

**MEETING NOTICE**

**NOTICE IS HEREBY GIVEN** that the Regular Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Tuesday, January 18, 2022, beginning at 6:30 PM in the Council Chambers at the Village Hall of Tinley Park, 16250 South Oak Park Avenue, Tinley Park, Illinois.

6:30 PM            CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

**ITEM #1**

SUBJECT:        CONSIDER APPROVAL OF AGENDA

ACTION:        Discussion - **Consider approval of agenda as written or amended.**

COMMENTS: \_\_\_\_\_  
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**ITEM #2**

SUBJECT:        CONSIDER APPROVAL OF MINUTES OF THE SPECIAL  
VILLAGE BOARD MEETINGS HELD ON JANUARY 04, 2022.

ACTION:        Discussion: **Consider approval of minutes as written or amended.**

COMMENTS: \_\_\_\_\_  
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**ITEM #3**

SUBJECT:        RECEIVE PRESENTATION OF THE TINLEY PARK BUSINESS  
SPOTLIGHT - PRIMAL CUT STEAKHOUSE - **President Glotz & Clerk  
O'Connor**

ACTION:        Discussion: The Primal Cut Steakhouse has been in operation at 17344 Oak  
Park Avenue since 2017. Primal Cut serves a traditional surf n' turf menu with  
Italian options in an upscale, casual atmosphere and boasts an extensive wine  
menu, steaks that are carved and aged in-house, Sunday brunch, and delectable  
desserts that are made fresh daily. Please join me in welcoming Paul Spass,  
owner of the Primal Cut Steakhouse. **No specific action is required.**

COMMENTS: \_\_\_\_\_  
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**ITEM #4**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-007 RECOGNIZING THE ACCOMPLISHMENTS OF DANIEL P. RIORDAN, DEPUTY FIRE CHIEF OF FIRE PREVENTION, TINLEY PARK FIRE DEPARTMENT AT HIS RETIREMENT - **Trustee Brennan**

ACTION: Discussion: This resolution recognizes Daniel P. Riordan on his retirement after his forty (40) years of public service. **The Resolution is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #5**

SUBJECT: CONSIDER APPOINTING SHERYL MALIWAT TO THE POSITION OF ACCOUNTANT II - **President Glotz**

ACTION: Discussion: Sheryl joined the Finance Department in 2019 as a part-time Accountant and has been responsible for reviewing and analyzing billing receipts, daily cash receipts, processing accounts payable and supporting the accounting staff. Sheryl has over 20 years of experience in the accounting field including 8 years in senior level accounting roles and holds a Bachelor of Science in Accountancy. She has demonstrated her abilities and has a strong desire to continue to take on additional responsibilities. It is recommended that Sheryl is promoted to the position of Accountant II. **Consider appointing Sheryl Maliwat to the position of Accountant II effective January 31, 2022.**

COMMENTS: \_\_\_\_\_  
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**ITEM #6**

SUBJECT: CONSIDER APPOINTING JESSICA MOOI TO THE POSITION OF PUBLIC WORKS SERVICE REPRESENTATIVE - **President Glotz**

ACTION: Discussion: Jessica joined the Public Works Department in 2019 in a part-time role and has taken great initiative to support the daily office operations. She has a positive attitude, a strong desire to take on additional responsibilities, and provides excellent customer service to the residents of Tinley Park. Prior to joining the Village, Jessica served in various public safety roles. She holds a Bachelor of Arts in Legal Studies and a Master of Leadership Studies. It is recommended that Jessica is promoted to the position of Public Works Service Representative. **Consider appointing Jessica Mooi to the position of Public Works Service Representative effective January 19, 2022.**

COMMENTS: \_\_\_\_\_  
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**ITEM #7**

SUBJECT: CONSIDER APPOINTING DARLENE MILANOWICZ TO THE POSITION OF ENGINEERING PROJECT MANAGER - **President Glotz**

ACTION: Discussion: Darlene is an experienced public works professional with over 21 years of engineering and project management experience serving many municipalities across the southwest suburban area in construction engineering and inspection services for street rehabilitation, roadway construction and extensions, bicycle paths, sanitary & storm sewer, and water main projects. Her experience includes 13 years of directly related engineering consulting services and 8 years of experience in public works administration, most recently serving in the role Assistant Public Works Director for a local municipality. Darlene holds a Bachelor of Science in Civil Engineering. **Consider appointing Darlene Milanowicz to the position of Engineering Project Manager, effective January 25, 2022.**

COMMENTS: \_\_\_\_\_  
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**ITEM #8**

SUBJECT: CONSIDER APPROVAL OF THE FOLLOWING CONSENT AGENDA ITEMS:

- A. CONSIDER ADOPTING ORDINANCE 2022-O-003 AMENDING TITLE III CHAPTER 32 REGARDING THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT.
- B. CONSIDER ADOPTING ORDINANCE 2022-O-004 AMENDING CHAPTER I SECTION 100 OF ORDINANCE 2016-O-055 REGARDING GENERAL REQUIREMENTS.
- C. CONSIDER PAYMENT OF IMPACT FEES THROUGH OCTOBER 2021 IN THE AMOUNT OF \$26,400 TO KIRBY SCHOOL DISTRICT 140.
- D. CONSIDER REQUEST FROM ST STEPHEN DEACON & MARTYR, TO CONDUCT A QUEEN OF HEARTS RAFFLE BEGINNING ON JANUARY 19, 2021, WITH THE WINNER BEING DRAWN EACH FRIDAY AT NORTH & MAPLE KITCHEN & BAR 18401 NORTH CREEK DRIVE.
- E. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$3,186,199.61 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JANUARY 7 AND 14, 2022.

ACTION: Discussion: **Consider approval of consent agenda items.**

COMMENTS: \_\_\_\_\_  
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**ITEM #9**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-009 REGARDING THE INDEPENDENT COUNSEL'S FINDINGS, DECISION AND ORDER: THE MATTER OF TIMOTHY JANECYK ETHICS COMPLAINT AGAINST TRUSTEE DIANE GALANTE – **Trustee Mueller**

ACTION: Discussion: This Resolution is in regards to the Independent Counsel's findings, decision and order in the matter of the Timothy Janecyk ethics complaint against Trustee Diane Galante. Trustee Mueller will read the Resolution. **This Resolution is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #10**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-007 INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – AVOCADO THEORY (17302 OAK PARK AVENUE) - **President Glotz**

ACTION: Discussion: Avocado Theory is seeking a Class E liquor license, which permits the sale of beer and wine only. This item was discussed at the Committee of the Whole prior to this meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #11**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-008 INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – GOLDEN CORRAL (6803 159th STREET) - **President Glotz**

ACTION: Discussion: Golden Corral is seeking a Class E liquor license, which permits the sale of beer and wine only. This item was discussed at the Committee of the Whole prior to this meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #12**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-009 INCREASING THE NUMBER OF CLASS “A” LIQUOR LICENSES – HILLGROVE TAP (9501 171st STREET) - **President Glotz**

ACTION: Discussion: Hillgrove Tap is seeking a Class A liquor license, which permits the sale of all alcoholic beverages. This item was discussed at the Committee of the Whole prior to this meeting. **This Ordinance is eligible for adoption.**



COMMENTS: \_\_\_\_\_  
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**ITEM #13**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-001 GRANTING A SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT FOR THE OAK RIDGE SUBDIVISION - **Trustee Mueller**

ACTION: Discussion: The Plan Commission held a Public Hearing on December 16, 2021, and voted 5-0 to recommend approval of the Special Use and Preliminary Plat in accordance with the listed plans, recommended conditions, and Findings of Fact in the Staff Report. The Village Board held a first reading on the ordinance at the January 4, 2022, Village Board meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #14**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-002 GRANTING A MAP AMENDMENT FOR THE OAK RIDGE SUBDIVISION LOCATED AT RIDGELAND AVENUE AND OAK FOREST AVENUE TO BE REZONED FROM ORI TO THE R-5 ZONING DISTRICT - **Trustee Mueller**

ACTION: Discussion: The Plan Commission held a Public Hearing on December 16, 2021 and voted 5-0 to recommend approval of the Map Amendment in accordance with the listed plans and Findings of Fact in the Staff Report. The Village Board held a first reading on the ordinance at the January 4, 2022 Village Board meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #15**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-005 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PARK PLACE PLANNED UNIT DEVELOPMENT FOR PETE'S FRESH MARKET WAREHOUSE ADDITION - **Trustee Mueller**

ACTION: Discussion: The Plan Commission held a Public Hearing on January 6, 2022, and voted 8-0 to recommend approval of the Special Use in accordance with the listed plans and drafted Findings of Fact in the Staff Report. **This ordinance is eligible for adoption.**



COMMENTS: \_\_\_\_\_  
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**ITEM #16**

SUBJECT: CONSIDER ORDINANCE 2022-O-006 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PLANNED UNIT DEVELOPMENT FOR THE RESIDENCES AT BROOKSIDE GLEN / MAGNUSON APARTMENTS - **Trustee Mueller**

ACTION: Discussion: The Plan Commission held a Public Hearing on December 16, 2021 and January 6, 2022, and voted 5-3 to recommend approval of the Special Use in accordance with the listed plans and Findings of Fact in the Staff Report, with conditions as revised at the January 6, 2022, public hearing. Open items per the revised conditions include the appearance of the exterior mechanical rooftop units, submittal of some form of a financial guarantee approved by the Village Board, and construction timeline. In response to the conditions, the petitioner will provide revised documents (elevations). This item was discussed at the Committee of the Whole prior to this meeting. **This is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #17**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-008 AUTHORIZING A GEOGRAPHIC INFORMATION SYSTEM (GIS) CONSORTIUM CONTRACT BY AND BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL GIS PARTNERS, INCORPORATED - **Trustee Brady**

ACTION: Discussion: This agreement with the GIS Consortium service provider, Municipal GIS Partners (MGP) continues at the rate implemented during the COVID-19 period. This renewal term will remain in effect until December 31, 2022. If desired, the Village can modify the scope and terms of this agreement at a later date via addendum presented to the board. This item was discussed at the Committee of the Whole prior to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #18**

SUBJECT: RECEIVE COMMENTS FROM STAFF -

COMMENTS: \_\_\_\_\_  
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**ITEM #19**

SUBJECT: RECEIVE COMMENTS FROM THE BOARD -

COMMENTS: \_\_\_\_\_  
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**ITEM #20**

SUBJECT: RECEIVE COMMENTS FROM THE PUBLIC -

COMMENTS: \_\_\_\_\_  
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**ITEM #21**

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. DISCUSSION OF MINUTES OF MEETINGS LAWFULLY CLOSED UNDER THIS ACT, WHETHER FOR PURPOSES OF APPROVAL BY THE BODY OF THE MINUTES OR SEMI-ANNUAL REVIEW OF THE MINUTES AS MANDATED BY SECTION 2.06.
- B. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- C. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

ADJOURNMENT



**MINUTES OF THE SPECIAL BOARD MEETING OF THE TRUSTEES,  
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,  
ILLINOIS, HELD JANUARY 4, 2021**

The special meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on January 4, 2022. President Glotz called this meeting to order at 5:49 p.m.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

Clerk Thirion called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Village Clerk:	Kristin A. Thirion
Trustees:	William P. Brady William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	
Also Present:	
Village Manager:	Pat Carr
Asst. Village Manager:	Hannah Lipman
Village Attorney:	Paul O'Grady

Motion was made by Trustee Mahoney, seconded by Trustee Mueller to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to approve and place on file the minutes of the regular Village Board Meeting held on December 21, 2021. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **RESOLUTION 2022-R-006 RECOGNIZING EDDIE DURHAM ON HIS 100TH BIRTHDAY**. The Mayor, Clerk, and Village Board recognized Eddie Durham, World War II Veteran, on his 100th Birthday. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to consider approving the following Consent Agenda items:



**Meeting of the Board of Trustees – Minutes****January 4, 2022**

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- A. CONSIDER ADOPTING RESOLUTION 2022-R-002 APPROVING A CONTRACT FOR ELECTRONIC TICKETING AND ONLINE PAYMENT WITH DACRA LLC AND VIOLATIONS PAYMENT.COM LLC IN THE AMOUNT OF \$39,000.
- B. CONSIDER ADOPTING RESOLUTION 2022-R-003 APPROVING CONTRACT FOR COLLECTIONS OF UNPAID FINES FOR MUNICIPAL VIOLATIONS WITH MUNICIPAL COLLECTION SERVICES LLC.
- C. CONSIDER ADOPTING RESOLUTION 2022-R-001 APPROVING THE PURCHASE OF POLICE IN-VEHICLE PRINTERS FROM CDS OFFICE TECHNOLOGIES IN THE AMOUNT OF \$54,892.50.
- D. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$867,521.94 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED DECEMBER 24 AND 30, 2021.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. No items were removed or discussed. President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **ORDINANCE 2021-O-091 AMENDING THE TINLEY PARK ZONING ORDINANCE FOR THE PURPOSE OF REGULATING TOBACCO AND NICOTINE RELATED RETAIL USES.** The Plan Commission discussed the proposed text amendment to the zoning ordinance to regulate tobacco stores at the October 15, 2021, and November 12, 2021, meetings. The Plan Commission voted 5-0 recommending the Village Board amending Chapter 120 “Comprehensive Regulation of Tobacco Products” to increase the minimum required distance to certain institutions. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to place on first read **ORDINANCE 2022-O-001 GRANTING A SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT FOR THE OAK RIDGE SUBDIVISION.** DR Horton, Inc - Midwest seeks a Special Use Permit for the Preliminary Approval of the Oak Ridge Planned Unit Development and a Preliminary PUD Plat. The preliminary approvals allow for a residential development with 81 detached single-family homes, 162 attached single-family townhomes, and a 3-acre public park. The PUD will allow the following exceptions to the Zoning Ordinance, reduction of masonry on the first floor of the townhome units and an increase in lot coverage of up to a maximum of 40% for the single-family lots. In addition, there are further restrictions imposed on the PUD which are part of this ordinance.

The Plan Commission held a Public Hearing on December 16, 2021, and voted 5-0 to recommend approval of the Special Use and Preliminary Plat in accordance with the listed plans, recommended conditions, and Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. Trustee Galante noted her concerns with removing the first-floor masonry requirement. Community Development Director Kimberly Clarke stated it is not a complete elimination of this requirement just a reduction of the requirement. She stated there will be a slight reduction on where the level of brick comes up to on the building. Jim Thursdale of DR Horton, Inc.-Midwest provided an overview of the reduction of brick. He noted that this was not for the reduction of cost, it was an aesthetic issue on



certain portions of the building. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to place on first read **ORDINANCE 2022-O-002 GRANTING A MAP AMENDMENT FOR THE OAK RIDGE SUBDIVISION LOCATED AT RIDGELAND AVENUE AND OAK FOREST AVENUE TO BE REZONED FROM ORI TO THE R-5 ZONING DISTRICT**. DR Horton, Inc – Midwest, seeks to rezone a portion of the property located at the southeast corner of Ridgeland Ave. & Oak Forest Ave from ORI (Office and Restricted Industrial) to the R-5 (Low-Density Residential) zoning district. The purpose of the rezoning will allow the redevelopment of the site as a Residential Planned Unit Development with 81 detached single-family homes, 162 attached townhome units, and a 3-acre public park.

The Plan Commission held a Public Hearing on December 16, 2021, and voted 5-0 to recommend approval of the Map Amendment in accordance with the listed plans and Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Mueller to adopt and place on file **RESOLUTION 2022-R-004 APPROVING THE PURCHASE OF COMPUTERS AND SOFTWARE FOR POLICE DEPARTMENT VEHICLES FROM HEARTLAND BUSINESS SYSTEMS AND CENTRAL SQUARE**. Approve the purchase of twenty (20) laptops, five (5) year bumper-to-bumper warranty, twenty (20) vehicle docking stations, and ten (10) instances of required 911 dispatch software for the total price of \$113,352.40. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Mueller to adopt and place on file **RESOLUTION 2022-R-005 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND STEVE SPIESS CONSTRUCTION, INC. FOR THE LAGRANGE ROAD SEWER, WATER MAIN EXTENSION, AND LIFT STATION 20 (183RD & OLD LAGRANGE ROAD)**. This project consists of the construction of a new lift station including grading, new access driveway, landscaping, approximately 600 lineal feet of 6" force main, 3,200 lineal feet of 12" water main, 2,000 lineal feet of 15" sanitary sewer and other miscellaneous items of work. Project in coordination with Loyola Medical Center development.

Consider awarding a contract to Steve Spiess Construction, Inc. in the amount of \$2,012,169.60. This item was discussed at the Committee of the Whole meeting held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff.

Fire Chief Klotz recognized Deputy Chief Dan Riordan for his many years of dedicated service to the Village. Deputy Chief Riordan will be retiring on Friday, January 7, 2022.

Village Manager Carr congratulated Deputy Chief Riordan and thanked him for his hard work.



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Assistant Village Manager Lipman noted that Deputy Chief Riordan's walk-out ceremony is Friday, January 7<sup>th</sup>, at 4 p.m. at Fire Station #46.

President Glotz asked if there were any comments from members of the Board. There were none.

Trustee Brady thanked Clerk Thirion for reaching out to recognize World War II Veteran Eddie Durham on his 100<sup>th</sup> Birthday.

President Glotz wished former Mayor Ed Zabrocki a happy birthday. He also thanked Deputy Chief Riordan for his hard work and dedication to the Village.

Trustee Brady recognized Deputy Chief Riordan's work with the Citizens Fire Academy.

President Glotz asked if there were any comments from members of the public. There were none.

Motion was made by Trustee Brennan, seconded by Trustee Brady to adjourn the Village Board meeting at 6:10 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



**MINUTES OF THE SPECIAL BOARD MEETING OF THE TRUSTEES,  
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,  
ILLINOIS, HELD JANUARY 4, 2022**

The special meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on January 4, 2022. President Glotz called this meeting to order at 6:13 p.m.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

Deputy Clerk Godette called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Deputy Village Clerk:	Laura J. Godette
Trustees:	William P. Brady William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	
Also Present:	
Village Manager:	Patrick Carr
Asst. Village Manager:	Hannah Lipman
Village Attorney:	Paul O'Grady

Motion was made by Trustee Brennan, seconded by Trustee Mueller to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney, at 6:15 p.m. to adjourn to Executive Session to discuss the following:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to adjourn the Executive Session and reconvene the special Board meeting at 6:45 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.



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Motion was made by Trustee Brennan, seconded by Trustee Brennan to appoint **KRISTIN THIRION TO THE POSITION OF EXECUTIVE ADMINISTRATIVE ASSISTANT** - Kristin has served as Village Clerk since April 2017. She has been a public high school educator in Consolidated High School District 220 since 2005. She enlisted in the U.S. Army prior to her high school graduation to study Russian at the Defense Language Institute in Monterey, California and served in the Military Intelligence Corps.

Kristin has a Bachelor's Degree in German and Russian from the University of Illinois at Chicago, a Bachelor's Degree in English secondary education from Governors State University, and a Master's Degree in literacy and education from Olivet-Nazarene University.

President Glotz asked if there were any comments from members of the Board or public. Trustee Galante asked if this the first time this appointment was discussed by the Board. President Glotz noted that appointments do come to the Board on the agenda. Appointments are made with the advice and consent of the Board. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: Galante. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Brady to appoint **DANIEL REDA TO THE POSITION OF DEPUTY FIRE SERVICE ADMINISTRATOR** - Dan has been a firefighter with Tinley Park for 26 years and has risen through the ranks from Firefighter, Engineer, Lieutenant, Captain, Assistant Chief and has been serving as Interim Deputy Fire Chief since June 2021. In addition to his time in Tinley Park, he has held varying ranks in other fire departments in his fire service career, including serving as the Chief of the Blue Island Fire Department since December 2017.

Dan has been instrumental in developing policy for the Tinley Park Fire Department as well as various training programs and oversees the scheduling program for the department. He holds numerous Office of the State Fire Marshal certifications include Chief Fire Officer and has a Bachelor's Degree in Occupational Health and Safety. Dan has been Incident Commander or part of the Incident Command team at numerous fires and large-scale events in both Tinley Park, MABAS 24, and other neighboring MABAS Divisions.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to appoint **STEVE LORENDO TO THE POSITION OF FIRE MARSHAL** - Steve Lorendo has been proudly serving the Village of Tinley Park for 21 years. His career in the fire service began in 2000 as a probationary firefighter in Tinley Park. While serving in the Fire Department, he received his Office of the Illinois State Fire Marshal (OSFM) Firefighter III, Fire Apparatus Engineer, and OSFM certifications. In November of 2006, he accepted the full-time Fire Inspector position in the Tinley Park Fire Prevention Bureau and currently holds multiple fire prevention related certifications including OSFM Fire Prevention I & II, Fire Investigator, Juvenile Fire Setter Intervention Specialist, and Fire & Life Safety Educator. Steve holds a Bachelor's in Fire Science and a Master's of Public Administration in Emergency Service Management.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Deputy Clerk Godette conducted a **SWEARING IN CEREMONY FOR DEPUTY FIRE SERVICE ADMINISTRATOR DANIEL REDA AND FIRE MARSHALL STEVE LORENDO.**



Motion was made by Trustee Mueller, seconded by Trustee Mahoney to appoint **NANCY O’CONNOR TO FILL THE UNEXPIRED TERM OF CLERK KRISTIN THIRION** - A vacancy in the office of Village Clerk was created as a result of the resignation of Kristin Thirion as Village Clerk, which was effective today, January 4, 2022. Pursuant to State law, the vacancy is to be filled by mayoral appointment, subject to the advice and consent of the Board of Trustees. If an appointment is approved by the Village Board the new Clerk will be sworn in in accordance with State Law.

President Glotz asked if there were any comments from members of the Board or public. Trustee Galante asked if this position will be on the ballot for the 2023 Municipal Election. Village Attorney O’Grady stated that will review the statute regarding elections. Trustee Galante then asked if there is any information on Ms. O’Connor’s qualifications. Village Attorney noted it is the Mayor’s appointment. President Glotz noted it’s the advice and consent of the Board. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: Galante. Absent: None. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff.

Police Chief Walsh asked for a moment of silence for Wayne County Sheriff’s Deputy Sean Riley and Bradley Police Sergeant Marlene Rittmanic who were both killed in the line of duty. He also noted that Bradley Police Officer Tyler Bailey was shot in the line of duty and is in critical condition. 19<sup>th</sup> Ward Alderman Matt O’Shea has set up a fundraiser for the Bailey family.

President Glotz asked if there were any comments from members of the Board. There were none.

President Glotz asked if there were any comments from members of the public. There were none.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adjourn the Village Board meeting at 7:06 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



# TINLEY PARK BUSINESS SPOTLIGHT

President Glotz and  
Clerk O'Connor





Resolution 2022-R-007

A Resolution Recognizing the Accomplishments of  
Daniel P. Riordan, Deputy Fire Chief of Fire Prevention,  
Tinley Park Fire Department at his Retirement

**WHEREAS,** Daniel “Dan” Riordan was born on December 24, 1957, to Arthur and Mary Riordan. He is loved dearly by his wife Amanda, son Andrew, and daughter Nora; and

**WHEREAS,** on September 1, 1981, Dan began his career with the Tinley Park Volunteer Fire Department as a rookie Firefighter and quickly rose through the ranks of the Department; and

**WHEREAS,** in December of 2001, Dan began working in the Fire Prevention Bureau and was promoted to Deputy Chief of Fire Prevention in 2016; and

**WHEREAS,** Dan received an Associates in Applied Science-Fire Science Technology degree in 2005 and subsequently earned the titles of Certified Plan Examiner, Fire Code Official, Building Official, and Fire Marshal. Dan holds many certifications in fire service, including Firefighter III, Fire Service Instructor III, Arson Investigator III, Fire Inspector II, Plan Examiner, Certified Building Official, Certified Fire Marshal, and NICET II; and

**WHEREAS,** Dan played a significant role in acquiring the beam from the Twin Towers in New York City and brought it home to Tinley Park on September 11, 2011; and

**WHEREAS,** Dan ardently and continually strove to set high standards for the Fire Prevention Bureau. With his leadership, dedication, commitment and tireless efforts, the Village of Tinley Park became the first accredited municipality by the International Accreditation Service in 2012. The Tinley Park Fire Prevention Bureau has since been reaccredited in 2015 and 2020; and

**WHEREAS,** during his career, Dan spearheaded seven (7) Run for Your Life Safety 5K Run/Walks, raising more than \$116,000 for the Illinois Fire Safety Alliance and their prevention programs. Over the years, he also has campaigned for fire sprinklers in commercial and residential buildings. He has reviewed countless plans, revised many codes, and has kept firefighters safe, as well as making Tinley Park a fire-safe community; and

**WHEREAS,** Dan has chosen to retire after a 40-year career with the Tinley Park Fire Department.

**NOW, THEREFORE, BE IT RESOLVED** by the President, Clerk, and Board of Trustees of the Village of Tinley Park, Illinois, Cook and Will Counties, on behalf of over 55,000 citizens, herein represented that:

- Daniel P. Riordan, a true friend and great American, a person of extraordinary intelligence, possessor of the highest public ethics, team builder and unequal mentor to staff as well as trusted advisor to his elected officials, shall leave this community with the highest level of respect and good will.

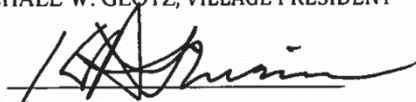
**BE IT FURTHER RESOLVED,** that copies of this resolution be provided to Daniel and Amanda Riordan, their son Andrew, daughter Nora, and the Tinley Park Historical Society.

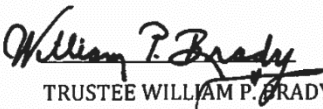
ADOPTED


18<sup>th</sup> day  
January

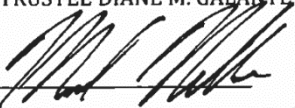
THIS  
of  
2022.


  
MICHAEL W. GLOTZ, VILLAGE PRESIDENT

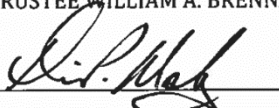
  
ATTEST: KRISTIN A. THIRION, CLERK

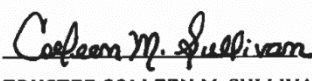
  
TRUSTEE WILLIAM P. BRADY

  
TRUSTEE DIANE M. GALANTE

  
TRUSTEE MICHAEL G. MUELLER

  
TRUSTEE WILLIAM A. BRENNAN

  
TRUSTEE DENNIS P. MAHONEY

  
TRUSTEE COLLEEN M. SULLIVAN



# **CONSIDER THE APPOINTMENT OF**

**SHERYL MALIWAT**

**ACCOUNTANT II**

**JESSICA MOOI**

**PUBLIC WORKS SERVICE REPRESENTATIVE**

**DARLENE MILANOWICZ**

**ENGINEERING PROJECT MANAGER**

**President Glotz**





# Interoffice Memo

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**Date:** January 14, 2022  
**To:** Village Board  
**From:** Hannah Lipman, Assistant Village Manager  
**Subject:** Advisory Commission on Labor and Development – Duties of the Commission

The Labor and Advisory Commission was created for the purpose of structuring sound labor policies for public works construction and commercial development that are meant to protect local workers, contractors, and taxpayers while supporting fair contracting within the Village.

Over the past few months, the Labor and Advisory Commission has had in depth discussions with Village staff as it relates to development – both residential and commercial. With the various types of development projects happening in the Village, staff has asked the Commission to clarify the types of projects and furthermore, establish a project cost threshold, for those projects which go before the Commission.

This amendment to the code establishes a \$750,000 threshold for commercial developments or multi-family residential (as defined in the Zoning Code), to provide clear direction to Village staff.



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-003**

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**AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING  
THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-003****AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING  
THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park (“Village”) adopted Ordinance No. 2021-O-021, which established an Advisory Commission on Labor and Development (the “Commission”) to structure sound labor policies for public works construction and commercial development that protects local workers, contractors, and taxpayers, while supporting fair contracting in the Village; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to specify which projects are subject to review by the Commission; and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That Title III Chapter 32 of the Village of Tinley Park Municipal Code entitled “DEPARTMENTS, BOARDS, AND COMMISSIONS” is hereby amended by adding the following underlined language as follows:

***ADVISORY COMMISSION ON LABOR AND DEVELOPMENT*****§32.401      PURPOSE AND ESTABLISHMENT.**

There is hereby established a commission that shall be known as the Advisory Commission on Labor and Development, (hereinafter referred to as “Commission”), created for the purpose of structuring sound labor policies for public works construction and commercial development that protect local workers, contractors, and taxpayers, while supporting fair contracting in the Village of Tinley Park. The Commission will make its findings and recommendations to the President and



Board of Trustees, as well as other governmental agencies, upon direction of the Corporate Authorities.

§32.402 POWERS AND DUTIES.

The Commission shall, from time to time, either by itself or in cooperation with other governmental entities or private concerns, provide advice and recommendations to be considered by the President and Board of Trustees. Such advice and recommendations shall aim to incentivize responsible local development while protecting the interests of local workers, contractors, and taxpayers.

The Commission shall review any development or construction activity, involving the construction, reconstruction, remodeling, renovation, repair, maintenance activity, or demolition of any commercial building or structure, or any multi-family residential structure as defined in the Zoning Code, provided that the cost of the work, inclusive of materials and labor, has a reasonable estimated value of more than \$750,000.

Development and construction related activity that meet the above requirements must first proceed before the Advisory Commission on Labor and Development, prior to seeking any review before the Plan Commission.

**SECTION 3:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 4:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-003, “AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK





# Interoffice Memo

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**Date:** January 14, 2022  
**To:** Village Board  
**From:** Hannah Lipman, Assistant Village Manager  
**Subject:** Advisory Commission on Labor and Development – Duties of the Commission

The Labor and Advisory Commission was created for the purpose of structuring sound labor policies for public works construction and commercial development that are meant to protect local workers, contractors, and taxpayers while supporting fair contracting within the Village.

Over the past few months, the Labor and Advisory Commission has had in depth discussions with Village staff as it relates to development – both residential and commercial.

One topic of discussion has been around Contractor requirements. This proposed amendment establishes more thorough requirements for contractors doing business in the Village, and provides for a penalty should those requirements not be met.



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-004**

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**AN ORDINANCE AMENDING CHAPTER I SECTION 100 OF  
ORDINANCE 2016-O-055 REGARDING GENERAL REQUIREMENTS**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-004****AN ORDINANCE AMENDING CHAPTER I SECTION 100 OF  
ORDINANCE 2016-O-055 REGARDING GENERAL REQUIREMENTS**

**WHEREAS**, Corporate Officials of the Village of Tinley Park, Cook and Will Counties, Illinois, believe that revisions to Ordinance No. 2016-O-055, are necessary to address contractor fraud; and.

**WHEREAS**, Corporate Officials of this Village of Tinley Park, Cook and Will Counties, Illinois, have reviewed the current Village Code as it relates to contractor regulations and the proposed text revision and provisions; and

**WHEREAS**, the Corporate Authorities of Tinley Park, Cook and Will County, Illinois, concur that it is advisable, necessary, and in the best interests of the residents of the Village of Tinley Park to amend the Village Code to provide certain additional contractor requirements.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That Section 100, Subsection C entitled "**LICENSING**", of Ordinance 2016-O-055, be, and the same is hereby revised and supplemented to read and provide the following paragraphs:

**1. Additional Requirements of Contractors:**

(A) The following additional requirements shall be imposed on Contractors where an applicant is issued a building permit for the construction, reconstruction, remodeling, renovation, repair, maintenance activity, or demolition of any commercial building or structure, or any multi-family residential structure as defined in the Zoning Code, provided that the cost of the work, inclusive of materials and labor, has a reasonable estimated value of more than \$750,000.

(1) The Contractor has not been excluded, barred or suspended from submitting a bid or being awarded a contract to perform construction work by any federal, state, or local government agency or instrumentality in the three (3) years preceding application for the building permit for violation of any law or regulation requiring the provision of workers compensation insurance to persons working for or under the control of the Contractor as the law may require, misclassifying employees as independent contractors, failure to pay, when due, employer payroll taxes or



employee income tax withholding, failure to comply with wage and hour laws, prompt payment law, or prevailing wage laws;

(2) No court or governmental agency has found or determined in the three (3) years preceding application for the building permit, the Contractor to be in violation of any law or regulation requiring the provision of workers compensation insurance to persons working for or under the control of the Contractor as the law may require, misclassifying employees as independent contractors, failure to pay, when due, employer payroll taxes or employee income tax withholding, failure to comply with wage and hour laws, prompt payment law, or prevailing wage laws;

(3) The Contractor must obtain and maintain appropriate workers' compensation insurance coverage for its employees as required by Illinois law;

(4) The Contractor must properly classify employees as employees rather than independent contractors and treat them as employees for purposes of complying with minimum wage and overtime compensation, workers' compensation insurance coverage, unemployment taxes, social security taxes, and state and federal income tax withholding;

(5) The Contractor must maintain detailed written payroll records and provide such records, upon written request to the Building Official, within five (5) business days of the request;

(6) The Contractor must comply with Illinois Wage Payment and Collection Act with respect to the timely payment of wages; and

(7) If required by law, the Contractor must timely pay contributions to the unemployment insurance benefit fund.

(B) The Building Official, inspector, or his/her designee (hereinafter referred to as "Building Official"), may suspend or revoke the registration of any Contractor upon a determination that the Contractor failed to comply with any one or more of the requirements of paragraph 1(A), subparagraphs (1-7) above. Upon suspension or revocation of the Contractor's license, the Contractor shall cease all work until further notice by the Village. The Village may withdraw the suspension or revocation of the Contractor's license when the Building Official determines, in his/her sole exclusive discretion, that all violations by the Contractor have been satisfactorily remedied.

(C) Any person may file a complaint concerning the possible violation of the requirements of paragraph 1(A), subparagraphs (1-7) above. Each such complaint shall be made and signed by the complaining party and affirmed upon the complainant's personal knowledge or belief under penalty of perjury. Any complaint may also include documents supportive of such complaint. The complaint shall be filed with the office of the Building Official, who shall cause due inquiry or investigation to be made by the Building Official or through a designee. Each licensed Contractor agrees to produce documents or records germane to the issues raised in a written complaint to the Building Official within five (5) business days of the Building Official's written request. Any information provided shall not include any employee addresses, social security numbers and date



of birth. Absent any law to the contrary, the complaint and any documents collected as part of the Building Official's investigation shall be considered Public Records under the Illinois Freedom of Information Act. As set forth in paragraph 1(B) above, the Building Official may suspend or revoke the license of any Contactor upon a determination that the Contractor failed to comply with any one or more of the requirements set forth in paragraph 1(A) subparagraphs (1-7) above. Upon suspension or revocation of the Contractor's license, the Contractor shall cease all work until further notice by the Building Official. The Building Official may withdraw the suspension or revocation of the Contractor's license when the Building Official determines that all violations by the Contractor have been satisfactorily remedied. As provided in Chapter 1, Section 100 subsection L of Ordinance 2016-O-055, the Contractor has the right to appeal the Building Official's determination. In addition, the person who filed the complaint may also appeal the decision of the Building Official in the same manner as provided in Chapter 1, Section 100, Subsection L of Ordinance 2016-O-055.

(D) Upon receipt of a timely appeal, the matter will be considered by the Building Committee at a public meeting where interested parties will be given an opportunity to speak and submit evidence. If the Building Committee finds that one or more violations have occurred, the Building Committee shall uphold the suspension or revocation of the Contractor's license and may refer any documents obtained in the matter to State or Federal prosecutorial authorities for further investigation or prosecution. In addition, if the Building Committee finds that the individual filing the Complaint provided false or materially misleading information and filed a complaint for the purpose of harassment or other reasons inconsistent with this Ordinance, the Building Committee may assess a fine of \$750.00 for each violation.

(E) The Building Official has the right to issue a stop-work order. If, as part of the Building Official's review of information under this Chapter, it is determined that additional Contractors that previously worked on the project or are currently working on the project may also be in violation of any of the provisions set forth in paragraph 1(A), subparagraphs (1-7), the Building Official may issue a stop-work order until such time as assurances can be provided that additional violations of paragraph 1(A), subparagraphs (1-7) will not occur.

## **2. Penalty:**

(A) A Contractor found to have violated any of the conditions and requirements of paragraph 1(A), subparagraphs (1-7) may have its license with the Village of Tinley Park revoked for a period not exceeding three years from the date of such determination.

## **3. Conflicting Terms/Provisions and Effective Date:**

(A) In the event that there is conflict between any and all existing Ordinances and Village Code provisions, or parts thereof, and the terms, provisions and penalties provided for in this Ordinance, the terms, provisions and penalties of this Ordinance shall control.



(B) If any terms, provisions, and penalties provided for in this Ordinance shall be held to be invalid or unenforceable by any Court of competent jurisdiction, such decision shall not affect any other section, clause, provision or portion of this Ordinance, and this Village Board hereby expressly acknowledges that it would have enacted this Ordinance even with the invalid portion deleted.

(C) That this Ordinance shall be in effect immediately after its passage by the Village Board, its approval by the President and its publication as required by law..

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

---

VILLAGE PRESIDENT

ATTEST:

---

VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-004, “AN ORDINANCE AMENDING [INSERT RELEVANT CODE TITLE OR CHAPTER] REGARDING LICENSING OF CONTRACTORS” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK



**Dr. Daniel F. Callaghan***Director of  
Curriculum and Instruction***Michael L. Andreshak***Director of  
Business Services/CSBO***Dr. Mary T. Dwyer***Director of  
Special Services***Brian E. Nemeth***Director of  
Technology***KIRBY SCHOOL DISTRICT 140****Dr. Shawn M. Olson***Superintendent*

January 10, 2022

Mr. Brad L. Bettenhausen, Treasurer

Village of Tinley Park

16250 Oak Park Avenue

Tinley Park, IL 60477

Dear Mr. Bettenhausen:

We are aware of the limited construction activities that generate impact fees. However, periodically we will request payout of impact fees collected on behalf of the School District. Our last request was in July 2021.

Thank you for your attention regarding this matter.

Sincerely,

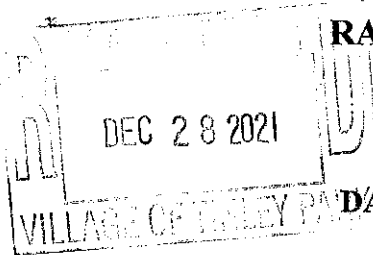
Michael L. Andreshak

Director of Business Services

MLA:tm

\$26,400.00  
July through Oct 2021 (nothing thru Dec 21)  
84-5/-23106  
\$13 Jan 2022  
Vendor = 005384  
Description: Impact fees Jul-Oct 21



**RAFFLE LICENSE APPLICATION**

**VILLAGE OF TINLEY PARK**  
**16250 South Oak Park Avenue**

**DATE:** December 21, 2021

*QOH*  
*MAKE 2 LIC'S*  
*+ EMAIL*

1. **NAME OF ORGANIZATION:** St. Stephen Deacon and Martyr
2. **ADDRESS:** 17500 South 84th Avenue, Tinley Park, IL 60487
3. **MAILING ADDRESS IF DIFFERENT FROM ABOVE:**
4. **ADDRESS OF PLACE FOR RAFFLE DRAWING**  
North and Maple, 18401 N Creek Dr, Tinley Park, IL 60477
5. **CHECK TYPE OF NOT-FOR-PROFIT ORGANIZATION: (MUST BE IN EXISTENCE FOR A PERIOD OF FIVE (5) YEARS AND ATTACHED DOCUMENTARY EVIDENCE)**  

RELIGIOUS <input checked="" type="checkbox"/>	CHARITABLE <input type="checkbox"/>	LABOR <input type="checkbox"/>	FRATERNAL <input type="checkbox"/>
EDUCATIONAL <input type="checkbox"/>	VETERANS <input type="checkbox"/>	BUSINESS <input type="checkbox"/>	
6. **HOW LONG HAS THE ORGANIZATION BEEN IN EXISTENCE:** 21
7. **PLACE AND DATE OF INCORPORATION:** November 1999
8. **NUMBER OF MEMBERS IN GOOD STANDING:** 4000
9. **PRESIDENT/CHAIRPERSON:** Theresa Gamino  
**ADDRESS:** 7900 172nd Street, Tinley Park, IL 60477 **PHONE:** 708-522-4340
10. **RAFFLE MANAGER:** Theresa Gamino  
**ADDRESS:** 7900 172nd Street, Tinley Park, IL 60477  
**PHONE:** 708-522-4340 **Email:** theresa@ststephentinley.com
11. **DESIGNATED MEMBER(S) RESPONSIBLE FOR CONDUCT & OPERATION OF RAFFLE:**  
**NAME:** Theresa Gamino  
**ADDRESS:** 7900 172nd Street TP, IL 60477 **PHONE:** 708-522-4340  
**NAME:** Father Michael Wyrzykowski  
**ADDRESS:** 17500 S. 84th Avenue, TP 60487 **PHONE:** 708-342-2400

*(ATTACHED ADDITIONAL SHEET IF NECESSARY)*



## RAFFLE APPLICATION | 2

RAFFLE INFORMATION**12. DATE(S) FOR RAFFLE TICKET SALES (INCLUDE DAYS OF THE WEEK)**

Saturday/Sunday Masses + FRIDAY @ NORTH &amp; MAPLE

**13. LOCATION OF TICKET SALES:**

17500 South 84th Avenue, Tinley Park, IL 60487

**14. LOCATION FOR DETERMINING WINNERS:**

North and Maple

**15. DATE(S) FOR DETERMINING WINNERS: (INCLUDE DAYS OF THE WEEK)**

Friday nights

**16. TOTAL RETAIL VALUE OF ALL PRIZES:** \$250,000  
(MAXIMUM PRIZE AMOUNT \$250,000)**17. MAXIMUM RETAIL VALUE OF EACH PRIZE:** \$250,000**18. MAXIMUM PRICE CHARGED OF EACH TICKET(CHANCE) SOLD** \$6 tickets/\$5**19. § 132.38 FIDELITY BOND REQUIRED**

*All operations of and the conduct of raffles as provided for in this subchapter shall be under the supervision of a single manager designated by the organization. Such manager shall give a fidelity bond in the sum of \$165,000 or two times the aggregate value of prizes, whichever is less, in favor of the licensee conditioned upon his honesty in the performance of his duties. The bond shall provide that notice shall be given in writing to the Village of Tinley Park not less than 30 days prior to cancellation. Bonds as provided for in this section may be waived provided the license issued for such raffle shall contain a waiver provision and shall be approved only by unanimous vote of the members of the licensed organization.*

**FIDELITY BOND** ☐ **WAIVER OF BOND STATEMENT BY ORGANIZATION** ☒

*"The undersigned attest that the above named organization is an organized not-for-profit under the law of the State of Illinois and has been continuously in existence for five (5) years, preceding date of this application, and that during this entire five (5) year period preceding date of application, it has maintained a bona fide membership actively engaged in carrying out its objections. The undersigned do hereby state under penalties of perjury that all statements in the foregoing application are true and correct; that the officers, operators and workers of the game are bona fide members of the sponsoring organization and are all of good moral character and have not been convicted of a felony; that if a license is granted hereunder, the undersigned will be responsible for the conduct of the games in accordance with the provisions of the laws of the State of Illinois and this jurisdiction governing the conduct of such games."*

**NAME OF ORGANIZATION:** St. Stephen Queen of Hearts Committee**EXECUTIVE DIRECTOR:** Theresa Gamino
 STATE IL COUNTY COOK  
 SIGNED BEFORE ME 28 DAY Dec, 2021  
 NOTARY PUBLIC [Signature]




vchlist  
01/06/2022 3:54:52PM

**Voucher List**  
**Village of Tinley Park**

Page: 1

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195343	1/7/2022	019563 AEP ENERGY INC	3013134248		ACCT#3013134248 UTIL#438402801 01-26-024-72510	119.84
			3013134259		ACCT#3013134259 #4623055116 19 08-00-000-72510	151.98
					01-26-024-72510	15,730.69
			3013134260		ACCT#3013134260 UTIL#677116304 01-26-024-72510	217.66
					<b>Total :</b>	<b>16,220.17</b>
195344	1/7/2022	002856 AIRY'S, INC	25788	VTP-018759	POST 5 IMPROVEMENTS 61-00-000-75324	27,541.39
					<b>Total :</b>	<b>27,541.39</b>
195345	1/7/2022	002682 AMERICAN LEGAL PUBLICATION	14051		DECEMBER 2021 S-36 EDITING 01-13-000-72791	252.00
					<b>Total :</b>	<b>252.00</b>
195346	1/7/2022	002570 AMERICAN SALES	004-00331247		LED WARM LIGHTS 01-35-000-72954	199.76
					<b>Total :</b>	<b>199.76</b>
195347	1/7/2022	002756 APCO INTERNATIONAL INC.	854944.	VTP-018876	APCO EMD RECERTIFICATION 01-21-210-72140	135.00
					<b>Total :</b>	<b>135.00</b>
195348	1/7/2022	002665 APPLE CHEVROLET	353030CVW		MODULE FOR UNIT 2T 01-17-205-72540	92.25
					<b>Total :</b>	<b>92.25</b>
195349	1/7/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	210167		REMOVAL OF SPOILS ETC. FROM F 01-26-023-72890	750.00
			220001		REMOVAL OF SPOILS ETC FROM R 60-00-000-73681	245.70
					63-00-000-73681	27.30
					64-00-000-73681	117.00
					01-26-023-72890	260.00



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195349	1/7/2022	002974	002974 BETTENHAUSEN CONSTRUCTION & (Continued)		<b>Total :</b>	<b>1,400.00</b>
195350	1/7/2022	012966	BOLING, THOMAS		SHAREPOINT MAINTENANCE DEC'	
			12-21(A)	VTP-018477	01-16-000-72650	562.50
			12-21(B)		SHAREPOINT MAINTENANCE DEC'	
					01-16-000-72650	637.50
					<b>Total :</b>	<b>1,200.00</b>
195351	1/7/2022	003326	CART BLUE TEAM		DUES FOR CALENDAR YR 2022	
			DUES-22-50		01-19-000-72720	1,250.00
					<b>Total :</b>	<b>1,250.00</b>
195352	1/7/2022	013498	CELLEBRITE USA		CELLEBRITE CERTIFIED OPERATO	
			Q-225235-2		01-17-225-72655	289.00
					<b>Total :</b>	<b>289.00</b>
195353	1/7/2022	015199	CHICAGO PARTS & SOUND LLC		D.C. FORD EXPLORER UPDATE	
			2J0003403	VTP-018820	01-17-205-72540	4,343.50
			2J0003404		VERN REPAIR DRIVER SEAT IN PD	
					01-17-205-72540	200.00
			3-0047702		PAD SET - RR BR- PD SUV STOCK	
					01-17-205-72540	115.82
					<b>Total :</b>	<b>4,659.32</b>
195354	1/7/2022	018198	CHICAGOLAND INVESTIGATIVE SERV	5577	PRE EMPLOYMENT INVESTIGATION	
					60-00-000-72446	122.50
					63-00-000-72446	122.50
					01-19-000-72446	1,104.95
					01-21-000-72446	459.90
					01-17-205-72446	404.95
					64-00-000-72446	105.00
			5581		PRE EMPLOYMENT INVESTIGATION	
					01-21-000-72446	1,214.85
					01-19-000-72446	700.00
					01-26-025-72446	350.00
					<b>Total :</b>	<b>4,584.65</b>
195355	1/7/2022	013820	CINTAS CORPORATION	5088674031	MEDICINE CABINET - FD#48	



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195355	1/7/2022	013820 CINTAS CORPORATION	(Continued)		01-19-000-72750	374.27
					<b>Total :</b>	<b>374.27</b>
195356	1/7/2022	017298 COMCAST BUSINESS	137463363	VTP-018478	ACCT 930890410 VILLAGE HALL FIE 01-14-000-72125	982.95
					<b>Total :</b>	<b>982.95</b>
195357	1/7/2022	012057 COMCAST CABLE	8771401810170142	VTP-018391	16250 OAK PARK AVE ACCT# 87714 01-14-000-72125	244.85
			8771401810316240		ACCT#8771401810316240 7850 183 01-17-205-72517	65.40
					<b>Total :</b>	<b>310.25</b>
195358	1/7/2022	013878 COMED - COMMONWEALTH EDISON	0519019106		ACCT#0519019106 6750 SOUTH ST 12-00-000-72510	7.92
			2587063010		ACCT#2587063010 17311 OPA 11/17 12-00-000-72510	19.94
			4329016037		ACCT#4329016037 17238 OPA 11/17 12-00-000-72510	24.73
			6483053261		ACCT#6483053261 17495 S LAGRAI 01-26-023-72510	25.11
			7090006006		ACCT#7090006006 17231 OPA 11/17 12-00-000-72510	19.94
					<b>Total :</b>	<b>97.64</b>
195359	1/7/2022	018311 CONNECTION	72257846		USB FLASH DRIVES 01-17-205-73600	102.42
					<b>Total :</b>	<b>102.42</b>
195360	1/7/2022	018234 CORE & MAIN LP	Q144150		6'0 SERV BOX TAPT 2" 60-00-000-73630	123.80
					63-00-000-73630	13.76
					64-00-000-73630	58.94
					<b>Total :</b>	<b>196.50</b>
195361	1/7/2022	003635 CROSSMARK PRINTING, INC	85303		VEHICLE INSURANCE CARDS	



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195361	1/7/2022	003635 CROSSMARK PRINTING, INC	(Continued)		01-26-023-72310	80.59
					01-26-024-72310	40.29
					60-00-000-72310	56.41
					64-00-000-72310	24.17
					<b>Total :</b>	<b>201.46</b>
195362	1/7/2022	017603 DANDAN, RICK TARIQ	123121		DEC'21 SERVICES INVOICE - PLAN	
					01-33-300-72790	8,322.50
					<b>Total :</b>	<b>8,322.50</b>
195363	1/7/2022	018456 DEL GALDO LAW GROUP, LLC	26333		LEGAL SVC 7/1-7/31/21 MULTIPLE M	
					01-14-000-72850	457.50
					01-14-000-72855	131.25
					20-00-000-72850	1,052.50
			27597		LEGAL SVC 11/1-11/30/21 TP MENT/	
					20-00-000-72850	146.25
					<b>Total :</b>	<b>1,787.50</b>
195364	1/7/2022	004009 EAGLE UNIFORM CO INC	INV-5309		BLANKET PO FOR CLASS A UNIFORM	
				VTP-018598	01-19-000-73610	151.00
			INV-5320		BLANKET PO FOR CLASS B UNIFORM	
				VTP-018597	01-19-000-73610	174.00
					<b>Total :</b>	<b>325.00</b>
195365	1/7/2022	004152 ECOLAB PEST ELIMINATION INC.	5909303		COCKROACH/RODENT PRGRAM AI	
					01-26-025-72790	573.44
			5909304		COCKROACH/RODENT PROGRAM	
					01-26-025-72790	86.48
					<b>Total :</b>	<b>659.92</b>
195366	1/7/2022	011176 ELEMENT GRAPHICS & DESIGN, INC	18506		UNIT 2S GRAPHICS	
					01-17-205-72540	819.88
					<b>Total :</b>	<b>819.88</b>
195367	1/7/2022	012941 FMP	50-3601249		SENSOR -HEGO	
					01-17-205-72540	135.83



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195367	1/7/2022	012941 FMP	(Continued) 52-495762		BRAKE ROTOR 01-17-205-72540	478.48
			52-502616		COMPLETE STRUT ASSY UNIT 2B 01-17-205-72540	245.12
			52-502843		COMPLETE STRUT ASSY FOR UNIT 01-17-205-72540	245.12
					<b>Total :</b>	<b>1,104.55</b>
195368	1/7/2022	011611 FOX VALLEY FIRE & SAFETY CO.	IN00489255		TP MUNICIPAL RADIO INSPECTION 14-00-000-74150	115.00
			IN00489262		TP MUNICIPAL RADIO INSPECTION 14-00-000-74150	98.00
					<b>Total :</b>	<b>213.00</b>
195369	1/7/2022	020274 FRAME TECH 1 LLC	37356		WHEEL ALIGN UNIT 2A 01-17-205-72540	75.00
					<b>Total :</b>	<b>75.00</b>
195370	1/7/2022	004458 GATTO'S RESTAURANT & BAR	269501		RETIREMENT DINNER FOR E.SCHC 01-15-000-72220	289.36
					<b>Total :</b>	<b>289.36</b>
195371	1/7/2022	015397 GOVTEMPSUSA LLC	3852398		S.PRZYBYLSKI WEEK ENDING 11/7 01-12-000-72790	2,912.00
			3861035		S.PRZYBYLSKI WEEK ENDING 11/2 01-12-000-72790	2,798.25
			3870133		S.PRZYBYLSKI WEEK ENDING 12/5 01-12-000-72790	3,594.50
			3878654		S. PRZYBYLSKI WEEK ENDING 12/ 01-12-000-72790	3,367.00
					<b>Total :</b>	<b>12,671.75</b>
195372	1/7/2022	017574 GRAVES, JEFFREY	122921		PER DIEM LUNCH TRAINING 16HR 01-17-220-72140	30.00
					<b>Total :</b>	<b>30.00</b>



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195373	1/7/2022	004741 HEARTS & FLOWERS	010090		GREEN PLANT	
					01-26-023-73110	24.00
					01-26-024-73110	12.00
					60-00-000-73110	15.12
					63-00-000-73110	1.68
					64-00-000-73110	7.20
					<b>Total :</b>	<b>60.00</b>
195374	1/7/2022	018696 HENRY'S HOUSE OF DECORATED	949		UNIFORMS FOR PUBLIC WORKS E	
				VTP-018904	01-26-023-73610	3,256.75
				VTP-018904	01-26-024-73610	465.75
				VTP-018904	01-26-025-73610	1,167.75
				VTP-018904	60-00-000-73610	1,351.52
				VTP-018904	63-00-000-73610	257.43
				VTP-018904	64-00-000-73610	689.55
					<b>Total :</b>	<b>7,188.75</b>
195375	1/7/2022	012281 HINCKLEY SPRINGS	5977593122521		ACCT#32542175977593 WATER CO	
					01-21-210-73110	150.80
					<b>Total :</b>	<b>150.80</b>
195376	1/7/2022	014161 HOMER TREE CARE, INC.	010322		REIMB CONTRACTOR LIC FEE AS E	
					01-14-000-79010	50.00
					<b>Total :</b>	<b>50.00</b>
195377	1/7/2022	004955 ILCMA	3183		JOB POSTING FEE -VILLAGE ENGI	
					01-26-023-72446	66.67
					60-00-000-72446	33.33
					<b>Total :</b>	<b>100.00</b>
195378	1/7/2022	020323 IML RISK MANAGEMENT ASSOC	111621		IL MUNICIPAL LEAGUE RISK MGNT	
					01-14-000-72421	597,740.65
					60-00-000-72421	156,332.17
					63-00-000-72421	73,568.08
					64-00-000-72421	73,568.08
					70-00-000-72421	18,392.02
			111621.		IL MUNICIPAL LEAGUE RISK MGNT	



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195378	1/7/2022	020323 IML RISK MANAGEMENT ASSOC	(Continued)		01-14-000-72421	74,850.10
					60-00-000-72421	19,576.18
					63-00-000-72421	9,212.32
					64-00-000-72421	9,212.32
					70-00-000-72421	2,303.08
					<b>Total :</b>	<b>1,034,755.00</b>
195379	1/7/2022	005127 INGALLS OCCUPATIONAL MEDICINE	299494		OCT'21 EMPLOYEE SCREENING	
					01-19-000-72446	1,573.00
			299498		OCT'21 EMPLOYEE SCREENING	
					01-17-205-72446	189.00
					01-21-000-72446	126.00
					60-00-000-72446	44.10
					63-00-000-72446	44.10
					64-00-000-72446	37.80
			299927		NOV'21 EMPLOYEE SCREENING	
					01-26-025-72446	126.00
					01-42-000-72446	219.00
					01-21-000-72446	252.00
					01-17-205-72446	388.00
					01-26-023-72735	59.00
					01-11-000-72446	124.00
			299938		NOV'21 EMPLOYEE SCREENING	
					60-00-000-72150	48.30
					63-00-000-72150	48.30
					64-00-000-72150	41.40
					01-26-023-72735	256.00
					01-26-024-72735	20.00
					01-26-025-72735	59.00
					<b>Total :</b>	<b>3,655.00</b>
195380	1/7/2022	020320 INSPIRIT ADORNMENTS	010322		REIMBURSEMENT FOR VENDOR FI	
					01-14-000-79099	225.00
					<b>Total :</b>	<b>225.00</b>
195381	1/7/2022	005186 INTERSTATE BATTERY SYSTEM	10074454		MT-59 BATTERY POLICE 3D	



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195381	1/7/2022	005186 INTERSTATE BATTERY SYSTEM	(Continued)		01-17-205-72540	101.15
					<b>Total :</b>	<b>101.15</b>
195382	1/7/2022	020325 ISASCE	111721		VILLAGE ENGINEER JOB POSTING	
					60-00-000-72446	10.00
					01-26-023-72446	20.00
					<b>Total :</b>	<b>30.00</b>
195383	1/7/2022	020324 JASPERSE, SARAH	122921		PER DIEM REIMB 5 DAYS 11/1-11/5/	
					01-17-220-72140	75.00
			122921..		PER DIEM REIMB JUVENILE OFFIC	
					01-17-220-72140	60.00
			122921...		PER DIEM REIMB AND HOTEL POLI	
					01-17-220-72140	814.86
					<b>Total :</b>	<b>949.86</b>
195384	1/7/2022	020329 JOHN BURNS CONSTRUCTION	Ref001415712		UB REFUND CST #00514873, HYDR	
					60-00-000-20599	263.16
					<b>Total :</b>	<b>263.16</b>
195385	1/7/2022	013858 LOWE'S HOME CENTER, INC.	10656		****4879 POWER GRAB HEAVY ADH	
					01-26-025-72520	34.17
					<b>Total :</b>	<b>34.17</b>
195386	1/7/2022	017864 MAGNET FORENSICS USA, INC	SIN044498		FORENSICS ANNUAL TRAINING PA	
				VTP-018897	01-17-225-72140	10,469.66
			SIN044499		COMPUTER FORENSIC SOFTWARE	
				VTP-018896	01-17-225-72655	6,030.00
					<b>Total :</b>	<b>16,499.66</b>
195387	1/7/2022	013969 MAP AUTOMOTIVE OF CHICAGO	40-646078		BATTERY,FILTER,SPARK PLUG FO	
					01-17-205-72540	294.57
			40-646079		BATTERY,FILTER,SPARK PLUG FO	
					01-17-205-72540	294.57
			40-647534		PLENUM GSK,FILTER ASY,SPARK F	
					01-17-205-72540	208.80



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195387	1/7/2022	013969	013969 MAP AUTOMOTIVE OF CHICAGO	(Continued)	<b>Total :</b>	<b>797.94</b>
195388	1/7/2022	020326	MARY MCCARTHY	010422	EZPAY PAID IN WRONG ACCOUNT 60-00-000-79205	203.31
					<b>Total :</b>	<b>203.31</b>
195389	1/7/2022	020322	MASTER AUTO SUPPLY	15030-111585	BRAKE PADS,PAINTED ROTOR UNI 01-16-000-72540	177.59
				15030-112101	AIR FILTER 01-17-205-72540	39.92
				15030-112174	AIR/FUEL RATIOSENSOR, OE TYPE 01-17-205-72540	187.35
				15030-112293	TRANSMISSION FILTER 01-19-020-72540	32.98
				15030-112358	TIE ROD END 01-17-205-72540	24.31
				15030-112379	STARTER RMFD RETURN STREET 01-26-023-72540	-32.00
				15030-112416	WNDW HNDL RET CLIPS - STREET 01-26-023-72540	3.71
					<b>Total :</b>	<b>433.86</b>
195390	1/7/2022	020322	MASTER AUTO SUPPLY	6981-545141	VALVE ASY PD UNIT 9A 01-17-205-72540	48.24
					<b>Total :</b>	<b>48.24</b>
195391	1/7/2022	006074	MENARDS	15636	2X4-7'SPF,4X8 RTD SHTG,ALL PUR 01-19-020-73870	174.54
				15660	1/4 ALLIGATOR ANCHOR AND CABL 01-19-020-73870	22.37
				15697	ALUM RIVET 100PC RETURN 01-26-024-73840	-9.99
					<b>Total :</b>	<b>186.92</b>
195392	1/7/2022	020327	MUDDE, JACOB	010522	REIMB BUSINESS LIC FEE PAID TW 01-14-000-79010	35.00
					<b>Total :</b>	<b>35.00</b>



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195393	1/7/2022	015386 MUNICIPAL GIS PARTNERS, INC	5872		NOV'21 GIS STAFFING	
					01-16-000-72652	5,640.59
					60-00-000-72652	3,553.57
					63-00-000-72652	394.84
					64-00-000-72652	1,692.17
			5873		DEC'21 GIS STAFFING	
					01-16-000-72652	5,640.59
					60-00-000-72652	3,553.56
					63-00-000-72652	394.83
					64-00-000-72652	1,692.15
					<b>Total :</b>	<b>22,562.30</b>
195394	1/7/2022	010810 MUNICIPAL SERV. CONSULTING INC	TPCN-11-21		CONS SVC CIMP FOR VTP NOV'21	
					30-00-000-75812	5,750.28
					11-00-000-74150	3,580.50
					11-00-000-72750	18,560.83
			TPCN-12-21		CONS SVC CIMP FOR VTP DEC'21	
					30-00-000-75812	9,688.56
					11-00-000-72750	14,356.44
					<b>Total :</b>	<b>51,936.61</b>
195395	1/7/2022	014443 MURPHY & MILLER, INC	MC00011043	VTP-018462	HVAC SERVICE CONTRACT 5 OF 6	
					01-26-025-72790	592.83
					<b>Total :</b>	<b>592.83</b>
195396	1/7/2022	015723 NICOR	01981510009		ACCT#01981510009 METER 396896	
					01-26-025-72511	481.70
			53463710003		ACCT#53463710003 METER 291221	
					01-26-025-72511	52.37
			54072310003		ACCT#54072310003 METER 435331	
					01-26-025-72511	1,973.06
			73675410002		ACCT#73675410002 METER 356130	
					01-26-025-72511	2,640.43
			74433410003		ACCT#7443341003 METER3575402	
					01-26-025-72511	49.66
			83523710008		ACCT#83523710008 METER 302620	
					01-26-025-72511	2,790.71



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195396	1/7/2022	015723 NICOR	(Continued) 96019958527		ACCT#96019958527 METER 458266 01-26-025-72511	325.70
					<b>Total :</b>	<b>8,313.63</b>
195397	1/7/2022	020277 PAESSLER AG	R2021-12-0331860-01	VTP-018902	NETWORK MONITORING 01-16-000-72655	1,381.25
					<b>Total :</b>	<b>1,381.25</b>
195398	1/7/2022	006475 PARK ACE HARDWARE	067150/1		ACCT#9404 INV 067150/1 NOZZLE T 01-19-000-73870	17.98
			67158/1		EZ-START TAPE,VELCRO 01-19-000-73870	48.97
			67169/1		ACCT#891431 INV#67169/1 UTILITY 60-00-000-73410	9.36
					63-00-000-73410	1.04
					64-00-000-73410	4.45
					<b>Total :</b>	<b>81.80</b>
195399	1/7/2022	006499 PITNEY BOWES INC	1019746839		ACCT#0012198182 EQUIP RENTAL 01-14-000-72750	75.00
					60-00-000-72750	75.00
			1019765712		ACCT#0012198182 CONNECT+RED 01-14-000-72750	161.49
					60-00-000-72750	56.52
					64-00-000-72750	48.45
					63-00-000-72750	56.52
					<b>Total :</b>	<b>472.98</b>
195400	1/7/2022	006780 POMP'S TIRE SERVICE, INC	410922564	VTP-018903	(8) 255/60VR 18 GOODYEAR ENFOI 01-17-205-73560	1,148.76
			410922779	VTP-018907	(12) 245/55VR18 GOODYEAR POLIC 01-17-205-73560	1,672.28
					<b>Total :</b>	<b>2,821.04</b>
195401	1/7/2022	006507 POSTMASTER, U. S. POST OFFICE	010322.		JAN'22 WATER BILLS 60-00-000-72110	2,211.31



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195401	1/7/2022	006507 POSTMASTER, U. S. POST OFFICE	(Continued)		64-00-000-72110	947.71
					<b>Total :</b>	<b>3,159.02</b>
195402	1/7/2022	006507 POSTMASTER, U. S. POST OFFICE	010322		POSTAGE STAMPS FOR MAILINGS 01-21-210-72110	58.00
					<b>Total :</b>	<b>58.00</b>
195403	1/7/2022	020264 PRO EM NATIONAL EVENT SERVICES	120820-3	VTP-018812	HOLIDAY MARKET TENT, STAGE, A 01-35-000-72954	15,402.00
					<b>Total :</b>	<b>15,402.00</b>
195404	1/7/2022	013587 PROSHRED SECURITY	990104774		SHREDDING SERVICES - PD 01-17-205-72750	127.20
			990105208		SHREDDING SERVICES -VH 01-14-000-72790	54.50
					<b>Total :</b>	<b>181.70</b>
195405	1/7/2022	006850 QUILL CORPORATION	21707829		RY22 BS NIGHTFALL WC 11X9 CALI 01-35-000-73110	42.45
			21717348		LARGE TENT CARDS AND BADGE I 01-35-000-73110	34.84
					<b>Total :</b>	<b>77.29</b>
195406	1/7/2022	006361 RAY O' HERRON CO INC	2164856		UNIFORM -BADGES 01-17-205-73610	1,343.23
			2164888		RAZOR II J.SHERLOCK 01-17-220-73610	764.44
			2165102		RAZOR II J.LEONE 01-17-220-73610	765.11
			2165170		UNIFORM J.LEONE 01-17-220-73610	1,529.01
					<b>Total :</b>	<b>4,401.79</b>
195407	1/7/2022	020328 ROACH, DANIEL	101		THE OID INVEST: WHAT TO EXPECT 01-17-220-72140	400.00
					<b>Total :</b>	<b>400.00</b>



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195408	1/7/2022	006874 ROBINSON ENGINEERING CO. LTD.	21090298		21-R0315 TP 174TH ST RECONSTR 16-00-000-75703	3,861.00
					27-00-000-75703	5,879.25
					27-00-000-75806	1,959.75
			21100304R		21-R0315 TP 174TH ST RECONSTR 16-00-000-75703	5,116.00
					27-00-000-75703	2,613.00
					27-00-000-75806	871.00
					<b>Total :</b>	<b>20,300.00</b>
195409	1/7/2022	016334 RUSH TRUCK CENTERS	3025995508		COOLER KIT 01-26-023-72540	1,450.07
			3026028207		COOLER KIT 01-26-023-72540	-1,450.07
			3026071747		BRACKET KIT LOWER HOLDER RH 01-26-023-72540	333.97
			3026076549		BRACKET KIT LOWER HOLDER RH 01-26-023-72540	-47.71
					<b>Total :</b>	<b>286.26</b>
195410	1/7/2022	007629 SAM'S CLUB DIRECT	010422		PAPER 01-21-210-73110	149.90
					01-26-024-73110	6.00
					01-26-023-73110	11.99
					60-00-000-73110	7.55
					63-00-000-73110	0.84
					64-00-000-73110	3.60
					<b>Total :</b>	<b>179.88</b>
195411	1/7/2022	007453 SERVICE SANITATION, INC.	8315390		RESTROOMS FOR FIREMAN TRAIN 01-19-000-72750	189.62
					<b>Total :</b>	<b>189.62</b>
195412	1/7/2022	017378 SIKICH LLP	548974		PROFESSIONAL SVC THRU 12/31/2 01-14-000-72845	410.80
					12-00-000-72845	268.80
					60-00-000-72845	420.00



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195412	1/7/2022	017378 SIKICH LLP	(Continued)		63-00-000-72845	140.10
					64-00-000-72845	240.00
					70-00-000-72845	40.30
					<b>Total :</b>	<b>1,520.00</b>
195413	1/7/2022	007350 SOUTH SUB. MAYORS & MANAGERS	2021-280		EAP 3RD & 4TH QTR BILLING 11/1/2	
					01-12-000-72447	5,724.60
					<b>Total :</b>	<b>5,724.60</b>
195414	1/7/2022	013950 SSWWA MEMBERSHIP	010522		MEMBERSHIP AND ADDITION OF C	
					60-00-000-72720	75.25
					63-00-000-72720	75.25
					64-00-000-72720	64.50
					<b>Total :</b>	<b>215.00</b>
195415	1/7/2022	012238 STAPLES BUSINESS ADVANTAGE	3495501326		DAILY CALENDAR REFILL,STAPLES	
					01-15-000-73110	197.77
			3495501328		CATALOG ENVELOPES	
					01-14-000-73110	113.70
			3495501329		ADDING MACHINE ROLLS AND DES	
					01-17-205-73110	169.45
			3495501330		2INCH BINDERS AND INSERT TABS	
					01-17-205-73110	165.60
			3495501332		DATER STAMP AND STORAGE BOX	
					01-17-205-73110	184.58
					<b>Total :</b>	<b>831.10</b>
195416	1/7/2022	015452 STEINER ELECTRIC COMPANY	S007053029.001		HEAT SHRINK TUBING	
					01-26-024-73570	23.31
			S007053880.001		SCREWS FOR EXIT SIGNS	
					01-26-025-73840	12.38
			S007055198.001		ELECTRONICS SCREWDRIVER	
					60-00-000-73410	26.18
					63-00-000-73410	2.91
					64-00-000-73410	12.47



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195416	1/7/2022	015452	015452 STEINER ELECTRIC COMPANY	(Continued)	<b>Total :</b>	<b>77.25</b>
195417	1/7/2022	005521	STEPHEN A. LASER ASSOCIATES	2007346	ASSESSMENTS FOR SHERLOCK,FI 01-41-040-72846 01-17-205-72446	1,650.00 2,400.00
					<b>Total :</b>	<b>4,050.00</b>
195418	1/7/2022	007297	SUTTON FORD INC./FLEET SALES	543313	GASKET 01-17-205-72540	2.73
				543439	KIT,SEAL ASY OIL UNIT 16A 01-17-205-72540	47.37
				543475	SOCKET ASY 01-17-205-72540	234.08
				543565	COVER WHEEL 01-17-205-72540	53.95
				543669	ALTERNATOR ASY,AND WIRE ASY I 01-17-205-72540	403.61
				543708	SWITCH ASY UNIT 5 PD 01-17-205-72540	42.00
				543833	BUSH FOR PD UNIT 2S 01-17-205-72540	16.98
				543976	SOCKET ASY PD UNIT 18A 01-17-205-72540	234.08
					<b>Total :</b>	<b>1,034.80</b>
195419	1/7/2022	007886	THEODORE POLYGRAPH SERVICE	7641	POLYGRAPH EXAM - R.GULLI 01-17-205-72446	200.00
				7645	POLYGRAPH EXAM - K.LIPMAN 01-41-040-72846	200.00
				7651	POLYGRAPH EXAM - T.WARREN,J., 01-41-040-72846	400.00
					01-17-205-72446	200.00
				7654	POLYGRAPH EXAM - S.HOGANCAV 01-41-040-72846	200.00
					<b>Total :</b>	<b>1,200.00</b>
195420	1/7/2022	010579	UNIVERSITY OF ILLINOIS	UPI10696	@00872964 MFI RECERT#3455 12/3	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195420	1/7/2022	010579 UNIVERSITY OF ILLINOIS	(Continued)		01-17-220-72140	100.00
					<b>Total :</b>	<b>100.00</b>
195421	1/7/2022	011416 VERIZON WIRELESS	9895659524		ACCT#442345192-00001 WATER RE	
					60-00-000-72127	31.94
					63-00-000-72127	31.94
					64-00-000-72127	27.37
					<b>Total :</b>	<b>91.25</b>
195422	1/7/2022	006362 VILLAGE OF OAK LAWN	1-9990015-00		ACCT# 1-9990015-00 12/1/21-1/1/22	
					60-00-000-73220	715,623.22
					63-00-000-73220	660,575.28
					<b>Total :</b>	<b>1,376,198.50</b>
195423	1/7/2022	008095 VISSERS COLLISION CENTER	160002119	VTP-018899	REPAIR REAR TAILGATE LOCK ASS	
					01-17-205-72540	690.00
					<b>Total :</b>	<b>690.00</b>
195424	1/7/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS 5132795-0			PAPER	
					01-19-000-73110	244.85
					01-14-000-73110	119.98
					<b>Total :</b>	<b>364.83</b>
195425	1/7/2022	011055 WARREN OIL CO.	W1444081		DIESEL USED 12/16-12/29/21	
					01-19-000-73545	956.54
					60-00-000-73545	68.04
					63-00-000-73545	17.01
					64-00-000-73545	36.45
					01-26-023-73545	1,483.60
					01-26-024-73545	180.45
					01-14-000-73531	247.00
			W14444080		N.L. GAS USED 12/15/21-12/29/21	
					01-17-205-73530	1,498.52
					01-19-000-73530	90.85
					01-19-020-73530	22.74
					01-21-000-73530	71.75



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195425	1/7/2022	011055 WARREN OIL CO.	(Continued)			
					60-00-000-73530	122.78
					63-00-000-73530	30.70
					64-00-000-73530	65.78
					01-26-023-73530	277.34
					01-26-024-73530	101.06
					01-33-300-73530	39.76
					01-12-000-73530	8.60
					01-14-000-73532	18.68
					01-14-000-73531	341.92
					14-00-000-73530	11.04
					01-42-000-73530	73.95
					<b>Total :</b>	<b>5,764.56</b>
195426	1/7/2022	018124 WASHBURN MACHINERY, INC	140417		WASHER SERVICE	
					01-19-000-72530	268.50
					<b>Total :</b>	<b>268.50</b>
195427	1/7/2022	020217 WEX	0001446203-IN		FSA MONTHLY, NOVEMBER 2021 A	
					01-12-000-72449	255.00
					<b>Total :</b>	<b>255.00</b>
85 Vouchers for bank code : apbank						<b>Bank total : 2,683,338.70</b>



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Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3726	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-ADVANCED PAIN CONSULTA 01-14-000-72542	127.43
Total :						127.43
3727	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-1	PAYEE-ADVANCED PAIN CONSULTA 01-14-000-72542	85.96
Total :						85.96
3728	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-2	PAYEE-ADVANCED PAIN CONSULTA 01-14-000-72542	85.96
Total :						85.96
3729	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-3	PAYEE-ADVANCED PAIN CONSULTA 01-14-000-72542	2.06
Total :						2.06
3730	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	183.14 34.88 93.45
Total :						311.47
3731	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-1	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	392.20 74.71 200.10
Total :						667.01
3732	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-2	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	159.03 30.29 81.14
Total :						270.46
3733	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-3	PAYEE-ENCOMPASS SPECIALTY NI 60-00-000-72542 63-00-000-72542 64-00-000-72542	200.08 38.11 102.08



Bank code :    ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3733	1/4/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	340.27
3734	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	2,096.66
					Total :	2,096.66
3735	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR 210731W002-4		PAYEE-VILLAGE OF TINLEY PARK 60-00-000-72542 63-00-000-72542 64-00-000-72542	961.09 183.06 490.35
					Total :	1,634.50
3736	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-1		PAYEE-WOODLAKE MEDICAL 01-14-000-72542	735.00
					Total :	735.00
11 Vouchers for bank code :    ipmq					Bank total :	6,356.78
96 Vouchers in this report					Total vouchers :	2,689,695.48

The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

\_\_\_\_\_ Village President

\_\_\_\_\_ Village Clerk

\_\_\_\_\_ Date



Bank code :    ap\_py

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
126351	1/14/2022	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-PPPR020122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	1,057.50
			BCBS-NA-PR020122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	2,081.00
Total :						3,138.50
1 Vouchers for bank code :    ap_py						Bank total :    3,138.50



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
122218	12/22/2021	003528 CHAPMAN AND CUTLER	122221-1		2021B REFUNDING BOND ISSUE - F 26-00-000-72851	20,000.00
					<b>Total :</b>	<b>20,000.00</b>
122221	12/22/2021	003528 CHAPMAN AND CUTLER	122221		2021A GO BOND ISSUE - BOND CO 26-00-000-72851	30,000.00
					<b>Total :</b>	<b>30,000.00</b>
195428	1/14/2022	010955 A T & T LONG DISTANCE	827776689		CORPORATE ID931719LB TIP LINE 01-17-225-72120	45.94
					<b>Total :</b>	<b>45.94</b>
195429	1/14/2022	010318 ADVOCATE CHRIST MEDICAL CNTR	010322		5 HEARTSAVER CPR/AED CARDS 01-19-020-72140	85.00
					<b>Total :</b>	<b>85.00</b>
195430	1/14/2022	014341 AFTERMATH, INC.	JC2022-9405		BLOOD CLEANING IN SQUAD #5A 01-17-205-72750	150.00
					<b>Total :</b>	<b>150.00</b>
195431	1/14/2022	018781 ALTORFER INDUSTRIES INC	P58C0008034		FILTER LUBE AND ELEMENT 01-26-023-72530	425.30
					<b>Total :</b>	<b>425.30</b>
195432	1/14/2022	002628 AMERICAN WATER	4000228357		JAN'22 FLAT MONTHLY FEE 64-00-000-73225	455.67
					<b>Total :</b>	<b>455.67</b>
195433	1/14/2022	002424 AMERICAN WATER WORKS ASSOC	011022		AWWA MEMBERSHIP FOR K.HOW/ 60-00-000-72720 63-00-000-72720 64-00-000-72720	29.75 29.75 25.50
					<b>Total :</b>	<b>85.00</b>
195434	1/14/2022	003359 BACKFLOW SOLUTIONS INC	6785		VTP CROSS CONNECTION CONTRI 60-00-000-72790	3,025.22
					<b>Total :</b>	<b>3,025.22</b>



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**Village of Tinley Park**

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195435	1/14/2022	020334 BEGGARS PIZZA	122221		TICKET#1 A DIVISION HOLIDAY LUN 01-17-205-72220	277.45
			122921		TICKET#1 B DIVISION HOLIDAY LUN 01-17-205-72220	277.45
<b>Total :</b>						<b>554.90</b>
195436	1/14/2022	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-AP020122		IL065LB000001212-0 HEALTH INS E 01-26-023-72435	156.00
					01-33-300-72435	121.00
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					60-00-000-72435	71.15
					63-00-000-72435	13.55
					64-00-000-72435	36.30
					01-12-000-72435	128.00
					01-19-020-72435	128.00
					60-00-000-72435	60.27
					63-00-000-72435	11.48
					64-00-000-72435	30.75
					60-00-000-72435	63.80
					63-00-000-72435	12.15
					64-00-000-72435	32.55
					01-19-020-72435	140.50
					01-26-023-72435	364.00
					01-33-300-72435	96.00
			BCBS-NA-PPAP020122		IL065LB000001212-0 HEALTH INS E 01-17-205-72435	1,057.50
<b>Total :</b>						<b>2,848.50</b>
195437	1/14/2022	002960 BRANIFF COMMUNICATIONS, INC	0033832		OUTDOOR WARNING SIREN REPAI	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195437	1/14/2022	002960 BRANIFF COMMUNICATIONS, INC	(Continued)		01-21-000-72575	110.00
					<b>Total :</b>	<b>110.00</b>
195438	1/14/2022	003396 CASE LOTS INC	9120		LYSOL WIPES	
			9121		01-26-025-73580	249.65
			9145		LYSOL SPRAYS	
			9146		01-26-025-73580	439.60
					LYSOL WIPES	
					01-26-025-73580	199.90
					LYSOL SPRAY	
					01-26-025-73580	439.60
					<b>Total :</b>	<b>1,328.75</b>
195439	1/14/2022	003328 CATCHING FLUIDPOWER INC	K85234-001		PIPE ELBOW,EXPANDER,CONNEC	
					01-26-023-72540	47.46
					<b>Total :</b>	<b>47.46</b>
195440	1/14/2022	003229 CED/EFENGEE	4975-1009101	VTP-018691	STREET LIGHT MATERIALS	
					01-26-024-73570	14,218.29
					<b>Total :</b>	<b>14,218.29</b>
195441	1/14/2022	015199 CHICAGO PARTS & SOUND LLC	2-0000954		AMBER VERTEX LED STREETS UN	
					01-26-023-72540	149.00
					<b>Total :</b>	<b>149.00</b>
195442	1/14/2022	013820 CINTAS CORPORATION	4106162088		MATS - VH	
			4107175939		01-26-025-72790	210.33
			4107472533		MATS-PW	
					01-26-025-72790	230.64
					MATS- PD	
					01-26-025-72790	111.81
					<b>Total :</b>	<b>552.78</b>
195443	1/14/2022	012917 COLLEGE OF DUPAGE	13524		#1473708 J.GRAVES #1473718 J.R.	
					01-17-220-72140	450.00
					<b>Total :</b>	<b>450.00</b>



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195444	1/14/2022	013878 COMED - COMMONWEALTH EDISON	2777112019		ACCT#2777112019 175TH & SANDL 01-26-023-72510	214.05
			3214011009		ACCT#3214011009 16853 LAKEWO 64-00-000-72510	272.48
			8363023007		ACCT#8363023007 179TH & 82ND A 60-00-000-72510	157.35
					63-00-000-72510	157.35
					<b>Total :</b>	<b>801.23</b>
195445	1/14/2022	012826 CONSTELLATION NEWENERGY, INC.	61394868701		ACCT#875223 UTIL#3670129006 16 64-00-000-72510	387.58
			61394870501		ACCT#875224 UTIL#3784068018 18 60-00-000-72510	4,873.39
					63-00-000-72510	4,873.38
			61394876901		ACCT#875225 UTIL#4373166015 66 60-00-000-72510	3,054.53
					63-00-000-72510	3,054.52
					<b>Total :</b>	<b>16,243.40</b>
195446	1/14/2022	018234 CORE & MAIN LP	Q167451		WATER MAIN SUPPLIES	
				VTP-018924	60-00-000-73630	898.38
				VTP-018924	63-00-000-73630	99.82
				VTP-018924	64-00-000-73630	427.80
				VTP-018924	60-00-000-73630	75.60
				VTP-018924	63-00-000-73630	8.40
				VTP-018924	64-00-000-73630	36.00
				VTP-018924	60-00-000-73630	457.81
				VTP-018924	63-00-000-73630	50.87
				VTP-018924	64-00-000-73630	218.00
					<b>Total :</b>	<b>2,272.68</b>
195447	1/14/2022	018379 DM INDUSTRIAL JANITORIAL SERV	6771		POLICE STATION JANITORIAL SERV	
				VTP-018578	01-26-025-72790	3,300.00
					<b>Total :</b>	<b>3,300.00</b>
195448	1/14/2022	004009 EAGLE UNIFORM CO INC	INV-4552		UNIFORM T.BROOKS 01-19-000-73610	240.00



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<b>Voucher</b>	<b>Date</b>	<b>Vendor</b>	<b>Invoice</b>	<b>PO #</b>	<b>Description/Account</b>	<b>Amount</b>
195448	1/14/2022	004009 EAGLE UNIFORM CO INC	(Continued) INV-5424		UNIFORM P. REYES 01-19-000-73610	350.00
<b>Total :</b>						<b>590.00</b>
195449	1/14/2022	017807 EMERGENCY VEHICLE SERVICE INC.	10948		INSPECT FUEL AND ELECTRICAL S 01-19-000-72540	846.66
			10949		SERVICED UNIT E49 01-19-000-72540	1,772.05
<b>Total :</b>						<b>2,618.71</b>
195450	1/14/2022	004119 ETP LABS INC.	21-135656		COLIFORM SAMPLES 60-00-000-72865	400.40
					63-00-000-72865	171.60
<b>Total :</b>						<b>572.00</b>
195451	1/14/2022	004019 EVON'S TROPHIES & AWARDS	010522		NAME BADGES, DOOR AND LOBBY 01-26-025-72520	65.72
			011022		VILLAGE CLERK NAME PLATE 01-13-000-73110	23.00
			112321		NAME PLATES 01-19-000-72524	19.44
			121021		NAME PLATES DEBIAS/RIORDAN, I 01-19-000-72524	64.94
			121721		BUILDING OFFICIAL NAME PLATE M 01-26-025-72520	26.20
<b>Total :</b>						<b>199.30</b>
195452	1/14/2022	020246 FIFTH THIRD BANK	112-0345615-0145856		****2177 LIGHTWEIGHT TRIPOD 01-35-000-72982	78.98
			112-1228908-5202616		****2177 TRIPOD ROLLER 01-35-000-72982	92.85
			112-3165418-8053034		****2177 RUBBER STAMP 60-00-000-73110	12.59
					63-00-000-73110	1.40
					64-00-000-73110	5.99
			112-3601337-9984209		****2177 RESPIRATOR MASK	



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195452	1/14/2022	020246 FIFTH THIRD BANK	(Continued)			
			112-3610553-2823438		01-26-025-73580 ****2177 OFFICE CHAIR MAT	53.98
					60-00-000-73110	47.87
					63-00-000-73110	5.32
					64-00-000-73110	22.80
			112-4101407-9077051		****2177 BATTERIES ,CASE , AND V	
					01-35-000-72982	88.93
			112-4282660-5203461		****2177 USB TO HDMI ADAPTER	
					60-00-000-73110	17.63
					63-00-000-73110	1.96
					64-00-000-73110	8.39
			112-8418589-4305809		****2177 IMPACT SOCKET	
					60-00-000-73410	14.91
					63-00-000-73410	1.66
					64-00-000-73410	7.09
			112-8922457-0864251		****2177 WELDING GUN ACCESSOF	
					01-26-023-73730	14.09
					01-26-024-73730	7.04
					60-00-000-73730	4.93
					63-00-000-73730	4.93
					64-00-000-73730	4.23
			113		****2177 A.SCHOLZ'S RETIREMENT	
					01-26-023-72974	140.00
			113021		****2177 HOLIDAY MARKET AND VE	
					01-35-000-72954	71.54
					01-41-050-72920	19.98
			113021		****2177 2022 MEMBERSHIP DUES	
					01-11-000-72720	1,885.00
					01-12-000-72720	808.00
					01-13-000-72720	539.00
					01-14-000-72720	268.00
			113-1680991-7049052		****2177 MOP HEAD REPLACEMEN	
					01-26-025-73580	123.92
			113-9083682-0853864		****2177 LATCHING USB CABLE	
					01-26-023-72540	35.00
			114-0615011-1801005		****2177 LOGITECH PRO CAMERA	



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195452	1/14/2022	020246 FIFTH THIRD BANK	(Continued)			
					01-16-000-74128	480.00
			114-8802141-9006659		****2177 CLIPS FOR PLANS	
			120121		01-33-000-73110	39.90
			120121		****2177 CLICK N'SHIP	
			120121.		01-14-000-72110	8.70
			120121..		****2177 CLICK N'SHIP	
			120321		01-14-000-72110	34.80
			120321		****2177 CLICK N'SHIP ANNUAL TIF	
			120321		01-13-000-72110	174.00
			120321		****2177 ART FOR HOLIDAY MARKE	
			120321		01-35-000-72954	5.98
			120321		****2177 APPLICATION FEE FOR AE	
			120821		01-33-320-73870	900.00
			121421		****2177 GIFT CARD PRIZES FOR S	
			121421		01-41-056-72937	125.00
			121521		****2177 CLICK N'SHIP	
			121721		01-13-000-72110	5.80
			121721		****2177 FACEBOOK SPONSOR POI	
			121721		01-35-000-72720	100.00
			121721		****2177 HOLIDAY HOUSE CONTE	
			122021		01-35-000-72954	99.90
			122021		****2177 A.SCHOLZ'S RETIREMENT	
			122121		01-26-023-72974	405.90
			122121		****2177 ADOBE STOCK	
			122121		01-35-000-72985	29.99
			122121		****2177 HOLIDAY HOUSE DECOR C	
			122121		01-35-000-72954	100.00
			122121		****2177 HOLIDAY HOME DECORAT	
			122121		01-35-000-72954	99.90
			122821		****2177 AMAZON RETURN IMPACT	
			122821		60-00-000-73410	-11.59
					63-00-000-73410	-1.29
					64-00-000-73410	-5.52
					****2177 MONTHLY SUBSCRIPTION	
					01-35-000-72720	27.72
					****2177 IGFOA RENEWAL DUES	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195452	1/14/2022	020246 FIFTH THIRD BANK	(Continued)			
			26392		01-15-000-72720	600.00
			368126		****2177 NOTARY STAMP M.GRZESI	
					01-17-205-73110	23.04
					****2177 SOFTWARE	
					01-17-205-72655	320.00
					01-19-020-72655	80.00
					01-26-023-72655	200.00
					60-00-000-72655	126.00
					63-00-000-72655	14.00
					64-00-000-72655	60.00
			442304		****2177 STANDARD SSL	
			703833		01-16-000-72655	259.08
					****2177 GIFT CARDS FOR HOLIDAY	
					01-14-000-72974	20.00
			775450969916		****2177 SHIPPING COSTS	
					01-14-000-72110	41.15
			E21333420209		****2177 SIMPLIFILE SYSTEM 17122	
					01-14-000-72355	103.12
			E2133412040		****2177 SIMPLIFILE SYSTEM 17126	
					01-14-000-72355	103.12
			E2133420427		****2177 SIMPLIFILE SYSTEM 17730	
					01-14-000-72355	103.12
			E2133433120		****2177 SIMPLIFILE SYSTEM 8806	
					01-14-000-72355	103.12
			E2133433123		****2177 SIMPLIFILE SYSTEM 17601	
					01-14-000-72355	103.12
			E2133507181		****2177 SIMPLIFILE SYSTEM 17126	
					01-14-000-72355	103.12
			E2133606041		****2177 SIMPLIFILE SYSTEM 8814	
					01-14-000-72355	103.12
			E2133612058		****2177 SIMPLIFILE SYSTEM 17536	
					01-14-000-72355	103.12
			E6123		****2177 CLOCK GEAR	
					01-26-025-72530	247.25
Total :						9,822.68



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195453	1/14/2022	011611 FOX VALLEY FIRE & SAFETY CO.	IN00492620		MONTHLY RADIO MAINTENANCE F 14-00-000-72750	8,628.75
			IN00492637		RADIO MAINTENANCE AND 9TH ED 14-00-000-72550	748.00
			IN00492640		TP MUNICIPAL RADIO INSPECTION 14-00-000-72550	115.00
					<b>Total :</b>	<b>9,491.75</b>
195454	1/14/2022	016889 GALLAGHER MATERIALS INC.	23137	VTP-018885	COLD PATCH 01-26-023-73780	3,041.80
					<b>Total :</b>	<b>3,041.80</b>
195455	1/14/2022	004535 GALLS LLC	019962713		STAR BADGES,STATE SEALS 01-21-000-73610	173.40
			019980519		REFLECTIVE APPAREL FACTORY P 01-21-000-73610	127.50
			020015728		TACTICAL PANTS WITH HEMMING / 01-21-000-73610	51.39
			020100519		24-7 MENS PEROFRMANCE POLO 01-21-000-73610	33.96
					<b>Total :</b>	<b>386.25</b>
195456	1/14/2022	019349 GARVEY'S OFFICE PRODUCTS	PINV2192891		DUSTER SWIFFER REFILLS 01-19-020-73110	11.39
					<b>Total :</b>	<b>11.39</b>
195457	1/14/2022	004438 GRAINGER	9163100135		WEB SLING 60-00-000-73870	23.91
					63-00-000-73870	23.91
					64-00-000-73870	20.50
			9163100143		SPRAY NOZZLE 01-26-024-73410	3.22
					01-26-023-73410	6.45
					60-00-000-73410	4.06
					63-00-000-73410	0.45
					64-00-000-73410	1.94



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195457	1/14/2022	004438 004438 GRAINGER	(Continued)		<b>Total :</b>	<b>84.44</b>
195458	1/14/2022	001487 HOMEWOOD DISPOSAL SERVICE	7667362		30YD EXCHANGE HAUL AND DUMP 01-26-023-72890	373.86
					<b>Total :</b>	<b>373.86</b>
195459	1/14/2022	014898 IACP	0120972		IACP NET SUBSCRIBER 2/1/22-1/31 01-17-205-72720	1,225.00
			0211420		ACTIVE DUES MATTHEW WALSH 1 01-17-205-72720	190.00
					<b>Total :</b>	<b>1,415.00</b>
195460	1/14/2022	014528 ILL. ASSOC. OF PROPERTY AND	57987		2022 INDIVIDUAL ACTIVE MEMBER 01-17-205-72720	35.00
					<b>Total :</b>	<b>35.00</b>
195461	1/14/2022	005160 ILLINOIS STATE POLICE	CC04004		CC4004 TINLEY FINGERPRINT VILL 01-14-000-72848	28.25
			CC04004		CC4004 TINLEY FINGERPRINT VILL 01-14-000-72848	28.25
					<b>Total :</b>	<b>56.50</b>
195462	1/14/2022	005022 ISAWWA	200068648		ISAWWA WATERCON 2022 CONFEI	
				VTP-018918	64-00-000-72170	75.00
				VTP-018918	63-00-000-72170	87.50
				VTP-018918	60-00-000-72170	175.00
				VTP-018918	63-00-000-72170	87.50
				VTP-018918	64-00-000-72170	75.00
				VTP-018918	60-00-000-72170	87.50
				VTP-018918	63-00-000-72170	87.50
				VTP-018918	64-00-000-72170	75.00
					<b>Total :</b>	<b>750.00</b>
195463	1/14/2022	005251 J AND R SALES AND SERVICE INC.	0346507		TOP HANDLE CHAINSAW 01-26-023-73410	335.20
					<b>Total :</b>	<b>335.20</b>
195464	1/14/2022	006948 JOE RIZZA FORD OF ORLAND PARK	660973		EXHAUST CATALYTIC CONVERTOR	



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195464	1/14/2022	006948 JOE RIZZA FORD OF ORLAND PARK	(Continued)	VTP-018915	01-42-000-72540	1,308.43
					<b>Total :</b>	<b>1,308.43</b>
195465	1/14/2022	020330 KANKAKEE TRUCK EQUIPMENT	175082		SS SPREADER MOUNT PLATE	
					01-26-023-72540	176.00
					<b>Total :</b>	<b>176.00</b>
195466	1/14/2022	020333 KLIMAS JR, BERNARD	010322		COST SHARE REIMB FOR 16812 O	
					01-26-023-75200	484.79
					<b>Total :</b>	<b>484.79</b>
195467	1/14/2022	016616 KURTZ AMBULANCE SERVICE INC.	10820		EMS SERVICE AGREEMENT 12/1-12	
					01-21-000-72856	43,208.33
					<b>Total :</b>	<b>43,208.33</b>
195468	1/14/2022	020207 LENNY'S GAS N WASH 183RD ST	2882		CAR WASH - VM	
			2883		01-12-000-72540	4.00
			2884		CAR WASH-CD 79	
			2885		01-33-300-72540	8.00
					CAR WASH - PD UNIT 3D	
					01-17-205-72540	16.00
					CAR WASH -PW	
					01-26-024-72540	4.00
					60-00-000-72540	2.10
					63-00-000-72540	0.70
					64-00-000-72540	1.20
					<b>Total :</b>	<b>36.00</b>
195469	1/14/2022	003440 M. COOPER WINSUPPLY CO.	07527701		BRASS PLUGS	
					60-00-000-73630	18.98
					63-00-000-73630	2.10
					64-00-000-73630	9.04
					<b>Total :</b>	<b>30.12</b>
195470	1/14/2022	012696 MAGALSKI, MARK	011022		CDL/DRIVER'S LICENSE RENEWAL	
					01-26-023-72860	61.35



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195470	1/14/2022	012696 012696 MAGALSKI, MARK	(Continued)		<b>Total :</b>	<b>61.35</b>
195471	1/14/2022	013969 MAP AUTOMOTIVE OF CHICAGO	40-648233		FRONT ROTOR, SPARK PLUG, COP I	
					01-17-205-72540	196.43
			40-648281		FRONT ROTOR - POLICE STOCK	
					01-17-205-72540	74.88
					<b>Total :</b>	<b>271.31</b>
195472	1/14/2022	020322 MASTER AUTO SUPPLY	15030-112561		WIPER LINKS - STREETS	
					01-26-025-72530	20.02
			15030-112710		LOCK EASE SPRAY	
					01-26-024-72540	5.87
					01-26-023-72540	11.73
					60-00-000-72540	6.16
					63-00-000-72540	2.05
					64-00-000-72540	3.52
			15030-112712		LOCK EASE SPRAY ORIGINAL INV	
					01-26-024-72540	-0.83
					01-26-023-72540	-1.68
					60-00-000-72540	-0.88
					63-00-000-72540	-0.29
					64-00-000-72540	-0.51
			15030-112762		INTAKE MANIFOLD PD 9R	
					01-17-205-72540	205.70
			15030-112866		22 XTRACLEAR FOR PW	
					01-26-024-72540	19.26
					01-26-023-72540	38.52
					60-00-000-72540	20.22
					63-00-000-72540	6.74
					64-00-000-72540	11.56
			15030-112873		BRAKE PADS AND PAINTED ROTOF	
					01-17-205-72540	257.12
			15030-112897		BRAKE AND BRAKE HOSE PD	
					01-17-205-72540	59.99
			15030-112939		HEADLIGHT HALOGEN - STREETS	
					01-26-023-72540	8.58
			15030-112943		STARTER ELECTRICAL #62	



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195472	1/14/2022	020322 MASTER AUTO SUPPLY	(Continued)		01-26-024-72540	145.08
					<b>Total :</b>	<b>817.93</b>
195473	1/14/2022	005844 MCDONALD'S	011021		DEC'21 PRISONER MEALS	
					01-17-220-72230	186.66
					<b>Total :</b>	<b>186.66</b>
195474	1/14/2022	006074 MENARDS	15901		HOT GLUE STICKS AND INDUSTRIAL	
					01-26-024-73410	7.60
					01-26-023-73410	15.19
					60-00-000-73410	9.57
					63-00-000-73410	1.06
					64-00-000-73410	4.56
			15905		RAID ANT BAIT	
					01-26-025-72520	4.94
			15922		DR WALL STOP	
					01-26-025-72520	19.96
			15977		45 GAL LATCH TOTE,27 GAL TOE,S	
					01-26-024-73870	27.33
					01-26-023-73870	54.66
					60-00-000-73870	19.13
					63-00-000-73870	19.13
					64-00-000-73870	16.41
					<b>Total :</b>	<b>199.54</b>
195475	1/14/2022	019316 MINUTEMAN SECURITY	59876	VTP-018602	VIGILANT LEARN ANNUAL SUBSCR	
					01-17-205-72655	14,555.68
					<b>Total :</b>	<b>14,555.68</b>
195476	1/14/2022	005720 MOKENA COMMUNITY PARK DISTRICT	121521		2021 MOWING TIMBERS POINTE P	
					01-26-023-72881	560.00
					<b>Total :</b>	<b>560.00</b>
195477	1/14/2022	005856 MONROE TRUCK EQUIPMENT,INC.	3360070		BOLT FOR STREET SNOW/ICE TRU	
					01-26-023-72530	46.16
					<b>Total :</b>	<b>46.16</b>



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195478	1/14/2022	005664 MORTON SALT INC	54024706016		ROAD SALT 1/3/22	
				VTP-018790	01-26-023-73810	12,280.50
				VTP-018790	70-00-000-73810	457.25
				VTP-018790	08-00-000-73810	326.61
			5402474507		ROAD SALT 1/7/22	
				VTP-018790	01-26-023-73810	18,722.68
				VTP-018790	70-00-000-73810	697.12
				VTP-018790	08-00-000-73810	497.94
					<b>Total :</b>	<b>32,982.10</b>
195479	1/14/2022	017651 MSC INDUSTRIAL SUPPLY CO.	5113059001		STREET -TUBE,HOSE,FLAT WASHE	
					01-26-023-72540	391.28
					<b>Total :</b>	<b>391.28</b>
195480	1/14/2022	014443 MURPHY & MILLER, INC	SVC00035919		REPAIR HOT WATER PUMP VH 12/1	
					01-26-025-72520	4,084.74
			SVC00035921		REPAIRS TO VAV"D" REPLACED CA	
					01-26-025-72520	3,356.85
					<b>Total :</b>	<b>7,441.59</b>
195481	1/14/2022	012301 MVP FIRE SYSTEMS,INC	14452		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	615.00
			14454		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	615.00
			14455		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	315.00
			14456		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	215.00
			14457		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	615.00
			14458		ANNUAL SPRINKER INSPECTION -	
					01-26-025-72790	515.00
			14459		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	915.00
			14460		ANNUAL FIRE SPRINKLER INSPEC`	
					01-26-025-72790	215.00
			14461		ANNUAL FIRE SPRINKLER INSPEC`	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195481	1/14/2022	012301 MVP FIRE SYSTEMS,INC	(Continued)		01-26-025-72790	215.00
					<b>Total :</b>	<b>4,235.00</b>
195482	1/14/2022	011827 NAT'L ASSOC. OF TOWN WATCH	17001		NATW MEMBERSHIP IL432 D.NAVA	
					01-17-215-72720	35.00
					<b>Total :</b>	<b>35.00</b>
195483	1/14/2022	015723 NICOR	06821610000		ACCT#06821610000 METER 276933	
					60-00-000-72511	176.75
					63-00-000-72511	176.75
					64-00-000-72511	151.51
			09977410001		ACCT#09977410001 METER 514688	
					01-26-025-72511	864.86
			12213610004		ACCT#12213610004 METER 503139	
					01-26-025-72511	311.57
					<b>Total :</b>	<b>1,681.44</b>
195484	1/14/2022	006178 NORMAN'S	011222		COSTUME CLEANING	
					01-35-000-72954	472.35
					<b>Total :</b>	<b>472.35</b>
195485	1/14/2022	006221 NORTHERN SAFETY CO. INC.	904651608		SPRAY KIT FOR EYE WASH UNIT	
					01-26-025-73117	246.77
			904662113		GLOVES	
					01-26-025-73580	285.20
			904662114		NEOPRENE COAT GLV	
					60-00-000-73845	186.13
					63-00-000-73845	20.68
					64-00-000-73845	88.63
					<b>Total :</b>	<b>827.41</b>
195486	1/14/2022	015811 NSN EMPLOYER SERVICES, INC.	7200		MANAGEMENT SERVICES JAN-MAF	
					01-14-000-72445	530.45
					<b>Total :</b>	<b>530.45</b>
195487	1/14/2022	010135 ONSITE COMMUNICATIONS USA, INC	51568		PROGRAM 10C FORD EXPLORER /	



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195487	1/14/2022	010135 ONSITE COMMUNICATIONS USA, INC	(Continued)		01-21-000-72575	190.00
					<b>Total :</b>	<b>190.00</b>
195488	1/14/2022	006714 PAPER DIRECT INC.	1968150		BORDER GLD/WHT CERT 38# 1UP 01-14-000-73110	427.24
					<b>Total :</b>	<b>427.24</b>
195489	1/14/2022	006475 PARK ACE HARDWARE	67174/1		ACCT#891431 INV 67174/1 TORCH 60-00-000-73410 63-00-000-73410 64-00-000-73410	28.34 3.15 13.50
					<b>Total :</b>	<b>44.99</b>
195490	1/14/2022	017268 PETERSON JOHNSON & MURRAY	135346		4130.0001 LEGAL SVC VTP GENER 01-14-000-72850	35,813.50
			135347		4130.0003 LEGAL SVC FOIA THRU 01-14-000-72857	6,579.00
			135348		4130.0014 LEGAL SVC FOR LEGAC 16-00-000-72850	300.00
			135349		4130.0018 LEGAL SVC OAK PARK A 17-00-000-72850	2,250.00
			135350		4130.0022 LEGAL SVC NEW BREME 27-00-000-72850	300.00
			135351		4130.0029 LEGAL SVC MENTAL HEA 20-00-000-72850	11,400.00
			135352		4130.0031 LEGAL SVC TP EMINENT 01-14-000-72850	5,009.50
			135354		4130.0042 LEGAL SVC 7050 171ST 01-14-000-72850	1,634.00
			135355		4130.0045 LEGAL SVC TINLEY FOIA 01-14-000-72850	8,866.00
			135356		4130.0046 LEGAL SVC 711GEOL DE 01-14-000-72850	150.50
			135357		4130.0047 LEGAL SVC 159TH STRE 28-00-000-72850	270.00
			135358		4130.0048 LEGAL SVC LOYOLA UNI	



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195490	1/14/2022	017268 PETERSON JOHNSON & MURRAY	(Continued)		01-14-000-72850	9,663.00
			135359		4130.0050 LEGAL SVC LINCOLN W/	
			135360		01-14-000-72850	2,310.00
			135363		4131.0001 VTP GENERAL LABOR M	
					01-14-000-72850	1,440.50
					4160.0001 LEGAL SVC VTP PROSEI	
					01-14-000-72858	4,388.50
					<b>Total :</b>	<b>90,374.50</b>
195491	1/14/2022	015491 PIZZO & ASSOCIATES, LTD.	26315		FAIRFIELD GLEN POND RESTORAT	
			26397	VTP-018556	30-00-000-73681	201.85
				VTP-018556	FAIRFIELD GLEN POND RESTORAT	
					30-00-000-73681	5,501.69
					<b>Total :</b>	<b>5,703.54</b>
195492	1/14/2022	019583 PRECISE MRM LLC	200-1034679		5MB FLAT DATA PLAN US WITH NAI	
					01-26-023-72655	189.00
					<b>Total :</b>	<b>189.00</b>
195493	1/14/2022	013587 PROSHRED SECURITY	990105859		96 GALLON PURGE PW	
					01-26-024-72790	29.00
					01-26-023-72790	58.00
					60-00-000-72790	58.00
					<b>Total :</b>	<b>145.00</b>
195494	1/14/2022	006850 QUILL CORPORATION	20791187		STAPLER,COMMAND HOOKS,AVER	
					01-33-000-73110	296.56
					<b>Total :</b>	<b>296.56</b>
195495	1/14/2022	006361 RAY O' HERRON CO INC	2166036		UNIFORM LEONE	
			2166174		01-17-220-73610	124.97
			2167363	VTP-018157	ITEM #Q4172 - 9MM, 115GR. FMJ 1k	
			2167609		01-17-220-73760	1,814.00
					UNIFORM LEONE	
					01-17-220-73610	174.96
					WALLET HIDDEN BADGE	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195495	1/14/2022	006361 RAY O' HERRON CO INC	(Continued)			
			2167916		01-17-205-73610 HELMET AND RIOT HELMET LEONE 01-17-220-73610	35.98 337.00
					<b>Total :</b>	<b>2,486.91</b>
195496	1/14/2022	006874 ROBINSON ENGINEERING CO. LTD.	21120330		20-R0382 TP MIDLOTIAN CREEK S1 65-00-000-75310	1,717.50
					<b>Total :</b>	<b>1,717.50</b>
195497	1/14/2022	019092 RORY GROUP, LLC	3745		BUSINESS CONSULTING FEE - JAN 01-11-000-72790	3,000.00
					<b>Total :</b>	<b>3,000.00</b>
195498	1/14/2022	016334 RUSH TRUCK CENTERS	3025976749		VALVE ASSY AN DHORN AIR STREE 01-26-023-72540	73.60
			3025984182	VTP-018914	EGR VALVE, EGR COOLER KIT 01-26-023-72540	536.20
			3026030662	VTP-018914	EGR VALVE, EGR COOLER KIT 01-26-023-72540	1,552.05
			3026030777		CLAMP EGR COOLER,HOSE COOL 01-26-023-72540	176.31
			3026115231		ARM WINDSHIELD REGULATOR #6 01-26-023-72540	135.57
			3026172338		BRACKET KIT FOR STREET STOCK 01-26-023-72540	168.57
			3026183962		BRACKET KIT STREET STOCK 01-26-023-72540	190.84
					<b>Total :</b>	<b>2,833.14</b>
195499	1/14/2022	007629 SAM'S CLUB DIRECT	010522		WATER,VENDING MACHINE COOKI 01-14-000-73115	18.76
					01-26-025-73580	16.98
					01-26-024-73115	10.48
					01-26-023-73115	20.96
					60-00-000-73115	7.34
					63-00-000-73115	7.34



