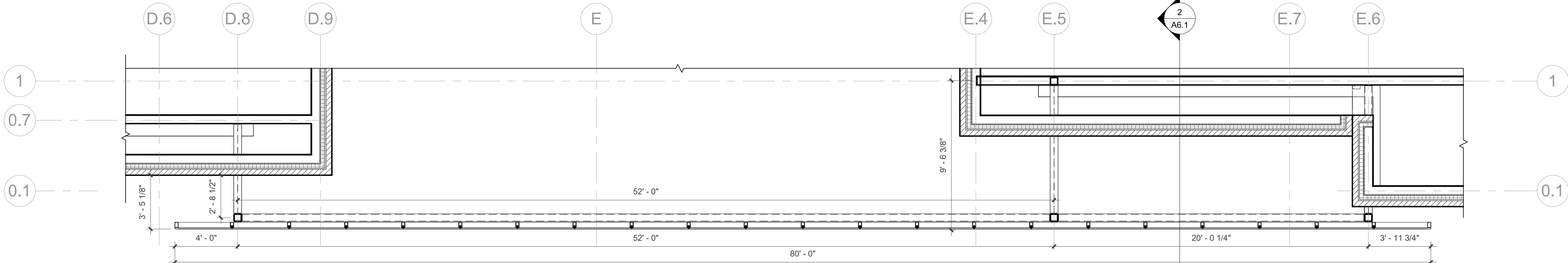
REVISION LOG		DATE	BY:
DELTA:	DESCRIPTION:	00-00-0000	CT
00	N/A		

ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	
05-27-2021	
PROJECT NUMBER	
20-58002	
SHEET TITLE	
ARCHITECTURAL ROOF PLAN - SKYLIGHT CANOPY	
SHEET NUMBER	

A3.4



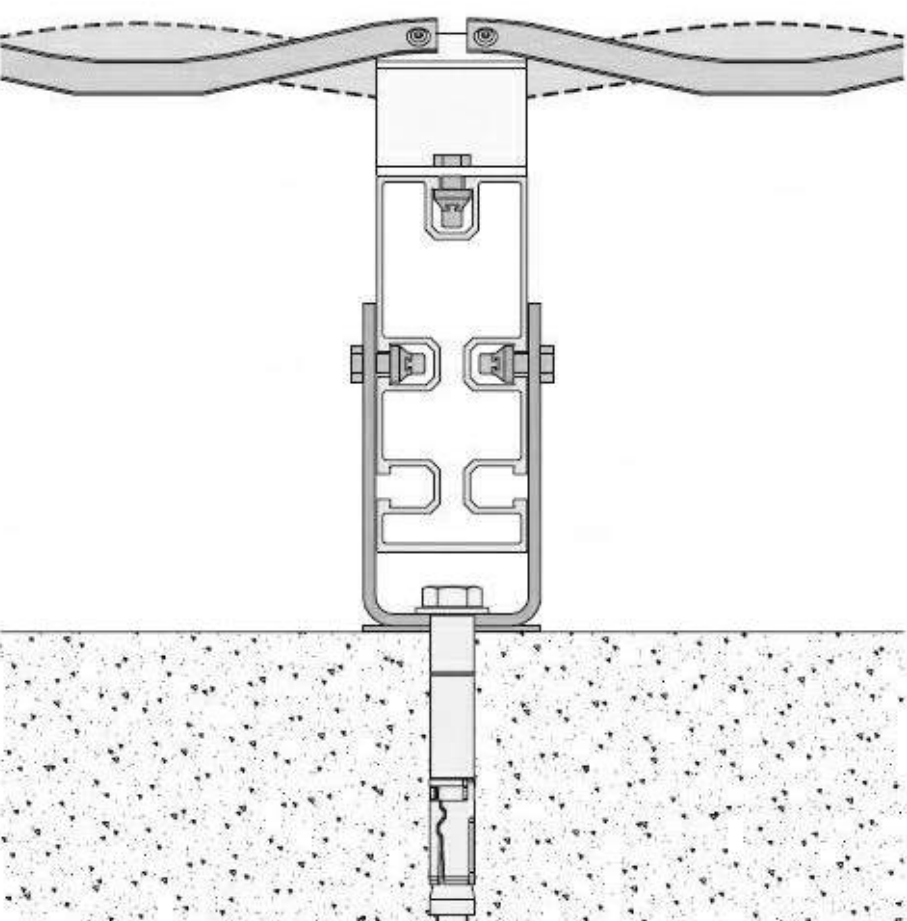
1 ENLARGED ELEVATION AT SCREEN WALL
1/4" = 1'-0"



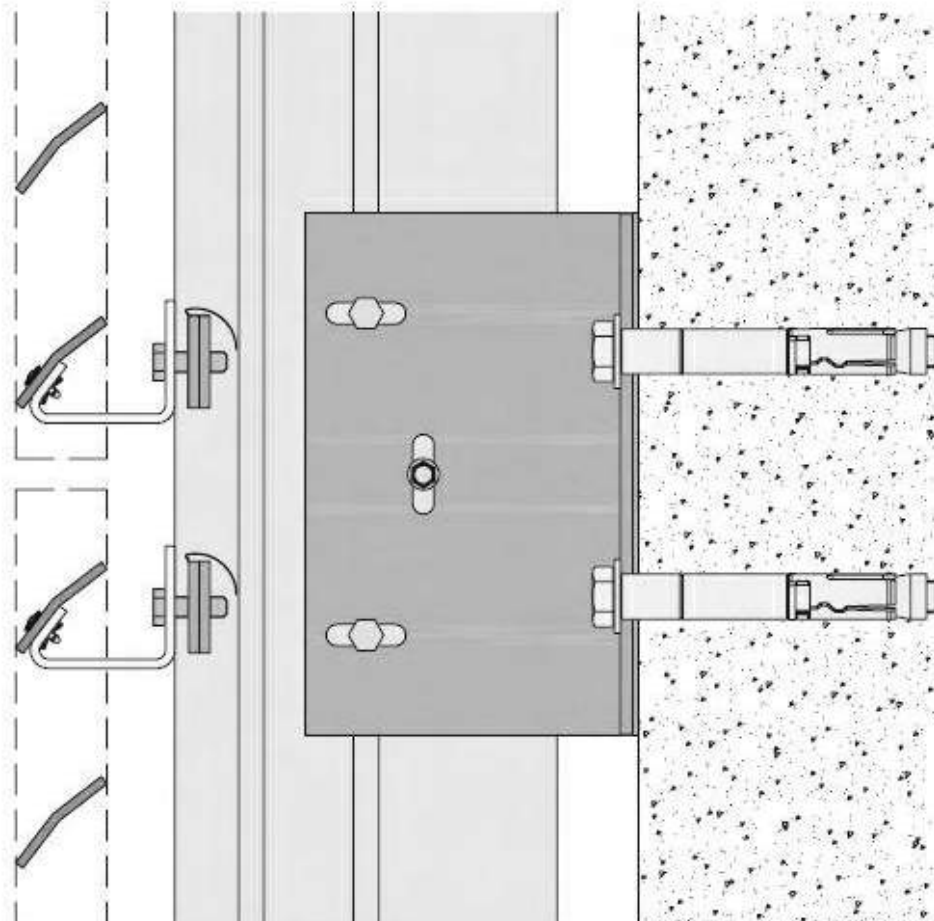
5 ENLARGED PLAN AT SCREEN WALL
1/4" = 1'-0"