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195499	1/14/2022	007629 SAM'S CLUB DIRECT	(Continued)			
			011022		64-00-000-73115	6.28
					WATER,COFFEE MATE	
					60-00-000-73115	1.67
					63-00-000-73115	1.67
					64-00-000-73115	1.43
					01-26-023-73115	4.78
					01-26-024-73115	2.39
					01-14-000-73115	20.98
					<b>Total :</b>	<b>121.06</b>
195500	1/14/2022	007109 SIRCHIE FINGER PRINT LABS	0522375-IN		EVIDENCE SUPPLIES	
				VTP-018815	01-17-225-73550	742.39
			0525635-IN		EVIDENCE SUPPLIES	
				VTP-018815	01-17-225-73550	108.33
			0526404-IN		EVIDENCE SUPPLIES	
				VTP-018815	01-17-225-73550	109.07
					<b>Total :</b>	<b>959.79</b>
195501	1/14/2022	013043 SITE DESIGN GROUP, LTD.	7482PH2-53		TP LANDSCAPE MGNT SVC 11/28-1	
				VTP-018432	01-26-023-72847	2,372.50
			7698-74		STORMWATER AREA MAINTENANC	
				VTP-018309	65-00-000-72847	1,897.50
			7946-53		TP MOWING FISCAL 21-22 SVC 9/2	
				VTP-018308	01-26-023-72847	2,027.50
			7947-28		LAWN TREATMENT SVC 9/26-12/18,	
				VTP-018318	01-26-023-72847	130.00
			7955-31		IRRIGATION SVC 11/28-12/18/21	
				VTP-018317	01-26-023-72847	82.50
			8746-07		TP FACILITIES DPT LANDSCAPE AF	
					01-26-025-72881	192.50
			8803-21		LANDSCAPE BEDS MAINTENANCE	
				VTP-018323	01-26-023-72847	530.00
					<b>Total :</b>	<b>7,232.50</b>
195502	1/14/2022	007224 STANDARD EQUIPMENT COMPANY	P33705		DECAL LUBE	
					01-26-023-72540	73.76



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<b>Voucher</b>	<b>Date</b>	<b>Vendor</b>	<b>Invoice</b>	<b>PO #</b>	<b>Description/Account</b>	<b>Amount</b>
195502	1/14/2022	007224	007224 STANDARD EQUIPMENT COMPANY (Continued)		<b>Total :</b>	<b>73.76</b>
195503	1/14/2022	007297	SUTTON FORD INC./FLEET SALES	543669CM	WIRE ASY RETURN PD 15A	
					01-17-205-72540	-114.65
				544128	LATCH ASY HOOD UNIT 68 STREET	
					01-26-023-72540	48.51
				544356	LOCK CYLINDER AND LEVER STRE	
					01-26-023-72540	38.54
				544419	ROD ASY-DRAG LINK STREET UNIT	
					01-26-023-72540	136.64
				544483	DOOR GLASS STREET UNIT 92	
					01-26-023-72540	102.72
					<b>Total :</b>	<b>211.76</b>
195504	1/14/2022	017520	THE COP FIRE SHOP	204166	UNIFORM POLO WITH EMBROIDER	
					01-17-205-73610	50.85
					<b>Total :</b>	<b>50.85</b>
195505	1/14/2022	014854	THOMSON REUTERS-WEST PYMNT CTF 845648315		ONLINE/SOFTWARE SUBSCRIPTIO	
					01-17-225-72852	205.94
					<b>Total :</b>	<b>205.94</b>
195506	1/14/2022	016877	TINLEY GLASS CORPORATION	010422	FILING CABINET TOP GLASS	
					01-26-025-72520	65.75
					<b>Total :</b>	<b>65.75</b>
195507	1/14/2022	007930	TRANS UNION	12100295	CREDIT SUMMARY,EMPLOYMENT (	
					01-17-225-72852	183.96
					<b>Total :</b>	<b>183.96</b>
195508	1/14/2022	020222	WALSH, PATRICK	2927	TP ETHICS COMPLAIN - JANECYK I	
					01-14-000-72850	13,465.15
					<b>Total :</b>	<b>13,465.15</b>
195509	1/14/2022	010165	WAREHOUSE DIRECT WORKPL SOLTNS 5136884-0		TONER	
					01-26-024-73110	41.47
					01-26-023-73110	82.95
					60-00-000-73110	52.26



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195509	1/14/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS (Continued)			63-00-000-73110	5.81
					64-00-000-73110	24.88
		5140370			DISINFECTANT SPRAY	
					01-26-025-73580	155.85
		5140377-0			DISINFECTANT SPRAY	
					01-26-025-73580	467.55
		5140407-0			DISINFECTANT WIPES	
					01-26-025-73580	167.15
		5140921-0			PENS	
					01-26-024-73110	4.19
					01-26-023-73110	8.37
					60-00-000-73110	5.27
					63-00-000-73110	0.59
					64-00-000-73110	2.51
					<b>Total :</b>	<b>1,018.85</b>
195510	1/14/2022	011055 WARREN OIL CO.	W1445182		N.L. GAS USED 12/30/21-1/4/22	
					01-17-205-73530	14,260.99
					01-19-000-73530	548.50
					01-19-020-73530	261.46
					60-00-000-73530	832.36
					63-00-000-73530	208.09
					64-00-000-73530	445.90
					01-26-023-73530	2,009.27
					01-26-024-73530	311.20
					01-33-300-73530	127.89
					01-12-000-73530	322.56
					01-42-000-73530	585.44
					<b>Total :</b>	<b>19,913.66</b>
195511	1/14/2022	020217 WEX	0001461456-IN		FSA MONTHLY, DECEMBER 2021 A	
					01-12-000-72449	255.00
					<b>Total :</b>	<b>255.00</b>
195512	1/14/2022	008342 WHOLESALE DIRECT, INC.	000254962		WINTER BLADE 22"	
					01-26-023-72530	201.51



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195512	1/14/2022	008342 008342 WHOLESale DIRECT, INC.	(Continued)		<b>Total :</b>	<b>201.51</b>
1222112	12/22/2021	020318 S&P GLOBAL RATINGS	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-72790	7,600.00
					<b>Total :</b>	<b>7,600.00</b>
1222211	12/22/2021	020309 SAUL EWING ARNSTEIN & LEHR LLP	122221		2021A GO BOND ISSUE - DISCLOS 26-00-000-72851	11,200.00
					<b>Total :</b>	<b>11,200.00</b>
1222212	12/22/2021	017268 PETERSON JOHNSON & MURRAY	122221		2021A GO BOND ISSUE - LOCAL CC 26-00-000-72850	4,700.00
					<b>Total :</b>	<b>4,700.00</b>
1222213	12/22/2021	020315 BAIRD, RW & CO INC.	122221		2021A GO BOND ISSUE - MUNICIPA 26-00-000-72790	24,996.98
					<b>Total :</b>	<b>24,996.98</b>
1222214	12/22/2021	020318 S&P GLOBAL RATINGS	12221		2021A GO BOND ISSUE - RATING A 26-00-000-72790	10,900.00
					<b>Total :</b>	<b>10,900.00</b>
1222215	12/22/2021	020316 AMALGAMATED BANK OF CHICAGO	12221		2021A GO BOND ISSUE - PAYING/E 26-00-000-96200	950.00
					<b>Total :</b>	<b>950.00</b>
1222216	12/22/2021	020317 WOLD PRINTING SERVICES LTD	122221		2021A GO BOND ISSUE - PRINTING 26-00-000-72310	1,100.00
					<b>Total :</b>	<b>1,100.00</b>
1222219	12/22/2021	020309 SAUL EWING ARNSTEIN & LEHR LLP	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-72851	7,800.00
					<b>Total :</b>	<b>7,800.00</b>
12222110	12/22/2021	017268 PETERSON JOHNSON & MURRAY	122221-0		2021B REFUNDING BOND ISSUE - I 26-00-000-72850	3,300.00
					<b>Total :</b>	<b>3,300.00</b>



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12222111	12/22/2021	020315 BAIRD, RW & CO INC.	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-72790	15,482.70
					<b>Total :</b>	<b>15,482.70</b>
12222113	12/22/2021	020316 AMALGAMATED BANK OF CHICAGO	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-96200	3,200.00
					<b>Total :</b>	<b>3,200.00</b>
12222114	12/22/2021	020308 ROBERT THOMAS CPA, LLC	122221-1		2021B REFUNDING BOND ISSUE - \\\n26-00-000-72845	1,500.00
					<b>Total :</b>	<b>1,500.00</b>
12222115	12/22/2021	020311 COMPUTERSHARE	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-96200	500.00
					<b>Total :</b>	<b>500.00</b>
12222116	12/22/2021	020317 WOLD PRINTING SERVICES LTD	122221-1		2021B REFUNDING BOND ISSUE - I 26-00-000-72310	725.00
					<b>Total :</b>	<b>725.00</b>
<b>101 Vouchers for bank code : apbank</b>						<b>Bank total : 482,794.52</b>



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3737	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	102.08
Total :						102.08
3738	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-1	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	200.40
Total :						200.40
3739	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-2	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	151.32
Total :						151.32
3740	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-3	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	127.43
Total :						127.43
3741	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-4	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	172.19
Total :						172.19
3742	1/4/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-5	PAYEE-ADVANCED PAIN CONSULT/ 01-14-000-72542	172.19
Total :						172.19
3743	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	521.92
Total :						521.92
3744	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-1	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	585.36
Total :						585.36
3745	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-2	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	563.76
Total :						563.76
3746	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-ELECTROSTIM MEDCL SVC 01-14-000-72542	229.42



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3746	1/11/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		<b>Total :</b>	<b>229.42</b>
3747	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 211125W002		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	303.54
					<b>Total :</b>	<b>303.54</b>
3748	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 211125W002-1		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	76.80
					<b>Total :</b>	<b>76.80</b>
3749	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-3		PAYEE-INGALLS OCCUPATIONAL H 01-14-000-72542	62.65
					<b>Total :</b>	<b>62.65</b>
3750	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 211026W032		PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	253.50
					<b>Total :</b>	<b>253.50</b>
3751	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 211026W032-1		PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	387.00
					<b>Total :</b>	<b>387.00</b>
3752	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 2105 2104 2010 2008*		PAYEE-ALPHA REVIEW CORPORAT 01-14-000-72542 60-00-000-72542 63-00-000-72542 64-00-000-72542 01-14-000-72542 63-00-000-72542 64-00-000-72542 01-14-000-72542 60-00-000-72542 63-00-000-72542 64-00-000-72542 60-00-000-72542 63-00-000-72542 64-00-000-72542 01-14-000-72542	13.85 6.39 1.22 3.25 8.00 3.75 10.04 60.41 8.07 1.54 4.11 8.07 1.54 4.11 154.85



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**Voucher List**  
**Village of Tinley Park**

Page: 27

Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3752	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GRI (Continued)			
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	46.39
					63-00-000-72542	1.22
					60-00-000-72542	5.19
					63-00-000-72542	0.99
					64-00-000-72542	2.64
					01-14-000-72542	18.06
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					60-00-000-72542	5.00
					63-00-000-72542	0.94
					64-00-000-72542	2.57
					01-14-000-72542	898.32
					60-00-000-72542	6.39
					64-00-000-72542	3.25
					60-00-000-72542	8.07
					63-00-000-72542	1.54
					64-00-000-72542	4.11
					01-14-000-72542	8.31
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					60-00-000-72542	9.21
					63-00-000-72542	1.75



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**Voucher List**  
**Village of Tinley Park**

Page: 28

Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3752	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR (Continued)		64-00-000-72542	4.70
					01-14-000-72542	35.14
					60-00-000-72542	19.68
					01-14-000-72542	158.50
					<b>Total :</b>	<b>1,596.33</b>
3753	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-4		PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,704.52
					<b>Total :</b>	<b>1,704.52</b>
3754	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 210526W019-6		PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	2,247.68
					<b>Total :</b>	<b>2,247.68</b>
3755	1/11/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-1		PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,113.02
					<b>Total :</b>	<b>1,113.02</b>
19 Vouchers for bank code : ipmq						<b>Bank total : 10,571.11</b>
121 Vouchers in this report						<b>Total vouchers : 496,504.13</b>



Bank code :    ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

\_\_\_\_\_ Village President

\_\_\_\_\_ Village Clerk

\_\_\_\_\_ Date



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **RESOLUTION**

**NO. 2022-R-009**

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**A RESOLUTION REGARDING THE INDEPENDENT COUNSEL'S FINDINGS,  
DECISION AND ORDER: THE MATTER OF TIMOTHY JANECYK ETHICS  
COMPLAINT AGAINST TRUSTEE DIANE GALANTE**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**RESOLUTION NO. 2022-R-009****A RESOLUTION REGARDING THE INDEPENDENT COUNSEL'S FINDINGS,  
DECISION AND ORDER: THE MATTER OF TIMOTHY JANECYK ETHICS  
COMPLAINT AGAINST TRUSTEE DIANE GALANTE**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park ("Village") has previously adopted a Code of Ethics under Title III, Chapter 39 of the Village Code, in which it is mandated that the Village's employees, elected and appointed officers are to exercise their judgment and perform their duties with integrity and impartiality and for the sole benefit of the citizens of the Village; and

**WHEREAS**, the Village received an Ethics Complaint from a Tinley Park resident, Timothy Janecyk, on August 2, 2021, regarding conduct of Trustee Diane Galante involving improper disclosure of confidential information, pursuant to Title III, Section 39.09 of the Village Code; and

**WHEREAS**, pursuant to Section 39.23 of the Village Code, an independent attorney was hired to review the validity of the complaint and issue a determination, which was received by Village officials on December 30, 2021, attached hereto as Exhibit 1; and

**WHEREAS**, Count I of the Complaint alleged that Trustee Diane Galante improperly disclosed confidential information by providing three affidavits from March 2021 through April 2021 to Attorney Stephen Eberhardt, who had several pending lawsuits filed against the Village and Village officials, including Trustee Galante; and

**WHEREAS**, within the three affidavits provided to Attorney Stephen Eberhardt, Trustee Galante disclosed conversations she had with Village employees, trustees and attorneys regarding FOIA disclosure and legal strategies for the pending lawsuits involving Mr. Eberhardt; and

**WHEREAS**, Trustee Galante was given the opportunity to respond to the allegations of the Ethics Complaint; however, the answers received were not responsive and she refused to answer many of the questions; and

**WHEREAS**, the independent attorney sustained Count I of the complaint based on the content and the timing of the affidavits, coupled with Trustee Galante's dismissal as a defendant in the pending lawsuits, finding that Trustee Galante colluded with Mr. Eberhardt to improperly disclose confidential information; and

**WHEREAS**, the independent attorney found it problematic that Trustee Galante disclosed confidential information to Mr. Eberhardt, categorizing it as a strong lapse in judgment; and



**WHEREAS**, pursuant to Section 39.25 of the Village Code, it was recommended that because of Trustee Galante's ethics violation, she receive a public reprimand and complete additional ethics training as directed by the Village Attorney; and

**WHEREAS**, the independent attorney investigation was limited to violations of the Village's Code of Ethics; and

**WHEREAS**, upon the independent attorney's recommendation that further investigation is warranted, attached hereto as Exhibit 2, a copy of this resolution and the independent attorney's decision and order, with exhibits, shall be forwarded to the Cook County State's Attorney's Office – Public Integrity Unit;

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

**SECTION 2:** The President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that it adopts the aforesaid findings from the independent attorney regarding the Ethics Complaint against Trustee Diane Galante. Further, the Village of Tinley Park will issue a public reprimand of Trustee Diane Galante for the improper disclosure of confidential information and will require additional ethics training, under the direction of the Village Attorney.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

**SECTION 4:** That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS        )  
COUNTY OF COOK         )     SS  
COUNTY OF WILL         )

CERTIFICATE

I, NANCY O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-009, “A RESOLUTION REGARDING THE INDEPENDENT COUNSEL’S FINDINGS, DECISION AND ORDER: THE MATTER OF TIMOTHY JANEYK ETHICS COMPLAINT AGAINST TRUSTEE DIANE GALANTE,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 18<sup>th</sup> day of January, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK



PATRICK W. WALSH, P.C.  
Attorney at Law

33 S. Garfield Street  
Hinsdale, Illinois 60521  
Phone: (630) 794-0300  
Email: [patrick@pwalsh.com](mailto:patrick@pwalsh.com)

**Independent Counsel Findings, Decision and Order**  
**In re the Matter of Timothy Janecyk Ethics Complaint against Trustee Diane Galante**

**Date Filed:** August 2, 2021

**Complainant:** Mr. Timothy Janecyk

**Nature of Complaint:** Ethics Ordinance Violation – Improper Disclosure of Confidential Information

**Subject of Complaint:** Trustee Diane Galante

**Ordinances Cited by Complainant:** 39.01, 39.02, 39.03, 39.04, 39.05, 39.08, 39.09, 39.11, 39.21, 39.22, 39.25, 39.26, 39.99 Tinley Park Code of Ordinances.

**FIRST COUNT – IMPROPER DISCLOSURE OF CONFIDENTIAL INFORMATION**

The first allegation by the Complainant alleged that Trustee Diane M. Galante improperly disclosed confidential information.<sup>1</sup> Trustee Galante provided an affidavit dated March 10, 2021 to attorney Stephen Eberhardt<sup>2</sup>. On March 10, 2021, Attorney Stephen Eberhardt was a Plaintiff and Plaintiff's counsel in a pending lawsuit filed against the Village of Tinley Park and others, to wit: Stephen Eberhardt v. Village of Tinley Park, et. al. 2020-CH-3982<sup>3</sup>. Trustee Galante was a named defendant in the lawsuit. Mr. Eberhardt had another lawsuit pending against the Village of Tinley Park 2019-CH-3747.<sup>4</sup> Both of the aforementioned lawsuits were active during the time Trustee Galante provided affidavits to Mr. Eberhardt.

The applicable ethics ordinance provides as follows:

**§ 39.09 DISCLOSURE OF CONFIDENTIAL INFORMATION.**

*It shall be unlawful for any village official to use or disclose, other than in the performance of his or her official responsibilities or duties, or as may be required by law, confidential*

<sup>1</sup> Exhibit A. Complaint seeking sanctions for violations of the Tinley Park "Code of Ethics" filed by Timothy Janecyk.

<sup>2</sup> Exhibit B. Two (2) page "Affidavit of Trustee Diane M. Galante" dated March 10, 2021.

<sup>3</sup> See Exhibit C, Case Summary printout for Eberhardt v. Tinley Park, et al. 2020-CH-3982

<sup>4</sup> See Exhibit D, Case Summary printout for Eberhardt v. Tinley Park, et al. 2019-CH-3747



*information concerning the property, government, or affairs of the village, gained in the course of or by reason of his or her position. It shall be unlawful for any village official to use or disclose confidential information gained in the course of or by reason of his or her official position for the purpose of advancing:*

*(A) His or her financial or personal interests;*

*(B) A business entity of which he or she is an owner (in part or whole), an officer or director; or*

*(C) The financial or personal interests of his or her spouse or minor children.*

*(Ord. 96-0-009, passed 2-20-96; Am. Ord. 2017-O-010, passed 2-21-17) Penalty, see § 39.99*

Trustee Diane M. Galante was elected to the Tinley Park Village Board in April 2019. On March 10, 2021, Trustee Galante was still a Trustee on the Tinley Park Village Board. By her own affidavits, Trustee Galante violated Section 39.09 by the disclosure of confidential information concerning the government, or affairs of the village, gained in the course of or by reason of her position. Trustee Galante's affidavit dated March 10, 2021 confirmed that she was a duly elected Trustee in the Village of Tinley Park.<sup>5</sup> She stated that she had conversations about FOIA (Freedom of Information Act) production requests involving the public records with Trustee Michael Glotz.<sup>6</sup> Trustee Galante stated she had multiple conversations with Terica Ketchum, the Village of Tinley Park FOIA Coordinator (also a licensed attorney) about proper FOIA responses.<sup>7</sup> She also disclosed part of a conversation with Village Attorney Thomas Condon, Jr. about how to handle FOIA requests.<sup>8</sup>

A second affidavit dated March 14, 2021, was electronically signed by Trustee Galante and provided to the Plaintiff Stephen Eberhardt.<sup>9</sup> Trustee Galante's second affidavit referenced the March 10, 2021 affidavit. Her March 14, 2021 affidavit also referenced Village Attorney (Patrick) Walsh.<sup>10</sup> In paragraph 6 of the March 14, 2021 affidavit, Trustee Galante disclosed conversations with the Village Attorney that involved legal strategies.<sup>11</sup>

On April 8, 2021, Trustee Galante provided a third affidavit for Mr. Eberhardt for his lawsuits against the Village of Tinley Park.<sup>12</sup> Mr. Eberhardt added this affidavit to a lawsuit filed against the Village of Tinley Park in Case number 1-20-CV-01171. In the April 8, 2021 affidavit, Trustee Galante admits speaking to Mr. Eberhardt regarding what she believed to be issues of concern on March 6, 2021. At that time, there were three lawsuits pending against the Village of Tinley Park that were brought by Mr. Eberhardt including the state court case that named Trustee Galante

<sup>5</sup> Exhibit B, par. 3.

<sup>6</sup> Exhibit B, par. 5.

<sup>7</sup> Exhibit B, par. 7.

<sup>8</sup> Exhibit B, par. 8.

<sup>9</sup> Exhibit E.

<sup>10</sup> For purposes of transparency and clarity, I have never served as Village Attorney for the Village of Tinley Park. As of December 29, 2021, the Attorney Registration & Disciplinary Commission of the Supreme Court of Illinois listed three (3) actively licensed attorneys with the name Patrick Walsh. I am listed as Patrick William Walsh (Admitted 5/12/1989). The Village Attorney identified by Trustee Galante in her March 14, 2021 affidavit is Patrick Joseph Walsh (Admitted 11/10/2005). I am not related nor associated with Patrick Joseph Walsh.

<sup>11</sup> Exhibit E, par. 6.

<sup>12</sup> Exhibit F. See also Exhibit K, docket printout for 1-20-CV-1171, Eberhardt v. Village of Tinley Park, et al.



individually. In paragraph 12, Trustee Galante disclosed confidential alleged conversations with Village Officials and Village Attorneys about Mr. Eberhardt.<sup>13</sup> Trustee Galante again revealed confidential conversations with the Village Attorney.<sup>14</sup>

Mr. Eberhardt added this affidavit as an exhibit to 1-20-CV-01171 and subsequently dismissed Trustee Galante from the lawsuit.

It should be noted that Trustee Galante sent email responses concerning the allegations raised by the August 2, 2021 Complaint.<sup>15</sup> Her responses concerning the disclosure of confidential information are contained in Exhibit G and attached hereto. Trustee Galante's email response, as reflected in Exhibit G, failed to address, excuse or defend the disclosure of confidential information.

Attempts were made to conduct a recorded interview with Trustee Galante. It should be noted that Trustee Galante was not obligated to participate in a recorded interview concerning the allegations. An interview was scheduled on December 16, 2021 to take place on December 22, 2021 at Trustee Galante's place of work. On December 21, 2021, Trustee Galante sought to negotiate terms/conditions for the scheduled interview. The terms were not agreed to. An email was sent to Trustee Galante on December 22, 2021 with numerous questions concerning the allegations to permit a full response.<sup>16</sup> On December 27, 2021, Trustee Galante provided an email response to the December 22, 2021 email.<sup>17</sup>

Explanations were sought concerning the three affidavits Trustee Galante provided to Mr. Eberhardt during a time where Mr. Eberhardt was a Plaintiff and Plaintiff's counsel in three lawsuits that were pending against the Village of Tinley Park.

Patrick Walsh email excerpt on December 22, 2021 to Trustee Galante along with her responses of December 28, 2021:

Patrick Walsh email questions to Trustee Galante

*Your explanations, in my view, did not adequately answer concerns about issues raised by the affidavits. Explanations are necessary to explain the affidavits you provided to Mr. Eberhardt on the following dates:*

*March 10, 2021;*

*March 14, 2021;*

*April 8, 2021; and*

*April 8, 2021 affidavit filed on April 20, 2021 in 20-cv-1171 Eberhardt v. Village of Tinley Park, et al. in the United States District Court for the Northern District of Illinois.*

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<sup>13</sup> Exhibit F, par. 12.

<sup>14</sup> Exhibit F, par. 27.

<sup>15</sup> Exhibits G, H1 & H2.

<sup>16</sup> Exhibit I.

<sup>17</sup> Exhibit J.



Trustee Galante Response of December 28, 2021

*I believed it was my ethical duty to give my truthful statements. I wanted to provide my statements to the Village Attorney but they refused.*

*I would have no knowledge of decisions Mr. Eberhart made.*

Patrick Walsh email questions to Trustee Galante

*Shortly before you provided the series of affidavits to Mr. Eberhardt, you were a named Defendant in a matter pending in the Circuit Court of Cook County, Chancery Division under Case Number 2020-CH-3982. Mr. Eberhardt apparently dismissed you as a defendant shortly before you provided those affidavits.*

*The timing and circumstances raise serious questions. I wanted you to have a chance to specifically address all circumstances concerning what consideration you were given or provided in exchange for the dismissal of the case against you.*

Trustee Galante Response of December 28, 2021

*I believe I was named in the case because I was the successor to the Trustee who had the seat prior.*

*I would have no knowledge of decisions Mr. Eberhardt made on using my statements or removing individuals from his case, that was not discussed.*

Patrick Walsh email questions to Trustee Galante

*How were the affidavits prepared and what role, if any, did Mr. Eberhardt have in the creation, editing, or approval of the affidavits? Who wrote them? Why were they provided?*

Trustee Galante Response of December 28, 2021

*The affidavits were my statements as written. I did not request approval or need someone to create, edit, or approve on my behalf. I wanted what I knew to be the truth documented.*

Patrick Walsh email questions to Trustee Galante

*Why did you wait so long to document old issues?*

Trustee Galante Response of December 28, 2021

*I'm not sure of the exact timeline you are referring to. These were items that had been reported as they were happening. Covid may have caused a delay as everyone was forced home in early 2020.*



Patrick Walsh email questions to Trustee Galante  
*Where are the original affidavits?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*Why did you prepare three separate affidavits when all of the issues predated the first affidavit?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*Who represented you, if anyone, in the first lawsuit?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*Was Mr. Eberhardt ever acting as your lawyer or informally advising you?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*Did you notify the Village of Tinley Park attorneys that you were providing affidavits?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*What did you do to ensure that you were not providing confidential attorney-client information that you obtained as a Tinley Park Trustee to Mr. Eberhardt?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante  
*Did you ask for an opinion from the Tinley Park attorneys to make sure you were not violating the ethics ordinance before you provided the affidavits?*

Trustee Galante Response of December 28, 2021  
*Did not provide an answer*



Patrick Walsh email questions to Trustee Galante

*What was your understanding of the lawsuit claims against you?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante

*Do you have any emails, correspondence, texts or other communications between yourself and Mr. Eberhardt concerning the Cook County or Federal Court Lawsuit? If so, what were they?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante

*I would like an explanation why you forwarded the email from your Tinley Park email address to your personal address on 4/7/21, the day before you signed the last affidavit?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante

*Who is 'Fuzzy' mentioned in the affidavit dated 4/8/21?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante

*The accusations against Mr. Glotz in your affidavit are serious. Did you ever notify the Village Manager, Village Attorneys, or any other officials in writing about it?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Patrick Walsh email questions to Trustee Galante

*Who initiated the contact with Mr. Eberhardt to obtain the dismissal and provide the affidavits in the cases filed against the Village of Tinley Park?*

Trustee Galante Response of December 28, 2021

*Did not provide an answer*

Truthful and complete answers were requested. Most of Trustee Galante's answers were not responsive to the questions. She refused to answer many of the questions as shown above. I do not believe Trustee Galante unilaterally made decisions to submit three separate affidavits to the Mr. Eberhardt, the plaintiff and lawyer prosecuting cases against the Village of Tinley Park. A



plain review of the affidavits show that legal terminology was utilized including specific statutory references for the certifications. Trustee Galante's affidavits sustain the complaint on their own. The timing and content of the affidavits coupled with Trustee Galante's dismissal as a defendant provide compelling circumstantial evidence of collusion with Mr. Eberhardt and confirm the improper disclosure of confidential information. In her April 8, 2021 affidavit, Trustee Galante makes reference to Attorney Walsh attending a meeting to discuss additional strategies he would like to pursue in regards to the Eberhardt cases.<sup>18</sup> The Village of Tinley Park videotapes their public meetings and makes them available for review on [www.youtube.com](https://www.youtube.com/channel/UCuObz0s_dSopQF34rdf-WOA/videos) [https://www.youtube.com/channel/UCuObz0s\\_dSopQF34rdf-WOA/videos](https://www.youtube.com/channel/UCuObz0s_dSopQF34rdf-WOA/videos)

After reviewing the posted meetings of November 5, 2019, Attorney Walsh never spoke publicly in any of the meetings. Any alleged discussions would have been done during the executive session portion of the meeting. Legal matters reviewed in executive session are confidential. Trustee Galante's disclosure of confidential legal matters by way of three affidavits to the Plaintiff/Plaintiff's attorney in three separate lawsuits constituted significant ethical violations in violation of the ordinance. Each affidavit constituted separate and distinct ethics violations. Even though Trustee Galante admitted speaking to Mr. Eberhardt on March 6, 2021, she did not admit to consultation with or receiving legal advice from Mr. Eberhardt. However, it seems clear that the primary party to benefit from the multiple affidavits was Mr. Eberhardt. The timing of the affidavits and the dismissal of Trustee Galante from the lawsuit do not appear to be coincidental nor random. Trustee Galante's responses failed to excuse her improper disclosures of confidential information in the affidavits.

It is problematic that Trustee Galante chose to disclose confidential information at all, but the fact that she chose to disclose it to Steven Eberhardt, in particular, demonstrated a strong lapse in judgment. Trustee Galante was well aware of Mr. Eberhardt's contentious relationship with the Village, it's residents and certain elected officials. In fact, in an email dated October 3, 2019, provided pursuant to FOIA, she accuses Eberhardt of being involved in 'bullying residents on social media, and putting out ugly comments about our police officers...'. She also, indicates at that time that she believes that someone was providing Mr. Eberhardt 'information from executive sessions.' Obviously, Trustee Galante understood the dangers of providing information from executive session to a resident who she believed was lacking in ethics and spent his time harassing other residents. Considering the evidence, her conduct cannot be construed as an innocent mistake that occurred on three separate occasions.

### **Decision and Order**

Pursuant to Section 39.25 of the Code, after a thorough review the Complaint of Mr. Janecyk, review of applicable ordinances, voluminous materials and the responses from Trustee Galante, it is my determination that the allegations in the complaint clearly state three separate and distinct violations of the Tinley Park Village Code for improper disclosure of confidential information. There is clear and convincing evidence to support three violations of the Tinley Park Ethics Ordinance Code by Trustee Diane Galante. The complaint is sustained.

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<sup>18</sup> Exhibit F, par. 27.



It is my recommendation, pursuant to Section 39.25 (D) that the appropriate action as a result of Trustee Galante's ethics violations shall be public reprimand and for her to complete additional ethics training as directed by the Village Attorney.

**SECOND AND THIRD COUNTS – SHARING OF CONFIDENTIAL INFORMATION VIA EMAIL, VIOLATION OF FOIA AND OPEN MEETINGS ACT**


The additional allegations included in the complaint are not sustained. The complaint alleges that Trustee Galante failed to disclose emails forwarded to her personal account and then shared those with Mr. Eberhardt in violation of Section 39.09. Any claim under this section of the code must be premised on a finding that the information disclosed was 'confidential,' which the Code defines as 'any information that is exempt from disclosure pursuant to the 'Illinois Freedom of Information Act, as amended from time to time' Section 39.03.

The complainant discovered these emails via FOIA request, which by definition are not confidential and therefore not covered under Section 39.09. Moreover, as noted above, while it is suspicious that an email was forwarded from her work to personal email the day before she signed an affidavit for Mr. Eberhardt, there is no evidence at this time that she shared this particular email, or any other, with Mr. Eberhardt. Those allegations are not sustained.

The complaint also urges a finding that Trustee Galante lied on a FOIA response and violated the Open Meetings Act in relation to her meetings with Mr. Eberhardt. FOIA involves 'public records' 5 ILCS 140/2, and there is no evidence that there were any records of the meetings between Trustee Galante and Mr. Eberhardt. Likewise, the Open Meetings Act covers meetings where a quorum of members of a public body are present. 5 ILCS 120/101. A meeting between Trustee Galante and Mr. Eberhardt is not an 'open meeting' as contemplated under the statute. Because of those factors, I will not offer any opinion or decision whether Trustee Galante lied on any FOIA response. Accordingly, the complaint is not sustained concerning the sharing of confidential email, violations of the Freedom of Information Act or Open Meetings Act.

This Order is final and non-reviewable pursuant to Section 39.25 of the Tinley Park Code of Ethics. Copies of this Order will be forwarded to Mr. Janecyk and Trustee Galante. Copies, in compliance with Section 39.25, will be sent to the Board of Trustees as well.

Date: December 30, 2021



Patrick W. Walsh  
Independent Counsel





**COMPLAINT SEEKING SANCTIONS  
FOR VIOLATIONS OF THE  
TINLEY PARK "CODE OF ETHICS"**



Complainant, Timothy Janecyk, files this Complaint seeking sanctions be imposed for violations of the "Ethics Code" as codified in §39.01 et seq. of the Tinley Park Code of Ordinances. In support thereof, Complainant states as follows:

1. Pursuant to §39.22 of the Tinley Park Code of Ordinances, this Complaint is filed in triplicate with the Village Clerk.
2. Pursuant to §39.25(D), Complainant seeks sanctions including, but not limited to, the filing of a civil ordinance violation Complaint in the Circuit Court of Cook County against Trustee DIANE GALANTE.
3. Jurisdiction is proper under §39.21 of the Village Code in that Complainant is a resident of the Village of Tinley Park and this Complaint is being brought within forth- five (45) of the earliest date on which Complainant could have learned of the violation of provisions of the "Ethics Code" as detailed herein.
4. Diane Galante is an elected Trustee in the Village of Tinley Park and as such subject to the provisions of the Ethics Ordinance.

**Trustee Galante Disclosed Confidential Information and Signed Affidavits against Village Officials in Return for her Dismissal from a Lawsuit. Although, at the Village board meeting Galante stated at the 1:18:00 – 1:18:06 mark, "I do not feed information from Executive Session to harm taxpayers." That obviously is not true. Galante violated 39.05, 39.08, 39.11, and 39.11.**

5. Stephen Eberhardt has filed numerous meritless complaints against the Village of Tinley Park, its elected officials, officers, and employees over the past decade. Currently Mr. Eberhardt has roughly 10 outstanding lawsuits against the Village where he is either the named party or counsel for the named party. He routinely files frivolous ethic complaints against Mayor



Glutz and the board to hurt the development and betterment of our Village. Recently, he just lost a State Board of Elections complaint he filed against the slate of 2021 candidates and lost.

6. Eberhardt also routinely files Requests for Review to the Illinois Attorney General's Office and often converts those Requests for Review into lawsuits. Currently Eberhardt has roughly 3 pending FOIA lawsuits.

7. On March 10, 2021, Trustee Galante signed an affidavit that, amongst other things, purported to disclose a conversation she had with the Village Attorney. At that time, Galante was named in two separate lawsuits by Eberhardt.

8. Trustee Galante also stated in the March 10<sup>th</sup> affidavit that she was advised not to respond to FOIA requests by Trustee Glutz and the Village Attorney. This flies in the face of the Village's long record of complying with FOIA mandates, including asking elected officials for responsive records, calling into question the entire veracity of the Affidavit.

9. On April 12, 2021 an Ethics complaint was filed by Eberhardt against Mayor Glutz.

10. Given the overwhelming number of FOIA lawsuits and Requests for Review that have found the Village does, in fact, comply with the mandates of FOIA, it is extremely unlikely that any Village Attorney or the Mayor would direct Trustee Galante to ignore FOIA requests. Trustee Galante blames the Mayor and Village Attorney Tom Condon of telling her not to respond to FOIA's. FOIA # W026265 Galante assumes that the Village searches Facebook postings for her. She has no idea what she is doing or who does what. She was told the Village does not perform social media searches for her. To the extent there was a conversation regarding the Village's response to a FOIA between any of the Village Attorneys and Trustee Galante, the information discussed was confidential as such term is defined in Section 39.09 of the Village Code.



11. The disclosure of any information, let alone portions of conversations or outright fabrications from the Village Attorneys to a Trustee in regards to a FOIA request by Eberhardt, is tantamount to providing Eberhardt with the Village's legal strategies and greatly inhibits the Village's ability to defend and defeat Eberhardt's baseless lawsuits against the Village.

12. On March 14, 2021, Trustee Galante signed a second affidavit for Stephen Eberhardt.

13. In the affidavit, Galante states that Patrick Walsh came to a Village meeting on November 5, 2019 to discuss some additional strategies he would like to pursue in regards to the Eberhardt cases.

14. A review of the recording of that meeting and the minutes reveal that Patrick Walsh never spoke at that board meeting on November 5, 2019. You can see Patrick Walsh throughout the video sitting in the front directly behind former Public Works Director Kevin Workowski.

15. Any comments attributed to Walsh must have occurred in Executive Session, and were confidential and "Work Product" as such term is defined in the Village Ethics ordinance.

16. On April 08, 2021, Galante signed a third affidavit for Eberhardt. On April 9, 2021, just one day after Galante had disclosed confidential information to Eberhardt, signed affidavits that led to ethics complaints, Eberhardt dismissed Galante from case number 2020-CH-03982, which was filed on April 27, 2020, roughly 1-year prior to her epiphany. It is difficult to view the timeline and the dismissal from a lawsuit as anything other than a quid pro quo between Galante and Eberhardt.

**Galante Fails to Disclose over 319 E-Mails and 1,940 Pages She Forwarded to Her Private E-Mail Account Which Cannot Be Tracked by the Village Server. Galante violated ordinances 39.05, 39.08 sharing Confidential information with Eberhardt to sue the Village from emails and Executive Session, 39.09, and 39.11 (Sharing Executive Session information and confidential emails to get out of lawsuits and for other favors. At the Village board meeting on 5/18/21 from 1:17:10 – 1:17:50, Galante talks about settling the cases).**



17. On June 14, 2021, resident Michael Stuckly sent a FOIA requesting, amongst other things, any and all communications involving Village business sent to or from Diane Galante's personal email account.

18. The Village responded to FOIA W026265 with a communication from Galante on June 29, 2021, that stated she had no responsive records and she does not conduct personal business on her private email account. This, of course, is not true.

19. On June 20<sup>th</sup> (W026307) and July 7<sup>th</sup> (W026416), 2021, I sent a FOIA request to the Village requesting, amongst other things, any and all communications between Galante's private email and her personal email.

20. On July 20, 2021, the Village responded to both FOIA requests by sending records containing numerous emails Galante forwarded to her private email and her personal email.

21. Galante is clearly conducting business from her personal email accounts and other devices. It is reasonable to conclude that she is forwarding the information to Eberhardt based on allegations contained in his various complaints that could not have been known to him without it being leaked by an elected official. Her affidavit confirms it.

22. Based on numerous instances of information being included in various filings by Eberhardt that could not have been known to him but for it being shared by a Village Trustee, it is reasonable to conclude that Galante is sharing such information with Eberhardt through her personal email account, but then falsely claiming she does not conduct Village business through her personal account.

23. Trustee's Brennan, Brady, Mueller, and Village Attorney Patrick Connelly discuss the leaking of information from Executive Session on September 29, 2020, from 52:08-56:35 Village



board meeting. A political hit was attempted to hurt Trustee Glotz at the time and Rick Heidner by releasing information to David Heinzman from the Tribune.

**Galante lied on FOIA W026350-062721.**

24. I filed FOIA W026350 on June 6, 2021, asking for "Please provide all meeting notes, dates, times, locations, text messages, and phone call logs from Ms. Galante and Jacob Vandenberg or Stephen Eberhardt to meet or to communicate from January 02, 2020, to date." Galante did not respond with any meetings or communications with Eberhardt. However, on her signed affidavit on April 8, 2021, she stated that she spoke with Eberhardt on March 6, 2021. Galante violated FOIA, OMA, perjured herself, and 39.05.

**B.) Applicable Legal Authority**  
**1. Village Ethics Code**

1. The Tinley Park "Ethics Code" §39.03 defines "VILLAGE OFFICIAL" as "any elected [] member of the Village Board".

2. §39.04 APPLICABILITY

The provisions of this chapter [] shall apply to all Village officials as herein above defined.

3. §39.05 IMPARTIALITY; SPECIAL TREATMENT

(A) Every Village official and all employees shall perform his or her duties impartially and without prejudice or bias for the benefit of all the citizens of the village.

4. § 39.08 USE OF OFFICIAL POSITION.

(A) It shall be unlawful for any village official of Tinley Park to use his or her official position or the village's facilities for his or her private gain nor shall he or she appear before or represent any private person, group or interest before any department, agency or commission of the Village of Tinley Park except in matters of purely civic or public concern. No compensation shall be paid to any village official for any such appearance or representation other than their regular



compensation due from the village itself. The provisions of this section are not intended to prohibit his or her speaking before neighborhood groups and other not-for-profit organizations, nor to prohibit speeches being made in any other (e.g., in their business or professional) capacity other than in the capacity as a village official. Also, the provisions of this section shall not prevent any village official from appearing on behalf of himself or herself, his or her spouse, or any minor children before any village body or committee, or in the Circuit Court.

(B) It shall also be unlawful for any village official to use his or her official position or office to gain undue influence over subordinates.

(C) It shall be unlawful for any village official to acquire an interest in, or an interest affected by, any contract, transaction, zoning decision, or other matter at a time when such matter has been submitted to the village for review or is in the process of consideration by the village.

(D) It shall be unlawful for any village official to request or permit the unauthorized use of village-owned vehicles, equipment, materials, property or personnel for personal convenience, profit or political purposes, unless such services are provided as a matter of stated village policy. De minimus use shall not constitute a violation of this chapter.

5. § 39.09 Confidential Information

It shall be unlawful for any village official to use or disclose, other than in the performance of his or her official responsibilities or duties, or as may be required by law, confidential information concerning the property, government, or affairs of the village, gained in the course of or by reason of his or her position. It shall be unlawful for any village official to use or disclose confidential information gained in the course of or by reason of his or her official position for the purpose of advancing:

- (A) His or her financial or personal interests;
- (B) A business entity of which he or she is an owner (in part or whole), an officer or director; or
- (C) The financial or personal interests of his or her spouse or minor children.



6. **§ 39.21 ENFORCEMENT.**

Any person who is a citizen residing within the corporate limits of the village or has any interest in land within the village or its planning area or has any interest in any business entity doing business in Tinley Park or with the village may sign a formal complaint against any village official alleging a violation of any section of this chapter. Such complaint must be filed within 45 days after the complainant knew of such alleged violation or should have known of such alleged violation. The President and Board of Trustees shall then submit the complaint to independent legal counsel other than the Village Attorney and chosen from a list of attorneys provided by the Village Attorney. The independent counsel shall be automatically selected on a rotational basis in the order listed on the list from the Village Attorney unless a conflict of interest would prohibit that respective attorney from properly adjudicating the matter. During the course of such investigation, the independent counsel shall at all times keep his or her investigation confidential. In the event that any alleged violation is filed against any elected village official or anyone appointed to fill a vacancy in the office of an elected village official, that Official shall not deliberate or vote on the choice of independent counsel.

7. **§ 39.22 REQUIRED FORM OF ETHICS COMPLAINT.**

(A) Each complaint must be typewritten and filed in triplicate with the Village Clerk's office. A complaint may only be filed with the Village Clerk under the following conditions:

(1) The complaint must be against an elected officer of the Village of Tinley Park who is currently serving in their elected position or against an employee who is subject to this chapter.

(2) The complaint must be filed with the Tinley Park Village Clerk and must be made by either:

(a) A resident of the village; or

(b) A person with any interest in land within the village; or

(c) A person who has any interest in any business entity in the village.

(3) The complaint must be based upon direct evidence or sworn statements by one or more people with actual knowledge of the facts and circumstances supporting the alleged ethics violation;

(4) The complaint may not be filed during the 30 calendar days immediately before a municipal election if the accused is an elected officer who is a candidate in the primary election;

(5) The complaint must be in writing and contain the following:

(a) The name and position of the elected officer or employee alleged to be in violation;

(b) The name, address, and telephone number of each individual who is filing the complaint;

(c) A description of each alleged violation of this chapter, including a reference to the section of this subchapter alleged to have been violated; sections 39.01 "Preambles;



General Policy" and 39.02 "Statement of Principles" may not be used as the basis of a violation;

(d) With reasonable specificity, evidence supporting each allegation, which shall be provided by copies of official records, documentary evidence, or affidavits that include the required information;

(e) A list of witnesses that a complainant wishes to have called or interviewed, including for each witness: the name, address, and, if available, one or more telephone numbers of the witness; a brief summary of the testimony to be provided by the witness; a specific description of any documents or evidence a complainant desires the witness to produce;

(f) A statement that each complainant:

1. Has reviewed the allegations contained in the complaint and the sworn statements and documents attached to the complaint;

2. Believes that the complaint is submitted in good faith and not for any improper purpose such as harassing the named elected officer or employee, causing unwarranted harm to the accused elected officer's or employee's reputation, or causing unnecessary expenditure of public funds; and

3. Believes the allegations contained in the complaint to be true and accurate; and

(g) Signature of each complainant.

(B) A person filing a complaint under this chapter is not entitled to reimbursement for attorney fees or costs incurred, regardless of the outcome of the proceedings.  
(Ord. 2018-O-030, passed 5-15-18)

#### 8. §39.25 DETERMINATION BY THE INDEPENDENT ATTORNEY.

(A) After review of the complaint, the independent attorney shall determine whether there is clear and convincing evidence supporting a violation of the Tinley Park Ethics Ordinance Code by the named elected official or employee. If there are multiple alleged violations, the independent attorney shall separately determine whether clear and convincing evidence supports each violation.

(B) If the independent attorney determines that no allegations in the complaint were proved, the independent attorney shall:

(1) Issue an order that the complaint is dismissed because no allegations in the complaint were found to have been proven; such an order is final and non-reviewable.

(2) Provide notice of the determination of complaint being unsubstantiated regarding the unidentified elected official or employee to the Mayor and Board of Trustees.

(3) Provide written notice of the determination to the named elected official or employee and the first named complainant on the complaint.

(C) If the independent attorney determines that one or more of the allegations in the complaint were proved, the independent attorney shall:



- (1) Prepare written summary findings and a recommendation for the Village Board:
  - (a) Listing the name of each complainant and the name of the elected officer or employee;
  - (b) For each allegation that was proven:
    1. Provide the reference to the Tinley Park Municipal Code.
    2. Summarize the evidence supporting a violation by clear and convincing evidence;
    3. Make factual findings; and
  - (c) Recommend appropriate action to the Village Board;
- (2) Notify the named elected official or employee and the first complainant on the complaint of the written summary findings and recommendation for the Village Board; and
- (D) If the independent attorney finds a violation of this chapter, the independent attorney may recommend to the Village Council any appropriate action or remedy, including, but not limited to, censor, reprimand, additional ethics training, or the filing of civil ordinance violation claim in the Circuit Court of Cook County. The independent attorney's recommendation may depend on the severity of the violation, the elected official's or employee's intent, any history or pattern of abuse by the named elected official or employee, and any economic or other benefit received by the named elected officer or employee.  
(Ord. 2018-0-030, passed 5-15-18).

9. § 39.26 ACTION BY VILLAGE COUNCIL.

- (A) Upon receipt of any finding and recommendation by the independent attorney, the Village Council shall review the recommendation and take action at its discretion.
- (B) The elected official referred for a violation may not participate in the Council's deliberation or cast a vote as the Council decides whether to take action and which action to take.  
(Ord. 2018-0-030, passed 5-15-18).

10. § 39.99 PENALTY.

- (A) Any person found guilty by the Circuit Court of violating the provisions of this chapter shall be fined an amount not to exceed the sum of \$1,000.
- (B) In the event that the village official is found not guilty of the alleged violation, the Village Board will authorize reimbursement of reasonable attorney fees to that person not to exceed the sum of \$1,500. The Village Board may also, in its sole discretion, authorize reimbursement of reasonable attorney fees in excess of \$1,500. The Village Attorney will advise the Board on the reasonableness of any attorney fees which are sought to be reimbursed hereunder.  
(Ord. 96-0-009, passed 2-20-96).



### **C.) Conclusion**

1. The actions of Trustee Diane Galante as detailed herein violated §39.05 of the Ethics Code in so far as she is actively divulging confidential information and the Village's legal strategy to its opposing counsel Stephen Eberhart. Trustee Galante has a duty to all citizens of Tinley Park, and exposing the Village to more lawsuits or weakening its defense of any current lawsuit or Request to Review by divulging sensitive information to an opposing litigant that is not otherwise available to the general public is reckless and without benefit to the residents of Tinley Park.
2. The actions of Trustee Diane Galante as detailed herein violated Section 39.08 of the Ethics Code in so far as she divulged confidential information pertaining to the Village's defense of certain lawsuits which she only had knowledge of through her position as a Trustee. Trustee Galante used that information in exchange to be released from lawsuit 2020-CH-03982. She filed an affidavit on April 8, 2021, and was released from the lawsuit on April 9, 2021, which was written and directed by Stephen Eberhardt. Quid Pro Quo means "a favor for a favor" or "you scratch my back, and I'll scratch yours."
3. The actions of Trustee Diane Galante as detailed herein violated Section 39.09 of the Ethics Code in so far as she divulged confidential information pertaining to the Village's defense of certain lawsuits which she only had knowledge of through here position as Trustee. Upon information and belief, she divulged this information to Mr. Eberhardt an opposing litigant of the Village for purely personal reasons—her dislike and disagreement with Mayor Glotz, Clerk Thirion, the other 5 Trustees, and staff.
4. The actions of Trustee Diane Galante as detailed herein violated §39.05 & §39.09 of the Ethics Code in so far as she is actively divulging confidential Executive Session, employee



resumes, and Pat Carr investigation information to outside sources of the Village server. Once Galante forwards emails to Borg Warner and her ymail account, the Village and Attorney General Kwame Raoul have no way to know where it goes from there. We already know many of the emails are going to Stephen Eberhardt who is adverse to the Village and any Attorney associated with it.

WHEREFORE, for the reasons as noted herein:

- A. The Village Board should appoint Independent Counsel as set forth in the Ethics Code.
- B. Independent Counsel should find that Trustee Diane Galante violated §39.05, 39.08, 39.09 and 39.11 and recommend that appropriate action(s) be taken by the Village Board against Trustee Diane Galante.
- C. Independent Counsel should direct responsible Village official(s) to refer matters involving the violation of any applicable statute to the proper prosecuting authorities.
- D. Independent Counsel should interview the following persons as part of his or her investigation of my witness list.

1. Diane Galante, [REDACTED]  
[dgalante@borgwarner.com](mailto:dgalante@borgwarner.com) [REDACTED] Also, where the emails are stored on the Borg Warner server: 300 S. Maple Street, Frankfort, IL 60423.

She will testify that she has shared 319 emails back and forth from her Village email account to her personal emails to share and discuss with Stephen Eberhardt. She will admit that she lied and said she doesn't do Village business on her personal devices. She will also admit that she lied in her affidavit and perjured herself about former Trustee Glotz on her affidavit she signed on April 8, 2021. In Galante's affidavit she stated, "I turned to Trustee Glotz and stated, in essence, I'm so



giggled as he made that statement. The camera is on Trustee Galante and Glotz from 26:00-27:19. Eberhardt walked away from the podium around 26:04. You can clearly see that Galante and Glotz never spoke nor did you see him giggling or laughing of any kind.”

2. Village Special Counsel Patrick Walsh, [REDACTED] 21 North 4<sup>th</sup> Street, Geneva, IL, 60134. Patrick Walsh will testify that he did not speak at the November 5, 2019, Village Board meeting. He will testify how he relayed the information to the Village Board and Trustee Diane Galante that night. He will also testify to whether Trustee Diane Galante’s affidavit is a lie or truth. He will also discuss if he let the Village Board and staff know if what they discussed was a draft of his work product of his plans to stop the harassment on this Village by Stephen Eberhardt.

3. Village Manager David Niemeyer, 708-444-5000, [dniemeyer@tinleypark.org](mailto:dniemeyer@tinleypark.org), 16250 S. Oak Park Drive, Tinley Park, IL 60477. David Niemeyer will testify if Patrick Walsh discussed the Legal Strategy in regard to Stephen Eberhardt in Executive Session or at the Board meeting on November 5, 2019. He will discuss if the Village Board and staff knew that this was privileged information from the Attorney’s work product.

4. Village Attorney Patrick Connelly, [REDACTED] 200 W. Adams Street, Suite 2125, Chicago, IL 60606. Patrick Connelly will testify if Patrick Walsh spoke during the Village Board Meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh’s work product.

5. Village Attorney Thomas Condon, [REDACTED] 200 W. Adams Street, Suite 2125, Chicago, IL 60606. Thomas Condon will testify if he advised Trustee Galante not to respond to FOIA requests or if he ever had conversations with Galante.



6. Mayor Michael Glotz, [REDACTED] 16250 S. Oak Park Ave, Tinley Park, IL 60477. Mayor Glotz will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

7. Assistant Village Manager & EMA Director Patrick Carr, 708-444-5000, 16250 S. Oak Park Ave, Tinley Park, IL 60477. Patrick Carr will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

8. Clerk Kristin Thirion, 708-444-5000, 16250 S. Oak Park Ave, Tinley Park, IL 60477. Clerk Thirion will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. She will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

9. Deputy Clerk Laura Godette, 708-444-5000, 16250 S. Oak Park Ave, Tinley Park, IL 60477. Laura Godette will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. She will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

10. Trustee Bill Brennan, [REDACTED] 16250 S. Oak Park Ave, Tinley Park, IL 60477. Bill Brennan will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.



11. Trustee Michael Mueller, [REDACTED] 16250 S. Oak Park Ave, Tinley Park, IL 60477. Michael Mueller will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

12. Trustee Bill Brady, [REDACTED] 16250 S. Oak Park Ave, Tinley Park, IL 60477. Bill Brady will testify to whether Patrick Walsh spoke at the Board meeting on November 5, 2019, or in Executive Session. He will also testify to whether everybody in the room knew if it was privileged information or not of Patrick Walsh's work product.

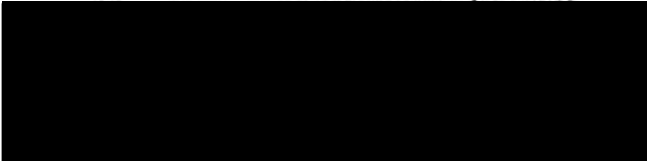
13. Stephen E. Eberhardt, [REDACTED]  
[REDACTED] 16710 Oak Park Ave, Tinley Park, IL 60477, PO Box 548, Tinley Park Post Office, and Cavallini's in the Park [REDACTED] 6700 South Street, Tinley Park, IL 60477. He will testify that he wrote or assisted in the filing of the affidavits for Galante and writing of the ethics complaint. He will testify that he has been meeting with her, texting, and emailing with Galante for information from the Village.

[REDACTED]  
Timothy Janecyk



## 39.22(A)(5)(f) Statement

I have reviewed the allegations contained in the complaint and the sworn statements and documents attached to the complaint. I believe that the complaint is submitted in good faith and not for any improper purpose such as harassing the named elected officer or employee, causing unwarranted harm to the accused elected officer's or employee's reputation, or causing unnecessary expenditure of public funds. I believe the allegations contained in the complaint to be true and accurate.




Timothy Janecyk



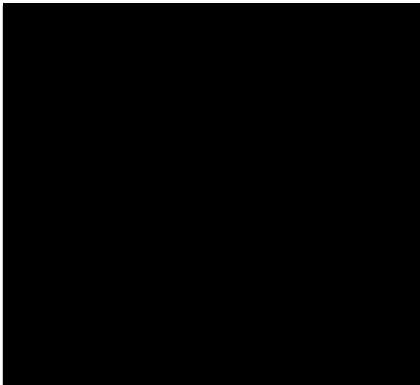
## 39.22 Required Form Of Ethics Complaint

I, Timothy Janecyk, certify that pursuant to 39.22(A), (A)(1), (A)(2)(a)(b)(c), (A)(3), (A)(4), (A)(5)(a)(b)(c)(d)(e)(f)(1)(2)(3), and (5)(g) of the Village of Tinley Park's Code of Ordinances, I have served the Village of Tinley Park with 3 copies of this complaint by hand delivery to the Village Clerk's office on August 2, 2021.



Timothy Janecyk

Timothy Janecyk





**AFFIDAVIT OF TRUSTEE DIANE M. GALANTE**

COMES NOW your Affiant, DIANE M. GALANTE, pursuant to 735 ILCS 5/1-109, and represents and states as follows:

1. That your Affiant is over the age of eighteen (18) years and has personal knowledge of all matters stated herein.
2. If called upon to do so, I would competently testify to the information as contained herein under oath.
3. That I am a duly elected Trustee in the Village of Tinley Park, having been elected in 2019, and taking office in May of 2019.
4. I also serve as the Chair of the Village Finance Committee.
5. Shortly after taking office, Trustee Michael Glotz and I had a conversation about FOIA and FOIA productions involving requests for public records that sought information from me.
6. Trustee Michael Glotz advised that I should not respond to such FOIA requests.
7. I had multiple conversations with the FOIA Coordinator, Terica Ketchum, who is a licensed Illinois attorney, and was advised by Ms. Ketchum that proper responses were mandated under the Illinois FOIA statute.
8. Subsequent thereto, I was called by Village Attorney Thomas Condon, Jr. and told in substance not to respond to FOIA requests so there would be "nothing to hold against me."
9. As an elected public official I understand that I have an obligation to make proper response for records pursuant to the mandates of FOIA.



FURTHER AFFIANT SAYETH NAUGHT:

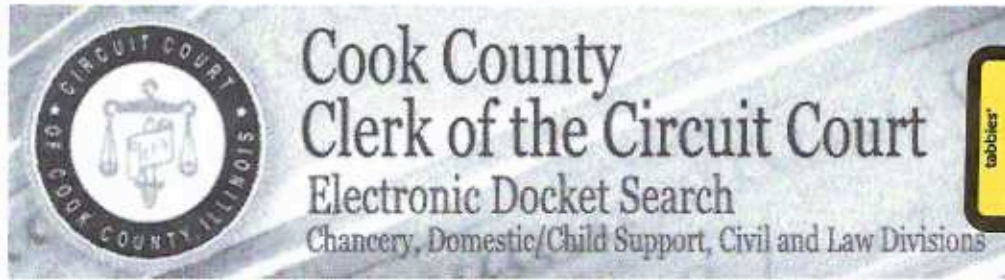
/s/

DIANE M. GALANTE

Executed on this 10<sup>TH</sup> day of March, 2021

☒ Under penalties as provided by law pursuant to 735 ILCS 5/1-109, I certify that the statements set forth herein are true and correct.





Case Information Summary for Case Number  
2020-CH-03982

Filing Date: 04/27/2020  
Division: Chancery Division  
Ad Damnum: \$0.00

Case Type: INJUNCTION  
District: First Municipal  
Calendar: 02

**Party Information**

**Plaintiff(s)**

EBERHARDT STEPHEN

**Attorney(s)**

EBERHARDT, STEPHEN E  
16710 S OAK PARK  
TINLEY PK IL, 60477  
(708) 633-9100

**Defendant(s)**

BRENNAN WILLIAM  
CARR PATRICK  
CONDON, JR THOMAS J  
GALANTE DIANE  
GLOTZ MICHAEL  
KEARNEY KEVIN  
KETCHUM TERICA  
MUELLER MICHAEL  
O'GRADY PAUL A  
SPALE DOUGLAS  
THIRION KRISTIN  
VILLAGE OF TINLEY  
PARK

**Defendant Date of Service**

**Attorney(s)**

PETERSON JOHNSON  
MURRAY  
200 W ADAMS #2125  
CHICAGO IL, 60606  
(312) 782-7150

**Case Activity**

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Injunction Complaint Filed

Court Fee: 388.00

Attorney: EBERHARDT, STEPHEN E



Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN



Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable



Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/27/2020

Participant: EBERHARDT STEPHEN

Case Set On Case Management Call

Date: 08/25/2020

Judge: VALDERRAMA, FRANKLIN  
ULYSES

Court Time: 0930

Attorney: EBERHARDT, STEPHEN E

Court Room: 2402

Activity Date: 07/17/2020

Participant: EBERHARDT STEPHEN

Electronic Notice Sent

Date: 08/25/2020

Attorney: EBERHARDT, STEPHEN E

Court Time: 0930

Microfilm: CH000000000

Court Room: 2402

Activity Date: 08/25/2020

Participant: EBERHARDT STEP EN

Case Set On Status Call

Date: 11/06/2020

Judge: VALDERRAMA, FRANKLIN  
ULYSES

Court Time: 0930

Court Room: 2402

Activity Date: 10/13/2020

Participant: VILLAGE OF TINLEY PARK

Appearance Filed - Fee Paid -

Court Fee: 251.00

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 10/13/2020

Participant: VILLAGE OF TINLEY PARK

Motion For Extension Of Time (Scr 323E) Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 10/13/2020

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 10/13/2020

Participant: VILLAGE OF TINLEY PARK

Notice Of Filing Filed

Attorney: PETERSON JOHNSON  
MURRAY



Activity Date: 10/21/2020

Participant: EBERHARDT STEPHEN

Notice Of Filing Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 10/21/2020

Participant: EBERHARDT STEPHEN

Objections Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 11/03/2020

Participant:

Motion Scheduled (Motion Counter Only)

Date: 11/10/2020

Attorney: PETERSON JOHNSON  
MURRAY

Court Time: 0930

Activity Date: 11/04/2020

Participant: VILLAGE OF TINLEY PARK

Motion For Extension Of Time (Scr 323E) Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 11/04/2020

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 11/16/2020

Participant: EBERHARDT STEP EN

Strike From The Call - Allowed -

Date: 12/17/2020

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 11/16/2020

Participant: EBERHARDT STEP EN

Case Set On Status Call

Date: 01/29/2021

Court Time: 1000

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 11/16/2020

Participant: EBERHARDT STEP EN

Set Briefing Schedule - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN



Activity Date: 11/16/2020

Participant: VILLAGE OF TINLEY PARK

Set Briefing Schedule - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 12/17/2020

Participant: VILLAGE OF TINLEY PARK

Dismiss(Set For Motion Hearing)

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 12/17/2020

Participant: VILLAGE OF TINLEY PARK

Notice Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 01/04/2021

Participant:

Motion Scheduled (Motion Counter Only)

Date: 01/12/2021

Attorney: EBERHARDT, STEPHEN E

Court Time: 0930

Activity Date: 01/04/2021

Participant:

Motion Scheduled (Motion Counter Only)

Date: 01/12/2021

Attorney: EBERHARDT, STEPHEN E

Court Time: 0930

Activity Date: 01/04/2021

Participant: EBERHARDT STEPHEN

Extend Time For Filing(Set For Motion Hearing)

Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/04/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/04/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/04/2021

Participant: EBERHARDT STEPHEN



Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/12/2021

Participant: VILLAGE OF TIN EY PARK

Continuance - Allowed -

Date: 03/04/2021

Court Time: 1030

Judge: PRICE WALKER, ALLEN

Court Room: 2402

Activity Date: 01/12/2021

Participant: EBERHARDT STEP EN

Motion To - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 01/12/2021

Participant: EBERHARDT STEP EN

Set Briefing Schedule - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 01/12/2021

Participant: VILLAGE OF TIN EY PARK

Set Briefing Schedule - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 01/12/2021

Participant: VILLAGE OF TIN EY PARK

Courtesy Copies Required - Allowed

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 01/20/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/20/2021

Participant: EBERHARDT STEPHEN

Answer/Response/Reply

Attorney: EBERHARDT, STEPHEN E

Activity Date: 01/20/2021

Participant: EBERHARDT STEPHEN

Notice Of Filing Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 02/23/2021

Participant: VILLAGE OF TINLEY PARK



Answer/Response/Reply

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 02/23/2021

Participant: VILLAGE OF TINLEY PARK

Notice Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 03/04/2021

Participant: VILLAGE OF TIN EY PARK

Motion To - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/04/2021

Participant: VILLAGE OF TIN EY PARK

Strike Or Withdraw Complaint, Amended Complaint Or Portion Thereof - Alw -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/04/2021

Participant: EBERHARDT STEP EN

Amend Complaint Or Petition - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/04/2021

Participant: EBERHARDT STEP EN

Case Set On Status Call

Date: 04/12/2021

Court Time: 1000

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/17/2021

Participant: EBERHARDT STEP EN

Motion To - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/17/2021

Participant: EBERHARDT STEP EN

Strike From The Call - Allowed -

Date: 04/12/2021

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 03/17/2021

Participant: EBERHARDT STEP EN

Case Set On Status Call



Date: 04/22/2021

Judge: PRICE WALKER, ALLEN

Court Time: 1000

Court Room: 2402

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Additional Party Complaint (Third Party, Etc.) Filed

Court Fee: 137.00

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed



Activity Date: 04/09/2021

Attorney: EBERHARDT, STEPHEN E

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E



Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Exhibits Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Summons Issued And Returnable

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/09/2021

Participant: EBERHARDT STEPHEN

Notice Of Filing Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/22/2021

Participant: EBERHARDT STEP EN

Issue Alias Summons - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 04/22/2021

Participant: EBERHARDT STEP EN

Motion To - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 04/22/2021

Participant: EBERHARDT STEP EN

Case Set On Status Call

Date: 06/23/2021

Court Time: 1000

Judge: PRICE WALKER, ALLEN

Court Room: 2402

Activity Date: 04/23/2021

Participant: EBERHARDT STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: EBERHARDT, STEPHEN E



Activity Date: 04/23/2021

Participant: EBERHARDT STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: EBERHARDT, STEPHEN E

Activity Date: 04/23/2021

Participant: EBERHARDT STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: EBERHARDT, STEPHEN E

Activity Date: 05/18/2021

Participant: CONDON, JR THOMAS

Alias Summons - Retd P.S.

Date: 05/18/2021

Activity Date: 05/18/2021

Participant: O'GRADY PAUL

Alias Summons - Retd P.S.

Date: 05/18/2021

Activity Date: 05/20/2021

Participant: CARR PATRICK

Alias Summons - Retd P.S.

Date: 05/20/2021

Activity Date: 06/17/2021

Participant: VILLAGE OF TINLEY PARK

Extend Time For Filing(Set For Motion Hearing)

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/17/2021

Participant: VILLAGE OF TINLEY PARK

Substitution Of Judge(Set For Motion Hearing)

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/17/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/17/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed



Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/21/2021

Participant: VILLAGE OF TINLEY PARK

Appearance Filed - Fee Paid -

Court Fee: 251.00

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/21/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Filing Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/23/2021

Participant: O'GRADY PAUL

Transferred To Presiding Judge

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 06/23/2021

Participant: O'GRADY PAUL

Change Of Venue - Allowed -

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 06/23/2021

Participant: O'GRADY PAUL

SOJ (As of Right) - Allowed

Court Room: 2402

Judge: PRICE WALKER, ALLEN

Activity Date: 06/24/2021

Participant: EBERHARDT STEPHEN

Case Set On Case Management Call

Date: 10/22/2021

Court Time: 0945

Court Room: 2508

Judge: GAMRATH, CELIA G

Attorney: EBERHARDT, STEPHEN E

Activity Date: 06/24/2021

Participant: EBERHARDT STEPHEN

Return For Random Assignment

Judge: JACOBIOUS, MOSHE

Activity Date: 06/24/2021

Participant: VILLAGE OF TINLEY PARK

Assign To Judge Within Division

Court Room: 2403

Judge: JACOBIOUS, MOSHE



Activity Date: 06/28/2021

Participant:

**Motion Scheduled (Motion Counter Only)**

Date: 07/08/2021

Attorney: PETERSON JOHNSON  
MURRAY

Court Time: 0915

Activity Date: 06/28/2021

Participant: VILLAGE OF TINLEY PARK

**Extend Time For Filing(Set For Motion Hearing)**

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/28/2021

Participant: VILLAGE OF TINLEY PARK

**Notice Of Motion Filed**

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 06/28/2021

Participant: EBERHARDT STEP EN

**Recusal - Allowed**

Court Room: 2508

Judge: GAMRATH, CELIA G

Activity Date: 07/08/2021

Participant: EBERHARDT STEPHEN

**Case Set On Case Management Call**

Date: 11/18/2021

Court Time: 1000

Court Room: 2601

Judge: MITCHELL, RAYMOND W.  
Attorney: EBERHARDT, STEPHEN E

Activity Date: 07/08/2021

Participant: EBERHARDT STEPHEN

**Return For Random Assignment**

Judge: JACOBIOUS, MOSHE

Activity Date: 07/08/2021

Participant: EBERHARDT STEP EN

**Assign To Judge Within Division**

Court Room: 2403

Judge: JACOBIOUS, MOSHE

Activity Date: 07/13/2021

Participant:

**Motion Scheduled (Motion Counter Only)**

Date: 07/20/2021

Attorney: PETERSON JOHNSON  
MURRAY

Court Time: 1015



Activity Date: 07/13/2021

Participant: VILLAGE OF TINLEY PARK

Extend Time For Filing(Set For Motion Hearing)

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 07/13/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 07/20/2021

Participant: EBERHARDT STEP EN

Continuance - Allowed -

Date: 08/10/2021

Court Time: 1030

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 07/20/2021

Participant: VILLAGE OF TIN EY PARK

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Date: 08/03/2021

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 07/20/2021

Participant: VILLAGE OF TIN EY PARK

Motion To - Allowed -

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 08/03/2021

Participant:

Motion Scheduled (Motion Counter Only)

Date: 08/10/2021

Court Time: 1015

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Dismiss(Set For Motion Hearing)

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON



MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed



Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Exhibits Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/03/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Motion Filed

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 08/11/2021

Participant: EBERHARDT STEP EN

Set Briefing Schedule - Allowed -

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 08/11/2021

Participant: VILLAGE OF TIN EY PARK

Set Briefing Schedule - Allowed -

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 08/11/2021

Participant: EBERHARDT STEP EN

Case Set On Progress Call

Date: 11/12/2021

Court Time: 1000

Court Room: 2601

Judge: MITCHELL, RAYMOND W.

Activity Date: 09/14/2021

Participant: EBERHARDT STEPHEN

Electronic Notice Sent

Date: 10/22/2021

Court Time: 0945

Court Room: 2601

Attorney: EBERHARDT, STEPHEN E  
Microfilm: CH000000000

Activity Date: 09/27/2021

Participant: EBERHARDT STEPHEN



Attorney: EBERHARDT, STEPHEN E

Activity Date: 09/27/2021

Participant: EBERHARDT STEPHEN

Notice Filed

Attorney: EBERHARDT, STEPHEN E

Activity Date: 10/08/2021

Participant: EBERHARDT STEPHEN

Electronic Notice Sent

Date: 11/18/2021

Court Time: 1000

Court Room: 2601

Attorney: EBERHARDT, STEPHEN E

Microfilm: CH000000000

Activity Date: 10/21/2021

Participant: VILLAGE OF TINLEY PARK

Answer/Response/Reply

Attorney: PETERSON JOHNSON  
MURRAY

Activity Date: 10/21/2021

Participant: VILLAGE OF TINLEY PARK

Notice Of Filing Filed

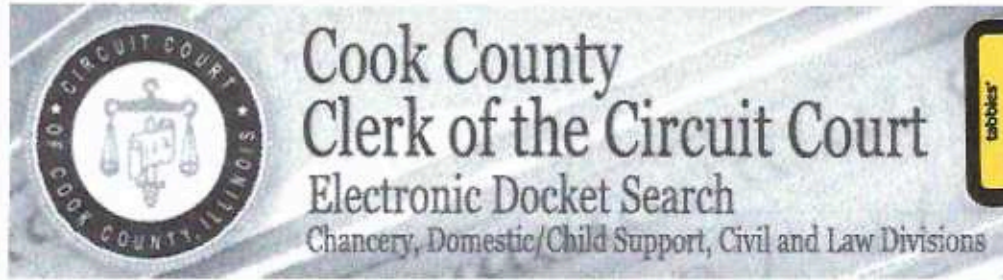
Attorney: PETERSON JOHNSON  
MURRAY

[Back to Top](#)

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If data does not appear in a specific field, we likely do not have the responsive data in our master database.





Case Information Summary for Case Number  
2019-CH-03747

Filing Date: 03/22/2019

Division: Chancery Division

Ad Damnum: \$0.00

Case Type: Declaratory  
Judgment

District: First Municipal

Calendar: 14

**Party Information**

**Plaintiff(s)**

EBERHARDT, STEPHEN

EBERHARDT, STEPHEN

**Attorney(s)**

SCHINDLER

53 W JACKSON BLVD #8

CHICAGO IL, 60604

(312) 554-1040

EBERHARDT, STEPHEN E

16710 S OAK PARK

TINLEY PK IL, 60477

(708) 633-9100

**Defendant(s)**

VILLAGE OF TINLEY  
PARK

**Defendant Date of Service**

**Attorney(s)**

PETERSON JOHNSON  
MURRAY

200 W ADAMS #2125

CHICAGO IL, 60606

(312) 782-7150

**Case Activity**

Activity Date: 03/22/2019

Participant: EBERHARDT, STEPHEN

Declaratory Judgment Complaint Filed

Court Fee: 368.00

Attorney: SCHINDLER

Activity Date: 03/22/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/22/2019

Participant: EBERHARDT, STEPHEN



Attorney: SCHINDLER

Activity Date: 03/22/2019

Participant: EBERHARDT, STEPHEN

Case Set On Case Management Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 03/22/2019

Participant: EBERHARDT, STEPHEN

New Case Filing

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Appearance Filed - Fee Paid -

Court Fee: 237.00

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Motion Scheduled (Motion Counter Only)

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Motion Scheduled (Motion Counter Only)

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Jury Demand Filed - Fee Paid

Court Fee: 230.00

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN

Motion Filed

Attorney: SCHINDLER

Activity Date: 04/26/2019

Participant: EBERHARDT, STEPHEN



Attorney: SCHINDLER

Activity Date: 05/06/2019

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 05/06/2019

Participant: EBERHARDT, STEPHEN

Strike From The Call - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 05/06/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 06/03/2019

Participant: EBERHARDT, STEPHEN

File Amendment Or Additional Or Amended Pleadings - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 06/03/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 06/12/2019

Participant: EBERHARDT, STEPHEN

Amend Complaint Or Petition - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 06/12/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER



Activity Date: 06/14/2019

Participant: EBERHARDT, STEPHEN

Appearance Filed - No Fee Paid -

Attorney: SCHINDLER

Activity Date: 06/18/2019

Participant: EBERHARDT, STEPHEN

Motion Scheduled (Motion Counter Only)

Attorney: SCHINDLER

Activity Date: 06/18/2019

Participant: EBERHARDT, STEPHEN

Misc.Motion(Set For Motion Hearing)

Attorney: SCHINDLER

Activity Date: 06/18/2019

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

Activity Date: 07/09/2019

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 07/09/2019

Participant: EBERHARDT, STEPHEN

Extend Time - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 07/09/2019

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 07/09/2019

Participant: EBERHARDT, STEPHEN

Strike From The Call - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 07/22/2019

Participant: EBERHARDT, STEPHEN

Appearance Filed - No Fee Paid -



Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Amended Petition Filed

Attorney: SCHINDLER

Activity Date: 08/08/2019

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER



Activity Date: 08/14/2019

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 08/14/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 09/17/2019

Participant: EBERHARDT, STEPHEN

Dismiss(Set For Motion Hearing)

Attorney: SCHINDLER

Activity Date: 09/17/2019

Participant: EBERHARDT, STEPHEN

Notice Filed

Attorney: SCHINDLER

Activity Date: 09/18/2019

Participant: EBERHARDT, STEPHEN

Amend Complaint Or Petition - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 09/18/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN



Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Amended Complaint Filed

Attorney: SCHINDLER

Activity Date: 10/16/2019

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail



Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/17/2019

Participant: EBERHARDT, STEPHEN

Summons Served - Certified Mail

Attorney: SCHINDLER

Activity Date: 10/22/2019

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/22/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/02/2019

Participant: EBERHARDT, STEPHEN

Motion Filed

Attorney: SCHINDLER

Activity Date: 12/04/2019

Participant: EBERHARDT, STEPHEN

Issue Alias Summons - Allowed -



Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/04/2019

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN



VILLAGE OF TINLEY...  
Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 12/16/2019

Participant: EBERHARDT, STEPHEN

## Alias Summons Issued And Returnable

Court Fee: 6.00

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

## Alias Summons - Retd P.S.



Activity Date: 01/07/2020

Participant: EBERHARDT, STEPHEN

Alias Summons - Retd P.S.

Attorney: SCHINDLER

Activity Date: 02/10/2020

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 02/10/2020

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 03/09/2020

Participant: EBERHARDT, STEPHEN

Appearance Filed - Fee Paid -

Court Fee: 251.00

Attorney: SCHINDLER

Activity Date: 03/09/2020

Participant: EBERHARDT, STEPHEN

Dismiss(Set For Motion Hearing)

Attorney: SCHINDLER

Activity Date: 03/09/2020

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 03/09/2020

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 04/13/2020

Participant: EBERHARDT, STEPHEN

Postcard Generated

Judge: MCDUNN, SUSAN J.

Attorney: SCHINDLER

Activity Date: 04/13/2020

Participant: EBERHARDT, STEPHEN



Judge: MCDUNN, SUSAN J.  
Attorney: SCHINDLER

Activity Date: 04/13/2020

Participant: EBERHARDT, STEPHEN

Electronic Notice Sent

Judge: MCDUNN, SUSAN J.  
Attorney: SCHINDLER

Activity Date: 04/13/2020

Participant: EBERHARDT, STEPHEN

Order of Court Continuance COVID-19 Closure

Judge: MCDUNN, SUSAN J.  
Attorney: SCHINDLER

Activity Date: 04/13/2020

Participant: EBERHARDT, STEPHEN

Order of Court Continuance COVID-19 Closure

Judge: HALL, SOPHIA H  
Attorney: SCHINDLER

Activity Date: 06/02/2020

Participant: EBERHARDT, STEPHEN

Postcard Generated

Judge: HALL, SOPHIA H  
Attorney: SCHINDLER

Activity Date: 06/02/2020

Participant: EBERHARDT, STEPHEN

Postcard Generated

Judge: HALL, SOPHIA H  
Attorney: SCHINDLER

Activity Date: 06/02/2020

Participant: EBERHARDT, STEPHEN

Electronic Notice Sent

Judge: HALL, SOPHIA H  
Attorney: SCHINDLER

Activity Date: 07/22/2020

Participant: EBERHARDT, STEPHEN

Answer To Motion Filed

Attorney: SCHINDLER



Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 08/03/2020

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 08/03/2020

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 08/25/2020

Participant: EBERHARDT, STEPHEN

Answer/Response/Reply

Attorney: SCHINDLER

Activity Date: 08/25/2020

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 09/03/2020

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/14/2020

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/14/2020

Participant: EBERHARDT, STEPHEN

Case Assigned to Remote Video Proceeding - Allowed

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/14/2020

Participant: EBERHARDT, STEPHEN



Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Amended Complaint Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN

Amended Complaint Filed

Attorney: SCHINDLER

Activity Date: 11/04/2020

Participant: EBERHARDT, STEPHEN



Attorney: SCHINDLER

Activity Date: 12/02/2020

Participant: EBERHARDT, STEPHEN

Motion For Extension Of Time (Scr 323E) Filed

Attorney: SCHINDLER

Activity Date: 12/02/2020

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

Activity Date: 12/02/2020

Participant: EBERHARDT, STEPHEN

Restricted Image

Attorney: SCHINDLER

Activity Date: 12/08/2020

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/08/2020

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/08/2020

Participant: EBERHARDT, STEPHEN

Case Assigned to Remote Video Proceeding - Allowed

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/08/2020

Participant: EBERHARDT, STEPHEN

Agreement to Participate in Remote Video Proceedings - Filed

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/09/2020

Participant: EBERHARDT, STEPHEN

Motion Scheduled (Motion Counter Only)

Attorney: SCHINDLER



Activity Date: 12/09/2020

Participant: EBERHARDT, STEPHEN

Dismiss(Set For Motion Hearing)

Attorney: SCHINDLER

Activity Date: 12/09/2020

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

Activity Date: 12/09/2020

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 12/09/2020

Participant: EBERHARDT, STEPHEN

Motion Filed

Attorney: SCHINDLER

Activity Date: 01/05/2021

Participant: EBERHARDT, STEPHEN

Answer/Response/Reply

Attorney: SCHINDLER

Activity Date: 01/05/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 01/19/2021

Participant: EBERHARDT, STEPHEN

Answer/Response/Reply

Attorney: SCHINDLER

Activity Date: 01/19/2021

Participant: EBERHARDT, STEPHEN

Notice Filed

Attorney: SCHINDLER

Activity Date: 02/16/2021

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER



Activity Date: 02/16/2021

Participant: EBERHARDT, STEPHEN

Motion To - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 02/16/2021

Participant: EBERHARDT, STEPHEN

Strike Or Withdraw Complaint, Amended Complaint Or Portion Thereof - Alw -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 02/16/2021

Participant: EBERHARDT, STEPHEN

Amend Complaint Or Petition - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 02/16/2021

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN



VILLAGE OF TINLEY...  
Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Amendment To Complaint Filed

Attorney: SCHINDLER

Activity Date: 03/05/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 03/26/2021

Participant: EBERHARDT, STEPHEN

Notice Filed

Attorney: SCHINDLER

Activity Date: 03/26/2021

Participant: EBERHARDT, STEPHEN

Motion Filed

Attorney: SCHINDLER

Activity Date: 03/31/2021

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 03/31/2021

Participant: EBERHARDT, STEPHEN

Case Set On Status Call

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 04/29/2021

Participant: EBERHARDT, STEPHEN

Dismiss(Set For Motion Hearing)

Attorney: SCHINDLER

Activity Date: 04/29/2021

Participant: EBERHARDT, STEPHEN



Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 05/10/2021

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 05/10/2021

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 05/19/2021

Participant: EBERHARDT, STEPHEN

Answer/Response/Reply

Attorney: SCHINDLER

Activity Date: 05/19/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 06/09/2021

Participant: EBERHARDT, STEPHEN

Continuance - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 06/14/2021

Participant: EBERHARDT, STEPHEN

Exhibits Filed

Attorney: SCHINDLER

Activity Date: 06/14/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 10/08/2021

Participant: EBERHARDT, STEPHEN

File Appearance Or Jury Demand, Answer Or Plead - Allowed -

Judge: HALL, SOPHIA H



Attorney: SCHINDLER

Activity Date: 10/08/2021

Participant: EBERHARDT, STEPHEN

Motion To - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/08/2021

Participant: EBERHARDT, STEPHEN

Case Assigned to Zoom Hearing - Allowed

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 10/08/2021

Participant: EBERHARDT, STEPHEN

Motion To - Denied -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 11/24/2021

Participant: EBERHARDT, STEPHEN

Certificate Of Service Filed

Attorney: SCHINDLER

Activity Date: 11/24/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Of Proof Of Service Filed

Attorney: SCHINDLER

Activity Date: 11/30/2021

Participant: EBERHARDT, STEPHEN

Motion To - Allowed -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 11/30/2021

Participant: EBERHARDT, STEPHEN

Motion To - Denied -

Judge: HALL, SOPHIA H

Attorney: SCHINDLER

Activity Date: 12/02/2021

Participant: EBERHARDT, STEPHEN

Case Assigned to Zoom Hearing - Allowed

Date: 01/12/2022

Attorney: SCHINDLER



Court Time: 0930

Court Room: 2301

Activity Date: 12/10/2021

Participant: EBERHARDT, STEPHEN

Answer/Response/Reply

Attorney: SCHINDLER

Activity Date: 12/10/2021

Participant: EBERHARDT, STEPHEN

Notice Of Filing Filed

Attorney: SCHINDLER

Activity Date: 12/27/2021

Participant: EBERHARDT, STEPHEN

Objections Filed

Attorney: SCHINDLER

Activity Date: 12/28/2021

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

Activity Date: 12/28/2021

Participant: EBERHARDT, STEPHEN

Notice Of Motion Filed

Attorney: SCHINDLER

[Back to Top](#)

Please note: Neither the Circuit Court of Cook County nor the Clerk of the Circuit Court of Cook County warrants the accuracy, completeness, or the currency of this data. This data is not an official record of the Court or the Clerk and may not be represented as an official court record.

If data does not appear in a specific field, we likely do not have the responsive data in our master database.





### AFFIDAVIT OF TRUSTEE DIANE M. GALANTE

COMES NOW your Affiant, DIANE M. GALANTE, pursuant to 735 ILCS 5/1-109, and represents and states as follows:

1. That your Affiant is over the age of eighteen (18) years and has personal knowledge of all matters stated herein.
2. If called upon to do so, I would competently testify to the information as contained herein under oath.
3. That I am a duly elected Trustee in the Village of Tinley Park, having been elected in 2019, and taking office in May of 2019.
4. I also serve as the Chair of the Village Finance Committee.
5. I first spoke to Mr. Eberhardt regarding what I believed to be issues of concern on March 6, 2021. We had not spoken since late 2018 when I joined a slate of candidates to run for Village Trustee that was sponsored and endorsed by Trustee Michael Glotz.
6. On November 5, 2019, Mr. Walsh came to a Village meeting to "discuss some additional strategies he would like to pursue in regards to the Eberhardt cases." Walsh had a binder that was 3" to 4" thick in his possession. Mr. Walsh explained that the information contained therein could be used to file an ARDC complaint against Mr. Eberhardt that would be a "one and done" to accomplish the goal of ending Mr. Eberhardt's FOIA requests as well as FOIA Requests for Review being sent to the Illinois Attorney General Public Access Counselor and the FOIA litigation.
7. Trustee Michael Glotz had previously told me to not respond to FOIA requests. (See attached Affidavit re: Thomas J. Condon, Jr.)
8. In May of 2020, when it was related to me that the Village Board would be asked to



consider the appointment of Mr. Walsh as a Village Attorney, I asked to review the tape recordings of meetings where Mr. Walsh appeared and addressed elected officials regarding Mr. Eberhardt.

9. The procedures established for reviewing the tape recordings resulted in me being denied the opportunity to review the tape recordings.

10. Thereafter, on May 19, 2020, I voted against approving Mr. Walsh's appointment as a Village Attorney.

FURTHER AFFIANT SAYETH NAUGHT:

/s/ Diane M. Galante  
DIANE M. GALANTE

Executed on this 14<sup>th</sup> day of March, 2021

[X] Under penalties as provided by law pursuant to 735 ILCS 5/1-109, I certify that the statements set forth herein are true and correct.



**AFFIDAVIT OF TRUSTEE DIANE M. GALANTE**

COMES NOW your Affiant, DIANE M. GALANTE, pursuant to 735 ILCS 5/1-109, and represents and states as follows:

1. That your Affiant is over the age of eighteen (18) years and has personal knowledge of all matters stated herein.
2. If called upon to do so, I would competently testify to the information as contained herein under oath.
3. That I am a duly elected Trustee in the Village of Tinley Park, having been elected in 2019, and taking office in May of 2019.
4. I also serve as the Chair of the Village Finance Committee.
5. I first spoke to Mr. Eberhardt regarding what I believed to be issues of concern on March 6, 2021. We had not spoken since late 2018 when I joined a slate of candidates to run for Village Trustee that was sponsored and endorsed by Trustee Michael Glotz.
6. Shortly after taking office, the Village Attorneys conducted training for the newly elected officials regarding FOIA, the Open Meetings Act and the Local Records Act.
7. Trustee Michael Glotz advised that I should not respond to FOIA requests made by Mr. Eberhardt.
8. I had multiple conversations with the FOIA Coordinator, Terica Ketchum, who is a licensed Illinois attorney, and was advised by Ms. Ketchum that proper responses were mandated under the Illinois FOIA statute.
9. Subsequent thereto, I was called by Village Attorney Thomas Condon, Jr. and told in



substance not to respond to FOIA requests so there would be "nothing to hold against me."

10. As an elected public official I understand that I have an obligation to make proper response for records pursuant to the mandates of FOIA.

11. On December 3, 2019, the Village Board amended the "rules" for "Public Comment" specifying that only matters "germane" to topics on that "Special" meeting Agenda could be addressed at "Special" meetings. The content of any "Public Comment" was restricted to matters only on the "Special" Agenda.

12. My understanding from conversations with elected and appointed Village officials and Village Attorneys was that the restrictions placed on "Public Comment" were done because Mr. Eberhardt had been speaking at "Public Comment" for a long time and his statements were not in the best interests of the Village.

13. I advised Village Attorney Patrick Connelly that "Special" meetings restricted my right to speak as a public official also. Mr. Connelly did not tell me differently.

14. After December 2019, the majority of Village Board meetings were rescheduled to "Special" Board meetings so as to trigger the use of the restrictive rules.

15. In January 2020, Trustee Michael Glotz asked me if I were asked to call a point of Order against Mr. Eberhardt, would I do so. I responded that it depended on the situation. Trustee Glotz tried to convince me that at times the group would need to support each other. I could not agree to that.

16. Trustee Glotz texted me, "So you'll be coming to our aide to call point of order when fuzzy talks attacks board members like I did for you with Jake?"

17. I refused to raise a "point of order" that was inappropriate or harassing.



18. Trustee Glotz explained that taking such actions against Mr. Eberhardt would be for the benefit of Glotz's group.

19. Mr. Eberhardt spoke during "Public Comment" at the January 7, 2020 Village Board meeting.

20. In purportedly explaining the reasoning behind Trustee Glotz's amendment of the Village "Ethics Ordinance"; as Mr. Eberhardt was leaving the Board room, Trustee Glotz yelled out accusing Mr. Eberhardt of stalking and taking photographs of Glotz's wife.

21. I turned to Trustee Glotz and stated, in essence, "I'm so sorry, I didn't know he did that."

22. Trustee Glotz immediately responded, "I just made that up" and giggled as he made that statement.

23. In June 2020, I sent emails to the Village Manager and other elected officials questioning the need to reschedule the "Regular" meetings to "Special" meetings.

24. On September 15, 2020, elected officials received an email advising that Mr. Eberhardt had submitted a "Public Comment" via email and asked that same be read into the record of the Board meeting.

25. My understanding was that the email should have been read under the provisions of the Illinois Open Meetings Act.

26. When I learned at the Board meeting that the email would not be read I commented because I was concerned that refusing to read the email would result in another lawsuit being filed against the Village.

27. On November 5, 2019, Mr. Walsh came to a Village meeting to "discuss some additional strategies he would like to pursue in regards to the Eberhardt cases." Walsh had a binder that was



3" to 4" thick in his possession. Mr. Walsh explained that the information contained therein could be used to file an ARDC complaint against Mr. Eberhardt that would be a "one and done" to accomplish the goal of ending Mr. Eberhardt's FOIA requests as well as FOIA Requests for Review being sent to the Illinois Attorney General Public Access Counselor and the FOIA litigation.

28. In May of 2020, when it was related to me that the Village Board would be asked to consider the appointment of Mr. Walsh as a Village Attorney, I asked to review the tape recordings of meetings where Mr. Walsh appeared and addressed elected officials regarding Mr. Eberhardt.

29. The procedures established for reviewing the tape recordings resulted in me being denied the opportunity to review the tape recordings.

30. Thereafter, on May 19, 2020, I voted against approving Mr. Walsh's appointment as a Village Attorney.

FURTHER AFFIANT SAYETH NAUGHT:

/s/ Diane M. Galante  
 DIANE M. GALANTE

Executed on this 8<sup>th</sup> day of April, 2021

[X] Under penalties as provided by law pursuant to 735 ILCS 5/1-109, I certify that the statements set forth herein are true and correct.



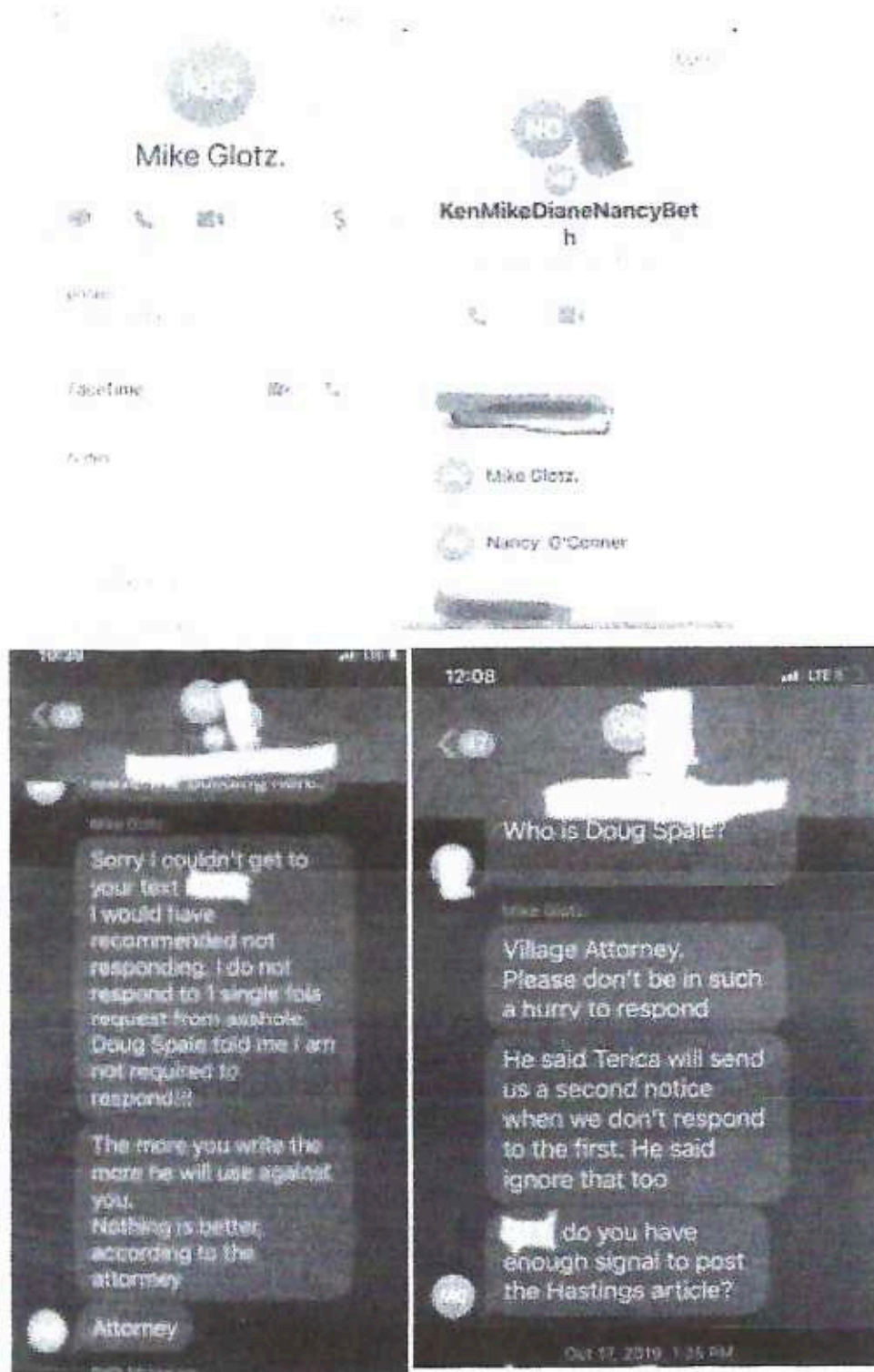
The Ethics complaint states I gave a False statement in my affidavit about Mike Glotz giving direction not to respond to FOIA's

I was a member of a group chat that included Mike Glotz/Nancy O'Connor. Below is the conversation showing one of the examples of being told not to respond. The issue I had was having Terica the FOIA coordinator asking for responses even if we did not have anything. Mike was telling me not to respond if I have nothing. I asked for Clarification from the Attorneys how to handle.

Comments MG









Mr. Walsh,

**In response to the Ethics Complaint on using my private email account-**

I was not forwarding emails to harm the Village. As I review the Exhibit noted, I tried to add comments to explain why I was forwarding.

If I do anything from my personal email, I will CC my Village email, so it will get pulled easily in FOIA requests. I recently asked the FOIA coordinator if I could start sending anything I put on social media in when I do it, so I don't have to spend so much time reviewing afterwards.

I would forward at times to view on my larger screen over my village phone or to Print.

I had also forwarded emails with Village agendas during remote meetings to use dual screens during the meeting.

I sent public info I was interested in, I sent items I'd find and forward to the Village to share to the public. I did speak to the FOIA coordinator about forwarding when this came up before. At the time I was unaware I could open my Village emails from my personal computer, she showed me how to do this, to reduce the need to forward emails.

Some of the emails going to my personal emails mention in the complaint are being sent from groups I'm a member of as a private citizen. These emails are being sent to my private email, but someone is on the email with a village email address so it's getting pulled in. Also, I was a bench artist as a private citizen and the village contact sends the emails to the private email accounts.

**Exhibit I-Includes**

1-An email I sent to the Village Manager to show examples of the Non-Stop negative posts by Mr. Mike Stuckly and Tim Janacek. These two individuals are political spinners/workers from the One Tinley Park Political Organization. I was a member of the group until I started speaking up against actions being taken against others at the time. (attached) Portion of group chat that show Mike Glotz (Trustee at the time) directing them to post items against anyone of opposition.

**Multiple**-Emails from the Village for notification of my direct deposit.

**Email** sent from my private email to the Village to question statements being made and posted on social media by Tim Janacek regarding my son.

(History- In the summer of 2020 my son (19) made the mistake of accepting shots of alcohol (unaware it was Putin). Although he has no recollection of his action. We became aware from the business next door who believed it was my son from the security tape seen breaking the window. The Police reports posted on Facebook by Mr. Stuckly/Janacek stated that he seemed to realize he should not be there and left without attempting to take anything. The store owner original asked for \$1,500 not to prosecute my son. When it changed to almost \$18,000 with questionable claims including lost wages for distressed employees, we hired an attorney. He took full responsibility, my son was charged with a misdemeanor for property damage, went to court, and was given supervision. Mr. Stuckly/Janacek exploited my son, posting non-stop belittling comments for almost 6 months, until I filed a police report out of fear for my son's well-being.) Statements made are false- The attorney had all contact with the store owner on payments, I never stated I would shut him down. The items on the documents with the Attorney did not match what was claimed on the police report.

1-Emails sent from my personal email to Village to show/complain examples of Mayor Glotz commenting with his spinners and making additional false comments. He's claiming I went to a sox game to harass people. Mr. Glotz invited me to go with him to the sox game. He drove me and resident Beth McKernan. I was not an elected official at the time. Mr. Glotz introduced me to Mayor Vandenberg, Steve Eberhart at that game

**Multiple**-Email from my personal email - screenshots responding to a FOIA request -I had commented on social Media posts against claims Mayor Glotz was making against me.

**Multiple**-Emails to/from my personal email -screenshots from Facebook to be used for an Ethics Complaint I file against the actions of Mike Glotz. He was posting to the public that there was now proof that I have been harassing people knowing it was under investigation (now dismissed). (Pat Carr- put in a harassment claim that was under investigation and found to have no merit). Stuckly conveniently pulled the FOIA before the investigation was complete. I was told by HR this was to be kept confidential until complete.

**Email**-Board Agenda(posted to public) to use dual screen during remote meetings.



**ECC 2019 Emails**-I was a member of the ECC and they sent out emails to members of ECC they sent to my personal email address.

**Email-Marketing and Branding commission**-I was a citizen member in 2019. Emails were sent to my personal email address.

**Exhibit J-Includes**

Multiple-Bench Artist emails from Village email

Multiple-Chamber news to share

Girl Scout info to share to social Media to help with their fundraiser

Multiple-Agenda (public) to view during a remote board meeting

1-Forward waver to print

Forward spending reports to view on larger screen (public info)

Forward a FOIA request to view on larger screen

Forward Budget reports to review on large screen

Tax Levy Public Info to review.

BorgWarner Donation emails to my BorgWarner account with PD officer handling it.

Tax rates reports from Prior years to print

Forward scripts to print

**Exhibit B-Includes**

I'm forwarding emails to View, Print Post.

**Exhibit I FOIAs EMails-Includes**

Multiple- Emails sent with Screen shots from social media as requested. Sent from my personal email to Village to supply





**Galante Fails to Disclose over 319 E-Mails and 1,940 Pages She Forwarded to Her Private E-Mail Account Which Cannot Be Tracked by the Village Server. Galante violated ordinances 39.05, 39.08 sharing Confidential information with Eberhardt to sue the Village from emails and Executive Session, 39.09, and 39.11 (Sharing Executive Session information and confidential emails to get out of lawsuits and for other favors. At the Village board meeting on 5/18/21 from 1:17:10 – 1:17:50, Galante talks about settling the cases).**

I'm unclear on this- "I failed to disclose 319 emails" These would have been picked up in a FOIA request.

As Finance Chair I made many requests to bring back Legal Spending Reports (done in the past) that showed the open cases and costs. I wanted to know how much each case was costing the taxpayers and why it was being held up? I stated we should consider settling cases when it became financially irresponsible to continue. I was not trying to help Mr. Eberhardt, I had also asked about the increases in Legal costs in 2020 even though cases were all getting delayed with courts getting shut down for Covid issues. I also requested updates on the Eminent domain we gave direction on in 2019. The other Mr. Walsh had come to the Board in 2019 and said it would be filed in a week. After months I did start questioning why nothing was filed. The Village Manager told me at one time, he was not responding to him, and he was unsure. My complaint was that he told us he had enough documented in a binder he brought to make this stop and it was to be filed the next week. Over a year later it still did not happen.



**Re: Interview**

Patrick Walsh <patrick@pwalsh.com>

Wed 12/22/2021 9:56 AM

To: Diane Galante <dgalante@borgwarner.com>

Bcc: Jennifer Tharp <jennifer@pwalsh.com>; Jennifer Coleman <jenfc Coleman@gmail.com>

Trustee Galante,



On December 16, I agreed to accommodate you by conducting the interview at your office. However, I told you that the interview must be recorded to ensure accuracy. My preference in these matters is to conduct the interview by videotape to make sure nobody could fairly allege any impropriety in the interview process. I advised you that you were free to record the interview yourself independently and you could have an attorney attend the interview with you.

An interview may be subject to disclosure pursuant to a subpoena or Freedom of Information Act request. Because of that, I cannot grant your request or conditions precedent.

For your information, I did receive notification from the Village Attorney, Mr. O'Grady, raising your complaints about the interview taking place today citing detriment to your work and complaining about social media activity.

It is not appropriate for me to rush an interview due to your work schedule. You offered this date at your workplace because you said you had time to do the interview. I know you went out of town for the weekend but you confirmed this date. It seems, under the circumstances and last-minute interview negotiations that you do not want to participate in the interview. You are not mandated to participate in an interview to answer questions about the complaint.

For your information and understanding, I can confirm that I did receive all of your prior email responses to the matters raised by the complaint.

Your explanations, in my view, did not adequately answer concerns about issues raised by the affidavits. Explanations are necessary to explain the affidavits you provided to Mr. Eberhardt on the following dates:

March 10, 2021;

March 14, 2021;

April 8, 2021; and

April 8, 2021 affidavit filed on April 20, 2021 in 20-cv-1171 Eberhardt v. Village of Tinley Park, et al. in the United States District Court for the Northern District of Illinois.

Shortly before you provided the series of affidavits to Mr. Eberhardt, you were a named Defendant in a matter pending in the Circuit Court of Cook County, Chancery Division under Case Number 2020-CH-3982. Mr. Eberhardt apparently dismissed you as a defendant shortly before you provided those affidavits.

The timing and circumstances raise serious questions. I wanted you to have a chance to specifically address all circumstances concerning what consideration you were given or provided in exchange for the dismissal of the case against you. How were the affidavits prepared and what role, if any, did Mr. Eberhardt have in the creation, editing, or approval of the affidavits? Who wrote them? Why were they provided? Why did you wait so long to document old issues? Where are the original affidavits? Why did you prepare three separate affidavits when all of the issues predated the first affidavit? Who represented you, if anyone, in the first lawsuit. Was Mr. Eberhardt ever acting as your lawyer or informally advising you? Did you



notify the Village of Tinley Park attorneys that you were providing affidavits? What did you do to ensure that you were not providing confidential attorney-client information that you obtained as a Tinley Park Trustee to Mr. Eberhardt? Did you ask for an opinion from the Tinley Park attorneys to make sure you were not violating the ethics ordinance before you provided the affidavits? What was your understanding of the lawsuit claims against you?

Do you have any emails, correspondence, texts or other communications between yourself and Mr. Eberhardt concerning the Cook County or Federal Court Lawsuit? If so, what were they? I would like an explanation why you forwarded the email from your Tinley Park email address to your personal address on 4/7/21, the day before you signed the last affidavit? Who is 'Fuzzy' mentioned in the affidavit dated 4/8/21. The accusations against Mr. Glotz in your affidavit are serious. Did you ever notify the Village Manager, Village Attorneys, or any other officials in writing about it?

Who initiated the contact with Mr. Eberhardt to obtain the dismissal and provide the affidavits in the cases filed against the Village of Tinley Park?

Since an interview will not take place with the conditions you requested, I will give you the opportunity to truthfully and completely answer the questions raised above.

Patrick W. Walsh  
Attorney at Law  
33 S. Garfield Street  
Hinsdale, IL 60521  
patrick@pwalsh.com  
(630) 794-0300

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Licensed in Illinois, Texas, and California

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**From:** Diane Galante <dgalante@borgwarner.com>  
**Sent:** Tuesday, December 21, 2021 5:22 PM  
**To:** Patrick Walsh <patrick@pwalsh.com>  
**Cc:** Jennifer Tharp <jennifer@pwalsh.com>  
**Subject:** RE: Interview

Mr. Walsh,  
Please confirm you have received and reviewed my written response to the ethic complaint. I took significant time to review each of the attachments and put the response together addressing each of the items in the complaint in writing.

You stated, If I was unable to meet on the 20<sup>th</sup> or 22<sup>nd</sup>. I would lose an option for an interview. I was traveling on the 20<sup>th</sup> so I had little choice to agree to the 22<sup>nd</sup>. This is the last employee working day in the plant, before the shutdown. It's probably the worst day possible.

I'm not agreeing to the audio tape if you will be providing that to anyone in the village. Until an investigation is completed on the leaking of my info, I'm not open for more harassment.

If you will keep it for your protection only, as you stated, so I don't change my answers, I will allow. I will be fine with providing written responses to your questions, this would also protect your concern that I will change my response.



Diane

**From:** Patrick Walsh <patrick@pwalsh.com>  
**Sent:** Tuesday, December 21, 2021 4:16 PM  
**To:** Galante, Diane (Frankfort) <dgalante@borgwarner.com>; Diane Galante  
**Cc:** Jennifer Tharp <jennifer@pwalsh.com>  
**Subject:** Interview

Trustee Galante,

Just to confirm, the interview will take place at your office tomorrow?

Patrick Walsh



## Response to Questions

Diane Galante [REDACTED]

Mon 12/27/2021 8:33 PM

To: Patrick Walsh <patrick@pwalsh.com>



December 26<sup>th</sup>, 2021

*Written Response -Ethic Complaint-Filed August 2<sup>nd</sup>-Timothy Janecyk-Patrick Walsh assigned]*

*I believe my full testimony, although the truth, would not look favorable on the Village. I will do my best to give you my explanations, without bringing further negative outcome on the Village, understanding this will be public information.*

*The steps I took did not result from one action that occurred, It was the accumulation of the continuous actions that came in front of me, that forced my steps.*

*My background in financial analysis makes me question items on a regular basis. My expectation is to gain a reasonable explanation that allows me to move on. Any concerns triggered will cause the need to review in more detail, to evaluate, and take necessary step to eliminate any risk to the Village.*

*I had increasing concerns that actions were taking place to the detriment of the taxpayers and believed they needed to be reviewed further.*

*I requested reporting to evaluate if we were being fiscally irresponsible after seeing ongoing delays in cases/increased spending and being told about the previous Boards direction to not settle with Mr. Eberhart at any cost.*

*Our Legal spending costs are significant in the Village. Unfortunately, they never produced the requesting reporting regardless of my ongoing requests.*

*I was also having ongoing open discussions in the village on clarification responding to FOIA's. I was being told two different things on how to respond. Mr. Glotz seemed to have info on my responses, he would make me aware my response could be used against me in the future, and It was better to not respond. The FOIA officer at the time was pressuring me for a response either way. I was questioning if the delay in responding was increasing costs of FOIA's*

*I have reported my concerns appropriately to the Village Manager on a regular basis. If it was under his control, he would take what steps he could. When the issue was with Trustee Glotz, a fellow board member he instructed me to speak to the Mayor directly.*

*I went to the Village Manager and Village Attorney and reported what took place during the open meeting as well as during executive sessions. I made them aware I felt it was for harassment that Mr. Glotz was making comments to me on negative items being posted on social media by Mr. Stucky, when I had the floor speaking during executive session.*



*I reported to HR issues I was having with the Asst. Village Manager not providing information to me. I reported his act of sending me his resume instead of responding to my budget cut question, as well as the incorrect information he was providing me. My request was for the Village Manager to set up a meeting to work out our issues. Instead, the Asst Village Manager filed a harassment claim against me which Mr. Stucky and Mr. Janacek posted nonstop. They posted I was harassing employees, until the confidential investigation was completed and found his claim baseless.*

*I requested the Village Attorney take my written statement, to document I took appropriate steps to speak against the actions that took place. I had concerns without proof, my lack of action, would be used against me in the future. I had gained information from Trustee Glotz during my run for election with OTP-Political Party that gave me significant concern with PJM. He had planned on removing them if we won the election.*

*I began questioning information being leaked from my Village emails being purposeful for harassment of myself and my family. I believed it was a means of intimidating me to stop asking the questions at the time. I began forwarding examples of the posts to The Village Manager, Village Attorney, and HR.*

*I took every step I was aware of prior to requesting a meeting with the Mayor to discuss my concerns and determine what my options were.*

*I made the request for an independent attorney, but it was not supported by the board. I believed the Village Attorney had a responsibility to me as a Trustee, but they would not document my statements.*

*I believe the Board should be concerned with how information is being leaked from the Village and used for harassment purposes. Especially seeing it happening during this Ethic complaint review.*

#### *Question-From Pat Walsh*

*Your explanations, in my view, did not adequately answer concerns about issues raised by the affidavits. Explanations are necessary to explain the affidavits you provided to Mr. Eberhardt on the following dates:*

*March 10, 2021;*

*March 14, 2021;*

*April 8, 2021; and*

*April 8, 2021 affidavit filed on April 20, 2021 in 20-cv-1171 Eberhardt v. Village of Tinley Park, et al. in the United States District Court for the Northern District of Illinois.*

#### *Response-Diane Galante*

*I believed it was my ethical duty to give my truthful statements. I wanted to provide my statements to the Village Attorney but they refused.*

*I would have no knowledge of decisions Mr. Eberhart made.*

#### *Question-From Pat Walsh*



Shortly before you provided the series of affidavits to Mr. Eberhardt, you were a named Defendant in a matter pending in the Circuit Court of Cook County, Chancery Division under Case Number 2020-CH-3982. Mr. Eberhardt apparently dismissed you as a defendant shortly before you provided those affidavits. The timing and circumstances raise serious questions. I wanted you to have a chance to specifically address all circumstances concerning what consideration you were given or provided in exchange for the dismissal of the case against you

*Response-Diane Galante*

*I believe I was named in the case because I was the successor to the Trustee who had the seat prior.*

*I would have no knowledge of decisions Mr. Eberhart made on using my statements or removing individuals from his case, that was not discussed.*

*Question-From Pat Walsh*

*How were the affidavits prepared and what role, if any, did Mr. Eberhardt have in the creation, editing, or approval of the affidavits? Who wrote them? Why were they provided?*

*Response-Diane Galante*

*The affidavits were my statements as written. I did not request approval or need someone to create, edit, or approve on my behalf. I wanted what I knew to be the truth documented.*

*Question-From Pat Walsh*

*Why did you wait so long to document old issues?*

*Response-Diane Galante*

*I'm not sure of the exact timeline you are referring to. These were items that had been reported as they were happening. Covid may have caused a delay as everyone was forced home in early 2020.*

*Question-From Pat Walsh*

*Rest of questions regarding affidavits.*

*Response-Diane Galante*

*Regarding your other questions about affidavits, as I have stated, my affidavits contain my truth, all of which I made complaints about to Village officials and Village attorneys but went ignored.*

*As these issues are now the subject of pending litigation, I believe it best to make no comment particularly as I do not believe the questions are even relevant to the accusations made by Mr. Janecyk in his Complaints that are pure speculation. I already sent evidence of this in the screen shots showing Mr. Glotz sharing that village attorney were advising officials to not respond to FOIA requests.*







**United States District Court**  
**Northern District of Illinois - CM/ECF LIVE, Ver 6.3.3 (Chicago)**  
**CIVIL DOCKET FOR CASE #: 1:20-cv-01171**



Eberhardt v. Village of Tinley Park et al  
Assigned to: Honorable Charles R. Norgle, Sr  
Cause: 28:1331 Federal Question

Date Filed: 02/18/2020  
Date Terminated: 09/02/2021  
Jury Demand: Both  
Nature of Suit: 950 Constitutional - State  
Statute  
Jurisdiction: Federal Question

**Plaintiff**

**Stephen E Eberhardt**  
16710 Oak Park Avenue  
Tinley Park, IL 60477  
[REDACTED]

represented by **Stephen E. Eberhardt**  
Law Offices of Stephen E. Eberhardt  
P.O. Box 548  
Tinley Park, IL 60477  
[REDACTED]  
Email: s-eberhardt@sbcglobal.net  
**ATTORNEY TO BE NOTICED**

V.

**Defendant**

**Village of Tinley Park**  
*a Municipal Corporation, Cook and Will  
Counties, IL*

represented by **Joselyn Rose Mathews**  
Peterson Johnson & Murray Chicago  
200 W Adams St.  
Suite 2125  
Chicago, IL 60606  
[REDACTED]  
Email: jmathews@pjmchicago.com  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
Peterson, Johnson & Murray Chicago LLC  
200 W. Adams  
Suite 2125  
Chicago, Il 60606  
[REDACTED]  
Email: tcondon@pjmchicago.com  
**ATTORNEY TO BE NOTICED**

**Defendant**

**Jacob C Vandenberg**  
**TERMINATED: 02/22/2021**

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**



**Defendant**

**Kristen A Thirion**  
*Village Clerk*

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Defendant**

**Michael W Glotz**  
*Trustee/Mayor Pro-Tem*

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Defendant**

**David J Niemeyer**  
*Village Manager*

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Defendant**

**Patrick Carr**  
*TERMINATED: 02/22/2021*

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Defendant**

**Terica Ketchum**  
*TERMINATED: 02/22/2021*

represented by **Joselyn Rose Mathews**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Thomas Joseph Condon , Jr**  
(See above for address)  
**ATTORNEY TO BE NOTICED**

**Defendant**

**Beth McKernan**  
*Commissioner, "Marketing and Branding  
Commission"*

represented by **Beth McKernan**

**PRO SE**

**Joselyn Rose Mathews**  
(See above for address)



TERMINATED: 06/10/2021

**Thomas Joseph Condon , Jr**  
(See above for address)  
TERMINATED: 06/10/2021

**Defendant**

**Kenneth Shaw**  
*former Chairman, "Plan Commission"*

represented by **Joselyn Rose Mathews**  
(See above for address)  
ATTORNEY TO BE NOTICED

**Thomas Joseph Condon , Jr**  
(See above for address)  
ATTORNEY TO BE NOTICED

**Defendant**

**Nancy O'Connor**  
*Chairman, "One Tinley Park" Political Party  
Committee and "Citizens for One Tinley  
Park" Political Action Committee*

represented by **Joselyn Rose Mathews**  
(See above for address)  
ATTORNEY TO BE NOTICED

**Thomas Joseph Condon , Jr**  
(See above for address)  
ATTORNEY TO BE NOTICED

**Defendant**

**Patrick J Walsh**  
*doing business as*  
The Walsh Law Group, P.C.

represented by **Patrick Michael Griffin**  
Griffin Williams LLP  
21 N. 4th Street  
Geneva, IL 60134  
630 524-2566  
Email: pgriffin@gwillplaw.com  
LEAD ATTORNEY  
ATTORNEY TO BE NOTICED

**Defendant**

**William P Brady**  
*Trustee*

**Defendant**

**Paul O'Grady**  
*Village Attorney*

**Defendant**

**Patrick Connelly**  
*Village Attorney*

Date Filed	#	Docket Text
02/18/2020	<u>1</u>	COMPLAINT filed by Stephen E Eberhardt; Jury Demand. Filing fee \$ 400, receipt number 0752-16735142.(Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>2</u>	Exhibits 1, 2 & 3 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)



02/18/2020	<u>3</u>	Exhibit 4 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>4</u>	Exhibit 5 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>5</u>	Exhibit 6 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>6</u>	Exhibits 7, 8 & 9 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>7</u>	Exhibits 10, 11 & 12 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>8</u>	Exhibits 13, 14, 15, 16, 17 & 18 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>9</u>	Exhibits 19, 20, 21, 22 & 23 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>10</u>	Exhibits 24, 25 & 26 to the Complaint by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>11</u>	CIVIL Cover Sheet (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>12</u>	REQUEST for Waiver of Service sent to Village of Tinley Park on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>13</u>	REQUEST for Waiver of Service sent to Mayor Jacob C. Vandenberg on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>14</u>	REQUEST for Waiver of Service sent to Clerk Kristen Thirion on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>15</u>	REQUEST for Waiver of Service sent to Trustee Michael Glotz on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>16</u>	REQUEST for Waiver of Service sent to Village Manager David Niemeyer on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>17</u>	REQUEST for Waiver of Service sent to Asst. Village Mgr Patrick Carr on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>18</u>	REQUEST for Waiver of Service sent to Terica Ketchum, FOIA & Compliance Coordinator on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>19</u>	REQUEST for Waiver of Service sent to Commissioner Beth McKernan on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>20</u>	REQUEST for Waiver of Service sent to Kenneth Shaw on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)



		02/18/2020)
02/18/2020	<u>21</u>	REQUEST for Waiver of Service sent to Nancy O'Connor on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>22</u>	REQUEST for Waiver of Service sent to Patrick J. Walsh on February 21, 2020 by Plaintiff Stephen E Eberhardt. Waiver of service due by 4/21/2020. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>23</u>	ATTORNEY Appearance for Plaintiff Stephen E Eberhardt by Stephen E. Eberhardt (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020		CASE ASSIGNED to the Honorable Charles R. Norgle, Sr. Designated as Magistrate Judge the Honorable Jeffrey Cole. Case assignment: Random assignment. (rc, ) (Entered: 02/18/2020)
02/18/2020	<u>24</u>	MOTION by Plaintiff Stephen E EberhardtEmergency Motion to Preclude Destruction of Certain Public Records (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>25</u>	MOTION by Plaintiff Stephen E Eberhardt Exhibits to Emergency Motion (Eberhardt, Stephen) (Entered: 02/18/2020)
02/18/2020	<u>26</u>	<i>Emergency</i> NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for miscellaneous relief <u>24</u> , motion for miscellaneous relief <u>25</u> before Honorable Charles R. Norgle Sr. on 2/20/2020 at 10:00 AM. (Eberhardt, Stephen) (Entered: 02/18/2020)
02/19/2020	<u>27</u>	ATTORNEY Appearance for Defendant Village of Tinley Park by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 02/19/2020)
02/19/2020	<u>28</u>	AFFIDAVIT of Terica Ketchum (Condon, Thomas) (Entered: 02/19/2020)
02/20/2020	<u>29</u>	MINUTE entry before the Honorable Charles R. Norgle: Motion hearing held on 2/20/2020. Enter Agreed Order. Motions <u>24</u> , <u>25</u> terminated. Mailed notice (ewf, ) (Entered: 02/21/2020)
02/20/2020	<u>30</u>	AGREED ORDER Signed by the Honorable Charles R. Norgle, Sr on 2/20/2020. Mailed notice(gcy, ) (Entered: 02/24/2020)
02/28/2020	<u>31</u>	MOTION by Plaintiff Stephen E Eberhardt for preliminary injunction (Eberhardt, Stephen) (Entered: 02/28/2020)
02/28/2020	<u>32</u>	MEMORANDUM <i>in Support of Motion for Preliminary Injunction</i> (Attachments: # <u>1</u> Exhibit Exhibits A to G, # <u>2</u> Exhibit Exhibits H to L)(Eberhardt, Stephen) (Entered: 02/28/2020)
02/28/2020	<u>33</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for preliminary injunction <u>31</u> before Honorable Charles R. Norgle Sr. on 3/20/2020 at 09:30 AM. (Eberhardt, Stephen) (Entered: 02/28/2020)
02/28/2020	<u>34</u>	MEMORANDUM by Stephen E Eberhardt in support of motion for preliminary injunction <u>31</u> <i>Corrected</i> (Attachments: # <u>1</u> Exhibit Exhibits A to G, # <u>2</u> Exhibit xhibits H to L)(Eberhardt, Stephen) (Entered: 02/28/2020)
03/02/2020	<u>35</u>	ATTORNEY Appearance for Defendants Michael W Glotz, Kristen A Thirion by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 03/02/2020)
03/02/2020	<u>36</u>	WAIVER OF SERVICE returned executed by Michael W Glotz. Michael W Glotz waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/02/2020)
03/02/2020	<u>37</u>	WAIVER OF SERVICE returned executed by Kristen A Thirion. Kristen A Thirion



		waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/02/2020)
03/02/2020	<u>38</u>	ATTORNEY Appearance for Defendant Jacob C Vandenberg by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 03/02/2020)
03/02/2020	<u>39</u>	WAIVER OF SERVICE returned executed by Jacob C Vandenberg. Jacob C Vandenberg waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/02/2020)
03/03/2020	<u>40</u>	WAIVER OF SERVICE returned executed by Patrick Carr. Patrick Carr waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/03/2020)
03/03/2020	<u>41</u>	WAIVER OF SERVICE returned executed by Terica Ketchum. Terica Ketchum waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/03/2020)
03/03/2020	<u>42</u>	WAIVER OF SERVICE returned executed by David J Niemeyer. David J Niemeyer waiver sent on 2/18/2020, answer due 4/20/2020. (Condon, Thomas) (Entered: 03/03/2020)
03/03/2020	<u>43</u>	ATTORNEY Appearance for Defendants Patrick Carr, Terica Ketchum, David J Niemeyer by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 03/03/2020)
03/16/2020	<u>44</u>	ORDER Amended General Order 20-0012 IN RE: CORONAVIRUS COVID-19 PUBLIC EMERGENCY Signed by the Chief Judge Rebecca R. Pallmeyer on March 16, 2020. All open cases are impacted by this Amended General Order. See attached Order for guidance.Signed by the Honorable Rebecca R. Pallmeyer on 3/16/2020: Mailed notice. (ecw, ) (Entered: 03/18/2020)
03/30/2020	<u>45</u>	ORDER Seconded Amended General Order 20-0012 IN RE: CORONAVIRUS COVID-19 PUBLIC EMERGENCY Signed by the Chief Judge Rebecca R. Pallmeyer on March 30, 2020. All open cases are impacted by this Second Amended General Order. Amended General Order 20-0012, entered on March 17, 2020, and General Order 20-0014, entered on March 20, 2020, are vacated and superseded by this Second Amended General. See attached Order for guidance.Signed by the Honorable Rebecca R. Pallmeyer on 3/30/2020: Mailed notice. (docket3, ) (Entered: 03/31/2020)
04/16/2020	<u>46</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Patrick J Walsh waiver sent on 4/3/2020, answer due 6/2/2020. (Eberhardt, Stephen) (Entered: 04/16/2020)
04/16/2020	<u>47</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Beth McKernan waiver sent on 4/16/2020, answer due 6/15/2020. (Eberhardt, Stephen) (Entered: 04/16/2020)
04/16/2020	<u>48</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Kenneth Shaw waiver sent on 4/16/2020, answer due 6/15/2020. (Eberhardt, Stephen) (Entered: 04/16/2020)
04/17/2020	<u>49</u>	ATTORNEY Appearance for Defendants Beth McKernan, Kenneth Shaw by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 04/17/2020)
04/24/2020	<u>50</u>	ORDER Third Amended General Order 20-0012 IN RE: CORONAVIRUS COVID-19 PUBLIC EMERGENCY Signed by the Chief Judge Rebecca R. Pallmeyer on April 24, 2020. All open cases are impacted by this Third Amended General Order. Parties are must carefully review all obligations under this Order, including the requirement listed in paragraph number 5 to file a joint written status report in most civil cases. See attached Order. Signed by the Honorable Rebecca R. Pallmeyer on 4/24/2020: Mailed notice. (docket8, ) (Entered: 04/27/2020)



05/18/2020	<u>51</u>	ATTORNEY Appearance for Defendant Nancy O'Connor by Thomas Joseph Condon, Jr (Condon, Thomas) (Entered: 05/18/2020)
05/18/2020	<u>52</u>	STATUS Report <i>JOINT</i> by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park (Condon, Thomas) (Entered: 05/18/2020)
05/18/2020	<u>53</u>	NOTICE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park re status report <u>52</u> (Condon, Thomas) (Entered: 05/18/2020)
05/26/2020	<u>54</u>	ORDER ORDER Fourth Amended General Order 20-0012 IN RE: CORONAVIRUS COVID-19 PUBLIC EMERGENCY Signed by the Chief Judge Rebecca R. Pallmeyer on May 26, 2020. This Order does not extend or modify any deadlines set in civil cases. For non-emergency motions, no motion may be noticed for presentment on a date earlier than July 15, 2020. See attached Order. Signed by the Honorable Rebecca R. Pallmeyer on 5/26/2020: Mailed notice. (docket9, ) (Entered: 05/26/2020)
05/29/2020	<u>55</u>	RESPONSE by Defendant Village of Tinley Park to motion for preliminary injunction <u>31</u> (Condon, Thomas) (Entered: 05/29/2020)
05/29/2020	<u>56</u>	NOTICE by Village of Tinley Park re Response <u>55</u> (Condon, Thomas) (Entered: 05/29/2020)
06/05/2020	<u>57</u>	REPLY by Stephen E Eberhardt to Response <u>55</u> to <i>Plaintiff's Request for Preliminary Injunction</i> (Attachments: # <u>1</u> Exhibit Exhibit A to Reply, # <u>2</u> Exhibit Exhibits B-E to Reply)(Eberhardt, Stephen) (Entered: 06/05/2020)
06/06/2020	<u>58</u>	MOTION by Plaintiff Stephen E EberhardtSet Telephone Conference to Set Hearing Date via Remote Means (Eberhardt, Stephen) (Entered: 06/06/2020)
06/06/2020	<u>59</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of (Eberhardt, Stephen) (Entered: 06/06/2020)
06/11/2020	<u>60</u>	MOTION by Plaintiff Stephen E Eberhardt to dismiss <i>Count XVII of the Complaint</i> . (Eberhardt, Stephen) (Entered: 06/11/2020)
06/11/2020	<u>61</u>	NOTICE by Stephen E Eberhardt re MOTION by Plaintiff Stephen E Eberhardt to dismiss <i>Count XVII of the Complaint</i> . <u>60</u> (Eberhardt, Stephen) (Entered: 06/11/2020)
06/15/2020	<u>62</u>	MOTION by Plaintiff Stephen E Eberhardt to consolidate cases (Attachments: # <u>1</u> Exhibit Exh. A - Complaint in 20-cv-03269)(Eberhardt, Stephen) (Entered: 06/15/2020)
06/15/2020	<u>63</u>	NOTICE by Stephen E Eberhardt re MOTION by Plaintiff Stephen E Eberhardt to consolidate cases <u>62</u> (Eberhardt, Stephen) (Entered: 06/15/2020)
07/10/2020	<u>64</u>	ORDER Fifth Amended General Order 20-0012 IN RE: CORONAVIRUS COVID-19 PUBLIC EMERGENCY Signed by the Chief Judge Rebecca R. Pallmeyer on July 10, 2020. This Order does not extend or modify any deadlines set in civil cases. No motions may be noticed for in-person presentment; the presiding judge will notify parties of the need, if any, for a hearing by electronic means or in-court proceeding. See attached Order. Signed by the Honorable Rebecca R. Pallmeyer on 7/10/2020: Mailed notice. (Clerk8, Docket) (Entered: 07/10/2020)
07/23/2020	<u>65</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Stephen E Eberhardt waiver sent on 5/18/2020, answer due 7/17/2020. (Eberhardt, Stephen) (Entered: 07/23/2020)
07/24/2020	<u>66</u>	CORRECTED WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Nancy O'Connor waiver sent on 2/18/2020, answer due 4/20/2020. (Eberhardt, Stephen)



		(Docket Text Modified by Clerk's Office on 7/24/2020) (pj, ). (Entered: 07/24/2020)
07/24/2020	<u>67</u>	MOTION by Plaintiff Stephen E Eberhardt for default judgment as to <i>all Defendants</i> . (Eberhardt, Stephen) (Entered: 07/24/2020)
07/24/2020	<u>68</u>	AFFIDAVIT of Stephen E. Eberhardt <i>in Support of Motion for Default Judgment</i> . (Eberhardt, Stephen) (Entered: 07/24/2020)
07/24/2020	<u>69</u>	NOTICE by Stephen E Eberhardt <i>of Filing Motion for Default Judgment</i> . (Eberhardt, Stephen) (Entered: 07/24/2020)
08/31/2020	<u>70</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for default judgment <u>67</u> , motion for preliminary injunction <u>31</u> , motion to dismiss <u>60</u> , motion to consolidate cases <u>62</u> before Honorable Charles R. Norgle Sr. on 9/18/2020 at 09:30 AM. (Eberhardt, Stephen) (Entered: 08/31/2020)
09/10/2020	<u>71</u>	Appearance - Patrick M. Griffin by Patrick J Walsh <i>and Walsh Law Group</i> (Griffin, Patrick) (Entered: 09/10/2020)
09/10/2020	<u>72</u>	MOTION by Defendant Patrick J Walsh to dismiss (Attachments: # <u>1</u> Exhibit A through E)(Griffin, Patrick) (Entered: 09/10/2020)
09/15/2020	<u>73</u>	MINUTE entry before the Honorable Charles R. Norgle: Notice of motion hearings set for September 18, 2020 are stricken. No appearance is required. The Court will issue an order. Mailed notice (ewf, ) (Entered: 09/15/2020)
09/15/2020	<u>74</u>	ORDER: Pending before the Court are Plaintiff's motion for preliminary injunction <u>31</u> , motion to set a telephonic hearing <u>58</u> , motion to dismiss Count xVII of the Complaint <u>60</u> , motion to consolidate cases <u>62</u> , and Defendant's motion to dismiss two counts <u>72</u> . Because Plaintiff's motion for preliminary injunction seeks to incorporate by reference Plaintiff's complaint, which Plaintiff has now moved to alter through the motion to dismiss Count XVII and potentially the motion to consolidate, the Court Strikes, without prejudice, Plaintiff's motion for preliminary injunction <u>31</u> . Noteworthy is that a motion for a temporary restraining order was denied by Judge Feinerman in 20-cv-3269, which is the subject of potential consolidation. In light of these developments, Plaintiff is reminded that any potential amended complaint in this matter must comply with Fed.R.Civ.P.10(b). Additionally, it is not clear what an amended complaint might allege in the event the motion to consolidate and the motion for default are granted. Signed by the Honorable Charles R. Norgle, Sr on 9/15/2020. Mailed notice(gcy, ) (Entered: 09/16/2020)
09/16/2020	<u>75</u>	MOTION by Defendants David J Niemeyer, Nancy O'Connor, Jacob C Vandenberg, Patrick Carr, Beth McKernan, Village of Tinley Park, Terica Ketchum, Kristen A Thirion, Kenneth Shaw, Michael W Glotz to dismiss <i>Plaintiffs Complaint</i> (Condon, Thomas) (Entered: 09/16/2020)
09/16/2020	<u>76</u>	NOTICE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park re MOTION by Defendants David J Niemeyer, Nancy O'Connor, Jacob C Vandenberg, Patrick Carr, Beth McKernan, Village of Tinley Park, Terica Ketchum, Kristen A Thirion, Kenneth Shaw, Michael W Glotz to dismiss <i>Plaintiffs Complaint</i> <u>75</u> (Condon, Thomas) (Entered: 09/16/2020)
10/13/2020	<u>77</u>	AGREED ORDER Signed by the Honorable Charles R. Norgle, Sr on 10/13/2020. Mailed notice(gcy, ) (Entered: 10/13/2020)
10/20/2020	<u>78</u>	MOTION by Plaintiff Stephen E Eberhardt for leave to file <i>First Amended Complaint</i> . (Eberhardt, Stephen) (Entered: 10/20/2020)
10/20/2020	<u>79</u>	Exhibit A to Motion for Leave to File First Amended Complaint by Stephen E Eberhardt



		(Eberhardt, Stephen) (Entered: 10/20/2020)
10/20/2020	<u>80</u>	Exhibits to Exhibit A to Motion for Leave to File First Amended Complaint. by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 10/20/2020)
10/20/2020	<u>81</u>	NOTICE by Stephen E Eberhardt of <i>Filing Motion for Leave to File First Amended Complaint</i> . (Eberhardt, Stephen) (Entered: 10/20/2020)
10/22/2020	<u>82</u>	MINUTE entry before the Honorable Charles R. Norgle: Defendants' response to Plaintiff's Motion for Leave to File First Amended Complaint <u>78</u> is due on or before 11/6/2020. Plaintiff's reply is due on or before 11/20/2020. Mailed notice (ewf, ) (Entered: 10/22/2020)
11/04/2020	<u>83</u>	RESPONSE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park to MOTION by Plaintiff Stephen E Eberhardt Set Telephone Conference to Set Hearing Date via Remote Means <u>58</u> , MOTION by Plaintiff Stephen E Eberhardt to dismiss <i>Count XVII of the Complaint</i> . <u>60</u> , MOTION by Plaintiff Stephen E Eberhardt to consolidate cases <u>62</u> (Condon, Thomas) (Entered: 11/04/2020)
11/06/2020	<u>84</u>	RESPONSE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park to MOTION by Plaintiff Stephen E Eberhardt for leave to file <i>First Amended Complaint</i> . <u>78</u> (Condon, Thomas) (Entered: 11/06/2020)
11/06/2020	<u>85</u>	NOTICE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park re response to motion, <u>84</u> for leave to file <i>Amended Complaint</i> (Condon, Thomas) (Entered: 11/06/2020)
11/09/2020	<u>86</u>	REPLY by Stephen E Eberhardt to response to motion, <u>84</u> (Attachments: # <u>1</u> Notice of Filing Notice of Filing)(Eberhardt, Stephen) (Entered: 11/09/2020)
11/12/2020	<u>87</u>	MOTION by Plaintiff Stephen E Eberhardt for preliminary injunction (Attachments: # <u>1</u> Notice of Filing Notice of Filing)(Eberhardt, Stephen) (Entered: 11/12/2020)
11/12/2020	<u>88</u>	MEMORANDUM by Stephen E Eberhardt in support of motion for preliminary injunction <u>87</u> (Attachments: # <u>1</u> Exhibit Exhibits A-J, # <u>2</u> Exhibit Exhibits K-U, # <u>3</u> Exhibit Exhibits V-DD)(Eberhardt, Stephen) (Entered: 11/12/2020)
11/16/2020	<u>89</u>	MOTION by Plaintiff Stephen E Eberhardt to expedite briefing and ruling on "Plaintiff's Renewed Motion for Preliminary Injunction" (Attachments: # <u>1</u> Exhibit Exhibits A & B to Motion, # <u>2</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 11/16/2020)
11/30/2020	<u>90</u>	MOTION by Plaintiff Stephen E Eberhardt for leave to file <i>Corrected First Amended Complaint</i> . (Attachments: # <u>1</u> Exhibit Corrected First Amended Complaint, # <u>2</u> Exhibit Exhibits to Corrected First Amended Complaint)(Eberhardt, Stephen) (Entered: 11/30/2020)
11/30/2020	<u>91</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for leave to file <u>90</u> before Honorable Charles R. Norgle Sr. on 12/4/2020 at 09:30 AM. (Eberhardt, Stephen) (Entered: 11/30/2020)
11/30/2020	<u>92</u>	MINUTE entry before the Honorable Charles R. Norgle: Defendants' response to Plaintiff's motion for leave to file corrected first amended complaint <u>90</u> is due on or before 12/28/2020. Plaintiff's reply is due on or before 1/11/2021. No appearance is required on Friday, December 4, 2020. Mailed notice (ewf, ) (Entered: 11/30/2020)
12/01/2020	<u>93</u>	ATTORNEY Appearance for Defendants Patrick Carr, Michael W Glotz, Terica



		Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park by Joselyn Rose Mathews (Mathews, Joselyn) (Entered: 12/01/2020)
12/01/2020	<u>94</u>	MOTION by Defendants Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park for protective order <i>and Sanctions</i> (Attachments: # <u>1</u> Exhibit A)(Mathews, Joselyn) (Entered: 12/01/2020)
12/01/2020	<u>95</u>	NOTICE of Motion by Joselyn Rose Mathews for presentment of motion for protective order, <u>94</u> before Honorable Charles R. Norgle Sr. on 12/4/2020 at 09:30 AM. (Mathews, Joselyn) (Entered: 12/01/2020)
12/02/2020	<u>96</u>	MINUTE entry before the Honorable Charles R. Norgle: The notice of motion hearing set for Friday, December 4, 2020 is stricken. See Eighth Amended General Order 20-0012 November 12, 2020. Mailed notice (ewf, ) (Entered: 12/02/2020)
12/08/2020	<u>97</u>	MINUTE entry before the Honorable Charles R. Norgle: Plaintiff's response to Defendants' motion for protective order and sanctions <u>94</u> is due on or before 12/22/2020. Defendants' reply is due on or before 1/5/2021. Mailed notice (ewf, ) (Entered: 12/08/2020)
12/22/2020	<u>98</u>	RESPONSE by Stephen E Eberhardt in Opposition to MOTION by Defendants Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park for protective order <i>and Sanctions</i> <u>94</u> (Attachments: # <u>1</u> Exhibit Exhibit 1, # <u>2</u> Exhibit Exhibits 2-5, # <u>3</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 12/22/2020)
12/28/2020	<u>99</u>	RESPONSE by Patrick J Walsh in Opposition to MOTION by Plaintiff Stephen E Eberhardt for leave to file <i>Corrected First Amended Complaint</i> . <u>90</u> (Attachments: # <u>1</u> Notice of Filing and Certificate of Service, # <u>2</u> Exhibit A, # <u>3</u> Exhibit B, # <u>4</u> Exhibit C, # <u>5</u> Exhibit D)(Griffin, Patrick) (Entered: 12/28/2020)
12/28/2020	<u>100</u>	RESPONSE by Defendants Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park to Plaintiff's Motion for Leave to File <i>Corrected First Amended Complaint</i> (Attachments: # <u>1</u> Exhibit Complaint for Declaratory, Injunctive and others Reliefs and Jury Demand)(Condon, Thomas) (Entered: 12/28/2020)
12/28/2020	<u>101</u>	NOTICE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park re Response, <u>100</u> (Condon, Thomas) (Entered: 12/28/2020)
12/31/2020	<u>102</u>	REPLY by Stephen E Eberhardt to Response, <u>100</u> , response in opposition to motion, <u>99</u> (Attachments: # <u>1</u> Exhibit Exhibit A to Reply, # <u>2</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 12/31/2020)
01/05/2021	<u>103</u>	REPLY by Defendants Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park to motion for protective order, <u>94</u> (Attachments: # <u>1</u> Exhibit 1, # <u>2</u> Exhibit 2, # <u>3</u> Exhibit 3)(Mathews, Joselyn) (Entered: 01/05/2021)
01/05/2021	<u>104</u>	NOTICE by Patrick Carr, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park re reply, <u>103</u> (Mathews, Joselyn) (Entered: 01/05/2021)
01/07/2021	<u>105</u>	MOTION by Plaintiff Stephen E Eberhardt Motion for Leave to File Surreply. (Eberhardt, Stephen) (Entered: 01/07/2021)



01/07/2021	<u>106</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for miscellaneous relief <u>105</u> before Honorable Charles R. Norgle Sr. on 1/15/2021 at 09:30 AM. (Eberhardt, Stephen) (Entered: 01/07/2021)
01/11/2021	<u>107</u>	MOTION by Plaintiff Stephen E Eberhardt for preliminary injunction (Attachments: # <u>1</u> Exhibit)(Eberhardt, Stephen) (Entered: 01/11/2021)
01/11/2021	<u>108</u>	MEMORANDUM by Stephen E Eberhardt in support of motion for preliminary injunction <u>107</u> (Attachments: # <u>1</u> Exhibit, # <u>2</u> Exhibit, # <u>3</u> Exhibit)(Eberhardt, Stephen) (Entered: 01/11/2021)
01/11/2021	<u>109</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for preliminary injunction <u>107</u> before Honorable Charles R. Norgle Sr. on 1/15/2021 at 09:30 AM. (Eberhardt, Stephen) (Entered: 01/11/2021)
01/12/2021	<u>110</u>	MOTION by Plaintiff Stephen E Eberhardt for sanctions (Attachments: # <u>1</u> Exhibit Exhibits A & B, # <u>2</u> Exhibit Exhibit C Cover, # <u>3</u> Exhibit Exhibit C-1, # <u>4</u> Exhibit Exhibit C-2, # <u>5</u> Exhibit Exhibit C-3, # <u>6</u> Notice of Filing Notice of Filing)(Eberhardt, Stephen) (Entered: 01/12/2021)
01/13/2021	<u>111</u>	MINUTE entry before the Honorable Charles R. Norgle: Motion for leave to file surreply <u>105</u> is granted. Defendants' response to Second Renewed Motion for Preliminary Injunction <u>107</u> is due on or before 2/16/2021. Plaintiff's reply is due on or before 2/23/2021. No appearance is required on Friday, January 15, 2021. Mailed notice (ewf, ) (Entered: 01/13/2021)
01/13/2021	<u>112</u>	SUR-REPLY by Plaintiff Stephen E Eberhardt to reply, <u>103</u> in Support of Defendants' Motion for Protective Order and Sanctions. (Attachments: # <u>1</u> Notice of Filing Notice of Filing)(Eberhardt, Stephen) (Entered: 01/13/2021)
02/02/2021	<u>113</u>	MOTION by Plaintiff Stephen E Eberhardt for temporary restraining order (Attachments: # <u>1</u> Exhibit, # <u>2</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 02/02/2021)
02/02/2021	<u>114</u>	Emergency NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for temporary restraining order <u>113</u> before Honorable Charles R. Norgle Sr. on 2/2/2021 at 09:30 AM. (Eberhardt, Stephen) (Entered: 02/02/2021)
02/02/2021	<u>115</u>	ORDER : For the following reasons, Plaintiff Stephen E. Eberhardt's emergency motion for temporary restraining order <u>113</u> is denied without prejudice. Signed by the Honorable John Z. Lee on 2/2/21. [For further details see order].Mailed notice(ca, ) (Entered: 02/02/2021)
02/10/2021	<u>116</u>	ORDER: Plaintiff's motion to dismiss Count XVII of the Complaint as moot <u>60</u> is granted. Defendants' motions to dismiss Plaintiff's Complaint <u>72</u> <u>75</u> are granted without prejudice. For the same reasons that Defendants' motions to dismiss are granted, Plaintiff's motion for leave to file Corrected First Amended Complaint <u>90</u> is denied. Defendants' motion for a protective order and sanctions <u>94</u> is denied. Plaintiff's motion for sanctions <u>110</u> is denied. The following motions are denied as moot: Plaintiff's motion for preliminary injunction <u>31</u> ; Plaintiff's motion to set a telephone conference to schedule a hearing on Plaintiff's motion for preliminary injunction <u>58</u> ; Plaintiff's motion to consolidate cases <u>62</u> ; Plaintiff's motion for leave to file First Amended Complaint <u>78</u> ; Plaintiff's renewed motion for preliminary injunction <u>87</u> ; Plaintiff's motion to expedite briefing and ruling on Plaintiff's renewed motion for preliminary injunction <u>89</u> ; and Plaintiffs second renewed motion for preliminary injunction <u>107</u> . Plaintiff is granted leave to file an amended complaint on or before March 10, 2021. If Plaintiff timely files an amended complaint, Defendants shall respond to the amended complaint on or before April 7, 2021. If Plaintiff does not timely file an amended complaint, the dismissal will



		automatically convert to a dismissal with prejudice. Signed by the Honorable Charles R. Norgle, Sr on 2/10/2021. Mailed notice. (bg, ) (Entered: 02/12/2021)
02/22/2021	<u>117</u>	First AMENDED complaint by Stephen E Eberhardt against All Defendants and terminating Jacob C Vandenberg (Attachments: # <u>1</u> Exhibit Exhibits to First Amended Complaint, # <u>2</u> Notice of Filing Notice of Filing)(Eberhardt, Stephen) (Entered: 02/22/2021)
02/22/2021	<u>118</u>	MOTION by Plaintiff Stephen E Eberhardt for preliminary injunction (Attachments: # <u>1</u> Exhibit Exhibits to Motion)(Eberhardt, Stephen) (Entered: 02/22/2021)
02/22/2021	<u>119</u>	MEMORANDUM by Stephen E Eberhardt in support of motion for preliminary injunction <u>118</u> (Attachments: # <u>1</u> Exhibit Exhibits A-F, # <u>2</u> Exhibit Exhibit G-I, # <u>3</u> Exhibit Exhibit J-N)(Eberhardt, Stephen) (Entered: 02/22/2021)
02/22/2021	<u>120</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for preliminary injunction <u>118</u> before Honorable Charles R. Norgle Sr. on 2/26/2021 at 09:30 AM. (Eberhardt, Stephen) (Entered: 02/22/2021)
02/22/2021	<u>121</u>	MINUTE entry before the Honorable Charles R. Norgle: Defendants' response to Plaintiff's Motion for Preliminary Injunction <u>118</u> is due on April 7, 2021. Plaintiff's reply due April 21, 2021. No appearance is required on Friday, February 26, 2021. Mailed notice (ewf, ) (Entered: 02/22/2021)
02/24/2021	<u>122</u>	REQUEST for Waiver of Service sent to William P. Brady on February 24, 2021 by Plaintiff Stephen E Eberhardt. Waiver of service due by 3/26/2021. (Eberhardt, Stephen) (Entered: 02/24/2021)
02/24/2021	<u>123</u>	REQUEST for Waiver of Service sent to Paul A. O'Grady on February 24, 2021 by Plaintiff Stephen E Eberhardt. Waiver of service due by 3/26/2021. (Eberhardt, Stephen) (Entered: 02/24/2021)
02/24/2021	<u>124</u>	REQUEST for Waiver of Service sent to Patrick G. Connelly on February 24, 2021 by Plaintiff Stephen E Eberhardt. Waiver of service due by 3/26/2021. (Eberhardt, Stephen) (Entered: 02/24/2021)
02/28/2021	<u>125</u>	MOTION by Plaintiff Stephen E Eberhardt for temporary restraining order <i>Emergency</i> (Attachments: # <u>1</u> Exhibit Exhibts A-E, # <u>2</u> Exhibit Exhibit F-I, # <u>3</u> Exhibit Exhibit J-K, # <u>4</u> Exhibit Exhibit L-S)(Eberhardt, Stephen) (Entered: 02/28/2021)
02/28/2021	<u>126</u>	Subpoena for Appearance of Mayor Jacob Vandenberg by Stephen E Eberhardt (Eberhardt, Stephen) (Entered: 02/28/2021)
02/28/2021	<u>127</u>	<i>Emergency</i> NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for temporary restraining order <u>125</u> before Honorable Charles R. Norgle Sr. on 3/1/2021 at 09:30 AM. (Eberhardt, Stephen) (Entered: 02/28/2021)
03/01/2021	<u>128</u>	NOTICE of Motion by Stephen E. Eberhardt for presentment of motion for temporary restraining order <u>125</u> before Honorable Charles R. Norgle Sr. on 3/2/2021 at 11:30 AM. (Eberhardt, Stephen) (Entered: 03/01/2021)
03/02/2021	<u>129</u>	MINUTE entry before the Honorable Charles R. Norgle:The notice of motion hearing scheduled for March 2, 2021 is stricken. The court will issue an order. Mailed notice (ewf, ) (Entered: 03/02/2021)
03/02/2021	<u>130</u>	ORDER: Plaintiff's emergency motion for temporary restraining order <u>125</u> is denied. Plaintiff's motion for preliminary injunction <u>118</u> remains under advisement and the briefing schedule on it <u>122</u> stands. Signed by the Honorable Charles R. Norgle, Sr on 3/2/2021. Mailed notice. (bg, ) (Entered: 03/02/2021)



04/05/2021	<u>131</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. William P Brady waiver sent on 2/24/2021, answer due 4/26/2021. (Eberhardt, Stephen) (Entered: 04/05/2021)
04/05/2021	<u>132</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Paul O'Grady waiver sent on 2/24/2021, answer due 4/26/2021. (Eberhardt, Stephen) (Entered: 04/05/2021)
04/05/2021	<u>133</u>	WAIVER OF SERVICE returned executed by Stephen E Eberhardt. Patrick Connelly waiver sent on 2/24/2021, answer due 4/26/2021. (Eberhardt, Stephen) (Entered: 04/05/2021)
04/07/2021	<u>134</u>	MOTION TO DISMISS FOR FAILURE TO STATE A CLAIM by Defendant Patrick J Walsh <i>Defendant's Motion to Dismiss</i> (Attachments: # <u>1</u> Exhibit A, # <u>2</u> Exhibit B, # <u>3</u> Exhibit C, # <u>4</u> Exhibit D, # <u>5</u> Exhibit E, # <u>6</u> Exhibit F)(Walsh, Patrick) (Entered: 04/07/2021)
04/07/2021	<u>135</u>	NOTICE by Patrick J Walsh <i>Notice of Filing Defendant Walsh's Motion to Dismiss</i> (Walsh, Patrick) (Entered: 04/07/2021)
04/07/2021	<u>136</u>	MOTION TO DISMISS FOR FAILURE TO STATE A CLAIM by Defendants William P Brady, Patrick Connelly, Michael W Glotz, Beth McKernan, David J Niemeyer, Nancy O'Connor, Paul O'Grady, Kenneth Shaw, Kristen A Thirion (Attachments: # <u>1</u> Notice of Filing)(Condon, Thomas) (Entered: 04/07/2021)
04/07/2021	<u>137</u>	MEMORANDUM by William P Brady, Patrick Connelly, Michael W Glotz, Beth McKernan, David J Niemeyer, Nancy O'Connor, Paul O'Grady, Kenneth Shaw, Kristen A Thirion, Village of Tinley Park in Opposition to motion for preliminary injunction <u>118</u> (Condon, Thomas) (Entered: 04/07/2021)
04/09/2021	<u>138</u>	MINUTE entry before the Honorable Charles R. Norgle:Plaintiff's responses to Defendants' Motions to Dismiss <u>136</u> and <u>134</u> are due on 4/21/2021. Defendants' replies are due on 5/5/2021.Mailed notice (ewf, ) (Entered: 04/09/2021)
04/20/2021	<u>139</u>	REPLY by Plaintiff Stephen E Eberhardt <i>Plaintiff's Reply to "Defendant's Response to Plaintiff's Motion for Preliminary Injunction"</i> (Attachments: # <u>1</u> Exhibit Exhibits A-H, # <u>2</u> Exhibit Exhibits I-L, # <u>3</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 04/20/2021)
04/20/2021	<u>140</u>	RESPONSE by Stephen E Eberhardtin Opposition to MOTION TO DISMISS FOR FAILURE TO STATE A CLAIM by Defendants William P Brady, Patrick Connelly, Michael W Glotz, Beth McKernan, David J Niemeyer, Nancy O'Connor, Paul O'Grady, Kenneth Shaw, Kristen A Thirion <u>136</u> (Attachments: # <u>1</u> Exhibit Exhibits A-F, # <u>2</u> Exhibit Exhibits G-J, # <u>3</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 04/20/2021)
04/20/2021	<u>141</u>	RESPONSE by Stephen E Eberhardtin Opposition to MOTION TO DISMISS FOR FAILURE TO STATE A CLAIM by Defendant Patrick J Walsh <i>Defendant's Motion to Dismiss</i> <u>134</u> (Attachments: # <u>1</u> Exhibit Exhibits, # <u>2</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 04/20/2021)
05/05/2021	<u>142</u>	MOTION by Defendant Patrick J Walsh for extension of time , MOTION by Defendant Patrick J Walsh for extension of time to file response/reply <i>in support of His Motion to Dismiss</i> (Attachments: # <u>1</u> Notice of Filing)(Griffin, Patrick) (Entered: 05/05/2021)
05/05/2021	<u>143</u>	REPLY by Defendants William P Brady, Patrick Connelly, Michael W Glotz, Beth McKernan, Nancy O'Connor, Paul O'Grady, Kenneth Shaw, Kristen A Thirion, Village of Tinley Park to response in opposition to motion, <u>140</u> (Attachments: # <u>1</u> Notice of Filing) (Condon, Thomas) (Entered: 05/05/2021)
05/11/2021	<u>144</u>	MINUTE entry before the Honorable Charles R. Norgle: Motion for extension of time <u>142</u> is granted. Mailed notice (ewf, ) (Entered: 05/11/2021)



05/13/2021	<u>145</u>	REPLY by Defendant Patrick J Walsh in Support of His Motion to Dismiss (Attachments: # <u>1</u> Notice of Filing)(Griffin, Patrick) (Entered: 05/13/2021)
06/09/2021	<u>146</u>	MOTION by Attorney Thomas J. Condon to withdraw as attorney for Beth McKernan. New address information: Beth McKernan 17834 Bishop Rd., Tinley Park, IL 60487 (Condon, Thomas) (Entered: 06/09/2021)
06/09/2021	<u>147</u>	NOTICE by Beth McKernan re MOTION by Attorney Thomas J. Condon to withdraw as attorney for Beth McKernan. New address information: Beth McKernan 17834 Bishop Rd., Tinley Park, IL 60487 <u>146</u> (Condon, Thomas) (Entered: 06/09/2021)
06/10/2021	<u>148</u>	MINUTE entry before the Honorable Charles R. Norgle: Motion to withdraw as counsel <u>146</u> is granted. Thomas Joseph Condon, Jr. and Joselyn Rose Mathews are granted leave to withdraw as attorneys of record for Defendant Beth McKernan.Mailed notice (ewf, ) (Entered: 06/10/2021)
06/11/2021	<u>149</u>	Notice of Dismissal as to Defendant Beth McKernan Pursuant to Fed.R.Civ.Pro. 41(a)(1) by Stephen E Eberhardt (Attachments: # <u>1</u> Notice of Filing)(Eberhardt, Stephen) (Entered: 06/11/2021)
09/02/2021	<u>150</u>	ORDER: Defendants' motions to dismiss <u>134</u> <u>136</u> are granted. The Court dismisses without prejudice Plaintiffs state law claims in Counts XV and XVI for lack of supplemental jurisdiction and for Plaintiffs lack of standing to pursue those claims. The Court dismisses without prejudice Plaintiffs claims in Counts IV and X-XIV of Plaintiffs amended complaint for lack of standing. The Court dismisses Plaintiffs federal claims in Counts II, III, and V-IX of Plaintiffs amended complaint for failure to state plausible claims for relief. The Court relinquishes jurisdiction over Plaintiffs remaining state law claims, including under the Illinois Open Meetings Act in Counts I and VI of Plaintiffs amended complaint, and dismisses them without prejudice to Plaintiffs ability to pursue them in Illinois state court. Plaintiffs motion for preliminary injunction <u>118</u> is denied as moot because the claims on which the motion is premised have been dismissed. The Clerk is instructed to terminate this case. Signed by the Honorable Charles R. Norgle, Sr on 9/2/2021. Mailed notice (jn, ) (Entered: 09/02/2021)
09/02/2021	<u>151</u>	ORDER: Consistent with the Court's order granting Defendants' motions to dismiss and denying Plaintiff's motion for preliminary injunction as moot, the Clerk is instructed to enter judgment in favor of Defendants and against Plaintiff under Federal Rule of Civil Procedure 58. To the extent that Defendants determine that they are entitled to costs or fees, Defendants shall timely file any such request and comply with the applicable Federal Rules of Civil Procedure and the Local Rules. Signed by the Honorable Charles R. Norgle, Sr on 9/2/2021. Mailed notice (jn, ) (Entered: 09/02/2021)
09/02/2021	<u>152</u>	ENTERED JUDGMENT. Mailed notice. (jn, ) (Entered: 09/02/2021)
09/30/2021	<u>153</u>	MOTION by Defendant Patrick J Walsh for sanctions <i>Motion for Sanctions</i> (Attachments: # <u>1</u> Notice of Filing Notice of Filing, # <u>2</u> Exhibit A, # <u>3</u> Exhibit B, # <u>4</u> Exhibit C, # <u>5</u> Exhibit D, # <u>6</u> Exhibit E, # <u>7</u> Exhibit F, # <u>8</u> Exhibit G, # <u>9</u> Exhibit H, # <u>10</u> Exhibit I, # <u>11</u> Exhibit J)(Griffin, Patrick) (Entered: 09/30/2021)
09/30/2021	<u>154</u>	MEMORANDUM by Patrick J Walsh in support of motion for sanctions, <u>153</u> <i>Memorandum ISO Motion</i> (Griffin, Patrick) (Entered: 09/30/2021)
10/01/2021	<u>155</u>	MINUTE entry before the Honorable Charles R. Norgle: Plaintiff's response to Defendants' motion for sanctions <u>153</u> is due on or before 10/22/2021. Defendants reply is due on or before 11/5/2021. Mailed notice (ewf, ) (Entered: 10/01/2021)
10/15/2021	<u>156</u>	RESPONSE by Stephen E Eberhardt in Opposition to MOTION by Defendant Patrick J Walsh for sanctions <i>Motion for Sanctions</i> <u>153</u> (Attachments: # <u>1</u> Exhibit Exhibits A-C, #



		<u>2</u> Exhibit Exhibits D-E, # <u>3</u> Exhibit Exhibits F-M, # <u>4</u> Notice of Filing Notice of Filing) (Eberhardt, Stephen) (Entered: 10/15/2021)
11/05/2021	<u>157</u>	REPLY by Defendant Patrick J Walsh <i>Reply ISO Motion For Sanctions</i> (Attachments: # <u>1</u> Notice of Filing Eberhardt NOF Reply ISO Motion For Sanctions, # <u>2</u> Exhibit Exhibit A To Eberhardt Reply ISO Motion For Sanctions, # <u>3</u> Exhibit Exhibit B To Eberhardt Reply ISO Motion For Sanctions, # <u>4</u> Exhibit Exhibit C To Eberhardt Reply ISO Motion For Sanctions)(Griffin, Patrick) (Entered: 11/05/2021)
11/05/2021	<u>158</u>	MOTION by Defendant Village of Tinley Park Motion for Instruction (Condon, Thomas) Modified on 11/8/2021 (kl, ). (Entered: 11/05/2021)
11/05/2021	<u>159</u>	MOTION by Defendant Village of Tinley Park (Attachments: # <u>1</u> Exhibit Exhibit A, # <u>2</u> Exhibit Exhibit B, # <u>3</u> Exhibit Exhibit C, # <u>4</u> Exhibit Exhibit D, # <u>5</u> Exhibit Exhibit E, # <u>6</u> Exhibit Exhibit F, # <u>7</u> Notice of Filing)(Condon, Thomas) Modified on 11/8/2021 (kl, ). (Entered: 11/05/2021)
11/09/2021	<u>160</u>	MINUTE entry before the Honorable Charles R. Norgle: Plaintiff's response to Defendant's motions for instruction <u>159</u> , <u>158</u> is due on or before 11/30/2021. Defendant's reply is due on or before 12/14/2021. Mailed notice (ewf, ) (Entered: 11/09/2021)
11/26/2021	<u>161</u>	RESPONSE by Stephen E Eberhardt to MOTION by Defendants William P Brady, Patrick Carr, Patrick Connelly, Michael W Glotz, Terica Ketchum, Beth McKernan, David J Niemeyer, Nancy O'Connor, Paul O'Grady, Kenneth Shaw, Kristen A Thirion, Jacob C Vandenberg, Village of Tinley Park, <u>159</u> to Defendants' "Motion for Instruction" (Attachments: # <u>1</u> Exhibit Exhibit A to Response)(Eberhardt, Stephen) (Entered: 11/26/2021)
11/27/2021	<u>162</u>	NOTICE by Stephen E Eberhardt re response to motion, <u>161</u> for <i>Instruction</i> (Eberhardt, Stephen) (Entered: 11/27/2021)
12/14/2021	<u>163</u>	REPLY by Defendant Village of Tinley Park to motion for miscellaneous relief <u>158</u> <i>In Support of Motion for Instruction</i> (Condon, Thomas) (Entered: 12/14/2021)
12/14/2021	<u>164</u>	NOTICE by Village of Tinley Park re reply <u>163</u> <i>in Support of its Motion for Instruction</i> (Condon, Thomas) (Entered: 12/14/2021)

PACER Service Center			
Transaction Receipt			
12/30/2021 11:22:25			
PACER Login:	patrickwalsh:3136710:0	Client Code:	Tinley Park
Description:	Docket Report	Search Criteria:	1:20-cv-01171
Billable Pages:	14	Cost:	1.40



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January 5, 2022

Mr. Michael Glotz  
Mayor – Village of Tinley Park  
16250 S. Oak Park Avenue  
Tinley Park, IL 60477

**Re: Tinley Park Ethics Complaint - Janecyk**

BY E-MAIL ONLY: [mglotz@tinleypark.org](mailto:mglotz@tinleypark.org)

Dear Mayor Glotz:

I received your email dated January 5, 2022, this morning concerning the findings in the above referenced ethics investigation. As stated in your email, my investigation had constraints. I did not have subpoena power nor the ability to convene a grand jury to compel or preserve testimony. There were no mechanisms that would permit me to compel any Trustee or third party to testify or produce documents. However, I do believe there was enough information uncovered to warrant further investigation.

The Cook County State's Attorney's Office Public Corruption Unit has Law Enforcement Investigators and Assistant State's Attorneys that can appropriately investigate to determine whether any Illinois Criminal Statutes, including official misconduct 720 ILCS 33-3(c), were violated. The State's Attorney's Office can utilize the resources of the Grand Jury and issue subpoenas for telephone records, etc. I believe the Illinois Attorney General's Office; Federal Bureau of Investigation's Public Corruption Bureau and the United States Attorney's Office for the Northern District of Illinois would have jurisdiction to conduct investigations as well.

Very truly yours,

/s/Patrick W. Walsh

PWW: jt

Cc: Paul O'Grady – Village Attorney

LICENSED IN CALIFORNIA, ILLINOIS AND TEXAS





## Interoffice Memo

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**Date:** January 12, 2022

**To:** Village Board of Trustees

**From:** Hannah Lipman, Assistant Village Manager

**Subject:** Avocado Theory – Class E Liquor License

**Background:**

Avocado theory, located at 17302 Oak Park Avenue, recently opened in 2021. The restaurant serves unlimited ways to enjoy avocado, along with many other menu items. The petitioner, Krunal Patel has approached the Mayor's Office seeking a liquor license to sell beer and wine. One feature of Avocado theory is the garage door, that allows for an open air concept in warmer months. Mr. Patel would like to allow customers to purchase beer or wine, especially to enjoy on warmer days with the open air concept.

**Request:**

The petitioner, Krunal Patel, is requesting a Class E Liquor License (beer and wine sales only).



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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**ORDINANCE**  
**NO. 2022-O-007**

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**AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR  
LICENSES – AVOCADO THEORY (17302 OAK PARK AVENUE)**

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**MICHAEL GLOTZ, PRESIDENT**  
**NANCY M. O’CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-007****AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR  
LICENSES – AVOCADO THEORY (17302 OAK PARK AVENUE)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, pursuant to Title XI, Chapter 112, Section 22 of the Village Code, liquor licenses may be authorized by the President and Board of Trustees of the Village of Tinley Park and the number of liquor licenses authorized to be issued for each class shall be kept on record in the office of the Village Clerk; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the said Village of Tinley Park and its residents to amend Title XI, Chapter 112, Section 22 of the Village Code to increase the number of Class “E” licenses in the Village to eight (8); and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

**SECTION 2:** Pursuant to Title XI, Chapter 112, Section 22 of the Village of Tinley Park Village Code, the number of Class “E” licenses that can be issued by the Village shall be eight (8). This Ordinance reflects the availability of one Class “E” liquor license to be awarded to Avocado Theory – 17302 Oak Park Avenue.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 4:** That this Ordinance shall be in full force and effect from and after its adoption and approval.



PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-007, “AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – AVOCADO THEORY (17302 OAK PARK AVENUE)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK





## Interoffice Memo

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**Date:** January 12, 2022

**To:** Village Board of Trustees

**From:** Hannah Lipman, Assistant Village Manager

**Subject:** Golden Corral – Class E Liquor License Request

**Background:**

Golden Corral, located at 6803 W 159<sup>th</sup> St., is a buffet chain with about 70 employees who work at the Tinley Park location. As they are a family-friendly establishment, their model hasn't included service of alcohol. However, as a result of COVID-19, Golden Corral has experienced many difficulties. In 2020, they had been left with no choice but to close until late June when Phase 4 of the Restore Illinois Plan took effect because of their business model; carry-out and outdoor dining would not have been feasible for buffet style service. The petitioner did approach the Board in July of 2020 seeking a license, but the Board did not approve. As they try to move forward and attract steady business back to their establishment, they will continue to face challenges to accommodate safety guidelines. With small margins, the hope is that a liquor license may help provide additional revenue to keep the operations going.

**Request:**

The petitioner, Bhavin Patel, is seeking a Class E license (beer and wine only).



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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**ORDINANCE**  
**NO. 2022-O-008**

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**AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR  
LICENSES – GOLDEN CORRAL (6803 W 159<sup>th</sup> Street)**

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**MICHAEL GLOTZ, PRESIDENT**  
**NANCY M. O’CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-008****AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR  
LICENSES – GOLDEN CORRAL (6803 W 159<sup>th</sup> Street)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, pursuant to Title XI, Chapter 112, Section 22 of the Village Code, liquor licenses may be authorized by the President and Board of Trustees of the Village of Tinley Park and the number of liquor licenses authorized to be issued for each class shall be kept on record in the office of the Village Clerk; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the said Village of Tinley Park and its residents to amend Title XI, Chapter 112, Section 22 of the Village Code to increase the number of Class “E” licenses in the Village to nine (9); and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

**SECTION 2:** Pursuant to Title XI, Chapter 112, Section 22 of the Village of Tinley Park Village Code, the number of Class “E” licenses that can be issued by the Village shall be nine (9). This Ordinance reflects the availability of one Class “E” liquor license to be awarded to Golden Corral – 6803 W 159<sup>th</sup> Street.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.



**SECTION 4:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

---

VILLAGE PRESIDENT

ATTEST:

---

VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-008, “AN ORDINANCE INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – GOLDEN CORRAL (6803 W 159<sup>th</sup> Street)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK





## Interoffice Memo

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**Date:** January 12, 2022

**To:** Village Board of Trustees

**From:** Hannah Lipman, Assistant Village Manager

**Subject:** Hillgrove Tap – Class A Liquor License Request

**Background:**

The petitioners, Joe Christiano and Joe Elsey, have approached the Mayor's Office seeking a Class A liquor license for a new restaurant/bar concept in the former Tribes location (171<sup>st</sup> and LaGrange Road). The concept will be named Hillgrove Tap, which originally opened in December of 2015 in Western Springs (800 Hillgrove Ave.). Hillgrove Tap is a family restaurant, sports bar, and neighborhood gathering place.

Hillgrove Tap takes pride in their upscale bar menu with plenty of appetizers, salads, burgers, sandwiches and entrees, along with great cocktails, 24 tap beers, and 70 other beers in bottles and cans. They are also big into sports with large flat screen TV's for all of their guests' sports' requests. The petitioners plan on including a nice size party room in the space for occasions such birthdays, rehearsal dinners, showers, corporate meetings, all holidays and sports' teams that want to gather.

Both Mr. Christiano and Mr. Elsey have worked with the Francesca Restaurant Group and have experience in owning other restaurants. The petitioners will be putting several hundred thousand dollars worth of improvements into this location.

**Request:**

The petitioners are seeking a Class A Liquor License. Note, there will be a video gaming request in the coming months as well.



December 5, 2021

Dear Mayor Glotz,

I am writing this letter to inform you that Joe Christiano and I are in the process of signing a lease at the Former Tribes location in Tinley Park (191<sup>st</sup> & LaGrange Road). We will be opening my concept named Hillgrove Tap, which originally opened in December of 2015 in Western Springs, Illinois (800 Hillgrove Ave. 60558). Hillgrove Tap is a family restaurant, Sports Bar, Tap House & neighborhood gathering place all rolled into one. Joe Christiano is one of the owners of Phoenix Kitchen & Cocktails in Homer Glenn. We have both worked with the Francesca restaurant group together about 20 years before going independent.

Hillgrove Tap takes pride in our upscale bar menu with plenty of appetizers, salads, burgers, sandwiches & entrees. Along with great cocktails, 24 tap beers, 70 other beers in bottles and cans, and impeccable service Hillgrove Tap is a staple in the Western Suburbs.

We are also big into sports with 17 large flat screen TV's for all of our guests' sports' requests. We plan to have many flat screens at the Tinley Park location. We also take pride in providing a party space for any occasion such as birthdays, rehearsal dinners, showers, corporate meetings, all holidays and sports teams that want to hang out. We will add a nice size party room at the Tinley Park space to provide the community with another great choice for events.

We would like to apply for a Class AV license and understand this is the first step of the process. We are extremely excited for the opportunity to bring Hillgrove Tap to Tinley Park.

I also attached a "slide show" of Hillgrove Tap and what we are all about.





# Hillgrove Tap



Craft Beer & Food in a lively family-friendly atmosphere, downtown Western Springs, IL.



# Who We Are:

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## The Inception of Hillgrove Tap

Chris Elsey opened Hillgrove Tap on December 4, 2015. Hillgrove Tap is the official Sports Bar of Western Springs and a favorite in the Western Suburbs.

Hillgrove Tap is an awesome restaurant that takes great food and impeccable personalized service to the next level.



For Chris, Hillgrove Tap was a dream that became reality and he is excited to continue to work with his great staff ensuring great food, impeccable service, and an energetic atmosphere on each visit!

"It was a concept I had. I love sports, beer and great food, and I had it in my back pocket to open up a place that fit that concept."  
-Chris Elsey



## Located in a Prime Spot

Nestled on the corner of Wolf Road and Hillgrove Avenue, Hillgrove tap sits at 800 Hillgrove Ave. in Western Springs. Centered in the downtown area and next to the metra, making it perfect for anyone to conveniently stop in and take notice of its fun and energetic atmosphere.



"It's right here off Wolf Road in downtown Western Springs, and it's right off the Metra line. People come off the train and grab carryout all the time, and we also have quite a few pub crawls, where people ride the train and get off in different towns along the way!" -Chris Elsey



# What We Do:

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VILLAGE OF TINLEY...



## Delivering Quality Experiences

Hillgrove Tap delivers great experiences to all of our guests. Hillgrove Tap is a casual restaurant with top-notch food, while also offering of more than 80 beers, 24 on tap and 60 in bottles and cans.

The food menu offers a variety of options. From our delightful appetizers, fresh salads, and savory burgers, to our delectable sandwiches and mouth-watering entrees, with some many choices, you can never go wrong. The menu paired with our great service keeps us consistently busy year round.



## Ask Our Guests

Hillgrove Tap's fun, relaxed atmosphere with great food, perfect cocktails, awesome beer list, and excellent service make it a perfect fit for anyone.

We're very kid friendly with many young families in Western Springs. We have a wide range of guests from young to older out to have a good time, watching sports, visiting, enjoying a beer and getting some good food.

We have a lot of regulars who come in, and we have people come from other local suburbs. The amount of repeat guests is staggering and we build more and more regulars daily!

★★★★★

... Outstanding beer selection and wonderful staff. The food was delicious and our waitress was personable and awesome...

**YOU WILL NOT BE DISAPPOINTED.**

**BRENNAN**

★★★★★

The meals and service were beyond our expectations.

I really loved the environment of this spot. Amazing restaurant to take my family out for dinner.

**DOUGLAS**



★★★★★

Everything about this place is great. The service is always attentive but not over bearing.

The beer selection is fantastic. The food is always great.

**PAUL**





# More on Us:



## Are you ready for a food & drink coma?

Hillgrove Tap offers seasonal specials with each change of the season. Whether it's adding some salads during the summer or sprinkling in more rustic entrees such as meatloaf or Pasta in the Fall and Winter, we keep our menu fresh and on par each passing month!

Some offerings are a little different than most places, such as a Sausage Platter, Nacho Bites and our favorite, the poutine- which is made with waffle fries, milk-braised pork shoulder, gravy, cheese curds and scallions.



**GUACAMOLE** avocado, tomato, onion, cilantro & lime \$8.50

**CHICKEN WINGS** barbeque, spicy buffalo or honey sriracha, served with carrots, celery, your choice of blue cheese or ranch half (6) / full (12) - bone-in \$9.50 / \$15.50 or boneless \$11.50 / \$17.50

**HILLGROVE SLIDERS** American cheese, lettuce, onion, tomato, pickle & jump-off sauce on a mini pretzel bun (3 sliders) \$11.50

**HILLGROVE CHILI** scallions, cheese & sour cream \$4.00 / \$6.00

**SOUP OF THE DAY** \$3.00 / \$5.00

**NACHO BITES** BBQ pulled pork, refried beans, Chihuahua cheese, Pico de Gallo, sour cream & Sriracha mayo \$10.50

**NACHO PLATTER** shredded lettuce, pico de gallo, shredded cheddar & cotija served with sour cream, sliced jalapeño & refried beans \$12.50 (add chicken +\$4.50 / add barbeque pork +\$4.00)

**QUESADILLA** flour tortilla filled with queso Chihuahua & cheddar cheese, served with sour cream & pico de gallo \$7.50 (add chicken, veggies or ground beef +\$4.00 / add shrimp +\$7.50 / add steak +\$9.50)

**HILLGROVE POUTINE** waffle fries, milk-braised pork shoulder, gravy, cheese curd & scallions \$13.50

**PRETZEL** large soft pretzel, beer cheese dip & whole grain mustard \$

**FRIED MOZZARELLA** mozzarella rolled in Italian seasoning & breadcrumbs, tomato dipping sauce \$9.50

**MAC N CHEESE** cheddar, bacon & scallions \$10.50

**CATIOS FISH TACOS** beer battered cod, corn tortilla, Sriracha mayo slaw & Pico de Gallo \$12.50

**HUMMUS** chickpea hummus served with feta cheese, olives, tomato, carrots, celery & warm pita \$14.50

**TAP TUNA** sliced ahi tuna, arugula, pineapple, watermelon, ginger dressing & balsamic glaze \$17.50

# Food Menu

## FIRST QUARTER

▲ add chicken +\$4.50 / add shrimp +\$7.50 / add steak +\$9.50

**HILLGROVE SALAD** mixed greens, feta, tomatoes, snow peas, black olives & House vinaigrette \$6.50 / \$10.50 ▲

**WEDGE SALAD** iceberg wedge, bacon, red onion, grape tomatoes, blue cheese crumbles & blue cheese dressing \$13.50 ▲

**AVOCADO SALAD** boston lettuce, arugula, avocado, red onion, tomatoes, baby corn & cotija cheese \$13.50 ▲

**CAESAR SALAD** romaine lettuce, creamy Caesar dressing & garlic crotons \$11.50 ▲

**COBB SALAD** grilled chicken, avocado, bacon, tomatoes, romaine lettuce, blue cheese crumbles, hard boiled egg & blue cheese dressing \$14.50

**STEAK SALAD** mixed greens, flat iron steak, tomatoes, avocado, crispy onions & House vinaigrette \$19.50

## SECOND QUARTER

■ single D double / add thick-cut bacon +\$4.00

served with thin-cut fries (sub onion rings or sweet potato fries) +\$2.00

**HILLGROVE CHEESEBURGER** American cheese, lettuce, caramelized onions, tomato, pickle & jump-off sauce on a burger bun \$11.50 \$ / \$15.50 D

**BEER CHEESEBURGER** smoked Gouda beer cheese, crispy onions & grain mustard on a pretzel roll \$11.50 \$ / \$15.50 D

**DIABLO BURGER** seasoned with chili salt, topped with fresh jalapeño, pepper jack cheese, Sriracha mayo, shredded lettuce & crispy onions on a burger bun \$12.50 \$ / \$16.50 D

**JOHNNY'S BRUNCH BURGER** thick-cut bacon, fried egg, cheddar, lettuce, tomato, onion & pickle on a burger bun \$13.50 \$ / \$17.50 D

**VEGGIE BURGER** arugula, red onion, tomato, pepper jack, lemon & olive oil on a whole wheat bun \$13.50

**PATTY MELT** Swiss cheese & grilled onions on rye bread \$11.50

## THIRD QUARTER

add thick-cut bacon +\$4.00

served with thin-cut fries (sub onion rings or sweet potato fries) +\$2.00

**FRENCH DIP** sliced roast beef, melted provolone cheese, au jus & horseradish sauce, served on toasted French baguette \$14.50

**CAMMY'S BLT** thick-cut maple bacon, lettuce, tomato & mayo on pullman bread \$13.50

**CAROLINE'S GRILLED CHEESE** American, Swiss, cheddar, pepper jack & cheese curd on pullman bread \$12.50

**GRILLED CHICKEN CLUB** sliced grilled chicken, avocado-tomato salad, red onion, double-cut bacon & honey dijon served on toasted French bread \$13.50

**TURKEY WRAP** turkey, bacon, avocado, lettuce, tomato & mayo \$12.50

**REUBEN** corned beef, Swiss cheese, sauerkraut & thousand island on rye \$13.50

**CHICKEN SANDWICH** fried chicken thigh, American cheese, Sriracha mayo slaw & pickles on a burger bun \$13.50

**STEAK SANDWICH** grilled flat iron steak, garlic toasted French baguette, sautéed red pepper, red onion, jalapeño, lettuce & melted jack cheese \$18.50



**BRATWURST** jumbo brat on a pretzel hoagie with caramelized onions & whole grain mustard \$9.00

**PULLED PORK** BBQ pork & Sriracha mayo slaw on a pretzel bun \$12.50

## FOURTH QUARTER

**CHIMICHURRI STEAK** flat iron steak with Chimichurri sauce with roasted veggies & potatoes \$23.50

**FISH AND CHIPS** beer battered Atlantic cod with thin-cut fries & tartar sauce \$15.50



**SAUSAGE PLATTER** Thüringer, Käsekrainer & Knackwurst with sauerkraut & roasted potatoes \$16.50

**LINGUINE SCAMPI** linguine tossed with jumbo shrimp, asparagus, garlic, lemon & white wine sauce \$19.50

**SALMON FRESCA** grilled salmon, avocado, red onion, tomato, olive oil & balsamic vinegar \$21.50

## OFFSIDE

**SWEET POTATO FRIES** served with cinnamon butter \$6.50

**ONION RINGS** served with Sriracha mayo \$6.50

**ROASTED VEGETABLES** seasonal roasted vegetables \$6.50

**GRILLED SHRIMP** three pieces \$7.50

**MAC N CHEESE** cheddar, bacon & scallions \$7.50

## TWO MINUTE WARNING

**TIRAMISU** ladyfingers with mascarpone cheese, cocoa, and chocolate sauce \$7

**SKILLET COOKIE** chocolate chip cookie with vanilla bean gelato & fudge sauce \$9



# Drinks & Specials

AGE 21+ / 18+ / 20+2,...

VILLAGE OF TINLEY...



## HOUSE COCKTAILS

**HILLGROVE OLD-FASHIONED \$13**  
Bullett bourbon rye, maple-smoked, 18.21 prohibition bitters

**SUMMER MULE \$11**  
Tito's vodka, house-made grapefruit syrup, lime, grapefruit, ginger beer

**GIN & BERRIES \$11**  
New Holland Knickerbocker gin, Giffard Vanille de Madagascar, Q tonic, blueberry, lemon

**CUCUMBER JALAPENO MARGARITA \$10**  
Cimarron Blanco tequila, cucumber, jalapeno, lime, spiced rim

**PINEAPPLE CILANTRO LEMONADE \$10**  
Pineapple-infused Elevate Vodka, Cilantro, Lemon, Soda

**SALTY DOG \$10**  
Tattersall Vodka, Tattersall Grapefruit Crema, Grapefruit, Pinch of Salt, Soda, Salted Rim



## HAPPY HOUR

MONDAY - FRIDAY 4PM - 6PM  
DINE IN ONLY

**CHICKEN WINGS (6) \$7**

**HILLGROVE SLIDERS \$9.50**

**FRIED MOZZARELLA \$7**

**PRETZEL \$5.50**

**ONION RINGS \$4.50**

**SWEET POTATO FRIES \$4.50**

## DRINKS

**COSMO & LEMON DROP MARTINIS \$6**  
**DOMESTIC BUCKETS (6) \$14**  
**HOUSE RED & WHITE WINE BY THE GLASS \$6**  
**COORS LIGHT DRAFT \$3**  
**HOUSE WHISKEY \$5**

hillgrovetap.com



## DAILY SPECIALS

DINE-IN ONLY

**MONDAY MAC & MULES**  
MAC & CHEESE \$8  
HOUSE MULES \$6

**TUESDAY TACOS & TAPS**  
\$2 OFF FISH TACOS  
SELECT CRAFT TAPS \$5

**WEDNESDAY WINGS & WHISKEY**  
CHICKEN WINGS (6) \$7  
HOUSE WHISKEY \$5

**THURSDAY PRETZELS & BEER**  
HALF OFF ALL TAPS (EXCLUDES BEER OF THE MONTH)  
PRETZEL \$6  
SAUSAGE PLATTER \$14

**SUNDAY FUNDAY**  
MARGARITAS & BLOODY MARYS ALL DAY \$6  
SELECT CRAFT TAPS \$5  
HILLGROVE SLIDERS \$9

**PARTY AT HILLGROVE TAP!**  
PRIVATE ROOMS & CATERING PACKAGES AVAILABLE

hillgrovetap.com

\*Beer Selections are made in house and available in person

## WHITE WINE

	gl	btl
Farmhouse White Blend	\$8	\$32
Castle Rock Chardonnay '18	\$7	\$28
Hess Chardonnay '18	\$8	\$32
Double T Chardonnay '17	\$12	\$48
The Seeker Sauvignon Blanc '19	\$8	\$32
Milbrandt Traditions Pinot Gris '19	\$8	\$32
Four Graces Pinot Gris '19	\$12	\$48
Olianas Vermentino '19	\$12	\$48
California	\$8	\$32
Columbia Valley	\$7	\$28
Monterey Co, CA	\$8	\$32
Napa Valley	\$12	\$48
New Zealand	\$8	\$32
Columbia Valley, WA	\$8	\$32
Willamette Valley	\$12	\$48
Italy	\$12	\$48

## SPARKLING & ROSÉ

E. Guigal Cotes du Rhone Rose '20	France	\$9	\$36
Zonin Prosecco	Italy	\$8	\$32

## RED WINE

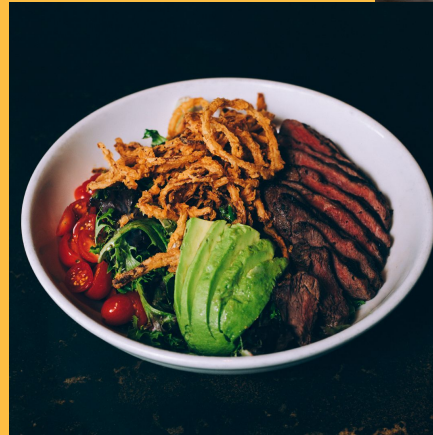
Avalon Red Blend '17	California	\$7	\$28
Castle Rock Pinot Noir '18	California	\$8	\$32
Raeburn Pinot Noir '19	Russian River Valley	\$59	
Tinto Negro Malbec '18	Uco Valley	\$10	\$40
Rabble Zinfandel '18	Paso Robles	\$12	\$48
Lyeth Cab Sauvignon '19	California	\$10	\$40
Durant & Booth Cab Sauvignon '18	Napa Valley	\$64	



**Let's talk business.**

Business has been strong at Hillgrove Tap, which employs about 35 people. We receive many compliments on our professional and overly friendly staff. We also take pride in hiring many local High School and College kids making sure to teach them about responsibility, hard work, and teamwork.

We were able to expand back in 2016 and turned some extra space it into a party room, which has seating for 50 guests. We do a lot of parties in there, and when we don't have parties, it's great for overflow.





# One Last Peek

VILLAGE OF TINLEY...



**BEER TO-GO  
CASE OFFERED!**



**MONDAY - FRIDAY 4-6PM  
HAPPY HOUR**

## DAILY SPECIALS

*Monday*  
**HOUSE MULES** \$6

*Tuesday*  
**SELECT CRAFT BEERS** \$5

*Wednesday*  
**HOUSE WHISKEY** \$5

*Thursday*  
**HALF-OFF ALL TAPS**

*Sunday*  
**MARGARITAS &  
BLOODY MARYS** for All day \$6

**More About Us Online**

[Instagram](#)

[Facebook](#)

[Our Website](#)



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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**ORDINANCE**  
**NO. 2022-O-009**

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**AN ORDINANCE INCREASING THE NUMBER OF CLASS “A” LIQUOR  
LICENSES – HILLGROVE TAP (9501 W 171<sup>st</sup> Street)**

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**MICHAEL GLOTZ, PRESIDENT**  
**NANCY M. O’CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-009****AN ORDINANCE INCREASING THE NUMBER OF CLASS “A” LIQUOR  
LICENSES – HILLGROVE TAP (9501 W 171<sup>st</sup> Street)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, pursuant to Title XI, Chapter 112, Section 22 of the Village Code, liquor licenses may be authorized by the President and Board of Trustees of the Village of Tinley Park and the number of liquor licenses authorized to be issued for each class shall be kept on record in the office of the Village Clerk; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the said Village of Tinley Park and its residents to amend Title XI, Chapter 112, Section 22 of the Village Code to increase the number of Class “A” licenses in the Village to twenty-one (21); and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

**SECTION 2:** Pursuant to Title XI, Chapter 112, Section 22 of the Village of Tinley Park Village Code, the number of Class “A” licenses that can be issued by the Village shall be twenty-one (21). This Ordinance reflects the availability of one Class “A” liquor license to be awarded to Hillgrove Tap – 9501 W 171<sup>st</sup> Street.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.



**SECTION 4:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

---

VILLAGE PRESIDENT

ATTEST:

---

VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-009, “AN ORDINANCE INCREASING THE NUMBER OF CLASS “A” LIQUOR LICENSES – HILLGROVE TAP (9501 W 171<sup>st</sup> Street)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-001**

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**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY  
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT AT CERTAIN  
PROPERTY FOR THE OAK RIDGE SUBDIVISION (DR HORTON – OAK RIDGE)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O’CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-001****AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY  
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT AT CERTAIN  
PROPOERTY FOR THE OAK RIDGE SUBDIVISION (DR HORTON – OAK RIDGE)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for the granting of a Special Use for Preliminary Approval of a Substantial Deviation for a Planned Unit Development to allow for the approved development of property located at the southeast corner of Ridgeland Ave. & Oak Forest Ave (excluding 17201 Ridgeland Ave), Tinley Park, Illinois ("Subject Property"), has been filed by DR Horton Inc – Midwest ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Special Use Permit and Preliminary Plat should be granted on December 16, 2021, at the Village Hall of this Village of Tinley Park ("Village"), at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 5-0 and has filed its report and findings and recommendations that the proposed Special Use and Plat be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report, findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special use; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.



**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Planned Unit Development set forth in Section VII.C, Special use standards in Section X.J.5., and the Site Plan and Architecture guidelines as set forth in Section III.U.6., and the proposed granting of the PUD and Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section VII.C. Standards: No Planned Unit Development (PUD) shall be authorized by the Village Board unless the following standards and criteria are met:

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village;
- B. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- F. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;
- H. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within the development;
- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.



X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *There is no danger to the public with additional residential housing proposed.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *Residential housing surrounds the development and residential uses are less intense than the former commercial and light industrial uses. The proposed zoning is a better fit for the area.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *The remaining land has been planned in concept to tie into the surrounding area's roads, utilities, sidewalks, and other development aspects. The remaining commercial areas have been planned for potential residential development in concept as well.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *There are adequate roadways, utilities, and drainage existing around the site and proposed throughout the new development.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
  - *The ingress and egress access points have been reviewed by the Village Engineer for their best placement on the site and for overall traffic flow for the area.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and
  - *The buildings will comply with all other code requirements of the Village not covered by an Exception to the Zoning Ordinance indicated in the PUD documents and plans.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.



- *The development will add additional residents that help support surrounding businesses and add additional property taxes where the vacant land currently provides minimal support to various public bodies.*

**SECTION 3:** The Special Use Permit set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:**

**PARCEL 1:**

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4); THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 358.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 1285.59 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28; THENCE SOUTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4, 544.91 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 758.60 FEET TO THE EAST LINE OF THE WEST 577.00 FEET OF SAID SOUTHWEST\* 1/4; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4, 521.12 FEET TO THE NORTH LINE OF THE SOUTH 703 FEET OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 57 MINUTES 33 SECONDS WEST, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4, 527.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 1066.33 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR



MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4): THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE 358.00 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 345.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 941.25 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE LAST DESCRIBED LINE, 902.43 FEET TO THE NORTH LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST ALONG THE LAST DESCRIBED LINE 282.49 FEET TO THE AFORESAID SOUTHEASTERLY LINE OF OAK FOREST AVENUE: THENCE SOUTH 61 DEGREES 29 MINUTES 52 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE, 747.91 FEET TO A LINE THAT IS 345.00 FEET EAST OF AND PARALLEL WITH THE AFORESAID EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, 545.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS. \*AMENDED SCRIVNER'S ERROR

PARCEL 3:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY (BY RECTANGULAR MEASUREMENT) OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE, SAID EAST LINE BEING 50 FEET EAST (BY RECTANGULAR MEASUREMENT) OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE EAST LINE OF RIDGELAND AVENUE A DISTANCE OF 298.00 TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE EAST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345.00 FEET; THENCE NORTH ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 491 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE AND MAKING AN ANGLE 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM NORTH TO EAST) A DISTANCE OF 290.14 FEET TO A POINT BEING 600 FEET EAST OF AND PARALLEL TO THE EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH ALONG A LINE MAKING AN ANGLE OF 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED



FROM SOUTHWESTERLY TO SOUTH) A DISTANCE OF 683.81 FEET TO A POINT OF INTERSECTION WITH A LINE, SAID LINE BEING DRAWN AT RIGHT ANGLES TO THE EAST LINE OF RIDGELAND AVENUE AND BEING 358 FEET SOUTH OF THE INTERSECTION OF THE SOUTH LINE OF OAK FOREST AVENUE AND THE EAST LINE OF RIDGELAND AVENUE; THENCE WEST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 600.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE; THENCE NORTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET TO THE POINT OF BEGINNING, (EXCEPT THEREFROM A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 298 FEET ALONG THE EAST LINE OF RIDGELAND AVENUE SOUTH FROM THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY BY RECTANGULAR MEASUREMENT OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILROAD COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST BY RECTANGULAR MEASUREMENT, OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4), THENCE SOUTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET, THENCE EAST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET, THENCE NORTH IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 60 FEET, THENCE WEST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET TO THE PLACE OF BEGINNING).

**PARCEL IDENTIFICATION NUMBERS:** 28-29-200-030-0000, 28-29-200-036-0000, and 28-29-300-041-0000

**COMMONLY KNOWN AS:** SEC Ridgeland Ave. & Oak Park Ave (previously referred to as 17301 Ridgeland Ave, 6301 Oak Forest Ave, 6200 175th St) but excluding 17201 Ridgeland Ave, Tinley Park, IL 60477

**SECTION 4:** That a Special Use Permit for a Preliminary Planned Unit Development for the Oak Ridge Subdivision at the Subject Property, in accordance with the "List of Reviewed Plans" attached hereto as **Exhibit A**, and subject to the following conditions, is hereby granted:

1. The PUD exceptions and restrictions from the Zoning Ordinance, as listed in the staff report (and below in the ordinance), shall be included within the Preliminary and Final PUD ordinance documents.
2. Final PUD and Plat Approval is required and shall be in substantial compliance with the plans, documents, findings, conditions, discussion, and agreements determined as part of the Preliminary PUD approval.
3. Final conditions, covenants, and restrictions (CC&Rs) shall be submitted outlining ownership and association responsibilities.
4. A Special Service Area (SSA) shall be established over the development at the time of Final Approval.
5. The public park design and layout shall be finalized at final approval. The timeline of completion and acceptance shall be agreed upon with the Tinley Park - Park District.



6. A cash-in-lieu payment for the sidewalks on Ridgeland Ave and Oak Forest Ave be submitted prior to issuance of any permits. The payment is currently estimated by the engineer at \$82,279 but is subject to changes related to increases in construction or material cost.
7. Final approval is subject to final engineering review and approval of all plans by the Village Engineer and any other jurisdictional approvals, including but not limited to Cook County DOT, MWRD, and IEPA.

**SECTION 5:** Any future final approval of the Oak Ridge Planned Unit Development shall be in substantial conformance with the approved plans and subject to the following additional allowances and restrictions from the Zoning Ordinance:

1. PUD Additional Allowances:
  - a) Permit no brick/masonry on the first-floor rear elevations of the single-family attached townhomes per the approved elevations.
  - b) Permit partial first-floor brick/masonry on the first-floor side elevation of the single-family attached townhomes per the approved elevations.
  - c) Permit the 81 detached single-family home lots to have a maximum of 40% lot coverage instead of the maximum 35% permitted by the Zoning Ordinance.
2. PUD Additional Restrictions:
  - a) The detached single-family home portion of the development is only permitted to have detached single-family homes and does not permit attached single-family, semi-detach single-family, or two-family residences typically permitted in R-5 zoning.
  - b) A minimum combined side yard setback of 15' between two neighboring principal structures is required, as opposed to the R-5 requirements of 5' minimum side yard setback and minimum 10' combined between structures.
  - c) Public right-of-way aprons and private driveways shall be limited to a width of 22' for two-car garages and 28' for three-car garages. These widths shall include any "flares" at the roadway.
  - d) No detached garages shall be permitted within the development.
  - e) Attached garages shall not be permitted to be converted to living space.
  - f) Any single-family home additions shall be constructed of matching masonry on the first floor, including sunrooms and three-season rooms.
  - g) Townhomes shall not be permitted any future building/structure additions including sunrooms, three-season rooms, etc.
  - h) Only detached single-family home and townhome elevations approved with the original PUD shall be constructed. Any other elevations shall require approval of a substantial deviation.
  - i) The association shall be required to enter into a parking enforcement agreement with the Village to allow Police enforcement of parking and traffic violations on any private roadways.
  - j) Parking restrictions on all private streets shall be the same as public streets and limited to one side of the roadway to allow for fire department and emergency response access.
  - k) A minimum of 50% of the front yard for single-family homes shall be pervious surface (landscaping, turf, etc.)

**SECTION 6:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.



**SECTION 7:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 8:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 4<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 4<sup>th</sup> day of January, 2022.

---

VILLAGE PRESIDENT

ATTEST:

---

VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )       SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-001, “AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT AT CERTAIN PROPOERTY FOR THE OAK RIDGE SUBDIVISION (DR HORTON – OAK RIDGE)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 4, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 4<sup>th</sup> day of January, 2022.

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VILLAGE CLERK



**Exhibit A – List of Reviewed Plans**

Submitted Sheet Name		Prepared By	Date On Sheet
14pgs	Workshop Presentation (key lot exhibit, parking exhibit, anti-monotony standards, etc.)	DRH	12-2-21
1pg	Project Narrative	DRH	10-15-21
2pgs	Plat of Topography	Mackle	6-23-21
2pgs	Alta Survey	Mackle	8-5-21
3pgs	Preliminary Site Plan	GRWA	11-24-21
1pg	Preliminary Zoning Analysis Table (To be revised at final approval)	DRH	10-15-21
5pgs	Preliminary Landscape Plan	GRWA	11-24-21
2pgs	Photometric Exhibit (To be revised at final approval)	Mackle	9-3-21
16pgs	Preliminary Engineering Plans	Mackle	12-8-21
1pg	Preliminary Signage Plans (Locations to be revised at final)	GRWA	10-15-21
72pgs	Single Family Detached Model Elevations (B&W)	Premier	11-5-21
7pgs	Single Family Detached Elevation Select Color Renderings	Premier	n/a
5pgs	Townhome Elevations and Renderings	Premier	11-5-21
1pg	Preliminary Plat of Subdivision	Mackle	12-7-21
51pgs	Traffic Study	GHA	8-31-21
1pg	Monotony Plan for Single Family Detached	DRH	n/a
1pg	Subdivision Specifications	DRH	n/a
1pg	Estimated Child Generation	DRH	8-31-21
7pgs	Market Study	HT	n/a
3pgs	Fence Details and Pictures	DRH	n/a
1pg	Park District Letter of Understanding	TPPD	12-2-21

DRH = DR Horton (Petitioner/Developer)

Mackle = Mackle Consultants, LLC (Surveying)

GRWA = Gary R. Weber Associates, Inc. (Land Planning, Landscape Arch.)

Premier = Premier Architecture, Inc. (Architect)

GHA = Gewalt Hamilton Associates, Inc. (Consulting Engineers)

HT = Housing Trends LLC (Market Consultant)

TPPD = Tinley Park – Park District









GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197

CLIENT



750 E. BUNKER COURT, SUITE 500  
VERNON HILLS, IL 60061

DWG. ENGINEER

**MACKIE CONSULTANTS**  
9575 W. HIGGINS ROAD  
SUITE 500  
ROSEMONT, ILLINOIS 60018

# OAK RIDGE

TINLEY PARK, ILLINOIS

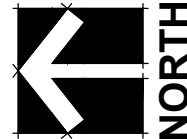
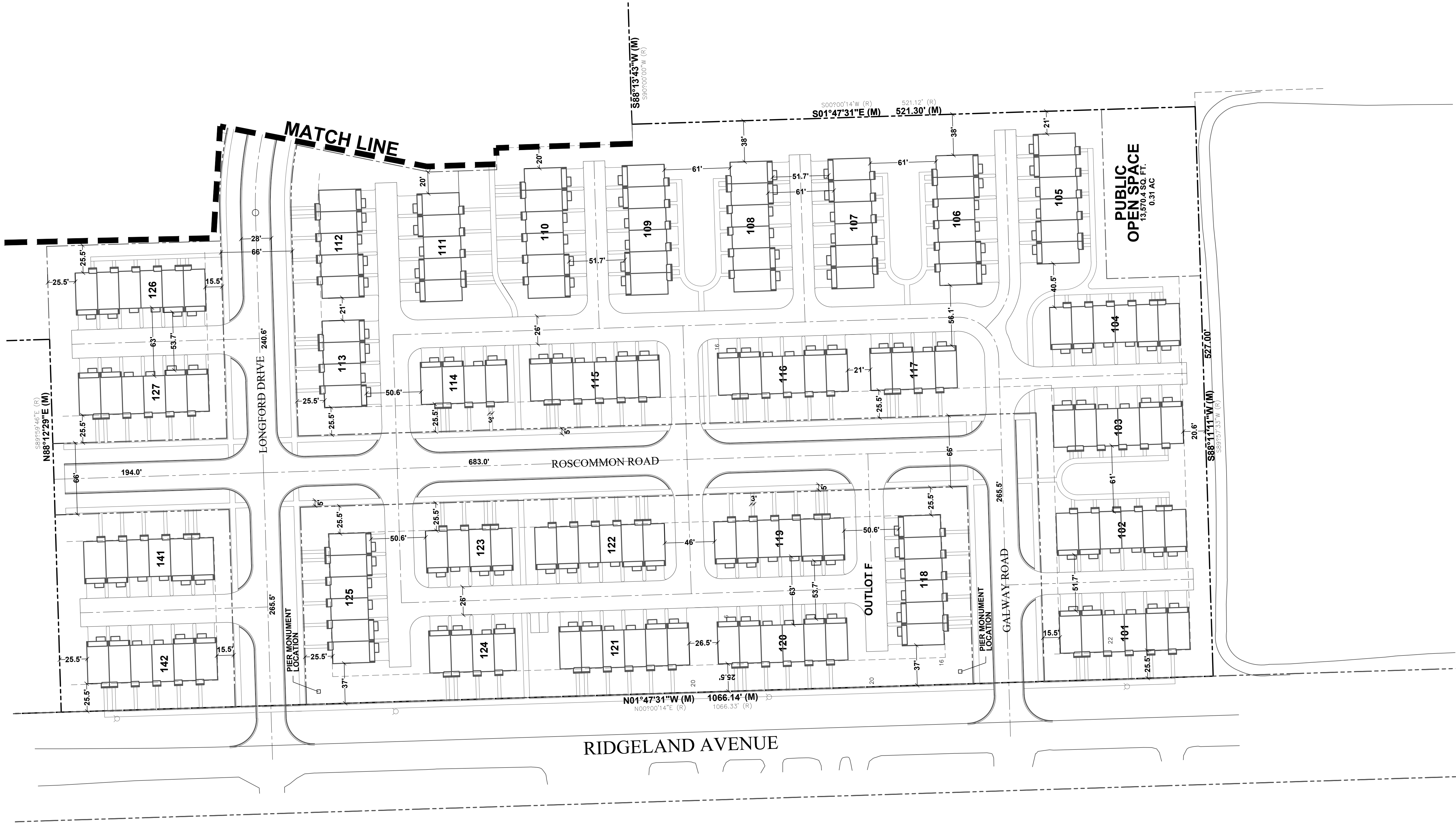
## PRELIMINARY SITE PLAN

2	11.24.2021
1	10.15.2021

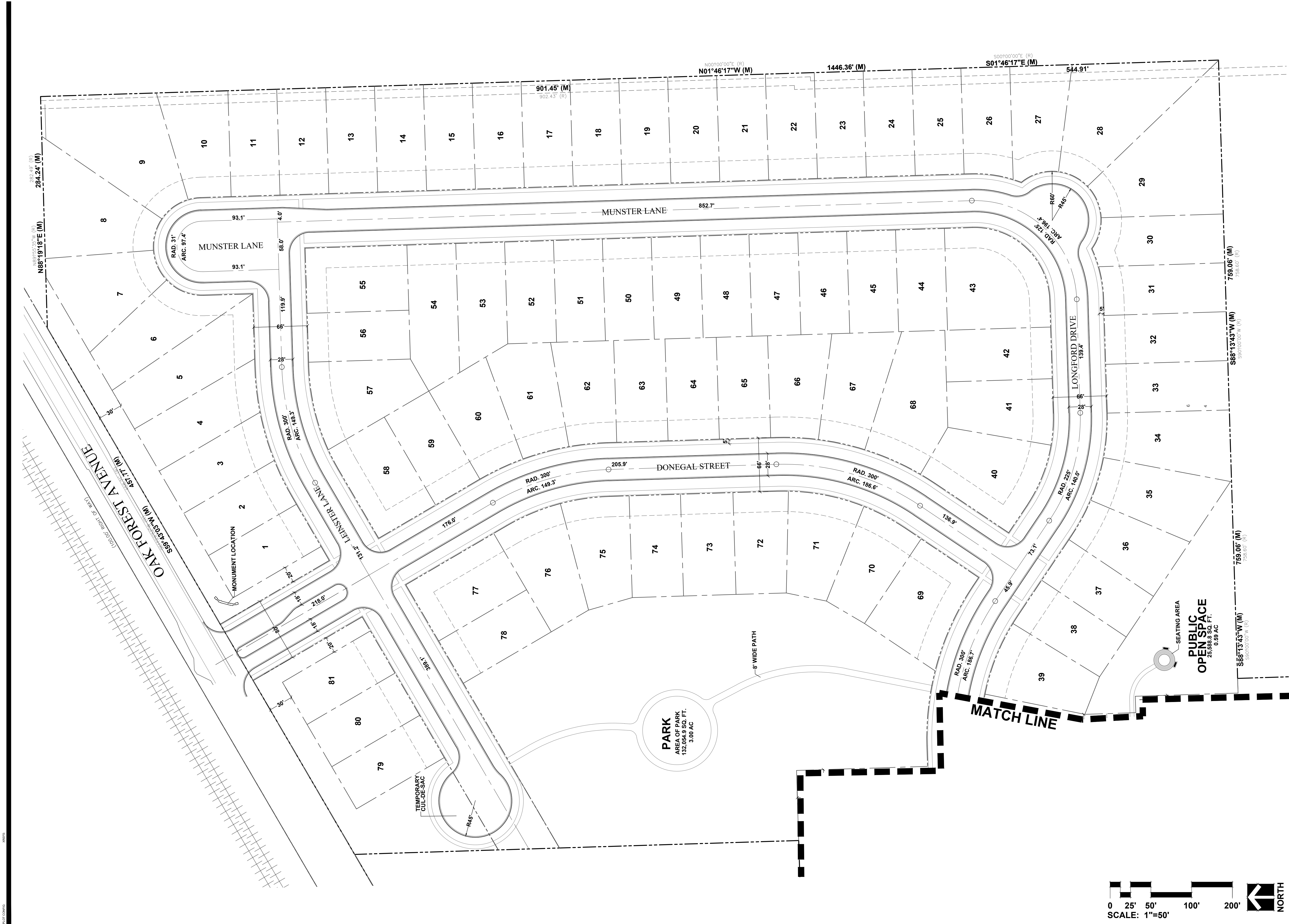
REVISIONS

DATE	
PROJECT NO.	DR1704
DRAWN	GFB
CHECKED	MGM
SHEET NO.	

2 OF 3







**GRWA**  
GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197

CLIENT  
**D-R-HORTON**  
*America's Builder*  
750 E. BUNKER COURT, SUITE 500  
VERNON HILLS, IL 60061  
DW: BRIGHT  
**MACKIE CONSULTANTS**  
9575 W. HIGGINS ROAD  
SUITE 500  
ROSEMONT, ILLINOIS 60018

# OAK RIDGE

TINLEY PARK, ILLINOIS

## PRELIMINARY SITE PLAN

REVISIONS	DATE
2	11.24.2021
1	10.15.2021

DATE  
PROJECT NO. DR1704  
DRAWN GFB  
CHECKED MGM  
SHEET NO.



Preliminary Landscape Plan

OAK RIDGE

Tinley Park, Illinois

November 24, 2021

CONSULTANTS:



LANDSCAPE ARCHITECT:  
GARY R. WEBER ASSOCIATES, INC  
402 W. LIBERTY DRIVE  
WHEATON, ILLINOIS 60187



CIVIL ENGINEER:  
MACKIE CONSULTANTS  
9575 W. HIGGINS ROAD, SUITE 500  
ROSEMONT, ILLINOIS 60018



LOCATION MAP

SCALE: 1"=600'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	OVERALL LANDSCAPE PLAN
2	PRELIMINARY LANDSCAPE PLAN
3	PRELIMINARY LANDSCAPE PLAN
4	LANDSCAPE DETAILS





LANDSCAPE REQUIREMENTS TABLE

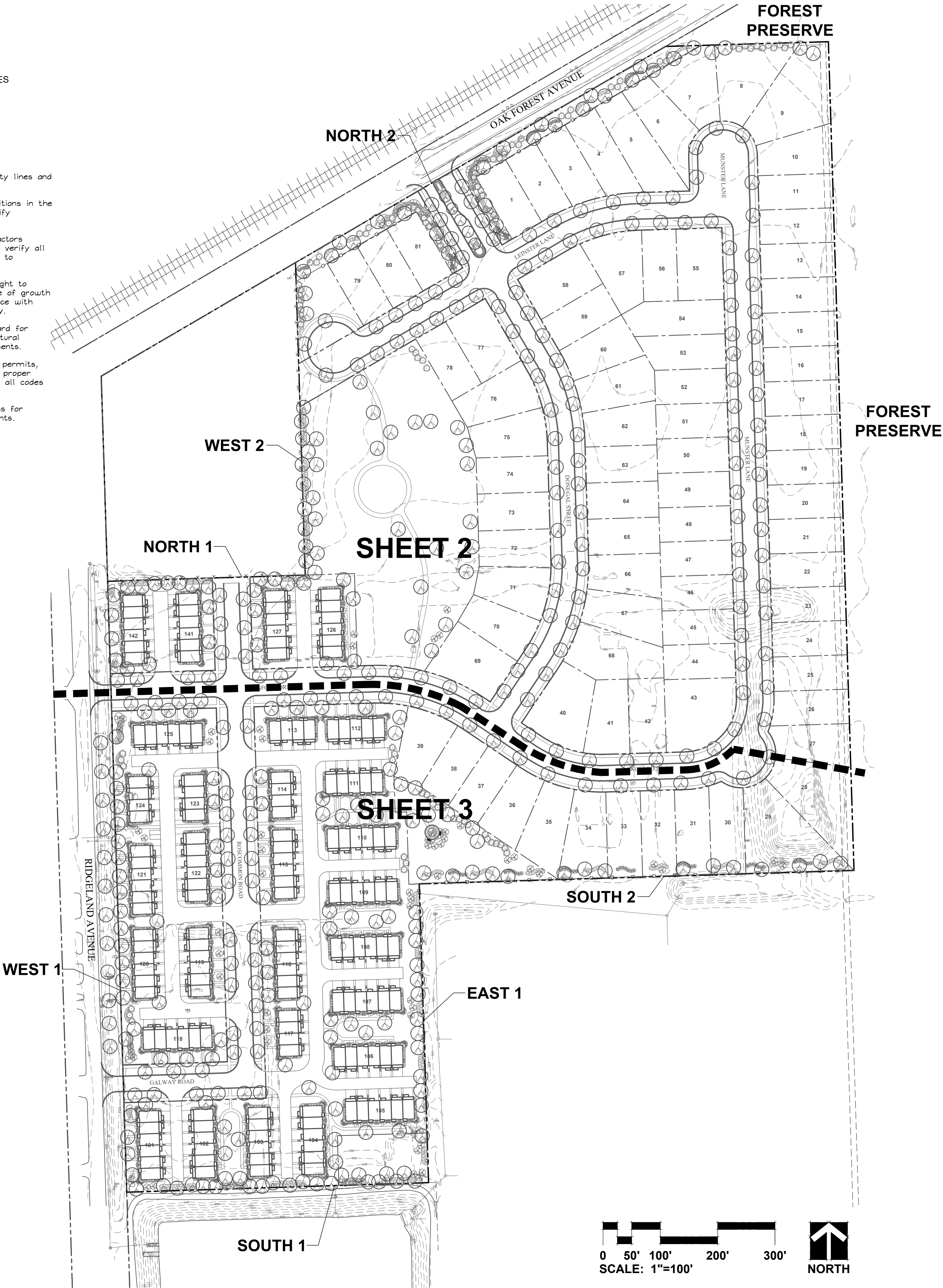
Buffer Yard Landscaping	
<b>North 1</b>	
<b>Bufferyard "D"</b>	
Length: 345'	
Width: 15'	
Note: Existing fence halves required plantings	
<b>Required: 6.6 / 2 = 3.3 Canopy Tree/ 100 L.F.</b>	
3.3 / 2 = 1.65 Understory Tree/ 100 L.F.	
28 / 2 = 14 Shrubs/ 100 L.F.	
345 L.F. / 100 = 11.4 Canopy Trees	
5.7 Understory Trees	
48.3 Shrubs	
<b>Provided:</b>	
12 Canopy Trees	
6 Understory Trees	
49 Shrubs	
<b>North 2</b>	
<b>Bufferyard "B"</b>	
Length: 748'	
Width: 20'	
Note: Proposed 6' fence halves required plantings	
<b>Required: 2.4 / 2 = 1.2 Canopy Tree/ 100 L.F.</b>	
0.6 / 2 = 0.3 Understory Tree/ 100 L.F.	
12 / 2 = 6 Shrubs/ 100 L.F.	
748 L.F. / 100 = 8.9 Canopy Trees	
2.2 Understory Trees	
44.9 Shrubs	
<b>Provided:</b>	
20 Canopy Trees	
34 Understory Trees	
119 Shrubs	
6' Board on Board Fence	
<b>West 1</b>	
<b>Bufferyard "B"</b>	
Length: 1065'	
Width: 20'	
<b>Required: 2.4 Canopy Tree/ 100 L.F.</b>	
.6 Understory Tree/ 100 L.F.	
12 Shrubs/ 100 L.F.	
1065 L.F. / 100 = 25.6 Canopy Trees	
6.4 Understory Trees	
127.8 Shrubs	
<b>Provided:</b>	
26 Canopy Trees	
6 Understory Trees	
84 Shrubs	
<b>West 2</b>	
<b>Bufferyard "D"</b>	
Length: 545'	
Width: 30'	
Note: Existing fence halves required plantings	
<b>Required: 6.6 / 2 = 3.3 Canopy Tree/ 100 L.F.</b>	
3.3 / 2 = 1.65 Understory Tree/ 100 L.F.	
28 / 2 = 14 Shrubs/ 100 L.F.	
545 L.F. / 100 = 18.0 Canopy Trees	
9.0 Understory Trees	
76.3 Shrubs	
<b>Provided:</b>	
18 Canopy Trees	
12 Understory Trees	
80 Shrubs	
<b>South 1</b>	
<b>Bufferyard "C"</b>	
Length: 527'	
Width: 15'	
Note: Proposed 6' fence halves required plantings	
<b>Required: 4.5 Canopy Tree/ 100 L.F.</b>	
1.8 Understory Tree/ 100 L.F.	
18 Shrubs/ 100 L.F.	
527 L.F. / 100 = 23.7 Canopy Trees	
9.5 Understory Trees	
94.9 Shrubs	
<b>Provided:</b>	
24 Canopy Trees	
10 Understory Trees	
95 Shrubs	
<b>South 2</b>	
<b>Bufferyard "C"</b>	
Length: 759'	
Width: 25'	
Note: Proposed 6' fence halves required plantings	
<b>Required: 3.5 / 2 = 1.75 Canopy Tree/ 100 L.F.</b>	
1.4 / 2 = 0.7 Understory Tree/ 100 L.F.	
14 / 2 = 7 Shrubs/ 100 L.F.	
759 L.F. / 100 = 13.2 Canopy Trees	
5.3 Understory Trees	
53.1 Shrubs	
<b>Provided:</b>	
15 Canopy Trees	
7 Understory Trees	
105 Shrubs	
<b>East 1</b>	
<b>Bufferyard "C"</b>	
Length: 521'	
Width: 15'	
Note: Proposed 6' fence halves required plantings	
<b>Required: 4.5 / 2 = 2.25 Canopy Tree/ 100 L.F.</b>	
1.8 / 2 = 0.9 Understory Tree/ 100 L.F.	
18 / 2 = 9 Shrubs/ 100 L.F.	
521 L.F. / 100 = 11.7 Canopy Trees	
4.7 Understory Trees	
46.7 Shrubs	
<b>Provided:</b>	
13 Canopy Trees	
9 Understory Trees	
47 Shrubs	

PARKWAY TREE REQUIREMENTS

**STREETS (9,809 L.F. FRONTAGE)**  
LANDSCAPING REQUIRED:  
1 SHADE TREE / 50 L.F. = 196 SHADE TREES  
  
LANDSCAPING PROVIDED:  
201 SHADE TREES

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



REPRESENTATIVE PLANT LIST

Key	Botanical/Common Name	Size	Remarks
	<b>SHADE TREES</b>		
	Acer x freemanii 'Autumn Blaze' MAPLE	2.5" Cal.	
	Acer x freemanii 'Marmo' 'Marmo' FREEMAN MAPLE	2.5" Cal.	
	Acer miyabei 'Morton' STATE STREET MAPLE	2.5" Cal.	
	Celtis occidentalis COMMON HACKBERRY	2.5" Cal.	
	Platanus x acerifolia 'Morton Circle' EXCLAMATION! LONDON PLANETREE	2.5" Cal.	
	Quercus imbricaria SHINGLE OAK	2.5" Cal.	
	Quercus bicolor SWAMP WHITE OAK	2.5" Cal.	
	Quercus macrocarpa BUR OAK	2.5" Cal.	
	Quercus rubra RED OAK	2.5" Cal.	
	Tilia americana 'McSentry' SENTRY AMERICAN LINDEN	2.5" Cal.	
	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	2.5" Cal.	
	Ulmus carpinifolia 'Regal' REGAL SMOOTHLEAF ELM	2.5" Cal.	
	<b>ORNAMENTAL TREES</b>		
	Amelanchier grandiflora APPLE SERVICEBERRY	6' Tall	Multi-stem
	Betula nigra RIVER BIRCH	6' Tall	Multi-stem
	Cornus mas CORNELIANCHERRY DOGWOOD	6' Tall	Multi-stem
	Crataegus crus-galli inermis THORNLESS COCKSPUR HAWTHORN	6' Tall	Multi-stem
	Malus 'Prairifire' PRAIRIFIRE CRABAPPLE	6' Tall	Multi-stem
	<b>EVERGREEN TREES</b>		
	Abies concolor WHITE FIR	6' Tall	
	Picea glauca 'Densata' BLACK HILLS SPRUCE	6' Tall	
	Picea pungens GREEN COLORADO SPRUCE	6' Tall	
	Pinus strobus EASTERN WHITE PINE	6' Tall	
	Thuja occidentalis 'Nigra' DARK GREEN ARBORVITAE	6' Tall	
	<b>DECIDUOUS SHRUBS</b>		
	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	36" Tall	5' O.C.
	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	24" Tall	4' O.C.
	Viburnum trilobum 'Hahn's' HAH'S CRANBERRYBUSH VIBURNUM	36" Tall	4' O.C.
	Viburnum x juddii JUDD VIBURNUM	36" Tall	4' O.C.
	Weigela florida 'Bramwell' FINE WINE WEIGELA	24" Tall	3' O.C.
	<b>EVERGREEN SHRUBS</b>		
	Buxus 'Glencoe' CHICAGOLAND GREEN BOXWOOD	24" Wide	3' O.C.
	Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER	24" Wide	4' O.C.
	Juniperus chinensis 'Seagreen' SEA GREEN JUNIPER	24" Wide	4' O.C.
	Juniperus virginiana 'Blue Mountain' NORDIC BLUE JUNIPER	24" Wide	4' O.C.
	<b>PERENNIALS AND ORNAMENTAL GRASSES</b>		
	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
	Echinacea 'CBG Cone 2' PIXIE MEADOWBRITE CONEFLOWER	#1	18" O.C.
	Panicum virgatum 'Heavy Metal' HEAVY METAL SWITCHGRASS	#1	24" O.C.
	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
	Sporobolus heterolepis PRAIRIE DROPSOED	#1	18" O.C.