MESH PANEL SYSTEM

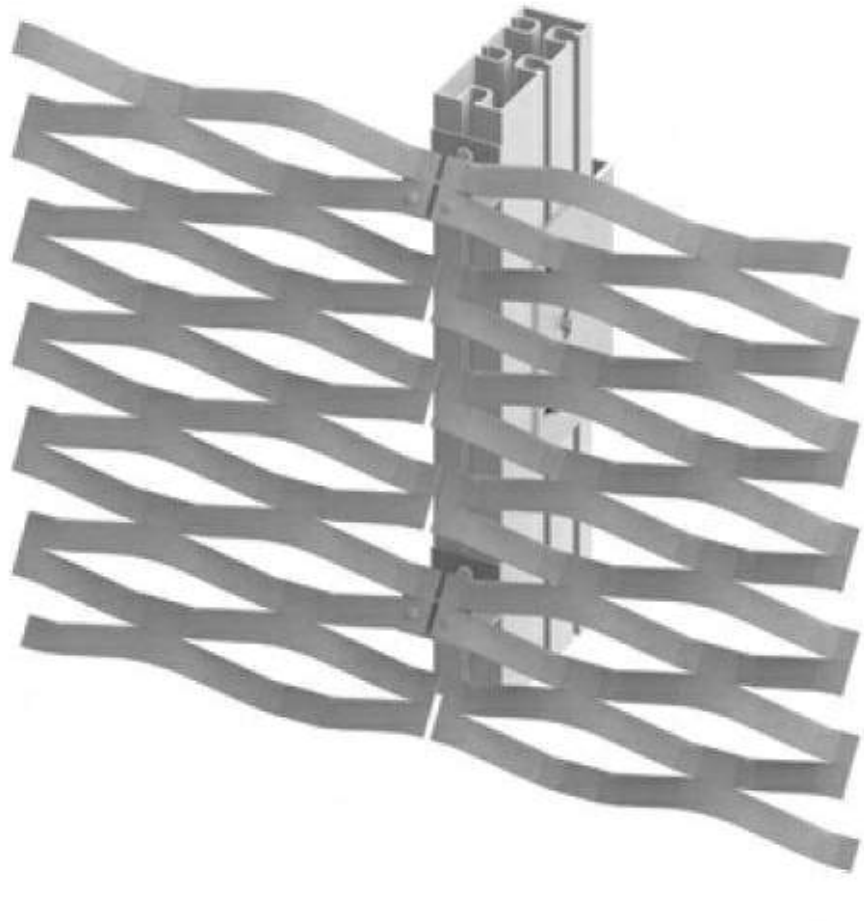
VERTICAL JOINT DETAIL



HORIZONTAL JOINT DETAIL

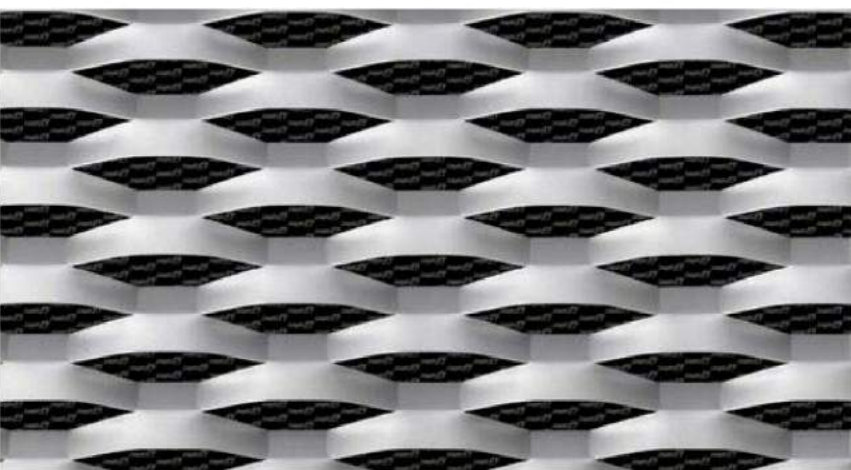


3D AXONOMETRIC VIEW

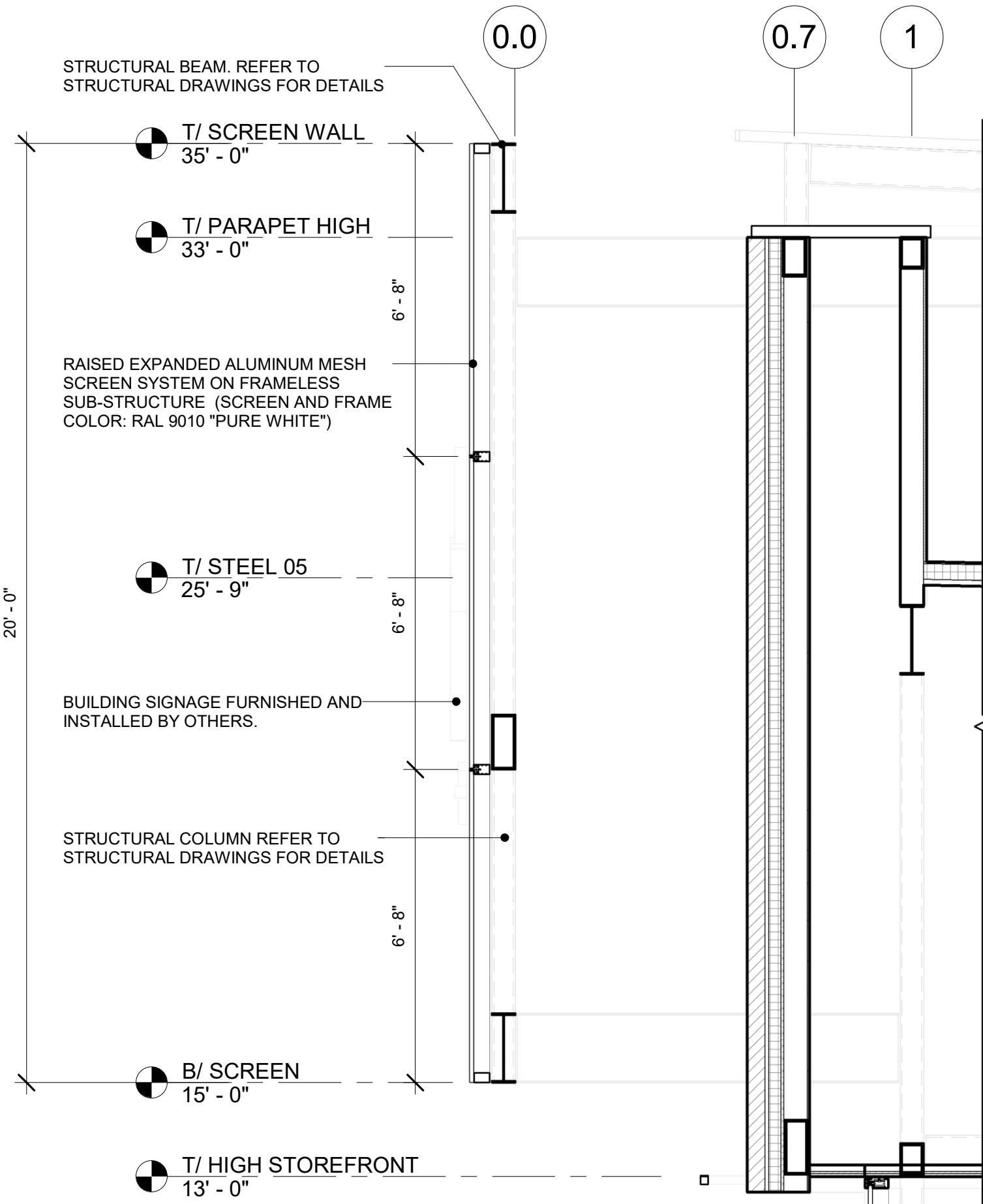


RAISED EXPANDED METAL SCREEN NOTES

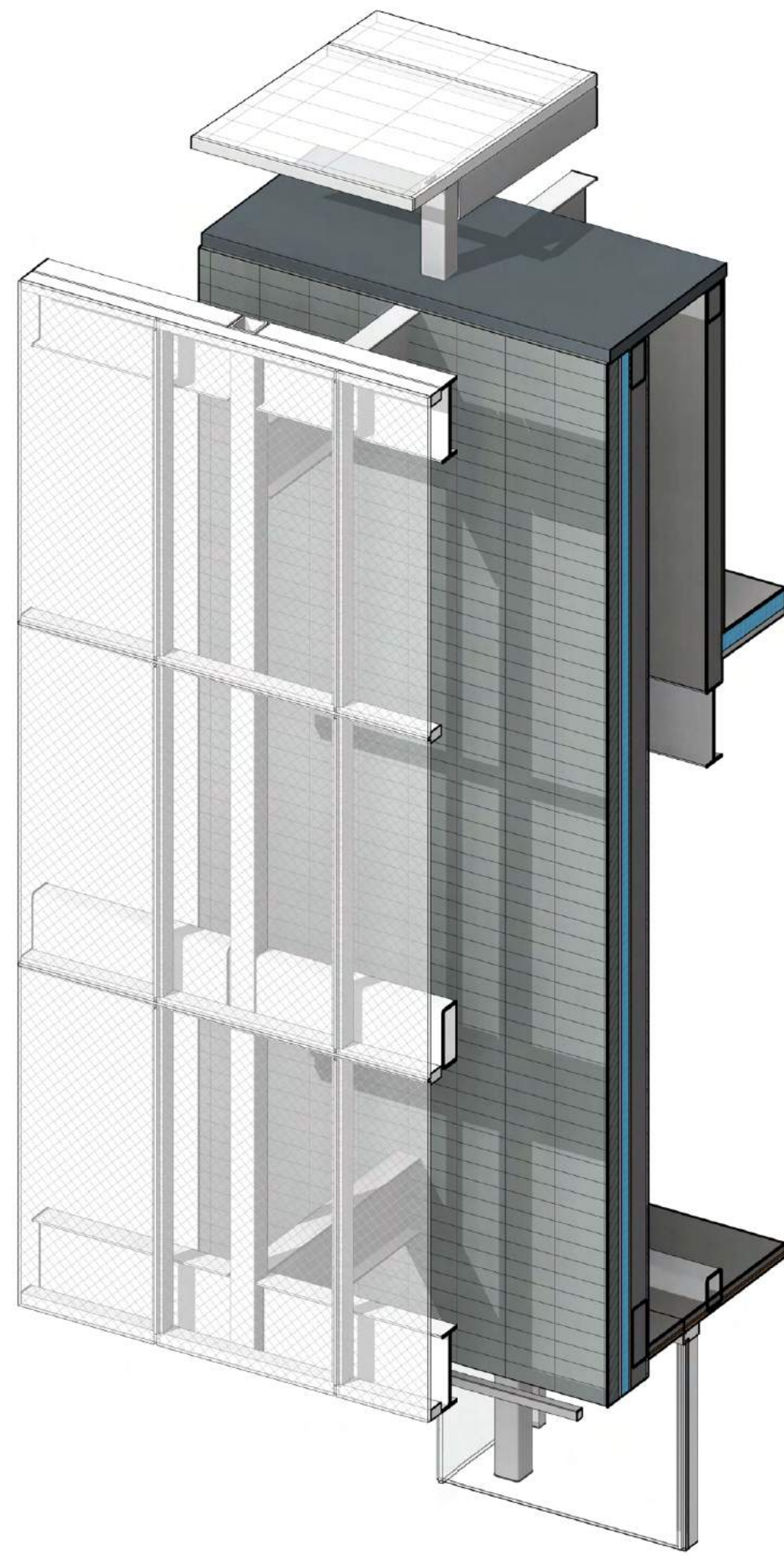
1. DETAIL IMAGES ABOVE MAY NOT PERTAIN TO ACTUAL CONSTRUCTION OR INSTALLATION TYPE. IMAGES ARE SHOWN FOR ILLUSTRATIVE AND COORDINATION PURPOSES ONLY.
2. RAISED EXPANDED METAL MESH SCREEN TO ATTACH TO STRUCTURAL SUBFRAMING SYSTEM VIA STAINLESS STEEL CLIPS WITH RIVETED CONNECTIONS TO PANEL AND BOLTED CONNECTION TO SUBFRAME
3. PANELS AND SUBFRAMING TO BE PREFINISHED, PRIMED AND PAINTED IN-SHOP. SEE KEYNOTES AND VERIFY PAINT COLOR WITH ARCHITECT PRIOR TO PROCEEDING.
4. MESH PATTERN TO APPEAR CONTINUOUS VERTICALLY AND HORIZONTALLY ACROSS ALL PANELS.
5. SEE STRUCTURAL DRAWINGS FOR OUTRIGGER AND GIRT PLACEMENTS



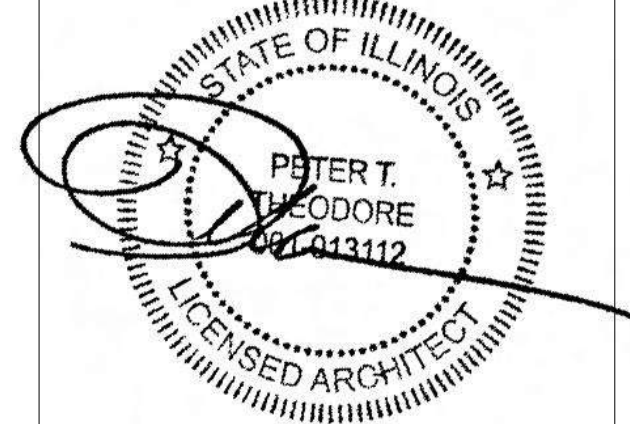
Dimensions DL x DC ~ av x sp (mm)	Steel Kg/m ²	Aluminum Kg/m ²	Finished Panel Thickness (mm)	Open Area (%)
150x56(56) - 21.5 x 1.5	9.3	3.1	21	29.8



2 ARCHITECTURAL SCREEN FULL SECTION DETAIL
3/8" = 1'-0"



3 3D AXONOMETRIC VIEW - ARCHITECTURAL SCREEN



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PETE'S FRESH MARKET

**16300 S. HARLEM AVE.
TINLEY PARK, IL 60477**

REVISION LOG

DELTA	DESCRIPTION	DATE	BY
00	N/A	06-06-2020	CT

ISSUE DATES

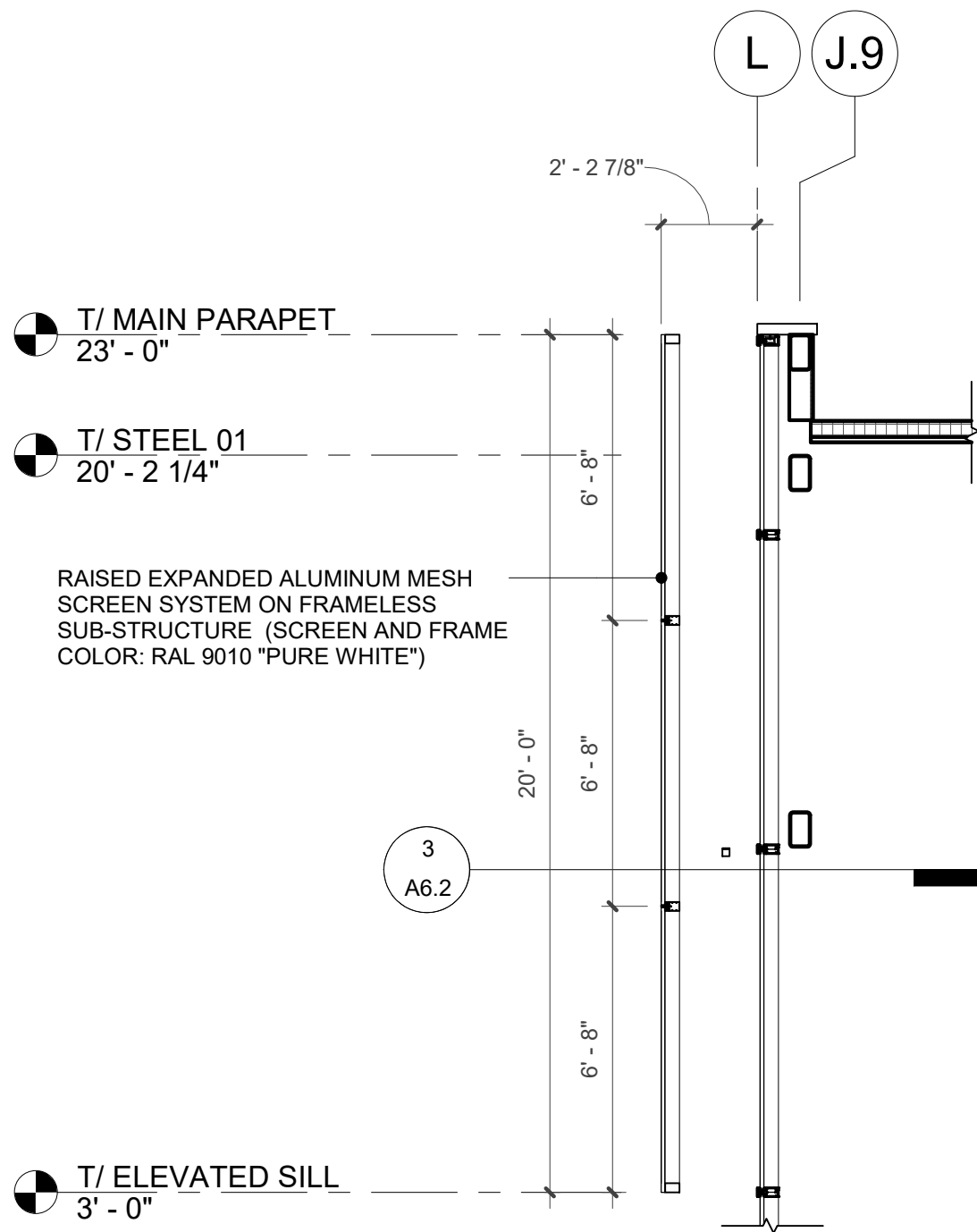
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021

PROJECT NUMBER	20-58002
----------------	----------

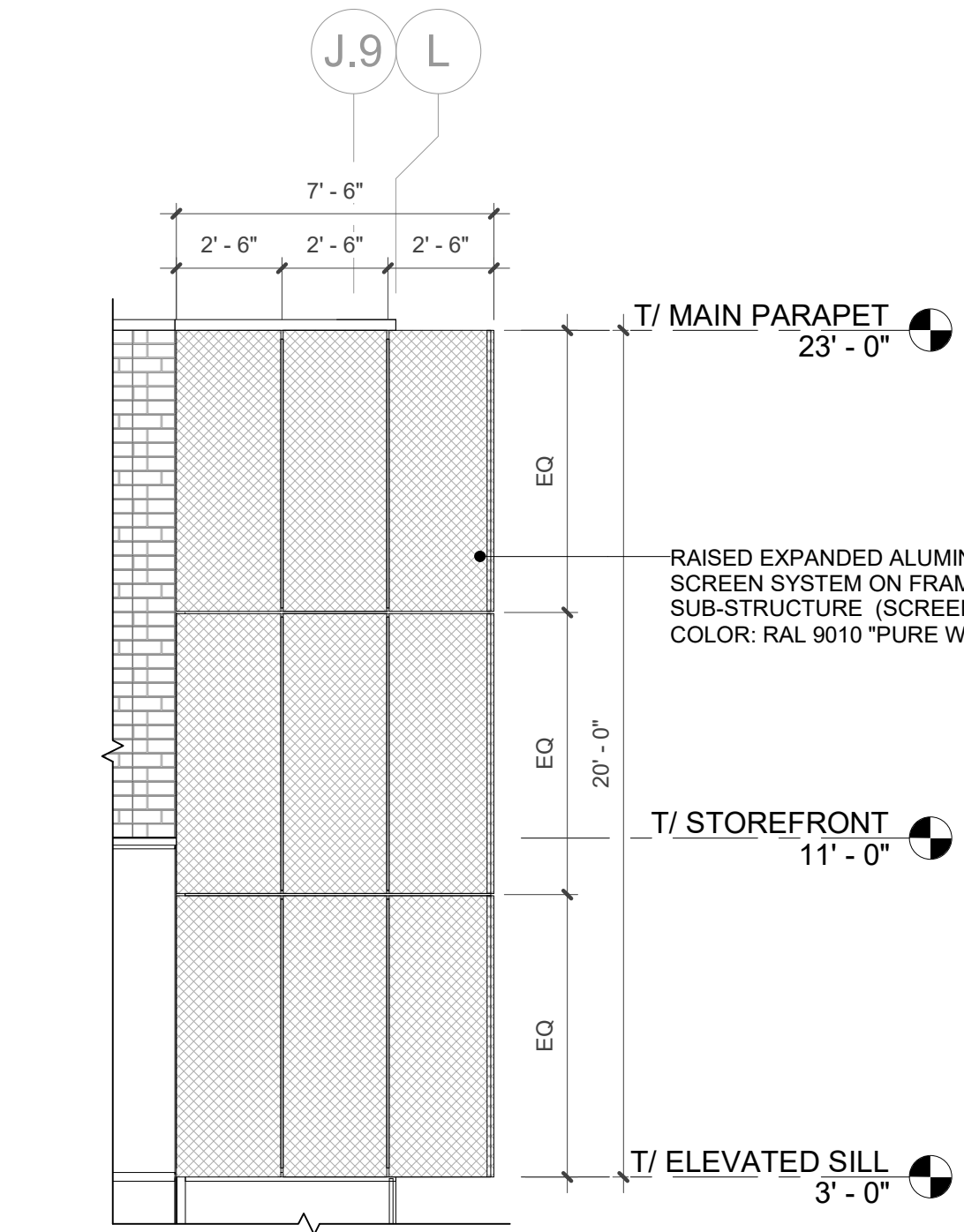
SHEET TITLE	ARCHITECTURAL SCREEN SYSTEM
-------------	-----------------------------

SHEET NUMBER

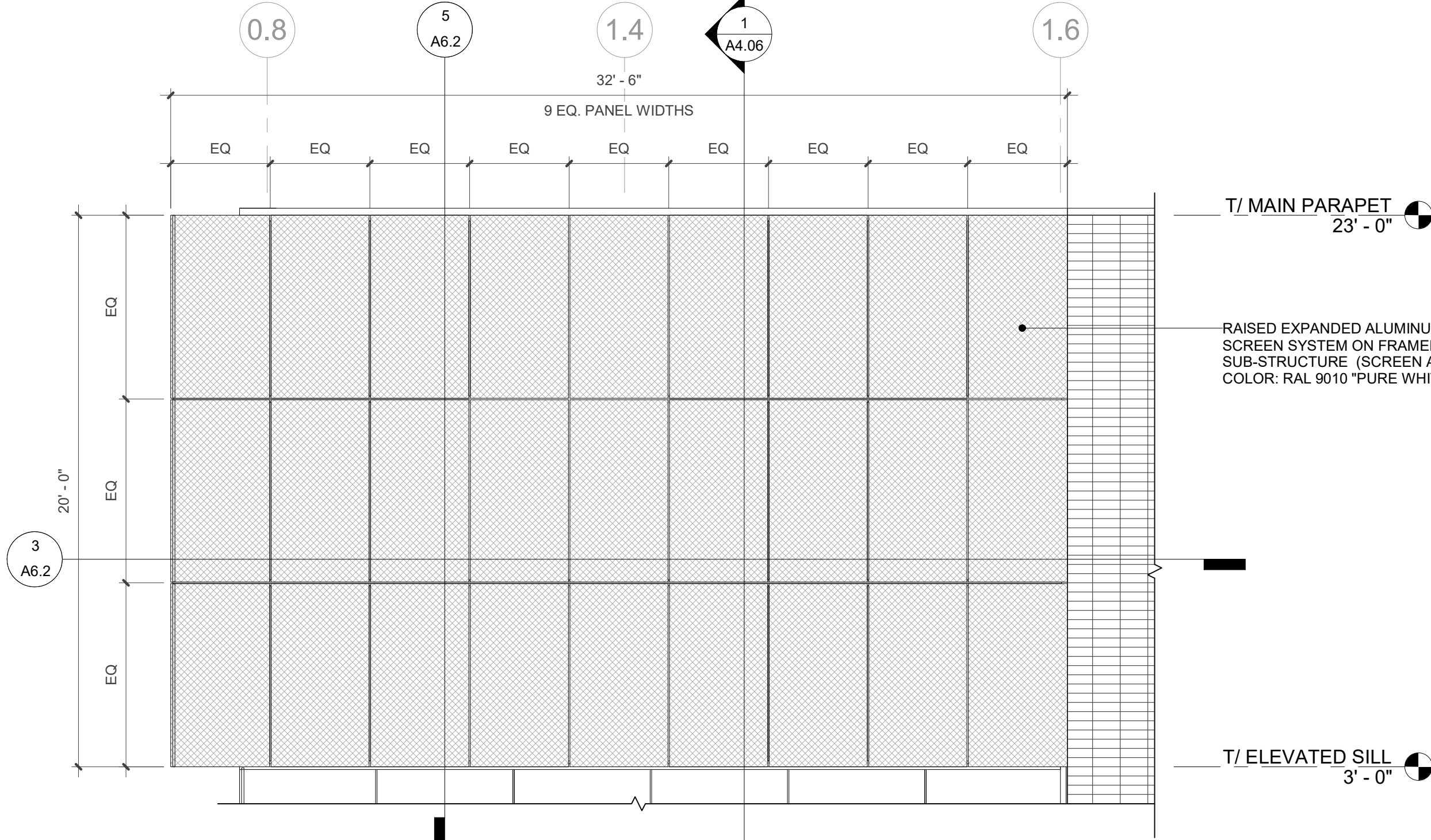
A6.1



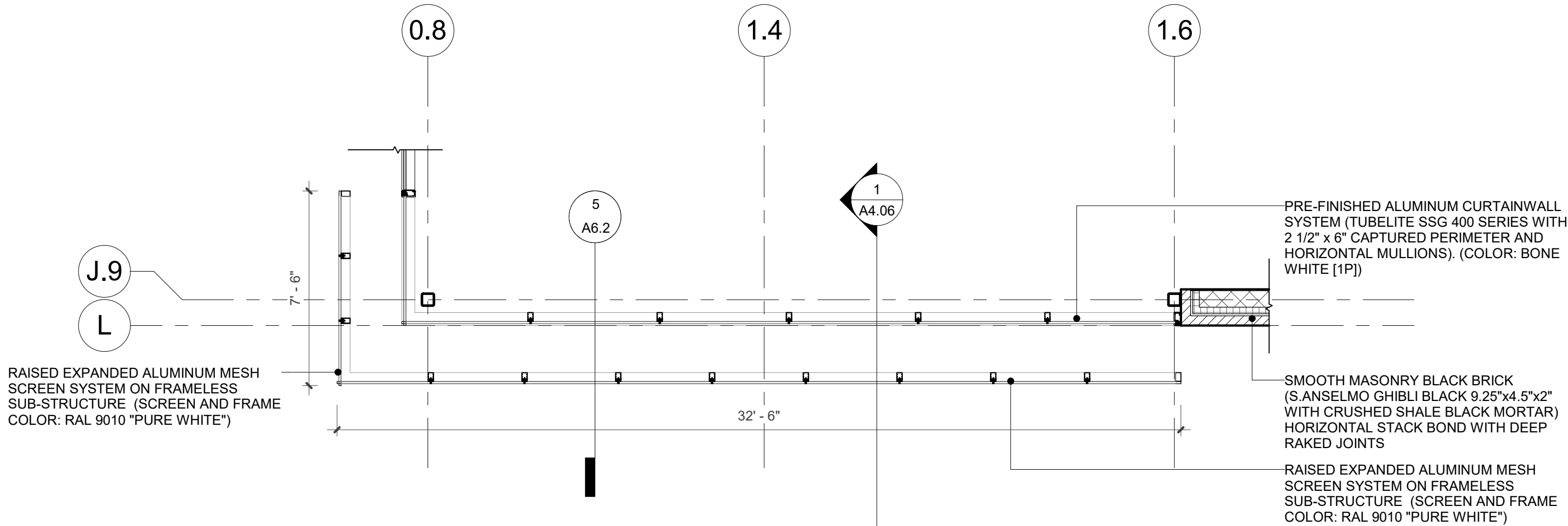
5 WALL SECTION AT SCREEN - NORTH
1/4" = 1'-0"