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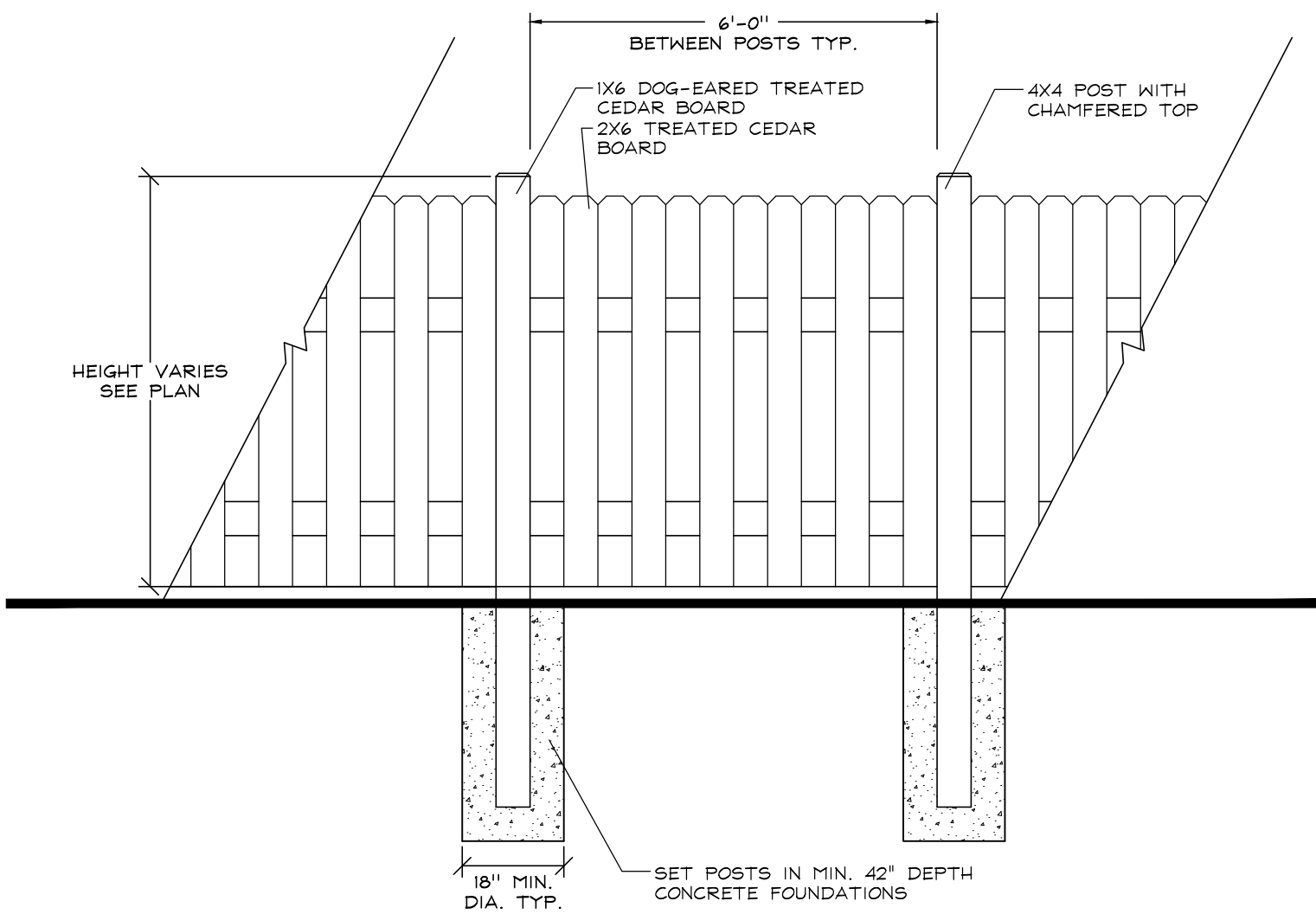
OAK RIDGE  
TINLEY PARK, ILLINOIS  
OVERALL LANDSCAPE PLAN

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1	10.15.2021

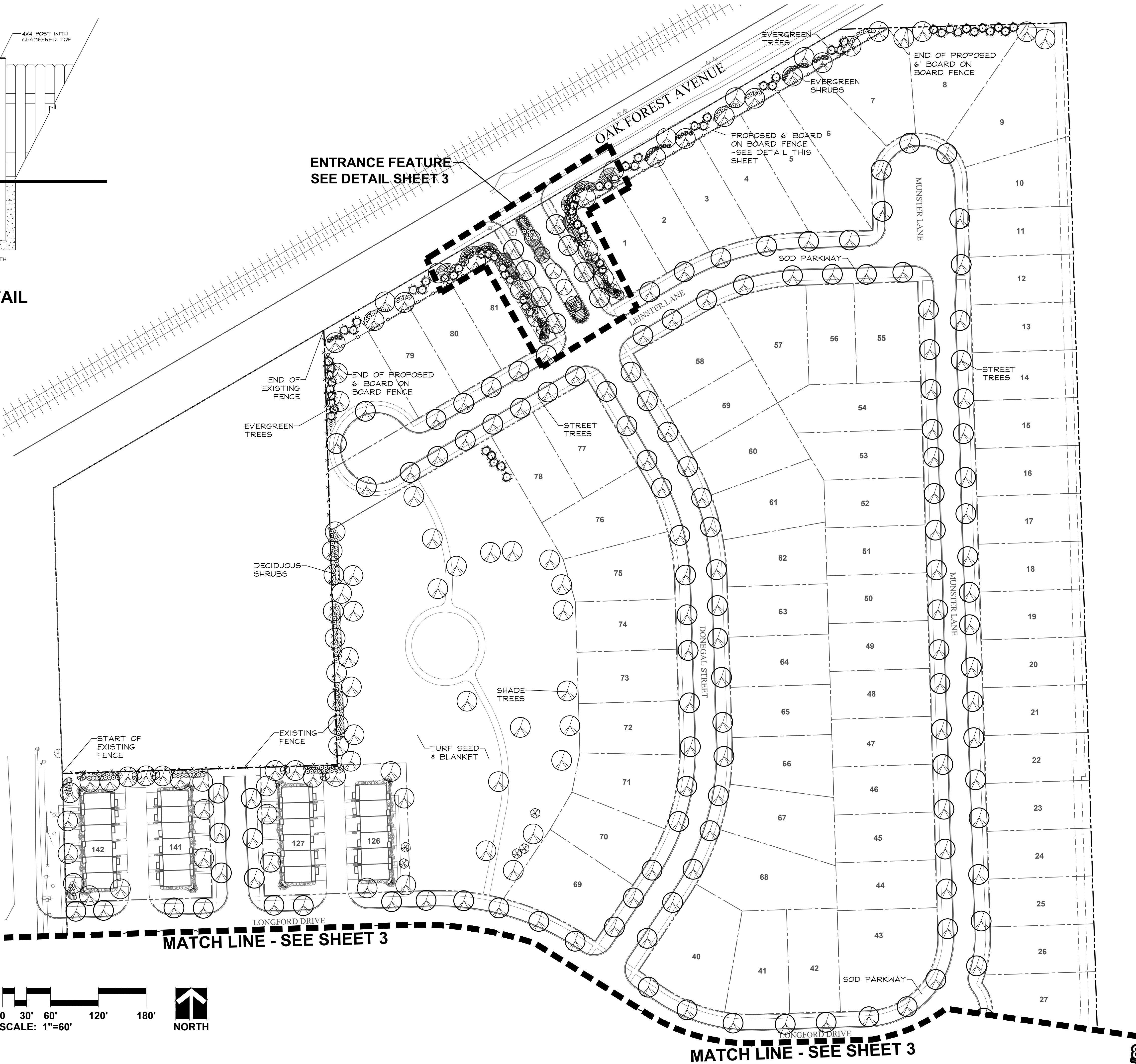
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6' BOARD ON BOARD FENCE DETAIL  
SCALE: N.T.S.



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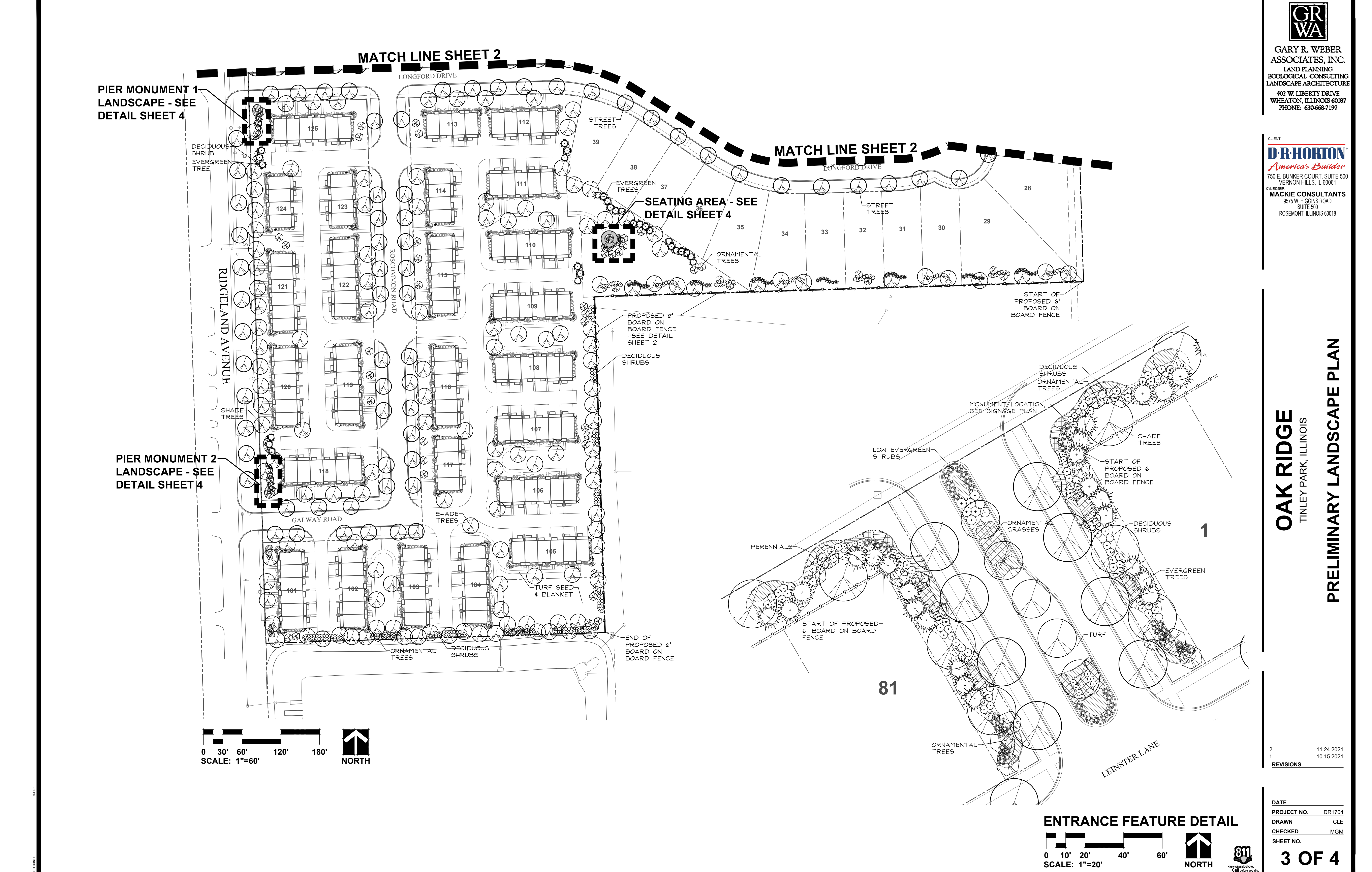
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**PRELIMINARY LANDSCAPE PLAN**

2	11.24.2021
1	10.15.2021
REVISIONS	

DATE  
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**2 OF 4**





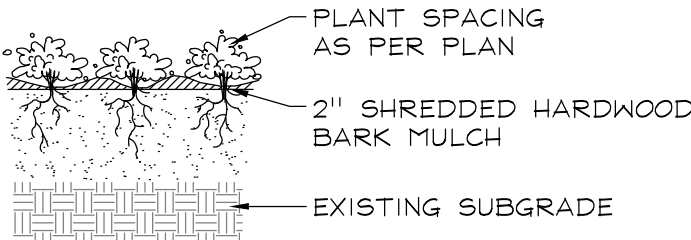
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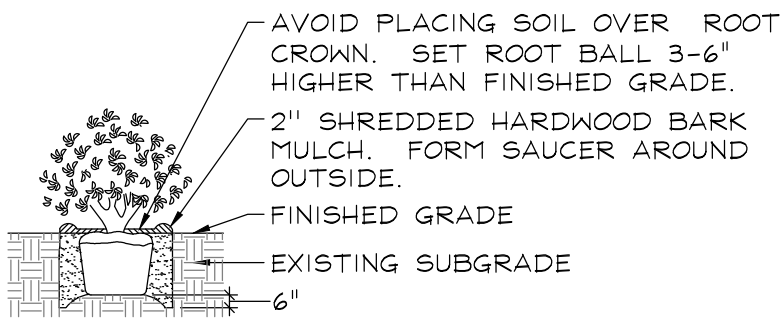
**OAK RIDGE**  
TINLEY PARK, ILLINOIS  
**PRELIMINARY LANDSCAPE PLAN**



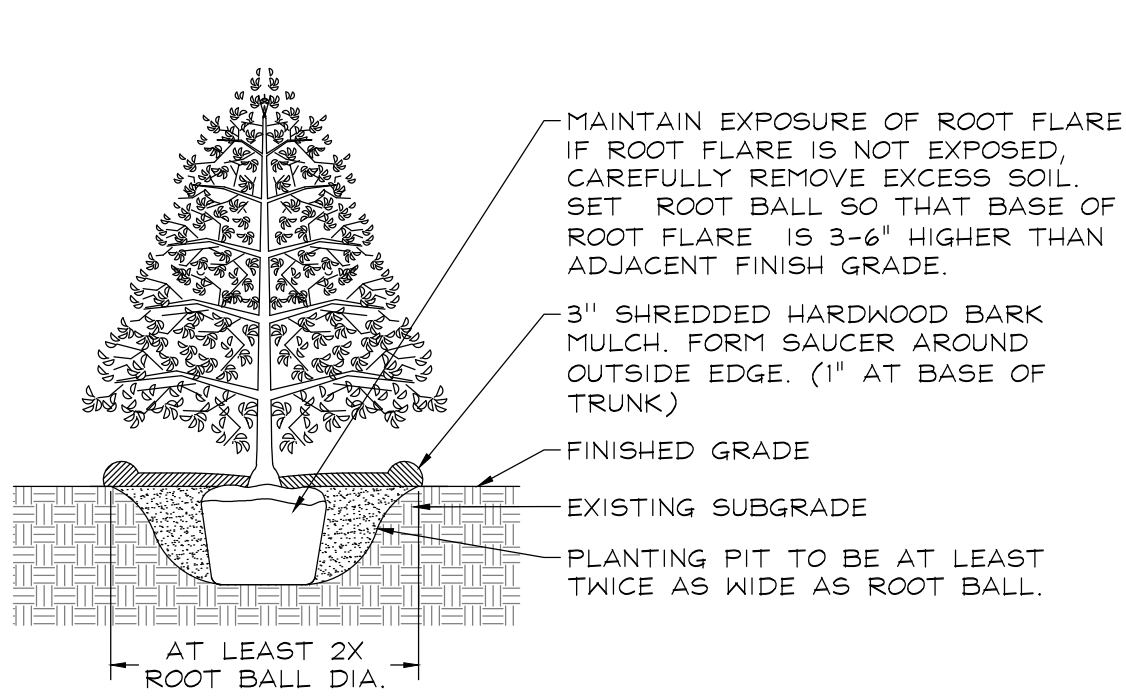
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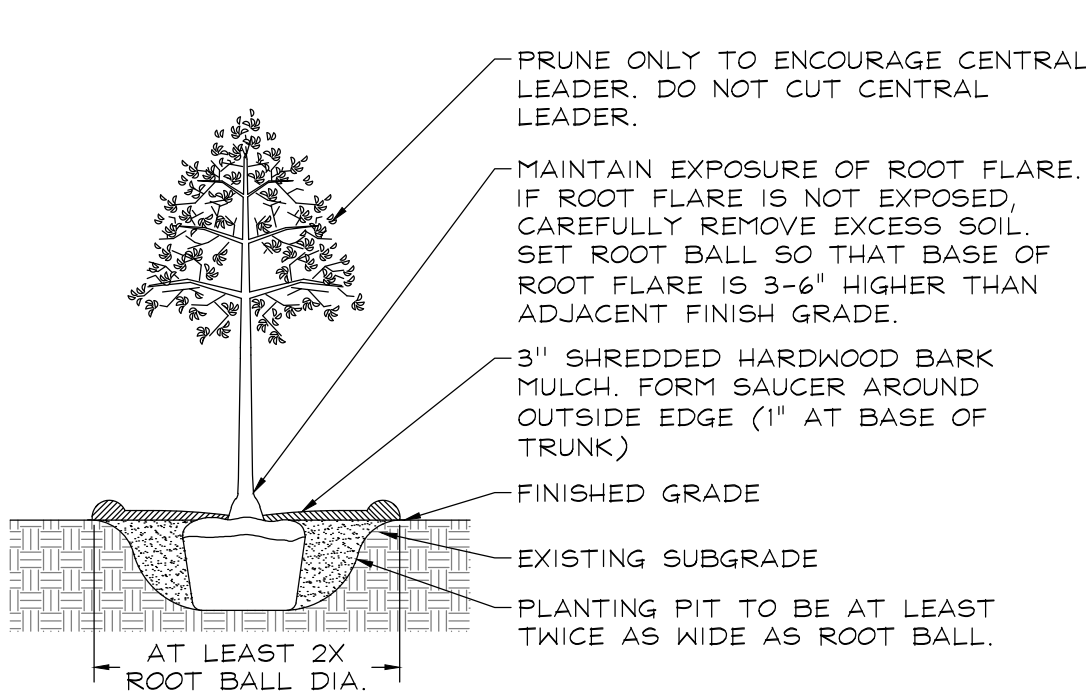
PERENNIALS AND GROUNDCOVERS  
NOT TO SCALE



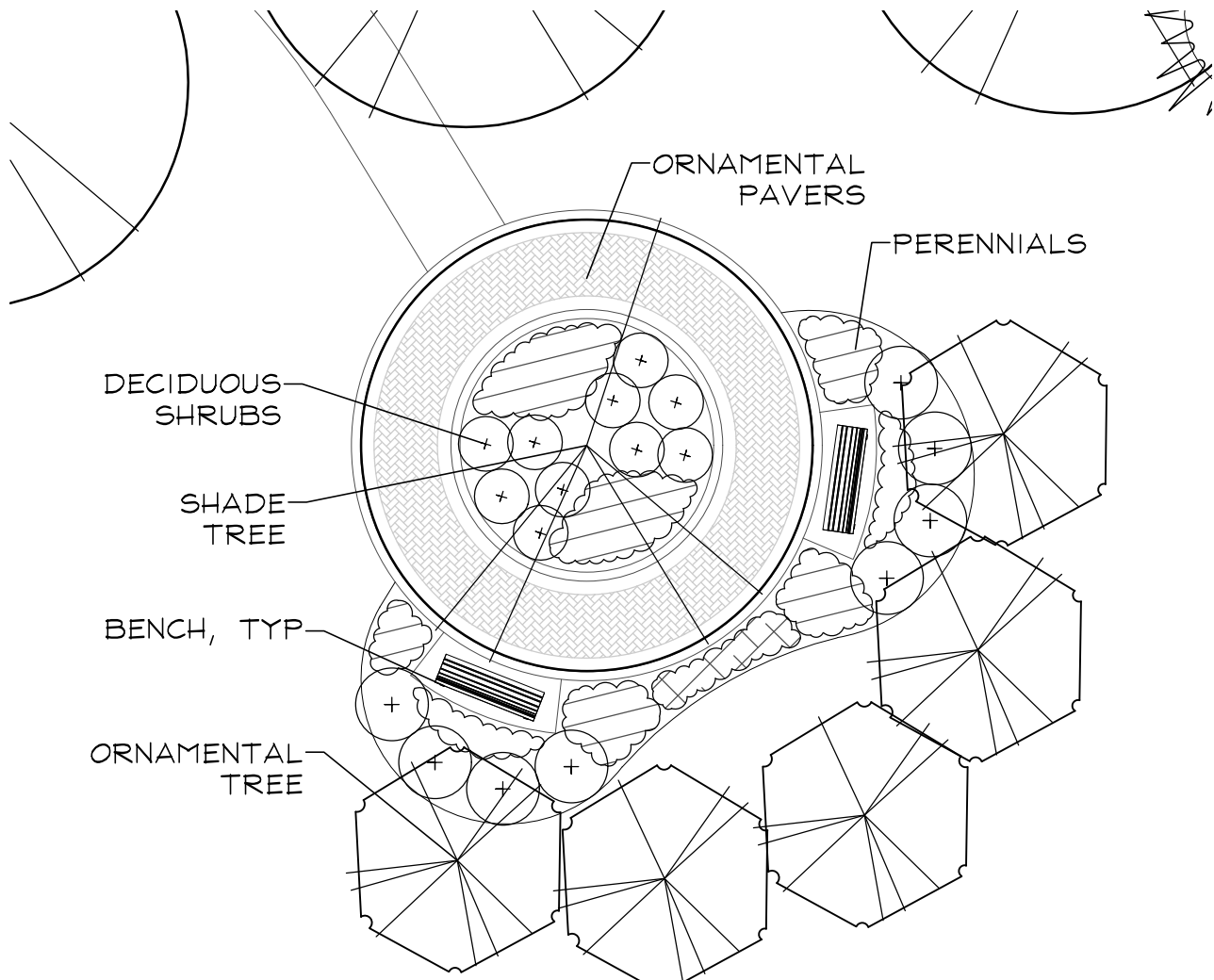
DECIDUOUS AND EVERGREEN SHRUBS  
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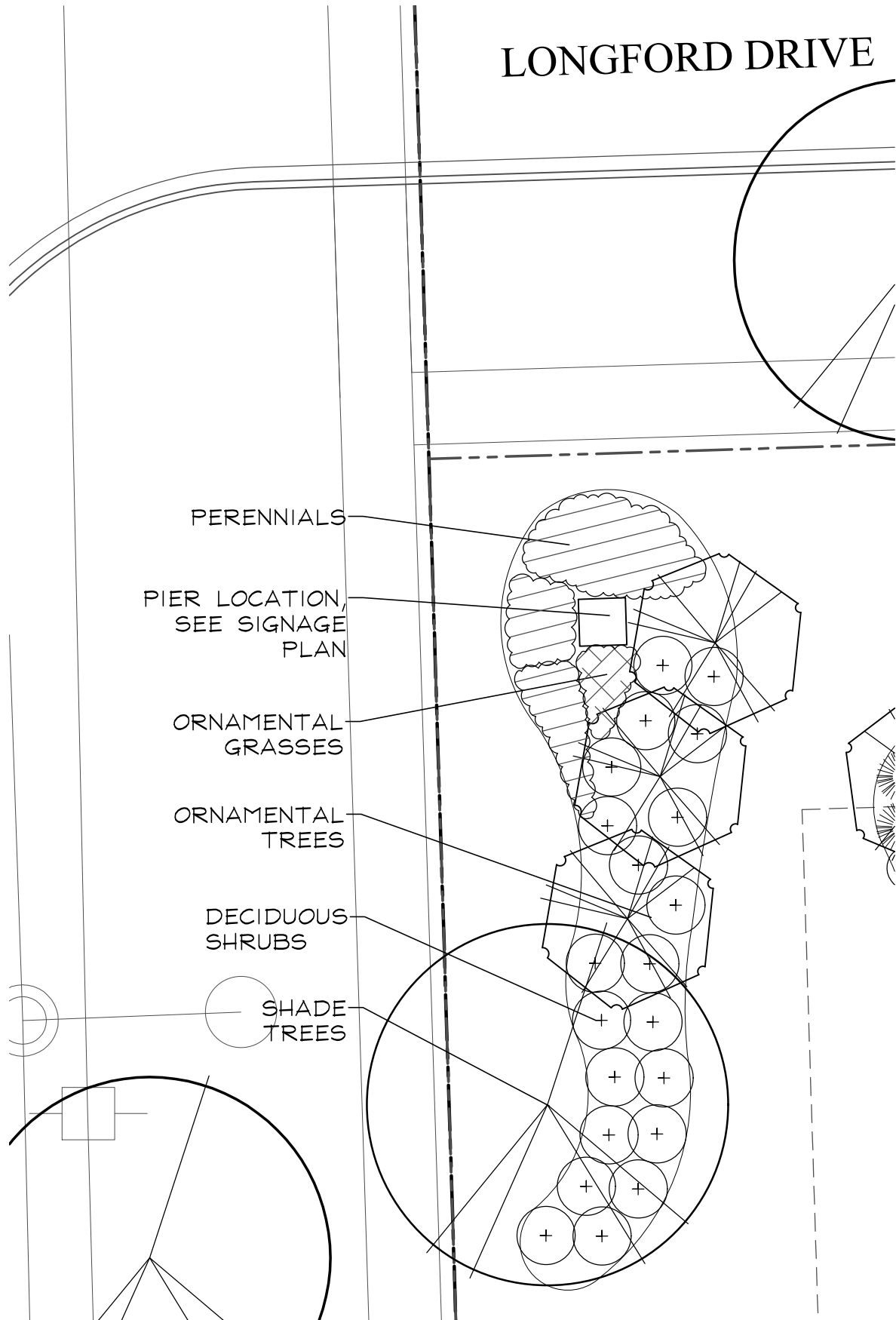
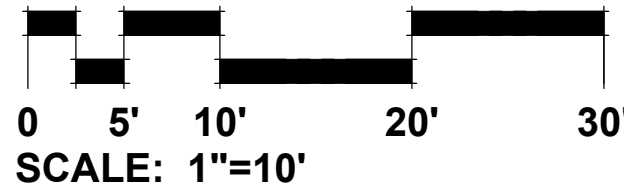
EVERGREEN TREES  
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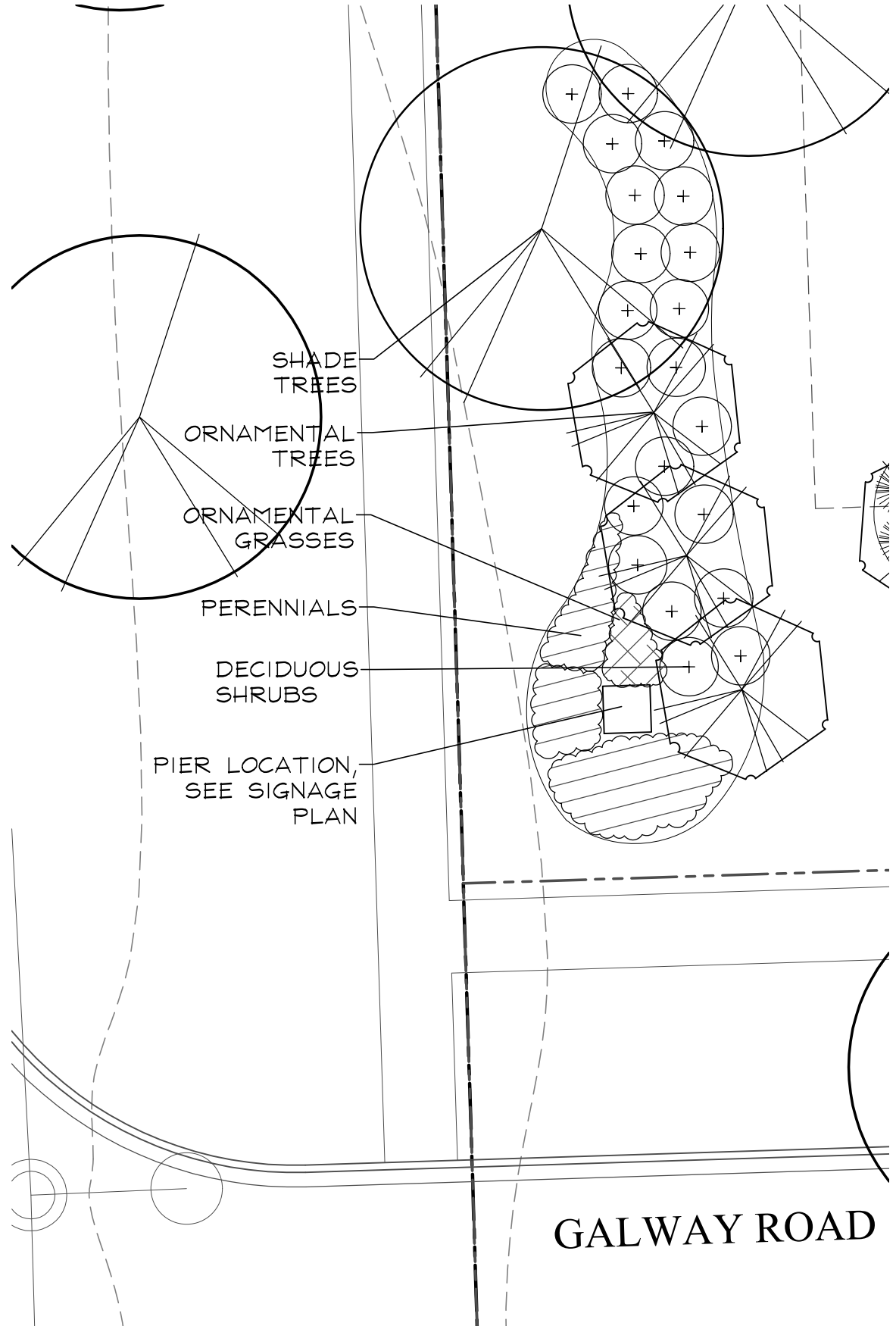
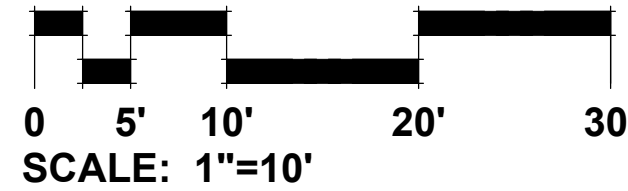
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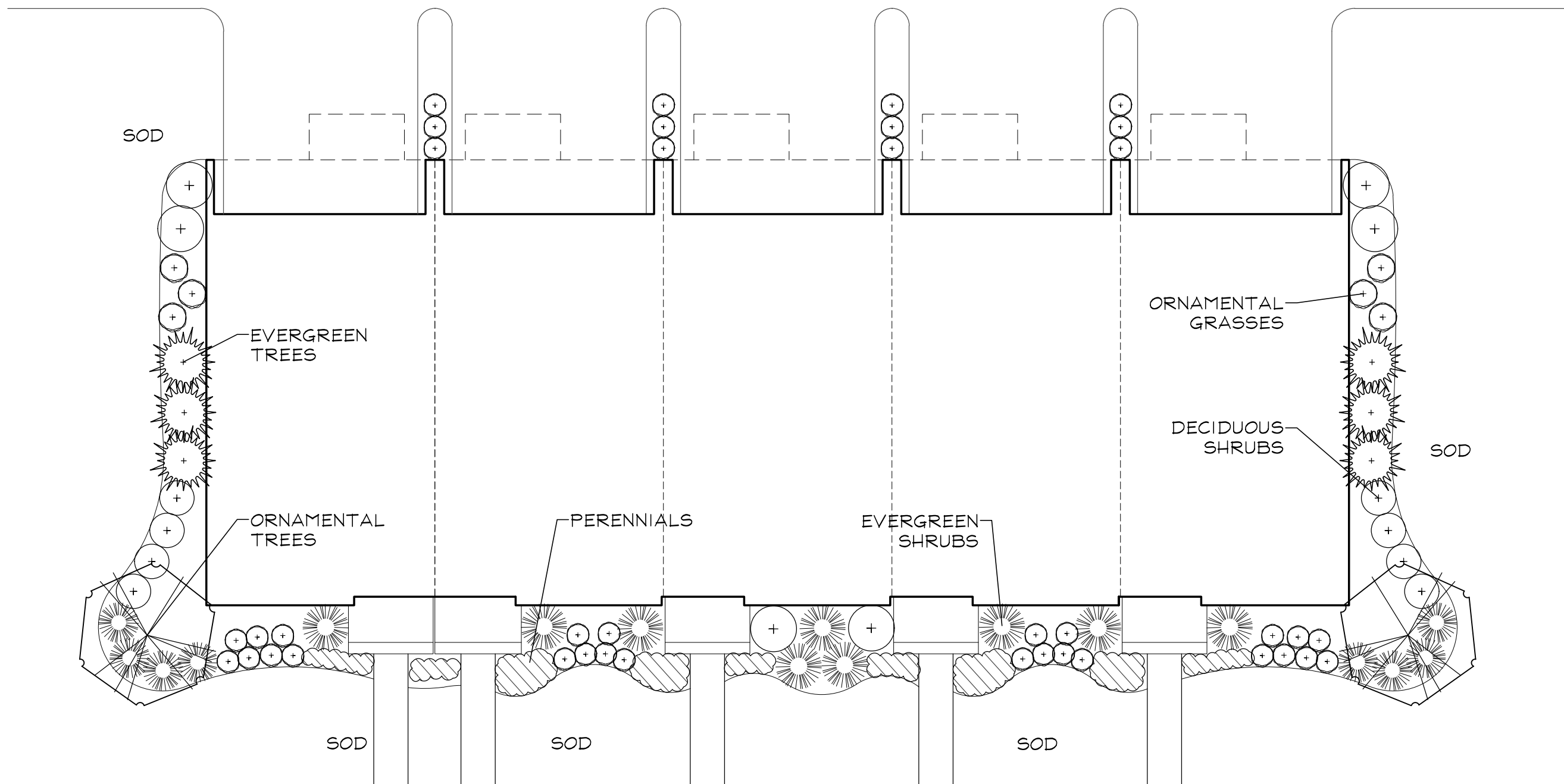
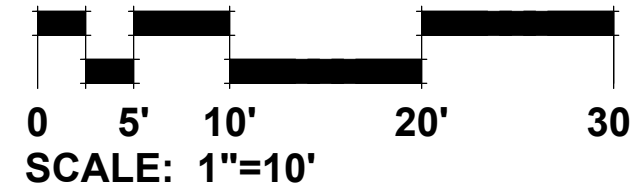
SEATING AEA LANDSCAPE DETAIL



PIER MONUMENT 1 LANDSCAPE DETAIL



PIER MONUMENT 2 LANDSCAPE DETAIL



TYPICAL REAR-LOAD TOWNHOME  
FOUNDATION LANDSCAPE PLAN  
SCALE: 1"=10'

TYPICAL FOUNDATION PLAN  
(NORTH FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
	ORNAMENTAL TREES		
	Malus 'Jewelcole' RED JEWEL GRABAPPLE	6' Ht.	Clump form
	Magnolia stellata 'Royal Star' ROYAL STAR MAGNOLIA	6' Ht.	Clump form
	EVERGREEN TREES		
	Thuja occidentalis 'Smaragd' EMERALD GREEN ARBORVITAE	6' Tall	
	DECIDUOUS SHRUBS		
	Cornus sericea 'Bailey' BAILEY'S REDTING DOGWOOD	36" Tall	5' O.C.
	Anonia melanocarpa 'Morton' IROQUOIS BEAUTY CHOKEBERRY	24" Tall	3' O.C.
	Hydrangea quercifolia 'Alice' OAKLEAF HYDRANGEA	36" Tall	4' O.C.
	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	24" Tall	4' O.C.
	Viburnum 'Juddii' JUDD VIBURNUM	36" Tall	5' O.C.
	EVERGREEN SHRUBS		
	Juniperus sabina 'Blue Forest' BLUE FOREST JUNIPER	24" Wide	4' O.C.
	Taxus x media 'Densiformis' DENSE YEW	24" Wide	4' O.C.
	ORNAMENTAL GRASSES		
	Calamagrostis acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	24" O.C.
	Pennisetum alopecuroides 'Hameln' DWARF FOUNTAIN GRASS	#1	24" O.C.
	PERENNIALS		
	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
	Hosta 'Patriot' PATRIOT HOSTA	#1	18" O.C.
	Heuchera 'Georgia Peach' GEORGIA PEACH CORAL BELLS	#1	18" O.C.

TYPICAL FOUNDATION PLAN  
(SOUTH FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
	ORNAMENTAL TREES		
	Amelanchier x grandiflora APPLE SERVICEBERRY	6' Ht.	Clump form
	Cornus mas CORNELIANCHERRY DOGWOOD	6' Ht.	Clump form
	EVERGREEN TREES		
	Thuja occidentalis 'Techny' MISSION ARBORVITAE	6' Tall	
	DECIDUOUS SHRUBS		
	Forsythia x intermedia 'New Hampshire Gold' NEW HAMPSHIRE GOLD FORSYTHIA	36" Tall	5' O.C.
	Forsythia 'nimbus' SHOW OFF SUGAR BABY FORSYTHIA	24" Tall	
	Hydrangea paniculate 'Bulk' QUICKFIRE HYDRANGEA	36" Tall	4' O.C.
	Weigela florida 'Bokrasopin' SONIC BLOOM PINK WEIGELA	24" Tall	4' O.C.
	Cotinus coggygria 'NCCOI' WINECRAFT BLACK SMOKEBUSH	36" Tall	5' O.C.
	EVERGREEN SHRUBS		
	Pinus mugo 'Sloumound' DWARF MOUNTAIN PINE	24" Wide	4' O.C.
	Buxus 'Glencoe' CHICAGOLAND GREEN BOXWOOD	24" Wide	4' O.C.
	ORNAMENTAL GRASSES		
	Miscanthus sinensis 'Purpurascens' PURPLE MAIDEN GRASS	#1	24" O.C.
	Sporobolus heterolepis PRAIRIE DROPSOED	#1	18" O.C.
	PERENNIALS		
	Phlox 'Forever Pink' FOREVER PINK PHLOX	#1	12" O.C.
	Liriope muscari 'Big Blue' BIG BLUE LILYTURF	#1	18" O.C.
	Hemerocallis 'Rosy Returns' ROSY RETURNS DAYLILY	#1	18" O.C.

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OAK RIDGE  
TINLEY PARK, ILLINOIS  
LANDSCAPE DETAILS

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2	11.24.2021
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# PRELIMINARY ENGINEERING PLANS

## OAK RIDGE SUBDIVISION

## TINLEY PARK, ILLINOIS

LEGEND

EXISTING

8" PVC

FM

12" RCP

UD

WM

OH

OH

E

E

NWL XXX

XXX.XX

TC XXX.XX

TDC XXX.XX

P XXX.XX

XXX.XX

FP + XXXXX

TP + XXXXX

GP + XXXXX

PROPOSED

8" PVC

FM

12" RCP

UD

WM

OH

OH

E

E

NWL XXX

XXX.XX

TC XXX.XX

TDC XXX.XX

P XXX.XX

XXX.XX

FP + XXXXX

TP + XXXXX

GP + XXXXX

SANITARY SEWER

FORCE MAIN

STORM SEWER

UNDERDRAIN

MANHOLE

CATCH BASIN

INLET

CLEANOUT

WATER MAIN

VALVE VAULT

VALVE BOX

FIRE HYDRANT

FLARED END SECTION

COMBINED SEWER

STREET LIGHT/PARKING LOT LIGHT

POWER POLE

STREET SIGN

FENCE

GAS MAIN

OVERHEAD LINE

TELEPHONE LINE

ELECTRIC LINE

CABLE TV LINE

HIGH WATER LEVEL

NORMAL WATER LEVEL

CONTOUR LINE

TOP OF CURB ELEVATION

TOP OF DEPRESSED CURB

PAVEMENT ELEVATION

SPOT ELEVATION

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION

GRADE AT FOUNDATION

HIGH OR LOW POINT

OVERLAND FLOOD ROUTE

PAVEMENT FLOW DIRECTION

SWALE FLOW DIRECTION

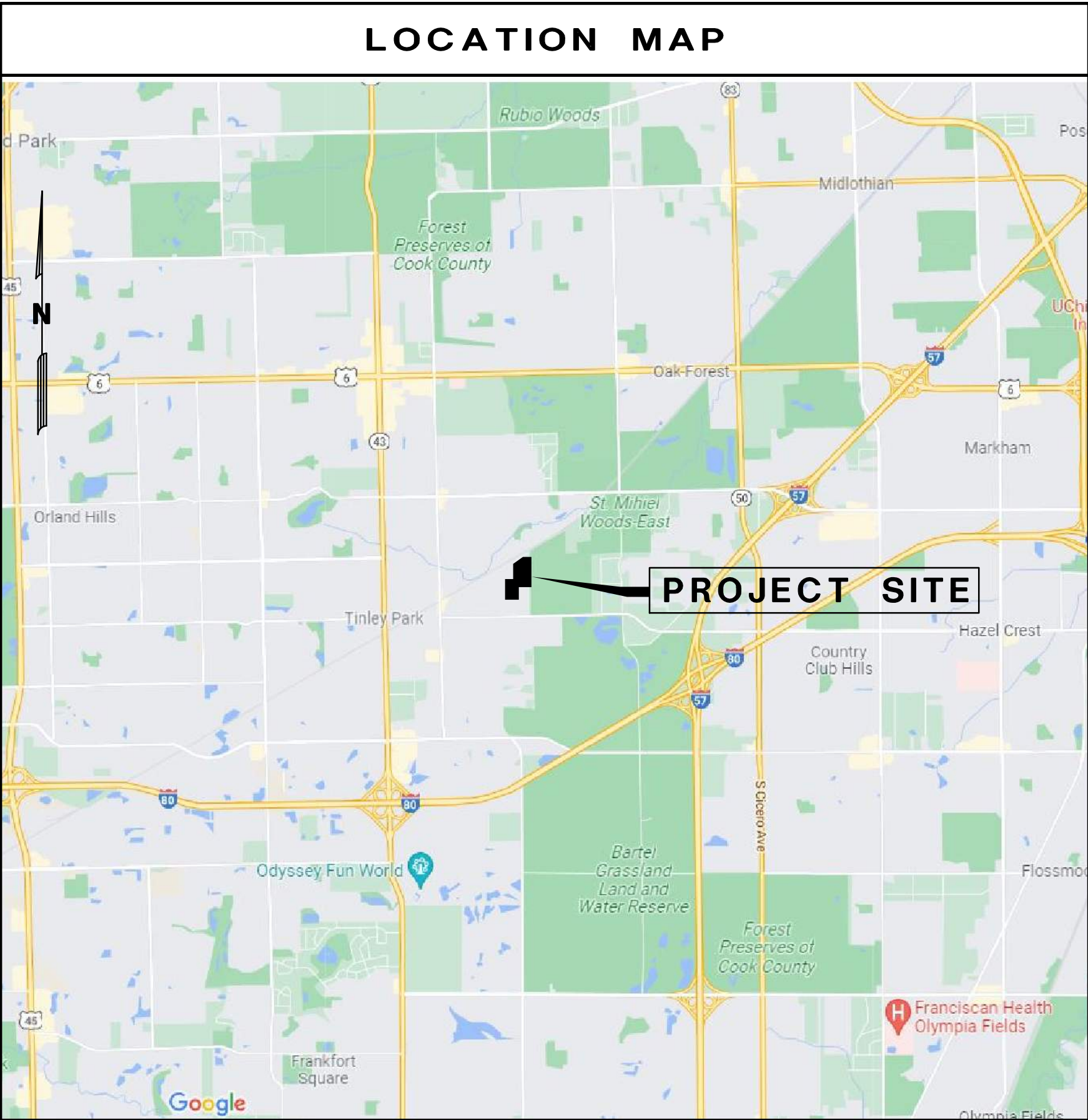
DEPRESSED CURB AND GUTTER

REVERSE CURB AND GUTTER

INDEX OF SHEETS

1	COVER SHEET
2	OVERALL SITE PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	PRELIMINARY GRADING PLAN - NORTHEAST
5	PRELIMINARY GRADING PLAN - EAST
6	PRELIMINARY GRADING PLAN - SOUTHEAST
7	PRELIMINARY GRADING PLAN - NORTHWEST
8	PRELIMINARY GRADING PLAN - WEST
9	PRELIMINARY GRADING PLAN - SOUTHWEST
10	PRELIMINARY OVERALL UTILITY PLAN
11	PRELIMINARY UTILITY PLAN - NORTHEAST
12	PRELIMINARY UTILITY PLAN - EAST
13	PRELIMINARY UTILITY PLAN - SOUTHEAST
14	PRELIMINARY UTILITY PLAN - NORTHWEST
15	PRELIMINARY UTILITY PLAN - WEST
16	PRELIMINARY UTILITY PLAN - SOUTHWEST

NOT FOR CONSTRUCTION



THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

ABBREVIATIONS

AC	ACRE	HWL	HIGH WATER ELEVATION	SAN	SANITARY SEWER
BC	BACK OF CURB	INL	INLET	SMH	SANITARY MANHOLE
BTM	BOTTOM	INV	INVERT	STA	STATION
CB	CATCH BASIN	LF	LINEAL FEET/FOOT	STM	STORM SEWER
CFS	CUBIC FEET PER SECOND	LP	LIGHT POLE	SY	SQUARE YARD
CY	CUBIC YARD	LT	LEFT	SWPP	STORMWATER POLLUTION PREVENTION PLAN
DIA	DIAMETER	L/W	LOWEST GRADE ADJACENT TO RETAINING WALL	TDC	TOP OF DEPRESSED CURB
DWM	DUCTILE IRON WATER MAIN	MAX	MAXIMUM	TC	TOP OF CURB
EL	ELEVATION	MH	MANHOLE	TF	TOP OF FOUNDATION
EP	EDGE OF PAVEMENT	MIN	MINIMUM	T/W	TOP OF RETAINING WALL
FF	FINISHED FLOOR	NWL	NORMAL WATER ELEVATION	TYP	TYPICAL
FES	FLARED END SECTION	OCS	OUTLET CONTROL STRUCTURE	VB	VALVE BOX
FT	FOOT/FEET	P	PAVEMENT ELEVATION	VC	VERTICAL CURVE
G	GUTTER ELEVATION	PVC	POLYVINYL CHLORIDE PIPE	VV	VALVE VAULT
GF	GRADE AT FOUNDATION	R	RADIUS	W	WALK ELEVATION
GR	GRADE RING ELEVATION	RCP	REINFORCED CONCRETE PIPE	WM	WATER MAIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE	RT	RIGHT	VP1	VERTICAL POINT OF INTERSECTION
HYD	FIRE HYDRANT	ROW	RIGHT OF WAY		
HMA	HOT MIX ASPHALT				

BENCHMARKS

SOURCE BENCHMARK: C006/AJ2772  
STATION IS LOCATED IN THE CITY LIMITS OF OAK FOREST IN SECTION 20, T36N, R13E. TO REACH FROM THE JUNCTION OF IL RT 43 AND RT 6 PROCEED 1.5 MI EAST ON US RT 6, LOCATED 1.6 MI WEST OF RT 50 (CICERO) AND 110 EAST OF CENTERLINE OF ARROYO DR ON FOREST PRESERVE PROPERTY. STATION IS 61 FT SOUTHWEST OF A LIGHTPOLE, 45 FT SOUTH OF THE EASTBOUND CENTERLINE OF RT 6, 35 FT SOUTHWEST OF AN INLET, 47 FT SOUTHEAST OF A TRAFFIC SIGNAL POLE, 29 FT NORTH OF THE CENTERLINE OF THE BIKEPATH, 46 FT EAST OF CENTERLINE OF BIKE PATH, 30 FT SOUTH OF THE BACK OF CURB OF RT 6, AND 2 FT NORTH OF AN ORANGE FIBERGLASS WITNESS POST. NOTE - ACCESS TO DATUM POINT THROUGH 6 INCH LOGO CAP. DATUM POINT IS 0.45 FT BELOW CAP. THE ROD WAS DRIVEN TO REFUSAL AND ANCHORED. PK ELEVATION = 697.51 (NAVD 88)

SITE BENCHMARK #1:  
IRON ROD WITH CAP LOCATED ON A SOUTH LINE OF PARCEL ONE 320.6 FEET WEST OF THE SOUTHEAST CORNER, 8.0 FEET SOUTH OF HMA PAVEMENT, AND 25.0' NORTHWEST OF AFLARED END SECTION.  
ELEVATION = 699.41

SITE BENCHMARK #2:  
IRON ROD WITH CAP LOCATED ON NORTH SIDE OF OAK FOREST AVENUE, 3.8 FEET NORTHWEST OF EDGE OF PAVEMENT, AND 118.3 FEET NORTHEAST OF A TELE HAND HOLE.  
ELEVATION = 701.54

JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS

Call 48 hours before you dig  
(Excluding Sat, Sun, & Holidays)  
1-800-892-0123

NOTES:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:

- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
- STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
- VILLAGE OF TINLEY PARK MUNICIPAL ORDINANCE

IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

LICENSED ENGINEER

ENGINEER'S SEAL

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COVER SHEET  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS

SHEET	1 OF 16
PROJECT NUMBER:	3603
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- SITE PLAN GENERAL NOTES
1. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.

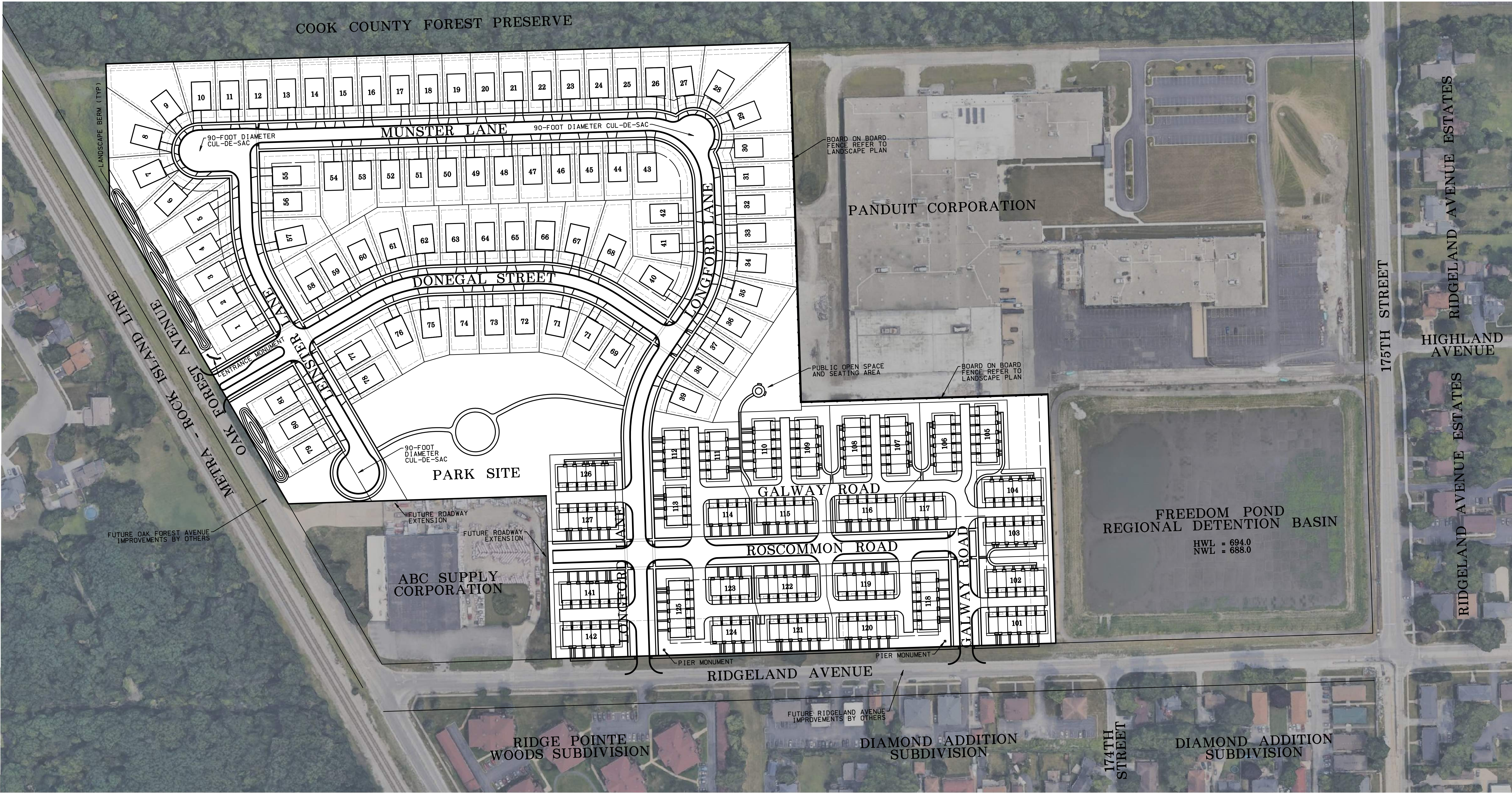
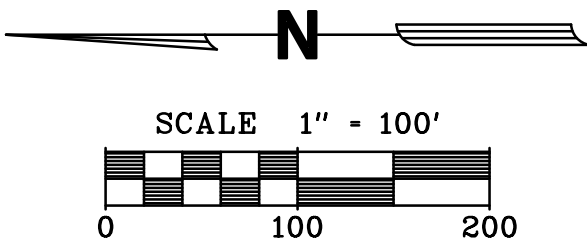
2. ALL RADII ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.

3. ALL BUILDING DIMENSIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR SHALL REFER TO FINAL ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND CONTACT THE ARCHITECT FOR ANY DISCREPANCIES.

4. ALL ONSITE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.

5. ALL PROPOSED CURB AND GUTTER SHALL BE M3.12 AND SHALL BE DEPRESSED CURB WHERE SIDEWALK MEETS A STREET, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.

6. ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAWCUT FULL DEPTH WITHIN 24 HOURS OF PLACEMENT.



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OVERALL SITE PLAN

OAK RIDGE SUBDIVISION

TINLEY PARK, ILLINOIS

SHEET

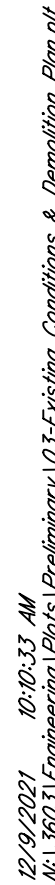
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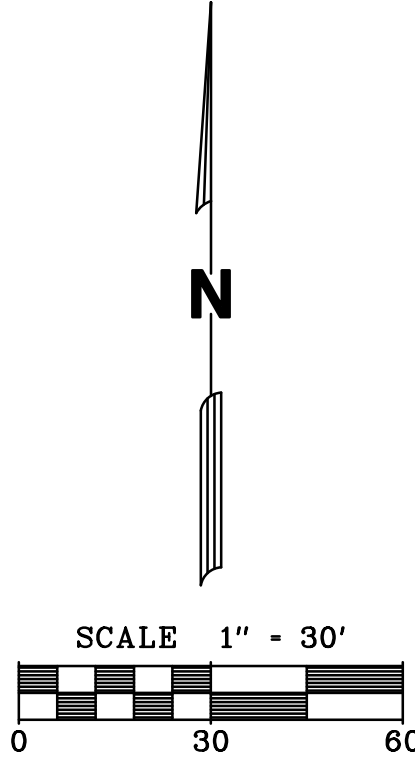
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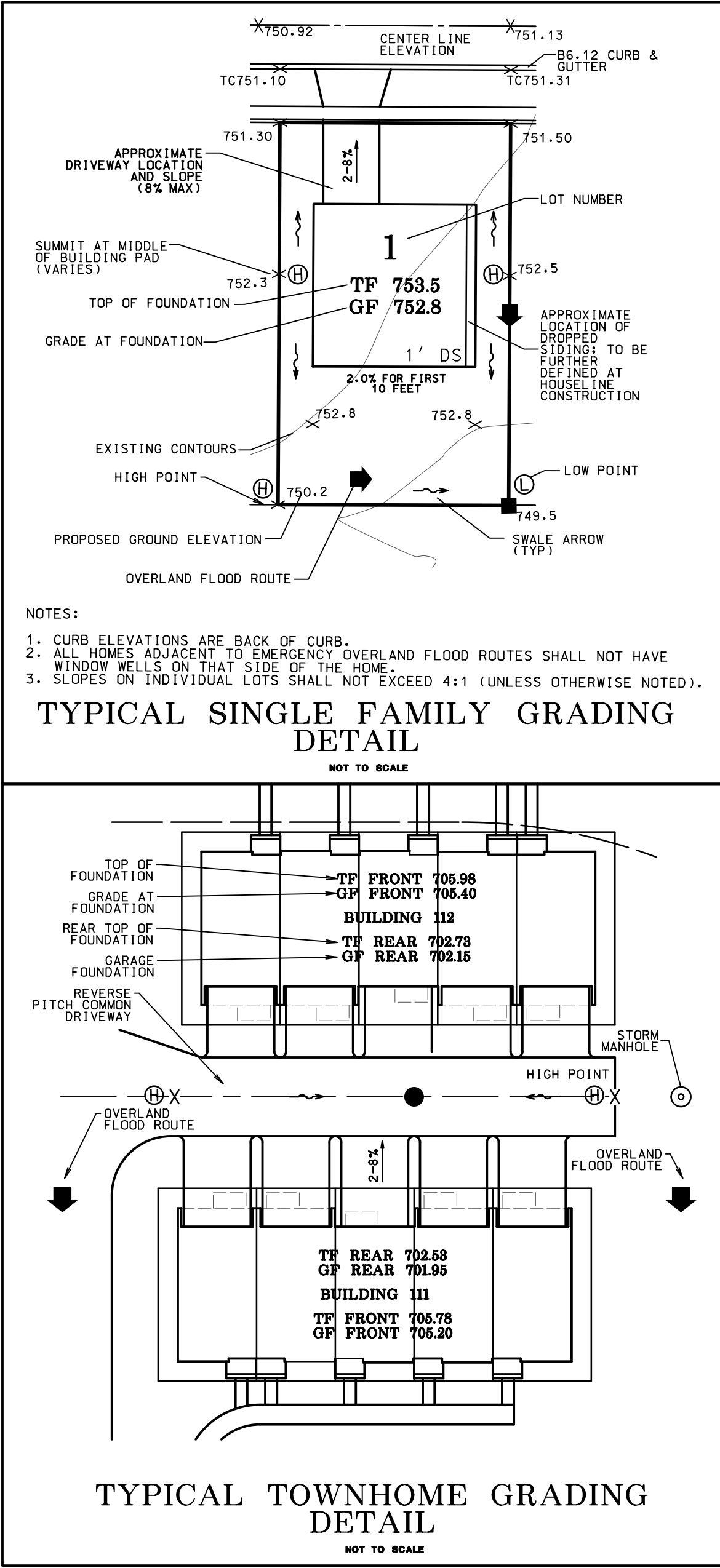
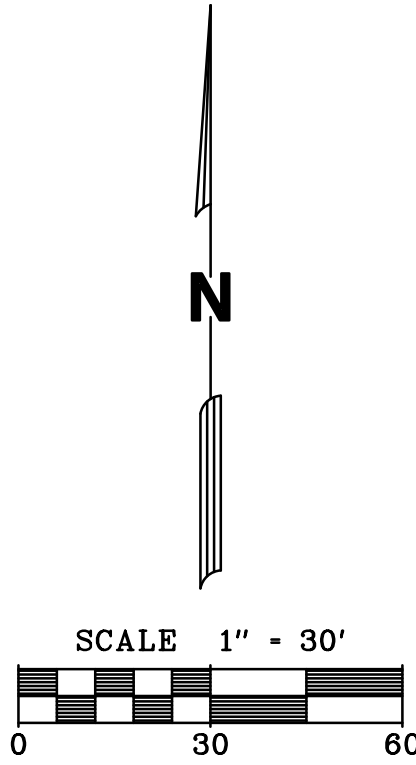
MATCHLINE - REFER TO SHEET 4

MATCHLINE - REFER TO SHEET 7



GRADING PLAN GENERAL NOTES

- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON 08-02-2021. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEEDED.
- EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL GUTTER ELEVATIONS ARE 3" BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- DRIVEWAY SLOPES FROM THE RIGHT-OF-WAY SHALL BE A MINIMUM OF 2% AND A MAXIMUM OF 8%.
- GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
- BUILDING AREA INDICATED IS APPROXIMATE AND REPRESENTS ONE POSSIBLE OPTION OF HOME. GRADING MAY NEED TO BE ADJUSTED AS OTHER HOMES ARE SOLD.
- ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT, OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED IN RECORD DRAWINGS.
- WINDOW WELLS SHALL NOT BE ALLOWED ON EITHER SIDE OF OVERLAND FLOOD ROUTES WHEN THEY OCCUR BETWEEN HOUSES.
- OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
- DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
- CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.



MATCHLINE  
REFER TO SHEET 8

MATCHLINE - REFER TO SHEET 6

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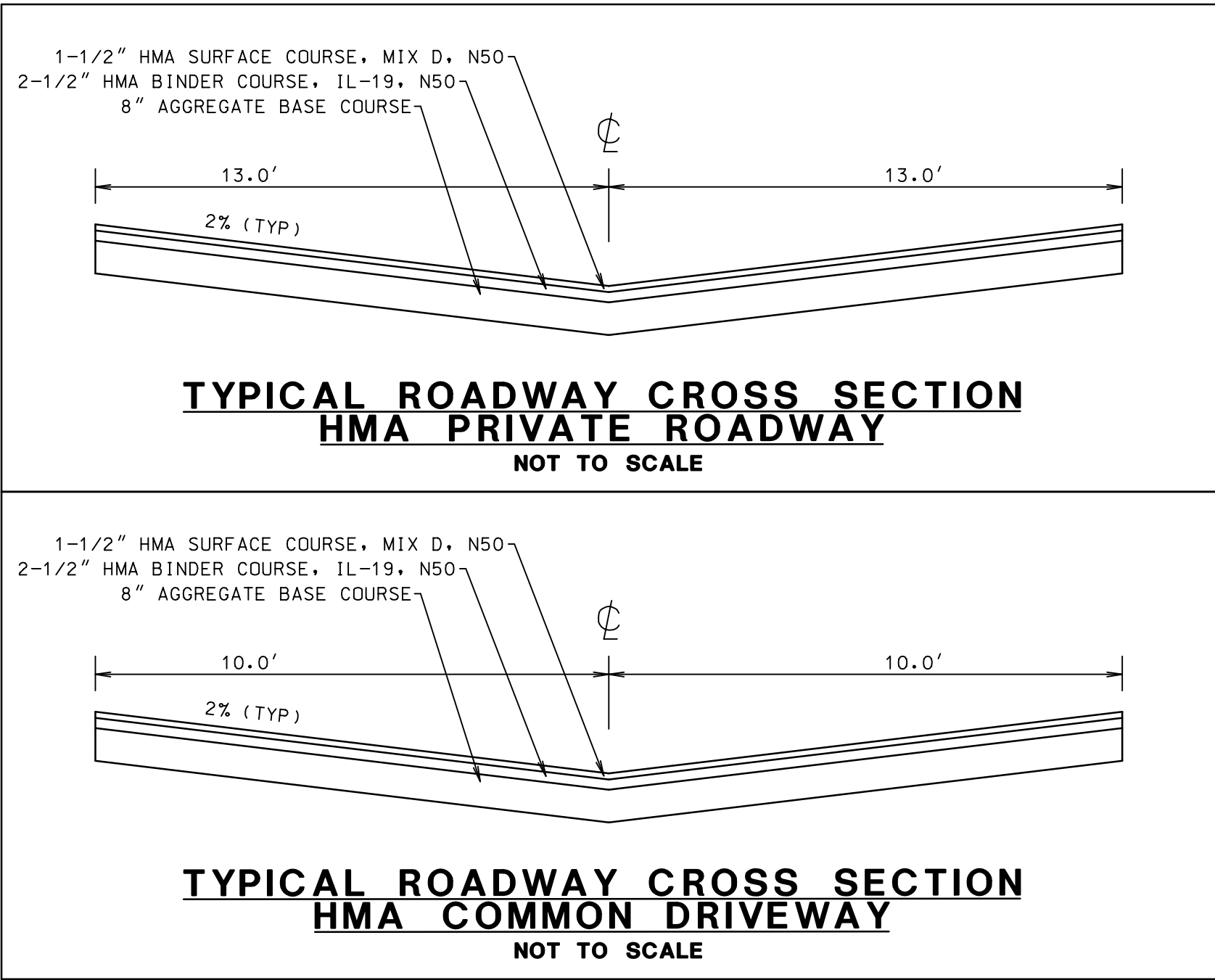
PRELIMINARY GRADING PLAN - EAST  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS

SHEET

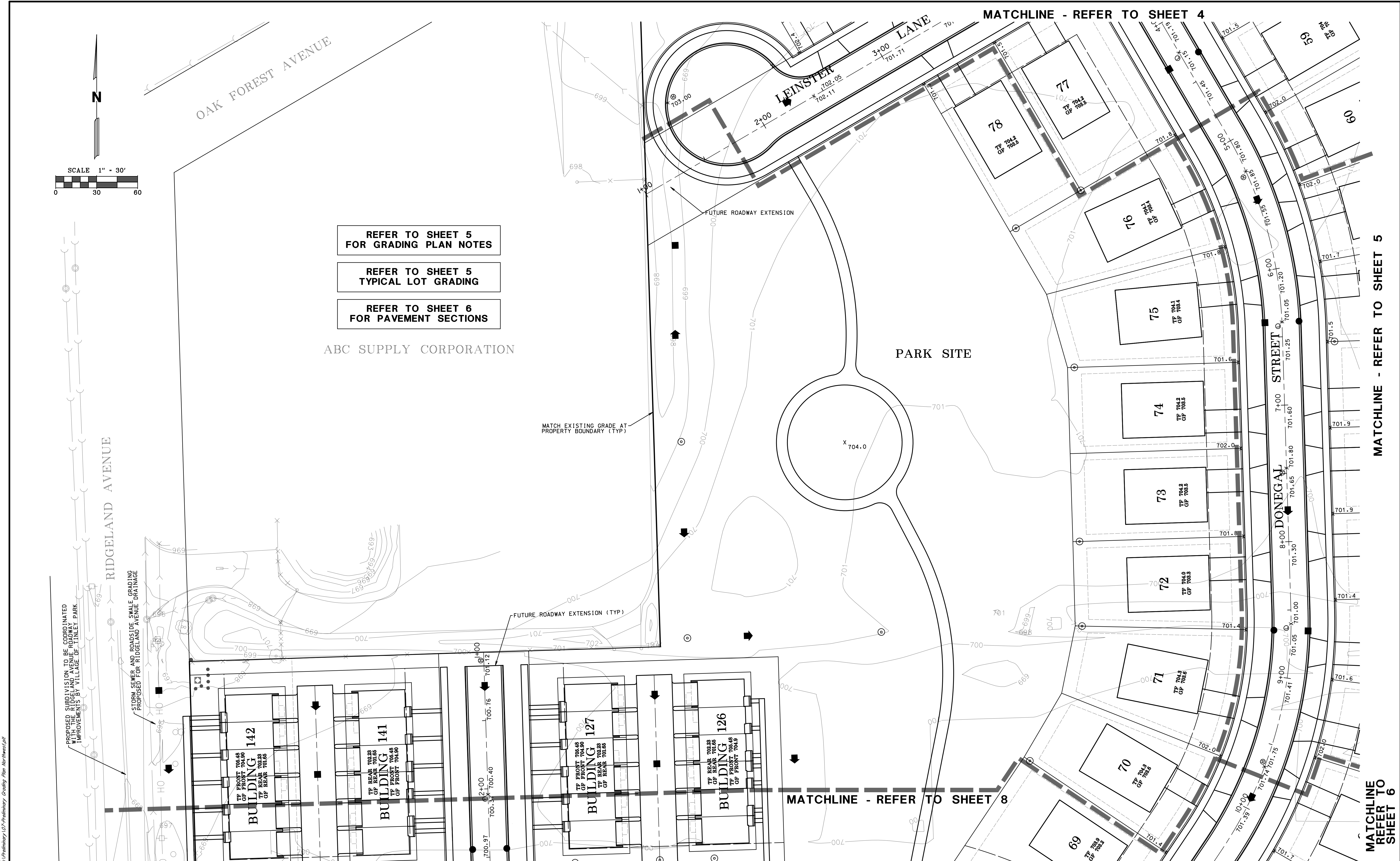
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**PRELIMINARY GRADING PLAN - NORTHWEST  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS**

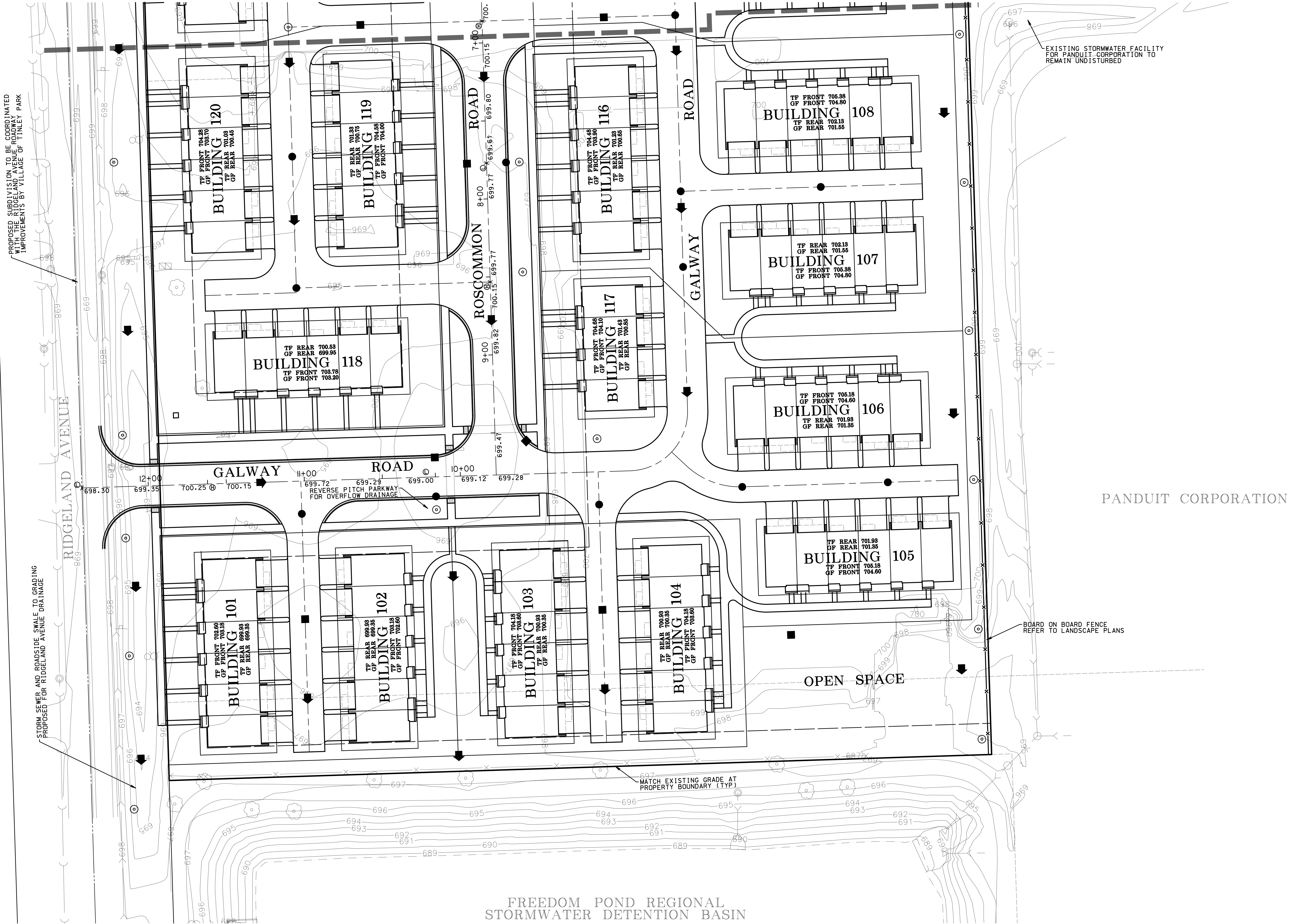
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MATCHLINE - REFER TO SHEET 8



- REFER TO SHEET 5  
FOR GRADING PLAN NOTES
- REFER TO SHEET 5  
TYPICAL LOT GRADING
- REFER TO SHEET 6  
FOR PAVEMENT SECTIONS

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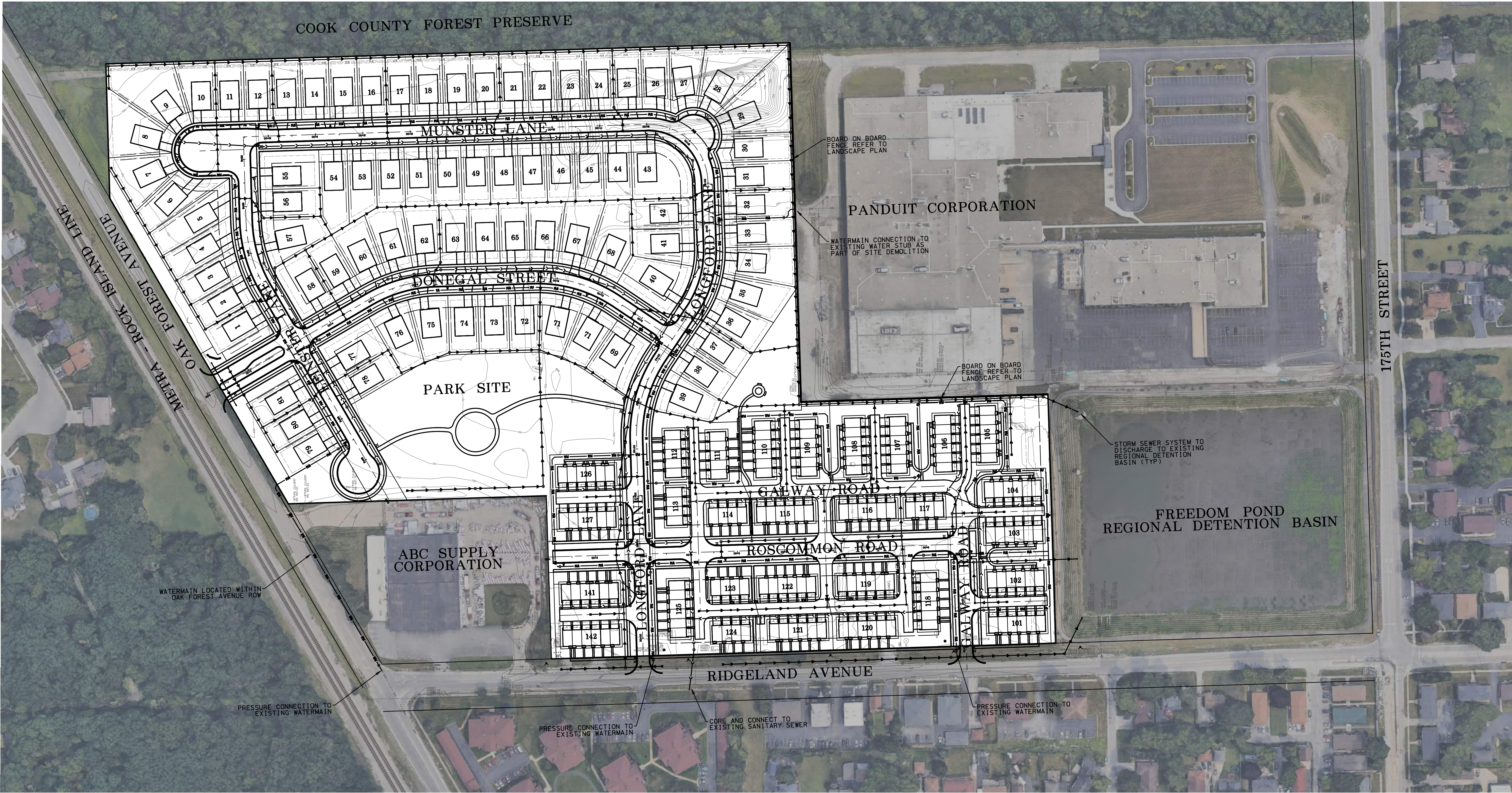
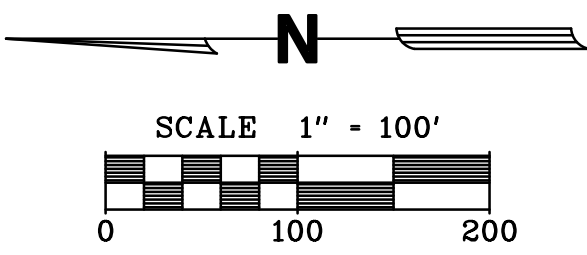
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**PRELIMINARY GRADING PLAN - SOUTHWEST**  
**OAK RIDGE SUBDIVISION**  
**TINLEY PARK, ILLINOIS**

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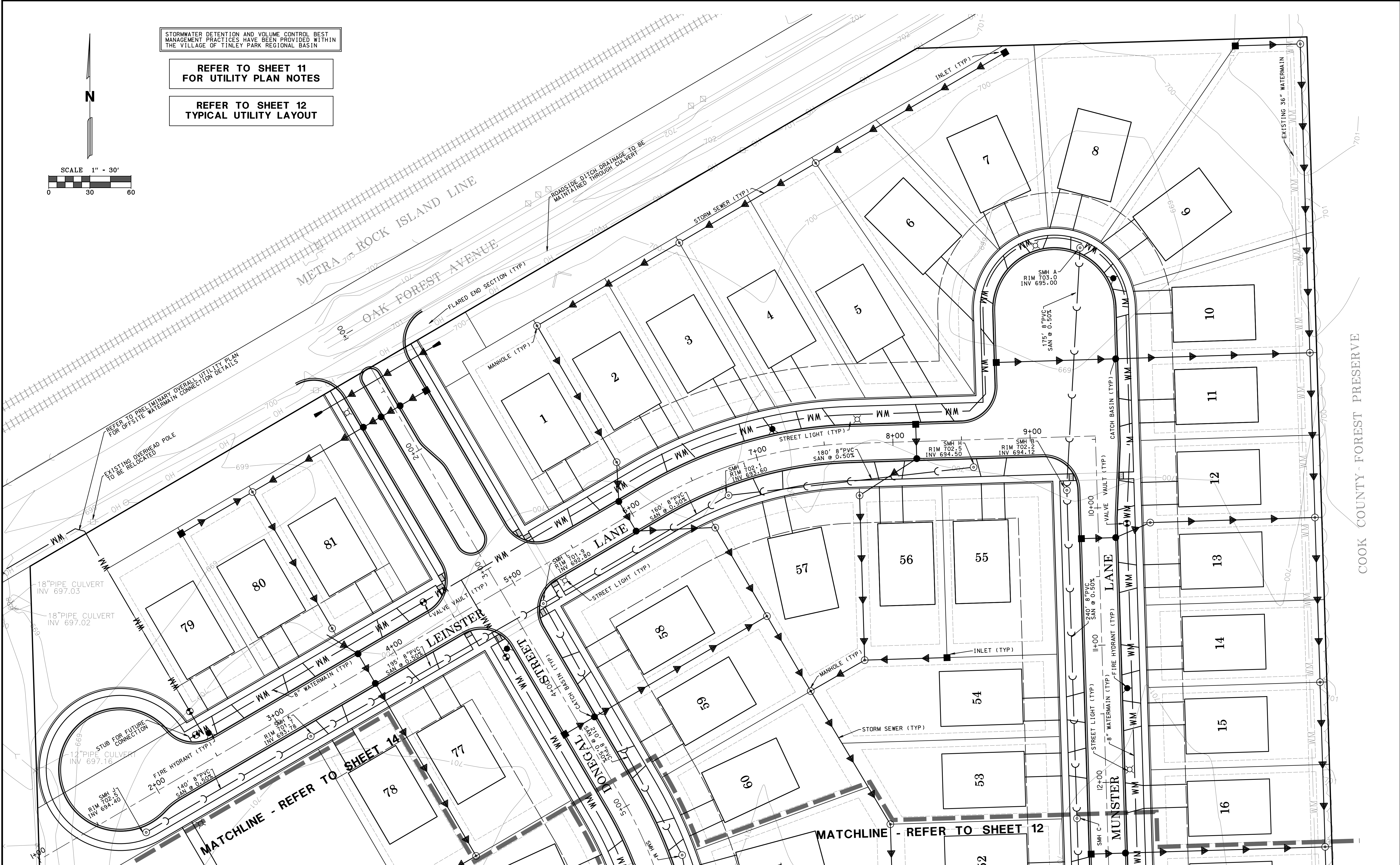
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**PRELIMINARY OVERALL UTILITY PLAN**  
**OAK RIDGE SUBDIVISION**  
**TINLEY PARK, ILLINOIS**

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**PRELIMINARY UTILITY PLAN - NORTHEAST  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS**

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MATCHLINE - REFER TO SHEET 11

MATCHLINE - REFER TO SHEET 14



- UNDERGROUND UTILITY GENERAL NOTES
- ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
  - ALL SANITARY SEWER, LESS THAN 15 FEET DEEP, SHALL BE PVC, SDR 26, UNLESS OTHERWISE INDICATED. ALL SANITARY SEWERS GREATER THAN 15-FEET DEEP, SHALL BE DUCTILE IRON, CLASS 52, UNLESS OTHERWISE INDICATED. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-3212.
  - ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52, AWWA C-600 WITH "PUSH-ON" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-6" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE.
  - ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS III, WITH ASTM C76 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED. ALL STORM SEWERS WHICH ARE LOCATED IN THE SIDE YARD SHALL HAVE "O" RING GASKETED JOINTS. ALL OTHER SEWERS SHALL HAVE BITUMINOUS MASTIC JOINTS.
  - GRANULAR TRENCH BACKFILL (CA-6) SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH LIMITS FALL WITHIN TWO FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND AS NOTED ON THE SANITARY TRENCH DETAIL. ALL TRENCHES WITHIN COOK COUNTY RIGHT-OF-WAY MUST BE TRENCH BACKFILLED WITH FA-6 SAND IN ACCORDANCE WITH ARTICLE 550.07 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
  - OVERHEAD SANITARY SEWER IS REQUIRED FOR ALL HOMES.
  - ALL SUMP PUMPS MUST BE CONNECTED TO THE STORM SEWER SYSTEM. SUMP PUMP CONNECTIONS SHALL BE 4" PVC, UNLESS OTHERWISE NOTED.
  - ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
  - ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT, OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED WITH THE RECORD DRAWINGS.
  - ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
  - CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
  - CONTRACTOR TO VERIFY CANOPY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
  - SEE ARCHITECTURAL DRAWINGS FOR TRENCH DRAIN DETAILS AND SEWER CONNECTION LOCATIONS.
  - LOCATION OF ALL BUILDING SIAMSE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHALL.
  - CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
  - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
  - FIELD LOCATION OF ALL HOUSE SERVICES TO BE SUPPLIED BY CONTRACTOR AND SHOWN ON RECORD DRAWINGS. SEE GENERAL CONSTRUCTION NOTES FOR MARKING WATER AND SANITARY SERVICES ON CURB.
  - A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
  - IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
  - PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR TO CONSTRUCT SERVICES TO WITHIN 5-FEET OF BUILDING, EXCEPT WATER INTO BUILDING 1-FOOT ABOVE FLOOR WITH BLIND FLANGE AND PROVIDE TESTING.
  - EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
  - EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS REQUIRING OVER 12-INCHES OF ADJUSTMENT RINGS SHALL USE AN ADDITIONAL BARREL SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.

REFER TO SHEET 13  
TYPICAL UTILITY LAYOUT

MATCHLINE  
REFER TO SHEET 15

MATCHLINE - REFER TO SHEET 13

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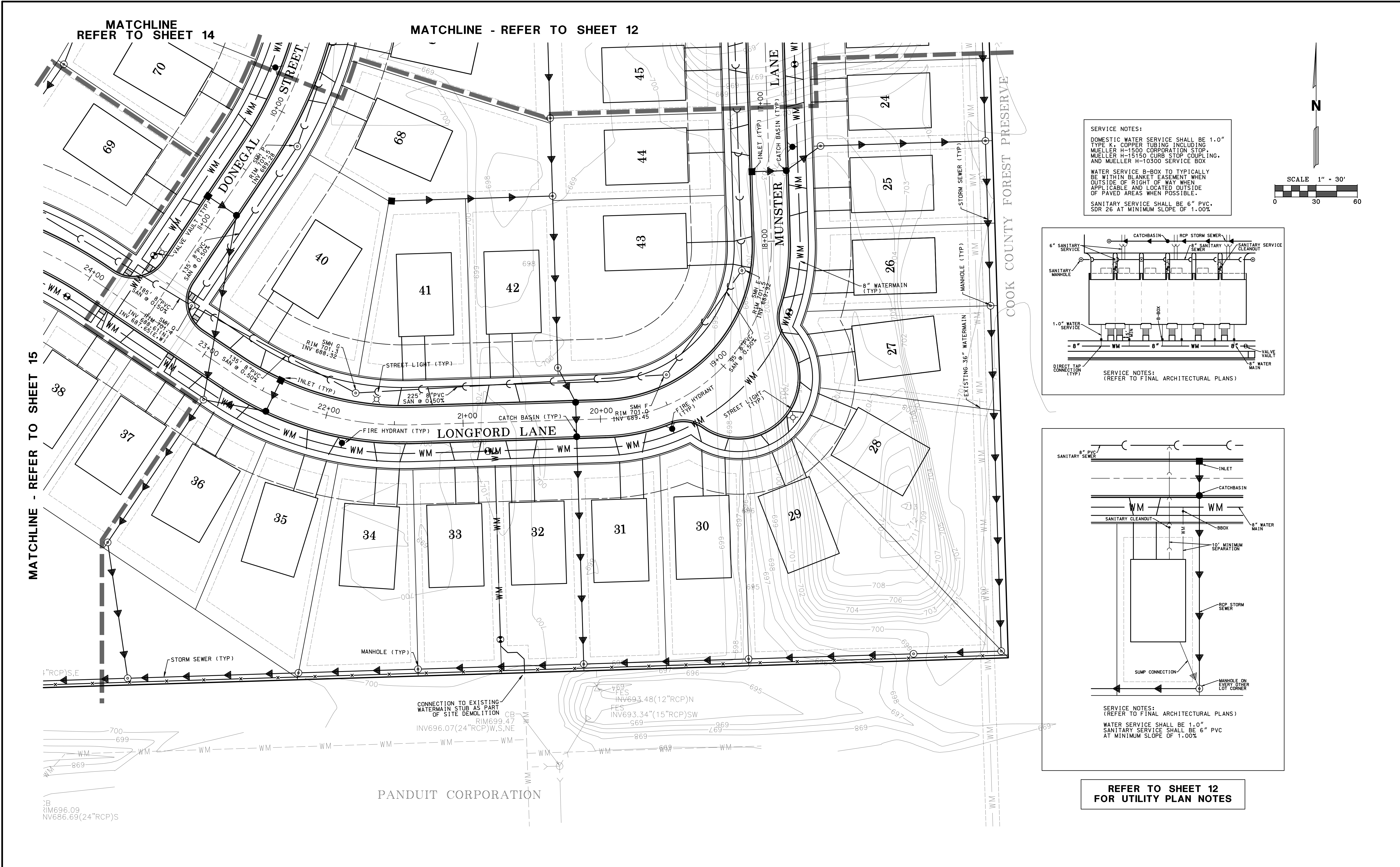
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**PRELIMINARY UTILITY PLAN - EAST  
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TINLEY PARK, ILLINOIS**

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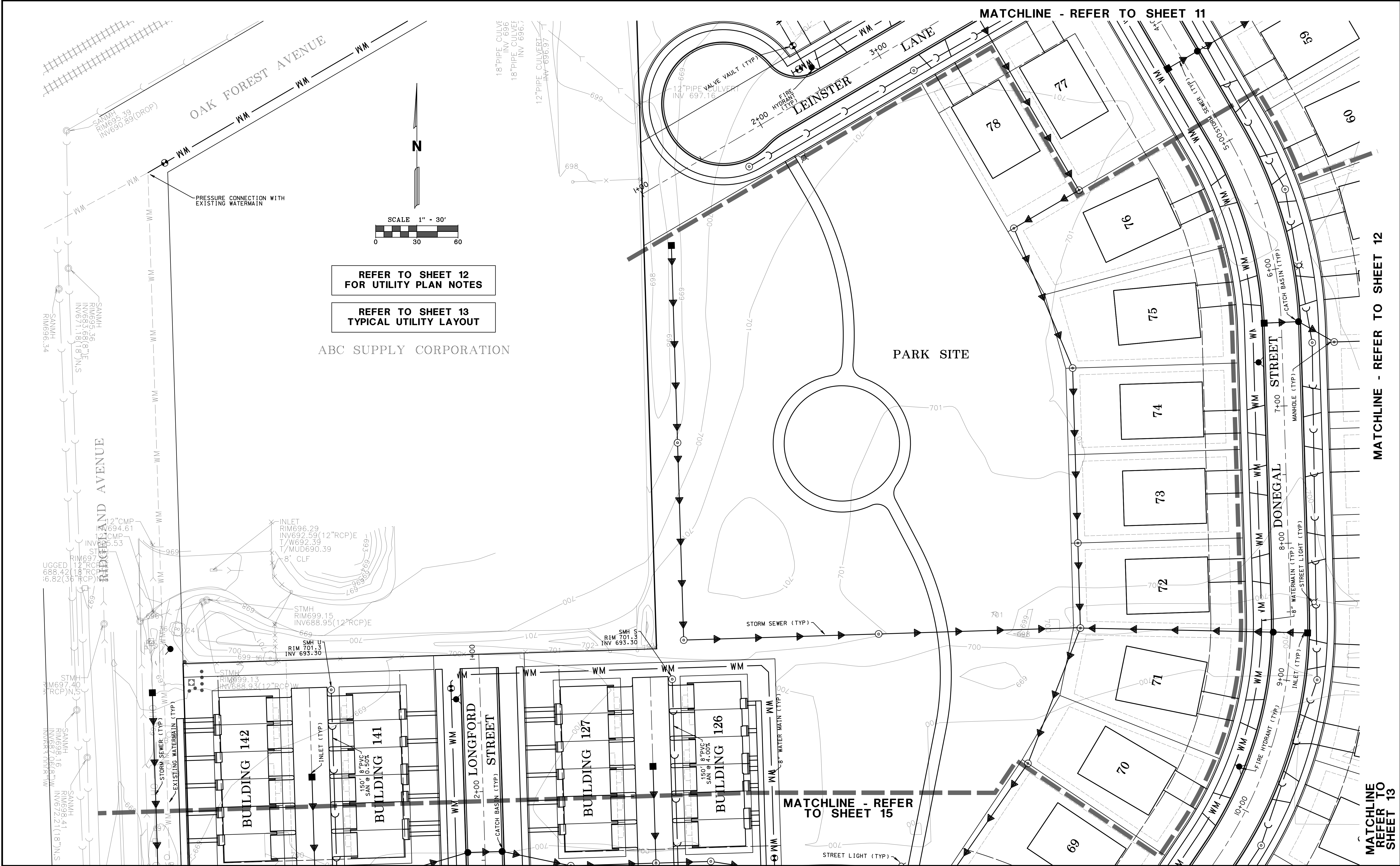
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**PRELIMINARY UTILITY PLAN - NORTHWEST  
OAK RIDGE SUBDIVISION  
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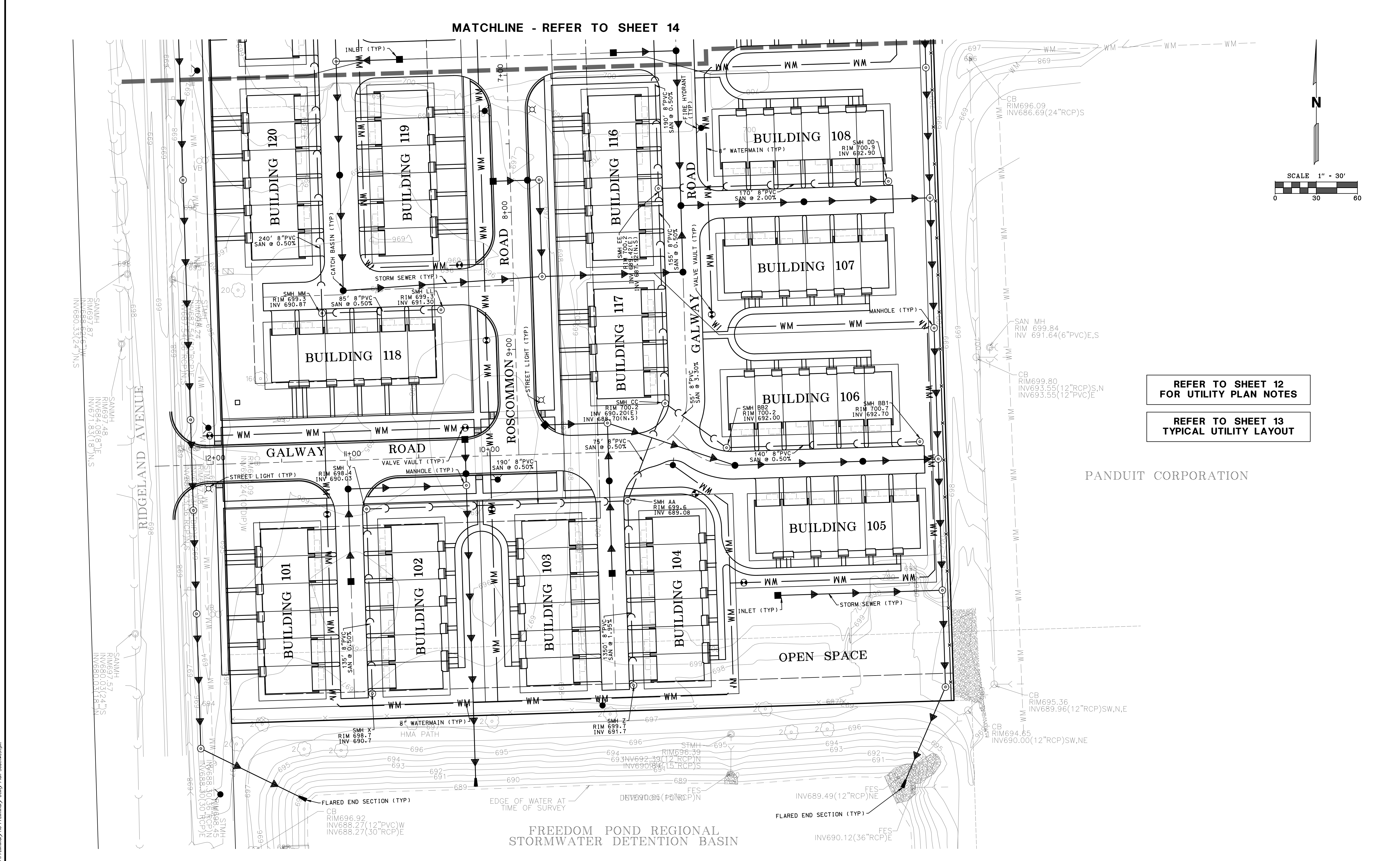
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DATE	REVISION	DESCRIPTION
12/8/2021	REVISED PER VILLAGE COMMENTS	
10/15/2021	REVISED PER VILLAGE COMMENTS	

DESIGNED

SGS

DRAWN

SGS

APPROVED

KJM

DATE

09/03/2021

SCALE

1" = 30'

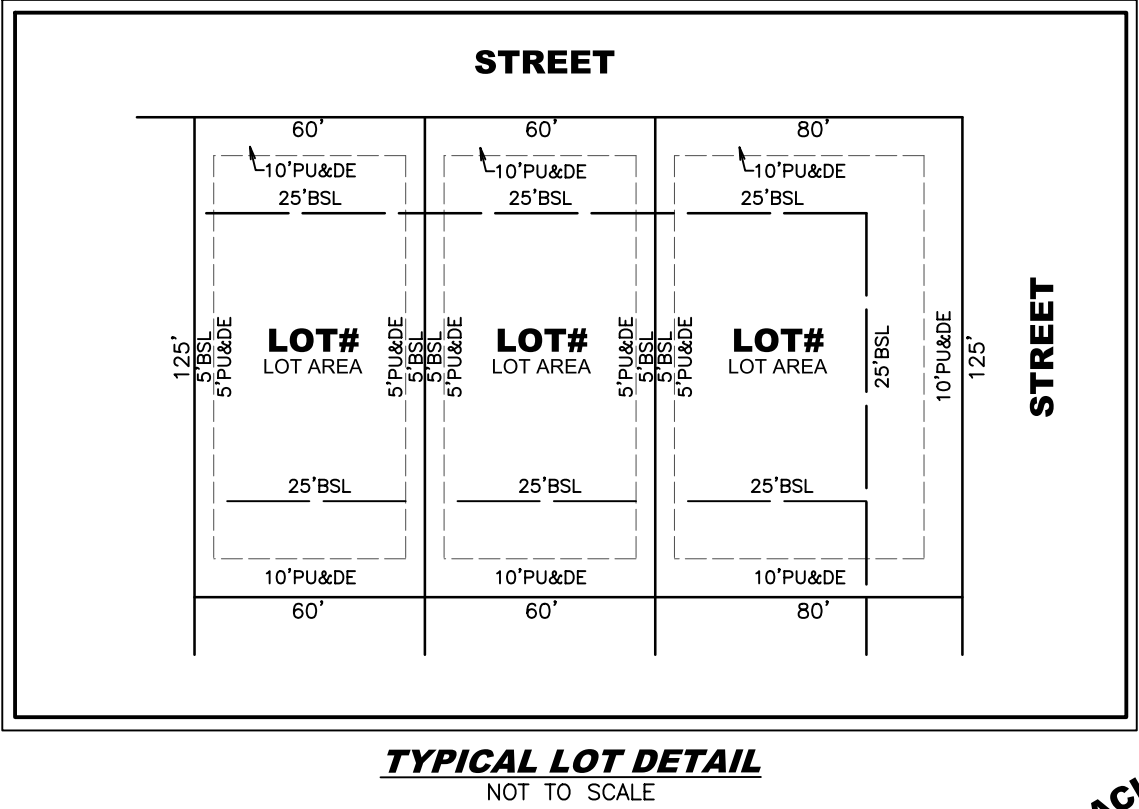
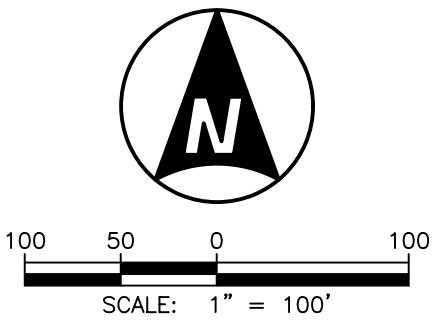
**PRELIMINARY UTILITY PLAN - SOUTHWEST  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS**

SHEET  
**16** OF **16**

PROJECT NUMBER: 3603  
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ILLINOIS FIRM LICENSE 184-002694



BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH  
RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.



**SURVEYOR**  
MACKIE CONSULTANTS, LLC  
9575 W. HIGGINS ROAD, SUITE 500  
ROSEMONT, IL 60018  
PHONE: 847.696.1400



PART L OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29 TOWNSHIP 36 NORTH,  
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUND AND DESCRIBED AS FOLLOWS:  
COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID  
LINE BEING 60 FEET SOUSTEREASTLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH  
THE EASTERLY END OF CHICAGO RAILWAY COMPANY'S TRACKS (BEYOND THE CHICAGO GREAT NORTHERN  
ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST  
LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST  
BOUNDARY OF SAID TRACT); THENCE SOUTH ALONG SAID EAST LINE OF RIDGELAND AVENUE, 358.00 FEET TO THE POINT OF  
BEGINNING; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 1285.59 FEET TO THE  
POINT WHERE AN OLD RIGHT-OF-WAY CROSSROAD WENT FROM SAID EAST LINE OF RIDGELAND AVENUE;  
THENCE 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE EAST LINE OF SAID WEST 1/2 OF THE  
SOUTHWEST 1/4, 544.91 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST,  
703.73 FEET TO A CORNER OF SAID TRACT; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST ALONG A LINE PARALLEL WITH THE WEST  
BOUNDARY OF SAID TRACT, 521.12 FEET TO THE NORTH LINE OF THE SOUTH 703 FEET PORTION  
OF SAID TRACT; THENCE NORTH 0 DEGREES 00 MINUTES 14 SECONDS EAST ALONG THE NORTH LINE OF  
WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4, 527.00 FEET TO THE EAST LINE OF RIDGELAND  
AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND  
PARALLEL WITH THE WEST BOUNDARY OF SAID TRACT); THENCE SOUTH 89 DEGREES 59  
MINUTES 46 SECONDS EAST, 1285.59 FEET TO THE POINT OF BEGINNING.  
1066.33 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PART 2:  
THAT THE EAST 1/4 OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:  
COMMENCING AT THE INTERSECTION OF THE SOUTHWEST 1/4 OF OAK FOREST AVENUE (SAID LINE BEING 80 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE EAST LINE OF RIDGELAND AVENUE) 00 FEET TO THE SOUTHWEST CORNER OF CHICAGO AND  
ISLAND AND PACIFIC RAILWAY COMPANY, AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 80 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE  
LINE OF SAID WEST 1/4 OF THE SOUTHWEST 1/4); THENCE SOUTH 0 DEGREES 00 MINUTES 14  
SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 358.00 FEET; THENCE SOUTH 89  
DEGREES 59 MINUTES 46 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 683.85 FEET  
CONTINUING SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 685.65 FEET TO THE EAST LINE  
OF SAID WEST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 00 SECONDS  
WEST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 80 FEET TO THE SOUTHWEST CORNER OF  
THE SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST ALONG THE  
LAST DESCRIBED LINE, 282.49 FEET TO THE AFORESAID SOUTHEASTERLY LINE OF OAK FOREST  
AVENUE; THENCE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH,  
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, 458.71 FEET TO A LINE THAT IS 600.00 FEET EAST OF AND PARALLEL  
WITH THE AFORESAID EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH 0 DEGREES 00 MINUTES  
00 SECONDS WEST, ALONG SAID LINE, 683.85 FEET TO THE POINT OF  
BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

\*AMENDED SCRIVNER'S ERROR

PAGE 3 OF 3  
EAST 1/4 OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS:  
THENCE FROM THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY BY RECTANGULAR MEASUREMENT) OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE SOUTHERN RAILROAD COMPANY WITH THE WEST LINE OF RIDGELAND AVENUE (SAID WEST LINE BEING 60 FEET WEST BY RECTANGULAR MEASUREMENT) OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 TO A POINT PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345.00 FEET; THENCE NORTH ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345.00 FEET; THENCE NORTHEAST ALONG THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE TO AN INTERSECTION WITH THE EAST LINE OF RIDGELAND AVENUE; THENCE DESCRIBED COURSE (AS MEASURED FROM NORTH TO EAST) A DISTANCE OF 290.14 FEET TO A POINT BEING 600 FEET EAST OF AND PARALLEL TO THE EAST LINE OF RIDGELAND AVENUE; THENCE WEST WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM SOUTHWESTERLY TO SOUTH) A DISTANCE OF 683.81 FEET TO A POINT OF INTERSECTION WITH A LINE, SAID LINE BEING DRAWN THROUGH THE INTERSECTION OF THE SOUTH LINE OF SOUTH OAK FOREST AVENUE AND THE EAST LINE OF RIDGELAND AVENUE; THENCE WEST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET; THENCE NORTH ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET; THENCE EAST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET; THENCE EAST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET; THENCE EAST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET TO THE PLACE OF BEGINNING).

**AREA:** PROPERTY CONTAINS 1,707,192 SQUARE FEET OR 39.192 ACRES MORE OR LESS

1. THIS PLAT IS BASED IN PART ON INFORMATION CONTAINED IN COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 1800382012E WITH AN EFFECTIVE DATE OF APRIL 23, 2018, AND 21CSA80055PL WITH A COMMITMENT DATE OF APRIL 23, 2018, FOR THE SAME PROPERTY, FOR LEGAL DESCRIPTIONS AND APPLICABLE EASEMENTS.
2. BEARINGS BASED ON NAD83 (2011) ILLINOIS STATE PLANE, EAST ZONE.
3. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENT.
5. ALL EASEMENTS SHOWN HEREON ARE HEREBY GRANTED UNLESS SHOWN OTHERWISE.
6. ALL AREAS SHOWN HEREON ARE IN SQUARE FEET OR ACRES, MORE OR LESS.
7. ALL CURVES ARE TANGENT TO ADJOINING CURVES UNLESS DEFINED BY CHORD BEARING.
8. ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAPS THAT COVER THE AREA, THE HEREON DESCRIBED PROPERTY IS LOCATED WITHIN AN AREAS OUTSIDE THE 0.00 ANNUAL CHANG FLOODPLAIN AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17013-CR-0001-MA, MAP REVISED ON 07 AUGUST 19, 2008, SUBJECT TO MAP INTERPRETATION AND SCALING.
9. OUTLOTS 9000-9019 ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

ACCORDING TO THE VILLAGE OF TINLEY PARK ZONING MAP, THE EXISTING PROPERTY IS ZONED ORI - OFFICE AND RESTRICTED INDUSTRIAL DISTRICT. PROPOSED PLAT OF SUBDIVISION WITH UNDERLYING R-5 (LOW DENSITY RESIDENTIAL) ZONING HAS THE FOLLOWING SITE REQUIREMENTS:

MINIMUM LOT SIZE (R-5 SINGLE FAMILY LOTS)  
LOT AREA: 7,500 SF  
LOT WIDTH: 60'  
LOT DEPTH: 125'

MINIMUM LOT SIZE (R-5 MULTI-FAMILY LOTS):  
LOT AREA: 4,410 SF  
LOT WIDTH: 49'

SETBACKS (R-5 SINGLE FAMILY LOTS)  
FRONT: 25'  
SIDE: 5'  
REAR: 25'  
CORNER SIDE: 25'

SETBACKS (R-5 MULTI-FAMILY LOTS)  
FRONT TO ROW: 25'  
FRONT TO FRONT: 50'  
FRONT TO SIDE: 50'  
SIDE TO ROW: 15'  
SIDE TO PROPERTY: 25'  
SIDE TO SIDE: 20'  
SIDE TO REAR: 50'  
REAR TO REAR: 50'

\_\_\_\_\_ BOUNDARY LINE  
 \_\_\_\_\_ PROPOSED LOT LINE  
 \_\_\_\_\_ BUILDING SETBACK LINE (BSL)  
 \_\_\_\_\_ EASEMENT LINE  
 \_\_\_\_\_ EXISTING RIGHT-OF-WAY LINE  
 \_\_\_\_\_ EXISTING LOT LINE  
 \_\_\_\_\_ SECTION LINE  
 - - - - - ZONING BOUNDARY  
 CB= CHORD BEARING  
 CL= CHORD LENGTH  
 F= FOUND IRON ROD  
 FIP= FOUND IRON PIPE  
 PC= POINT OF CURVATURE  
 PCC= POINT OF COMPOUND CURVATURE  
 PT= POINT OF TANGENCY  
 PUE= PUBLIC UTILITY & DRAINAGE EASEMENT  
 DUE= DRAINAGE & UTILITY EASEMENT  
 L= ARC LENGTH  
 (R) RECORD

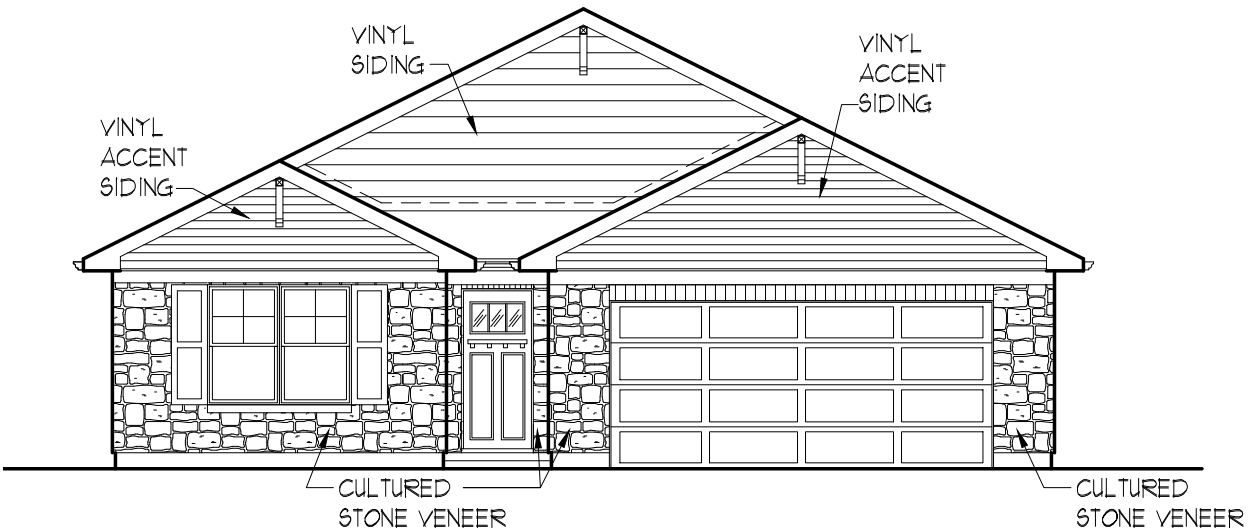
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10/15/21	REVISED PER VILLAGE COMMENTS	MRD		
DATE	DESCRIPTION OF REVISION	BY	SCALE	1"=100'

**PRELIMINARY  
PLAT OF SUBDIVISION  
OAK RIDGE SUBDIVISION  
TINLEY PARK, ILLINOIS**

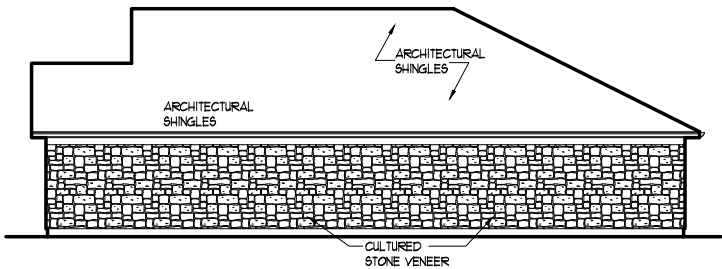
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**1** OF **1**

PROJECT NUMBER:	36
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ILLINOIS FIRM LICENSE 184-0	

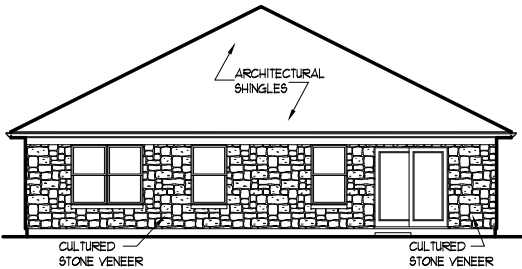




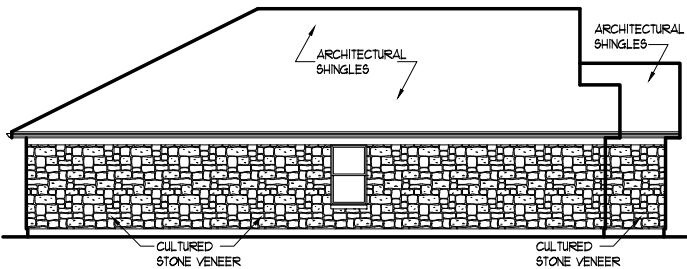
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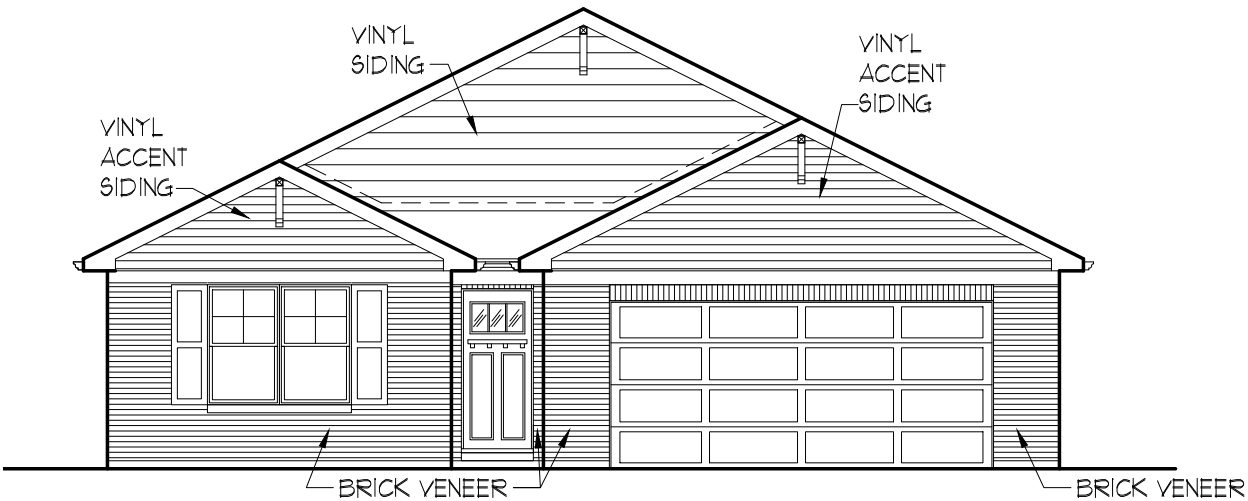
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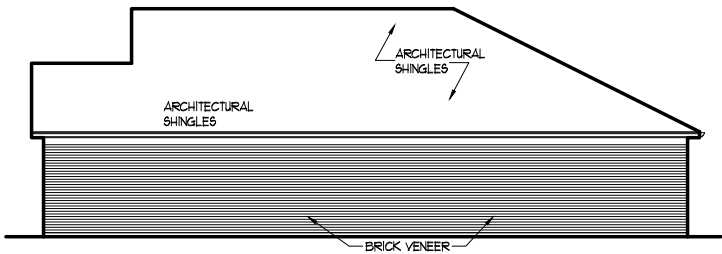
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OAK RIDGE  
TINLEY PARK, IL

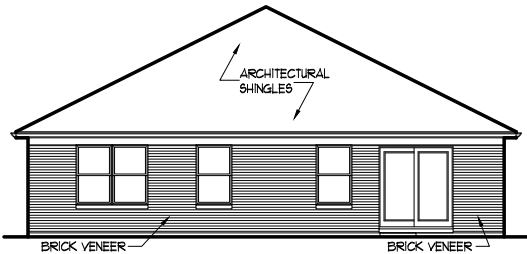




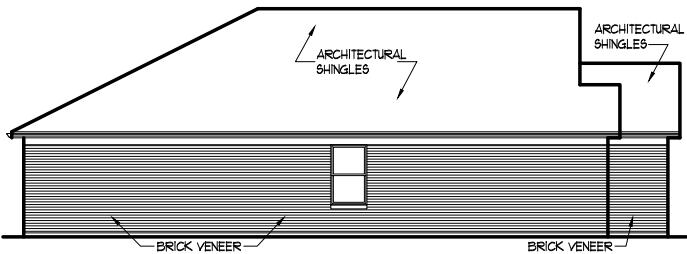
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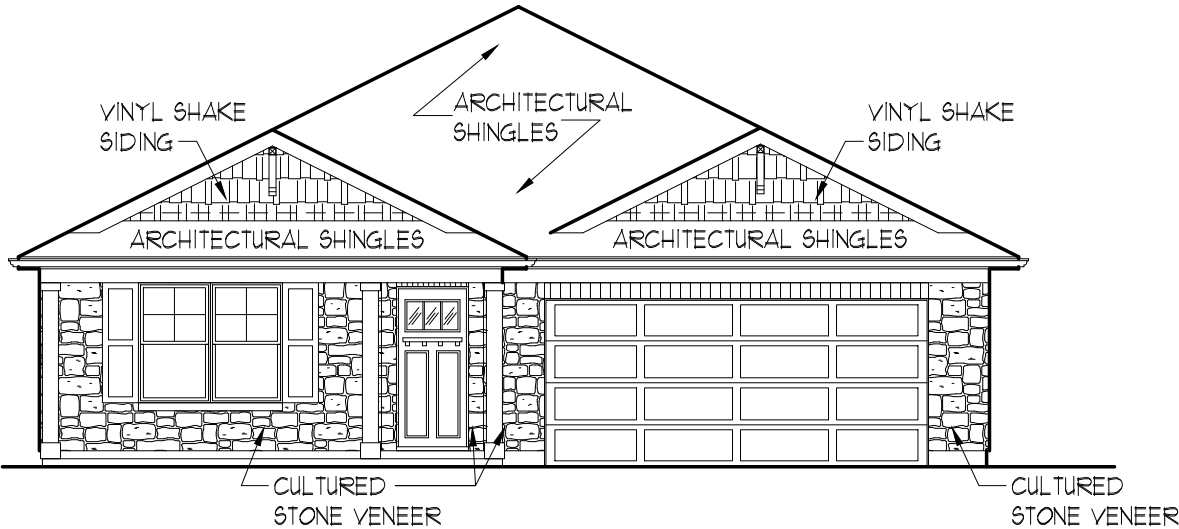
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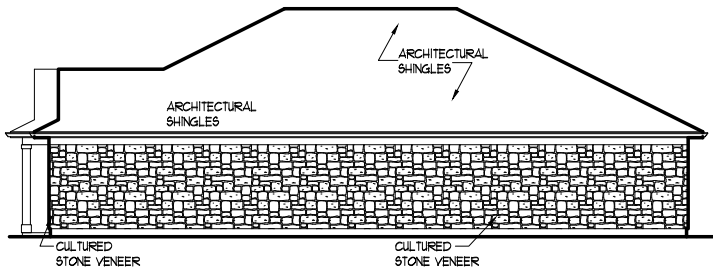
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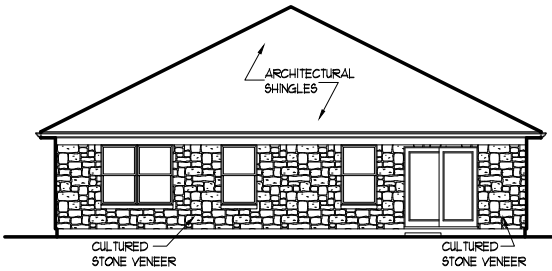




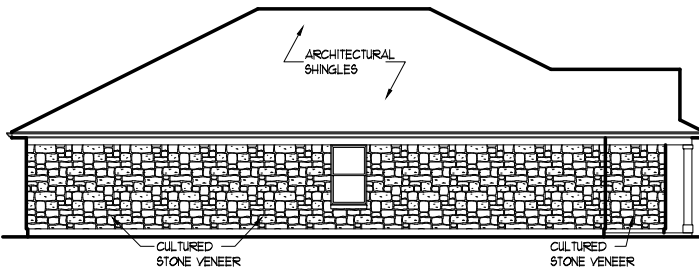
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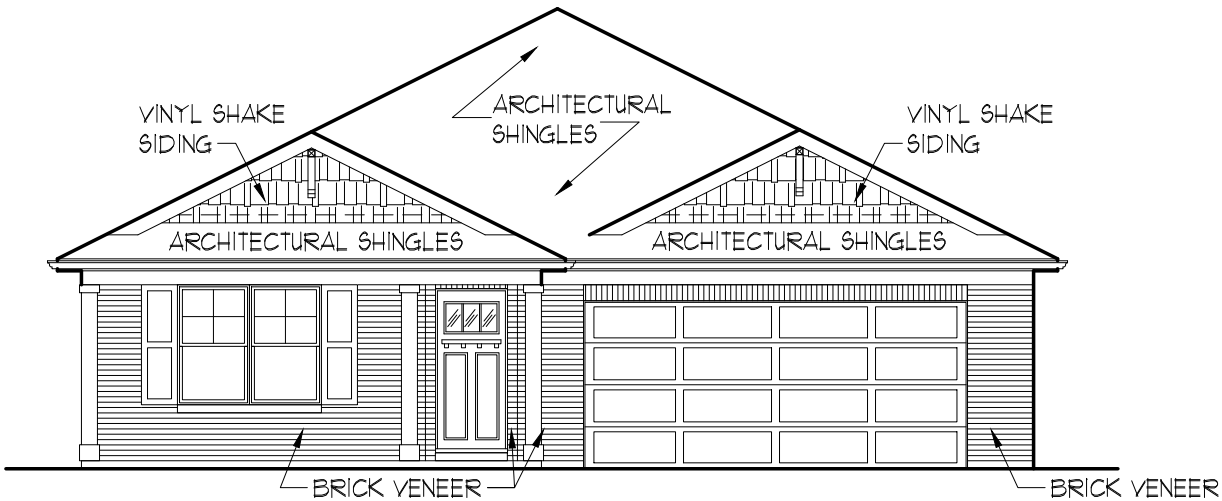
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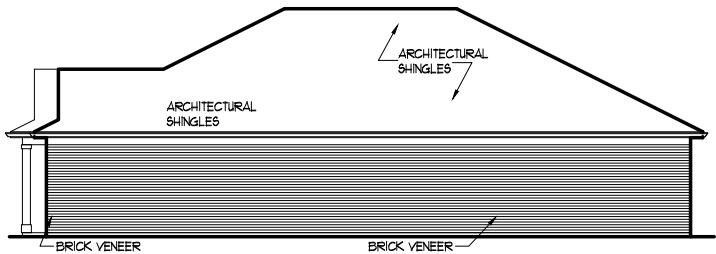
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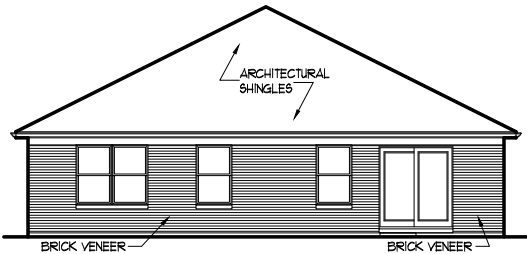




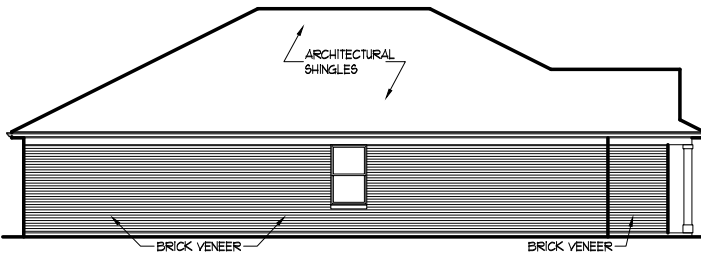
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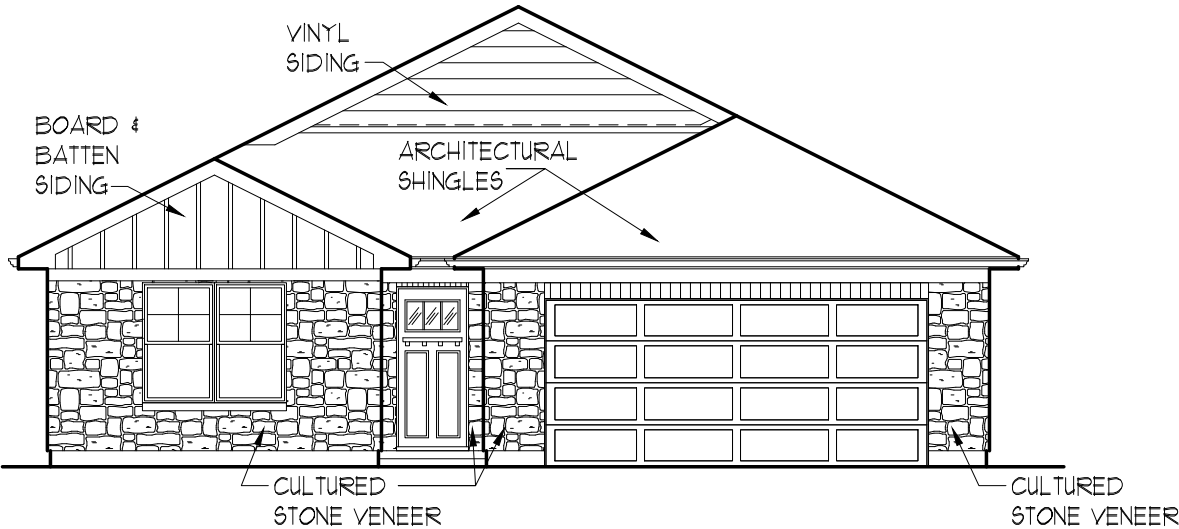
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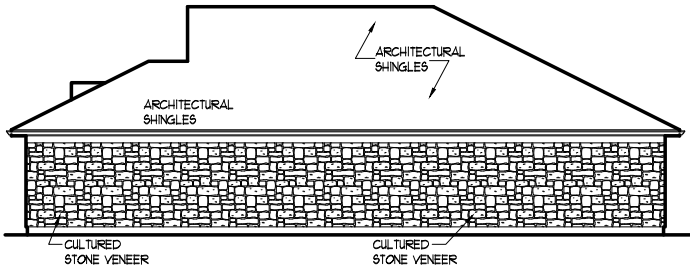
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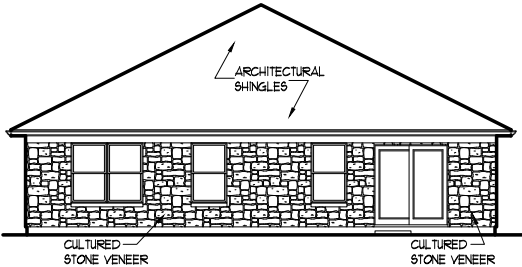




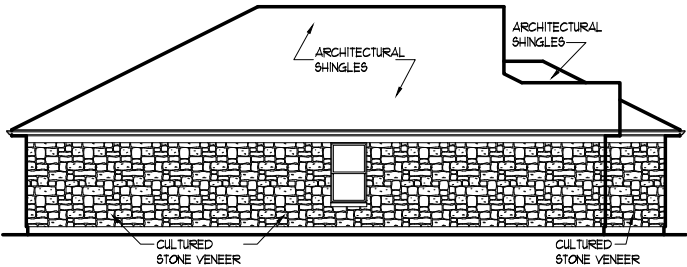
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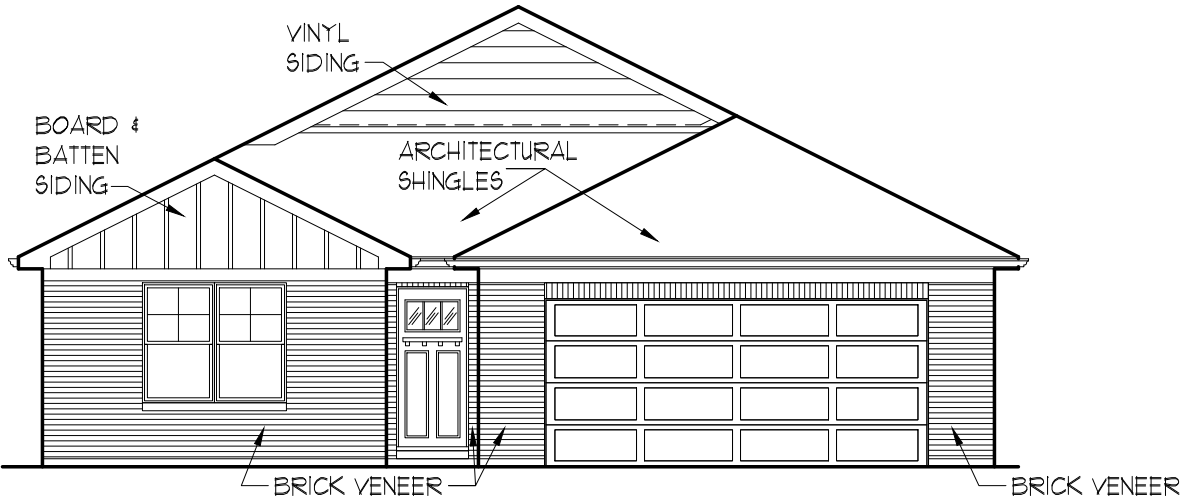
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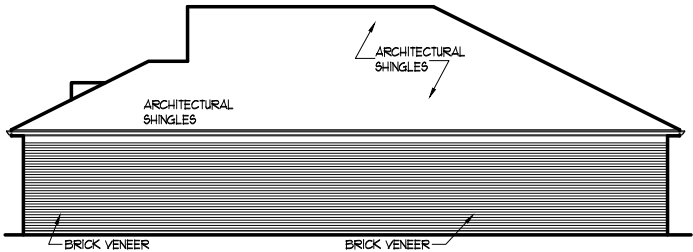
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TINLEY PARK, IL

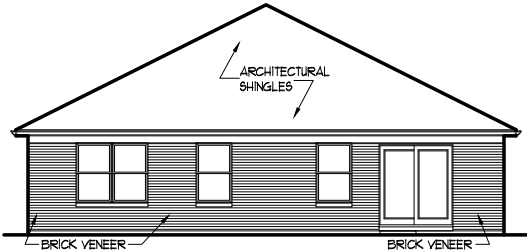




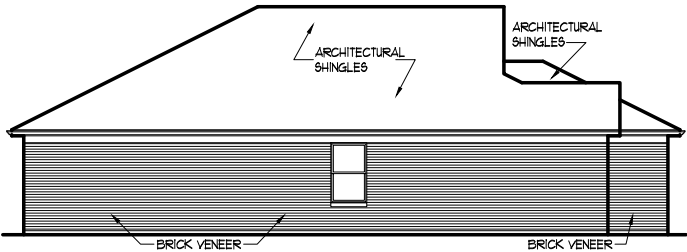
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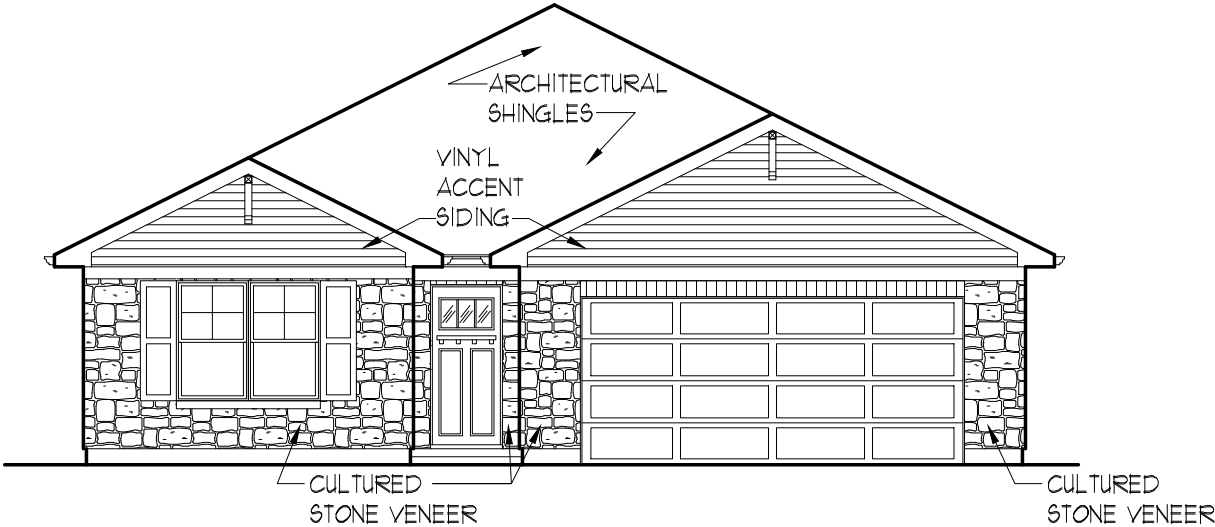
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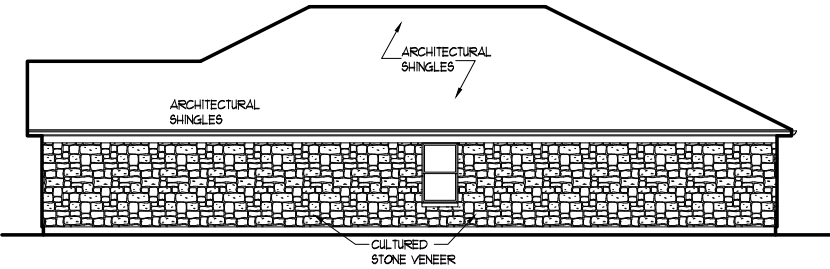
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OAK RIDGE  
TINLEY PARK, IL

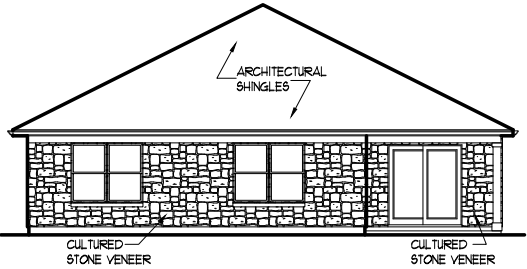




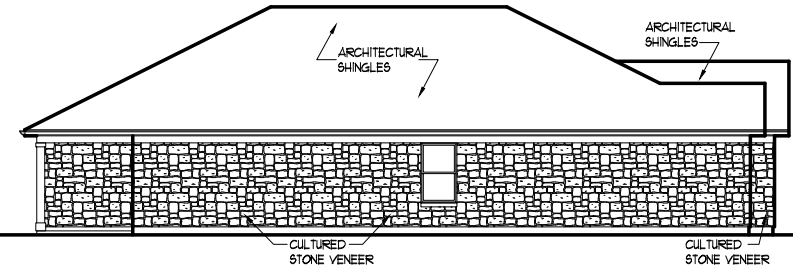
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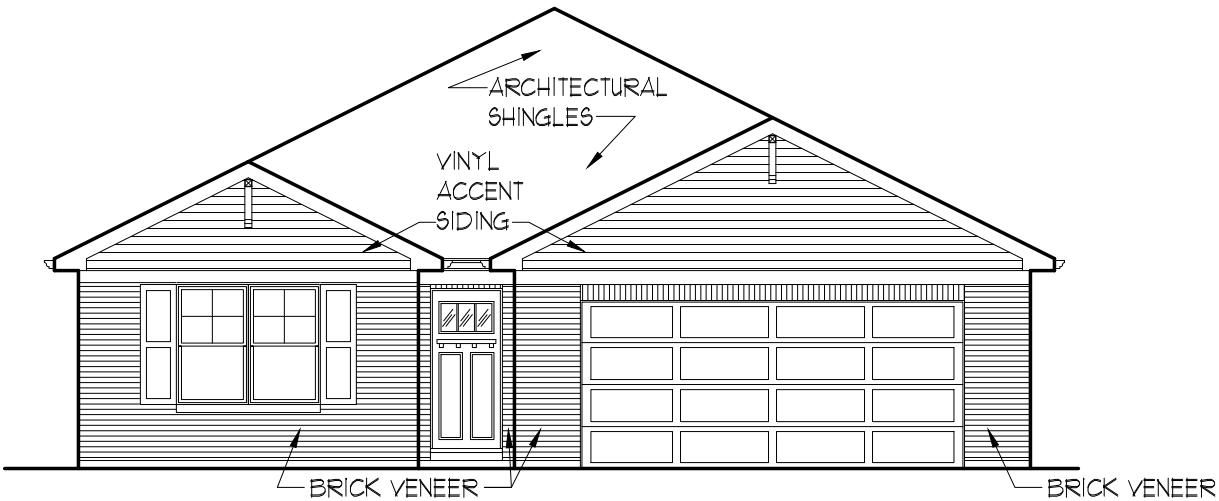
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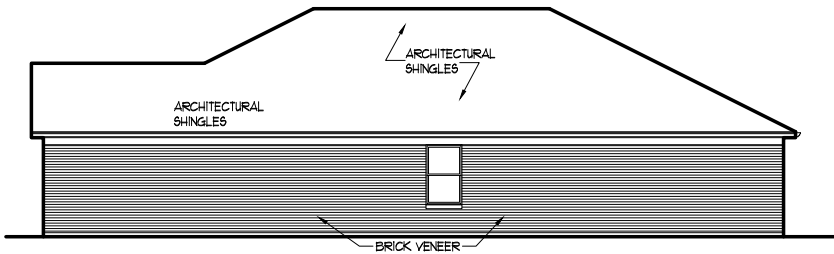
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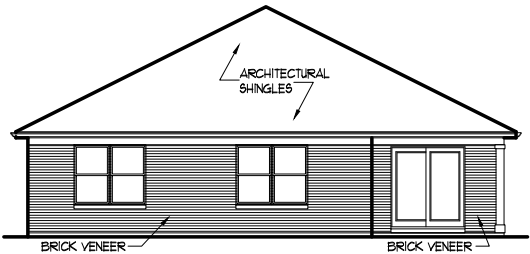




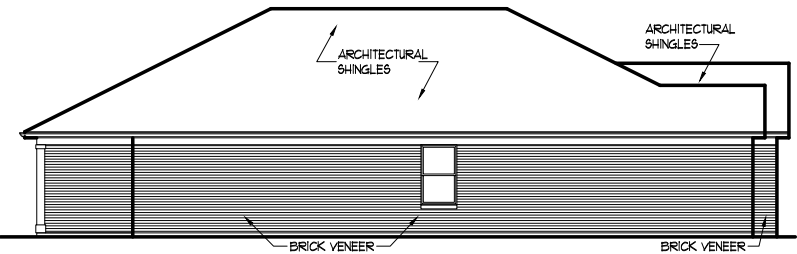
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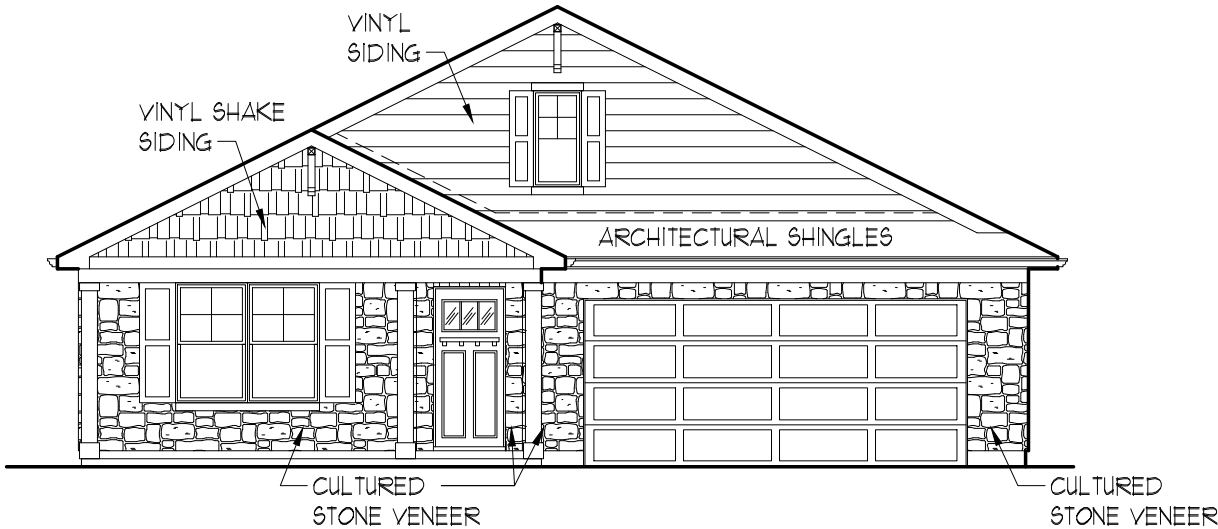
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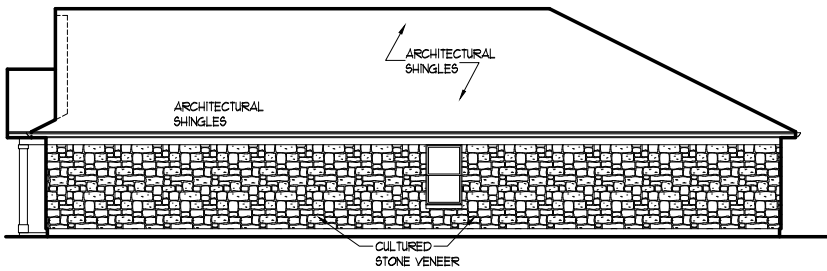
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TINLEY PARK, IL

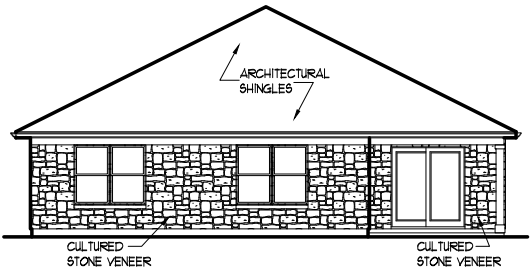




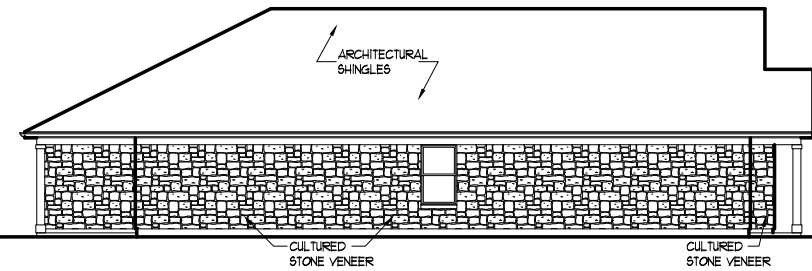
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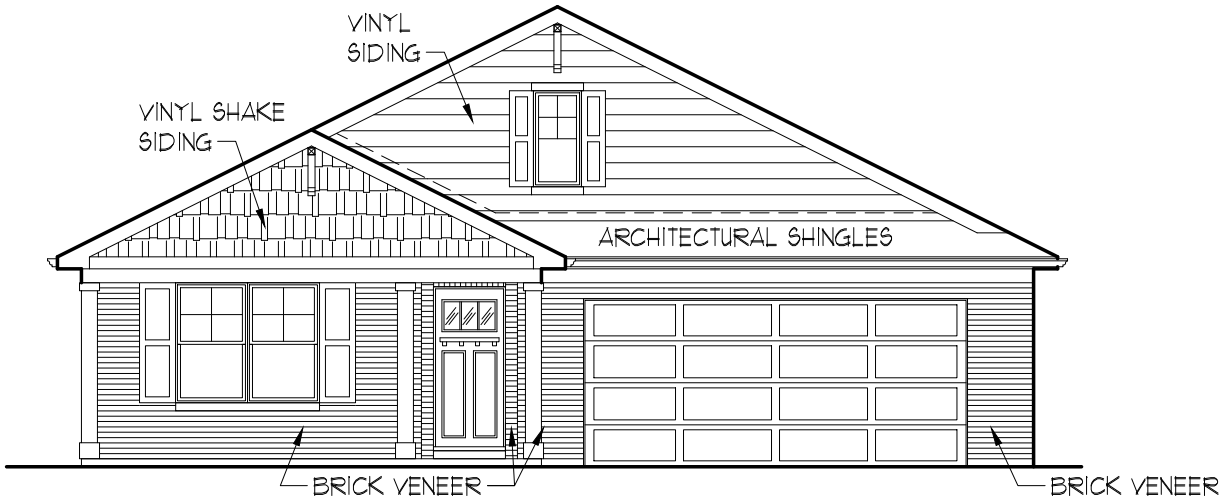
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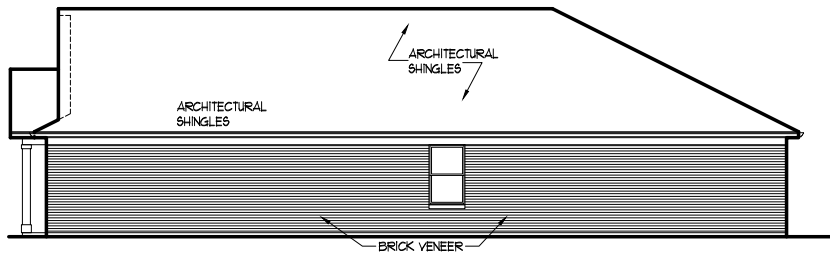
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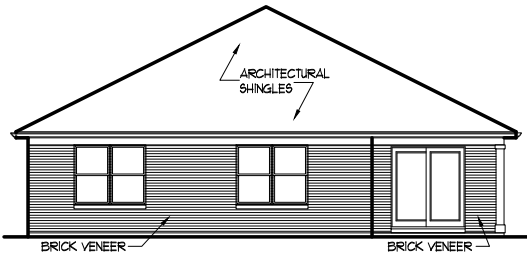




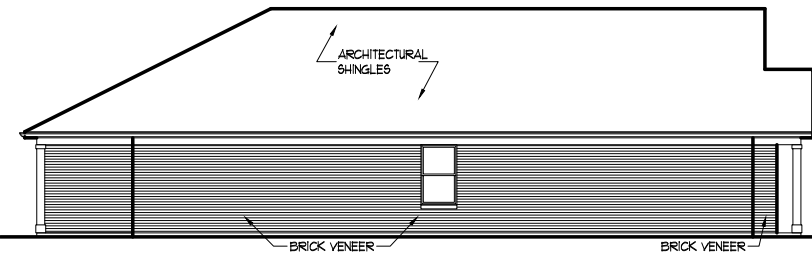
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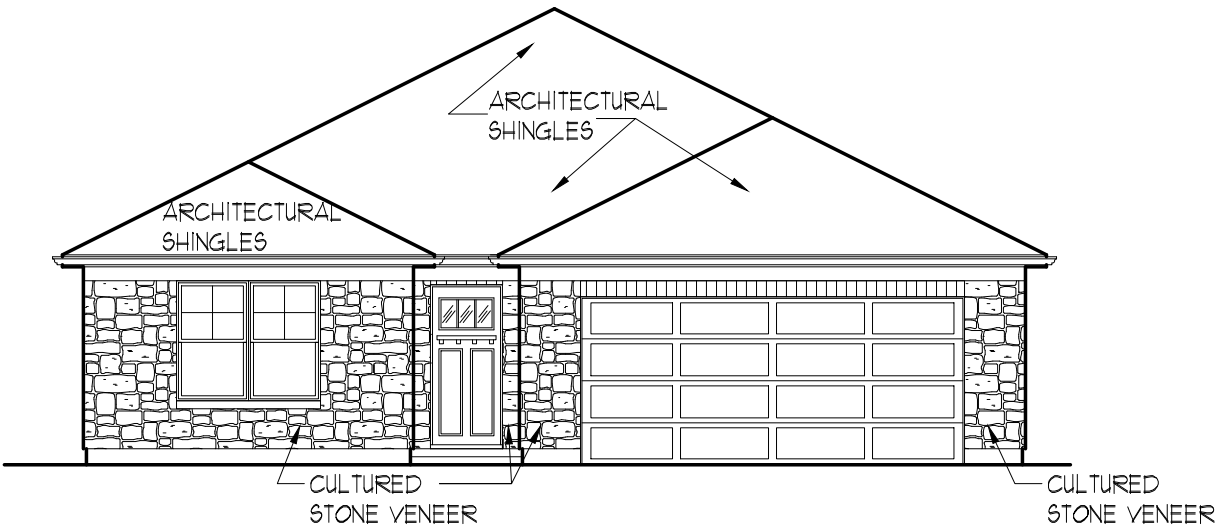
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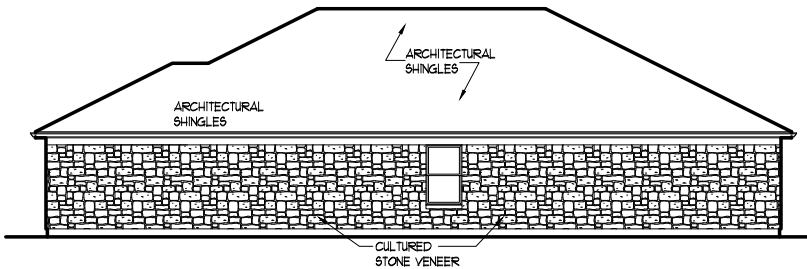
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TINLEY PARK, IL

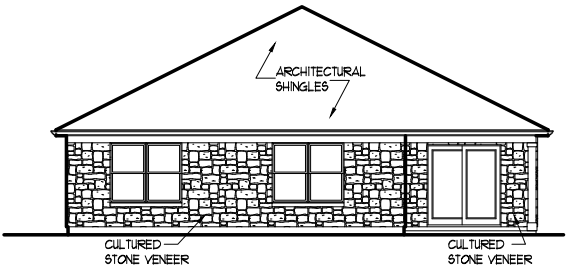




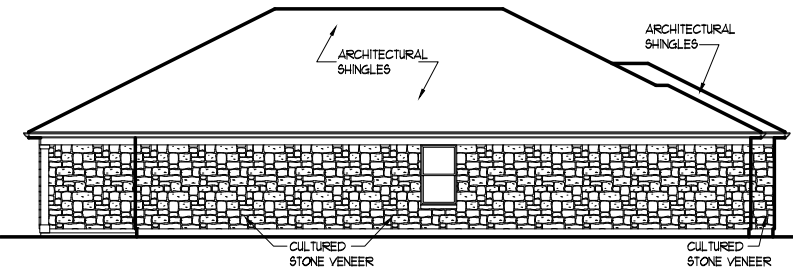
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



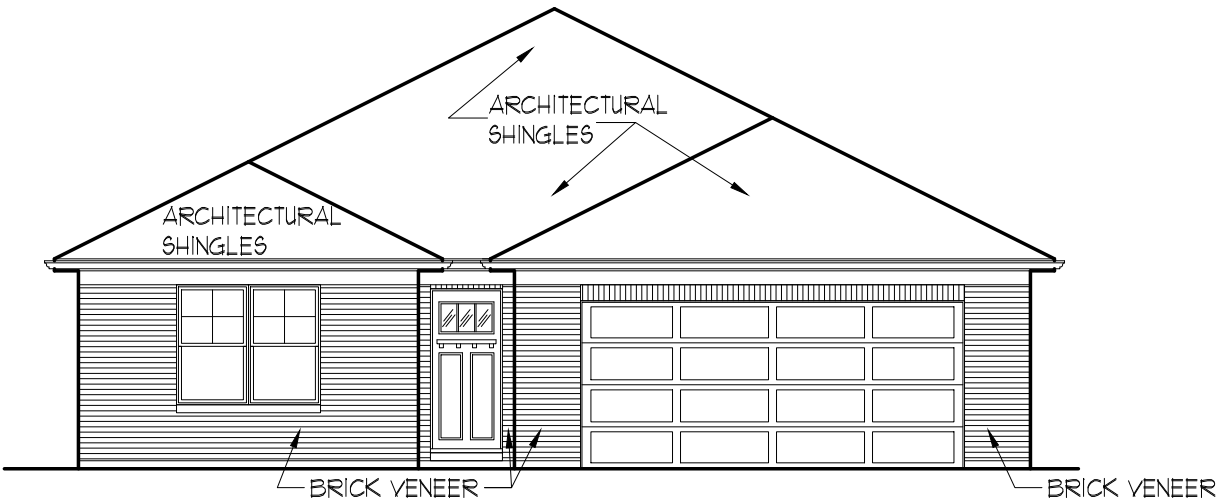
TYPICAL LEFT ELEVATION

x422 ELEVATION "C5"

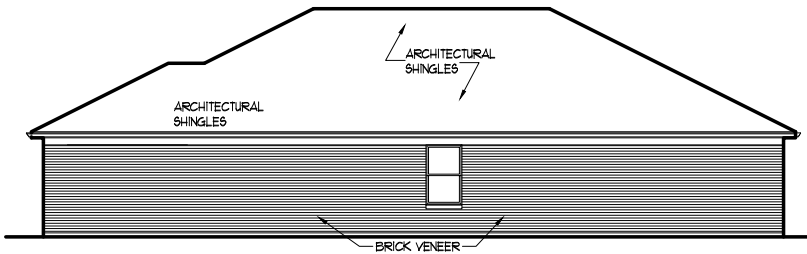
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

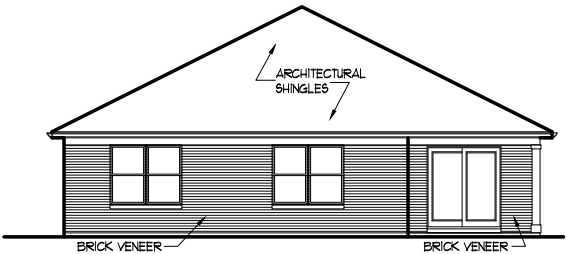




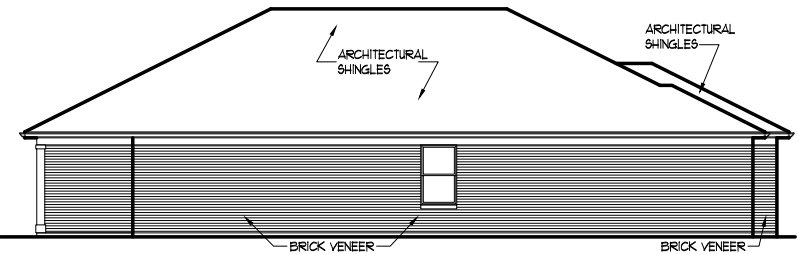
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



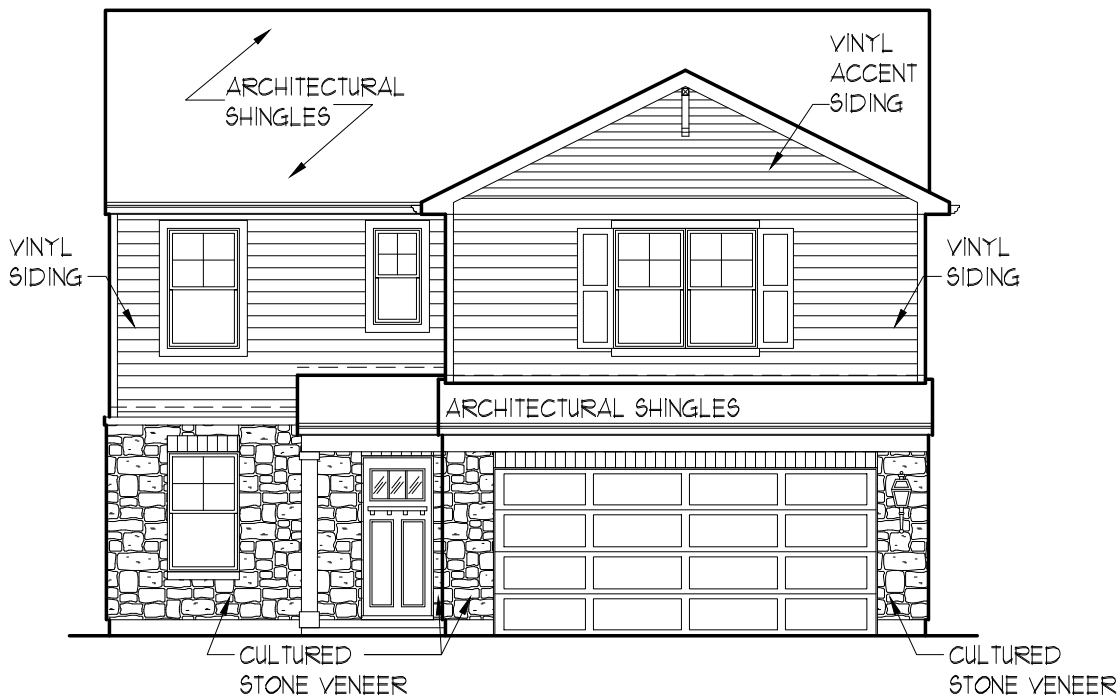
TYPICAL LEFT ELEVATION

X422 ELEVATION "C6"

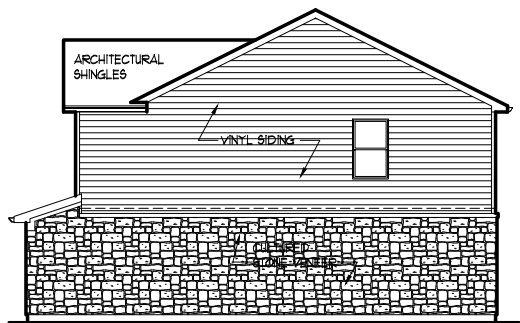
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

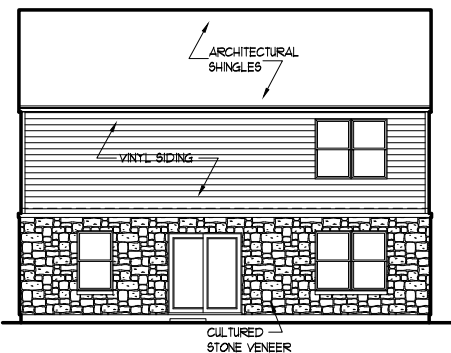




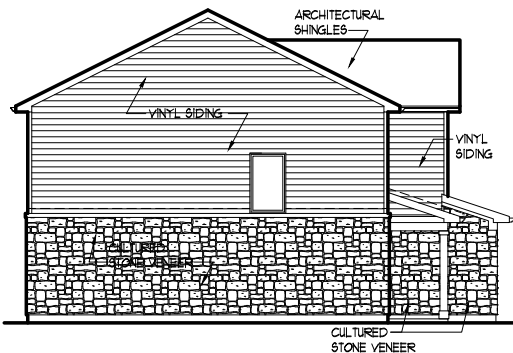
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



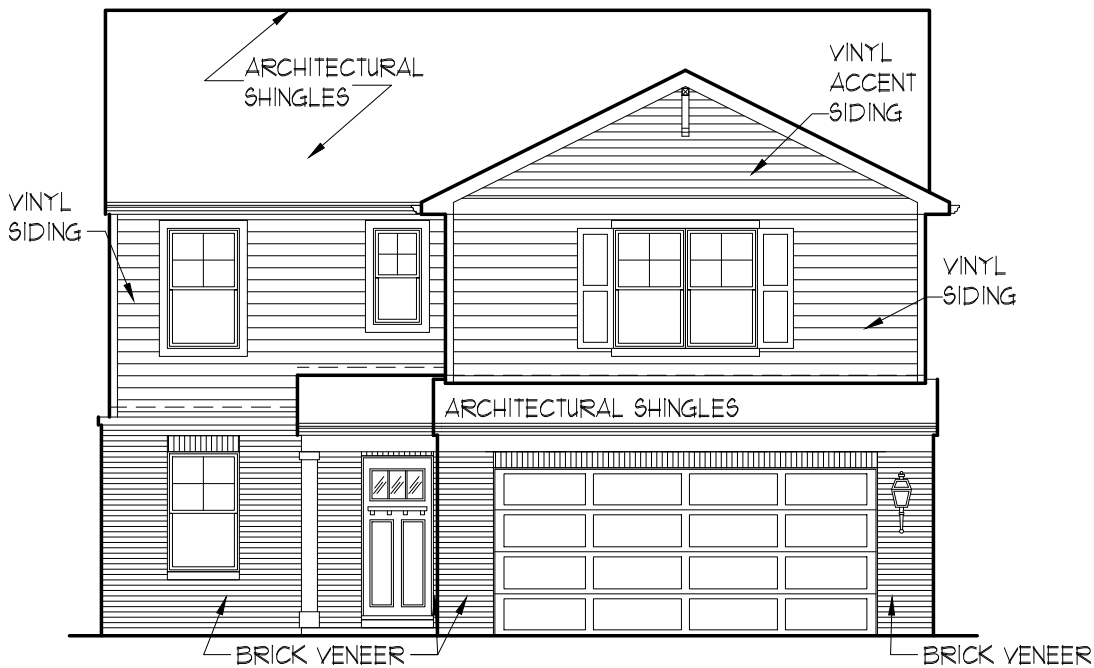
TYPICAL LEFT ELEVATION

x423 ELEVATION "A5"

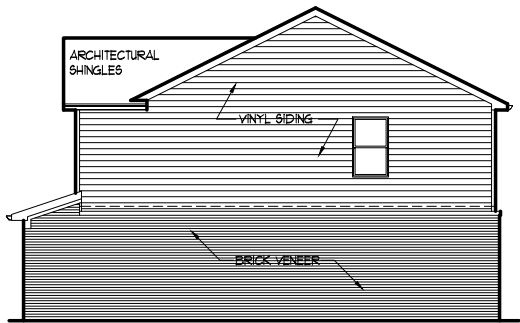
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

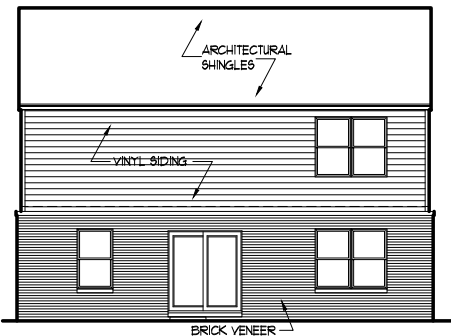




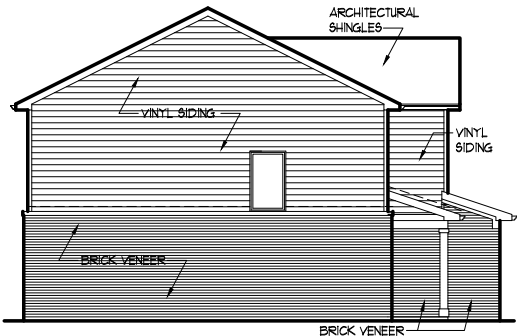
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



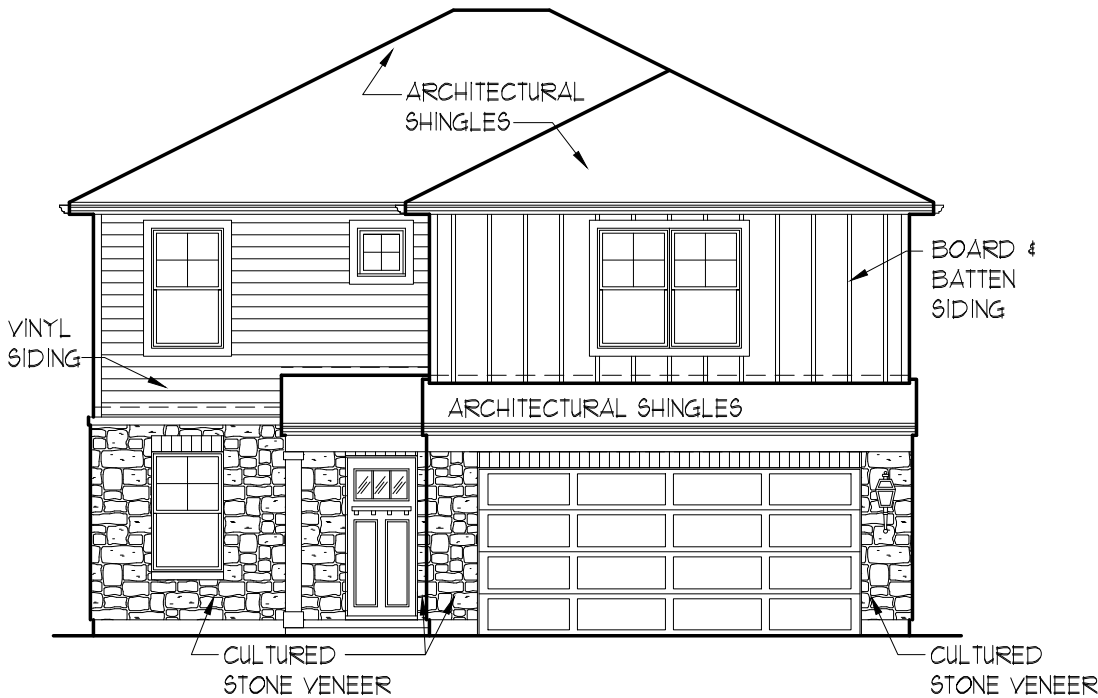
TYPICAL LEFT ELEVATION

x423 ELEVATION "A6"

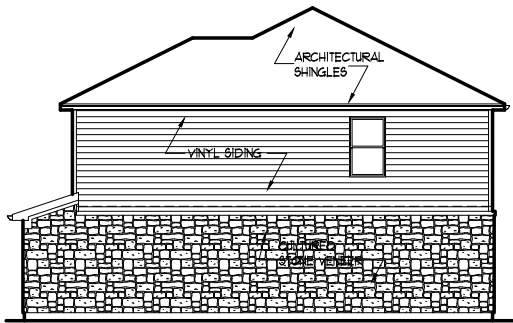
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

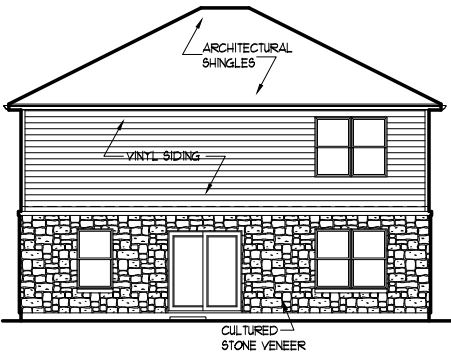




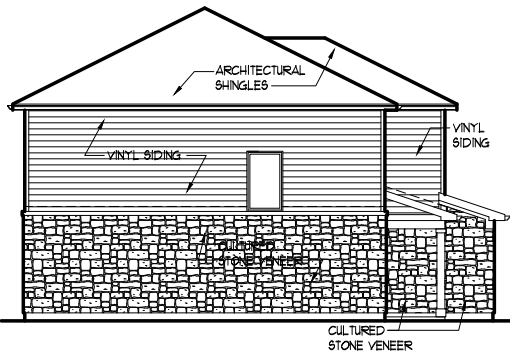
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



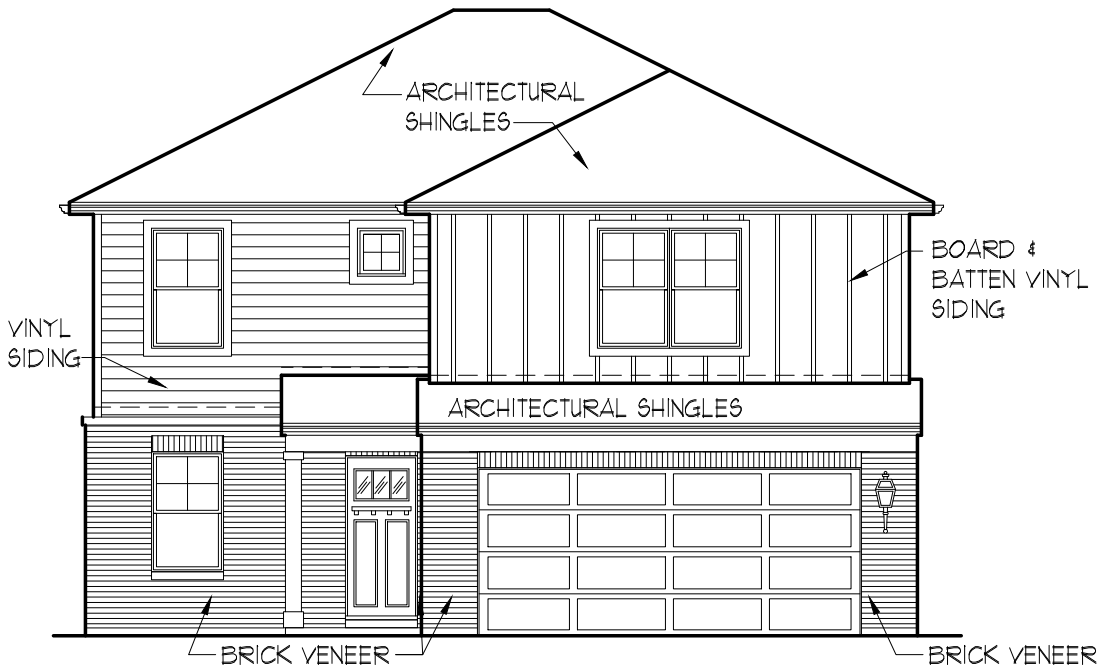
TYPICAL LEFT ELEVATION

x423 ELEVATION "C5"

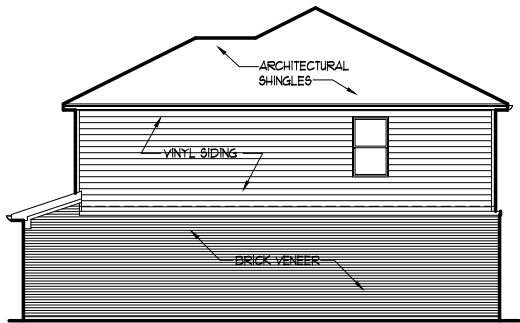
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

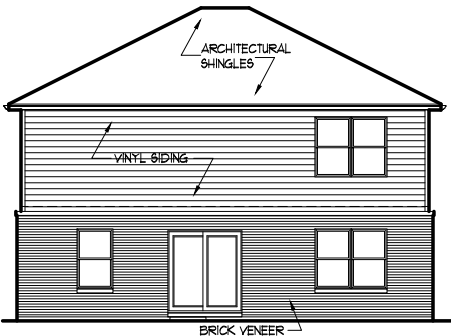




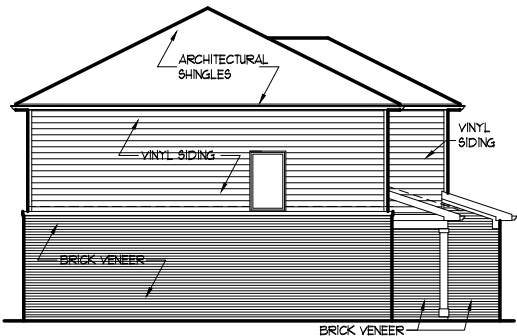
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



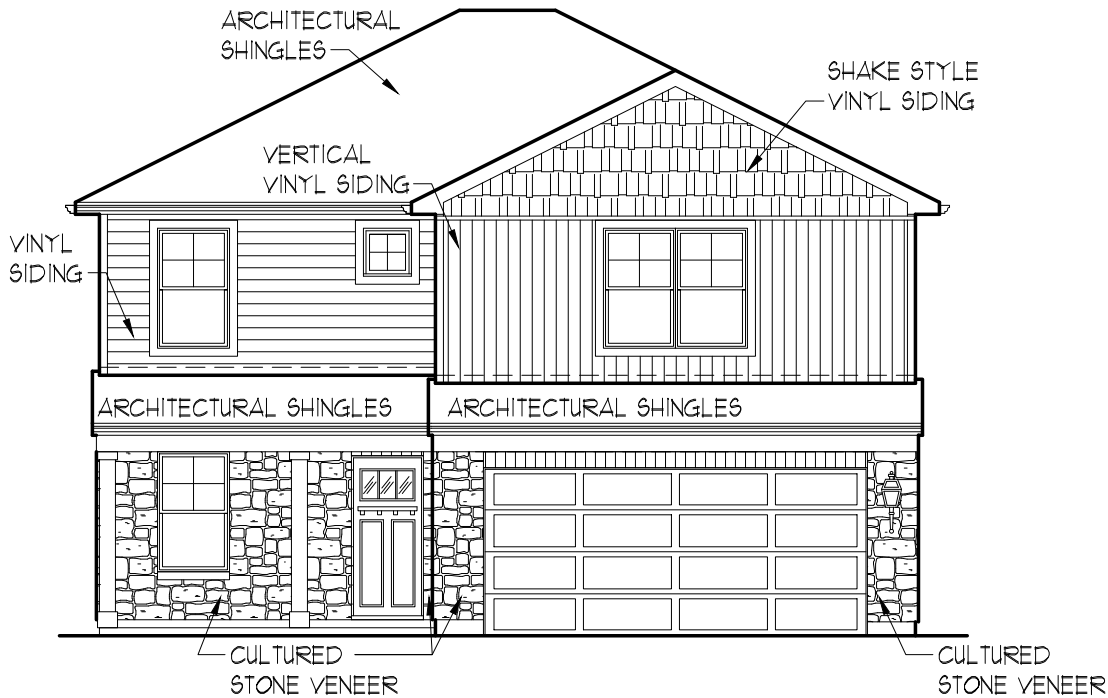
TYPICAL LEFT ELEVATION

x423 ELEVATION "C6"

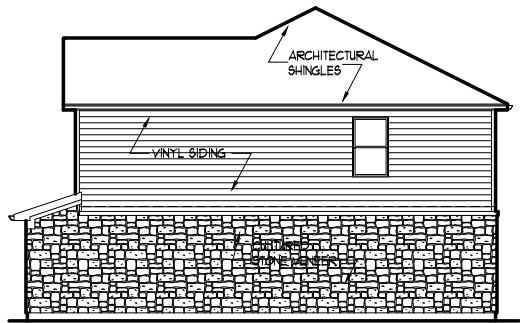
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

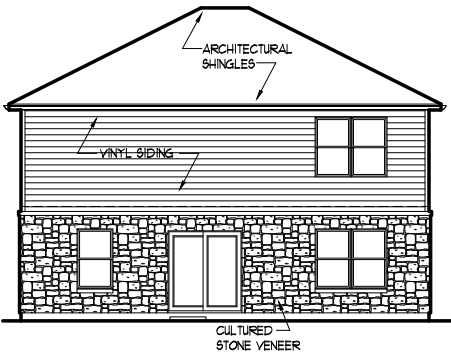




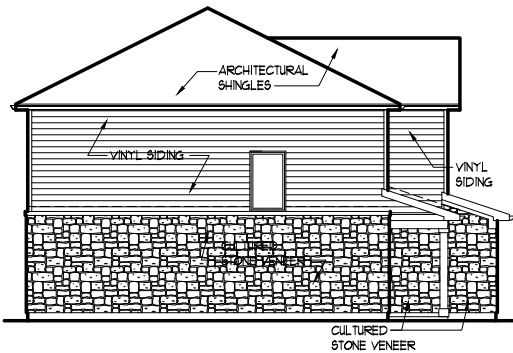
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



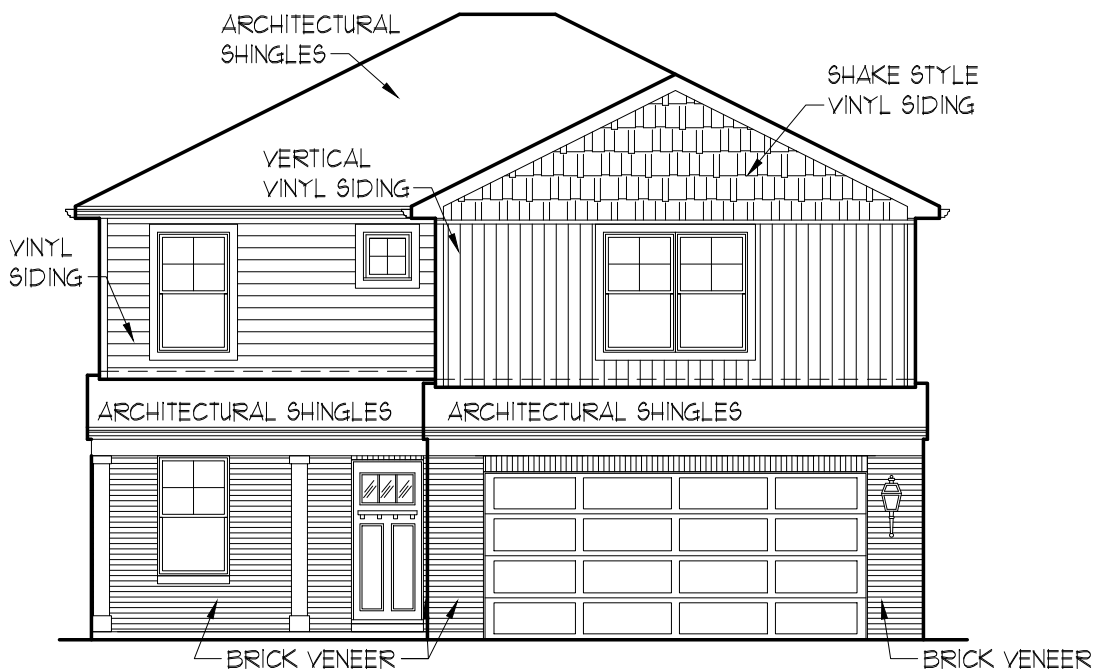
TYPICAL LEFT ELEVATION

x423 ELEVATION "D5"

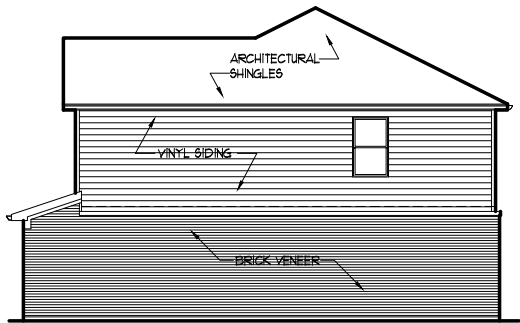
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

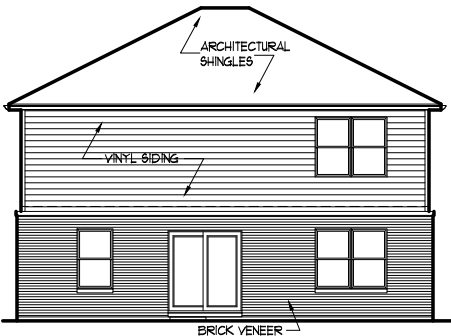




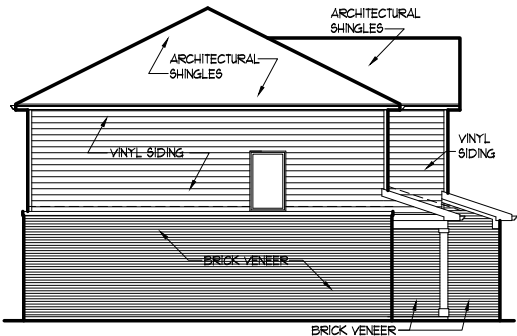
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



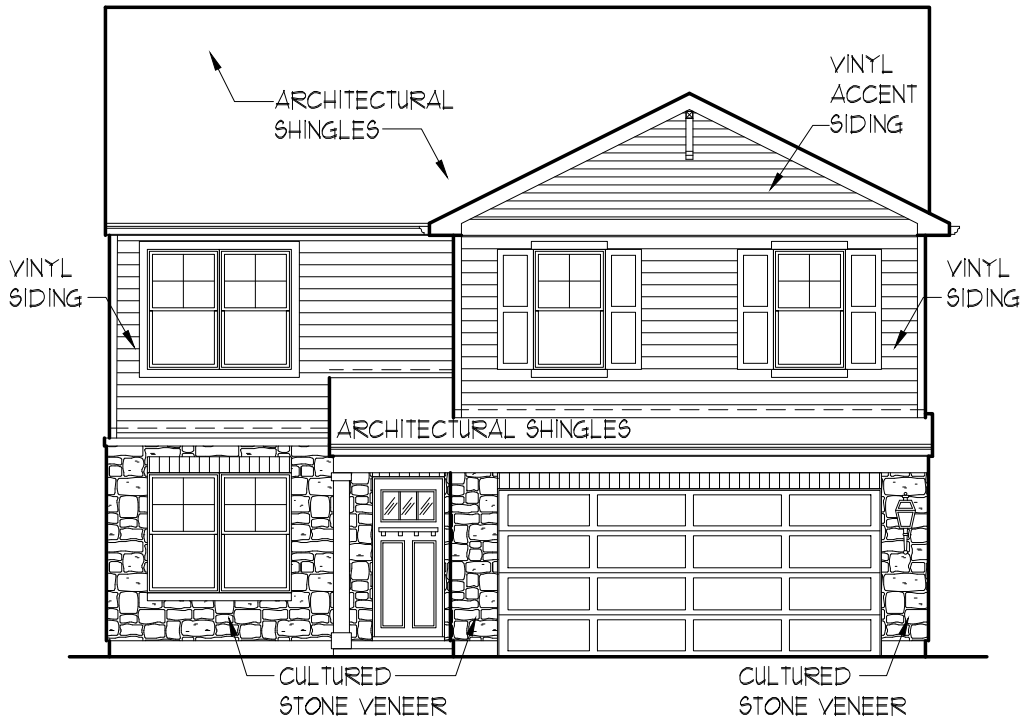
TYPICAL LEFT ELEVATION

x423 ELEVATION "D6"

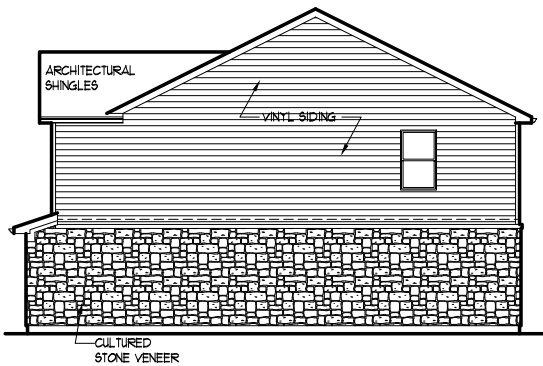
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

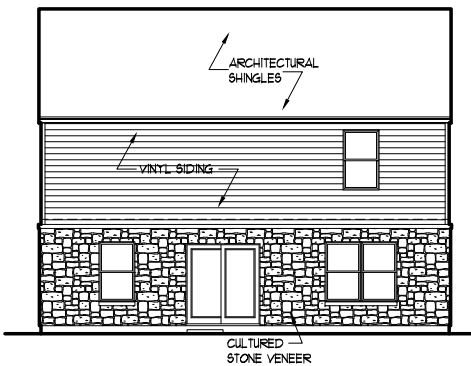




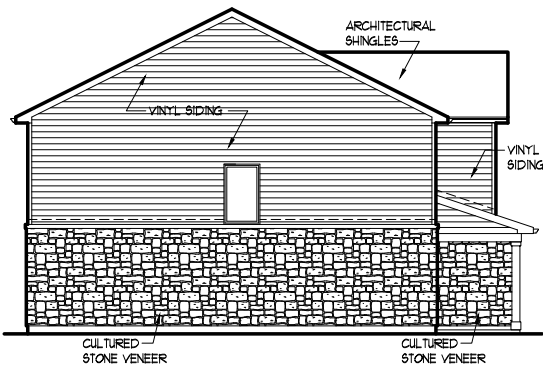
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



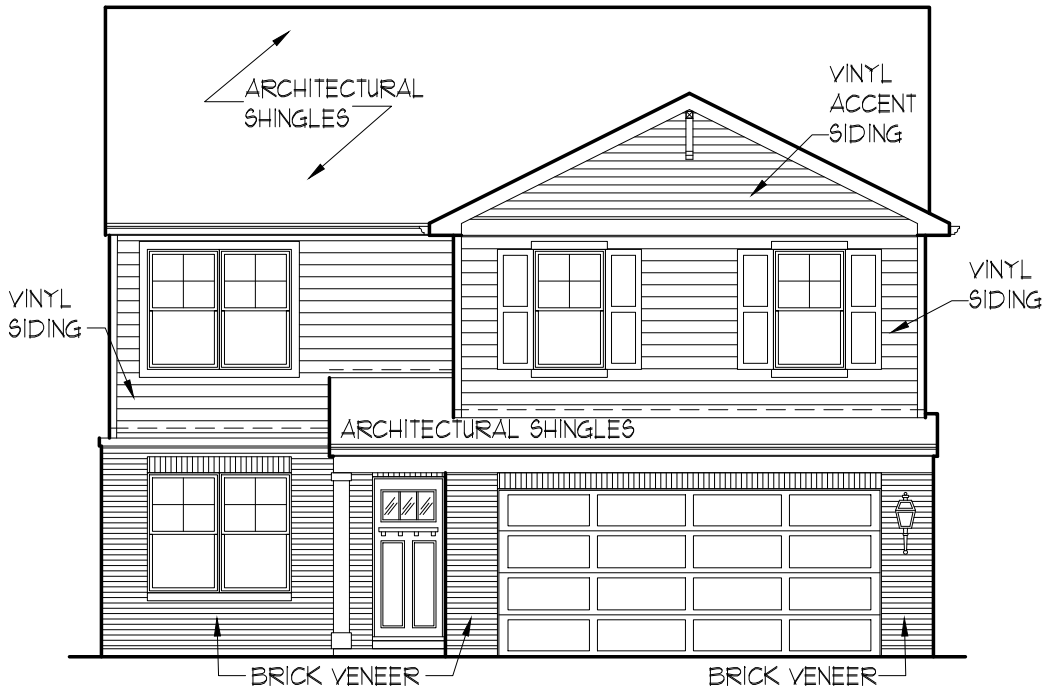
TYPICAL LEFT ELEVATION

X424 ELEVATION "A5"

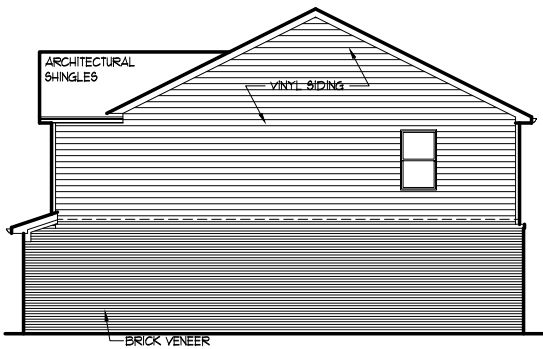
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

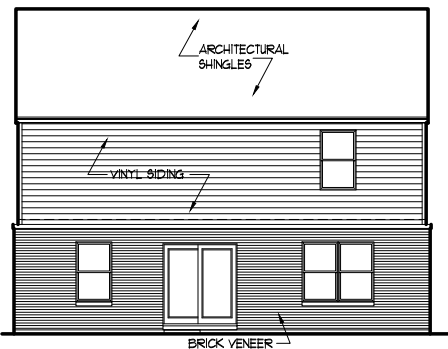




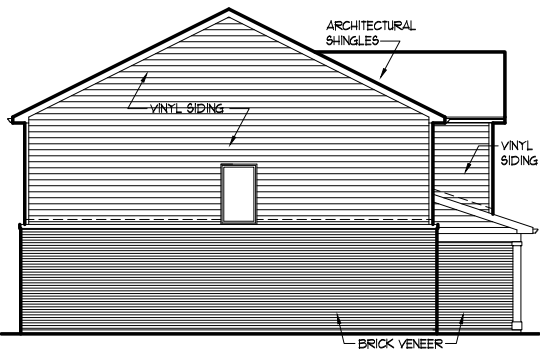
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



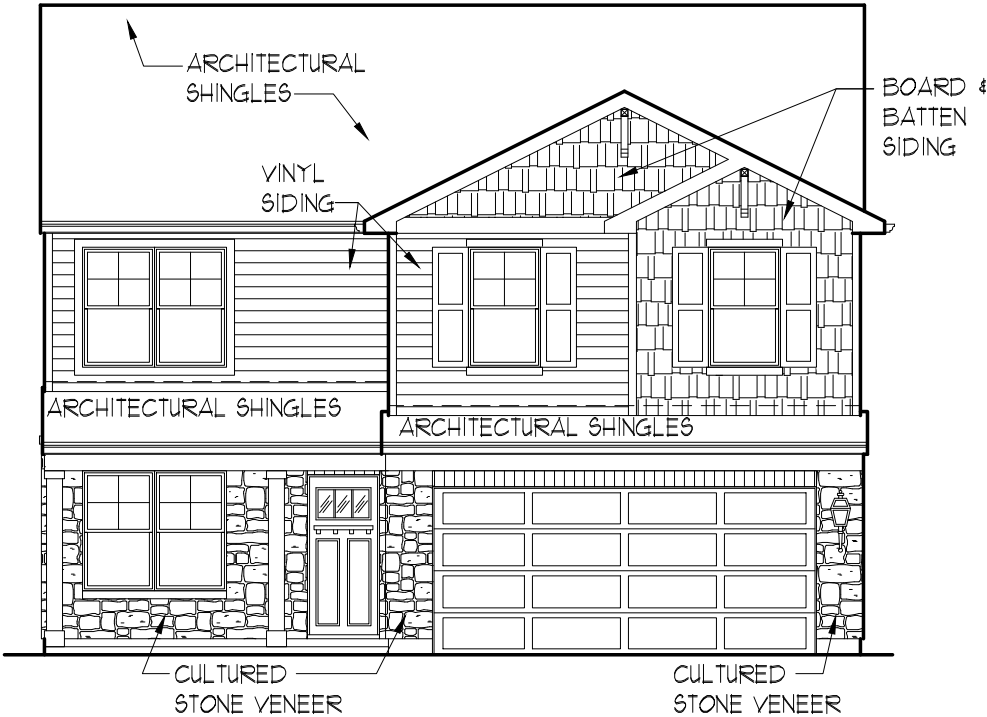
TYPICAL LEFT ELEVATION

X424 ELEVATION "A6"

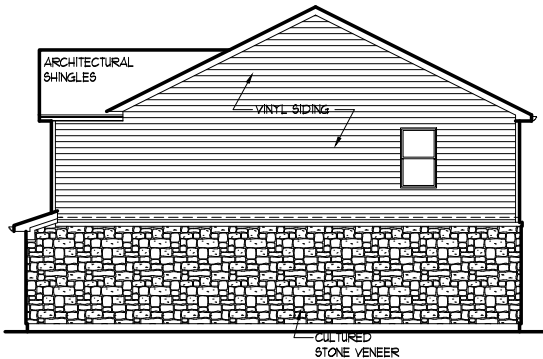
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

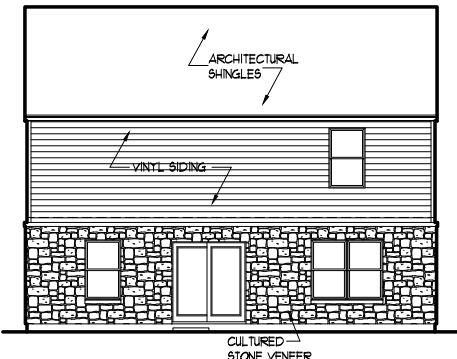




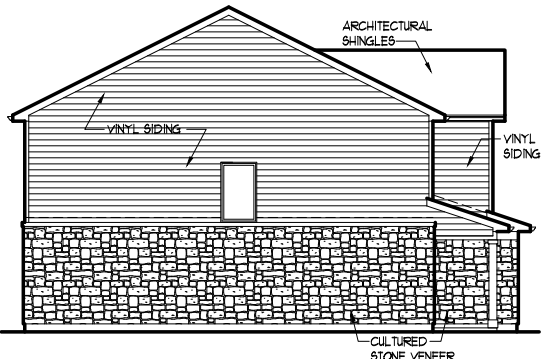
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



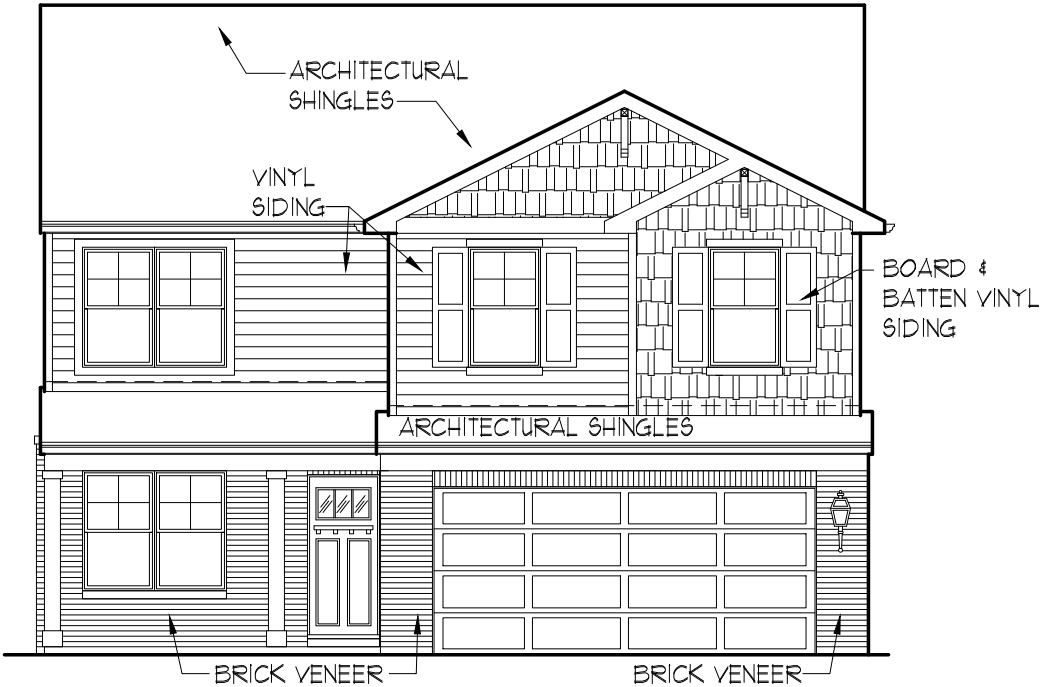
TYPICAL LEFT ELEVATION

X424 ELEVATION "B5"

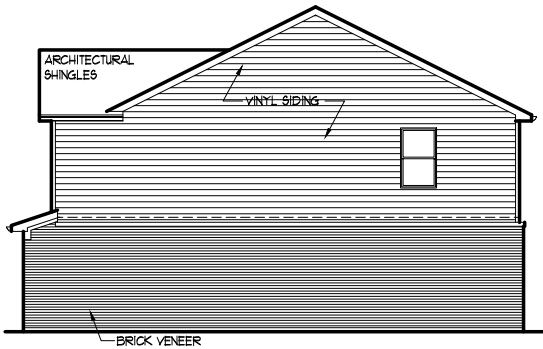
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

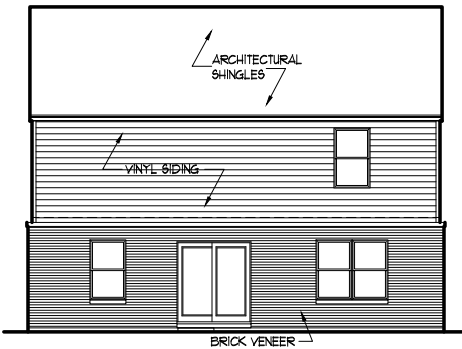




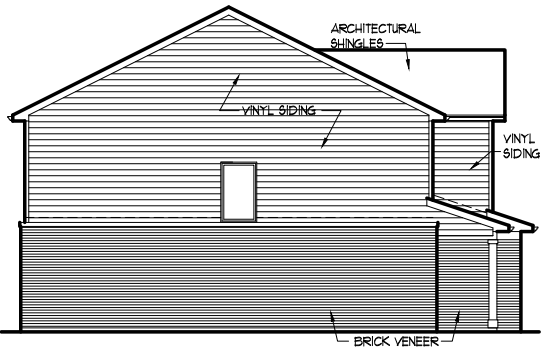
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



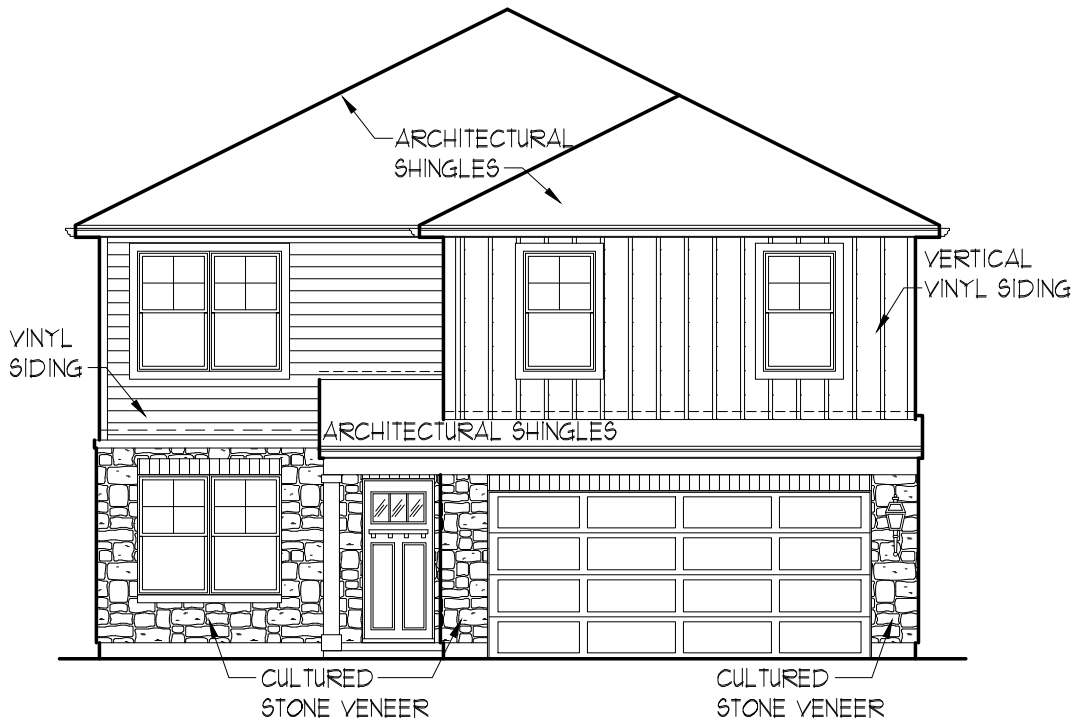
TYPICAL LEFT ELEVATION

X424 ELEVATION "B6"

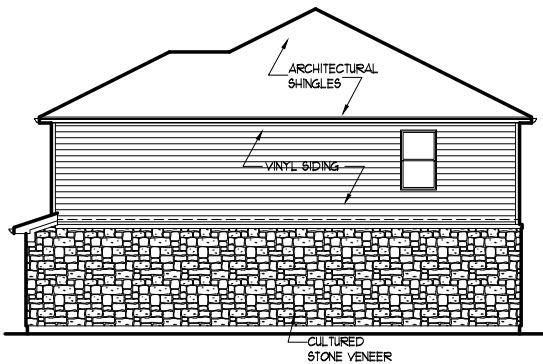
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

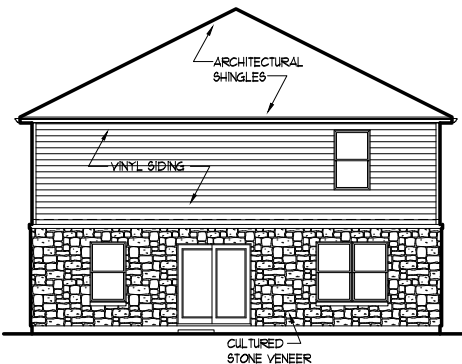




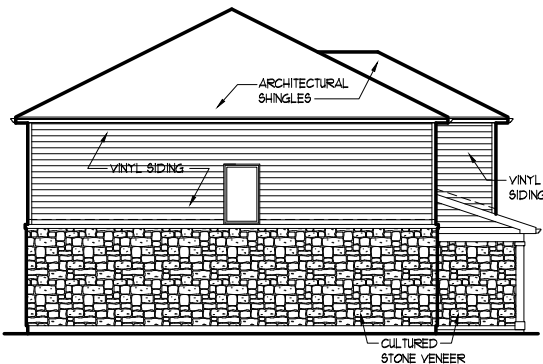
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



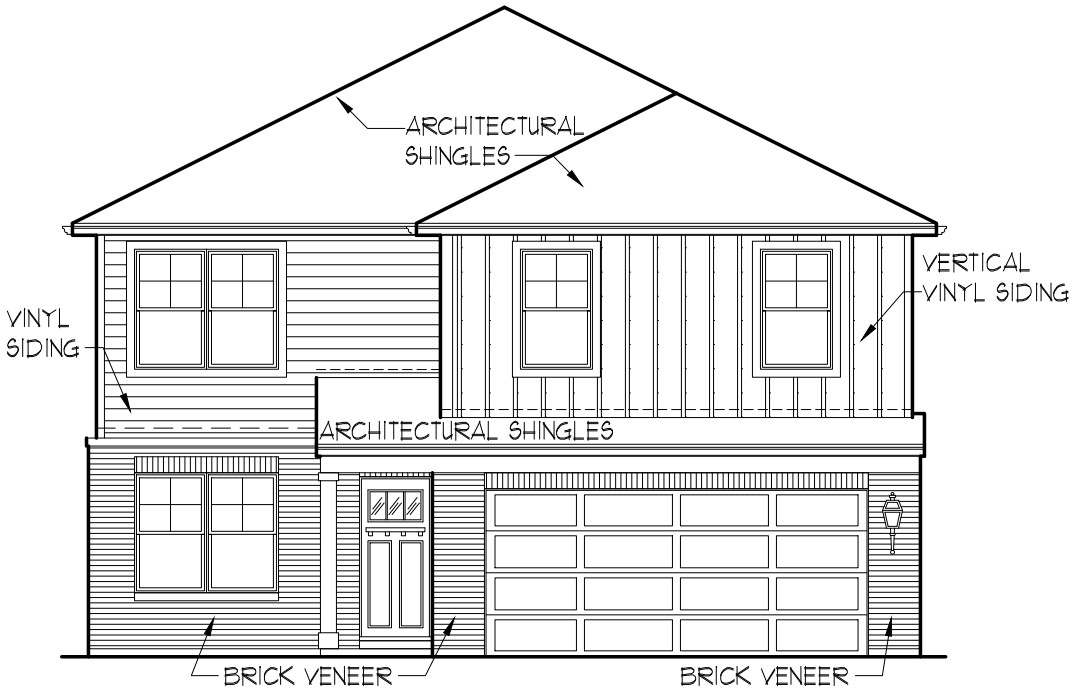
TYPICAL LEFT ELEVATION

x424 ELEVATION "C5"

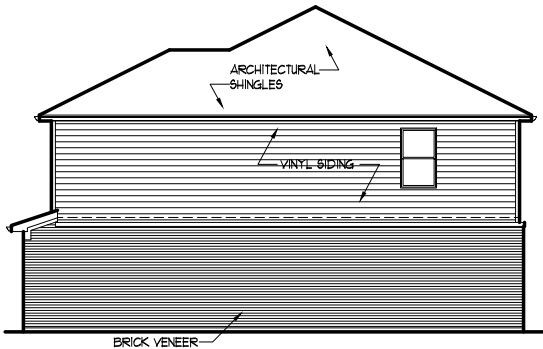
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

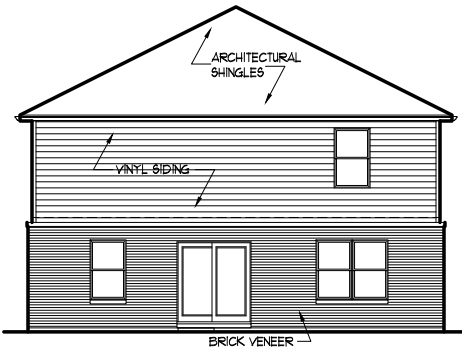




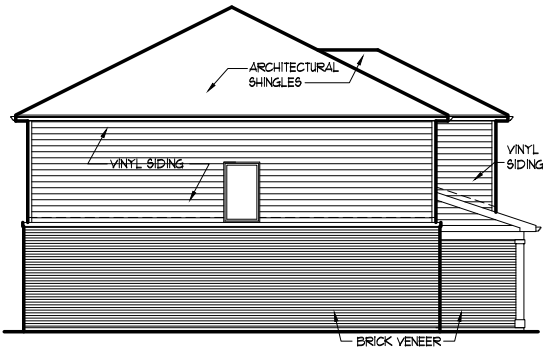
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



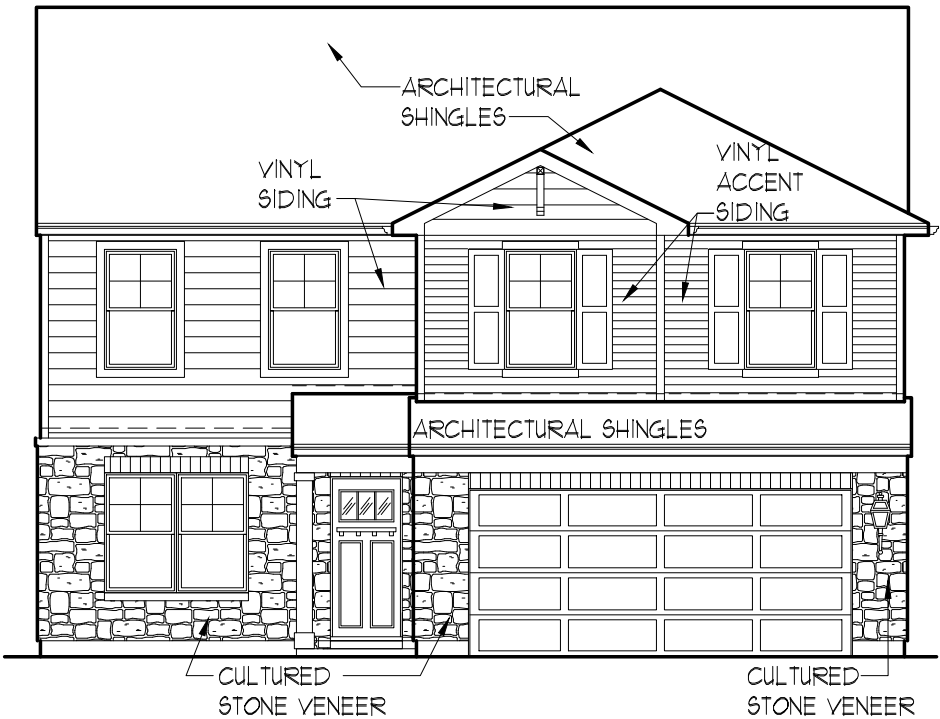
TYPICAL LEFT ELEVATION

X424 ELEVATION "C6"

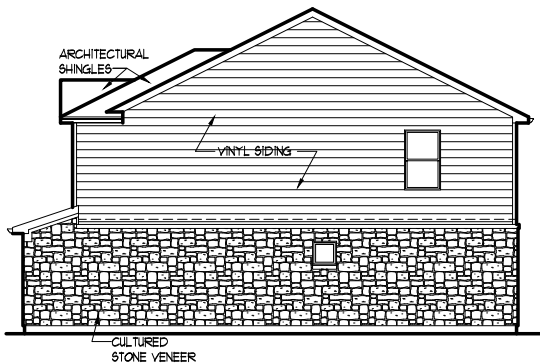
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

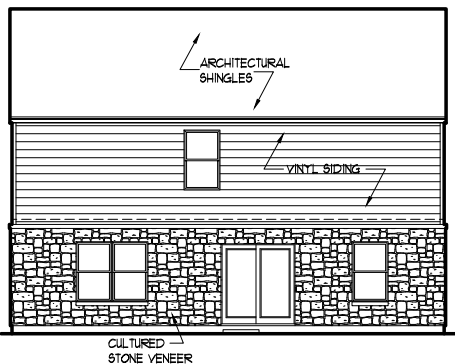




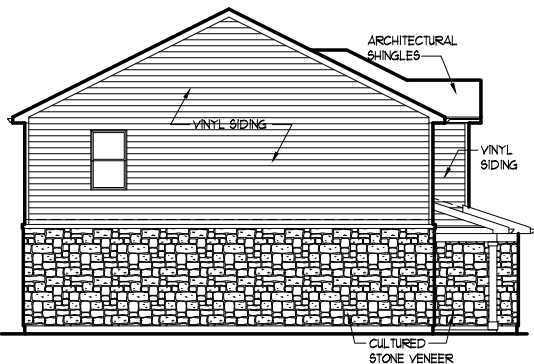
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



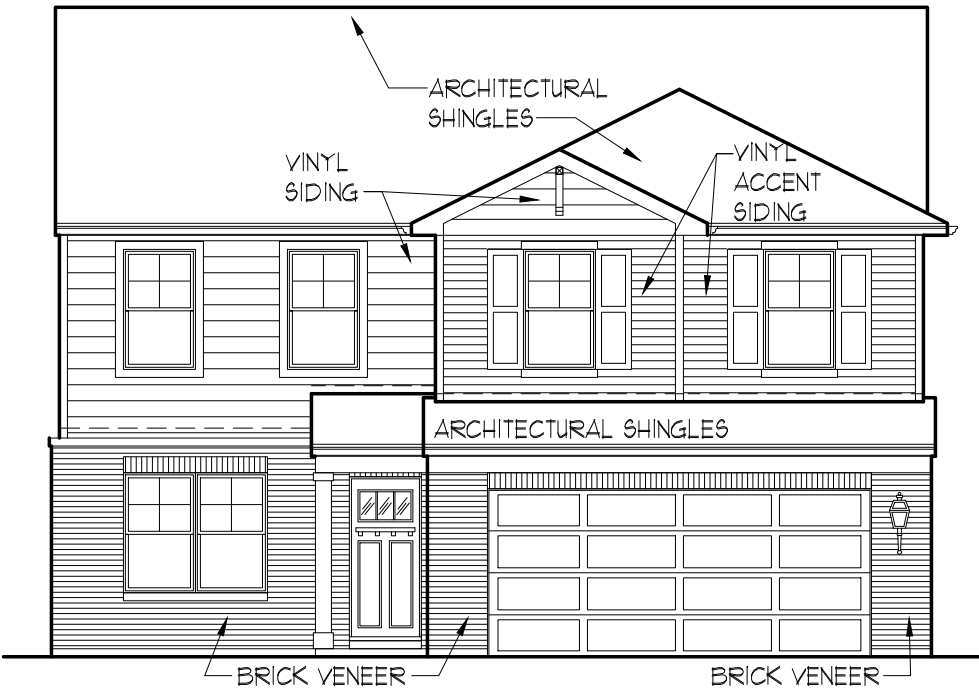
TYPICAL LEFT ELEVATION

x426 ELEVATION "A5"

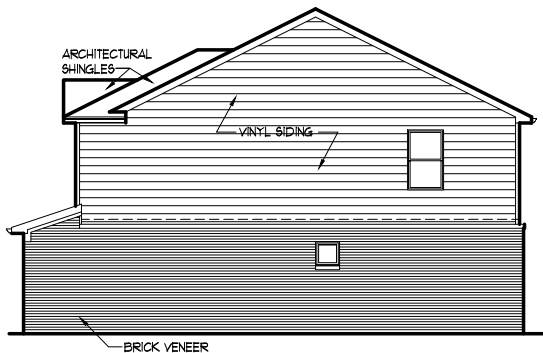
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

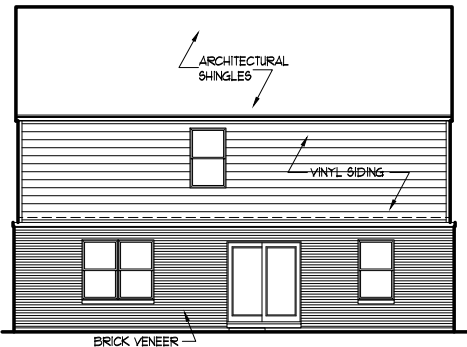




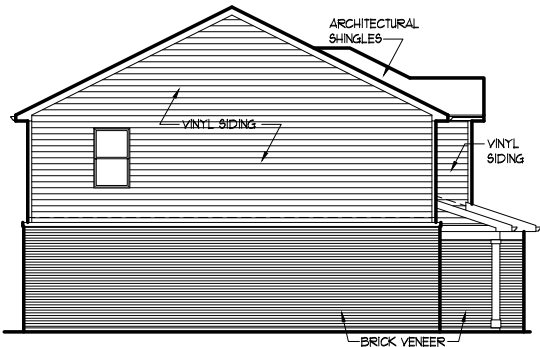
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