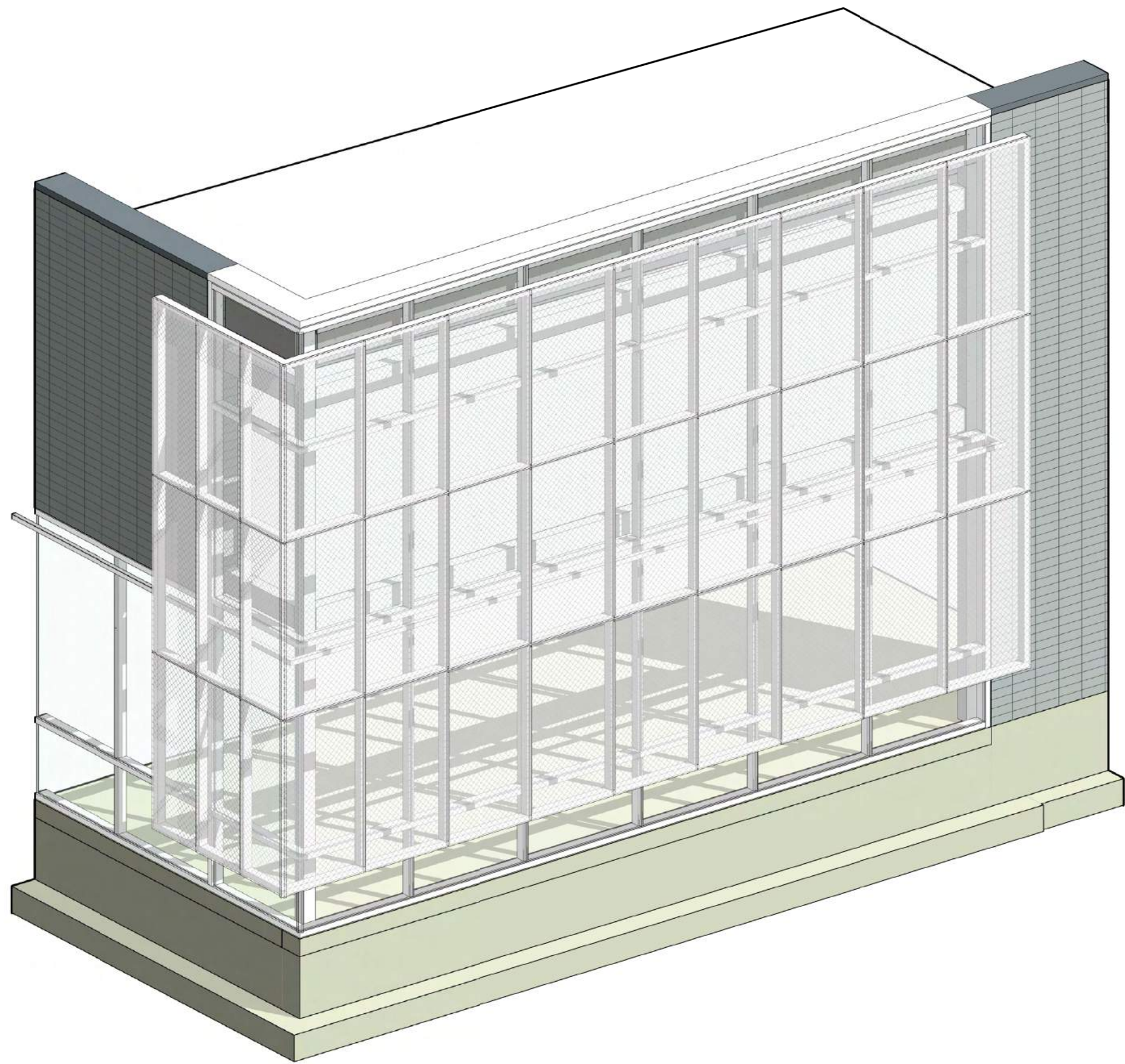
1 ENLARGED ELEVATION AT SCREEN WALL - CORNER EAST
1/4" = 1'-0"



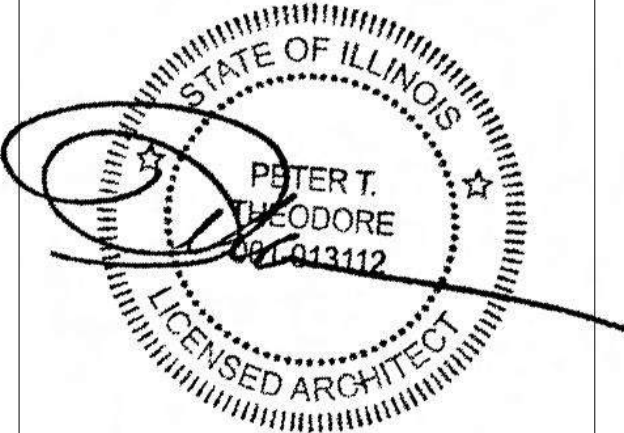
2 ENLARGED ELEVATION AT SCREEN WALL - CORNER NORTH
1/4" = 1'-0"



3 ENLARGED PLAN AT SCREEN WALL CORNER
1/4" = 1'-0"



4 3D AXONOMETRIC - SCREENS AT CORNER - NORTH



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PETE'S FRESH MARKET

**16300 S. HARLEM AVE.
TINLEY PARK, IL 60477**

REVISION LOG

DELTA:	DESCRIPTION:	DATE:	BY:
00	N/A	06-09-2020	CT

ISSUE DATES

TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	

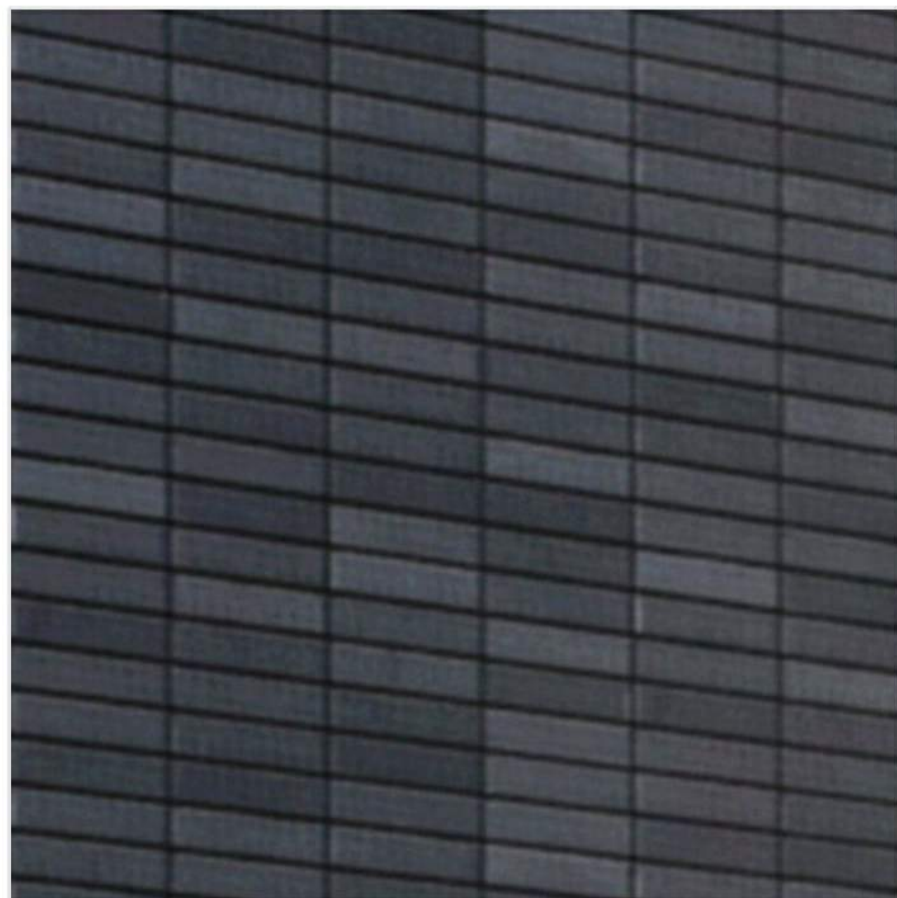
CURRENT DATE
05-27-2021

PROJECT NUMBER
20-58002

SHEET TITLE
**ARCHITECTURAL SCREEN
SYSTEM - CORNER**

SHEET NUMBER

A6.2



PRODUCT: GHIBLI BLACK



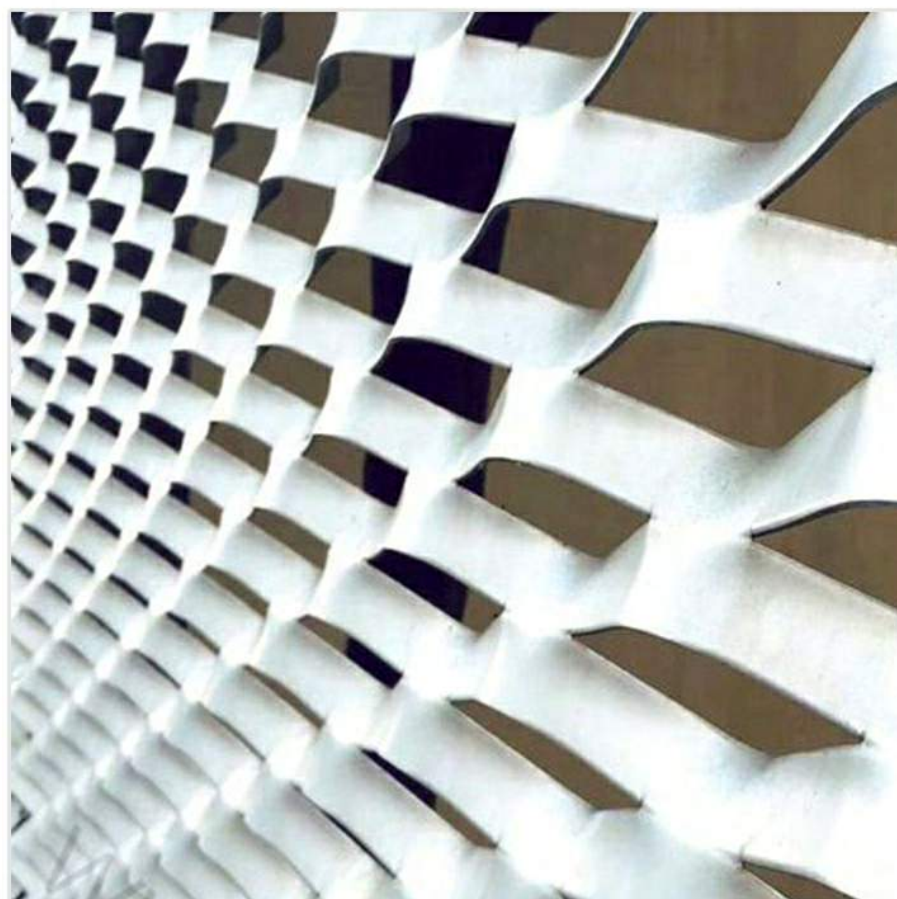
PRODUCT: PANAMA WHITE



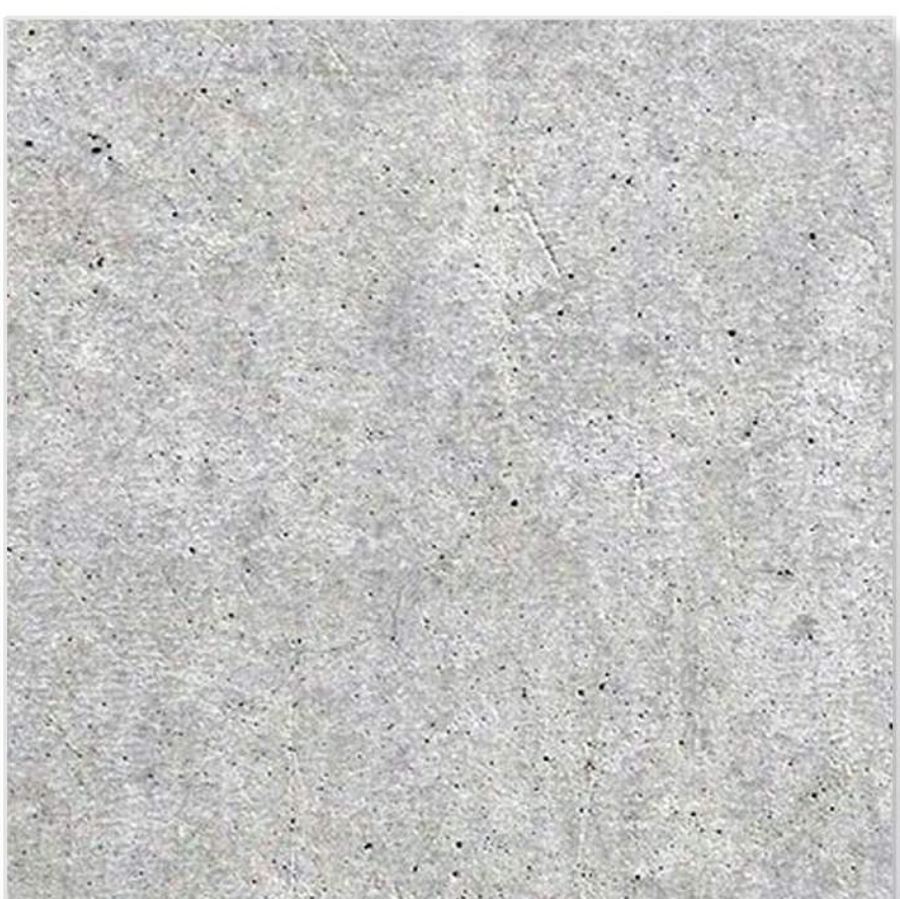
PRODUCT: SSG 400 (WHITE)