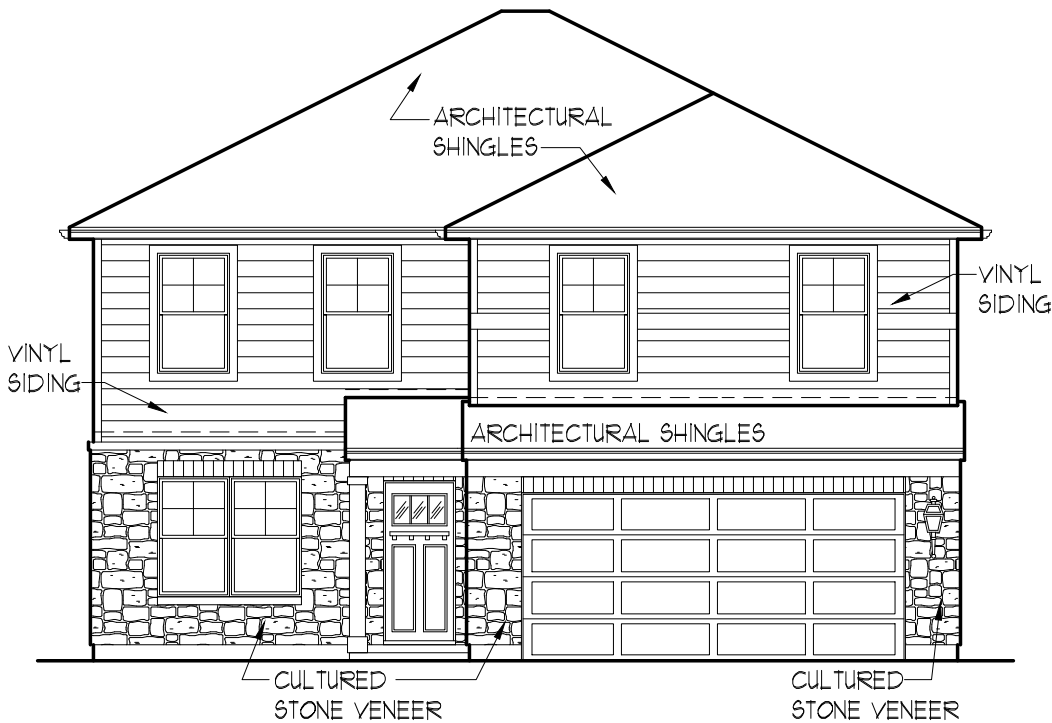
TYPICAL LEFT ELEVATION

x426 ELEVATION "A6"

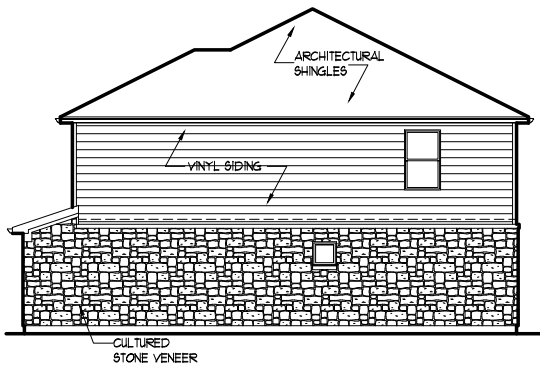
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

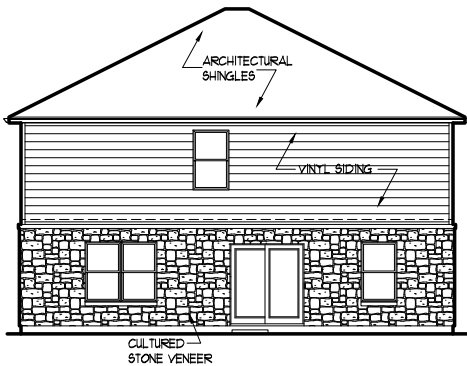




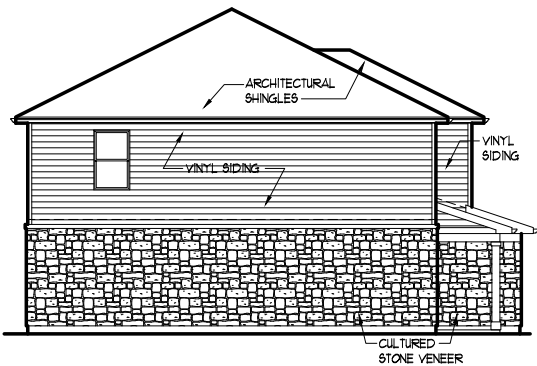
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



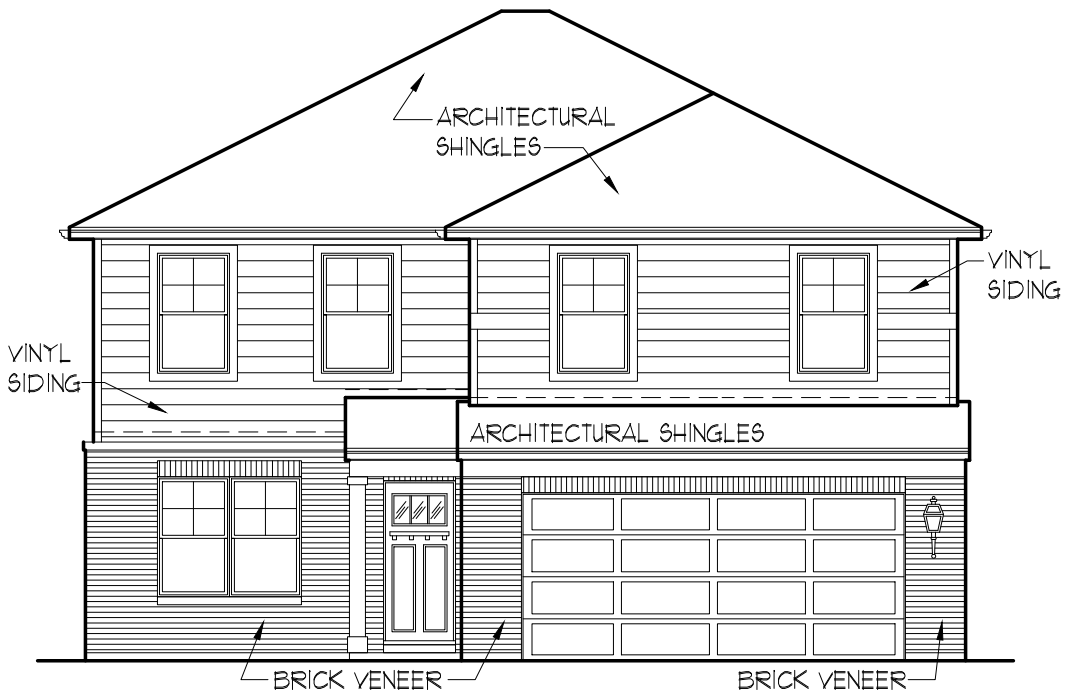
TYPICAL LEFT ELEVATION

x426 ELEVATION "C5"

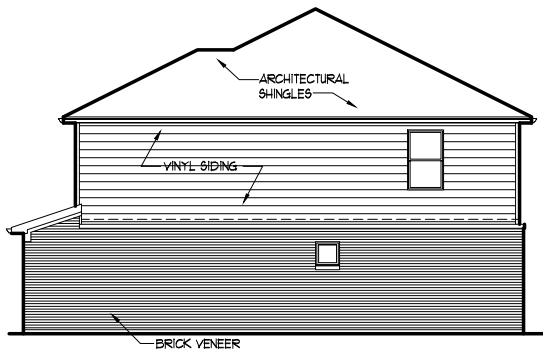
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

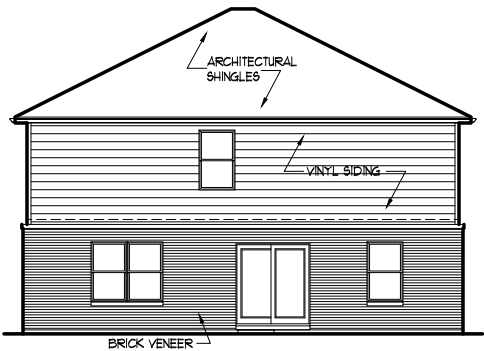




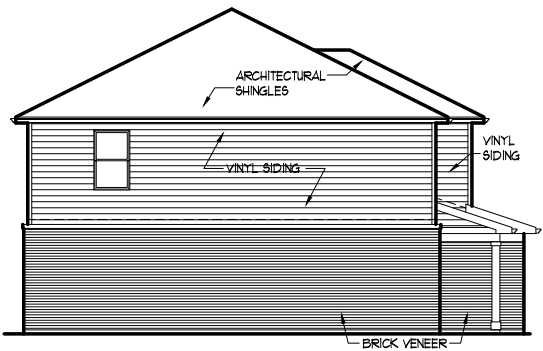
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



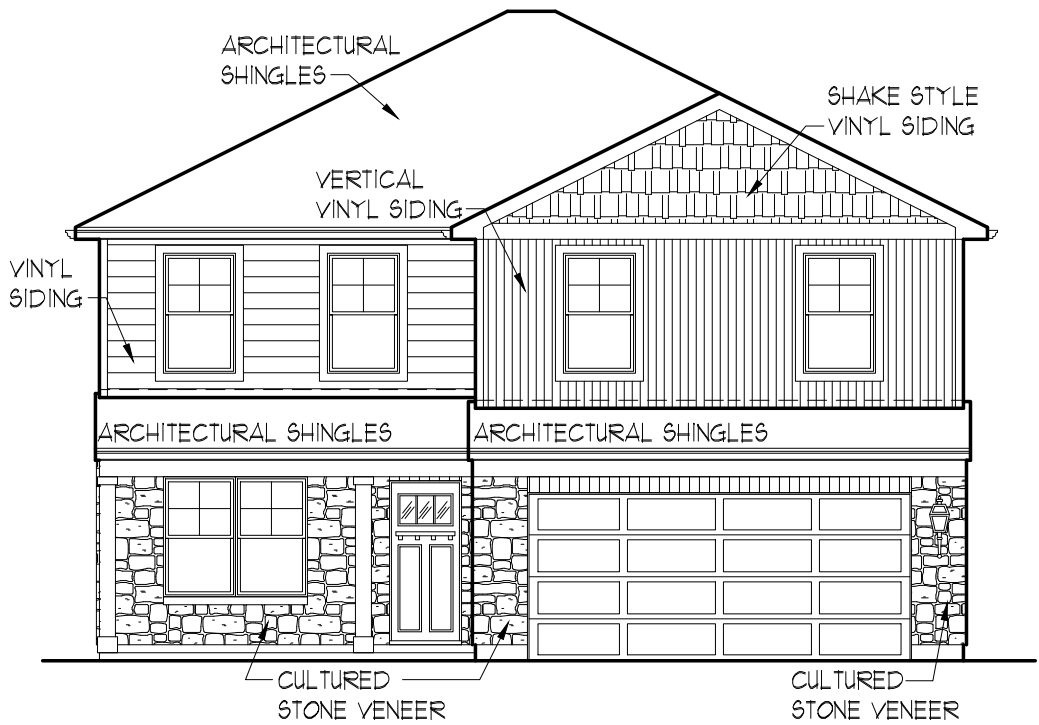
TYPICAL LEFT ELEVATION

x426 ELEVATION "C6"

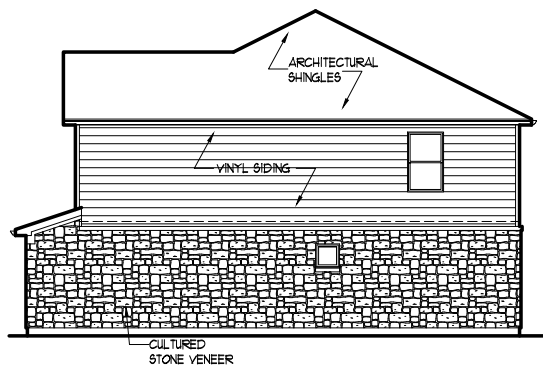
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

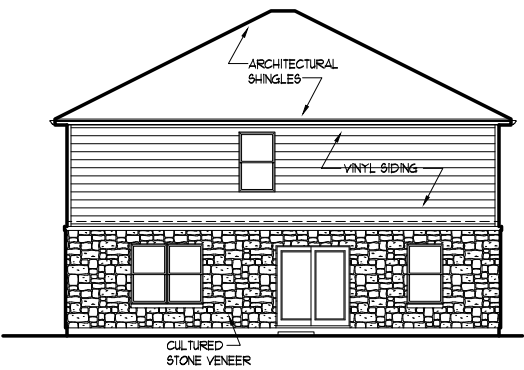




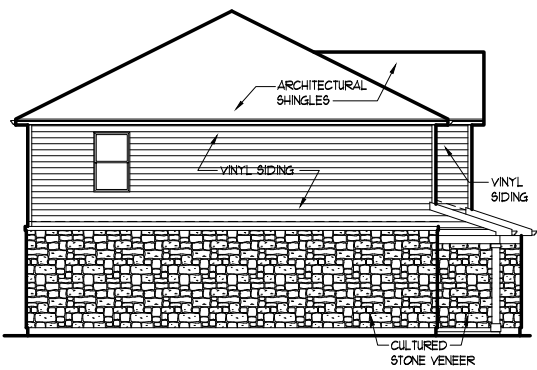
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



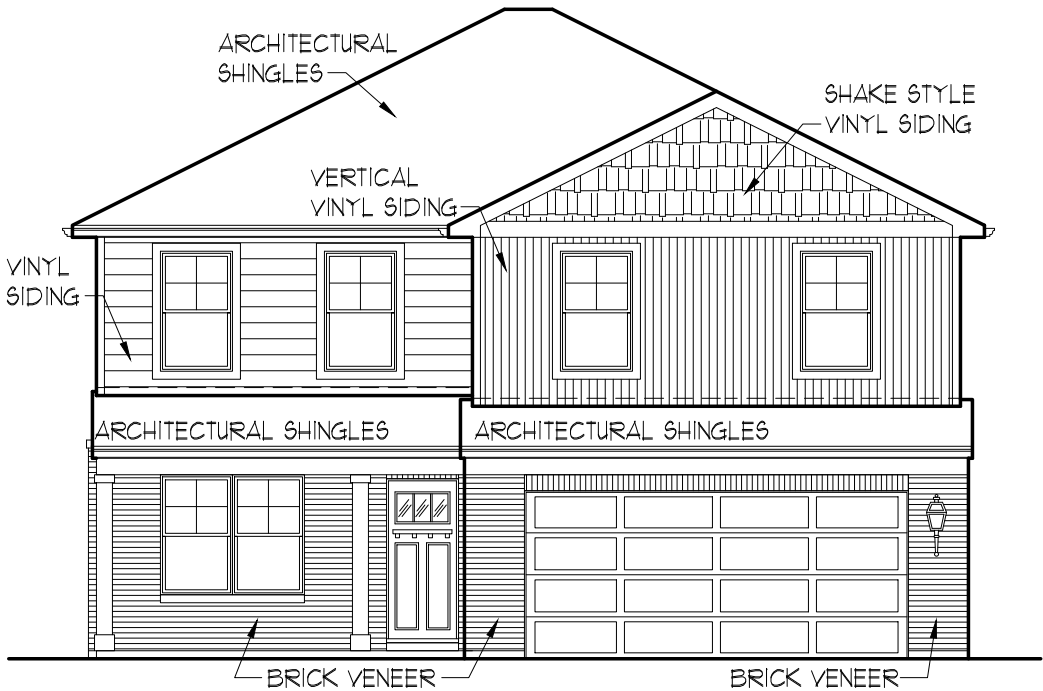
TYPICAL LEFT ELEVATION

x426 ELEVATION "D5"

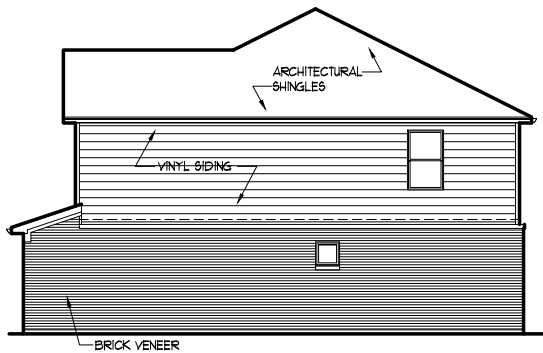
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

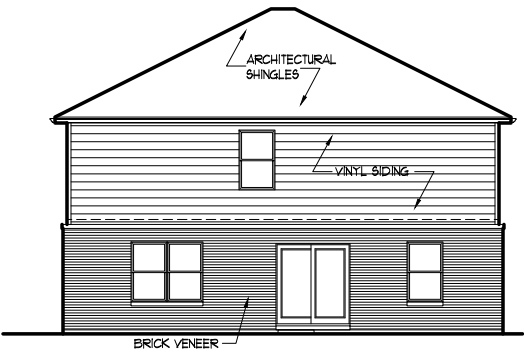




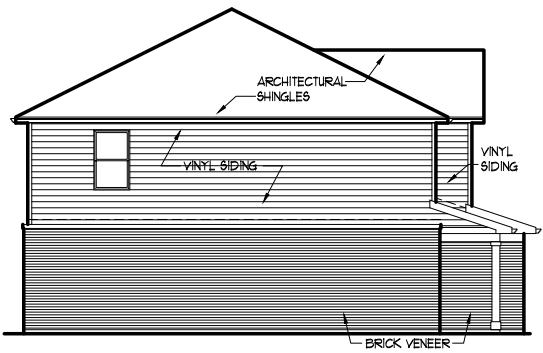
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



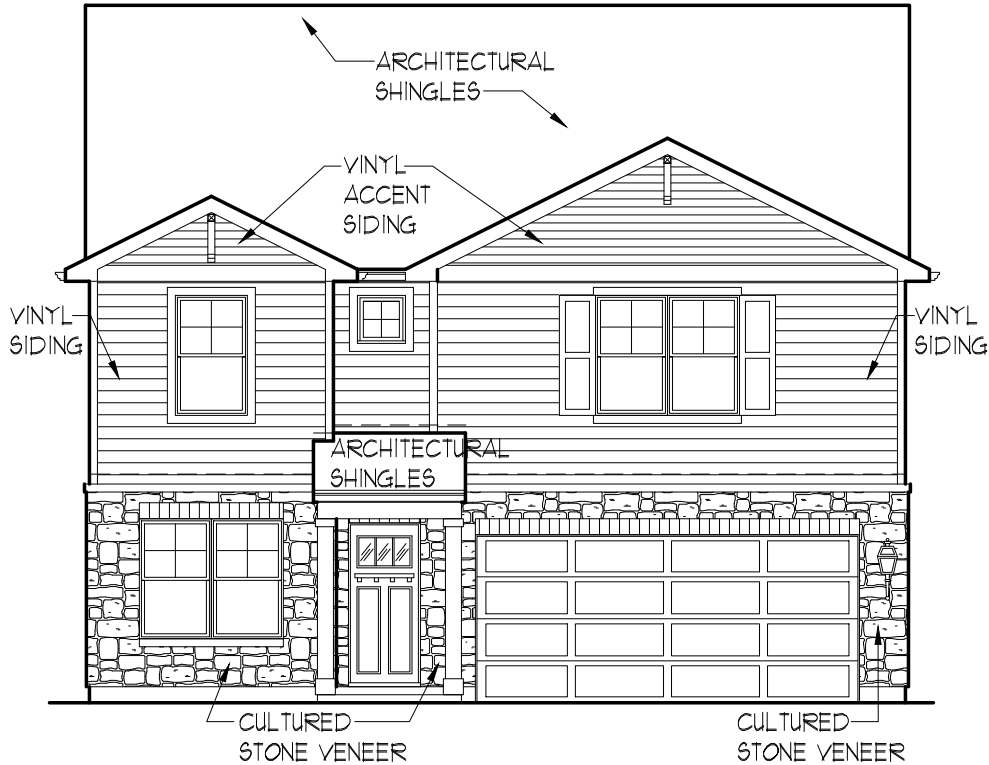
TYPICAL LEFT ELEVATION

x426 ELEVATION "D6"

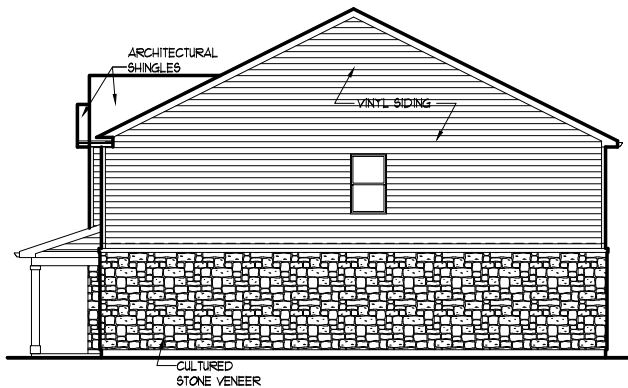
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

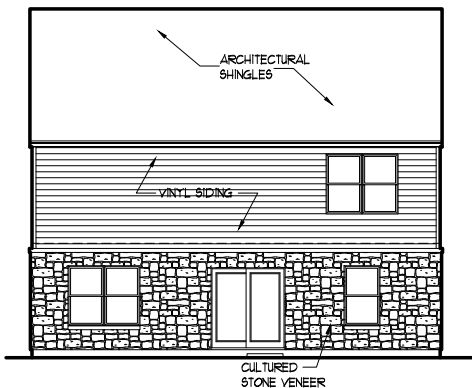




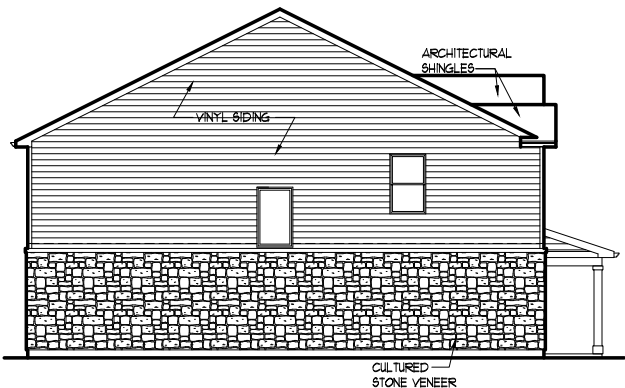
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



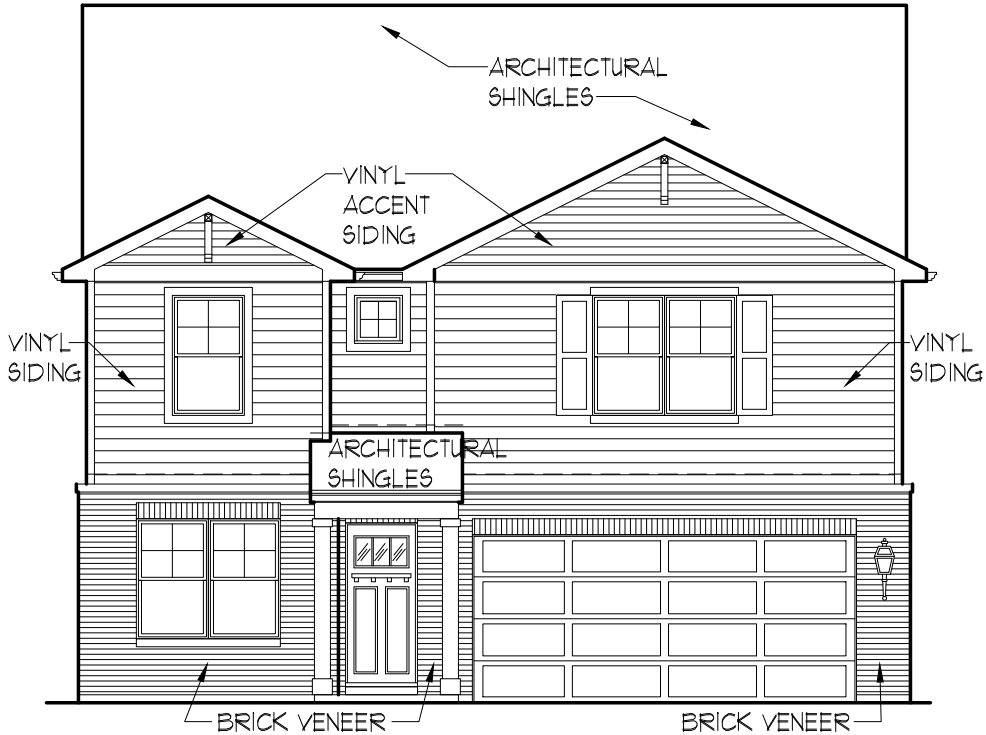
TYPICAL LEFT ELEVATION

X427 ELEVATION "A5"

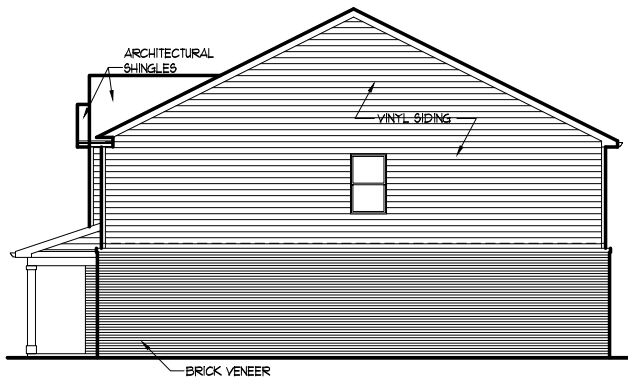
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

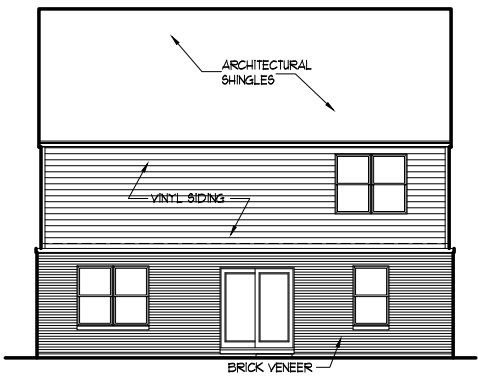




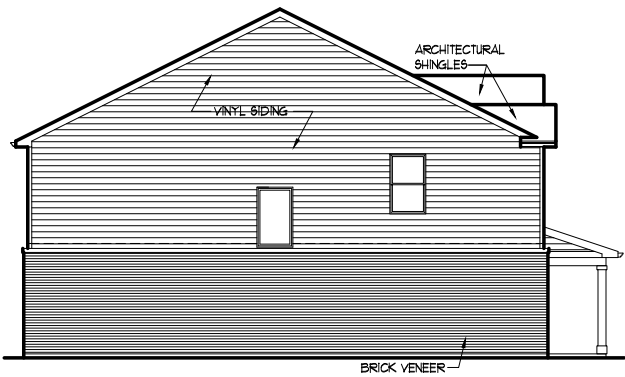
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



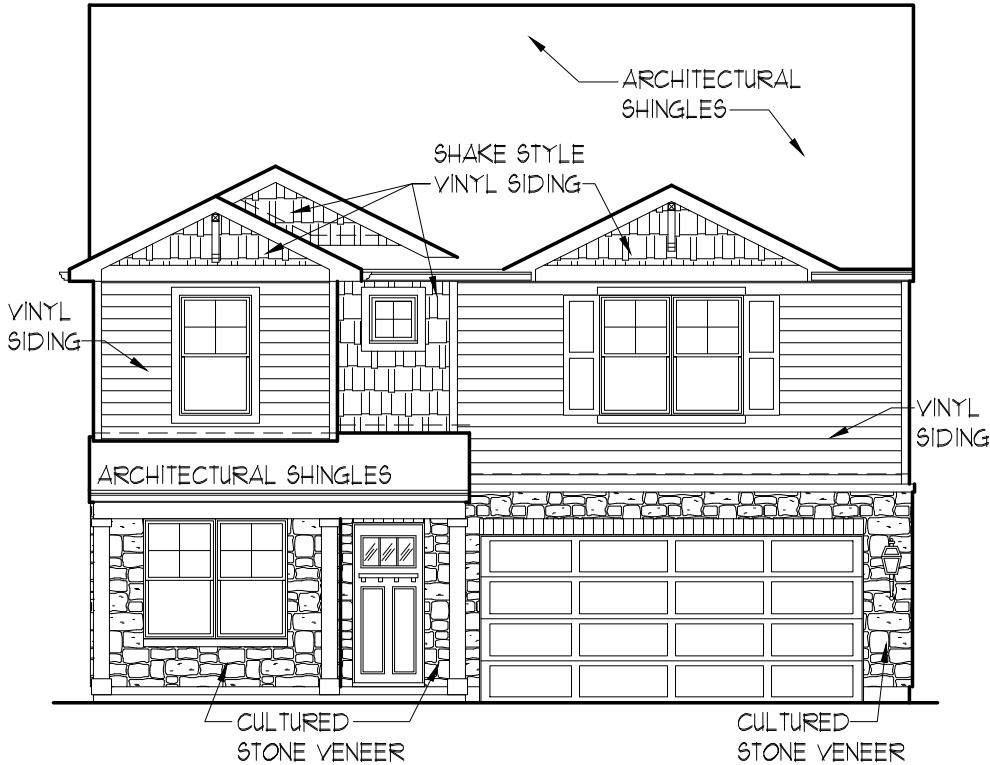
TYPICAL LEFT ELEVATION

X427 ELEVATION "A6"

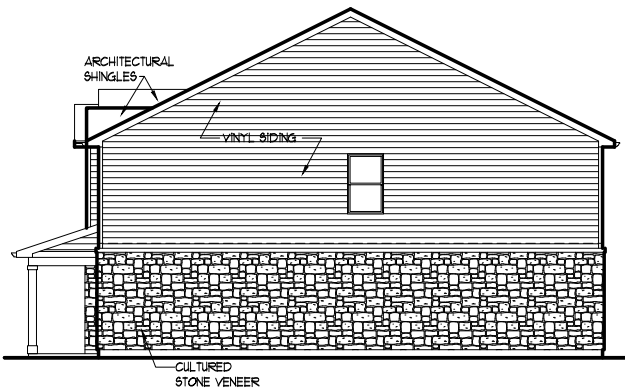
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

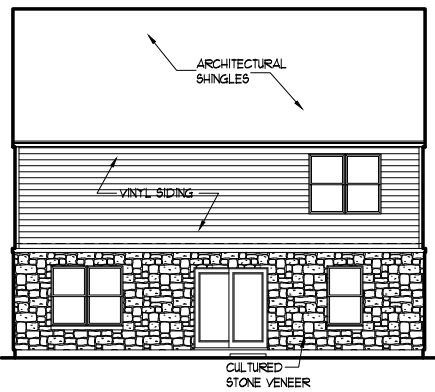




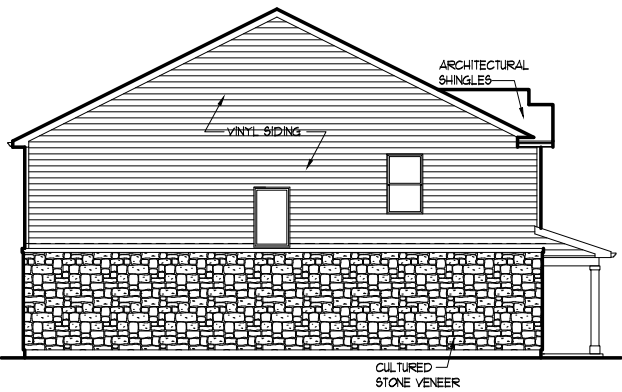
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



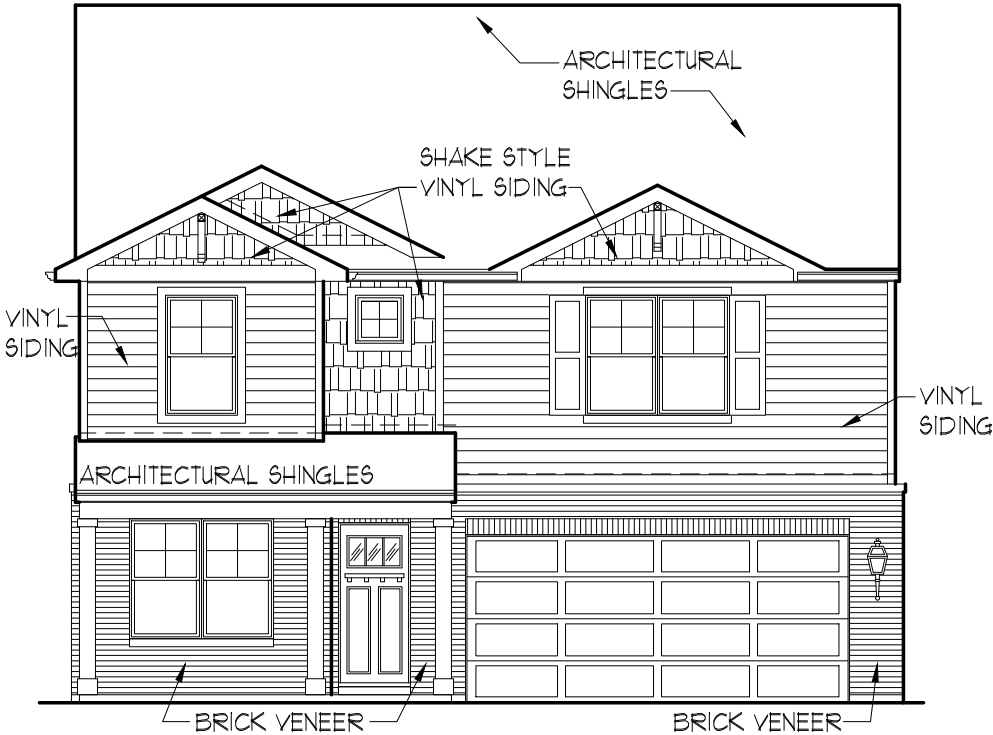
TYPICAL LEFT ELEVATION

x427 ELEVATION "B5"

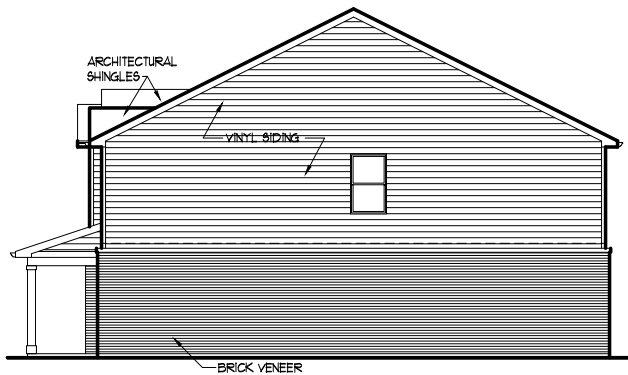
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

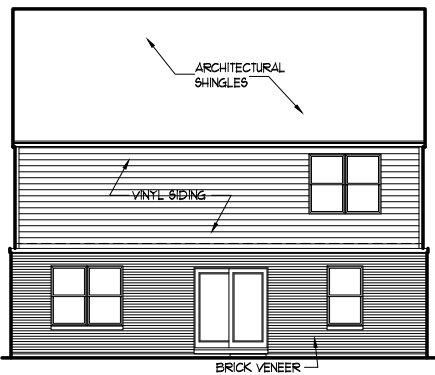




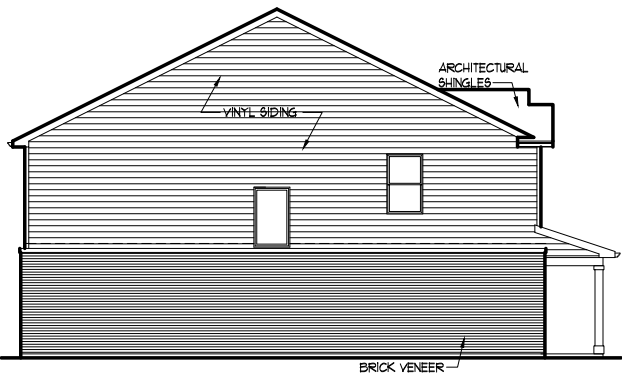
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



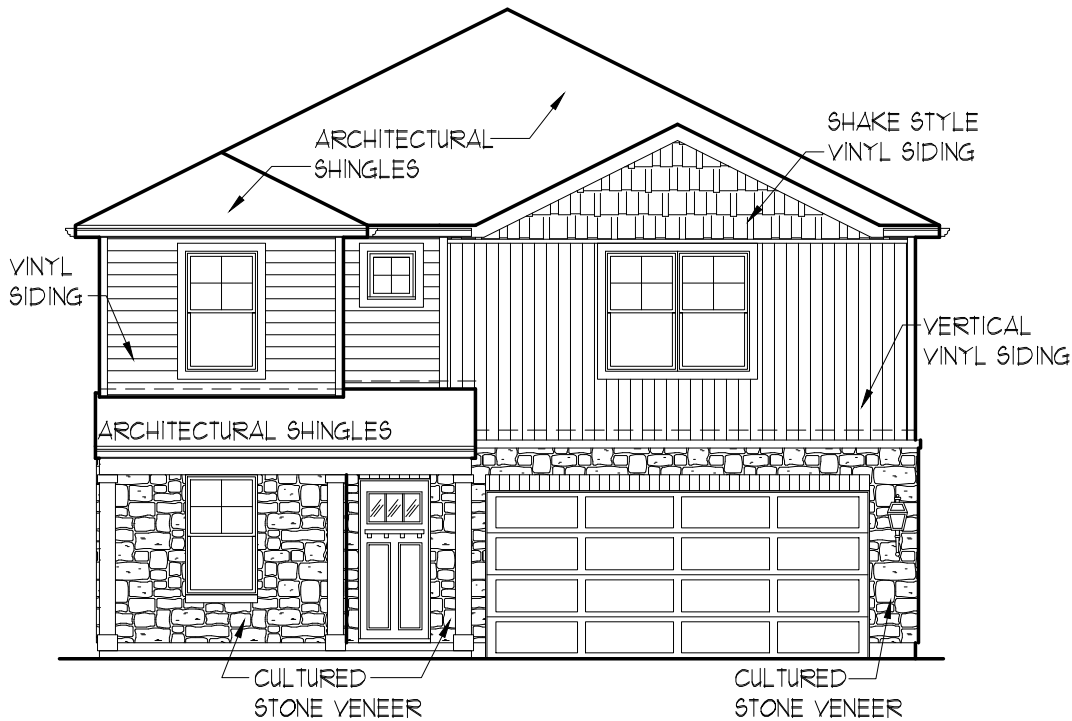
TYPICAL LEFT ELEVATION

X427 ELEVATION "B6"

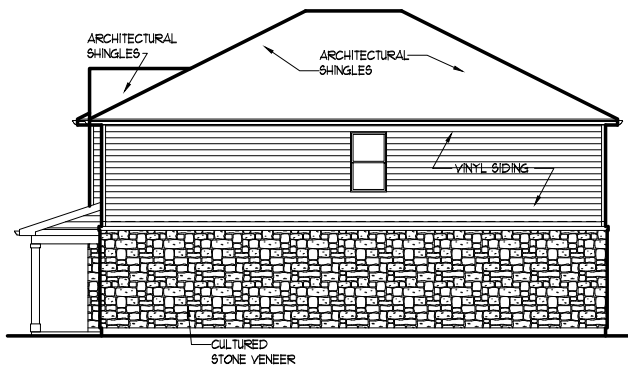
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

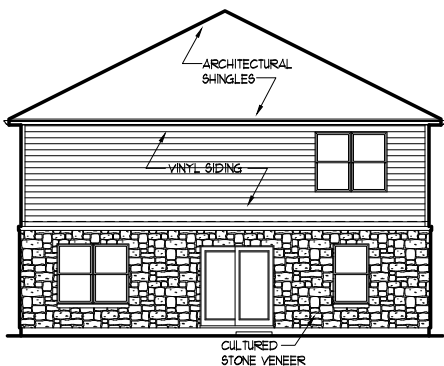




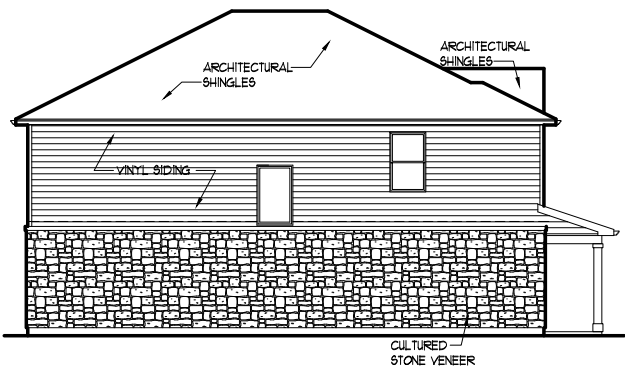
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



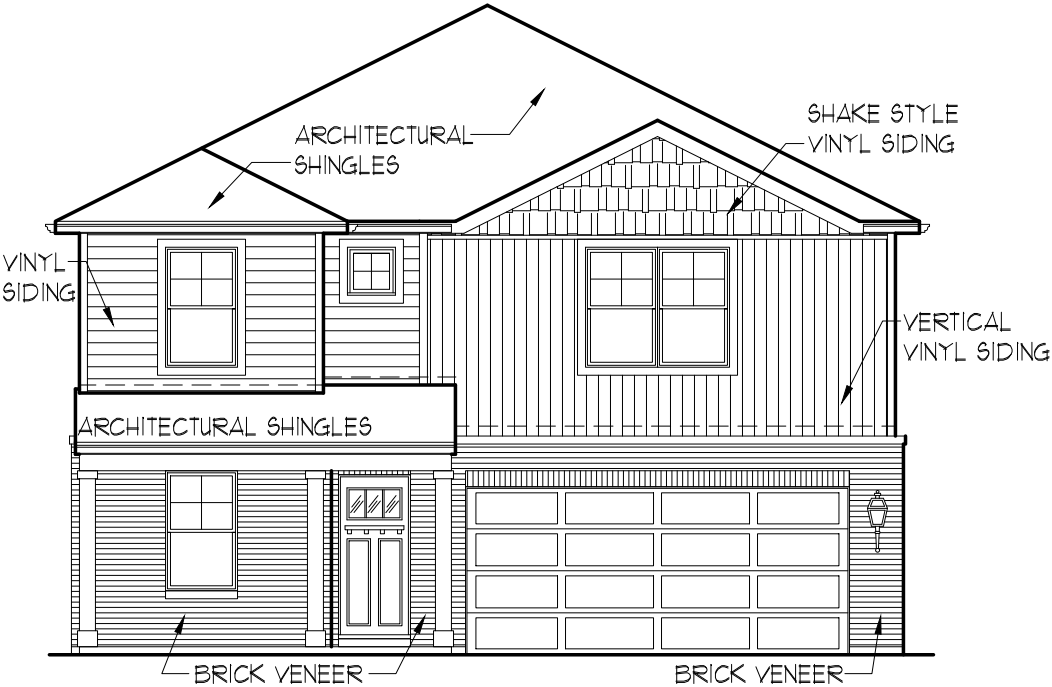
TYPICAL LEFT ELEVATION

X427 ELEVATION "D5"

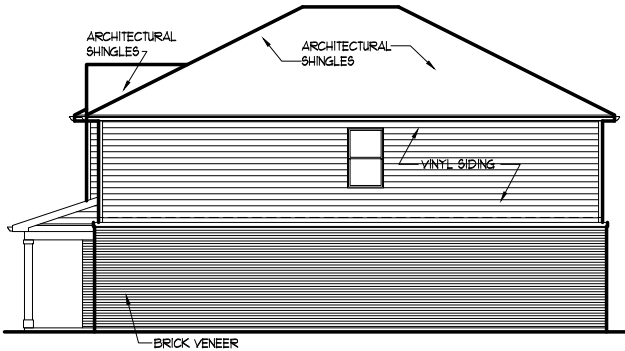
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

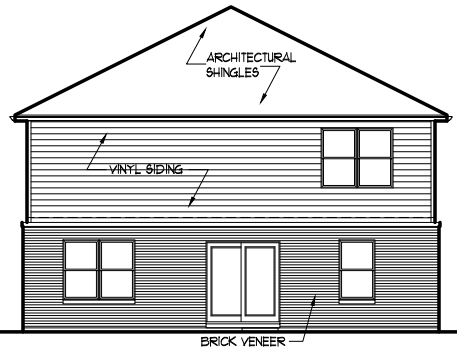




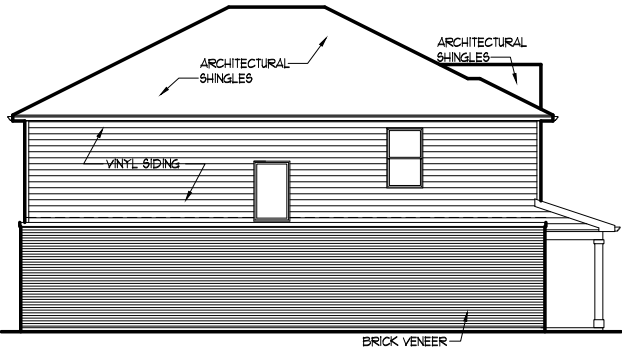
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



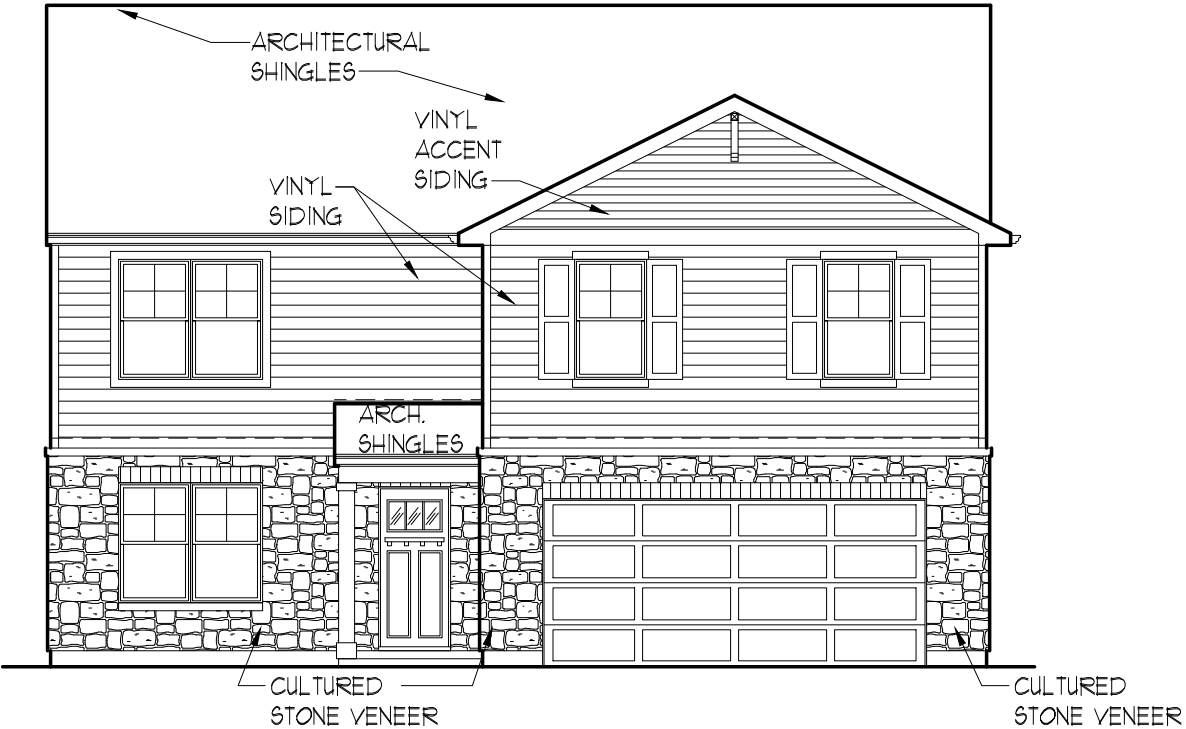
TYPICAL LEFT ELEVATION

X427 ELEVATION "D6"

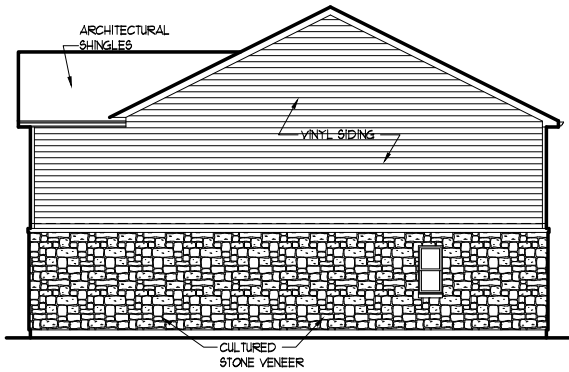
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

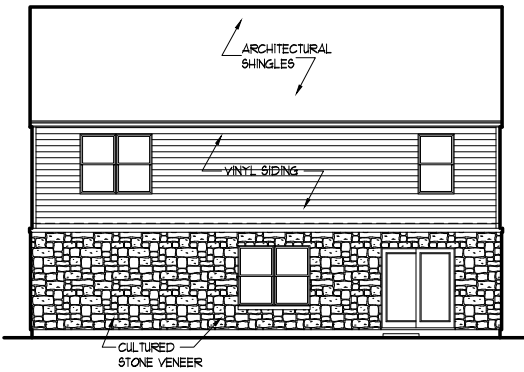




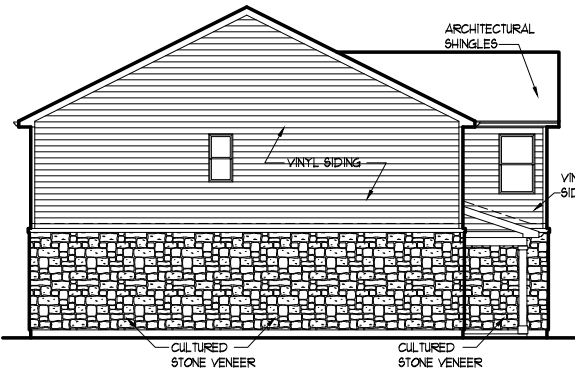
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



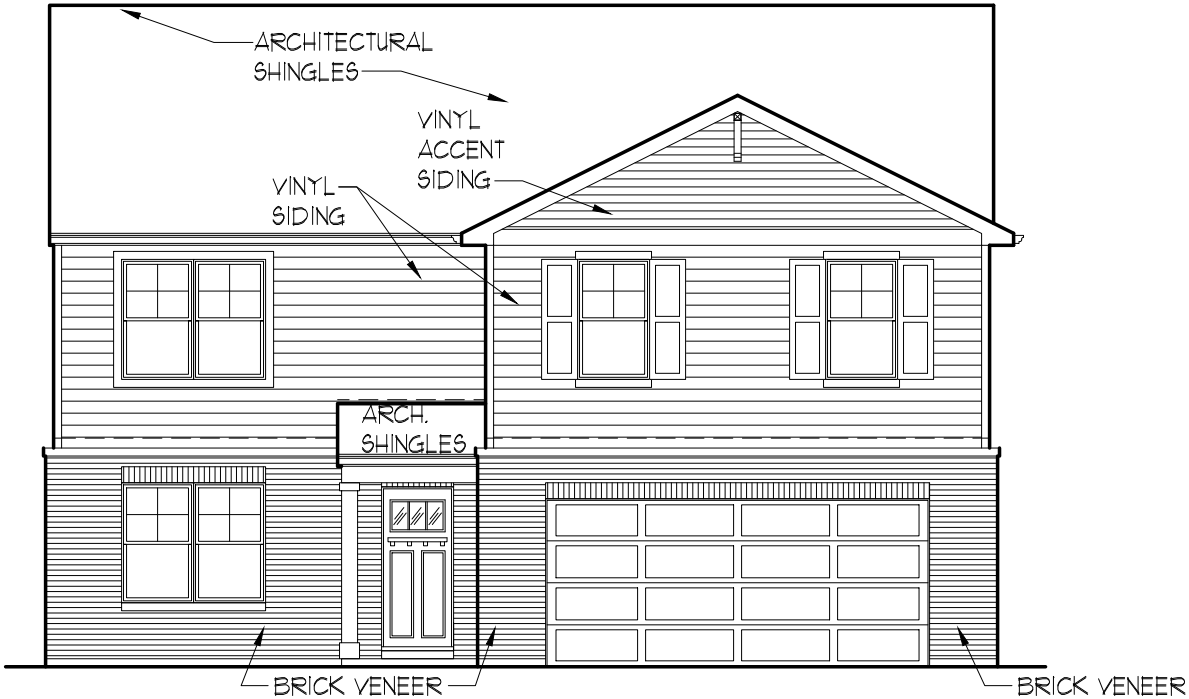
TYPICAL LEFT ELEVATION

x429 ELEVATION "A5"

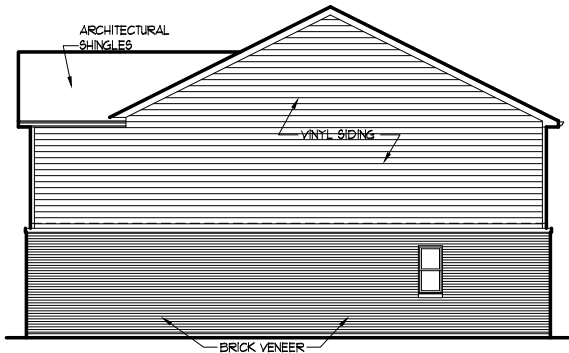
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

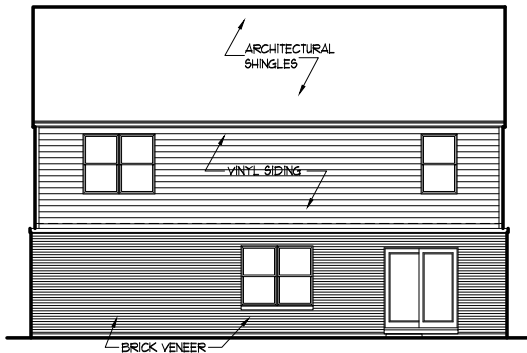




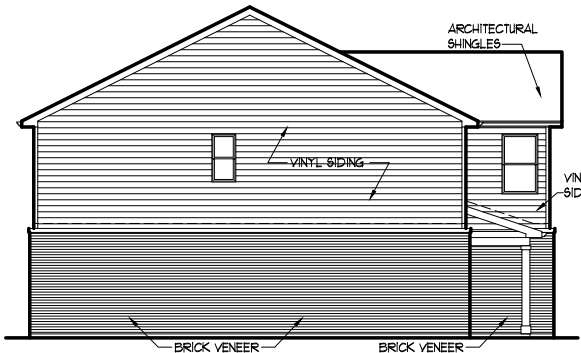
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



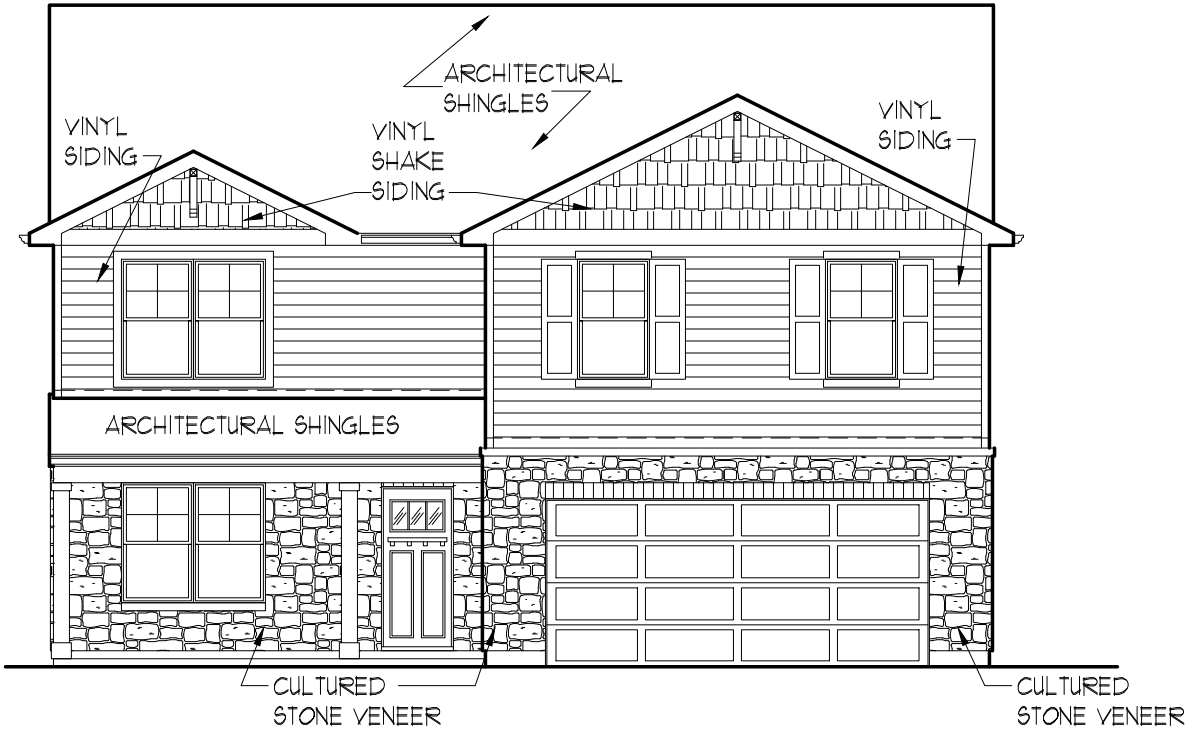
TYPICAL LEFT ELEVATION

x429 ELEVATION "A6"

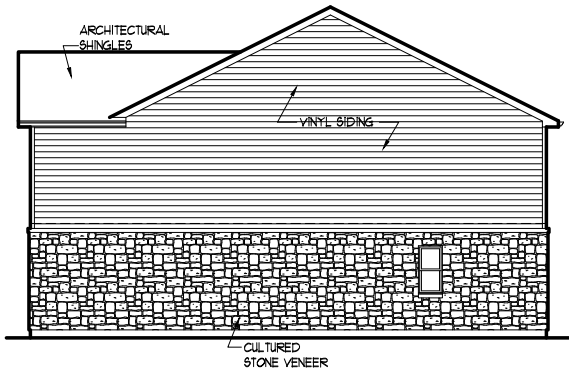
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

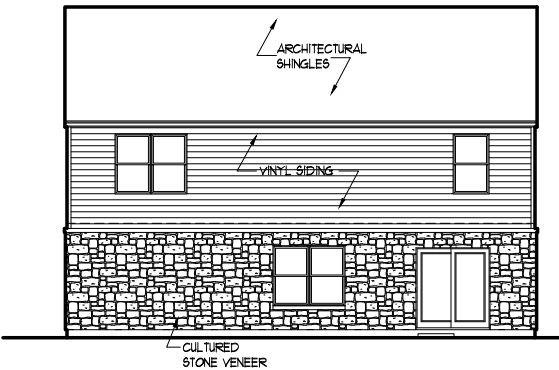




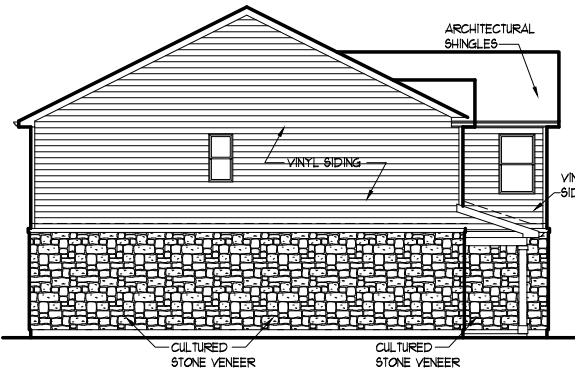
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



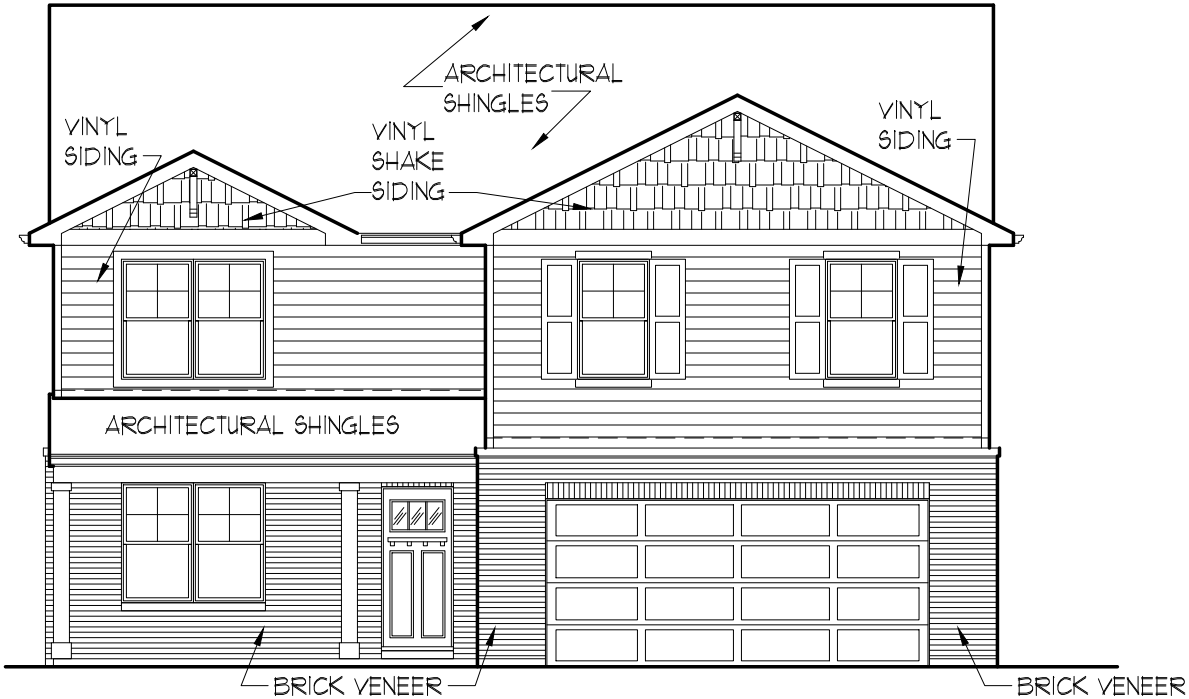
TYPICAL LEFT ELEVATION

x429 ELEVATION "B5"

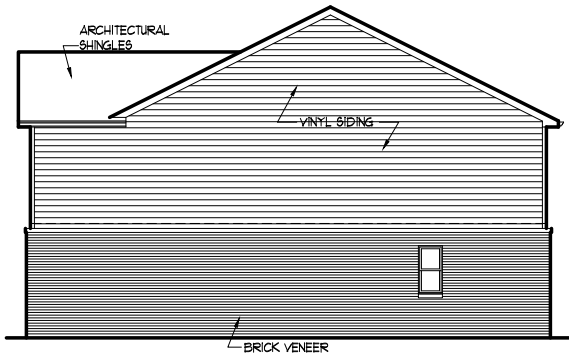
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

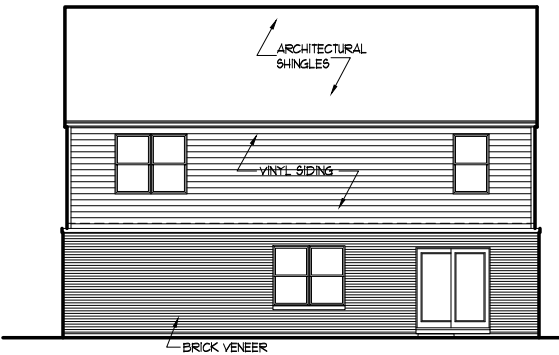




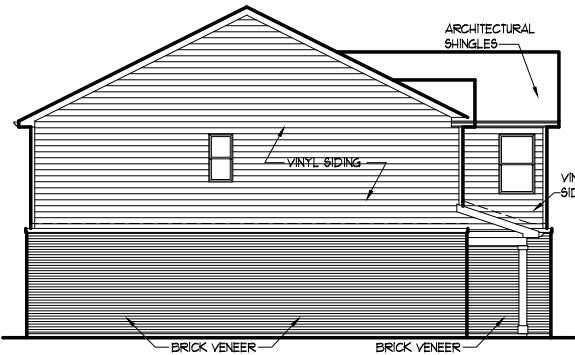
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



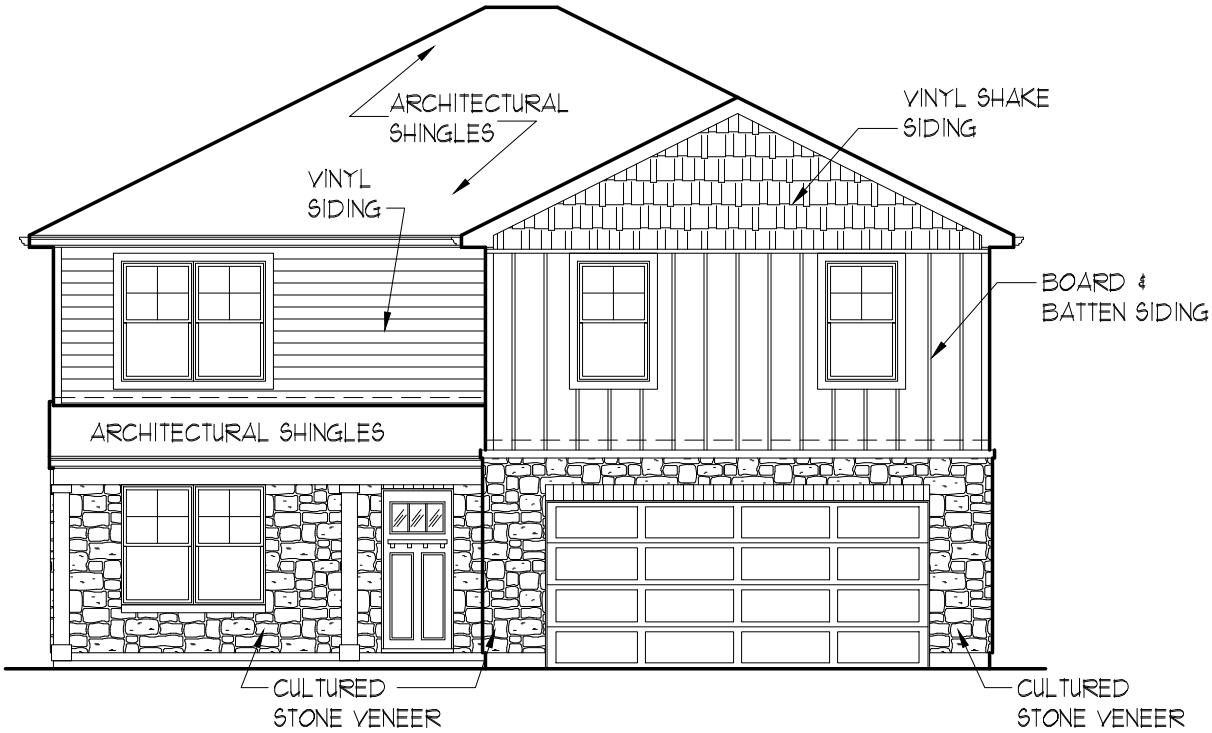
TYPICAL LEFT ELEVATION

x429 ELEVATION "B6"

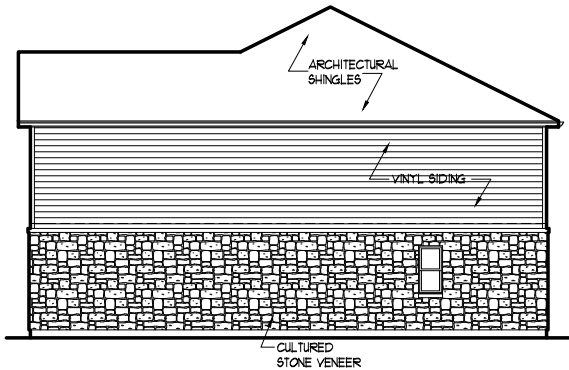
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

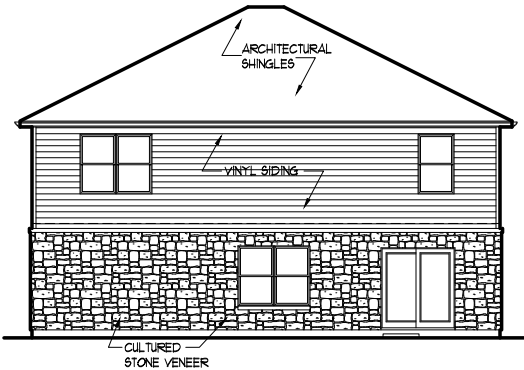




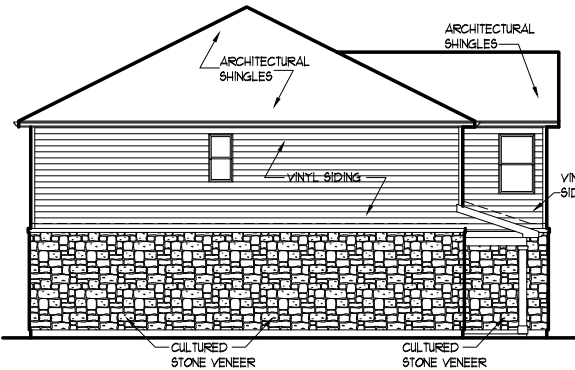
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



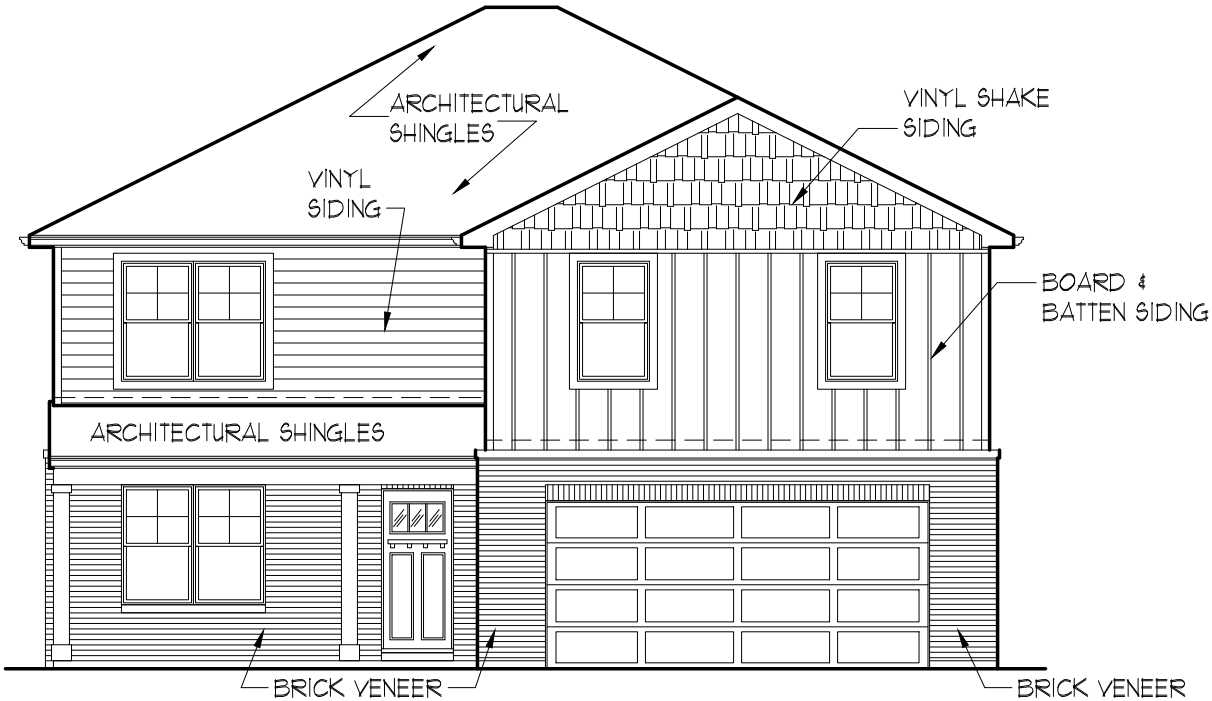
TYPICAL LEFT ELEVATION

x429 ELEVATION "D5"

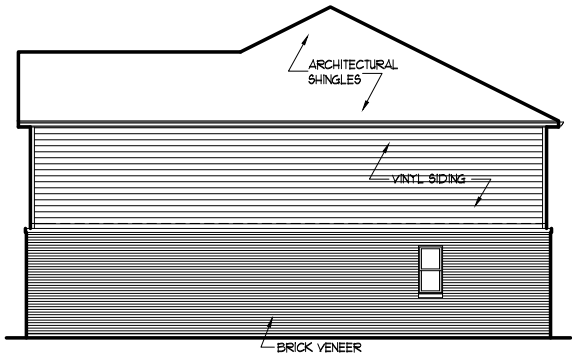
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

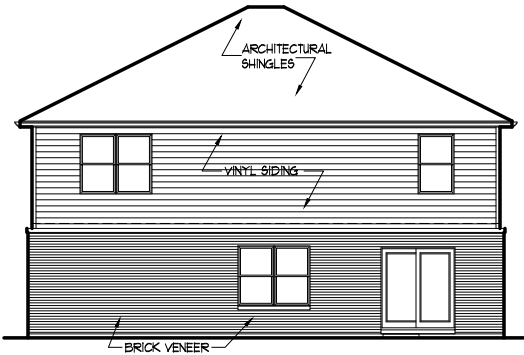




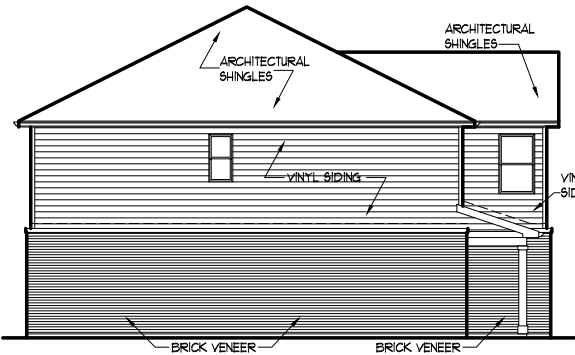
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



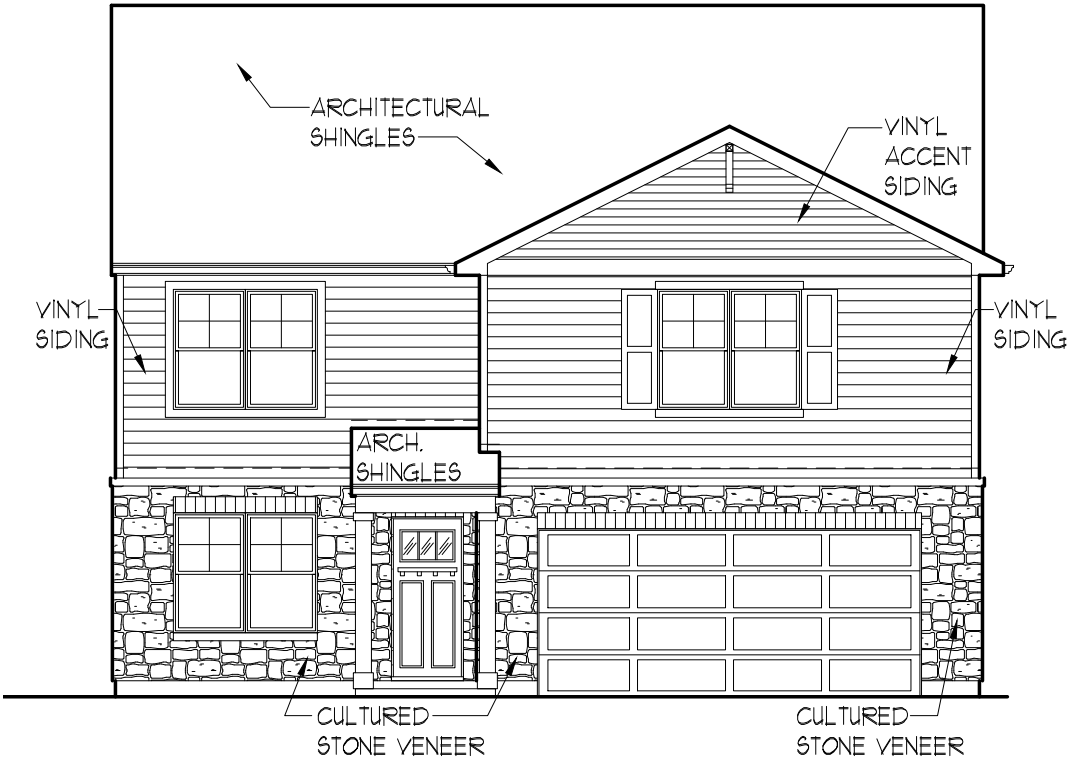
TYPICAL LEFT ELEVATION

x429 ELEVATION "D6"

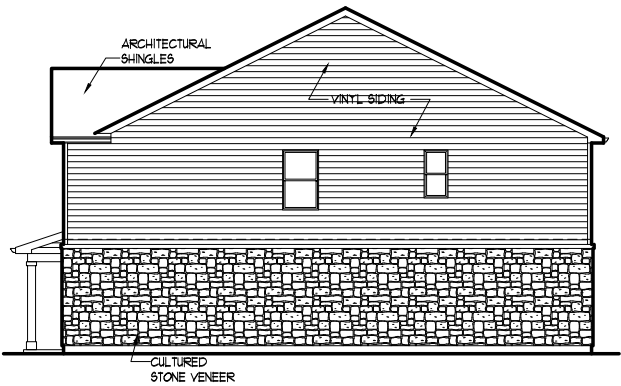
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

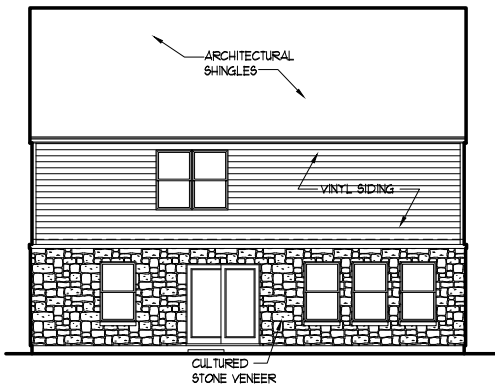




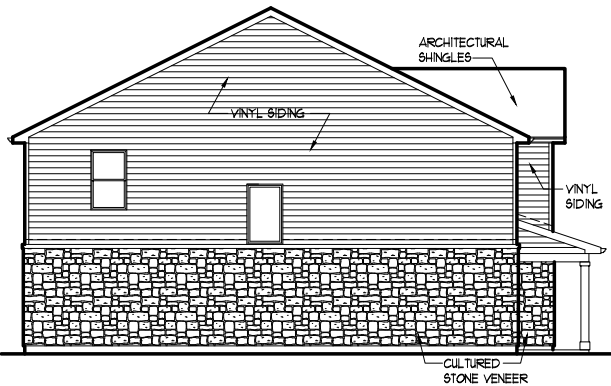
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



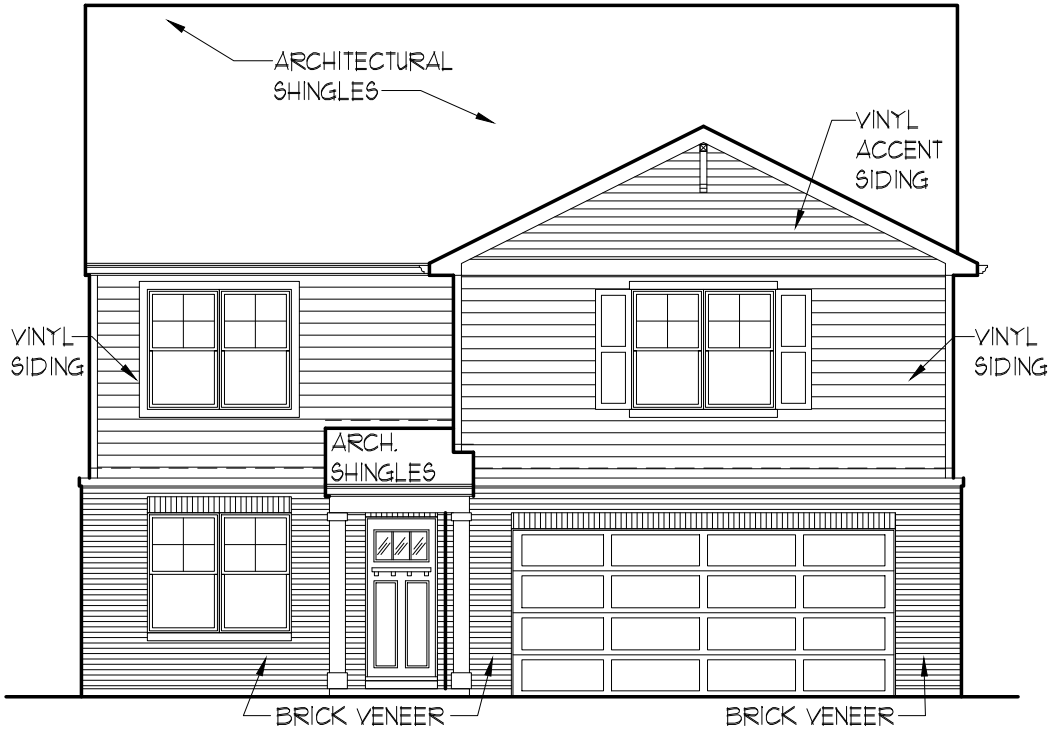
TYPICAL LEFT ELEVATION

x43Ø ELEVATION "A5"

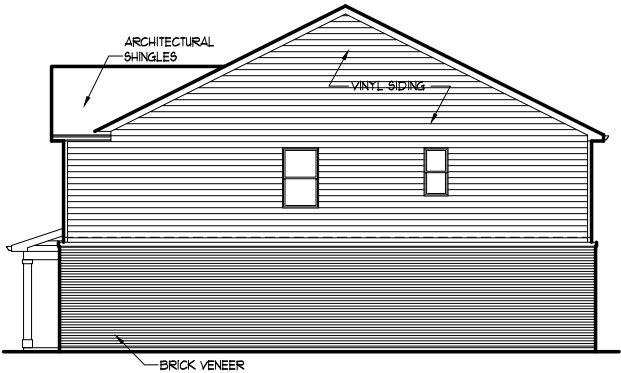
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

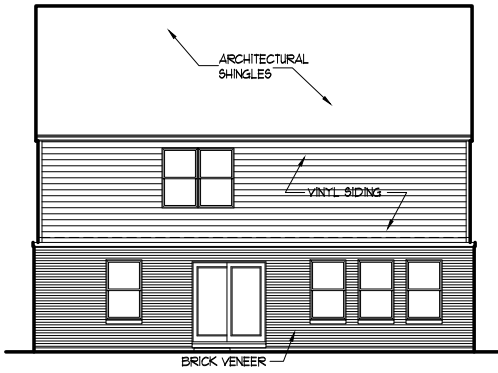




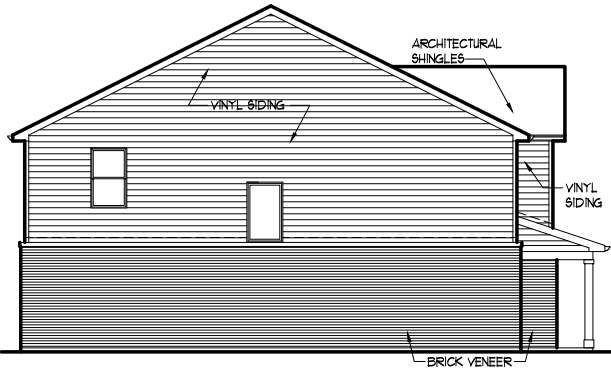
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



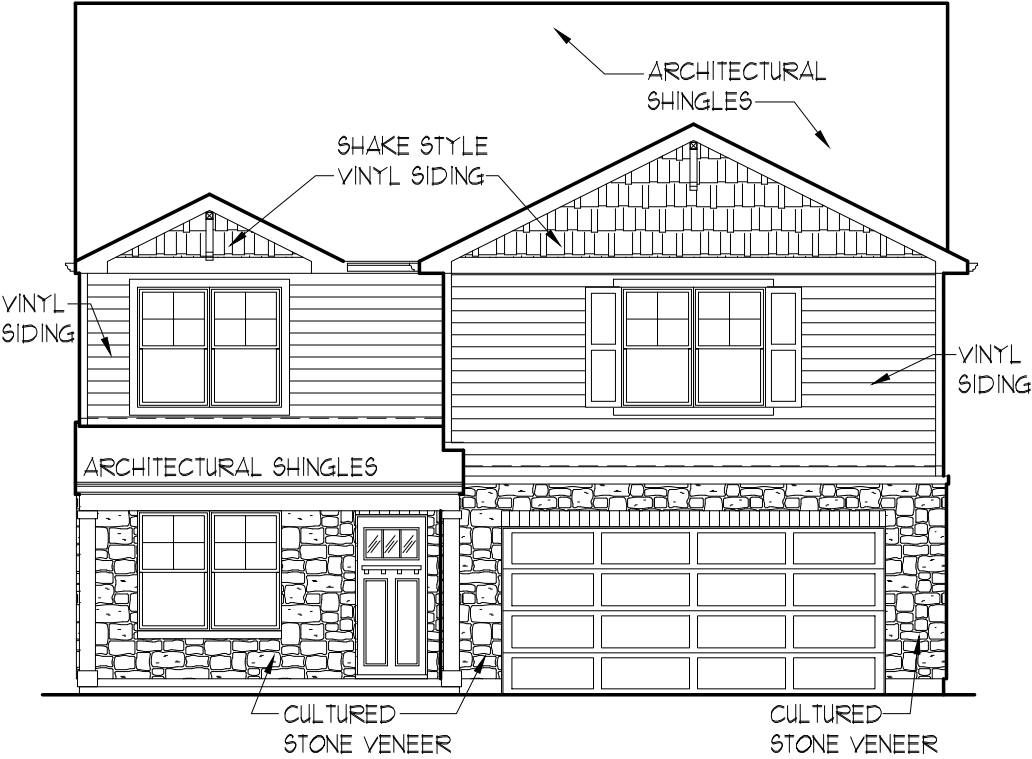
TYPICAL LEFT ELEVATION

X430 ELEVATION "A6"

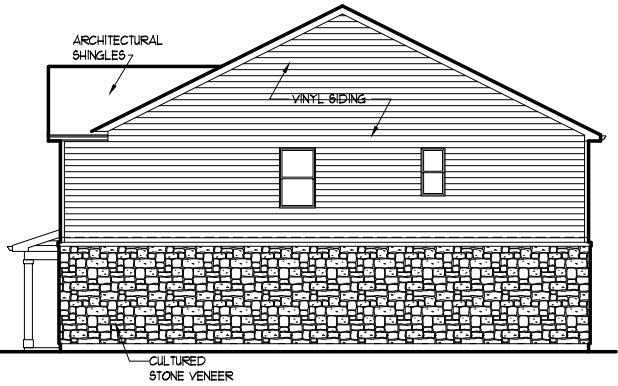
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

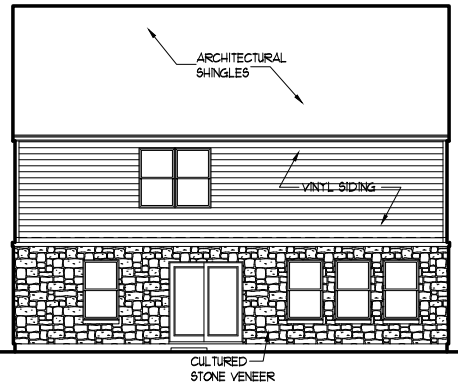




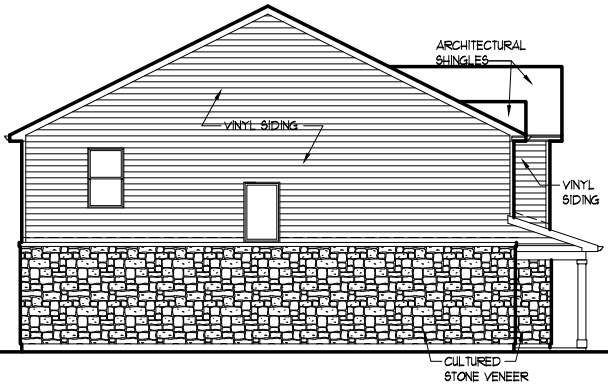
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



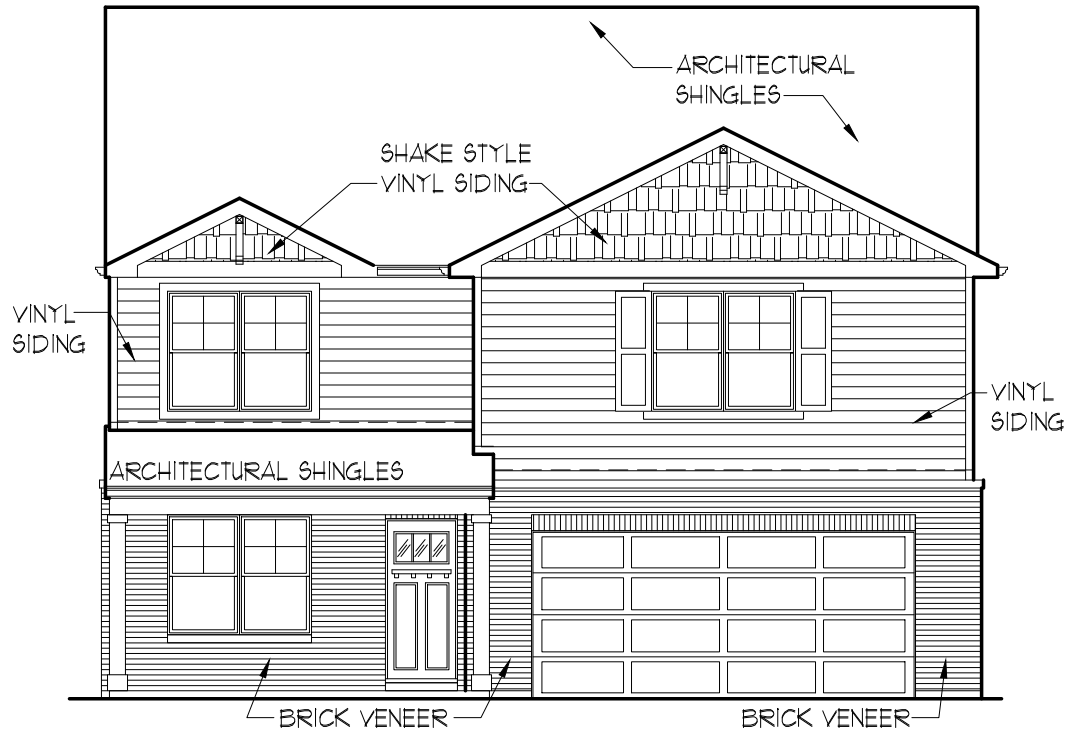
TYPICAL LEFT ELEVATION

x430 ELEVATION "B5"

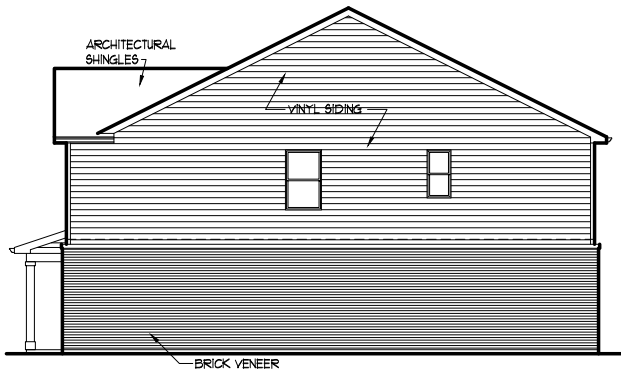
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

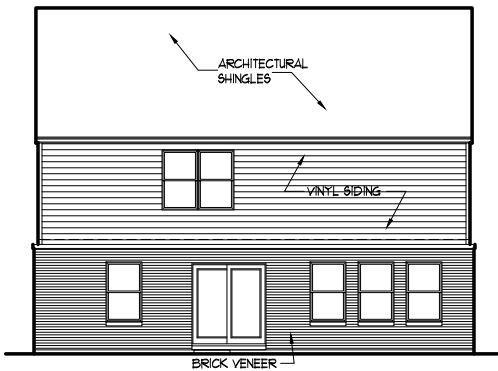




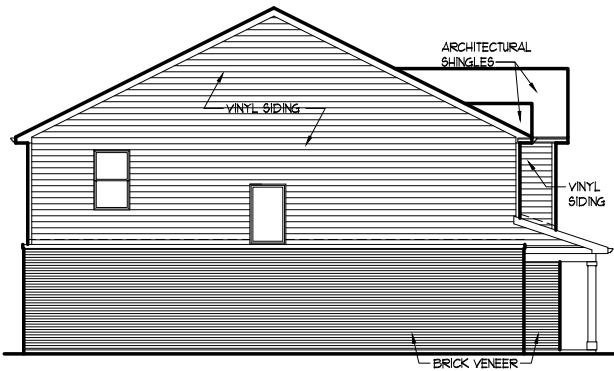
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



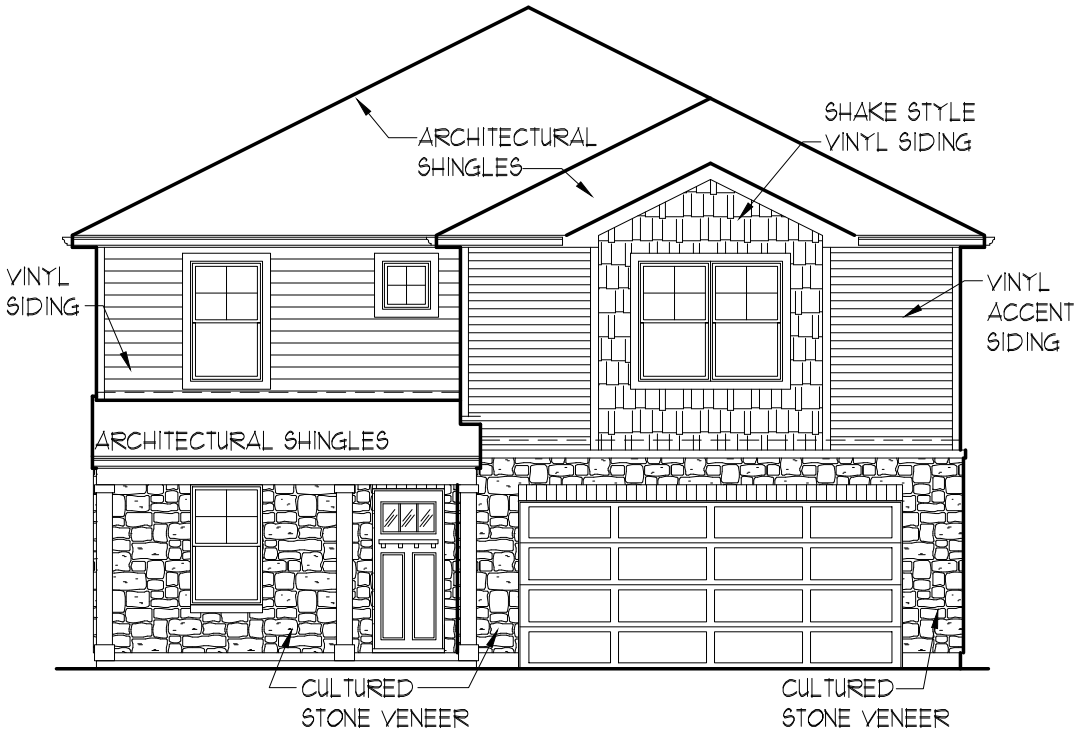
TYPICAL LEFT ELEVATION

x430 ELEVATION "B6"

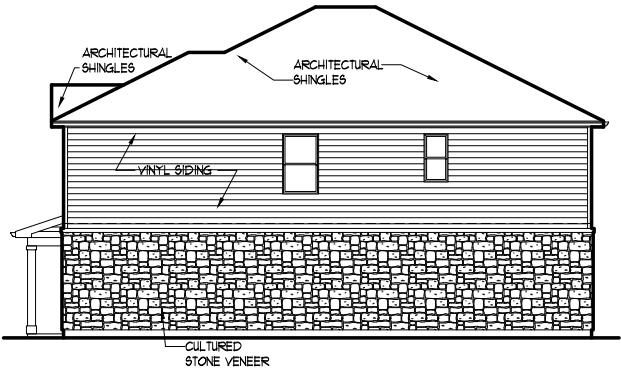
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

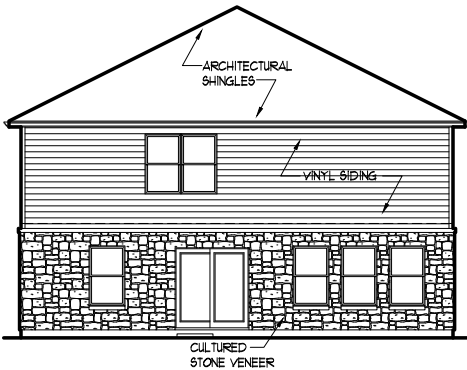




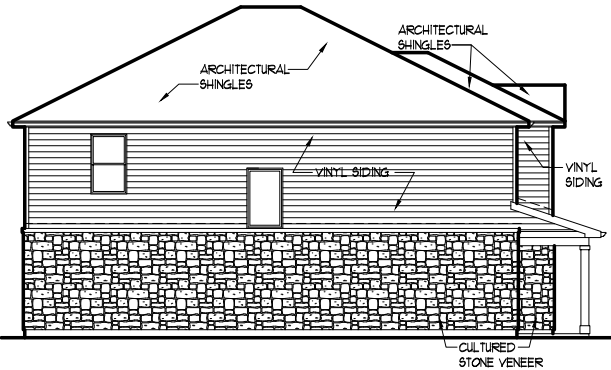
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



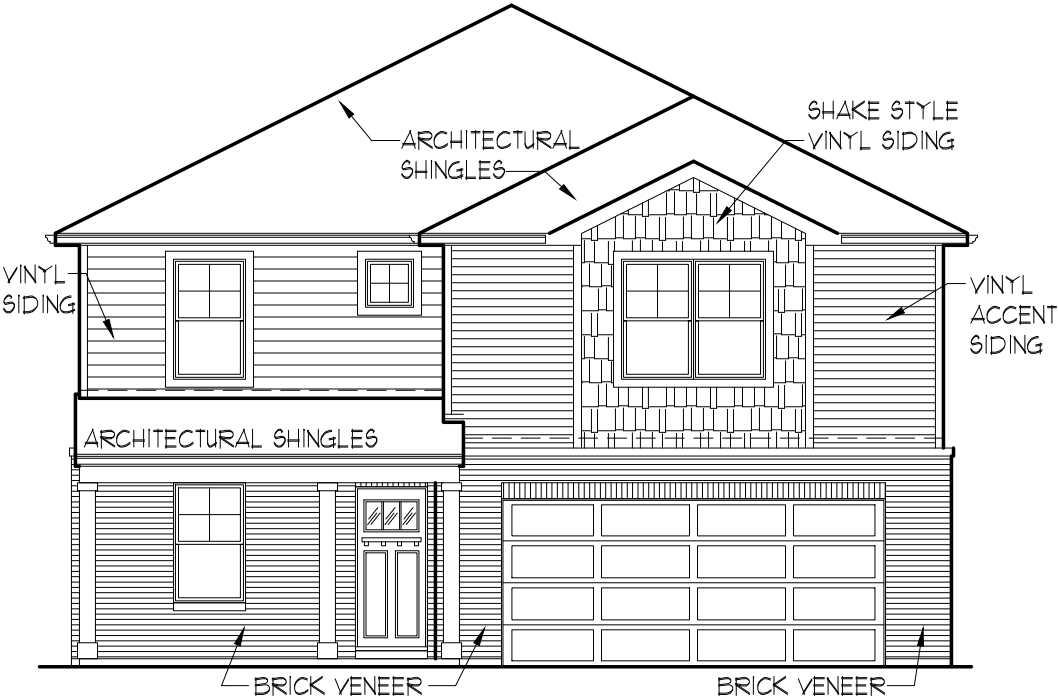
TYPICAL LEFT ELEVATION

x430 ELEVATION "D5"

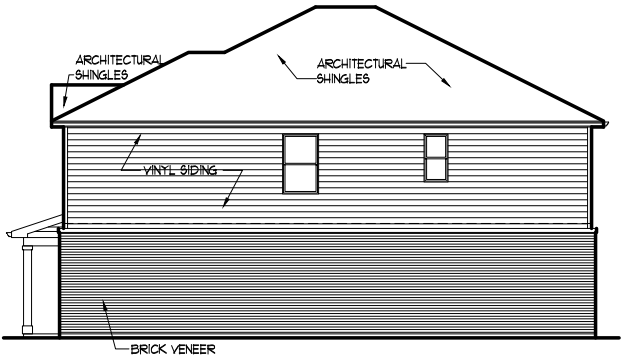
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

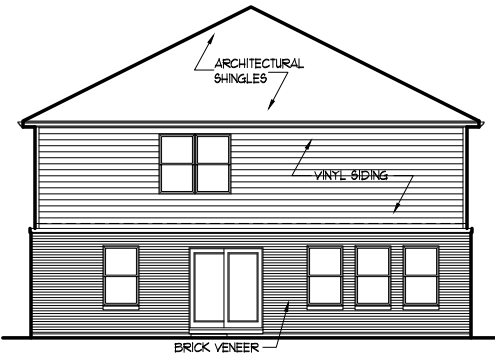




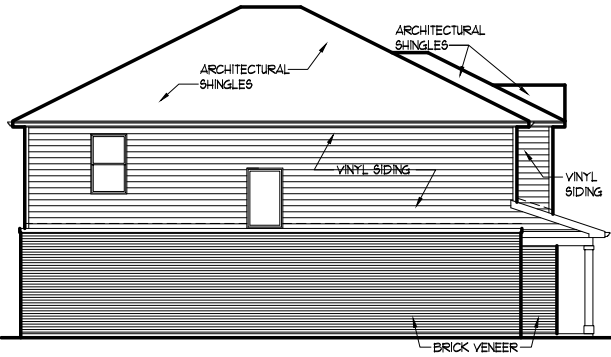
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



TYPICAL LEFT ELEVATION

x430 ELEVATION "D6"

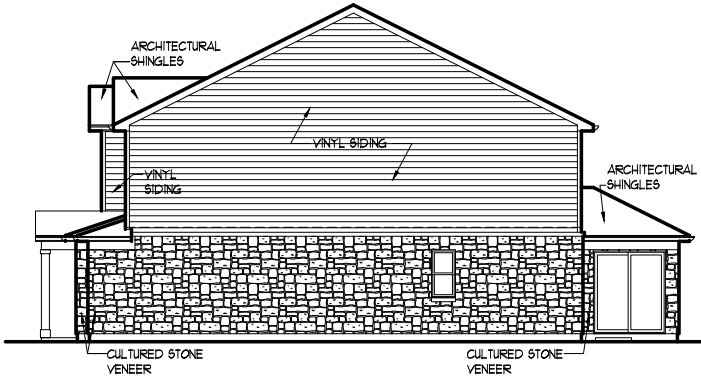
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

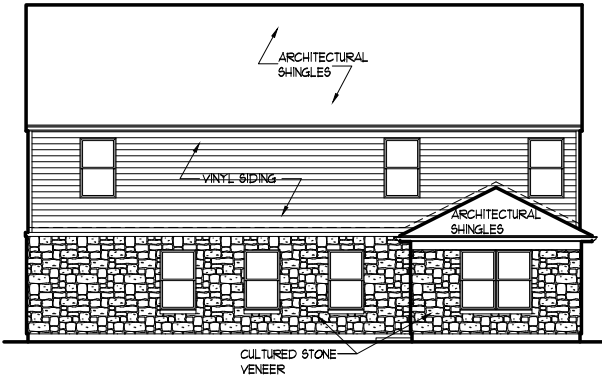




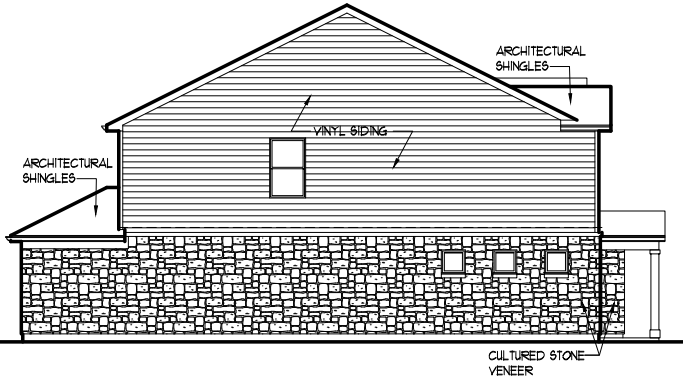
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



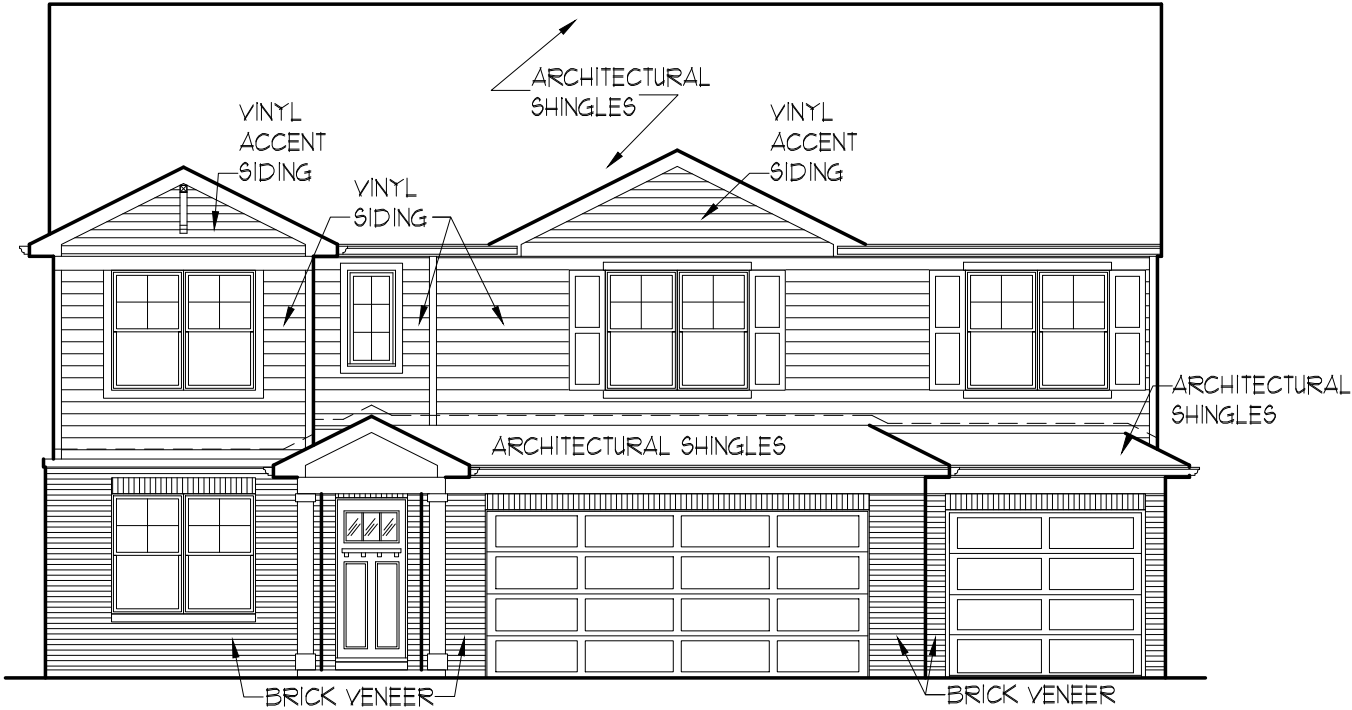
TYPICAL LEFT ELEVATION

X450 ELEVATION "A5"

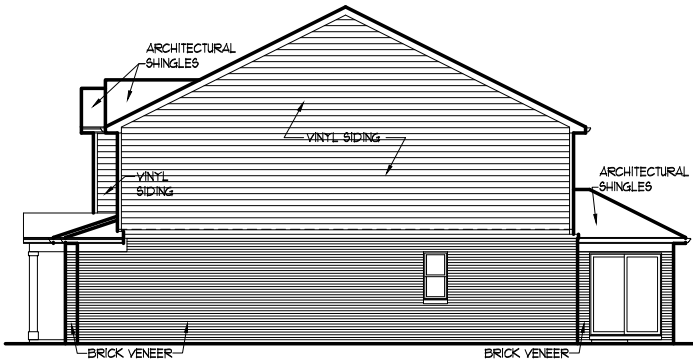
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

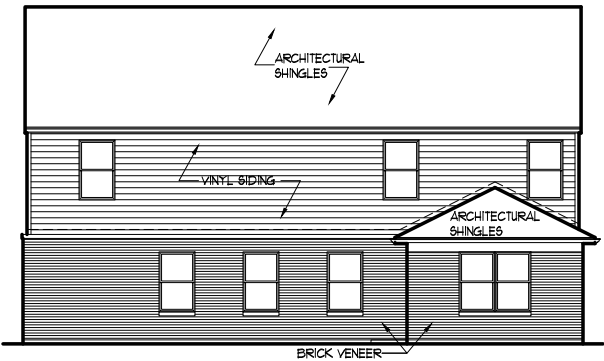




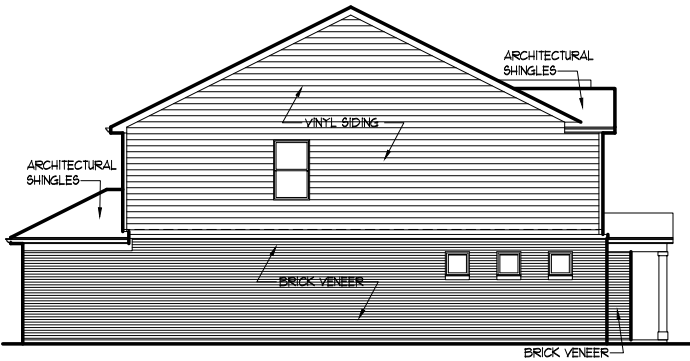
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



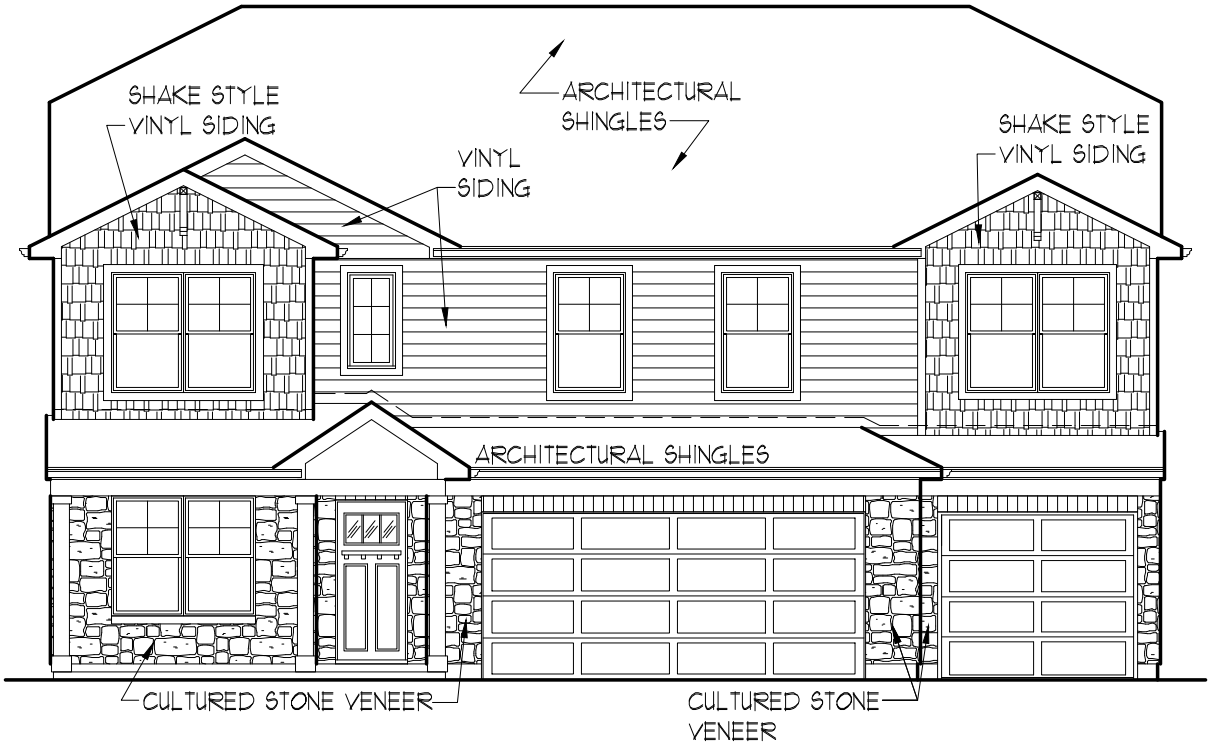
TYPICAL LEFT ELEVATION

X450 ELEVATION "A6"

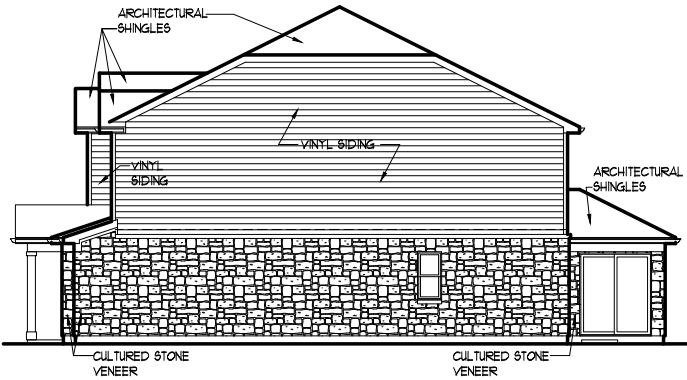
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

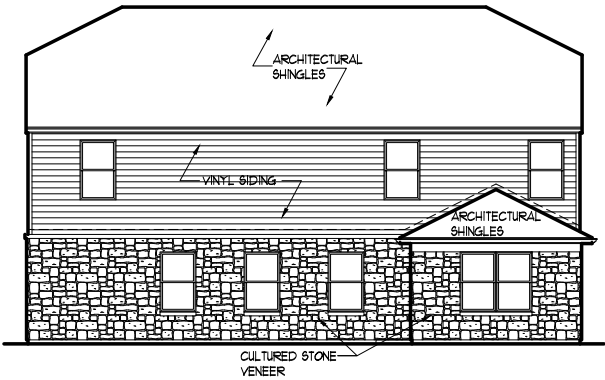




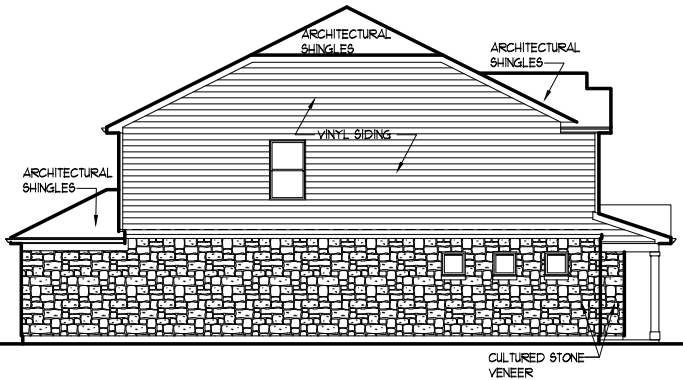
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



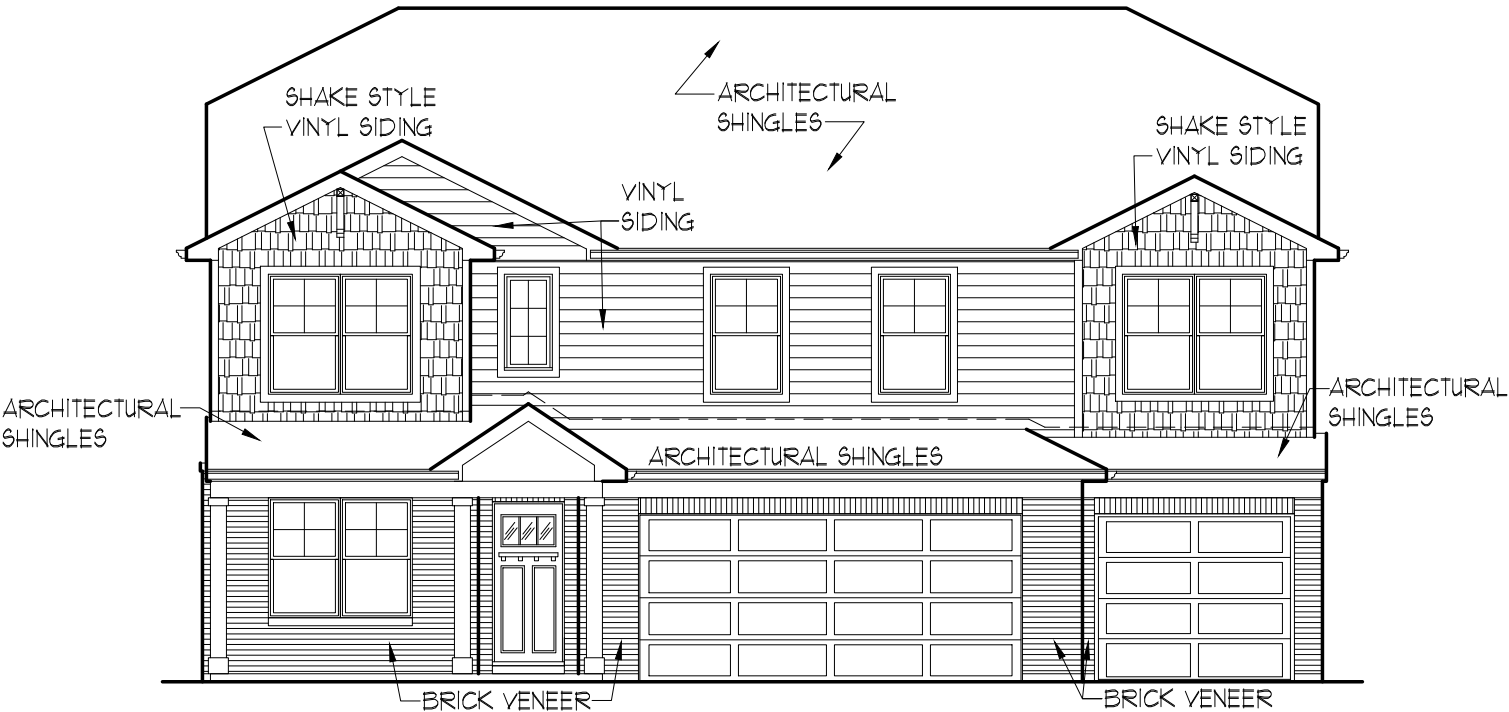
TYPICAL LEFT ELEVATION

X450 ELEVATION "B5"

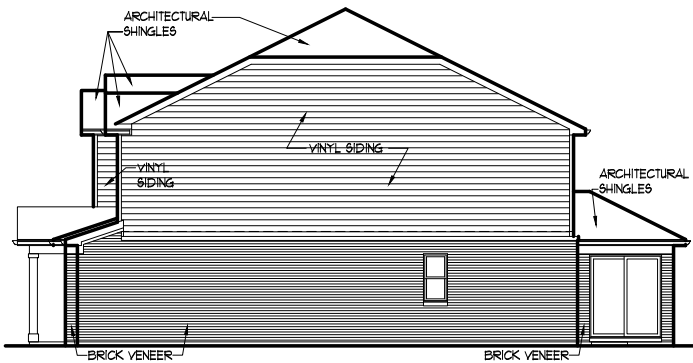
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

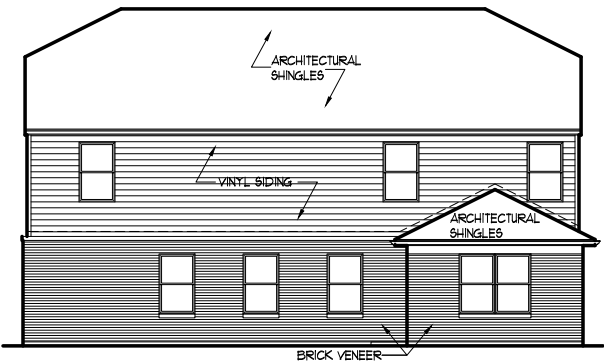




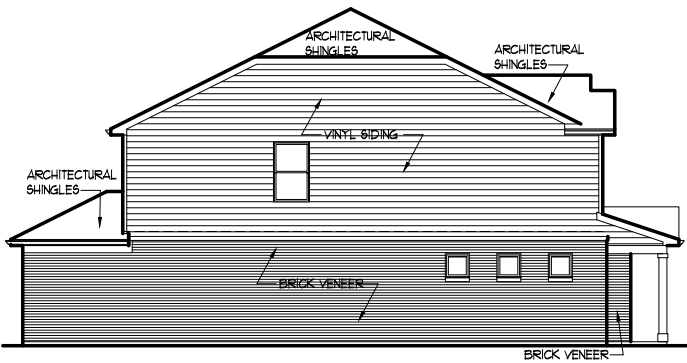
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



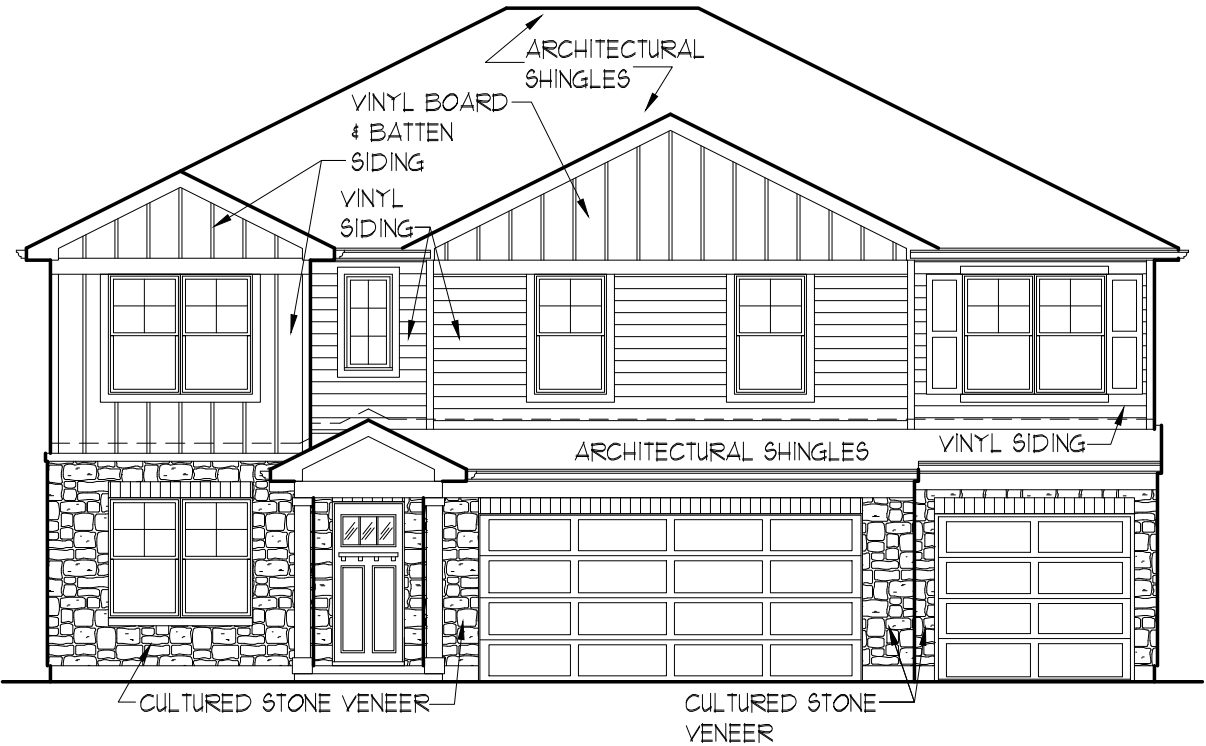
TYPICAL LEFT ELEVATION

X450 ELEVATION "B6"

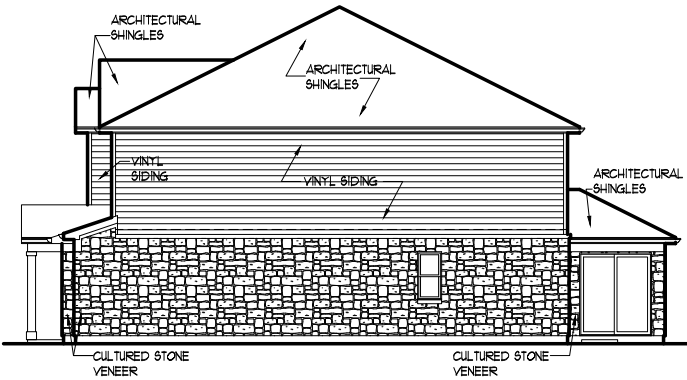
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

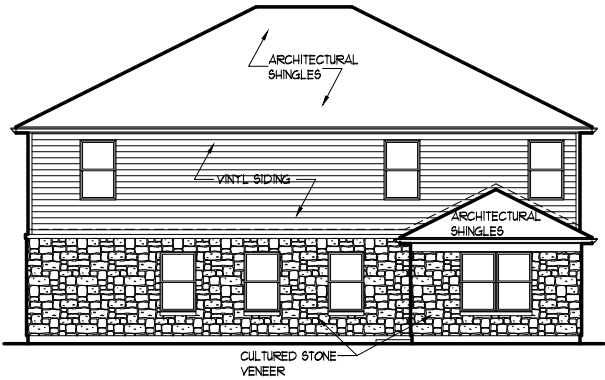




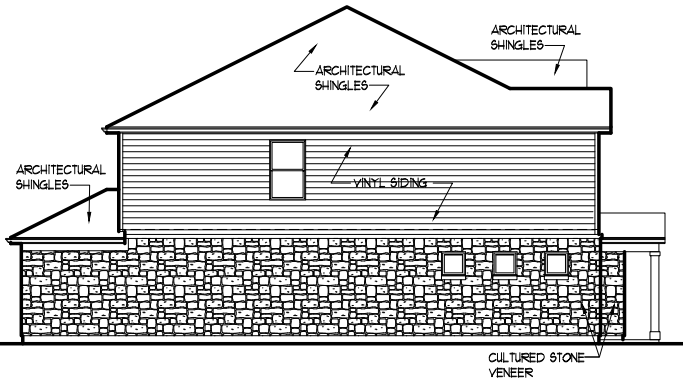
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



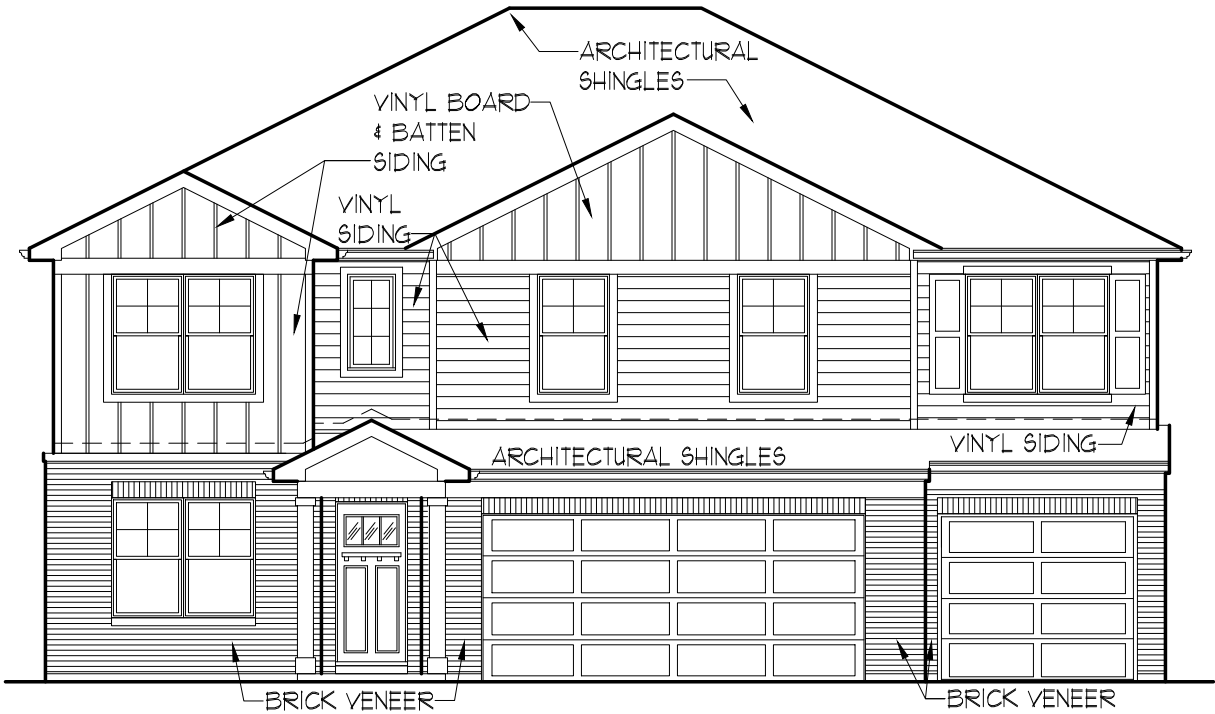
TYPICAL LEFT ELEVATION

X450 ELEVATION "C5"

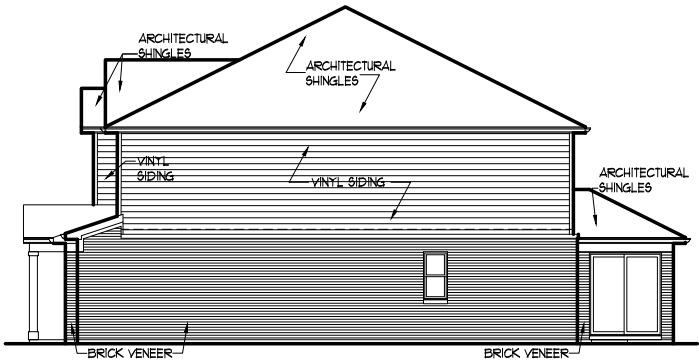
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

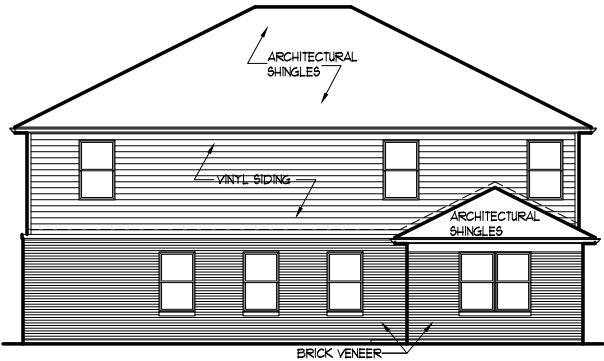




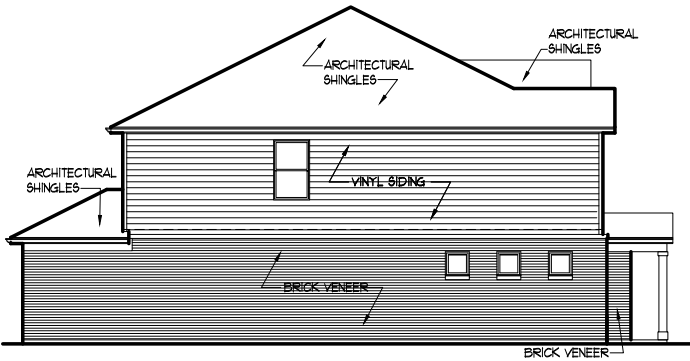
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



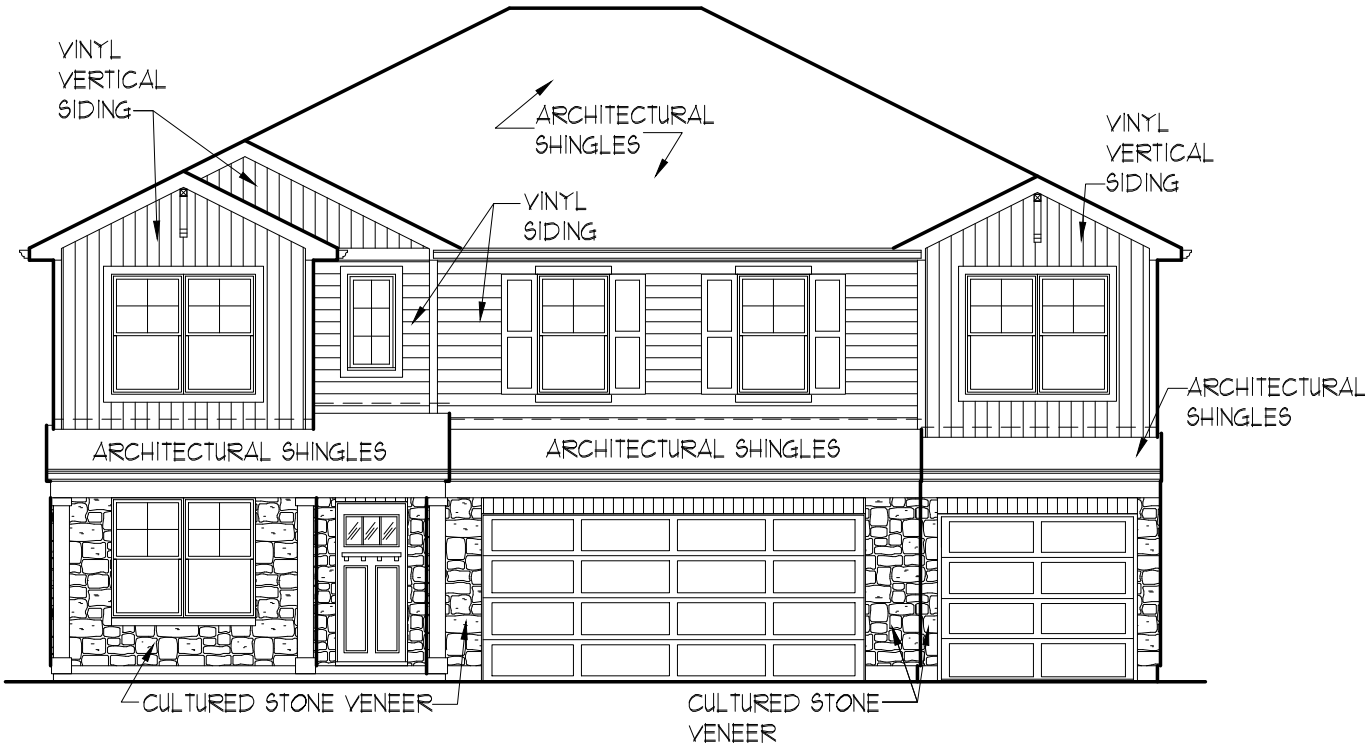
TYPICAL LEFT ELEVATION

X450 ELEVATION "C6"

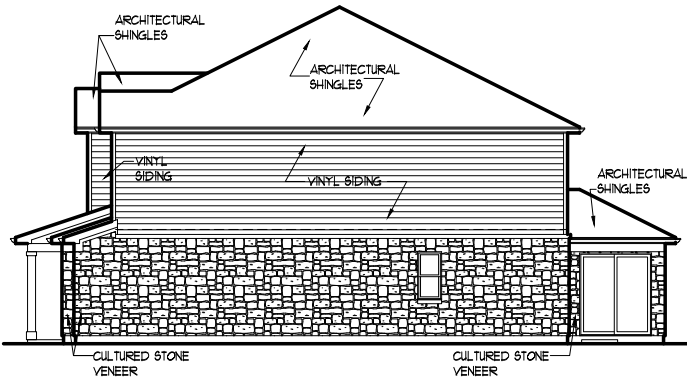
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

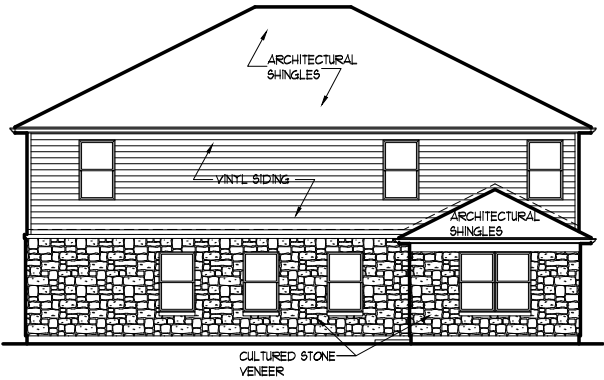




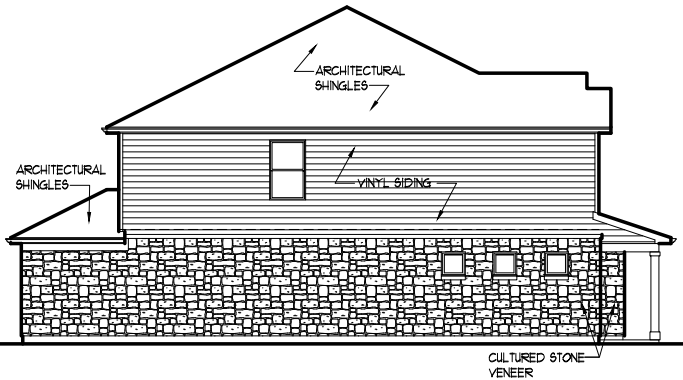
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



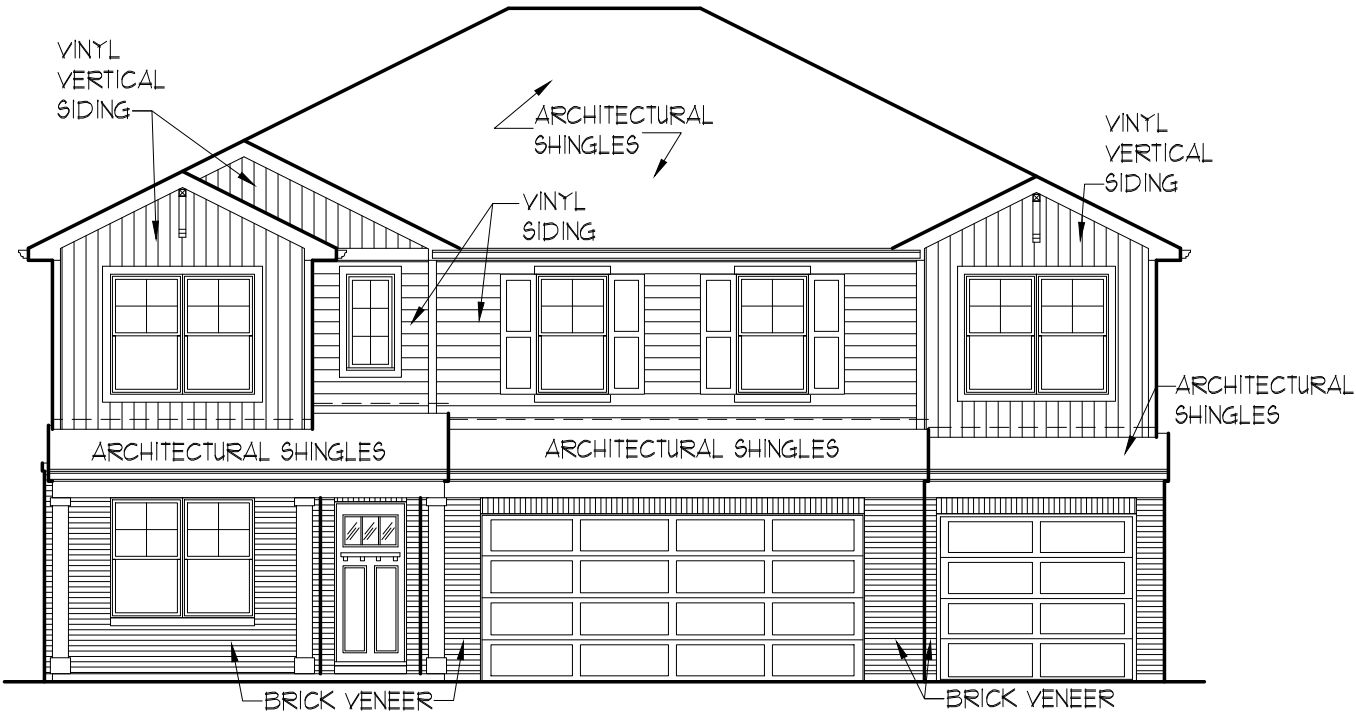
TYPICAL LEFT ELEVATION

X450 ELEVATION "D5"

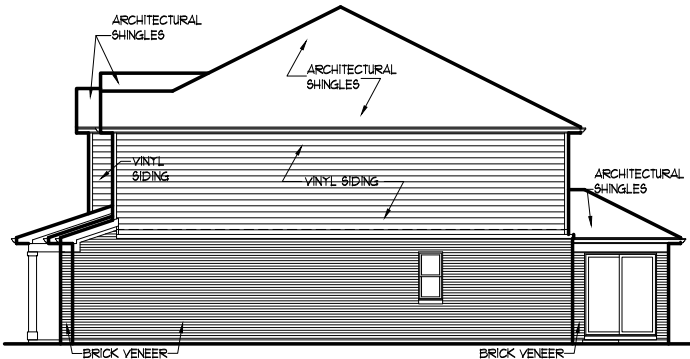
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

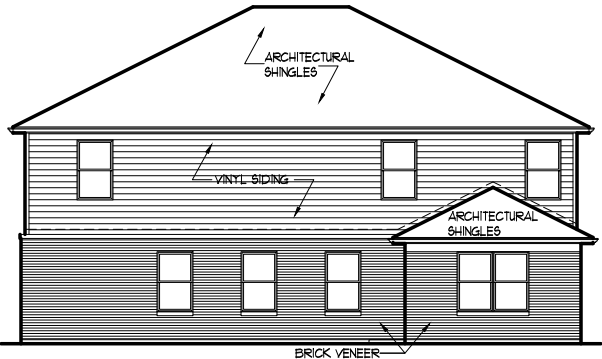




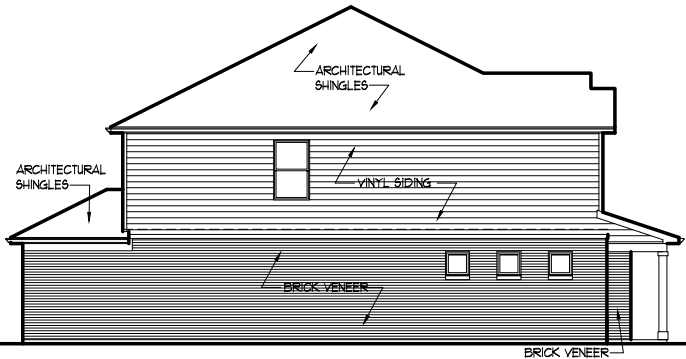
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



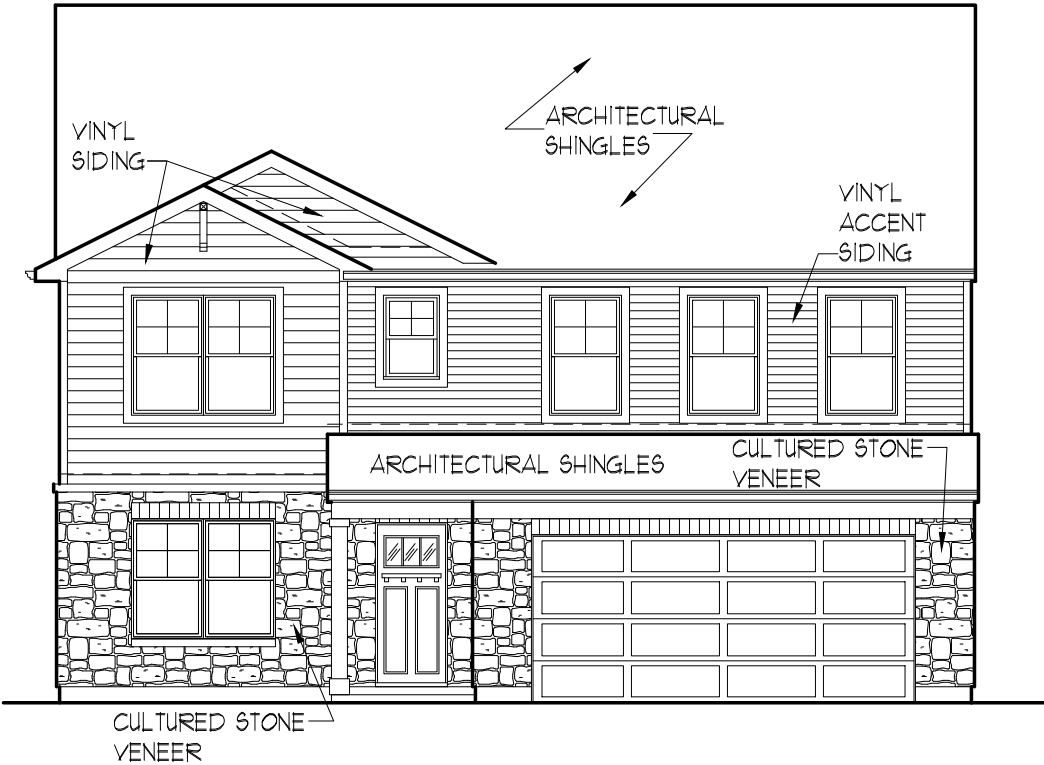
TYPICAL LEFT ELEVATION

X450 ELEVATION "D6"

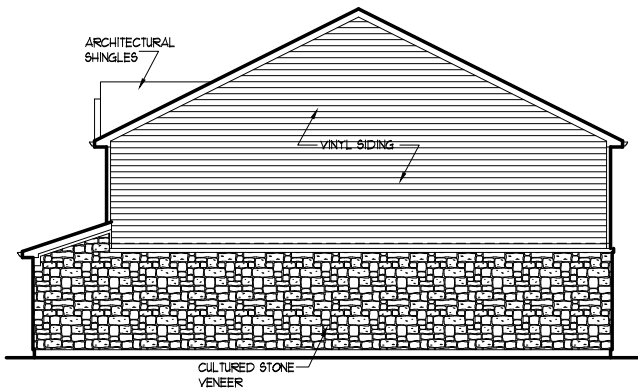
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

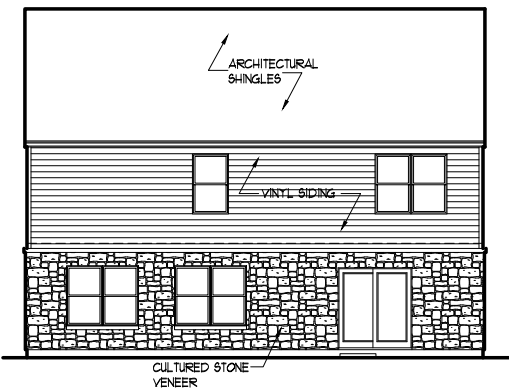




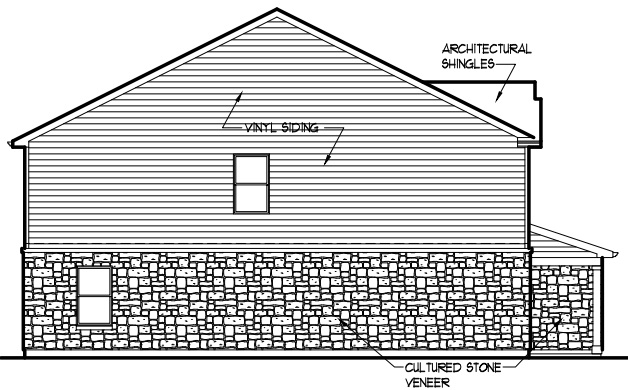
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



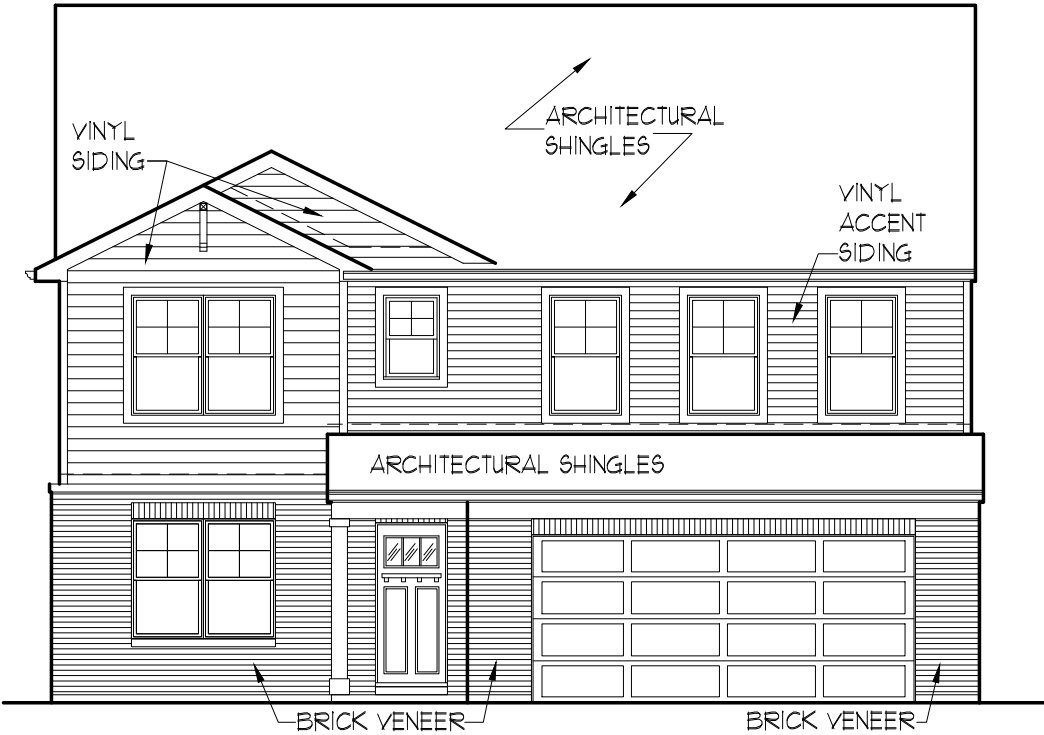
TYPICAL LEFT ELEVATION

X451 ELEVATION "A5"

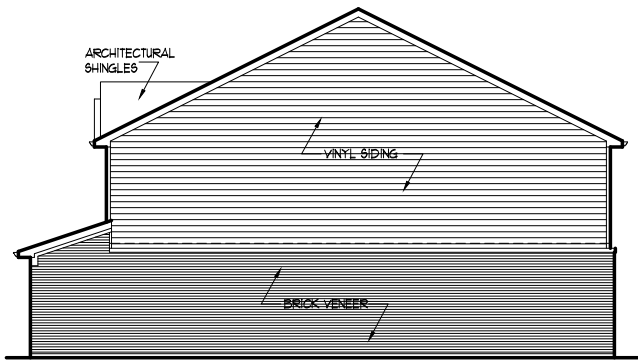
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

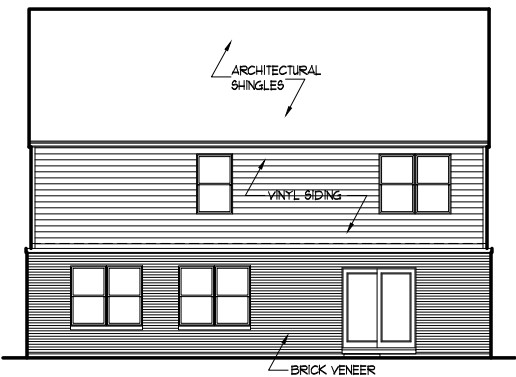




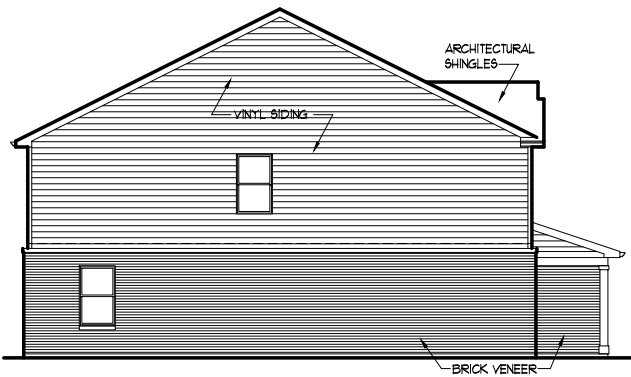
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



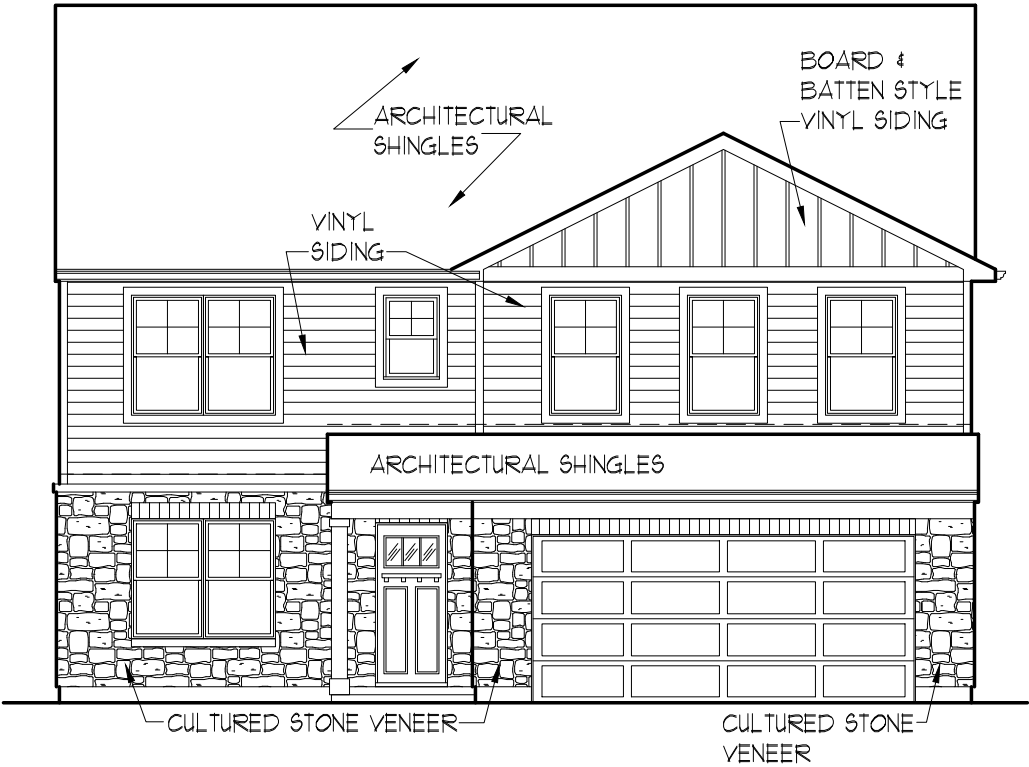
TYPICAL LEFT ELEVATION

X451 ELEVATION "A6"

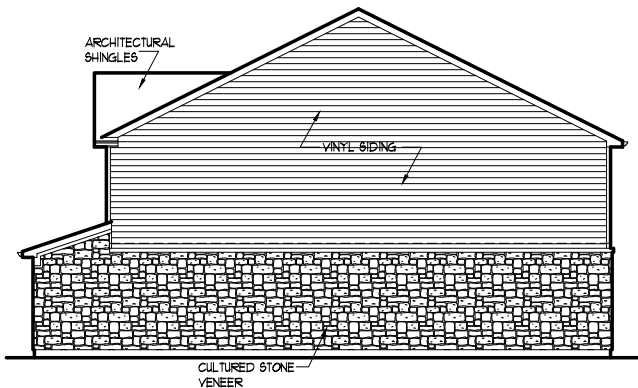
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

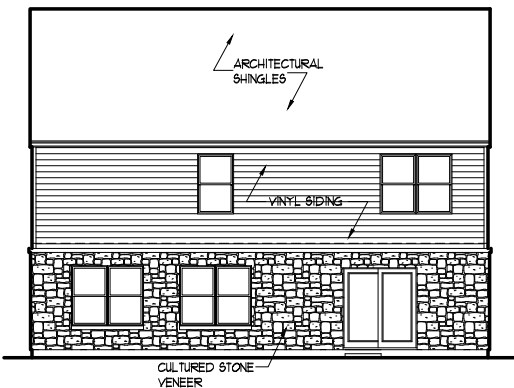




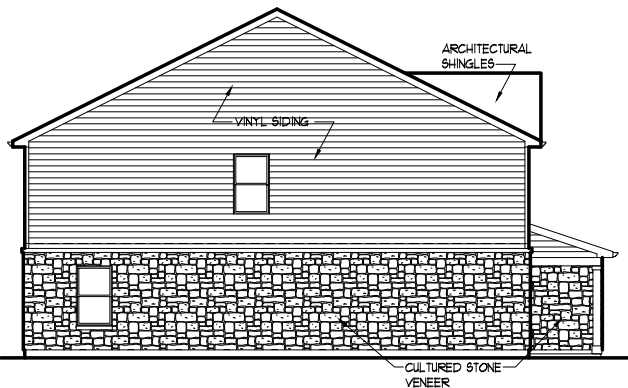
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



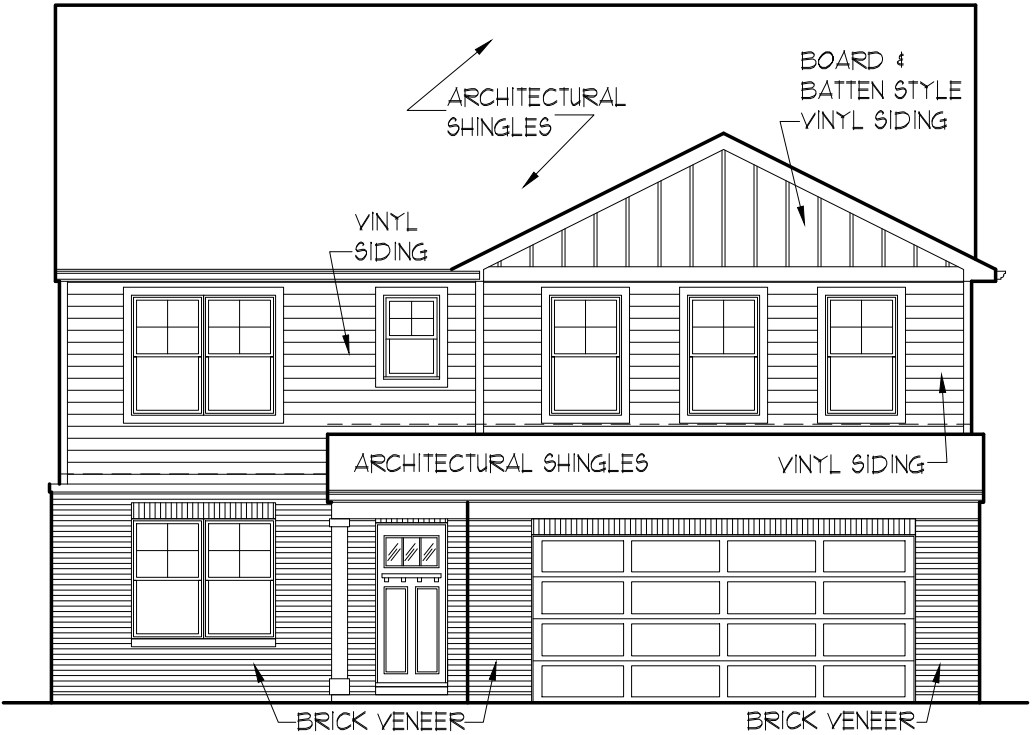
TYPICAL LEFT ELEVATION

X451 ELEVATION "B5"

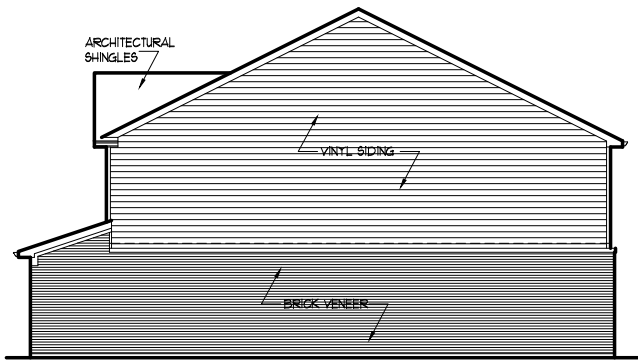
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

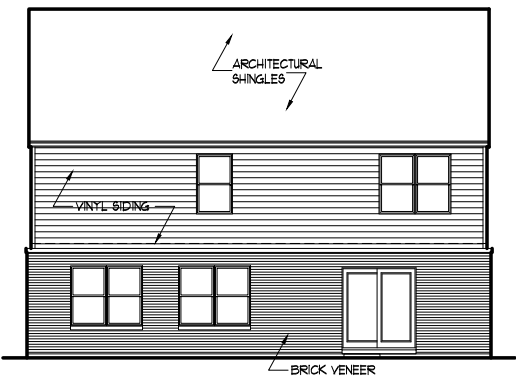




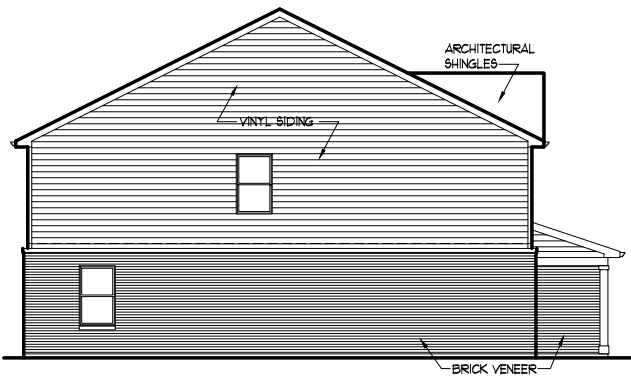
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



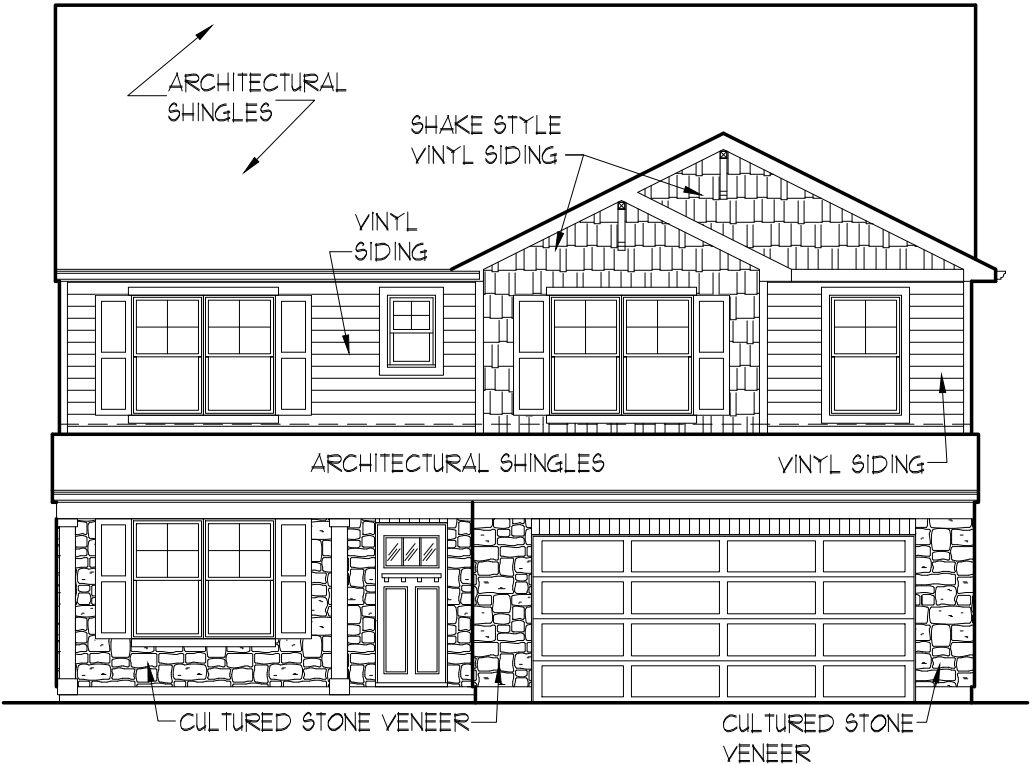
TYPICAL LEFT ELEVATION

X451 ELEVATION "B6"

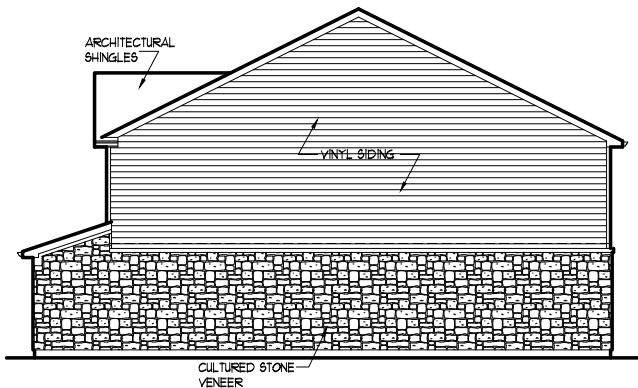
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

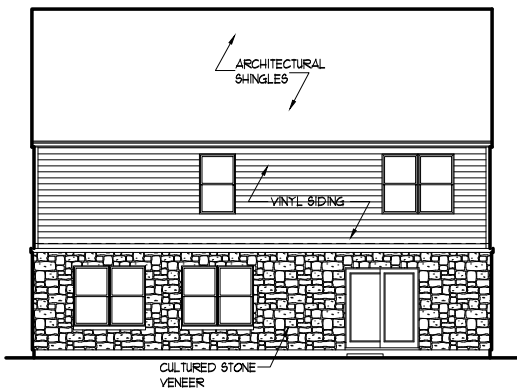




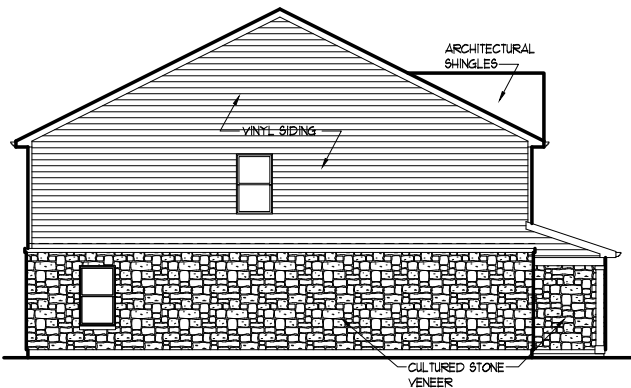
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



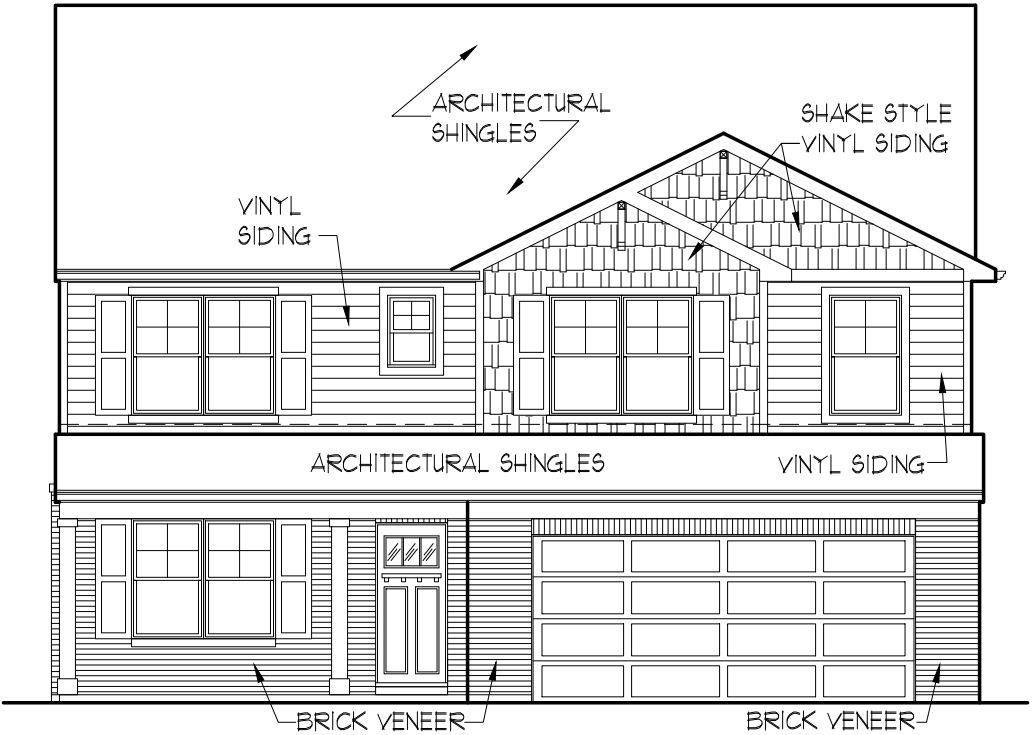
TYPICAL LEFT ELEVATION

X451 ELEVATION "C5"

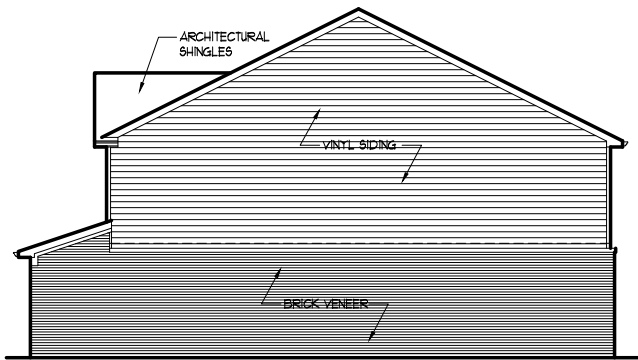
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

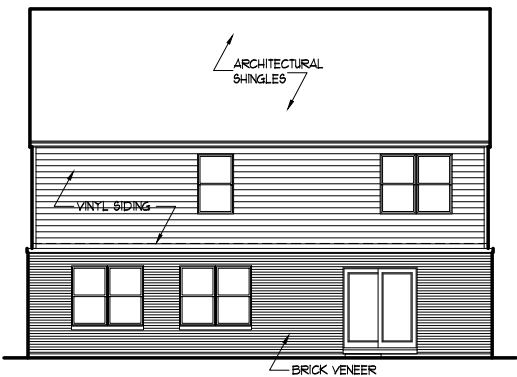




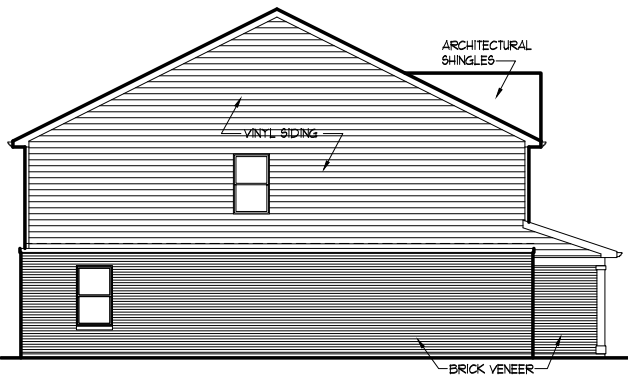
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



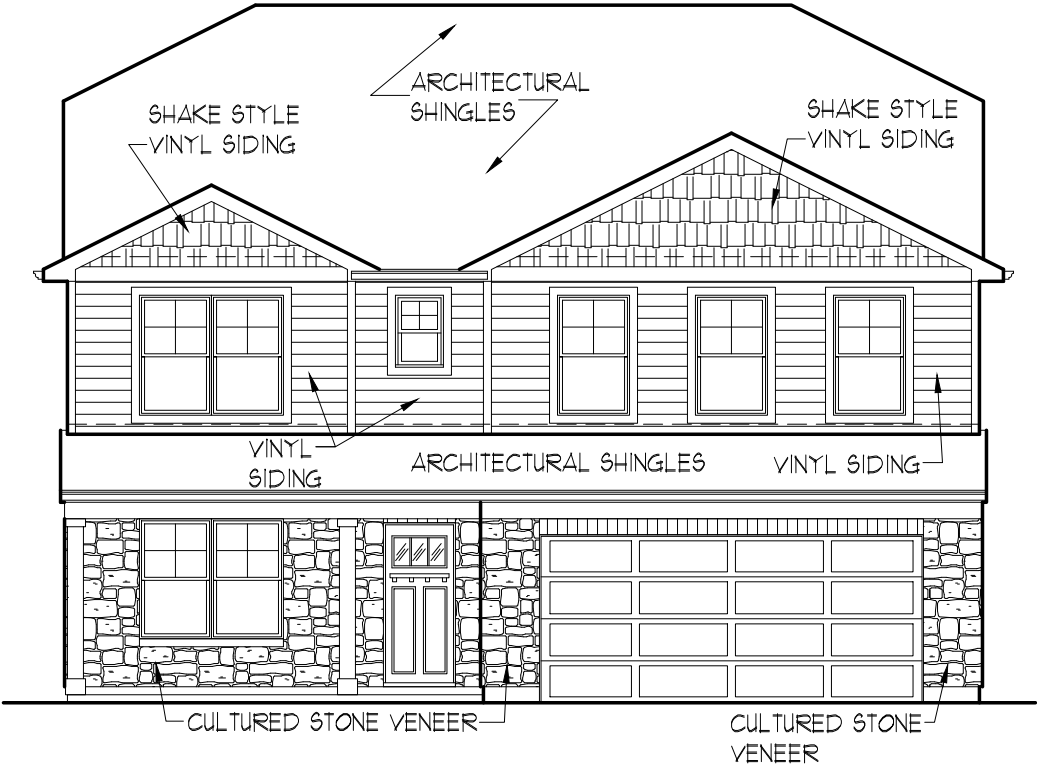
TYPICAL LEFT ELEVATION

X451 ELEVATION "C6"

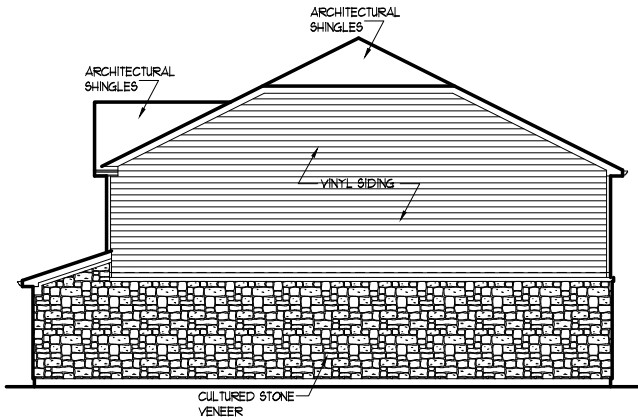
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

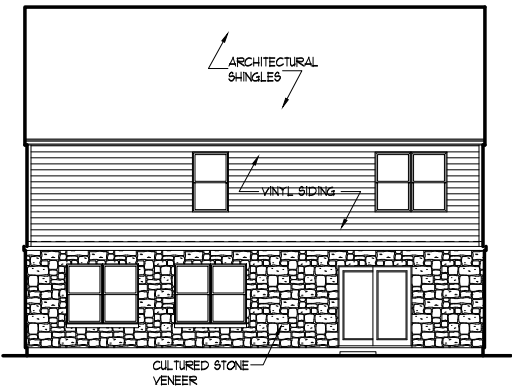




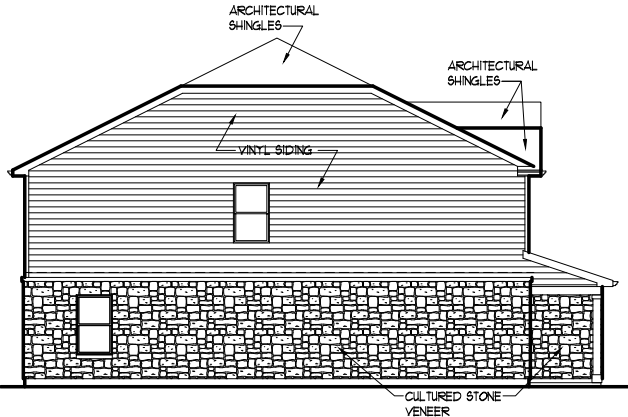
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



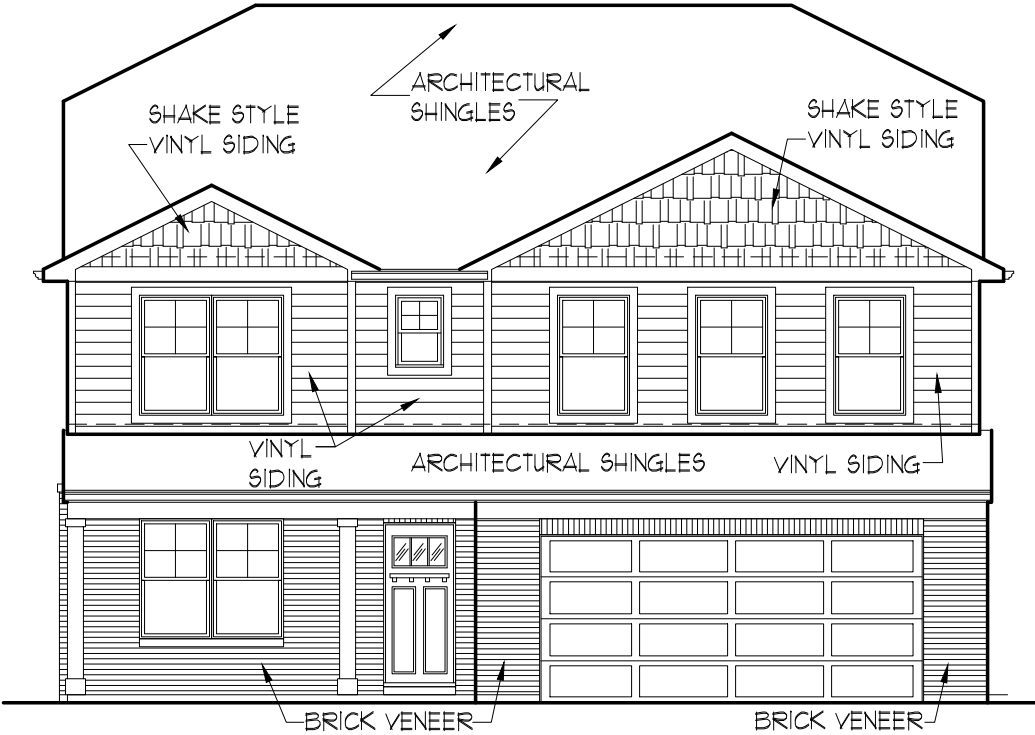
TYPICAL LEFT ELEVATION

X451 ELEVATION "D5"

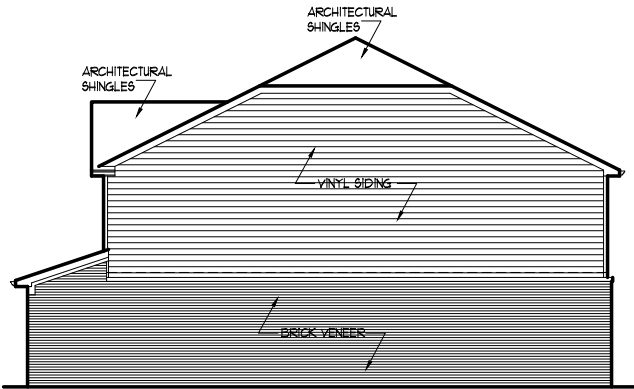
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

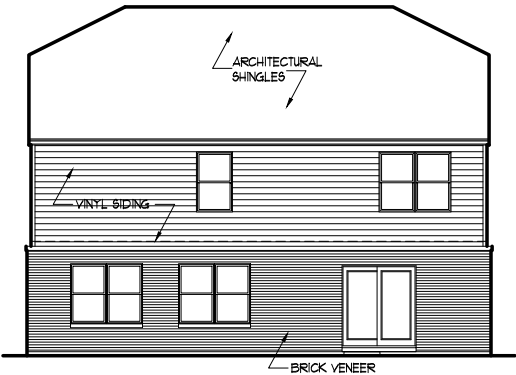




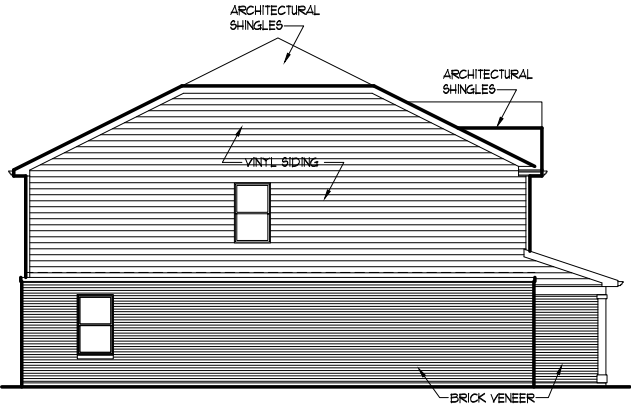
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



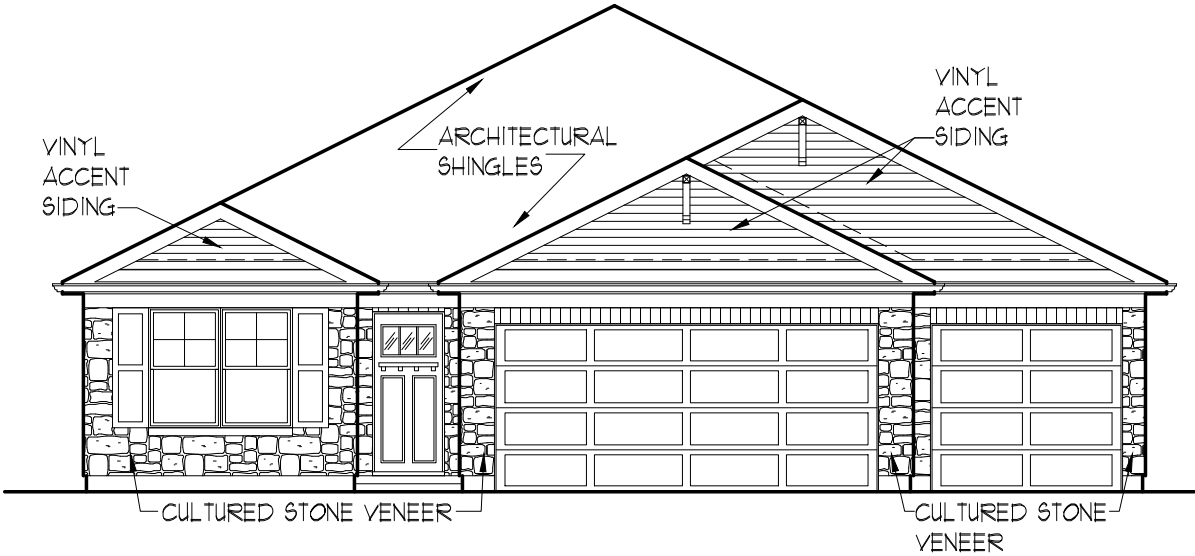
TYPICAL LEFT ELEVATION

X451 ELEVATION "D6"

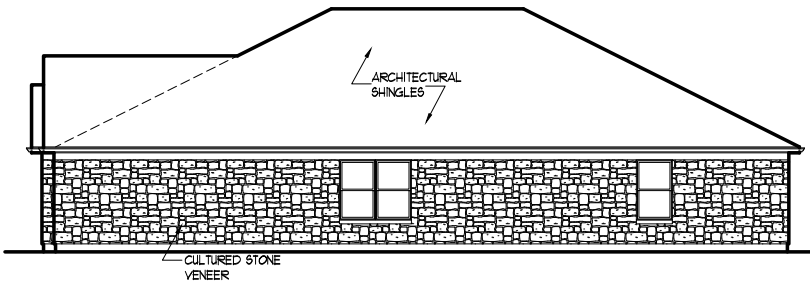
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

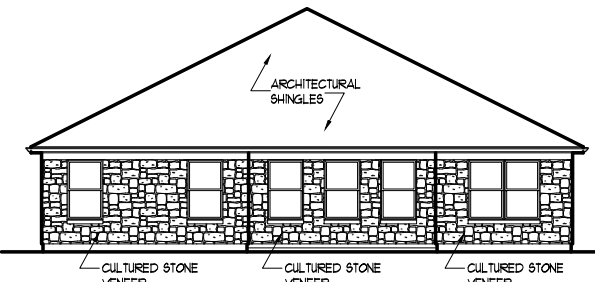




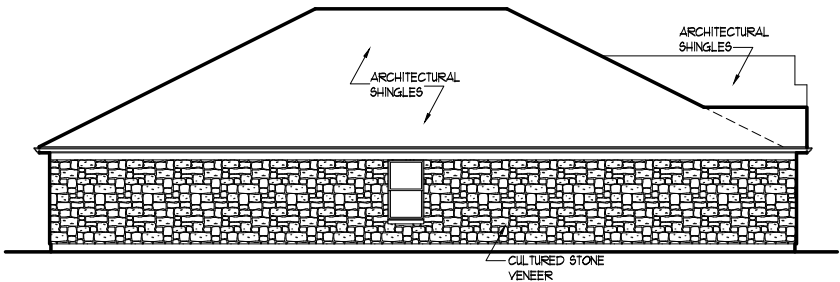
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



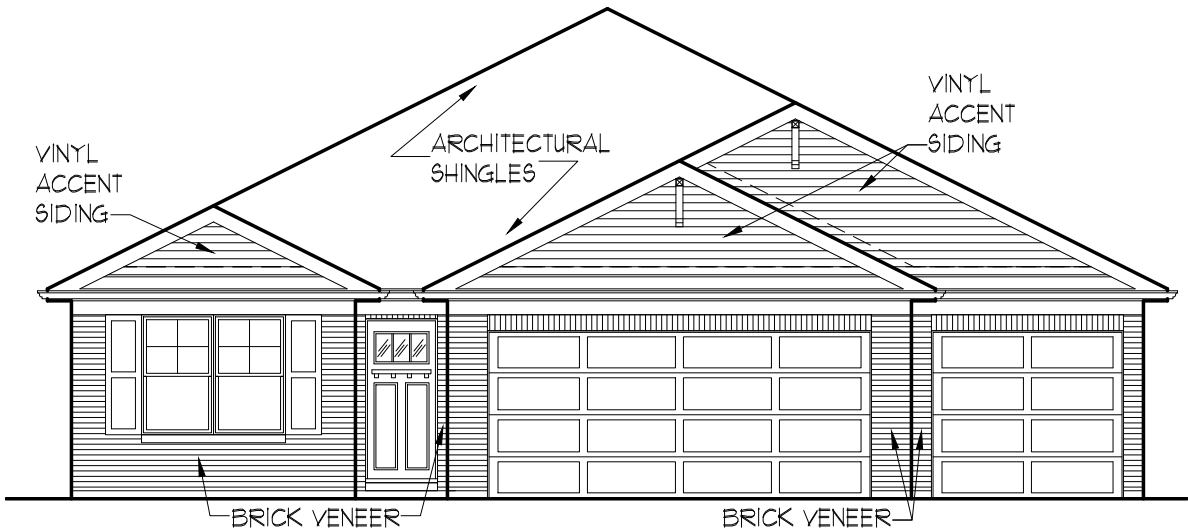
TYPICAL LEFT ELEVATION

x453 ELEVATION "A5"

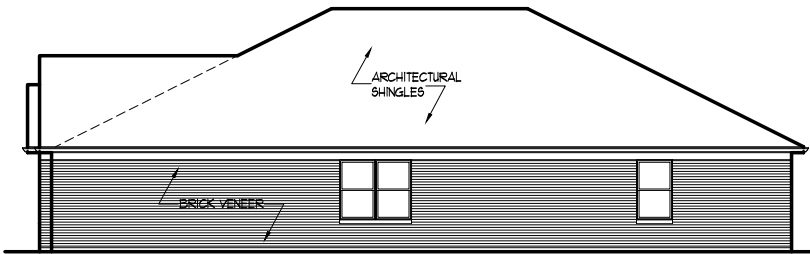
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

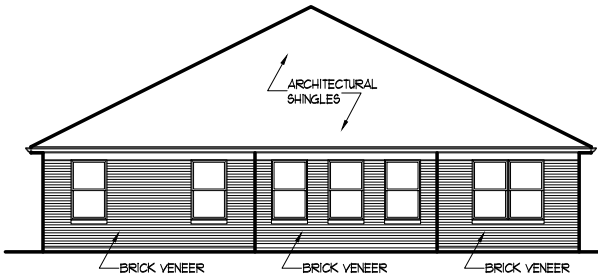




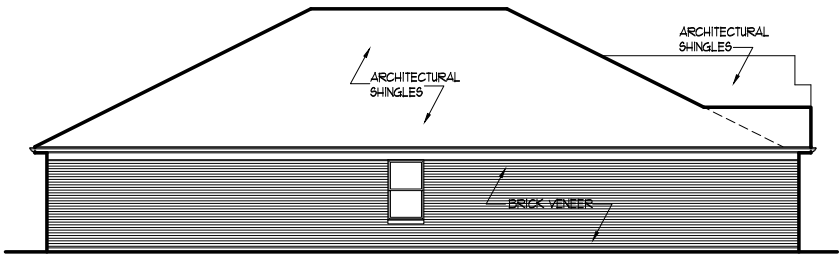
ELEVATION "A6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



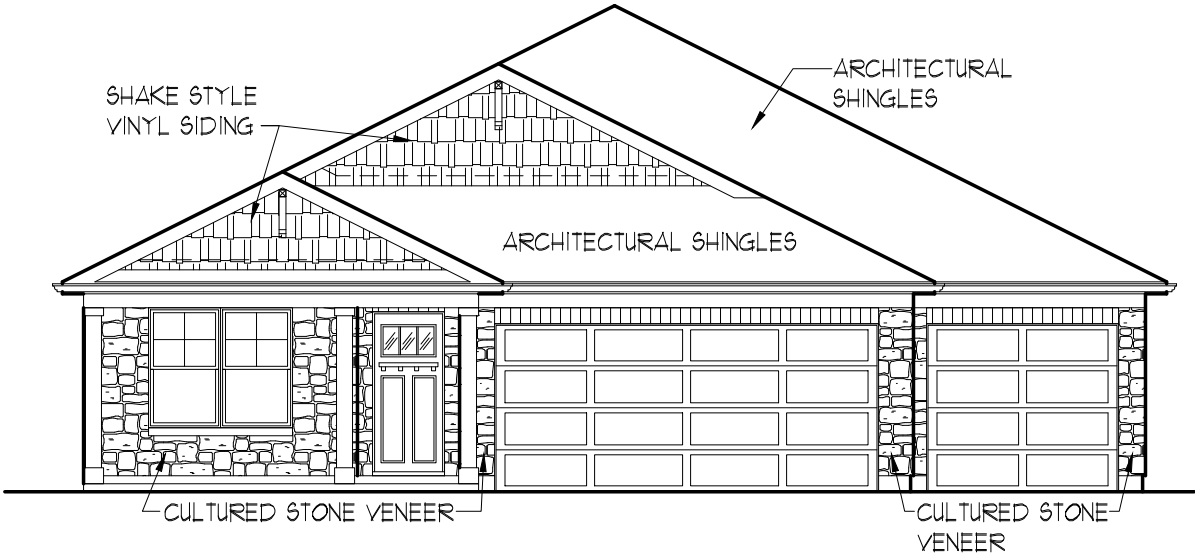
TYPICAL LEFT ELEVATION

x453 ELEVATION "A6"

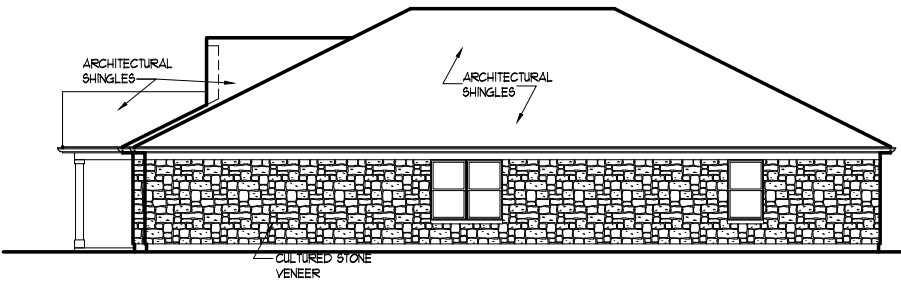
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

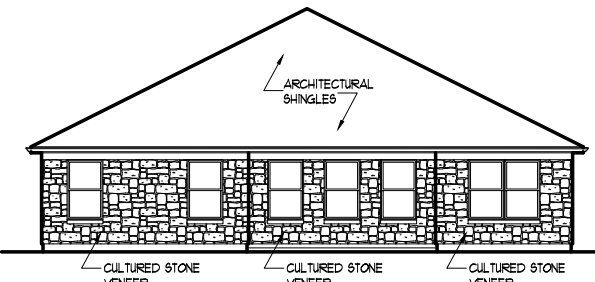




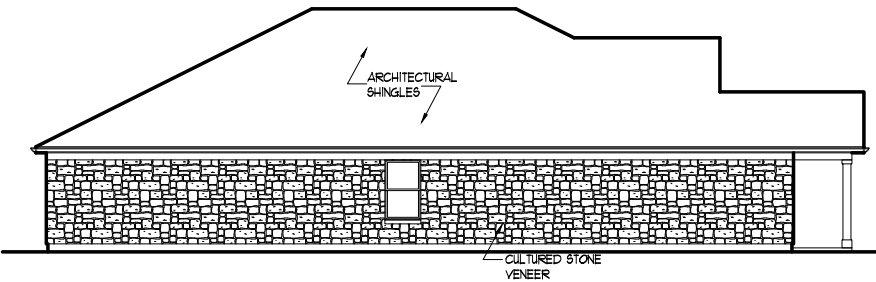
ELEVATION "B5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



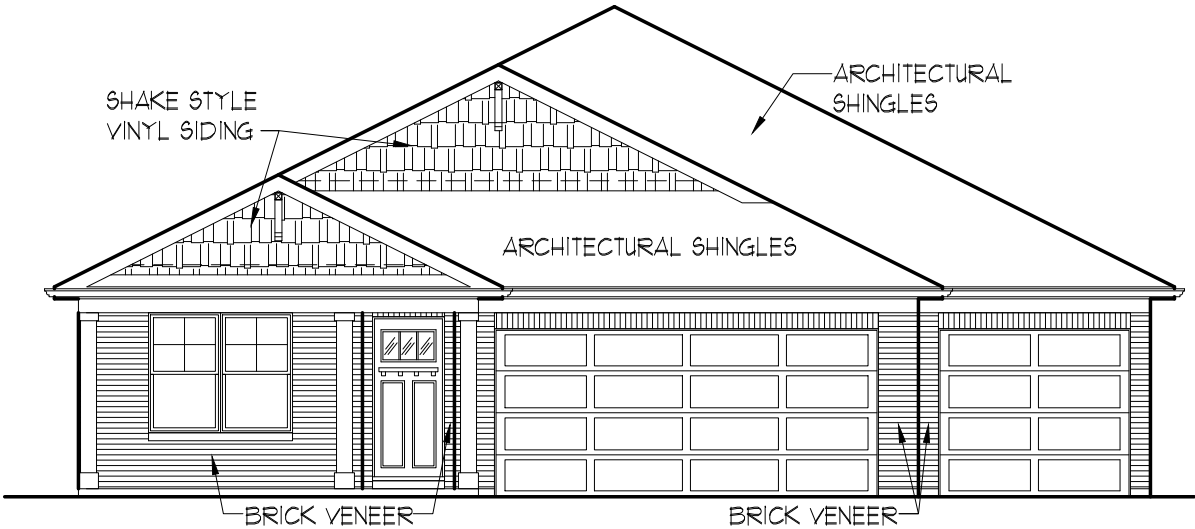
TYPICAL LEFT ELEVATION

x453 ELEVATION "B5"

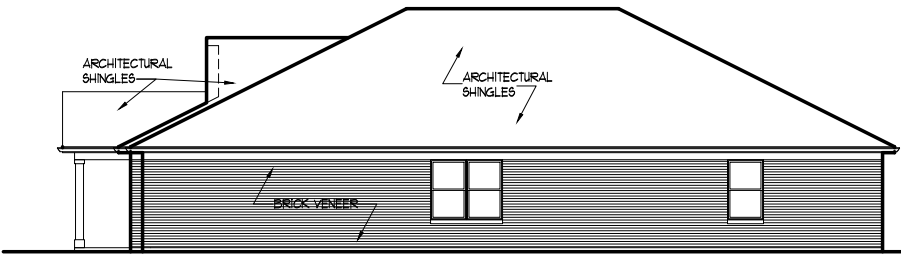
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

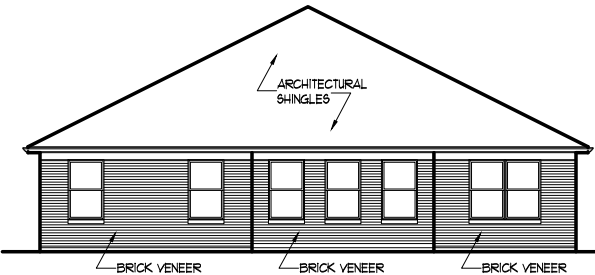




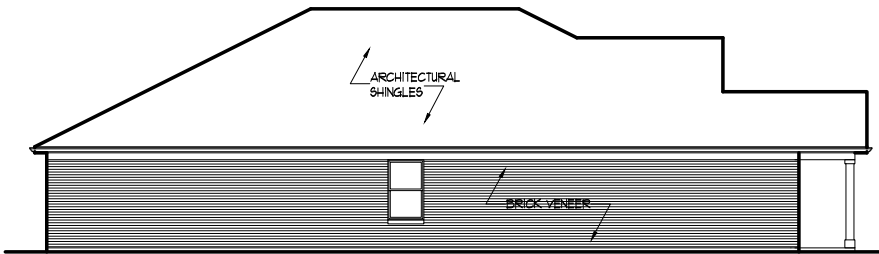
ELEVATION "B6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



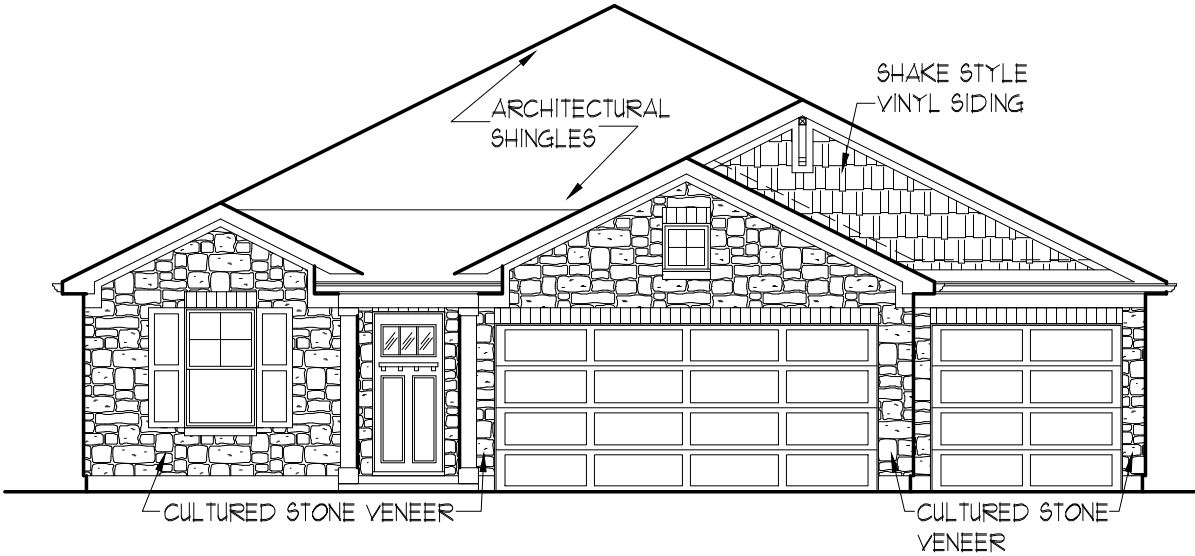
TYPICAL LEFT ELEVATION

x453 ELEVATION "B6"

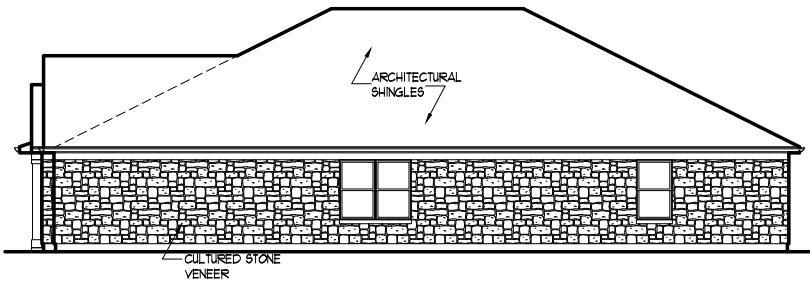
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

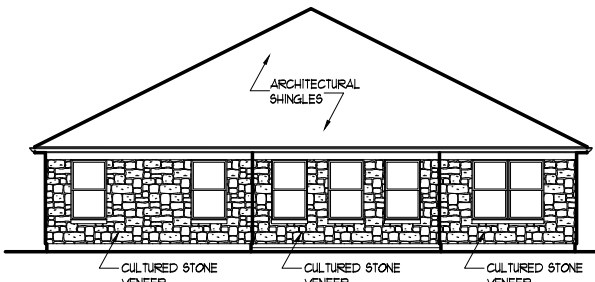




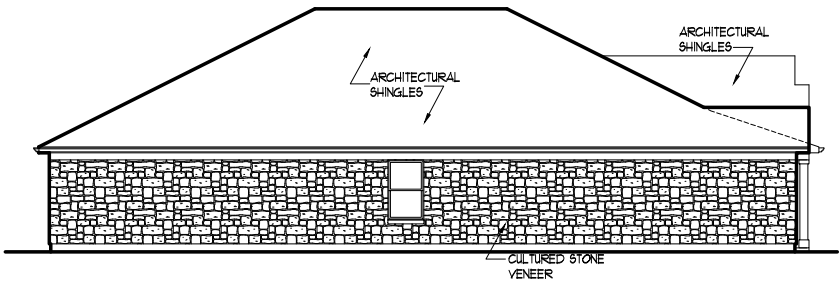
ELEVATION "C5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



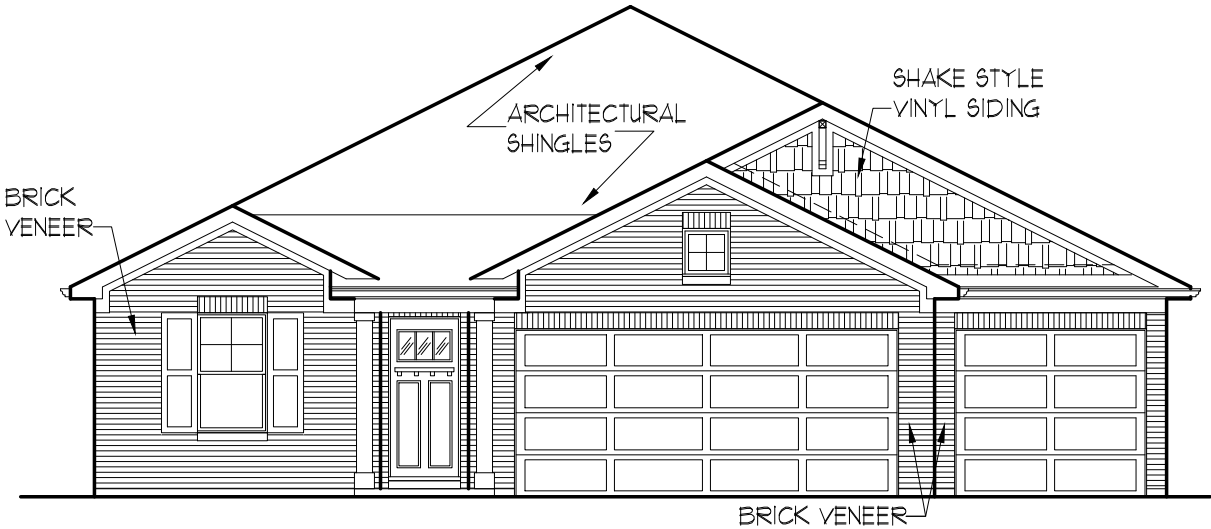
TYPICAL LEFT ELEVATION

x453 ELEVATION "C5"

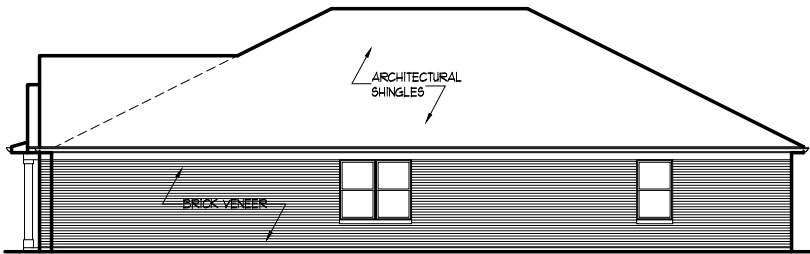
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

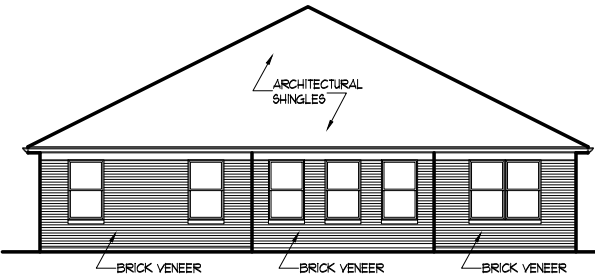




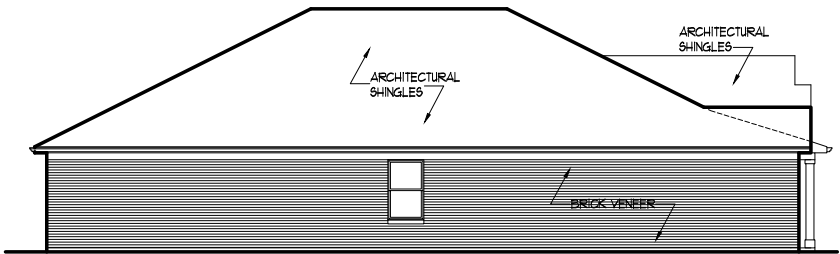
ELEVATION "C6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



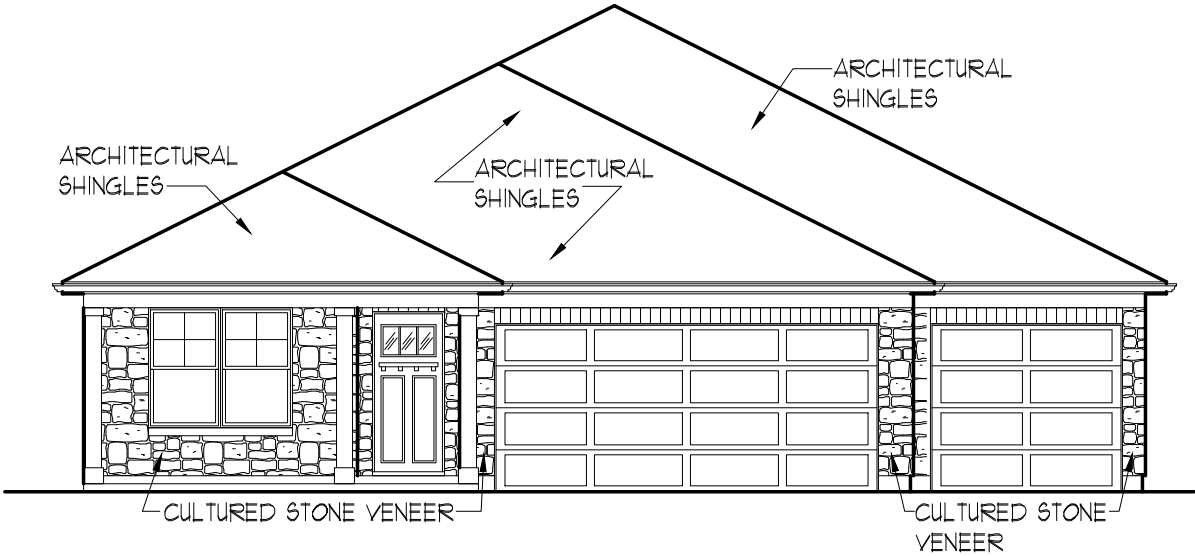
TYPICAL LEFT ELEVATION

x453 ELEVATION "C6"

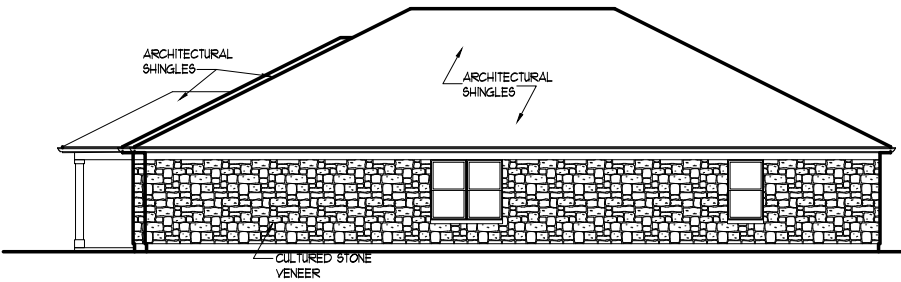
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

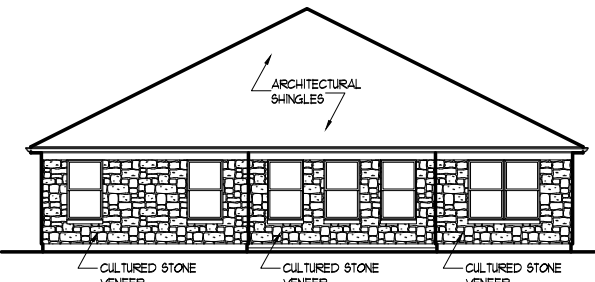




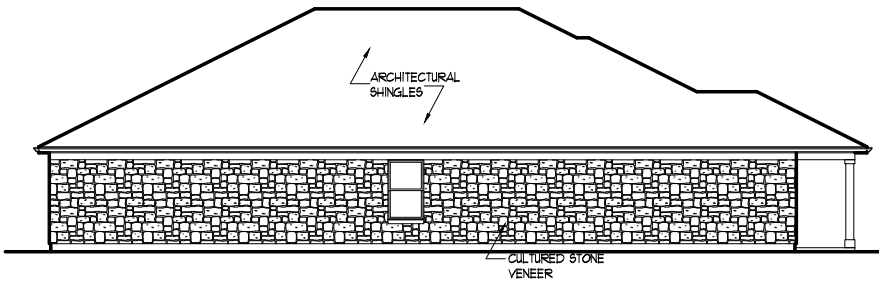
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



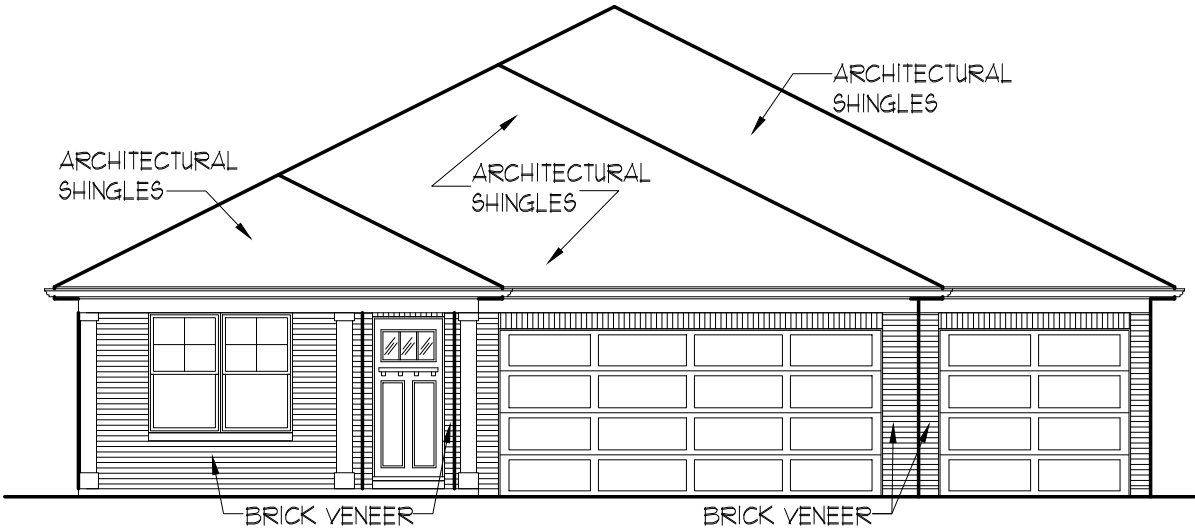
TYPICAL LEFT ELEVATION

x453 ELEVATION "D5"

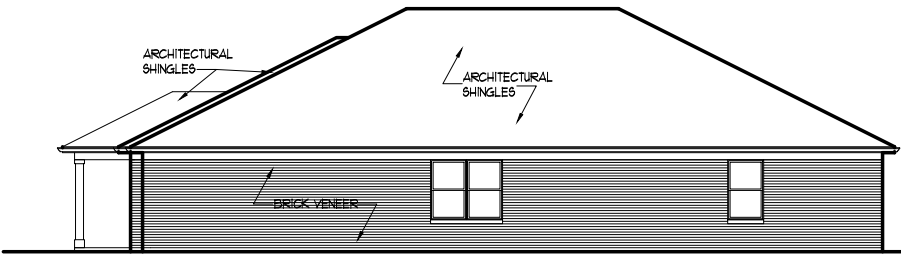
X-SERIES

OAK RIDGE  
TINLEY PARK, IL

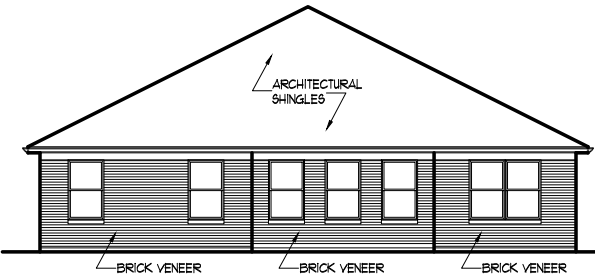




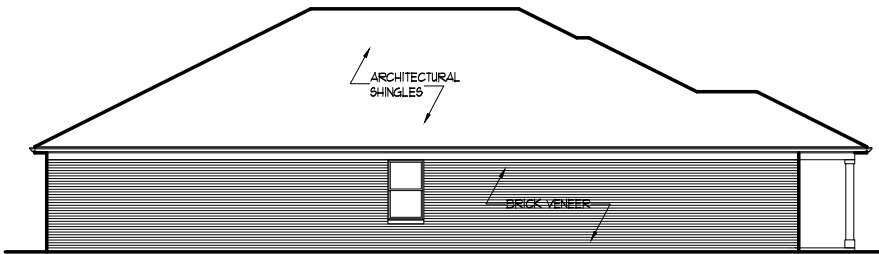
ELEVATION "D6"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



TYPICAL LEFT ELEVATION

x453 ELEVATION "D6"

X-SERIES

OAK RIDGE  
TINLEY PARK, IL







Townhome and Single Family Elevations for Preliminary Approval  
Oak Ridge Subdivision - Tinley Park - 10/15/2021



REAR ELEVATION

DROPPED GRADE

SCALE: 1/8"=1'-0"



SEABOARD SERIES





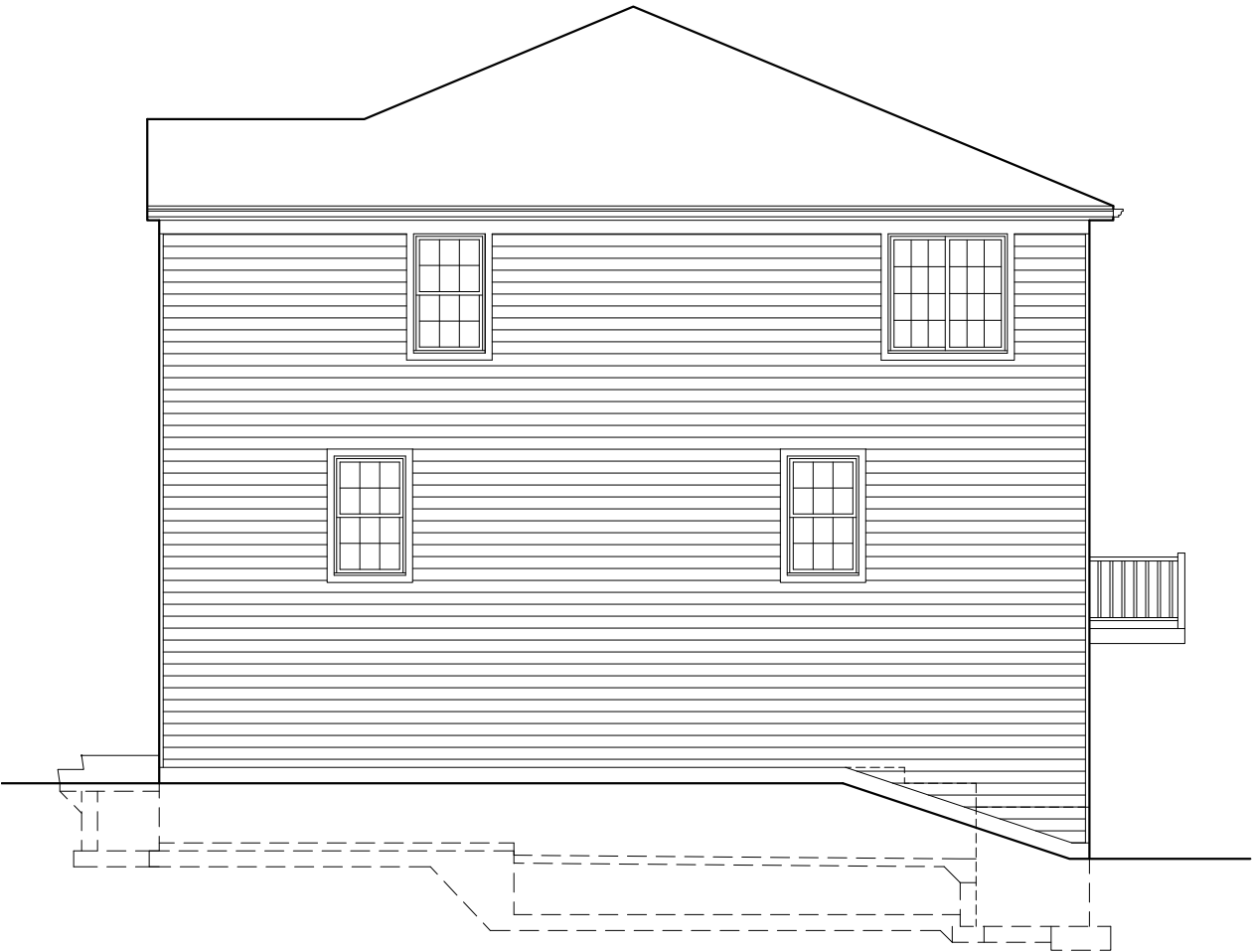


UNIT 1756  
ELEV "A"

LEFT ELEVATION

DROPPED GRADE

SCALE: 1/8"=1'-0"



UNIT 1758  
ELEV "A"

RIGHT ELEVATION

DROPPED GRADE

SCALE: 1/8"=1'-0"

SEABOARD SERIES







REAR ELEVATION

FLUSH GRADE

SCALE: 1/8"=1'-0"



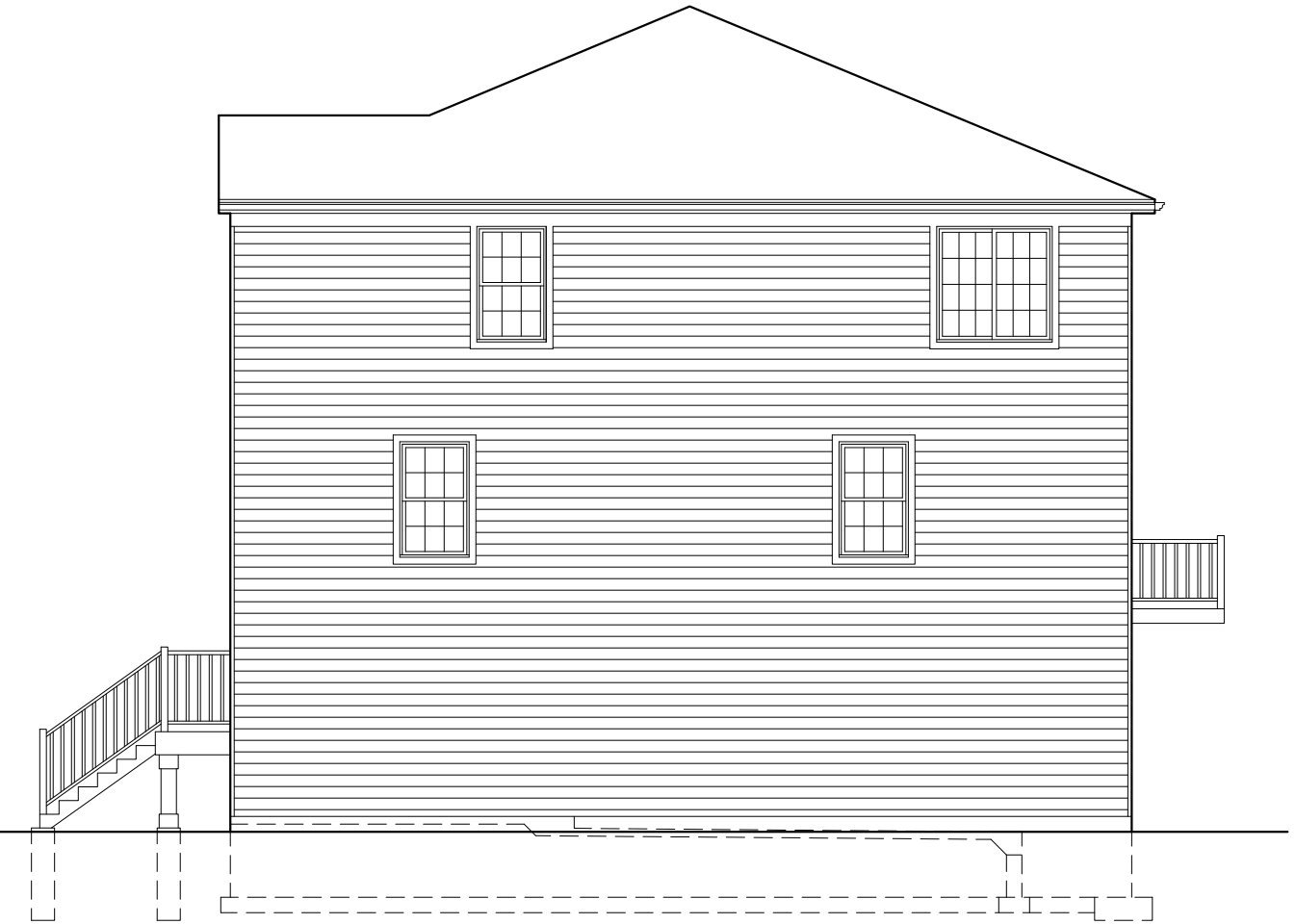
SEABOARD SERIES







UNIT 1756  
ELEV 'A'



UNIT 1758  
ELEV 'A'

LEFT ELEVATION      FLUSH GRADE  
SCALE: 1/8"=1'-0"

RIGHT ELEVATION      FLUSH GRADE  
SCALE: 1/8"=1'-0"

SEABOARD SERIES





VILLAGE OF TINLEY...