SOLARBAN 70



EXPANDED METAL (WHITE)



CAST IN PLACE FINISHED SMOOTH



SHOJI 2.75" CRYSTAL + WHITE



LINEAR LED (ZL1F)



PRODUCT: TRENWYTH (QT BLACK)



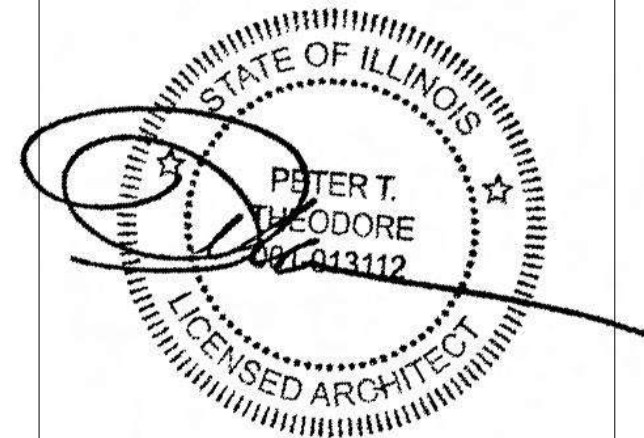
PRODUCT: PLA CHANNEL



ENVELOPE 2000 R&R (WHITE)



PRODUCT: GHIBLI BLACK



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PETE'S FRESH MARKET

16300 S. HARLEM AVE.
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[illegible]

ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	
05-27-2021	

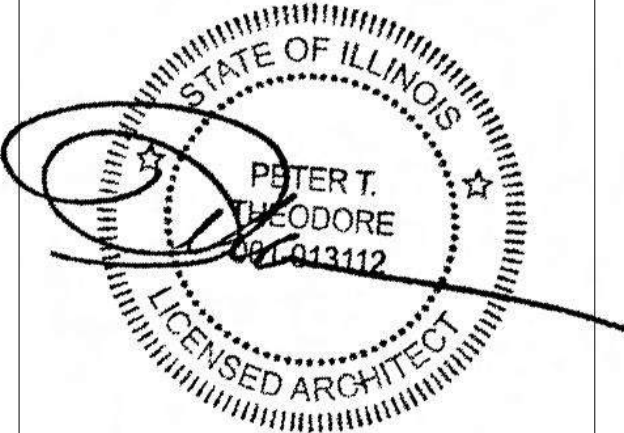
PROJECT NUMBER
20-58002

SHEET TITLE

**ARCHITECTURAL BUILDING
MATERIALS**

SHEET NUMBER

A8.0



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TINLEY PARK, IL 60477

[illegible]

ISSUE DATES

TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	
05-27-2021	

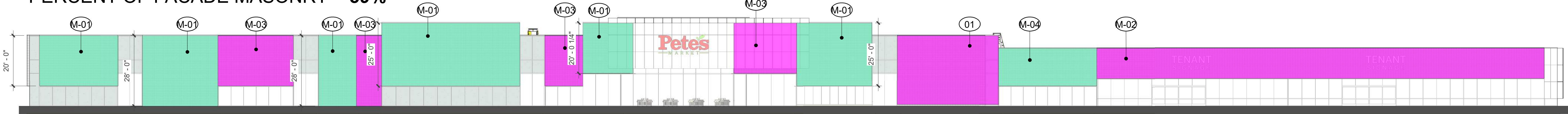
SHEET TITLE

**REPRESENTATIVE IMAGES FOR
PFM**

SHEET NUMBER

A8.1

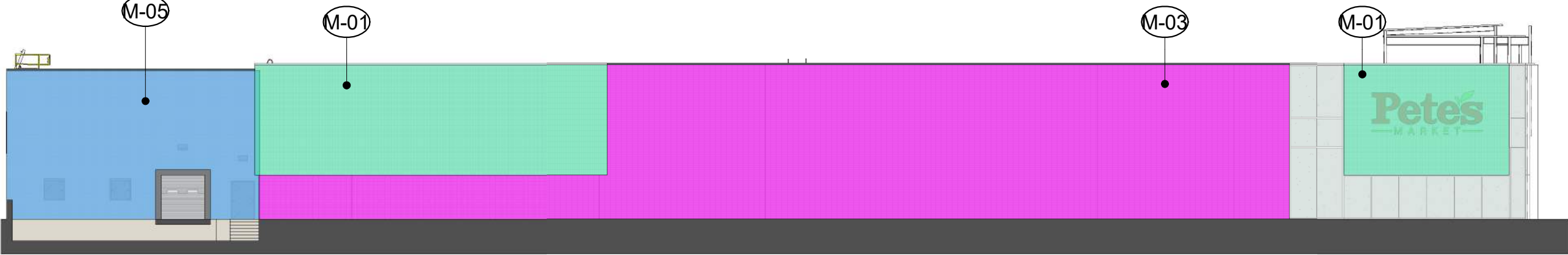
PERCENT OF FACADE MASONRY = 59%



TOTAL FACADE = 16,747 SF WHITE BRICK = 4,994 SF BLACK BRICK = 4,920 SF

1 MASONRY TAKE-OFF - ELEVATION - EAST
3/64" = 1'-0"

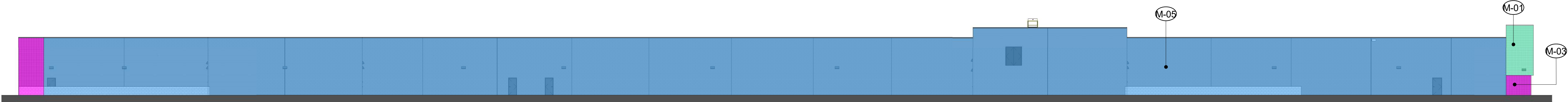
PERCENT OF FACADE MASONRY = 90%



TOTAL FACADE = 7,735 SF WHITE BRICK = 1,880 SF BLACK BRICK = 3,965 SF BLACK SPLIT FACE CMU = 1,176 SF

2 MASONRY TAKE-OFF - ELEVATION - SOUTH
3/64" = 1'-0"

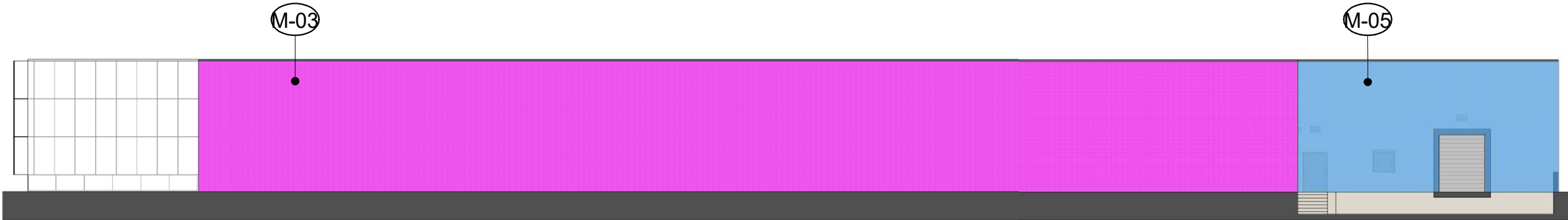
PERCENT OF FACADE MASONRY = 100%



TOTAL FACADE = 14,291 SF BLACK SPLIT FACE CMU = 13,756 SF WHITE BRICK = 220 SF BLACK BRICK = 315 SF

4 MASONRY TAKE-OFF - ELEVATION - WEST
3/64" = 1'-0"

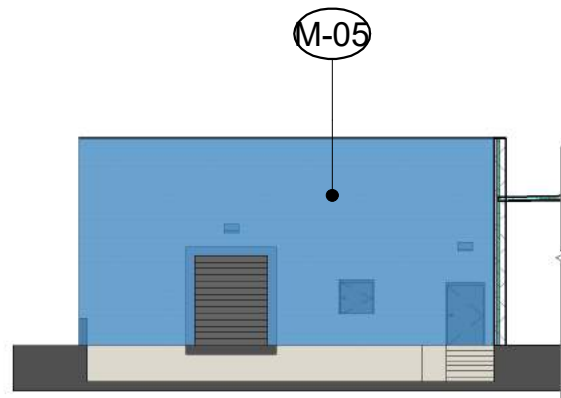
PERCENT OF FACADE MASONRY = 87%



TOTAL FACADE = 6,200 SF BLACK SPLIT FACE CMU = 977 SF BLACK BRICK = 4,455 SF

3 MASONRY TAKE-OFF - ELEVATION - NORTH
3/64" = 1'-0"

PERCENT OF FACADE MASONRY = 100%



BLACK SPLIT FACE CMU = 980 SF

6 MASONRY TAKE-OFF - ELEVATION - SOUTH LOADING DOCK
3/64" = 1'-0"

PERCENT OF FACADE MASONRY = 100%



BLACK SPLIT FACE CMU = 1,058 SF

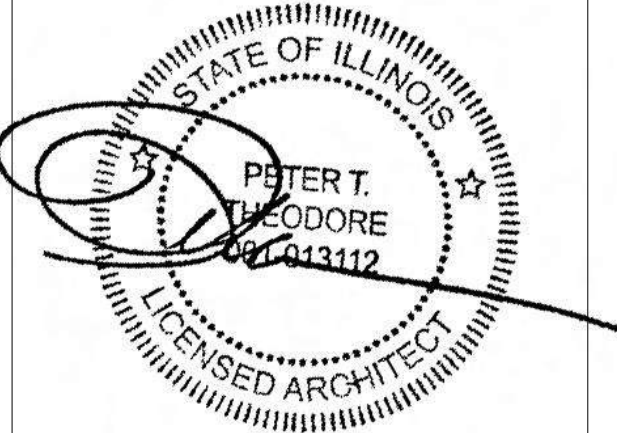
5 MASONRY TAKE-OFF - ELEVATION - NORTH LOADING DOCK
3/64" = 1'-0"

MASONRY TAKE-OFF TOTALS

- BLACK SPLIT FACE CMU = 17,949 SF x 5% = (18,847 SF)
- WHITE BRICK = 7,094 SF x 10% = (7,804 SF)
- BLACK BRICK = 13,655 SF x 10% = (15, 021 SF)

MATERIAL KEYNOTES

- 01 PRE-FINISHED ALUMINUM CURTAINWALL SYSTEM (TUBELITE SSG 400 SERIES WITH 2 1/2" x 6" CAPTURED PERIMETER AND HORIZONTAL MULLIONS). (COLOR: BONE WHITE [1P])
- M-01 SMOOTH MASONRY WHITE BRICK (S ANSELMO PANAMA WHITE 9.25"x4.5"x2" WITH MEDUSA WHITE MORTAR) VERTICAL SOLDIER COURSING WITH PROTRUDING UNIT PER ARCHITECT'S LAYOUT (1/G1.0)
- M-02 SMOOTH MASONRY BLACK BRICK (S ANSELMO GIBLI BLACK 9.25"x4.5"x2" WITH CRUSHED SHALE BLACK MORTAR) HORIZONTAL COURSING WITH PROTRUDING UNIT PER ARCHITECT'S LAYOUT (2/G1.0)
- M-03 SMOOTH MASONRY BLACK BRICK (S ANSELMO GIBLI BLACK 9.25"x4.5"x2" WITH CRUSHED SHALE BLACK MORTAR) HORIZONTAL STACK BOND WITH DEEP RAKED JOINTS
- M-04 SMOOTH MASONRY WHITE BRICK (S ANSELMO PANAMA WHITE 9.25"x4.5"x2" WITH MEDUSA WHITE MORTAR) VERTICAL SOLDIER COURSING STACK BOND WITH DEEP RAKED JOINTS
- M-05 SPLIT FACE MASONRY UNIT 4x8x16 (TRENWYTH "QT BLACK" INTEGRAL COLOR BLOCK) WITH SPECIMIX "BLACK" MORTAR



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PETE'S FRESH MARKET

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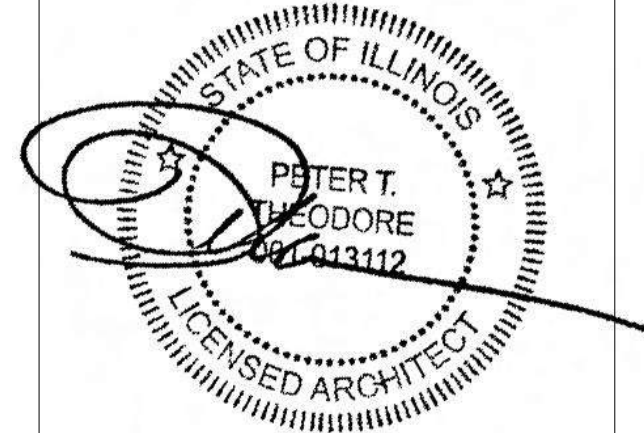
REVISION LOG	DELTA:	DESCRIPTION:	DATE:	BY:
	00	N/A	06-09-2020	CT

ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021
PROJECT NUMBER	20-58002
SHEET TITLE	ARCHITECTURAL ELEVATIONS - MASONRY TAKE-OFFS
SHEET NUMBER	

A8.2



VIEW TO PETE'S ENTRY (DAY)



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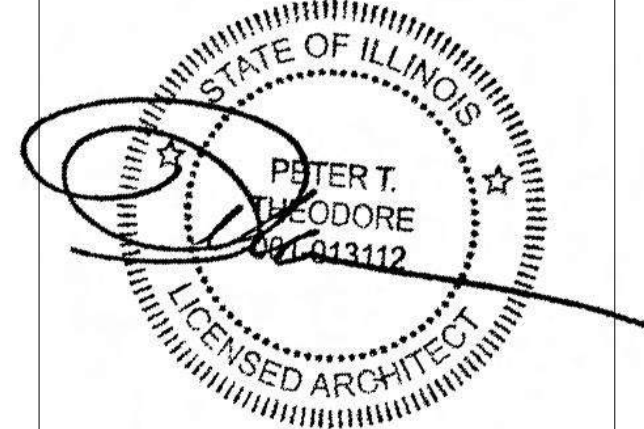
REVISION LOG		DATE	BY:
DELTA:	DESCRIPTION:	06-06-2020	CT
00	N/A		

ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021
PROJECT NUMBER	20-58002
SHEET TITLE	RENDERING - VIEW TO PFM ENTRY
SHEET NUMBER	

A9.0



VIEW TO PETE'S ENTRY (NIGHT)



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PETE'S FRESH MARKET

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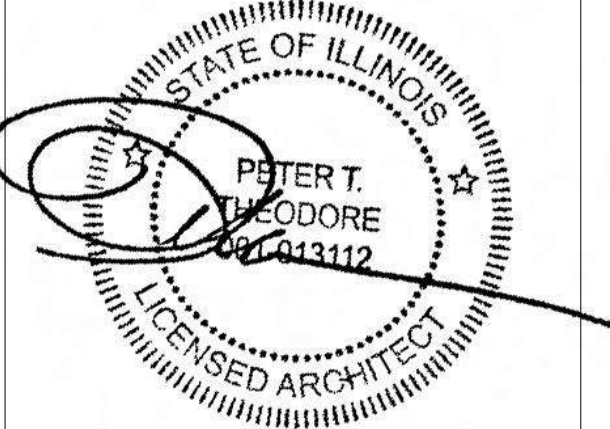
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DELTA:	DESCRIPTION:	06-06-2020	CT
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ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021
PROJECT NUMBER	20-58002
SHEET TITLE	RENDERING - VIEW TO PFM ENTRY (NIGHT)
SHEET NUMBER	

A9.1



ELEVATION OF PETE'S ENTRY



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PETE'S FRESH MARKET

16300 S. HARLEM AVE.
TINLEY PARK, IL 60477

REVISION LOG		DATE	BY:
DELTA:	DESCRIPTION:	06-06-2020	CT
00	N/A		

ISSUE DATES	
TYPE	DATE
PLAN COMMISSION WORKSHOP	05-27-2021
PERMIT SET	
BID SET	
ISSUE FOR CONSTRUCTION	
AS-BUILT	
CURRENT DATE	05-27-2021
PROJECT NUMBER	20-58002

SHEET TITLE
RENDERING - AERIAL VIEW TO PFM ENTRY

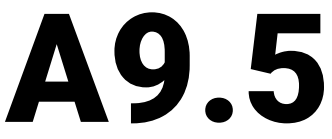
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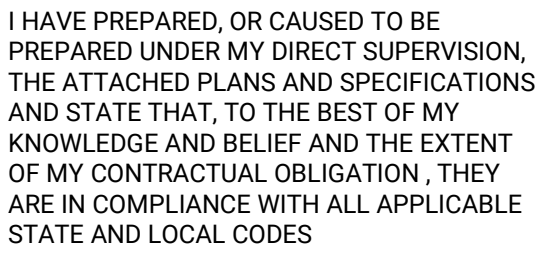
A9.2



A9.3







16300 S. HARLEM AVE.
TINLEY PARK, IL 60477

A9.7

SIGN NOTATIONS BY :
THE HOLLAND DESIGN GROUP, INC.
1090 BROWN STREET WAUCONDA, IL 60084
847 526-8848
EMAIL: artsign5@aol.com

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PETE'S FRESH MARKET
16300 S. HARLEM AVE.
TINLEY PARK IL

REVISION DATES

NO.	DATE	TYPE	ISSUE FOR VILLAGE REVIEW
1	02/09/21		

ISSUE DATES

TYPE	DATE
OWNER REVIEW SET	--/--/18
PERMIT SET	--/--/18
BID SET	--/--/18
CONSTRUCTION SET	--/--/18
AS-BUILT SET	--/--/18

DRAWN BY	JB
CHECKED BY	JB

PROJECT NUMBER
20-58002

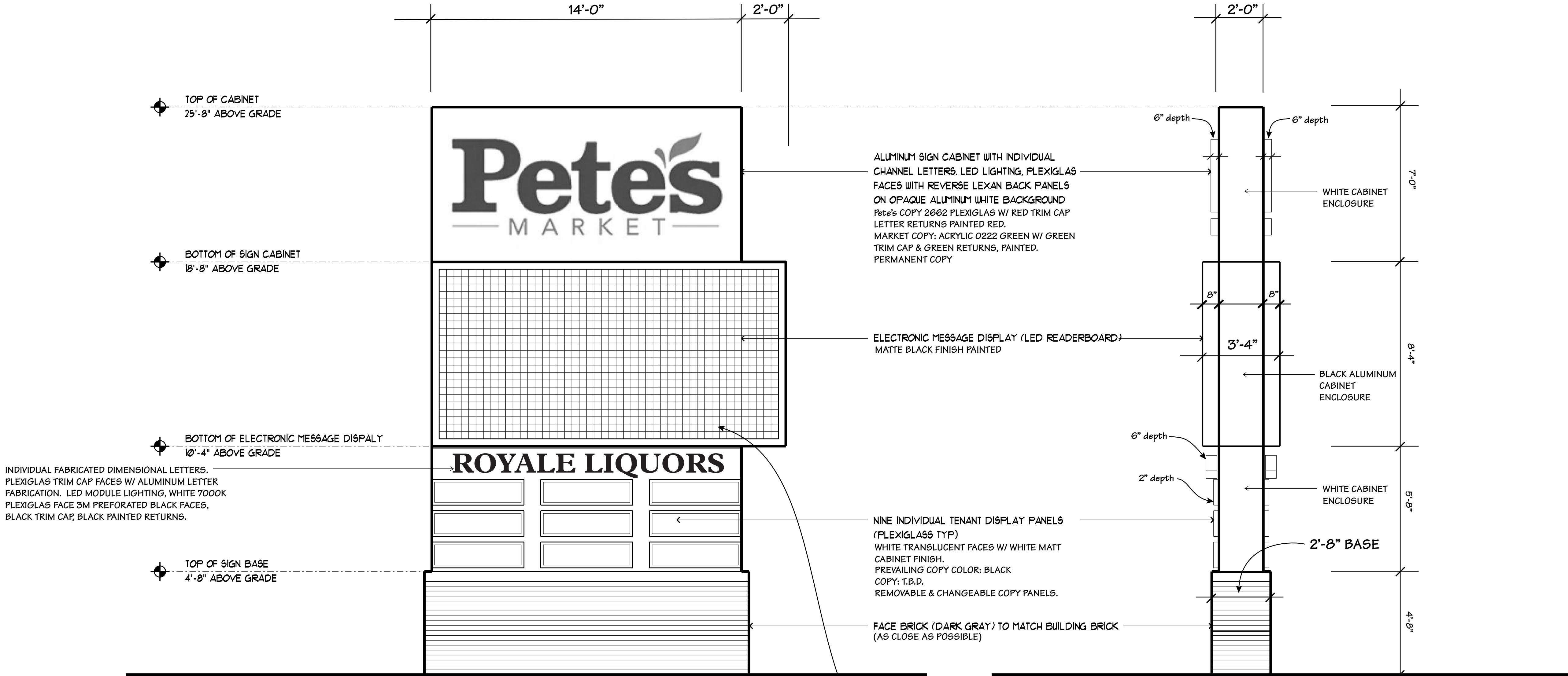
DATE
10/20/2020

SHEET TITLE

GROUND SIGN

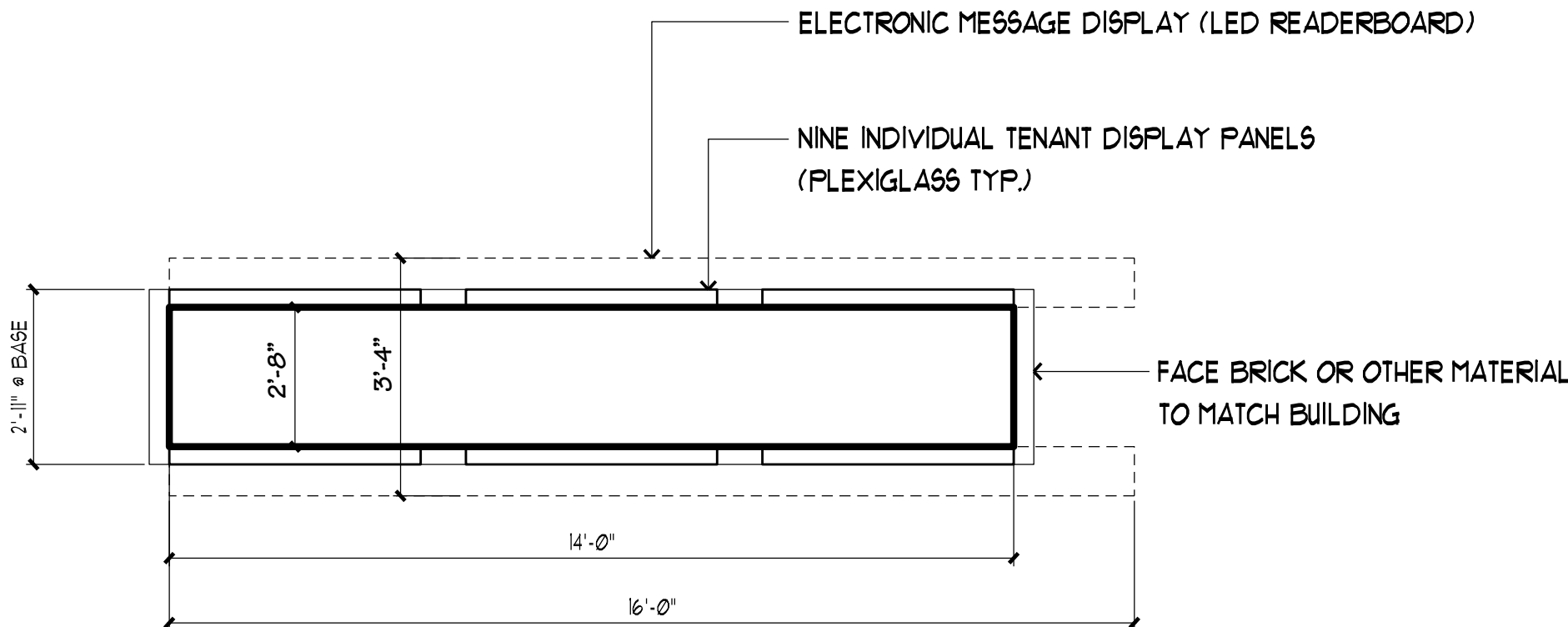
SHEET NUMBER

GS-1



GROUND SIGN - FRONT ELEVATION
SCALE 3/8" = 1'-0"

GROUND SIGN - SIDE ELEVATION
SCALE 3/8" = 1'-0"



SCALE 3/8" = 1'-0" GROUND SIGN - PLAN

NOTE:
ALL CABINET FABRICATION & CONSTRUCTION TO UNITED LABRATORY STANDARDS.
LABEL AND NUMBER ASSIGNED.
ELECTRICAL TO THE MUNPCIAL CODE & NEC STANDARDS

On Premise Quote

QUOTE NUMBER: 2102813.0 (Version 0) DATE: 1/29/2021

SIGN ID: 1463667 w8

Holland Design Group 882900
Art Holland, president
1090 Brown St
Wauconda, IL 60084-1106
847-526-8848
artsign5@aol.com

Shipping Destination
Holland Design Group
1090 Brown St
Wauconda, IL 60084-1106

Job Site
Name: Petes Market
Address: 16300 S Harlem Rd Frontage
City: Tinley Park
State: IL Zip:

PRODUCT SPECIFICATIONS

Pixel Pitch: W8mm LED RGB
Pixel Matrix: 288 X 504
Cabinet Size: 8ft 4in H x 15ft L x 8in D
Viewing Area: 8ft H x 14ft L
Cabinet Style: Double Face Twinpak
Character Size: 30 lines / 100.8 Characters at a 3" type
Approx. Weight: 2548.00 Lbs.
Warranty: Standard 5 Year Watchfire warranty applies.
Mfg. Lead Time: 6-8 weeks (after this document is signed & returned and receipt of down payment).
Electrical Service: 240 VOLT 4 WIRE 84.0 amps (42.00 per face). Refer to the Installation manual for details on wiring. Based on 18 hours of operation a day, plus or minus 10% depending on how the sign is programmed.
Example: 104.5 KWHrs a day x \$0.07 = \$7.32/Day

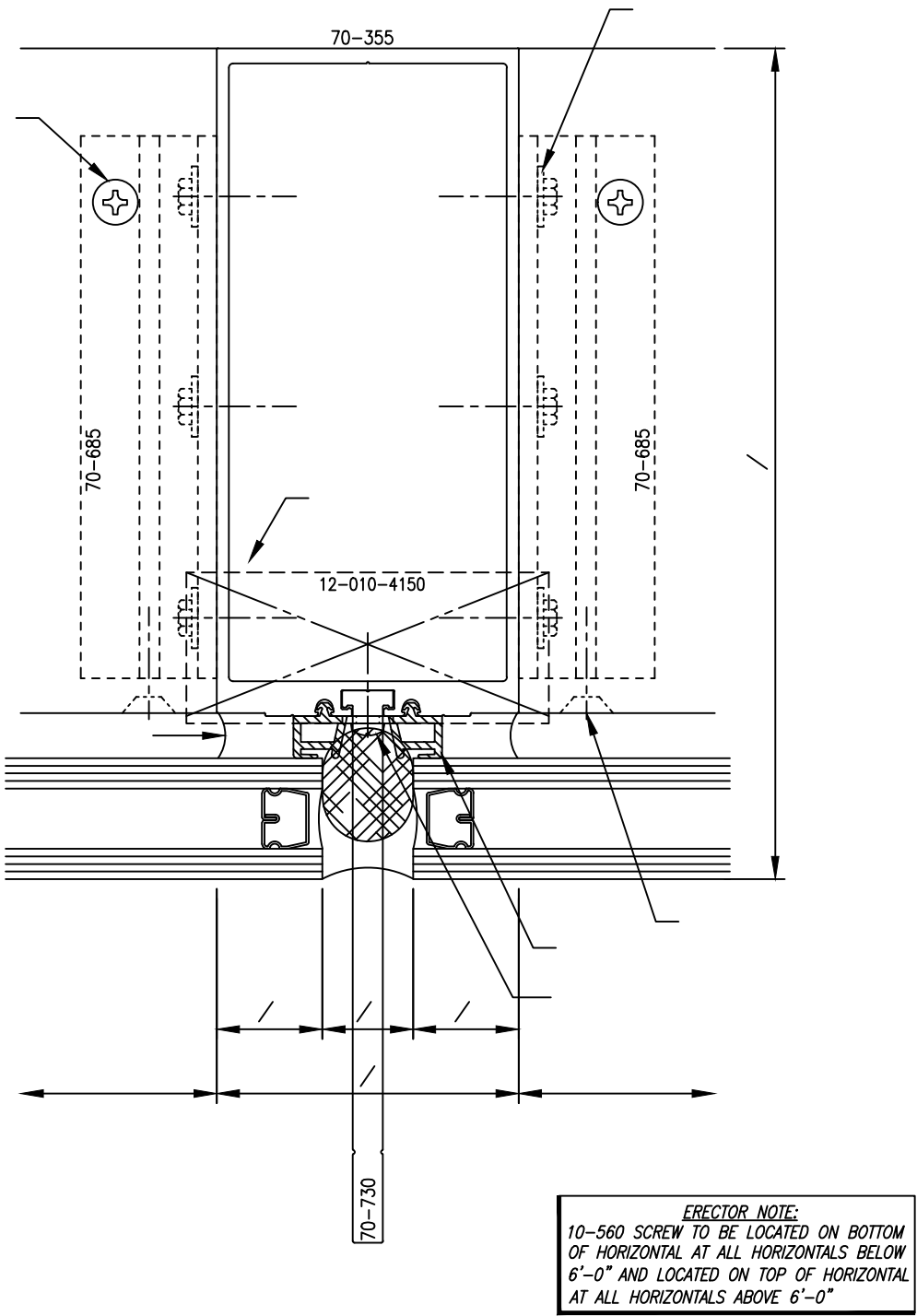
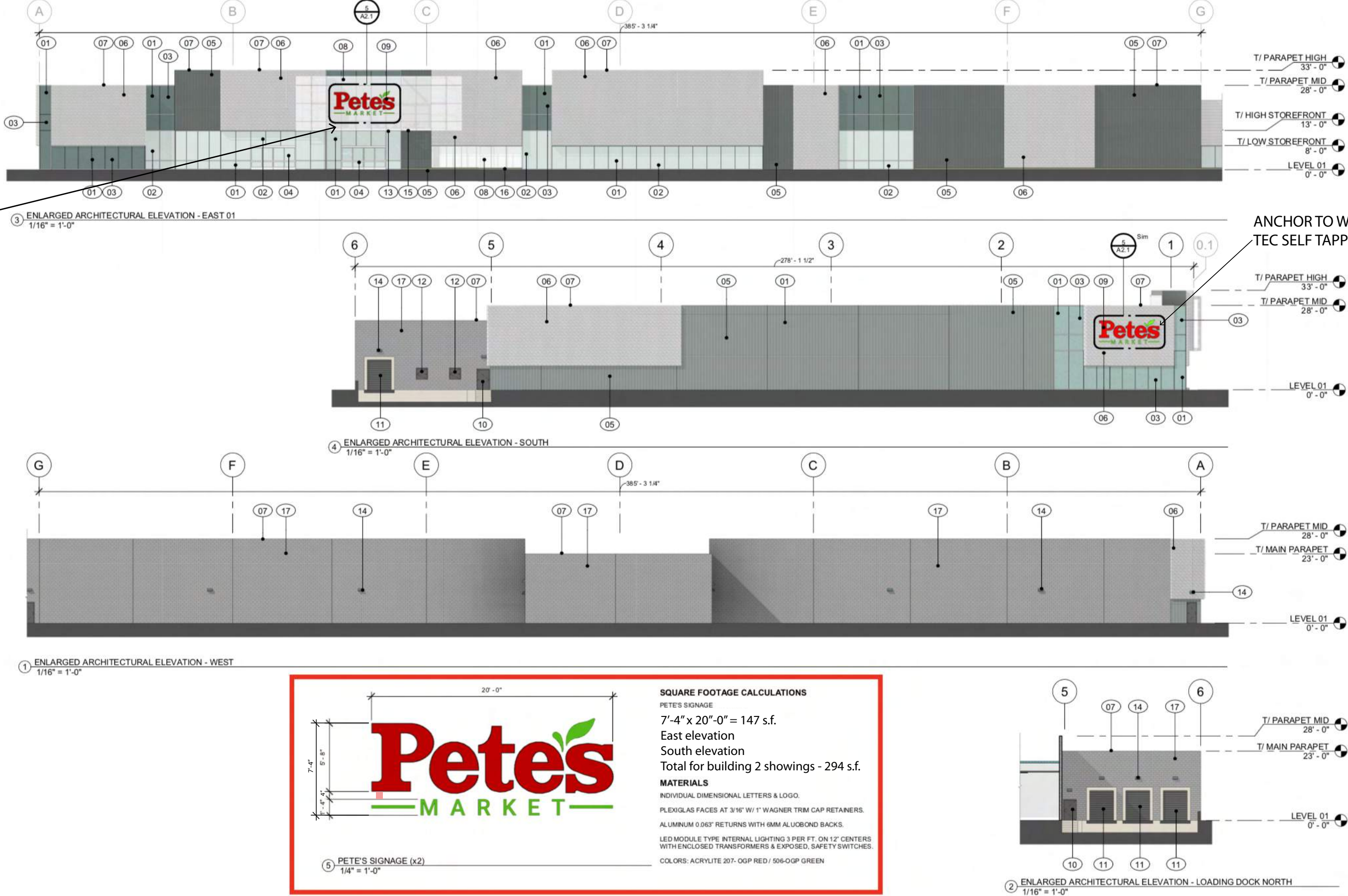
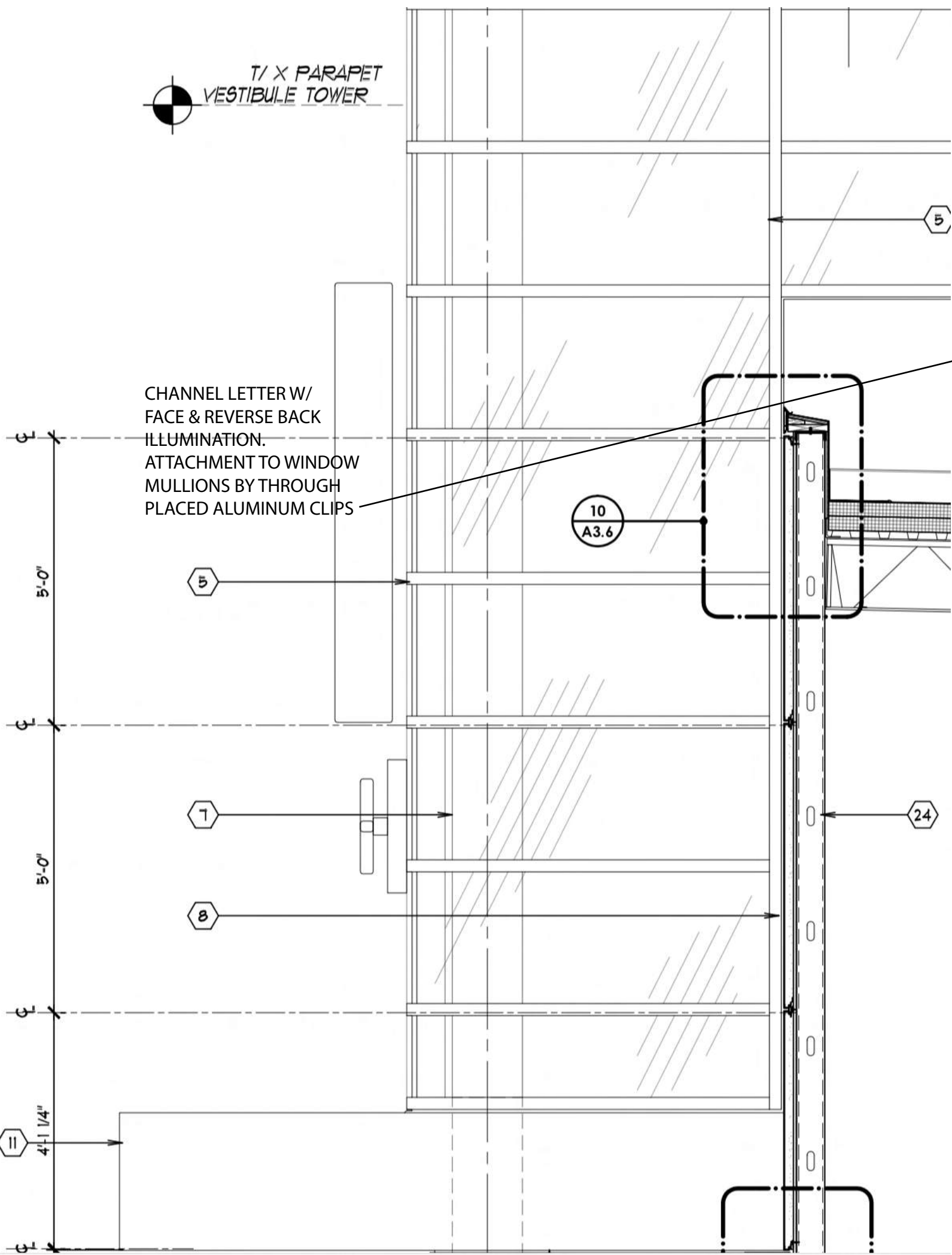
OPTIONS

Software: Ignite OP
Communications: 4G Wireless w/ Life-of-sign Cellular Data Plan
Software Training: Web Based Software Training
Cabinet Separation: Standard Up To 15 Feet
Power Requirements: Standard As Quoted
Temperature Sensor: w/100-Step Photocell w/15 ft Cable
Sign Mounting Kit: Mini Stringers
Warranty: Standard 5-Year Parts Warranty
Personal Computer: PC Not ordered. Ignite Included
Technician On-Site: Not Ordered
Spare Parts Kit: Not Ordered
Custom Artwork: Not Ordered


STANDARD FEATURES

Brightness: Daytime 5000 NITS Maximum, ttime 700
Nighttime 500 / Factory settings
Color: LED RGB
Color Capability: Min. 1.2 Quintillion
Includes: Ignite Graphics Software
Video: up to 30 FPS
Viewing Angles: 150 Horizontal/95 Vertical

PLAN COMMISSION WORKSHOP SUBMITTALS/27/21



PLAN COMMISSION WORKSHOP SUBMITTAL5/27/21



SHEET NUMBER

SIGN TYPE: TYPICAL WALL SIGN W/ LED ILLUMINATION / WINDOW FRAME MOUNTING

LOCATION: 16300 S. HARLEM AVENUE ROAD FRONTAGE

JOB NO. 01142021 ALL DIMENSIONS ARE APPROXIMATE NOT FOR CONSTRUCTION MEASUREMENTS

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16300 S. HARLEM AVENUE
TINLEY PARK, IL.

DATE : 01-29-2021
DRAWN BY: ATH
SCALE : AS NOTED


CUSTOMERS APPROVAL OF DRAWING

DATE: _____

SIGNATURE: _____

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☐ COLORS
☐ SIZES
☐ PLACEMENT



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WAUCONDA, ILLINOIS 60084-1106
PHONE 847 526-8848
FAX 847 526-8945
email: artsign5@aol.com

LIST OF REVIEWED PLANS - Pete's – Phase 2

Submitted Sheet Name		Prepared By	Date On Sheet
C0.0	Site Location Map	Cage	05.27.21
C0.1	General Notes and Specifications	Cage	05.27.21
C0.2	VOTP Standards	Cage	05.27.21
C0.3	Demolition Plan	Cage	05.27.21
C1.0	Site Layout Plan/pavement striping plan	Cage	05.27.21
C1.1	Phasing Plan	Cage	05.27.21
C2.0	Site Grading Plan	Cage	05.27.21
C2.1	Soil Erosion& Sediment Control Plan	Cage	05.27.21
C2.2*	Soil Erosion & Sediment Control Details	Cage	05.27.21
C3.0	Site Utility Plan	Cage	05.27.21
C4.0*	Construction Details	Cage	05.27.21
C4.1*	Construction Details	Cage	05.27.21
C4.2*	Construction Details	Cage	05.27.21
L.11	Tree Protection Plan South	LG	05.27.21
L.12	Tree Protection Plan North	LG	05.27.21
L.21	Landscape Plan South	LG	05.27.21
L.22	Landscape Plan Center	LG	05.27.21
L.23	Landscape Plan North	LG	05.27.21
L.31	Landscape Details	LG	05.27.21
L.41	Existing Fence Survey	LG	05.27.21
EX-1	Truck Turn Exhibit	Cage	05.27.21
EX-2	Truck Turn Exhibit	Cage	05.27.21
EX-3	Truck Turn Exhibit	Cage	05.27.21
	Photometric Plan	KSA	05.27.21
	Detail Sheets (16)	LL	
	Plat of Subdivision	Schudt	05.27.21
	Plat of Subdivision – sheet 2	Schudt	05.27.21
	Plat of Vacation	Schudt	05.27.21
A2.0	Exterior Elevations -incl RTU	CT	05.27.21
A2.1	Architectural Material Elevations- Grocery	CT	05.27.21
A2.2	Architectural Material Elevations – In-line Tenants	CT	05.27.21
A2.5	Architectural Elevation- proposed addition	CT	05.27.21
A3.4	Architectural Roof Plan- Skylight Canopy	CT	05.27.21
A6.1	Architectural Screen System	CT	05.27.21
A6.2	Architectural Screen System-corner	CT	05.27.21
A.8	Architectural Building Materials	CT	05.27.21
A8.1	Representative Images for PFM	CT	05.27.21
A8.2	Architectural Elevations Masonry Take-offs	CT	05.27.21
A9.0	Rendering – View to PFM Entry	CT	05.27.21
A.9.1	Rendering – View to PFM Entry- night	CT	05.27.21
A9.2	Rendering – Aerial View to PFM Entry	CT	05.27.21
A9.3	Rendering – Aerial View from Southeast	CT	05.27.21
A9.4	Rendering – Aerial View from Northeast	CT	05.27.21
A9.5	Rendering – View to small shops	CT	05.27.21
A9.6	Rendering – View to small shops night	CT	05.27.21

A9.7	Rendering- View to loading dock	CT	05.27.21
GS-1	Ground sign	Holland	05.27.21
S-1M	Wall sign	Holland	05.27.21

Shudt – Joseph A. Schudt Surveyor

Cage – Cage Civil Engineering

CT – Camburas & Theodore, LTD

LG- LG Workshop, LLC

KSA-KSA Lighting and Controls

LI-Lithonia Lighting

Holland-Holland Design Group

FINDINGS OF FACT - PETE'S FRESH MARKET - 16300 S. HARLEM AVENUE, TINLEY PARK IL**A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.**

Pete's Fresh Market has gone to great lengths to protect the health, safety, comfort, and welfare of the public at this site. We have achieved this through the configuration of the buildings and drive aisles, to the separation and distinctions made between the service/truck areas and the pedestrian/car and customer areas. Pete's strives to make this as comfortable a shopping experience as possible. Pete's, for decades, has created family-friendly grocery shopping centers that are intended to make the customer experience a fun and enjoyable time away from home and to make the neighborhood, in which they invest, a better place than it was before.

B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Pete's Fresh Market has gone to great lengths to maintain the integrity of the adjacent properties, particularly to the west. By moving the new building away from the west property line, as far as possible, we have created a zone that buffers the neighbors from this service side of the building. In addition to the depressed docks, we will have screen walls that will further separate the trucks from the rear parking lot. And, on top of all this, we have created a landscaped area that will run the entire length (north to south) of the rear façade, providing not only sound attenuation, but visual enhancement to this service side.

Also, by moving the new building as far east as possible, we have added to the intent of the zoning along the Harlem Avenue side. The building is now much more visible to vehicular traffic and less of a large void of traffic, thereby reflecting the commercial and retail nature of the district and certainly adding to the vibrance of this center.

C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

We believe that, given the improvements planned for this site, this Center will greatly enhance future developments of surrounding properties. With the quality of the architecture and the vitality of the Uses, this can only improve chances of further development, not only in the immediate vicinity but in the neighborhood as a whole.

D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Of course, adequate utilities, access roads, drainage, and other necessary facilities shall be provided to this site and their facilities. Pete's Fresh Market has sophisticated operations and are very familiar with the Utility companies that bring their respective resources to their sites. Provision and coordination of these utilities will not be an issue.

E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

As shown in the site plan, this Pete's Fresh Market development should have no effect on the traffic in the public streets. All current ingress and egress are fully functional.

F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

This development will only enhance the nature and character of the B-3 zoning in which it exists. The new buildings and their proposed uses, including the in-line and the out-lot buildings, are all permitted by zoning code. This development is intended to enhance the district, despite the request for a deviation from the PUD

G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

This development, especially with the Pete's Fresh Market as a constituent, will bring a resurgence to the area. Pete's Fresh Market takes great pride in the produce and product that it provides to its community. The Village of Tinley Park will benefit greatly, and in many ways, from the relationship that Pete's establishes with its many customers.



Interoffice Memo

Date: July 20, 2021
To: Committee of the Whole
Cc: Dave Niemeyer, Village Manager
From: Hannah Lipman, Assistant to the Village Manager
Subject: Electrical Aggregation Program Renewal Changes

As previously discussed with the Board, there have been several changes presented to the Village in regards to the electric aggregation program.

Our consultant has received final pricing and presented the following one (1) year options:

Green Aggregation with Annual Civic Contribution (12 mos)				
	Green Energy	Eligo Energy		MC Squared Energy
Exactly at ComEd rate, guaranteed	0%	\$70,304 **		\$42,000 **
	EPA Designation	\$22,146		\$12,000
	50%	\$13,525	\$53,062 **	N/A
	100%	N/A	\$35,820 **	N/A

** Without EPA Designation

Recommendation

If green energy isn't a priority, staff recommends either staying with MC2 to receive a \$42,000 Civic Contribution, or switching to Eligo to receive a \$70,304 Civic Contribution.

If taking advantage of green energy is a priority, staff recommends electing Eligo at 50% green energy (non-EPA Green Partner Community designation), in addition to a \$53,062 Civic Contribution.

THE VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-060

**A RESOLUTION AUTHORIZING THE VILLAGE MANAGER TO
CONTRACT WITH _____ FOR THE PURCHASE
OF ELECTRICITY – ELECTRICAL AGGREGATION PROGRAM**

**MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK**

**WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-060**A RESOLUTION AUTHORIZING THE VILLAGE MANAGER TO CONTRACT
WITH _____ FOR THE PURCHASE OF
ELECTRICITY – ELECTRICAL AGGREGATION PROGRAM**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into an Contract with _____ for an electrical aggregation program; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park; and

WHEREAS, the Corporate Authorities hereby authorize the Village Manager to sign the said Contract with _____ for a one-year term upon receipt, in order to secure the lowest rates for residents in addition to a Civic Contribution; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, THAT THE VILLAGE MANAGER BE AUTHORIZED TO CONTRACT WITH ELIGO ENERGY FOR THE VILLAGE OF TINLEY PARK'S ELECTRICAL AGGREGATION PROGRAM.

BE IT FURTHER RESOLVED ANY CONTRACT ENTERED INTO BY THE VILLAGE MANAGER PURSUANT TO THE AUTHORITY GRANTED BY THIS RESOLUTION SHALL NOT EXCEED TWELVE MONTHS (ONE YEAR) IN DURATION.

APPROVED THIS 20th day of July, 2021.

AYES:

NAYS:

ABSENT:

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2020-R-060 “A RESOLUTION AUTHORIZING THE VILLAGE MANAGER TO CONTRACT WITH _____ FOR THE PURCHASE OF ELECTRICITY – ELECTRICAL AGGREGATION PROGRAM,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 20, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 20th day of July, 2021.

VILLAGE CLERK

STAFF COMMENT

BOARD COMMENT

PUBLIC COMMENT

EXECUTIVE SESSION

ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.**
- B. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.**