**MONOTONY CODE FOR DETACHED SINGLE-FAMILY DWELLING UNITS****Elevations:**

The same elevation of the same floor plan cannot be repeated within two lots on the same side of the street. In other words, there must be two different elevations between each home. A different elevation is not only defined as a different letter, but must be different in terms of roofline and fenestration.

The same elevations cannot be put “directly across the street” from one another. However, like elevations can be erected across the street from one another as long as the lot boundaries do not overlap by more than 25%: this is not considered “directly across the street.” In the case of a small cul-de-sac (eight sites or less), no duplication of elevations should occur.

**Exterior Colors:**

On the same side of the street, the same exterior siding color should not be repeated within two lots. In other words, there will be two different siding colors between each house. Similar to the elevation rule, the siding color should not be the same on any house across the street.

As far as the trim, roof and brick colors are concerned, they should not be duplicated more than twice if side by side; i.e., there will not be three homes alongside each other with the same trim color.

There is no monotony code for TH.



**GENERAL INFORMATION**

Project Name: Oak Ridge  
 Project Number(s): 53296  
 Project Location: Tinley Park  
 County Jurisdiction: Cook  
 Architects: Premier Architects  
 Architect Contact: John Kern

**SITE & LANDSCAPING INFORMATION**

Common Area Landscape: Per Landscape Plan  
 Curb & Curb Cuts: B6.12/Depressed  
 Driveways: 2" asphalt over 6" gravel  
 Driveway Approaches: 2" asphalt over 6" gravel  
 Exterior Flatwork: 3' wide 4" thick service walk from drive to front stoop w/California finish  
 Landscape Package: Foundation Plantings – Standard (per plan)  
 Landscaping - Front Yard: Sod  
 Landscaping - Side Yard: Sod  
 Landscaping - Rear Yard: Sod  
 Mailboxes: Yes, specifications per U.S.P.S.  
 Mulch: Perimeter of Foundation  
 Parkway: Per Landscape Plan  
 Public Walks: 5' wide 5" thick (6" at driveway) w/4" crushed stone base – Rebar at Drives  
 Sewer & Water Req.: 1 1/2" water /6" PVC sewer service (D-2241 minimum)

**MISCELLANEOUS INFORMATION**

Energy Testing: Energy Smart  
 Radon Mitigation: Passive Radon system from slab through roof.  
 Smart Home Features (Amazon): Amazon Echo Dot (Installed Post-Closing)  
 Smart Home Features (Deadbolt): Kwikset ZWave 888 Electronic deadbolt  
 Smart Home Features (Doorbell): Skybell Trim Plus video doorbell (Installed Post-Closing)  
 Smart Home Features (HD Panel): Qolsys IQ2 7" HD Panel (Installed Post-Closing)  
 Smart Home Features (Light Switch): Eaton/Cooper ZWave light switch

**CONSTRUCTION FEATURES**

Standard: Slab  
 Optional: Partial Basement, Full Basement  
 Stoop: Standard (Per Plan)  
 1st Floor Ceiling Height: 9' ceiling

**EXTERIOR DESIGN FEATURES**

Address Marker: 4" Black plastic house numbers  
 Corners (Front): Wood Tone Real Trim 4/4 Pre-finished (per plan) 1 coat pre-finished, 1 coat face off  
 Corners (Sides and Rears): Wood Tone Real Trim 4/4 Pre-finished (per plan) 1 coat pre-finished, 1 coat face off  
 Cultured Stone: Face Brick/Stone per D.R. Horton Package, per plan  
 Decorative Millwork: Decorative millwork mounted on top of vinyl siding. MFG: Wypon or equal  
 Ext. Garage Service Door: Optional 2-panel square smooth insulated steel, location per plan  
 Exterior Paint: Sherwin Williams, Colors per D.R. Horton Color Package  
 Exterior Window Trim: Wood Tone Real Trim 4/4 Pre-finished (per plan) 1 coat pre-finished, 1 coat face off  
 Frieze: Wood Tone Real Trim 4/4 Pre-finished (per plan) 1 coat pre-finished, 1 coat face off  
 Front Exterior Door: Masonite HGS-217-010-2 smooth fiberglass insulated w/deadbolt and dentil shelf  
 Masonry: Face Brick/Stone per D.R. Horton Package, per plan  
 Rake Size: Flush  
 Roof Shingles: IKO Cambridge AR Architectural - Weathered Wood  
 Shutters (Louver/Panel): Prefinished Vinyl per plan  
 Siding: Exterior Portfolio Parkview D4.042 Vinyl Siding  
 Soffit and Fascia: Aluminum, 2x8 subfascia  
 Trim Boards: Wood Tone Real Trim 4/4 Pre-finished (per plan) 1 coat pre-finished, 1 coat face off  
 Window Energy Efficiency: MI Windows. Low E glass and Argon. U Factor .30  
 Window Grills: Whole House  
 Windows: White vinyl single-hung or slider w/integral J channel, tempered glass where required by code

**INSULATION**

Attic: R-45 at all ceilings  
 Basements: R-11 blanket at exterior walls from top of foundation to 4' down. 1" closed cell spray foam at rim  
 Cantilevers: Min. R-35 (fill cavity)  
 Exterior Walls (2x4 - Per Plan): R-15 Hi-Density Batts  
 Exterior Walls (2x6 - Per Plan): R-19  
 Closed cell spray foam at basement rim, 2nd floor rim joist, joist ends at garages, garage HVAC chases, at penetration when garage steel penetrates warm walls and at steel at 3rd car garages when steel carriers 2nd floor.  
 Floor Perimeter: Minimum R-35 (Fill Cavity)  
 Garage Ceilings w/Living Space Above: Minimum 3/8" bead of Great Stuff pro Gasket foam at all exterior and interior top plates contiguous to attic space above.  
 Top Plate Gasket: R-15 / R-19 Hi-Density Batts - Per Plan  
 Warm Walls (house to garage):



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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**ORDINANCE**  
**NO.2022-R-002**

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**AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE  
CERTAIN PROPERTY LOCATED AT THE SOUTHEAST CORNER OF  
RIDGELAND AVE & OAK FOREST AVE FROM ORI TO R-5  
(DR HORTON – OAK RIDGE)**

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**MICHAEL W. GLOTZ, PRESIDENT**  
**NANCY M. O’CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-R-002****AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE CERTAIN PROPERTY LOCATED AT THE SOUTHEAST CORNER OF RIDGELAND AVE & OAK FOREST AVE FROM ORI TO R-5 (DR HORTON – OAK RIDGE)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for granting a map amendment of certain real property from the ORI (Office and Restricted Industrial) zoning district to R-5 (Low-Density Residential) (“Rezoning”) located at the southeast corner of Ridgeland Ave. & Oak Forest Ave (excluding 17201 Ridgeland Ave), Tinley Park, Illinois (“Subject Property”) as the Oak Ridge Subdivision has been filed by DR Horton Inc - Midwest (“Petitioner”) with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Rezoning should be granted on December 16, 2021 at the Village Hall of this Village, at which time all persons present were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 5-0 and has filed its report and findings and recommendations that the proposed Rezoning be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Rezoning; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**



**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting a Rezoning as set forth below and the proposed granting of the Rezoning as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

- a. The existing uses and zoning of nearby property;
  - *The R-5 zoning is consistent with neighboring residential uses in the area. Nearby parks, schools, open areas, and access to the downtown also make the location viable for residential uses. Limited access and visibility make future commercial development unlikely.*
- b. The extent to which property values are diminished by the particular zoning;
  - *The zoning change is not anticipated to lower any property values.*
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
  - *No property value reductions or complaining parties have been identified.*
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
  - *The development includes new housing in an area without new residential construction for sale in many years. The development benefits the public by generating additional property tax not generated by vacant land and reducing the burden on existing landowners. Additionally, proposed public open spaces and sidewalks are beneficial to all area residents.*
- e. The suitability of the property for the zoned purpose;
  - *The property has sufficient roadways, utilities, storm detention, and a location for residential uses.*
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
  - *The majority of the property has always been vacant, with the remaining portion recently vacant with the demolition of the former Panduit facility. The lot has remained vacant and had little interest as a commercial development for over 10 years. The area has limited access and visibility to attract commercial or corporate development.*



- g. The public need for the proposed use; and
  - *There is a strong demand for additional housing in the area and single-story duplex housing specifically has not been constructed in many years. The housing is attractive to seniors, empty-nesters, and young families.*
- h. The thoroughness with which the municipality has planned and zoned its land use.
  - *The area was originally planned for a large “big-box” commercial area as part of the Brookside Glen PUD. However, as with large PUDs, changes in the market trends can result in changes to the PUD master plan.*

**SECTION 3:** The Rezoning as set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:**

**PARCEL 1:**

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4); THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 358.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 1285.59 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28; THENCE SOUTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4, 544.91 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 758.60 FEET TO THE EAST LINE OF THE WEST 577.00 FEET OF SAID SOUTHWEST\* 1/4; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4, 521.12 FEET TO THE NORTH LINE OF THE SOUTH 703 FEET OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 57 MINUTES 33 SECONDS WEST, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4, 527.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF



RIDGELAND AVENUE, 1066.33 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4): THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE 358.00 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 345.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 941.25 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE LAST DESCRIBED LINE, 902.43 FEET TO THE NORTH LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST ALONG THE LAST DESCRIBED LINE 282.49 FEET TO THE AFORESAID SOUTHEASTERLY LINE OF OAK FOREST AVENUE: THENCE SOUTH 61 DEGREES 29 MINUTES 52 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE, 747.91 FEET TO A LINE THAT IS 345.00 FEET EAST OF AND PARALLEL WITH THE AFORESAID EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, 545.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS. \*AMENDED SCRIVNER'S ERROR

PARCEL 3:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY (BY RECTANGULAR MEASUREMENT) OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE, SAID EAST LINE BEING 50 FEET EAST (BY RECTANGULAR MEASUREMENT) OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE EAST LINE OF



RIDGELAND AVENUE A DISTANCE OF 298.00 TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE EAST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345.00 FEET; THENCE NORTH ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 491 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE AND MAKING AN ANGLE 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM NORTH TO EAST) A DISTANCE OF 290.14 FEET TO A POINT BEING 600 FEET EAST OF AND PARALLEL TO THE EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH ALONG A LINE MAKING AN ANGLE OF 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM SOUTHWESTERLY TO SOUTH) A DISTANCE OF 683.81 FEET TO A POINT OF INTERSECTION WITH A LINE, SAID LINE BEING DRAWN AT RIGHT ANGLES TO THE EAST LINE OF RIDGELAND AVENUE AND BEING 358 FEET SOUTH OF THE INTERSECTION OF THE SOUTH LINE OF OAK FOREST AVENUE AND THE EAST LINE OF RIDGELAND AVENUE; THENCE WEST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 600.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE; THENCE NORTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET TO THE POINT OF BEGINNING, (EXCEPT THEREFROM A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 298 FEET ALONG THE EAST LINE OF RIDGELAND AVENUE SOUTH FROM THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY BY RECTANGULAR MEASUREMENT OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILROAD COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST BY RECTANGULAR MEASUREMENT, OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4), THENCE SOUTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET, THENCE EAST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET, THENCE NORTH IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 60 FEET, THENCE WEST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET TO THE PLACE OF BEGINNING).

**PARCEL IDENTIFICATION NUMBERS:** 28-29-200-030-0000, 28-29-200-036-0000, and 28-29-300-041-0000



**COMMONLY KNOWN AS:** SEC Ridgeland Ave. & Oak Park Ave (previously referred to as 17301 Ridgeland Ave, 6301 Oak Forest Ave, 6200 175th St) but excluding 17201 Ridgeland Ave, Tinley Park, IL 60477

**SECTION 4:** That a Rezoning of the Subject Property described in the above section from ORI (Office and Restricted Industrial) to R-5 (Low-Density Residential), as Oak Ridge Subdivision is hereby granted to the Petitioner.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS            )  
COUNTY OF COOK            )     SS  
COUNTY OF WILL            )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-R-002, “AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE CERTAIN PROPERTY LOCATED AT THE SOUTHEAST CORNER OF RIDGELAND AVE & OAK FOREST AVE FROM ORI TO R-5 (DR HORTON – OAK RIDGE),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

VILLAGE CLERK





# PLAN COMMISSION STAFF REPORT

January 6, 2022 – Workshop/Public Hearing

## Pete's Fresh Market Warehouse – Office Additions

16300 Harlem Avenue

### Petitioner

Petros Drimonas of  
Pete's Fresh Market on  
behalf of 163rd &  
Harlem LLC

### Property Location

16300 Harlem Avenue

### PIN

27-24-202-020-0000 &  
27-24-202-021-0000

### Zoning

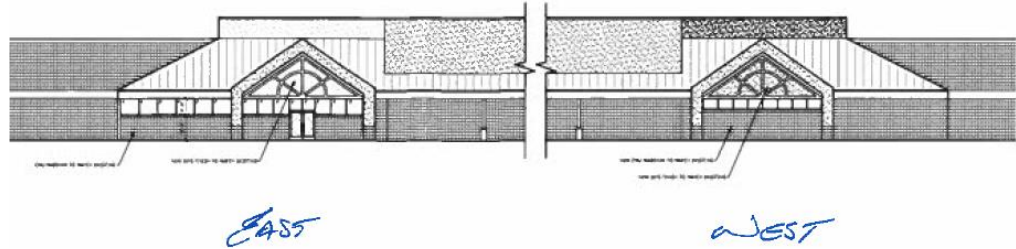
B-3 PD (General Business  
and Commercial, Park  
Place PUD)

### Approvals Sought

- Special Use Permit  
for a Substantial  
Deviation from PUD
- Site Plan/  
Architectural  
Approval

### Project Planner

Daniel Ritter, AICP  
Planning Manager



## EXECUTIVE SUMMARY

The Petitioner, Petros Drimonas of Pete's Fresh Market on behalf of 163<sup>rd</sup> & Harlem LLC for Pete's Fresh Market, is requesting Site Plan/Architectural Approval and a Substantial Deviation from the Park Place Planned Unit Development (PUD). The requests would permit building additions on the previously approved Pete's Fresh Market warehouse building at 16300 Harlem Avenue (former Super K-Mart building).

The proposal includes two separate 1,790 sq. ft. additions (for a total of 3,580 sq. ft. of additional floor area) at the existing building entrances. The areas already have roof overhangs and the floor space will be used for additional office space. The additions would utilize matching exterior materials and colors as the existing building. The changes will also make the front façade less commercially prominent, which will help avoid customers walking to the building thinking it is an open commercial business.



## BACKGROUND

Pete's Fresh Market currently operates 17 different existing locations with ongoing plans to open more stores in the Chicagoland area. Pete's purchased the former K-Mart property in September 2019. The subject site comprises 24.2 acres and is being developed in three phases.

Phase 1, approved in September of 2020, included the granting of a Special Use for a Substantial Deviation to allow a small/ temporary warehouse and distribution use in the B-3 zoning district. The approvals were conditioned upon occupancy of the grocery store and allowed for the overnight storage of five (5) delivery vehicles. The Petitioner has cleaned up the site and landscaping, and recently painted the building. The new color represents a great improvement to the façade and complements the new proposed market.

Phase 2 of the project was approved by the Village Board in July 2021 (Ord. 2021-O-050) and includes the construction of an 88,608 sq. ft. Pete's Fresh Market store; 51,831 sq. ft. of in-line retail tenant space north of the grocery store; a +12,400 sq. ft. expansion of the warehouse; an expansion of the existing dock area on the south side of the warehouse building to accommodate additional trucks, and the addition of a new dock area on the warehouse addition. Phase 3 is planned to involve the subdivision of property along Harlem Avenue for outlot development upon completion of the grocery store building and site work.

Permits have been issued for the warehouse expansion (Phase 2). The permits for the new Pete's Fresh Market store (Phase 2) and site work are pending final MWRD approval, contractors, and Final Plat recording. The plan is to start the site and building work for the Pete's Fresh Market store in early 2022.



Before



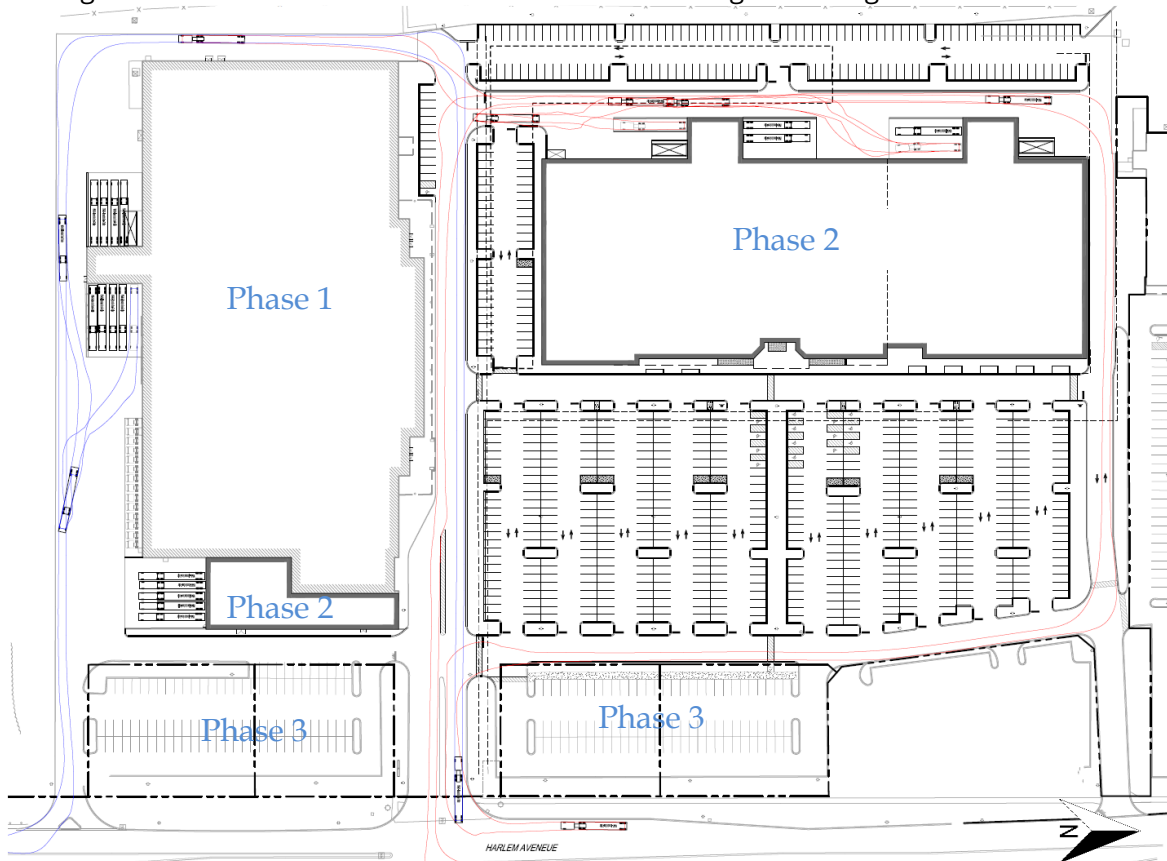
After





Left: Existing East Entrance Area

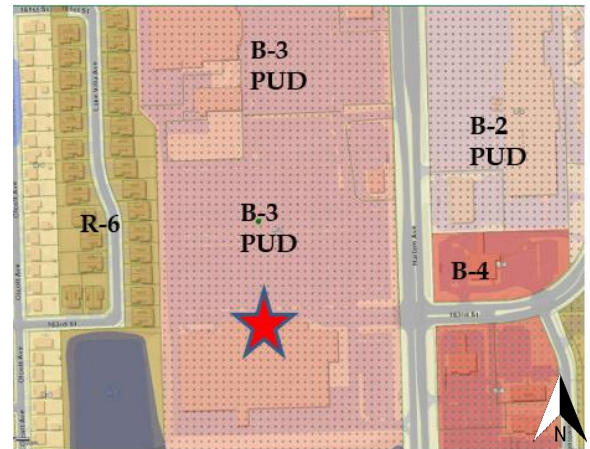
Right: Existing West Entrance Area



## ZONING & NEARBY LAND USES

The subject parcel is located in the Park Place PUD with the underlying zoning of B-3. It is located along Harlem Avenue, one of the Village's major commercial corridors.

The property to the north is also zoned B-3 PUD (Park Center Plaza PUD) and is developed with various commercial uses. The property to the west is developed with residential duplexes, zoned R-6. To the east, across Harlem Avenue, the property is zoned B-4 (Office and Service Business District) and is occupied by a medical office building. Just north of the medical office building is the Tinley Park Plaza retail center and is zoned B-2 PUD. South of the subject property is an unincorporated and undeveloped parcel that has been used for various recreational uses (frisbee golf and dog park) that is operated by the Tinley Park-Park District.

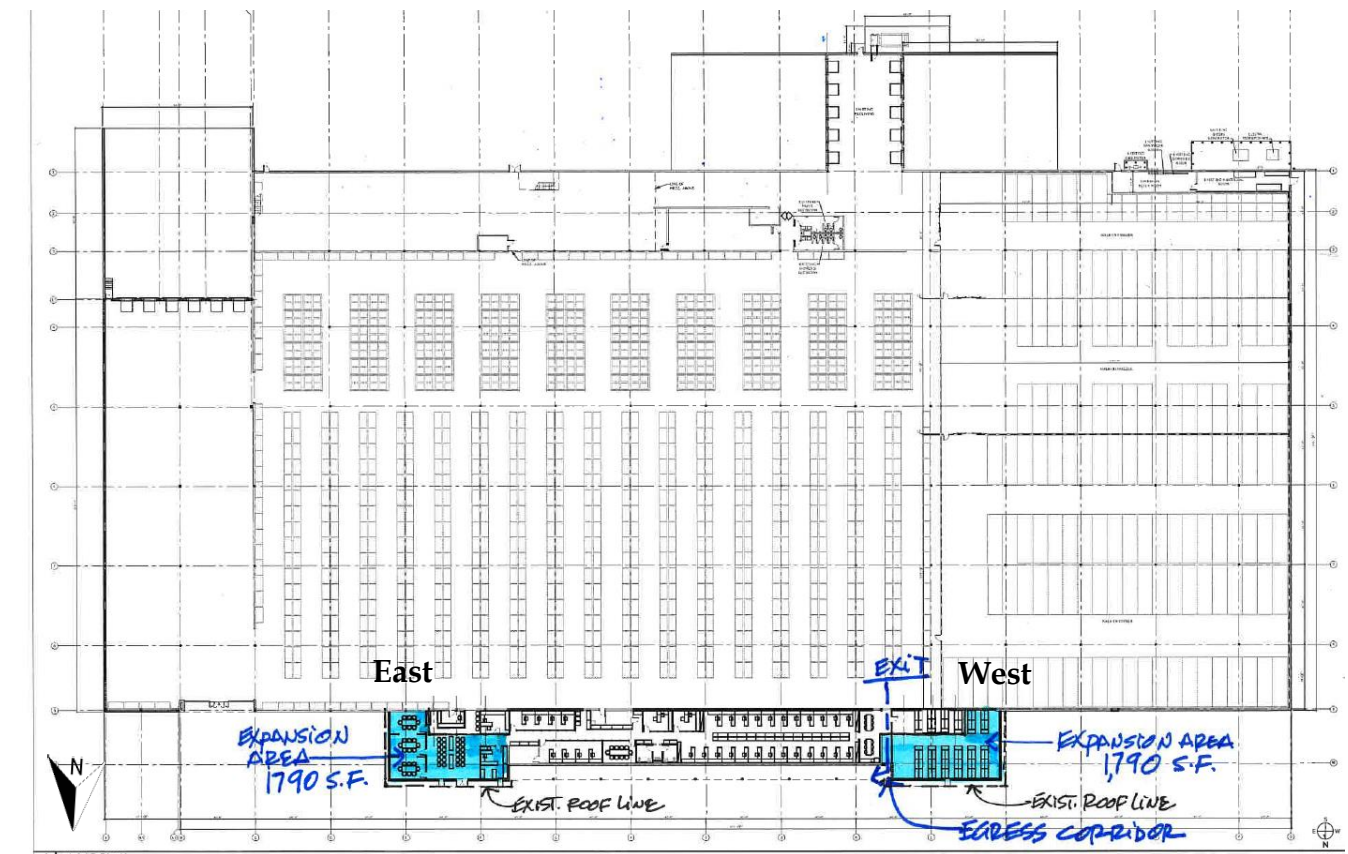




## SITE PLAN AND LAYOUT (New Warehouse Office Additions Only)

There will be no changes to the overall approved site plan in terms of pedestrian and vehicle circulation. The additions would be under the existing building overhang near the two entrances. The additions would allow additional space for offices and a main entrance lobby to the warehouse space and be completed within "Phase 2" of the project. As part of the original Substantial Deviation approval for Phase 2, it was required that the Pete's Fresh Market grocery store be completed in order for the warehouse use to be permitted. The timing and other requirements of that approval will remain, with the only change being the new office additions.

The new additions would not be open to the general public, and will just be used for employees who work in the warehouse/distribution aspects of Pete's Fresh Market. The eastern addition will have doors facing north that will function as the main office entrance for pedestrians. The western addition will have a door that is less noticeable and for egress purposes only. Walkways will remain around the additions for pedestrian foot traffic. Delivery and pickup of warehouse inventory will not occur at the two new office additions, but will continue to be at the south and eastern dock areas previously approved for the building.



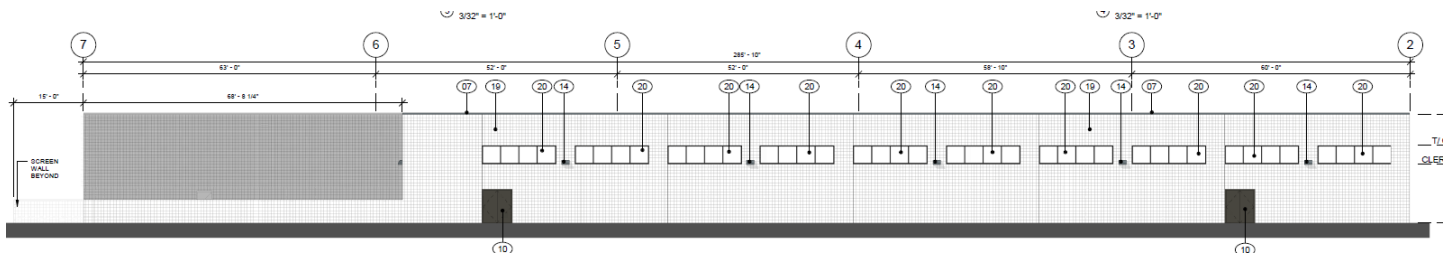


## ARCHITECTURE (New Warehouse Office Additions Only)

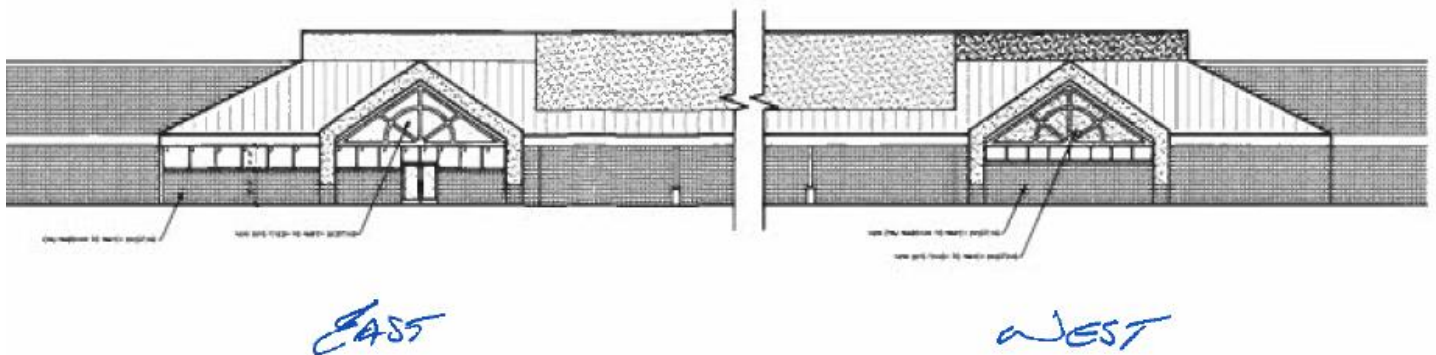
There was a previously approved 12,400 sq. ft. addition proposed for the eastern end of the building that provided space for administrative offices and warehousing. The offices will now primarily be at the front/north end of the building to allow for easier maneuvering of goods throughout the warehouse. Similar to the previously approved warehouse addition, the architect has attempted to match the existing façade in architecture, building material, and color. The material will be a square split face block similar to what is on the existing building. Clerestory windows have been added to break up the expanse of the masonry and allow for natural light within the building. The windows are the same design as the windows proposed on the previously approved east warehouse addition.

In addition to providing additional office space, the additions will make the entrances less prominent so as not to attract the general public from entering them. There will not be a storefront glazing system typically found in more customer-oriented commercial building entries. There will only be one set of double doors facing towards the primary parking lot for the grocery store on the east addition, and a single egress door on the side of the west elevation.

### Previously Approved East Warehouse Addition (Looking West):



### Proposed Office/Entrance Warehouse Addition (Looking South):





## STANDARDS FOR A SPECIAL USE

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Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission when analyzing a Special Use request. Staff will provide draft Findings for the Commission's at the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *The proposed Exceptions are safe for the public, employees, and neighboring properties.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *The additions allow for a better internal layout and more space for storage without any significant changes to the site plan.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *Neighboring properties are already developed and the proposal will not negatively affect any future development or redevelopment of the neighboring properties.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *The site is already developed with adequate utilities and no additional utilities are needed for an office addition. The area already has a roof structure and is accounted for with regard to stormwater.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
  - *Site layout is designed to allow for safe circulation by delivery trucks, employees, and the general public within the site and on adjacent public streets. No changes to the approved circulation are proposed.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and
  - *All other Village code requirements will be met.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
  - *The additions allow for Pete's Fresh Market to operate the distribution and warehouse space with more efficiency and helps with the overall development of the site with a new grocery store and commercial space.*



## STANDARDS FOR SITE PLAN & ARCHITECTURAL APPROVAL

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Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission.

### Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as "belly-bands" (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. **Screen Mechanicals:** All mechanical devices shall be screened from all public views.



- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

#### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.



## MOTIONS TO CONSIDER

If the Plan Commission wishes to act on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan, it only moves the request to a vote. The conditions listed below are recommended by staff but can be added to, changed, or removed by the Commission based on their discussion of the approval of recommendation.

### Motion 1 (Special Use for a Substantial Deviation):

*"...make a motion to recommend that the Village Board grant a Special Use Permit for a Substantial Deviation from the Park Place PUD to the Petitioner, Petros Drimonas of Pete's Fresh Market on behalf of 163rd & Harlem LLC, to permit additional building development changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the January 6, 2022 Staff Report."*

### Motion 2 (Site Plan and Architectural Approval):

*"...make a motion to grant the Petitioner, Petros Drimonas of Pete's Fresh Market on behalf of 163rd & Harlem LLC, Final Site Plan and Architectural Approval to construct two 1,790 sq. ft. building additions (for a total of 3,580 sq. ft. of additional floor area) on the warehouse building at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and subject to the following conditions:*

1. *Site Plan Approval is subject to the approval of the Special Use for a Substantial Deviation from the PUD by the Village Board.*
2. *Site Plan Approval is subject to final engineering plan review approval.*

## LIST OF REVIEWED PLANS - Pete's Fresh Market Warehouse Office Additions

Submitted Sheet Name		Prepared By	Date On Sheet
	Special Use Standard Responses	Applicant	11.24.21
A1.0	Floor Plan/Layout (Marked)	CT	11.24.21
A4.0	Exterior Elevations	CT	11.24.21

CT – Camburas & Theodore, LTD (Architect)



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**THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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**ORDINANCE  
NO. 2022-O-005**

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**AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL  
DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT  
FOR PETE’S FRESH MARKET WAREHOUSE ADDITIONS**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-005****AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL  
DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT  
FOR PETE'S FRESH MARKET WAREHOUSE ADDITIONS**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for the granting of a Special Use for a substantial deviation from the Park Place Planned Unit Development to allow for construction of building additions at 16300 Harlem Avenue, Tinley Park ("Subject Property") has been filed by Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on January 6, 2022 at the Village Hall of this Village of Tinley Park ("Village"), at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 8-0 and has filed its report of findings and recommendations regarding the Special Use for a Substantial Deviation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special Use for a Substantial Deviation; and



**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Planned Unit Development set forth in Section VII.C, Special use standards in Section X.J.5., and the Site Plan and Architecture guidelines as set forth in Section III.U.6., and the proposed granting of the PUD and Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section VII.C. Standards: No Planned Unit Development (PUD) shall be authorized by the Village Board unless the following standards and criteria are met:

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village;
- B. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- F. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;
- H. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All



such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within the development;

- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.

Section X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *The proposed Exceptions are safe for the public, employees, and neighboring properties.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *The additions allow for a better internal layout and more space for storage without any significant changes to the site plan.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *Neighboring properties are already developed and the proposal will not negatively affect any future development or redevelopment of the neighboring properties.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *The site is already developed with adequate utilities and no additional utilities are needed for an office addition. The area already has a roof structure and is accounted for with regard to stormwater.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
  - *Site layout is designed to allow for safe circulation by delivery trucks, employees, and the general public within the site and on adjacent public streets. No changes to the approved circulation are proposed.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this



Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and

- *All other Village code requirements will be met.*

g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

- *The additions allow for Pete's Fresh Market to operate the distribution and warehouse space with more efficiency and helps with the overall development of the site with a new grocery store and commercial space.*

**SECTION 3:** The Special Use Permit for a Substantial Deviation set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:**

PARCEL 1: LOTS 3 AND 4 IN SUPER-K SUBDIVISION, BEING A RESUBDIVISION OF LOTS 4 THROUGH 11, IN PARK PLACE, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE EASEMENTS FOR THE BENEFIT OF PARCEL 1 FOR INGRESS, EGRESS, ACCESS AND PARKING FOR VEHICULAR OR PEDESTRIAN TRAFFIC, AS CREATED IN THE SHOPPING CENTER RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED JUNE 21, 1991 AS DOCUMENT 91303346, UPON AND ACROSS THE PARKING AREAS, ENTRANCES, EXITS, DRIVEWAYS, WALKS AND SERVICE DRIVES AS LOCATED WITHIN THE "COMMON AREAS", AS COMMON AREAS ARE DEFINED IN SAID AGREEMENT, EXCEPTING THEREFROM THAT PORTION FALLING WITHIN ABOVE DESCRIBED PARCEL 1.

**PARCEL IDENTIFICATION NUMBERS:** 27-24-202-020-0000 and 27-24-202-021-0000

**COMMONLY KNOWN AS:** 16300 S. Harlem Avenue, Tinley Park, Cook County

**PETITIONER:** Petros Drimonas of Pete's Fresh Market, on behalf of 163<sup>rd</sup> & Harlem LLC

**SECTION 4:** That a Special Use Permit for a Substantial Deviation, as defined in Zoning Ordinance Section VII.B.6., from the approved Park Place Planned Unit Development for certain property described in the above section, to permit the construction and reconstruction in accordance with the "List of Reviewed Plans" attached hereto **Exhibit A**, with the an Exception to permit the building material to match the existing CMU instead of utilizing brick or stone.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.



**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 18<sup>th</sup> day of January, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 18<sup>th</sup> day of January, 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-005, " AN ORDINANCE GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION FROM THE PARK PLACE PLANNED UNIT DEVELOPMENT FOR PETE’S FRESH MARKET WAREHOUSE ADDITIONS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18<sup>th</sup> day of January, 2022.

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VILLAGE CLERK



**Exhibit A**

**LIST OF REVIEWED PLANS - Pete’s Fresh Market Warehouse Office Additions**

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Submitted Sheet Name		Prepared By	Date On Sheet
	Special Use Standard Responses	Applicant	11.24.21
A1.0	Floor Plan/Layout (Marked)	CT	11.24.21
A4.0	Exterior Elevations	CT	11.24.21

CT – Camburas & Theodore, LTD (Architect)



**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**

**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**

**SUBJECT: MINUTES OF THE JANUARY 6, 2022 REGULAR MEETING**

**ITEM #2 WORKSHOP/PUBLIC HEARING – PETE’S FRESH MARKET WAREHOUSE OFFICE EXPANSION - SPECIAL USE FOR PUD SUBSTANTIAL DEVIATION, SITE PLAN/ARCHITECTURAL APPROVAL**

Consider recommending that the Village Board grant Petros Drimonas of Pete’s Fresh Market, on behalf of 163rd & Harlem LLC (property owner) a Special Use for a Substantial Deviation of the Park Place Planned Unit Development located at 16300 S. Harlem Avenue, Tinley Park. The granting of this request will allow for the construction of two building additions on the warehouse (located on the former K-Mart building) totaling 3,580 sq. ft. for additional office space. Final Site Plan/Architecture Approval is also requested as part of the development approval.

Present Plan Commissioners:

Chairman Garrett Gray  
James Gaskill  
Angela Gatto  
Frank Loscuito  
Eduardo Mani  
Andrae Marak  
Ken Shaw  
Kurt Truxal

Absent Plan Commissioners:

None

Village Officials and Staff:

Kimberly Clarke, Director of Community Development  
Dan Ritter, Planning Manager  
Lori Kosmatka, Associate Planner  
Kevin Kearney, Village Attorney, PJM Chicago

Petitioners:

None

Members of the Public:

None

CHAIRMAN GRAY asked for a motion to open the Public Hearing. Motion made by COMMISSIONER MANI seconded by COMMISSIONER GASKILL. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing. He invited staff to start with the presentation of this item.

Dan Ritter, Planning Manager, summarized the Staff Report for the Commission which is in the packet and attached as part of the minutes. This is a fairly straightforward request to make two small building additions on the warehouse building. They would be under the existing canopy and roof structure and be used for office space. The additions make for a consolidated office area at the front of the building and allows for a more open warehouse/distribution area in the building. The exterior materials will match the existing painted CMU and have windows matching the previously approved warehouse addition. The additions will make the entrances look less like a commercial entrance for the public to use. No changes are being made to the site plan or truck routing from what was previously approved. Pete’s had some issues with engineering and MWRD approvals but plans to move forward with the warehouse and grocery store (and additional retail space) building in spring when the weather breaks. He noted the applicant is not present,



but this is a fairly straightforward request. He noted it is up to the Commission on whether they feel comfortable proceeding without the applicant present.

COMMISSIONER GATTO and COMMISSIONER MANI had no comments.

COMMISSIONER SHAW commented that he liked what is being proposed.

COMMISSIONER GASKILL and COMMISSIONER LOSCUITO had no comments.

COMMISSIONER TRUXAL noted that considering the additional office space, the only restroom in the whole facility is in the back by the loading docks.

Dan Ritter responded that he has not seen the build-out plans. The state's plumbing code has a requirement for the number of facilities they have total but doesn't note where they need to be located. It is not like exit doors where they have to be spaced out. They just need a certain number of facilities.

COMMISSIONER TRUXAL noted the drawing submittal is very small and hard to enlarge to view. The whole front section appears to be office space and that females would have to go to the back where the truck drivers are, which would not be optimal. He also questioned if there would be enough facilities for the number of people present.

Dan Ritter responded that the internal buildout plans are currently under review by the building official and would need to meet state and local codes. However, the internal operations and locations of bathrooms are not typically under the purview of a site plan review.

COMMISSIONER SHAW commented that he believed there were restrooms up front from when it was the old K-Mart.

COMMISSIONER GATTO commented she recalled that as K-Mart it had restrooms up front to the right. Her husband was the GM for that. She commented they were previously all the way to the right. It looks like it is not on this plan now. Previously there was a Little Caesar's, a deli, and restrooms to the right in the corner.

Dan Ritter noted that area is now shown as all racking for storage. Staff will ensure that the proposal meets state plumbing code and Village building code requirements.

COMMISSIONER MARAK had no comment.

CHAIRMAN GRAY noted the design looks clean, and he likes how the exit door is hidden on the west side. He had no further comments. He asked if anyone from the public wishes to speak. Seeing none, he entertained a motion to close the public hearing.

Motion to close the public hearing made by COMMISSIONER SHAW, seconded by COMMISSIONER GASKILL. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

Dan Ritter reviewed the drafted Standards for a Special Use on these requests, as indicated in the Staff Report. There were two motions for this item.

Motion 1- (Special Use for a Substantial Deviation):

COMMISSIONER LOSCUITO made a motion to recommend that the Village Board grant a Special Use Permit for a Substantial Deviation from the Park Place PUD to the Petitioner, Petros Drimonas of Pete's Fresh Market on behalf of 163rd & Harlem LLC, to permit additional building development changes at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the January 6, 2022 Staff Report.



Motion seconded by COMMISSIONER GASKILL Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 2- (Site Plan and Architectural Approval):

COMMISSIONER TRUXAL made a motion to grant the Petitioner, Petros Drimonas of Pete's Fresh Market on behalf of 163rd & Harlem LLC, Final Site Plan and Architectural Approval to construct two 1,790 sq. ft. building additions (for a total of 3,580 sq. ft. of additional floor area) on the warehouse building at 16300 Harlem Avenue in the B-3 PD (General Business and Commercial, Park Place PUD) zoning district, in accordance with the plans submitted and subject to the following conditions:

1. Site Plan Approval is subject to the approval of the Special Use for a Substantial Deviation from the PUD by the Village Board.
2. Site Plan Approval is subject to final engineering plan review approval.

Motion seconded by COMMISSIONER LOSCUITO. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

CHAIRMAN GRAY noted that this item would move forward to the Village Board meeting January 18<sup>th</sup>.



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-006**

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**AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION  
FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY  
APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES WITH  
36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR  
SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES  
(THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-006**

**AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES WITH 36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES (THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for the granting of a Special Use for a Substantial Deviation from the Brookside Glen Planned Unit Development (Ordinance #2000-O-006) to allow changes to approved site plans, elevations, and other approved documents in a previously approved Substantial Deviation (Ordinance #2017-O-072) for 4 multi-family structures with 36 dwelling units in each structure, located at 19248-88 Magnuson Lane Tinley Park, Illinois 60487 (“Subject Property”) has been filed by Karli Mayer on behalf of One Magnuson Lane, LLC (“Petitioner”) with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on November 18, 2021 (continued with no discussion), December 16, 2021 (continued after discussion with direction), and January 6, 2022 at the Village Hall of this Village of Tinley Park (“Village”), at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 5-3 and has filed its report of findings, recommendations, and conditions regarding the Special Use for a Substantial Deviation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and



**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special Use for a Substantial Deviation; and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Special Use Permit for a Substantial Deviation set forth in Section VII.B.6 and Section X.J.5 of the Zoning Ordinance, and the proposed granting of the Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *The proposed design changes are largely aesthetic with no major changes to the site plan, thus will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Additional factors were considered in the previous PUD approval.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *The proposed design changes include a proposed architectural façade primarily of brick and stone veneer with double transom windows on the residential top floor. These architectural features, along with the reduction in 5'-0 1/8" of building height will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values in the neighborhood.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *The proposed design changes are largely aesthetic with no major changes in the site plan, thus will not impede the normal and orderly development and improvement of surrounding property.*



- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *The proposed design changes do not affect changes to utilities, access roads, drainage and/or other necessary facilities.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
  - *The proposal will not change the previously approved ingress and egress. The density has not changed from the previous approval within Ordinance 2017-O-072.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
  - *The proposal will adjust the currently approved building setbacks from 17'-9 5/8" to 63'-0 3/8" (noted in the ordinance as 18-27 feet) building setbacks to allow 16.6' to 69'-11". Other previously approved exceptions which will remain are building height and floor area ratio.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
  - *The proposed design changes are largely aesthetic. The scale of the project remains the same from the previous approval per Ordinance 2017-O-072, which contributes to the economic development of the community as a whole.*

**SECTION 3:** The Special Use Permit for a Substantial Deviation set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:**

PARCEL 1 - THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 AFORESAID; THENCE NORTH 05 DEGREES 49 MINUTES 00 SECONDS WEST 101.08 FEET ALONG THE WEST LINE OF SAID LOT "A"; THENCE SOUTH 89 DEGREES 22 MINUTES 42 SECONDS WEST 228.92 FEET; THENCE NORTH 00 DEGREES 37 MINUTES 18 SECONDS WEST 220.0 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 172.42 FEET TO A LINE 16.0 FEET NORTHWESTERLY OF AND PARALLEL WITH THE MOST NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID; THENCE NORTH 46 DEGREES 56 MINUTES 29 SECONDS EAST ALONG SAID PARALLEL LINE 73.62 FEET;



THENCE NORTH 41 DEGREES 45 MINUTES 47 SECONDS WEST 293.11 FEET TO A POINT OF CURVE; THENCE NORTHERLY ALONG AN ARC OF A CIRCLE CONVEX WESTERLY AND HAVING A RADIUS OF 283.0 FEET FOR A DISTANCE OF 446.38 FEET TO A POINT OF TANGENCY (THE CHORD OF SAID ARC HAVING A BEARING OF NORTH 03 DEGREES 25 MINUTES 26 SECONDS EAST AND A DISTANCE OF 401.53 FEET); THENCE NORTH 48 DEGREES 36 MINUTES 38 SECONDS EAST TANGENT TO THE LAST DESCRIBED ARC 398.12 FEET; THENCE NORTH 41 DEGREES 23 MINUTES 22 SECONDS WEST 85.0 FEET; THENCE SOUTH 48 DEGREES 36 MINUTES 38 SECONDS WEST 85.0 FEET; THENCE NORTH 41 DEGREES 23 MINUTES 22 SECONDS WEST 115.0 FEET; THENCE SOUTH 48 DEGREES 36 MINUTES 38 SECONDS WEST 320.0 FEET; THENCE NORTH 79 DEGREES 18 MINUTES 50 SECONDS WEST 102.08 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COMMONWEALTH EDISON COMPANY PROPERTY; THENCE SOUTH 10 DEGREES 53 MINUTES 33 SECONDS WEST ALONG SAID RIGHT OF WAY LINE 529.13 FEET; THENCE SOUTH 27 DEGREES 33 MINUTES 20 SECONDS EAST 358.30 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 117.0 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PARCEL 2 - THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SAID SECTION 11 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT "A" IN BROOKSIDE GLEN P.U. D. TOWN HOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 AFORESAID; THENCE NORTH 05 DEGREES 49 MINUTES 00 SECONDS WEST 101.08 FEET ALONG THE WEST LINE OF SAID LOT "A" TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 22 MINUTES 42 SECONDS WEST 228.92 FEET; THENCE NORTH 00 DEGREES 37 MINUTES 18 SECONDS WEST 220.0 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 172.42 FEET TO A LINE 15.0 FEET NORTHWESTERLY OF AND PARALLEL WITH THE MOST NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID; THENCE NORTH 46 DEGREES 56 MINUTES 29 SECONDS EAST ALONG SAID PARALLEL LINE 73.62 FEET; THENCE SOUTH 41 DEGREES 45 MINUTES 47 SECONDS EAST 15.0 FEET TO THE NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID, BEING THE MOST NORTHERLY CORNER OF LOT "A" IN SAID SUBDIVISION; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT II "A" BEING AN ARC OF A CIRCLE CONVEX SOUTHERLY AND HAVING A RADIUS OF 233.01 FEET FOR A DISTANCE OF 20.0 FEET (THE CHORD OF SAID ARC HAVING A BEARING OF SOUTH 45 DEGREES 31 MINUTES 06 SECONDS EAST AND A DISTANCE OF 19.99 FEET); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST 31.33 FEET TO THE NORTHWESTERLY LINE OF LOT "A" AFORESAID; THENCE SOUTH 13 DEGREES 41 MINUTES 28 SECONDS WEST ALONG SAID NORTHWESTERLY LINE 56.61 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 05 DEGREES



49 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF SAID LOT "A" A DISTANCE OF 166.92 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS; EXCEPTING THEREFROM THAT PART FALLING IN LOT "A" AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTHERLY CORNER OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 RECORDED AS DOCUMENT NO. R97-14827; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT II A" BEING AN ARC OF A CIRCLE CONVEX SOUTHERLY AND HAVING A RADIUS OF 233.01 FEET FOR A DISTANCE OF 20.0 FEET (THE CHORD OF SAID ARC HAVING A BEARING OF SOUTH 45 DEGREES 31 MINUTES 06 SECONDS EAST A DISTANCE OF 19.99 FEET); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST 31.33 FEET TO THE NORTHWESTERLY LINE OF LOT "A" AFORESAID; THENCE NORTHEASTERLY ALONG THE NORTHERLY LINE OF LOT "A" TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

**PINs:** 19-09-11-200-013-0000 and 19-09-11-200-015-0000

**COMMONLY KNOWN AS:** 19248-88 Magnuson Lane, Tinley Park, IL 60487

**SECTION 4:** That a Special Use Permit for a Substantial Deviation, as defined in Zoning Ordinance Section VII.B.6., from the previously approved Brookside Glen Planned Unit Development (Ord. #2000-O-006) and previously approved Substantial Deviation (Ord. #2017-O-072) at certain property described in the above section, to permit changes on the previously approved development with four (4) multi-family structures with thirty-six (36) dwelling units per structure, a clubhouse with outdoor swimming pool and associated residential amenities in accordance with the "List of Reviewed Plans" attached hereto as Exhibit A, subject to the following new or revised exceptions and conditions:

The Special Use Permit includes the following exceptions:

1. An exception to the Village requirement for the front yard setback to allow the residential structures to be set back ranging from 16.6 feet to 69'-11", as calculated from the building face.
2. A 3'-7/8" exception (a reduction of 5'-1/8" from the previously approved exception) to the maximum building height requirement within Ordinance 2000-O-006 to allow the structures at a building height of 65' where 56' is the maximum height allowed; and
3. An exception of 0.055 to the Village requirement for floor area (FAR) to allow a FAR of 0.655 where 0.6 is the maximum FAR allowed.

The Special Use Permit includes the following conditions:

4. The development's exterior mechanicals including rooftop units, PTEC units, intake and exhaust vents shall match the color of the surrounding material.
5. The 1/2" thin brick and 4" brick veneers shall visually match (to be burned and colored in the same manner).



6. Canopy pier materials on the residential front and rear entry points shall be coordinated and be covered on all sides with brick.
7. Clubhouse rear (west) elevation's horizontal separation between the lower and upper level shall solely be continuous cut stone sill.
8. The balcony and railing system shall be bolt-on aluminum in a powder coat finish complementary to the building's design, to be reviewed and approved by Staff prior to issuance of the building permit.
9. A Letter of Credit, performance bond, or other security deemed acceptable by the Village Board to secure completion of the project consistent with the approved submittals.
10. The Petitioner shall adhere to the construction schedule as established. Construction is estimated to commence within 60 days of the issuance of a permit. Petitioner will be required to submit for a building permit three months after approval by the Village Board. Construction is estimated to last for 24-36 months from the issuance of a building permit. Construction of clubhouse and amenities to be completed prior to or simultaneously with the first residential building.
11. All revised submittals shall be submitted to staff for review and prior to being heard by the Village Board.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1<sup>st</sup> day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1<sup>st</sup> day of February, 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS            )  
COUNTY OF COOK            )       SS  
COUNTY OF WILL            )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-006, “AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES AND 36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES (THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1<sup>st</sup> day of February, 2022.

VILLAGE CLERK



Exhibit A**LIST OF REVIEWED PLANS - Proposed Plan Changes**

Submitted Sheet Name		Prepared By	Date On Sheet
	Previously Approved PUD Plan Set – Ordinance 2017-O-072	ASL	12-5-2017
	Drawing Submittal, 24 sheets, received _____	ASL	_____
	List of changes from Petitioner received December 9, 2021	ASL	N/A
	Statement of Findings from Architectural Design Review ( <i>East Façade Elevation Only</i> )	Farnsworth Group	11-11-2021
	Balcony System Excerpts from Manufacturer's Website ( <a href="https://mwstairs.com/prefabricated-balcony-system/">https://mwstairs.com/prefabricated-balcony-system/</a> )	Staff	Accessed 12-29-2021

ASL = Architectural Studio, Ltd.





# PLAN COMMISSION STAFF REPORT

January 6, 2022 – PUBLIC HEARING

## Petitioner

Karli Mayer, on behalf of  
One Magnuson Lane LLC

## Property Location

SW Corner of 191<sup>st</sup> Street  
and Magnuson Lane

## PINs

19-09-11-200-015-0000

19-09-11-200-013-0000

## Zoning

R-6 PD

## Approvals Sought

Special Use Permit for a  
Substantial Deviation from  
the Brookside Glen  
Planned Unit Development

## Project Planners

Kimberly Clarke, AICP  
Community Development  
Director

Lori Kosmatka  
Associate Planner

## The Residence of Brookside Glen

Southwest corner of 191<sup>st</sup> Street and Magnuson Lane



## EXECUTIVE SUMMARY

The Petitioner, Karli Mayer, on behalf of One Magnuson Lane LLC, seeks a Special Use Permit for a Substantial Deviation from the Brookside Glen Planned Unit Development (PUD) to permit design changes to the previously approved Residences at Magnuson multifamily residential development.

The Petitioner previously received approval in December 2017 to construct the Residences at Magnuson, which includes four (4) multi-family residential structures with thirty-six (36) dwelling units per building for a total of 144 dwelling units. This proposal also includes a 5,320± square foot club house, landscaping, and various amenities throughout the development. The Petitioner now proposes changes to the exterior architecture of the buildings which differ from the appearance of the previously approved plans. The exterior design changes are due in part to some building reconfiguration in the development.

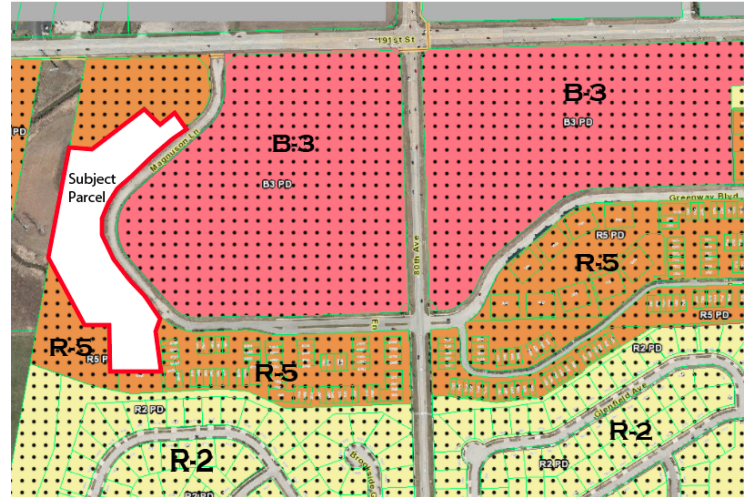
Changes from the December 16, 2021 Plan Commission public hearing are indicated in **Red**.



## EXISTING SITE & HISTORY

The subject site is a 7.65-acre parcel within the Brookside Glen Planned Unit Development (PUD). The Brookside Glen PUD was approved as part of an annexation of 828 acres in 1990. Since that time there have been amendments to the Agreement as well as several PUD modifications and rezonings. The subject property was originally planned for a mixture of commercial, office/restricted industrial, and residential uses (single-family detached, townhomes, and condo/apartments).

In February, 2016, the Village was approached by the Petitioner to develop the 7.65-acre parcel. Multiple meetings were held between July and October 2017 which included Staff, elected officials, the Petitioner, and representatives from the Brookside Glen subdivision. The participants discussed plans that would address concerns about the scale of the buildings while maintaining valuable amenities and high-quality aesthetics.



Zoning Map

The site is bordered by the ComEd transmission lines to the west, B-3 PD (General Business and Commercial District) to the east, R-5 PD to the south and southeast and R-2 PD (Single-Family Residential) to the far south. The site is located within the Urban Design Overlay District (UD-1) that is intended to regulate non-residential buildings to “accommodate the automobile, but are primarily designed to promote non-motorized and public transportation movements to, within, and among properties”. UD-1 attempts to create a streetscape that is defined by buildings rather than parking lots. Although this is a residential building, it has some “commercial character” due to its scale, surface parking, and recreational component (club house). Additionally, there will eventually be commercial development to the east which will need to comply with the regulations for the UD-1 Overlay District.

Surrounding land uses include vacant property to the east that is planned and zoned for commercial uses. A municipal pumping station is located immediately to the south and a townhome development exists to the southeast with two-story structures housing 4-6 units per structure.

East of 80<sup>th</sup> Avenue there are other planned commercial uses that are vacant in addition to townhomes and 4-story multi-family condominium buildings of 16 units each. These multi-family structures are designed similarly to the proposed project in that they are effectively 5-story buildings due to the semi-underground parking garage. A detention pond is located to the north of the subject site and functions as a buffer to 191<sup>st</sup> Street. The Wolverine Pipeline traverses the site (east to west) just north of the pumping station.

As a Planned Unit Development, deviations from these requirements are considered ‘exceptions’ and are not reviewed as a ‘true’ variation from the Zoning Ordinance; instead, they are reviewed in context of the approved PUD. The Commission may wish to evaluate these deviations using the PUD Standards and Criteria for a PUD (Sections VII.C.1. and VII.C.3). As a Special Use, Staff will provide Findings of Fact at the Public Hearing consistent with the Special Use standards in Section X.J.5 of the Zoning Ordinance. Any exceptions that Staff has noted during the review are identified throughout this report.

## SUBSTANTIAL DEVIATION REQUEST

The issue before the Plan Commission is approval of a Substantial Deviation from the Brookside Glen Planned Unit Development (PUD). The PUD was initially approved in 1990 with subsequent Substantial Deviations in 2000 and 2017. Over the years, this PUD has evolved; reacting to market demands and economics. See the attached timeline for specific references to approvals and ordinances related to this property. The original PUD of 828 acres provided for a mix of uses.



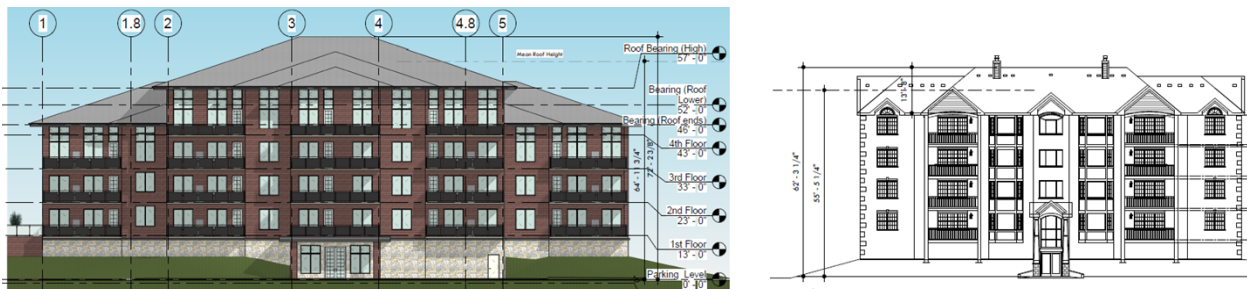
The Petitioner's request is to deviate from Ordinance 2017-O-072 (Substantial Deviation from the Brookside Glen PUD). The approved PUD included four (4) structures of thirty-six (36) dwelling units each for this property (total of 144 units) and a club house with a pool and other various residential amenities. The approved PUD contained Exceptions for building setback and building height. The proposed Substantial Deviation will allow for design changes to the project primarily as a result in change of exterior wall construction. The proposal will reconfigure the façade and materials with adjustments in elevation offsets, windows, and balconies. The current proposal will reduce the residential overall building heights by 5'-0 1/8", increase the building lengths from 174'-10" to 188'-2", adjust building setbacks. Proposed changes specific to the clubhouse include a reduction of glazing, new elevation offsets, and reconfiguration of space with additional amenities due to modification of the underground parking garage and relocation of restrooms. The proposal also includes a shift in parking type, removal of the exterior trash enclosures, and addition of two exhaust sheds on the terraces.

## EXCEPTIONS

The previously approved Planned Unit Development ordinance included three Exceptions from the Zoning Ordinance. The Petitioner requests amending the following Exceptions from the Zoning Ordinance based on their revised elevations.

### 1. Building Height

A nine-foot (9') exception to the maximum building height requirement within Ordinance 2000-O-006 allowed the structures at a building height of 65' where 56' was the maximum height allowed. In the 2017 consideration of the project, Village staff noted that although the height of the buildings were approximately ten feet (10') taller at the highest point (the middle roof), the actual elevation would be consistent with Brookside Place since the elevation at the subject site is approximately ten feet (10') lower than the elevation at Brookside Place. The Maximum Overall Height of Building was noted as 72'-3.75", however staff noted the Mean Roof Height of 64'-11.75" as the "Building Height" (defined in Section II of the Zoning Ordinance). The Petitioner currently proposed plans will reduce the Exception's nonconformity of height by 5'-0 1/8" which is due to the reduction of 2'-0" in the garage and floor construction thickness.



*Renderings of Previously Approved Residence of Brookside Glen and Building at Brookside Place*

### 2. Building Setbacks

An exception to the Village requirement for the front yard setback allowed the residential structures to be set back about 18' to 27'. **The previously approved drawings showed a range from 17'-9 5/8" to 63'-0 3/8".** The Petitioner noted that the currently proposed setbacks will range from 9'-2" to 69'-11", **however, when calculating in the same manner as the previous approval, from the building face rather than the piers, the new proposed setbacks range from 16.6' to 69'-11"**

### 3. Building Floor Area Ratio

An exception of 0.056 to the Village requirement for floor area ratio (FAR) allowed a FAR of 0.656 where 0.6 was the maximum FAR allowed. The Petitioner has noted that the currently proposed FAR will now be 0.655.

## ARCHITECTURE

### 2017 Previously Approved PUD Plans

The previously approved plans consisted of four (4) architecturally identical proposed residential precast structures with precast balconies and a centrally located club house. The structures included a semi-underground parking garage and four (4) stories of residential dwellings. Terraces above the parking level connected the structures. Pedestrian access was



provided at the east and west sides of both the residential buildings and club house. Vehicular access ran the length of the development with two garage entries and drive-through in the clubhouse. The approved building height was noted as approximately 65' as defined by "Building Height" in Section II of the Zoning Ordinance. The overall building height was noted as 72'-2 5/8" as measured from the parking level. The approved construction type was exterior walls constructed with precast concrete and thin embedded bricks, and standard brick and block construction.

#### *Building Materials*

The previously approved exterior cladding included a 1/2" thin brick veneer precast into a panel with horizontal seams. The ground/parking level included a precast stained and stamped stone foundation material. The precast balconies were approved with steel railings and wire mesh infill panels.

#### *Architecture*

The architecture included some aspects of a Prairie style with the slope of the roof and transom windows. The floor to ceiling windows added distinction reflective of loft type architecture. The roof line was varied to provide enhanced architectural interest helping to break up the expanse of the roof. Articulation was provided along all building facades to create visual interest and shadow lines. Landscaped berms were also shown at the base of the structures at varied heights to minimize exposure of the parking level. The approval also indicated the roof terraces would have green roofs with landscaping screening from Magnuson Lane. The club house's architecture also encompassed some aspects of Prairie architecture consistent with the residential buildings. The club house also included an expansive arrangement of windows with a canopy on the east side and an extension of cabanas and restrooms on the west side.

#### **Proposed Plans**

The Petitioner is currently proposing a new construction type with revised dwelling unit layouts, resulting in exterior design changes. The Petitioner has provided a letter itemizing these changes along with updated drawings. The drawings include line drawings for each façade of a typical residential building and the clubhouse, as well as color elevations comparing the previously approved and currently proposed facades of a typical residential building and the clubhouse. The Village consulted architectural firm Farnsworth Group to do an architectural design review comparing the residential building east elevation's previous approval to the current proposal. Farnsworth Group has provided a statement of findings which included opinions made upon their professional judgement based on their experience in the field of architecture (*see attached*).

At the December 16, 2021 public hearing, the Plan Commission recommended the Petitioner provide clarity to missing or unclear items in their submittal. The Petitioner has not made any changes to the drawings proposed at the December 16, 2021 public hearing.

#### *Construction Type of Exterior Walls:*

The new exterior wall construction type will be noncombustible brick veneer construction which mostly includes full four-inch brick veneer with steel stud wall backup where applicable, 1/2" thin brick veneer adhered (noted at the 5<sup>th</sup> floor of each end of each residential building and on parts of the clubhouse), and natural stone veneer along the ground level of the residential buildings. The Petitioner proposes this change due to this construction type becoming an allowable option per a recent revision of the Tinley Park Building Code change.

#### *Heights:*

The Petitioner states the residential overall heights will be reduced by 5'-0 1/8" due to lowering the height of the semi-underground garage (ground/parking level) and the reduction of floor thickness. The Petitioner notes the resulting height is 70'-4 7/8", as identified on the residential east elevation. The Petitioner however does not identify the elevation from which that point is referenced. The shorter overall height of the residential buildings still includes an elevated top floor of 14'-0" as measured from the top of subfloor to the roof truss bearing height, and the residential floor heights of the remaining stories are substantially similar (current 10'-1 3/4" versus approved 10'-0"). The clubhouse is proposed as 35.2" along the rear façade. The previously approved drawings did not show an overall height for the clubhouse.

#### *Building Lengths, Setbacks & Floor Area Ratio:*

The building lengths will be increased from 174'-10" to 188'-2". However, the Petitioner notes the connector (terrace) sections were modified to reduce the impact of the overall length. The Petitioner has noted the currently proposed building setbacks will change from a range of 18 to 27 feet to a range of 9'-2" to 69'-11". The low end of this setback range is measured from the newly proposed piered canopies. At the December 16, 2021 public hearing, the Plan Commission recommended the setbacks be calculated in the same manner as per the previous approval. When calculating in this manner from the building face, not accounting for the piered canopies, the new building setbacks will range from 16.6' to



**69'-11"**. The proposed building face does have deeper offset projections than the flatter, previously approved façade. The previously approved drawings showed a range from **17'-9 5/8" to 63'-0 3/8"**. The Petitioner has noted the previous PUD approval showed a maximum of 63'-0 3/8", which contradicts the approved Exception of 18 to 27 feet.

	Bldg 1		Bldg 2		Clubhouse		Bldg 3		Bldg 4	
	Apprvd	Prop.	Apprvd	Prop.	Apprvd	Prop.	Apprvd	Prop.	Apprvd	Prop.
Min.	22'-11 3/8"	17.1' (9.2' from pier)	20'-11 1/4"	16.8' (9.6' from pier)	50'-4"	53.4'	18'-6 3/8"	17.1' (9.9' from pier)	17'-9 5/8"	16.6' (9.8' from pier)
Max.	26'-9"	26.7'	45'-2 3/8"	57.1'	50'-4"	66.0'	63'-0 3/8"	69'-11" <u>missing</u>	17'-9 5/8"	28.4'

The currently proposed floor area ratio will be reduced from 0.656 to 0.655. The distance to the nearby townhome measured 198'-9 3/4" in the previous approval, but is now 197'-6 3/4", a reduction of 1'-3".

*Architecture - Façade Reconfiguration of Bays, Windows, Doors, Canopies, Balconies, and Mechanical Equipment:*

Some reconfiguration is proposed to the architecture and facades. Due to a modification in the building footprint, the proposed façade offsets (projections) will somewhat change the layout of the windows, doors, balconies, and PTEC wall units. The Petitioner notes the currently proposed residential window arrangement is based on the refinement of unit layouts which included the coordination with the mechanical plans. The residential front (east) facades continue to have two entries, but now will have canopies with piers. These front entries, previously approved as double doors, are now proposed as single doors with sidelights (storefront) on both sides. The Petitioner states this change is due to recommendation by a security consultant. The presence of the clubhouse's east canopy remains as approved, but is now specified as prefinished aluminum. The new proposal also introduces shed roof style canopies above the two garage doors located at the north and south ends of the development. The garage canopies were proposed to help break up the façade.

The balconies will be bolt-on aluminum tube frame and aluminum deck. The Petitioner believes this will be a maintenance free noncombustible construction allowable due to the change in exterior wall construction. The Petitioner also notes the aluminum balconies are in lieu of precast due to the weight consideration of the new construction type. The Petitioner noted stone piers are provided as needed to support the balconies. The drawings show what appear to be short stone piers projecting from the facade, but some of them are not aligned below the balconies, and are not all identified and colored as stone. **The Petitioner confirmed at the public hearing that the stone piers will be identified and colored as stone.** The Petitioner has stated the aluminum decks on the balconies will be powder-coated with a dark bronze color, however this is not specified in the drawings. **The Petitioner provided a manufacturer's website link: <https://mwstairs.com/prefabricated-balcony-system/> Excerpts from the website are attached to this report.**

The proposal also has additional PTEC units due to the height of the 4<sup>th</sup> floor end units and the 5<sup>th</sup> floor units. Intake vents are also identified on the garage door side of the residences as well as on the rear of the clubhouse. The west façade has rooftop units on the clubhouse's rear (west) façade and appear to have a form of exterior mechanical on top of the residential buildings. The Petitioner has not identified any screening, however these are at the rear of the building, not visible from Magnuson Lane. Rooftop units and exterior mechanicals were not shown on the previous approvals, however, full MEP engineering was not coordinated at that time.

*Other Architectural & Site Changes:*

A few other notable architectural changes have been identified. Stairs and ramps are being added from the clubhouse to its two central flanking terraces and the relocation of the restrooms from extending in the pool area to now be within the clubhouse's general footprint. The Petitioner notes the restroom relocation allows a more usable pool deck for tenants to enjoy. The interior drive through which previously separated the east and west parts of the clubhouse's lower level will now be removed to allow for the restroom relocation, additional space for other amenities, and improves pedestrian flow throughout the clubhouse. A large party area with a warming kitchen and fireplace, a golf simulator, a pet spa, and a



larger fitness center have all been added. The lobby space in each residential building also decreased in order to allow for a larger package delivery room, more bike storage, and other reconfiguration.

A few site changes are noted. The exterior trash enclosures were moved indoors. A pedestrian drop-off area from Magnuson Lane is being added to the clubhouse's front façade. The dog park at the north of the property has been narrowed by 20.1'. The Petitioner is also coordinating with ComEd and Nicor on screening for the transformer pads and gas meters on the property.

***Open Item #1: Discuss overall façade reconfiguration of bays, windows, doors, canopies, balconies, and stone piers. Discuss screening for rooftop units and exterior mechanicals. Consider conditioning exterior mechanicals (rooftop units, PTEC units, intake and exhaust vents) to color match the surrounding materials.***

The Petitioner has agreed to match the color of the exterior mechanicals including rooftop units, PTEC units, intake and exhaust vents to the color of the surrounding material (*Condition #1 in the Motion*). The brick is a reddish brown as displayed at the December 16, 2021 public hearing, however the color of the roof shingles and Hardieboard lap siding have not been identified.

#### *Clubhouse Glazing/Windows:*

The clubhouse is now proposed with less glazing. Most noticeably on the front (east) façade, the total glazing, window pane counts and transoms have all been reduced, and some window areas previously approved as large expanses are now visually broken up by brick and aluminum fascia elements. The middle of front elevation's upper level previously had triple continuous transoms, and now is proposed with a single separated transom. In contrast, the rear (west) façade's upper level, does retain large continuous expanse of glazing at the center, but has lost glazing near the ends due to reconfiguration of stairs. The lower level of the rear façade has noticeably changed. The previous approval had a combination of windows and door all with transoms, whereas the current proposal has removed the transoms and is all glass mullion doors. The Petitioner explains transoms are not possible due to the relocation and expansion of the fitness center. The Petitioner notes that the structural podium and mechanical design for proper airflow in the fitness center required additional ceiling height. The south side of the clubhouse also has lost two sets of window areas due to stair reconfiguration.

***Open Item #2: Discuss exterior glazing (transparency) area and configuration for windows and doors, which have been noticeably reduced on the clubhouse and adjusted on the residential buildings.***

#### *Exterior Facade Materials:*

The proposed residential exterior facade materials include a natural thin stone veneer along the ground/parking level and brick veneer on the upper levels, separated by a continuous cut stone sill. Most of the brick veneer is full four-inch brick veneer with steel stud wall backup, and will consist of utility size bricks with a natural color mortar. The fifth (top) floor of the residential buildings will have a 1/2" thin adhered brick veneer. The Petitioner has explained that due to the building's layout of a smaller fifth floor footprint, this section of wall on the fifth floor sits on top of interior walls which do not provide the structural support to withstand the weight of the full four-inch bricks. The Petitioner states the two brick types will meet flush on the residential buildings. The previous PUD approval detail sheet A121 identifies 1/2" brick applied over the precast wall construction.

The Petitioner has provided some changes and specifications to the residential entries. The previously approved residential entries showed vertical brick accents and glazing that flanked both the front and rear entry points. The two entry points on the front (east) façade will now have canopies with a continuous cut stone sill and prefinished aluminum gravel stops above supported by piers. The color and line elevations identify them as brick piers punctuated with a 6" high stone accent strip, but the floor plan calls them out as "steel tube columns primed and painted (architectural exposed column)" surrounded by a "stone pier with four way stone cap". However, on the rear (west) elevation, the one canopied large entry point no longer has flanking brick accent. The structural columns are now proposed to be covered on all sides with thin stone, thus it loses the visual differentiation of material as shown in the previous approval. The Petitioner has now specified the glazing for all the residential entry points will be a storefront system with black prefinished aluminum.



# Residential Building Elevation Comparison:



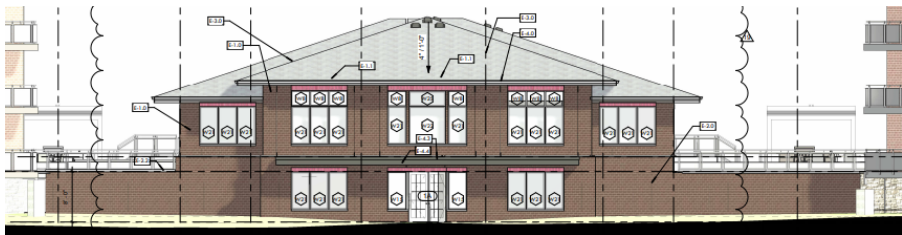
Front/East Facade: Currently Proposed (top), Previously Approved (bottom) – Not to scale



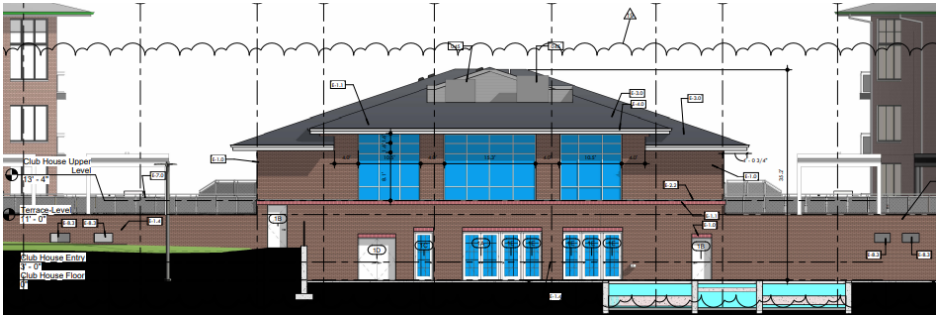
Rear/West Facade Currently Proposed (top), Previously Approved (bottom) – Not to scale



Clubhouse Elevation Comparison:



Clubhouse Front/East Façade Currently Proposed (top), Previously Approved (bottom), Not to scale



Clubhouse Rear/West Façade Currently Proposed (top), Previously Approved (bottom), Not to scale



The clubhouse's two stories appear to have a brick pattern similar to the previous approval. The roofline is tagged as soldier course brick. The front façade's upper level is tagged as the thicker brick veneer, but the lower level is tagged as thin stone veneer. The separation between the floors appears to show a solid material, which may be the correct location for the continuous cut stone sill, but has no tag. Meanwhile on the rear façade, the front gable material around the rooftop units has HardieBoard lap siding, and though the upper level has the thicker brick veneer, the lower level instead has the ½" thin brick veneer. The separation between the levels on the rear façade now has brick soldier coursing with a thinner continuous cut stone sill instead of solely a continuous stone material per the previous approval. Soldier coursing is also above the lower level's doorways.

The colors and materials for the mechanical equipment should be confirmed. The PTEC units and exhaust vent color is identified to match the brick, but the intake vents and clubhouse rooftop units and residential rooftop mechanicals don't specify the material to match.

**~~Open Item #3: Discuss the 4" brick veneer and ½" thin brick and how they will match. Discuss brick colors. Consider conditioning the two materials to be matched (burned and colored in the same manner) on the residential top floor to the rest of the building below. Discuss balcony color.~~**

The Petitioner has agreed the ½" adhered thin brick veneer and 4" anchored brick veneers will visually match, and be burned and colored in the same manner (*Condition #2 in the Motion*).

A dark reddish brown 4" brick veneer sample was displayed at the December 16, 2021 Public Hearing. Samples of ½" thin brick veneer and the natural stone veneer were not displayed.

The Petitioner provided a manufacturer's link to the balcony/railing system (*see brochure attachment*). The Petitioner verbally identified the powder coat color as Dark Bronze.

Clay
Bronze
RAL7037
Sandstone
RAL7045
Satin Black
Anodize Silver
RAL8007
Bone White

**~~Open Item #4: Discuss and clarify the canopy pier materials on the residential front and rear entry points. Consider conditioning they be coordinated and covered on all sides with brick.~~**

*Balcony/Railing Options*

The Petitioner has agreed the canopy pier materials on the residential front and rear entry points will be coordinated and covered on all sides with brick (*Condition #3 in the Motion*).

**~~Open Item #5: Discuss clubhouse materials. Confirm location and type of brick & stone veneers, separations between levels, and brick soldier coursing. Consider conditioning the ½" thin brick and Hardieboard lap siding on the clubhouse all be changed to 4" brick veneer, and the rear separation between levels solely be continuous cut stone sill.~~**

The Petitioner has confirmed the Clubhouse's rear (west) elevation's horizontal separation between the lower and upper story will solely be continuous cut stone sill (*Condition #4 in the Motion*). The Petitioner has noted that the clubhouse façade, inclusive of the rear/west lower level (*currently proposed ½" thin brick veneer*) and the rear (west) front gable (*currently proposed Hardieboard lap siding*) will remain as currently proposed and will not be changed to all 4" brick veneer (*Condition #5 in the Motion*).

#### *Green Roofs:*

The Petitioner has provided additional detail on the previously approved terrace green roofs. The green roof areas will include a masonry knee wall with a railing on top and a river rock (vegetative free) accessing the new exhaust sheds and along the perimeter. The green roofs will have roof drains and be a combination of semi-intensive and intensive. The Petitioner confirmed the green roof will still provide landscape screening from Magnuson Lane as discussed in the previous consideration.

#### *Pergolas, Firepits, Grill/Sinks, and Terrace Surface:*

The Petitioner is now proposing four pergolas at ground level and eight pergolas on the terrace (an increase of one from seven previously approved). The four ground level pergolas each have a firepit, and a 5<sup>th</sup> firepit is located adjacent to the pool. Double center grills with sinks will be provided at each of the terrace pergolas. The terraces will have deck tile with



adjustable pedestals. Per a Commissioner request, Staff has inquired to the Petitioner on details of the terrace deck tiles, on how moisture will drain and whether the tiles will become uneven due to the freeze/thaw process.

*Seating:*

The Petitioner's proposal has a few changes in common seating. The common seating area on each floor of the residential is now removed due to the reconfiguration of the floor plan and the Petitioner's desire to instead make the clubhouse the focal point of activity in the development. The outdoor terrace seating is shown on the Connector & Exhaust Fan Enclosure plan as 18 tables, whereas the previous approval showed a total of 20 tables. Seating will remain available at the ground level pergolas and dog park.

***Open Item #6: Discuss absence and/or removal of seating.***

*Cabanas:*

The Petitioner proposes the two cabanas to be freestanding alongside a retaining wall adjacent to the clubhouse. The previous approval had the cabanas located within stone walls. The Petitioner has not yet selected a specific size or style, but has illustrated potential options.

Per a Commissioner request, Staff has inquired to the Petitioner on if the freestanding cabanas will withstand high winds. No comments have been provided as of date.

*Parking:*

The Petitioner states the total parking count will remain as approved as 360 spaces upon landbank installation, but with adjustments in parking types. The proposal includes a reduction of indoor parking by eight spaces (163 indoor spaces proposed vs. 171 approved), 136 outdoor spaces (vs. 125 approved) which will be reduced by an additional three spaces (landbank spaces #10, 11, 12) to 133 outdoor spaces for the drive aisle upon landbank installation, and the same count of 64 landbank spaces. The reduction in indoor parking is due to the removal of the drive through on the lower level of the clubhouse. Along with the ADA spaces indoors and to the west of the development, the parking count now also includes an exterior ADA parking space at the front passenger loading area. The development will have four interior electric vehicle charging spaces for each residential building, and the Petitioner specified that the development will have two exterior electric charging spaces.

*Addition of Exhaust Sheds:*

Two brick sheds are proposed on the terraces in order to accommodate garage exhaust fans. The sheds will be placed between Buildings 1 and 2, and between Buildings 3 and 4. They will be located flush to the east residential facades, and will be within the green roof area. This location is along the front of the property, however, the location within the green roof area may be considered appropriate since the landscaping will help screen along Magnuson Lane and will allow room for the pergolas and seating on the west side. The sheds are shown as 9'-3" high and 13.3' long, but the depth is not identified. The Petitioner verbally notes they are 5 feet deep. The Petitioner notes that the mechanical code requires exhaust discharge to be ten feet above the adjoining grade.

***Open Item #7: Discuss exhaust shed location and show depth measurement. Discuss how freestanding cabanas will withstand high winds.***

*Signage:*

The two ground signs will keep the same 4'-0" setback but the south sign has been slightly shifted south toward the southern drive aisle. The drawings note it will be 22'-10 1/8". The Petitioner has provided additional specification on the material which now includes a cast stone cap with 4-way wash and thin stone to match the building.

*Key Design Elements Remaining:*

Some key design elements will remain as previously approved. The roof slope and the Prairie-style four (4) foot deep eaves will remain consistent. Also, the club house will remain centrally located, and each building entry shown as a focal point with the center of the structure being the tallest. The windows on the top floor will still have a double transom which will provide a verticality to break up and accent the horizontal nature of the buildings.

***Analysis***

In November, 2021, architectural consultant Farnsworth Group provided a statement of findings analyzing the two design schemes of the east residential façade only from a recent previous submittal. Farnsworth Group found that the elevations



on this portion of the development were essentially identical with only a few minor differences. The overall proportions were very similar (3% height decrease, 7% width increase) and the roof slopes and eaves remained consistent. The massing components (central area under high roof, flanked area under low roof, and bands of stone veneer and grade at the base appeared nearly identical, and considered a visual difference would be marginal once constructed. The vertical dimensions of floor-to-floor heights were observed as essentially identical with exception that the currently lowest level is two feet less. The window sizes, mullions, and pattern were also noted essentially identical, with exception that there is a different horizontal rhythm of windows under the high roof. They noted this is likely caused by the plan changes in the unit layouts. They believed the exterior materials appeared to be the same, however they were not provided the most recent, more detailed resubmittal.

The current proposal has the same general layout and orientation and appearance of materials and glazing to the previously approved plans, but contains some reconfigurations. Staff has noted open items, most notably the reduction of glazing on the clubhouse, and outstanding points on exterior materials.

Staff recommends the Petitioner revise documents and submit to staff for review, prior to being heard by the Village Board.

## STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Staff provided draft Findings in the Staff Report below for the Plan Commission's consideration.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *The proposed design changes are largely aesthetic with no major changes to the site plan, thus will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Additional factors were considered in the previous PUD approval.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *The proposed design changes include a proposed architectural façade primarily of brick and stone veneer with double transom windows on the residential top floor. These architectural features, along with the reduction in 5'-0 1/8" of building height will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values in the neighborhood.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *The proposed design changes are largely aesthetic with no major changes in the site plan, thus will not impede the normal and orderly development and improvement of surrounding property.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *The proposed design changes do not affect changes to utilities, access roads, drainage and/or other necessary facilities.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
  - *The proposal will not change the previously approved ingress and egress. The density has not changed from the previous approval within Ordinance 2017-O-072.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above



standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.

- *The proposal will adjust the currently approved building setbacks from 17'-9 5/8" to 63'-0 3/8" (noted in the ordinance as 18-27 feet) building setbacks to allow 16.6' to 69'-11". Other previously approved exceptions which will remain are building height and floor area ratio.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
- *The proposed design changes are largely aesthetic. The scale of the project remains the same from the previous approval per Ordinance 2017-O-072, which contributes to the economic development of the community as a whole.*



## MOTION TO CONSIDER

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If the Plan Commission wishes to act on the Petitioner's requests, the appropriate wording of the motions is listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan.

**"... make a motion to recommend that the Village Board grant the Petitioner, Karli Mayer on behalf of One Magnuson Lane LLC, a Special Use Permit for a Substantial Deviation from the Brookside Glen Planned Unit Development with Exceptions from the Zoning Ordinance to permit exterior design changes in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the **January 6, 2022** Staff Report and subject to the following conditions:**

1. *The development's exterior mechanicals including rooftop units, PTEC units, intake and exhaust vents shall match the color of the surrounding material.*
2. *The ½" thin brick and 4" brick veneers shall visually match (to be burned and colored in the same manner).*
3. *Canopy pier materials on the residential front and rear entry points shall be coordinated and be covered on all sides with brick.*
4. *Clubhouse rear (west) elevation's horizontal separation between the lower and upper level shall solely be continuous cut stone sill.*
5. *The clubhouse's façade, which is inclusive of the rear (west) lower level and the rear (west) front gable to all be 4" brick veneer.*
6. *The balcony and railing system shall be bolt-on aluminum in a powder coat finish complementary to the building's design, to be reviewed and approved by Staff prior to issuance of building permit.*
7. *A Letter of Credit in an amount to be deemed acceptable by the Village Board to secure the removal of the unfinished structure, regrading and restoration of the site in the event the project fails to be completed.*
8. *The Petitioner shall adhere to the construction schedule o as established. Construction is estimated to commence within 60 days of the issuance of a permit. Petitioner will be required to submit for a building permit by no later than April 1, 2022. Construction is estimated to last for 24-36 months from the issuance of a building permit. Construction of clubhouse and amenities to be completed prior to or simultaneously with the first residential building.*
9. *All revised documents shall be submitted to staff for review and prior to being heard by the Village Board.*

*[any conditions that the Commissioners would like to add]*



**ATTACHMENTS**

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1. Previously Approved PUD Plan Set Ordinance 2017-O-072
2. Drawing Submittal, 24 sheets, dated December 8, 2021, received December 10, 2021.
3. List of changes from Petitioner received December 9, 2021.
4. Statement of Findings From Architectural Design Review
5. Balcony System Excerpts from Manufacturer's Website: <https://mwstairs.com/prefabricated-balcony-system/> Accessed December 29, 2021.

**LIST OF REVIEWED PLANS**

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Submitted Sheet Name		Prepared By	Date On Sheet
	Previously Approved PUD Plan Set – Ordinance 2017-O-072	ASL	12/5/2017
	Drawing Submittal, 24 sheets, received December 10, 2021	ASL	12/8/2021
	List of changes from Petitioner received December 9, 2021	ASL	N/A
	Statement of Findings from Architectural Design Review ( <i>East Façade Elevation Only</i> )	Farnsworth	11/11/2021
	Balcony System Excerpts from Manufacturer's Website <a href="https://mwstairs.com/prefabricated-balcony-system/">https://mwstairs.com/prefabricated-balcony-system/</a>	Staff	Accessed 12/29/2021

ASL – Architectural Studio, Ltd.





**MINUTES OF THE REGULAR MEETING OF THE  
PLAN COMMISSION, VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS**

**December 16, 2021**

The meeting of the Plan Commission, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on December 16, 2021.

**CALL TO ORDER** – CHAIRMAN GRAY called to order the Regular Meeting of the Plan Commission for December 16, 2021 at 7:00 p.m.

Lori Kosmatka called the roll.

Present and responding to roll call were the following:

Chairman Garrett Gray  
James Gaskill  
Eduardo Mani  
Ken Shaw  
Kurt Truxal

Absent Plan Commissioners:

Angela Gatto  
Frank Loscuito

Village Officials and Staff:

Kimberly Clarke, Community Development Director  
Dan Ritter, Planning Manager  
Lori Kosmatka, Associate Planner

Petitioners:

James Truesdell, DR Horton  
Steve Bauer, DR Horton  
Scott Shalvis, Architectural Studio, Ltd.  
Andrea Crowley, Griffin Gallagher

Members of the Public:

None

**COMMUNICATIONS –**

There were no communications from Village Staff.

**APPROVAL OF MINUTES** - Minutes of the December 2, 2021 Regular Meeting of the Plan Commission were presented for approval. A motion was made by COMMISSIONER GASKILL. The motion was seconded by COMMISSIONER SHAW to approve the December 2, 2021 minutes. CHAIRMAN GRAY asked for a voice vote; all were in favor. He declared the motion carried.



**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**

**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**

**SUBJECT: MINUTES OF THE DECEMBER 16, 2021 REGULAR MEETING**

**ITEM #1 PUBLIC HEARING – OAK RIDGE SUBDIVISION, DR HORTON – SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT, REZONING, AND RESOLUTION FOR PRELIMINARY PLAT**

Consider recommending that the Village Board grant the Petitioner, DR Horton Inc – Midwest, a Special Use Permit for Preliminary Planned Unit Development (PUD) Approval, and Rezoning from ORI (Office and Restricted Industrial) to R-5 (Low-Density Residential) for the Oak Ridge Subdivision on property located at the southeast corner of Ridgeland Avenue and Oak Forest Avenue. Preliminary Plat and Preliminary Site Plan Approval are also requested as part of the development approval.

Present Plan Commissioners:	Chairman Garrett Gray James Gaskill Eduardo Mani Ken Shaw Kurt Truxal
Absent Plan Commissioners:	Angela Gatto Frank Loscuito
Village Officials and Staff:	Kimberly Clarke, Director of Community Development Dan Ritter, Planning Manager Lori Kosmatka, Associate Planner
Petitioners:	James Truesdell, DR Horton Steve Bauer, DR Horton
Members of the Public:	None

CHAIRMAN GRAY asked for a motion to open the Public Hearing. Motion made by COMMISSIONER TRUXAL, seconded by COMMISSIONER GASKILL. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing. He invited staff to start with the presentation of this item.

Dan Ritter, Planning Manager summarized the Staff Report for the Commission. He noted the proposed development is 81 single-family homes and 162 townhomes. He reviewed the history of the site and its relationship to Panduit. He noted Freedom Pond is a stormwater detention facility for downtown and this site. He reviewed the zoning and context of the area. It is mostly surrounded by residential and the nearby forest preserve. This site was envisioned as residential. It does not include the ABC property at the corner. The Petitioner tried to obtain it, but could not work out an agreement. However, the proposed development allows a road connection. R-5 is a little unique for detached single-family homes, but the density is somewhat controlled through the increased regulations such as driveway widths and lot coverage percentages. They aren't significantly smaller lots than the R-4 zoning. He also noted the detached single-family homes area will remain as such and not for townhomes. There is a three-acre public park they will donate to the Park District. The Park District provided a letter stating they are willing to accept it subject to final design. They are going through negotiations to determine exactly what this park will be. It would be a usable public park. Other open areas include seating for the townhomes and pathways through the site. Final approval and sitework



would happen in 2022. Finishing the homes would be a year after that in 2023. They project a 3- or 4-year sales program with build-out but it will be market-driven.

They are building this within a PUD and there are three exceptions. The first exception is that there is no first-floor rear brick on the townhomes. There would be vinyl siding going down. They propose partially on the sides and covering the fronts to a high degree. There was feedback from the Workshop indicating there could be damage to vinyl at the bottom. The Petitioner wishes to continue using vinyl due to cost and ease of running the siding. Staff discussed this with the Building Official. Though brick can be done on the rear, additional work would need to be done to ensure it is adhered correctly. Siding would be simpler. The second exception is that brick is required to go to the top of the first floor on the sides. He noted it would actually be to the second story due to the grading where the front is a half-story which drops off into the back. At the Workshop, he noted the Commissioners didn't seem to have an issue with the proposed side elevation given the tradeoff to the additional brick in the front. The third exception was the detached single-family lot coverage at 40% versus 35%. The 40% allowance builds in some flexibility for owners to build accessory structures. He noted there didn't appear to be too many concerns with this. He noted there were restrictions with the proposal mostly related to the development's density. He reviewed some of these restrictions. He noted there cannot be large driveway widths on the single-family homes. He noted there were some clarifications like only the homes that were being presented as part of the PUD can be built, and can only be built per the elevations as shown. This is typical of a PUD. He noted there was previously relief needed for open space. They required 4.17 acres of recreational open space, not just yards or unusable open space. The total was previously 3.93 acres, but now including the new pathways and connections, they appear to go over the deficient quarter-acre. He reviewed the roadway connections including the stub to the ABC property. Emergency vehicles can turnaround to service the homes in that area. He reviewed the setbacks of the single-family homes. It doesn't appear it will feel overly dense. Staff recommended a Special Service Area be put over this development as a protection in case the HOA goes under or doesn't fulfill requirements such as landscaping, stormwater, or utilities.

Sidewalks are internal and on new roads. New sidewalks are typically required on Oak Forest Avenue and Ridgeland Avenue; however, the Village is already planning with the County along Ridgeland. They have a multi-use path and are doing significant upgrades to the roadway, utilities, and curbs. It is a requirement for the developer to pay for their portion in that sidewalk there as well as Oak Forest Avenue. Staff's recommendation was a cash-in-lieu payment as opposed to trying to coordinate the work. That money can go to the Public Works and Engineer to best determine how the money can be used for those projects. One of the hopes was that potentially there wasn't going to be a connection from the roadway that connects Oak Forest Avenue south to across the ABC parcel which is the most crucial sidewalk portion. With this developer, they could not do the ABC portion. There was an open item discussion point about the sidewalk making a quicker connection from the single-family homes south to the Freedom Pond and to Tinley Park High School. COMMISSIONER SHAW had provided a sketch of removing one lot and bringing a path on the east side of the townhomes. However, there is an issue with utilities and grading to move stormwater through. The Petitioner still wanted to consider a path through the townhomes. This will be a little quicker than walking otherwise through the townhomes or along Ridgeland. They largely met the landscaping code, including street trees. The park will be in conjunction with what the Park District wants. There is screening on the exterior of the development. The fence will help buffer the properties. They proposed a standard stockade shadow-box style wood fence that they have used on other properties. They wish to still use wood and have provided photos showing how one of their fences has maintained well over 20 years. They feel wood fencing would tie in better to the forest preserve rather than a PVC fence.

COMMISSIONER TRUXAL asked if this was an image of a close to 20-year-old fence.

The Petitioner responded he believes they were installed in 2005.

COMMISSIONER TRUXAL asked which picture it was.

The Petitioner responded he believes it is two pictures of the same fence.

COMMISSIONER TRUXAL noted that the one on the top with the tree looks like brand new cedar.

The Petitioner responded there may have been some power washing there and that it was treated cedar.



Dan Ritter, Planning Manager noted this is still an open item for discussion. He noted Staff went through the architecture. There is brick and stone on the single-family homes and there is an attractive amount of brick on the townhomes. He noted their anti-monotony requirements to ensure there is variety in the appearance of the homes. The key lots would have some minor upgrades. He noted parking was an open item. The townhome area is somewhat unique. If there is an event, some guests may have to walk a bit.

COMMISSIONER TRUXAL asked if there is parking along Ridgeland or Longford Drive or other streets within the subdivision.

Dan Ritter, Planning Manager responded that there is not currently parking planned along the reconstruction of Ridgeland. Within the subdivision there will be street parking.

COMMISSIONER TRUXAL noted if you looked at the townhomes to the right (east), their only option for guests would be along Roscommon Road other than in their driveways. It would be a walk for visitors.

Dan Ritter, Planning Manager responded that we don't want to overpark, but also don't want to cause problems. They may have to park away or around the blocks.

COMMISSIONER TRUXAL noted that the green dots indicate where there is parking on one side of the street. He asked if there would be No Parking signs on the other side.

Dan Ritter, Planning Manager responded that will be addressed more in final engineering with full engineering review. The assumption was it would only be on one side, but you usually have utilities on the other side so it limits what you can do.

COMMISSIONER TRUXAL noted that having signs with the threat of a ticket would be more persuasive to keep people on one side.

Dan Ritter, Planning Manager responded that on some streets you can park on both sides. Some people don't like it because it feels tight but it works as a traffic calming measure. He will defer to the Engineer on this. There weren't too many concerns at the Workshop with the parking. The Petitioner provided examples.

CHAIRMAN GRAY noted he looked at the links and it didn't appear to cause problems.

Dan Ritter, Planning Manager noted that signage will include a larger monument sign at Oak Forest Avenue. Ridgeland will have two smaller signs. He noted the open items with plat approvals and engineering.

The Petitioner, James Truesdell, 1335 E. Kennedy Drive, Streamwood, IL, representing DR Horton, was sworn in. He noted the plan has evolved since working with staff earlier this Spring. He introduced DR Horton as the largest homebuilder by volume in the United States for 19 consecutive years. They were founded in 1978, and currently operates in 98 markets in 31 states. DR Horton develops a range of for-sale homes and has been building in Chicago for over 50 years. They know the market well and have the ability to execute projects. He noted there was a summary report of market studies included in the agenda packet. He noted the study was very positive. The study mentioned that the site is well located, near the primary shopping corridor and Metra station. The study also noted that new home development activity in the southwest suburbs has lagged compared to some other areas in the Chicagoland market, and has resulted in a pent-up demand for new homes here. The study recommended that the single-family homes be targeted toward young and "move-up" families and active adult buyers seeking single family living. The ranch design in particular will market toward the "move-down" older empty nesters. Regarding the townhomes, he noted there is a deep pool of 30 to 44-year-old homebuyers who prefer three-story rear-loaded townhomes primarily with a flex-space located near the ground floor and garage area. The flex space is now important as it can help serve as home office space in the pandemic. The development product overall appeals to a wide range of buyers including young millennials, young and mature families, and active adults. Regarding the previous comments on the building materials, he noted DR Horton would prefer to keep the siding on the 1<sup>st</sup> floor in the rear. He noted it's not just a cost issue, but rather there would not be much value in adding the brick in such a small area along the garage doors in the back of the building. Brick would be more difficult to install, and over time there could be more problems for the association than if it were to be vinyl. It's important to consider keeping long term maintenance costs down for property owners.



DR Horton would also prefer vinyl over HardieBoard or LP Smart Side (an engineered wood product) for issues of maintenance, painting, and caulking. There is more long-term maintenance the HOA would be responsible for with those options. He stated he's available to answer any questions.

CHAIRMAN GRAY asked the Commissioners for any comments.

COMMISSIONER MANI had no comment.

COMMISSIONER SHAW noted this is a really good development overall. The walking path connection looks as though its separated from the entries to the units.

The Petitioner noted the paths are duplicated now as two walks next to each other, but DR Horton may consider combining it in the final planning phases if that makes the most sense.

COMMISSIONER SHAW agreed. It looks like a two-way highway. He noted in light of considering pros and cons, that a townhome owner might not want a public walk-through path in front of one's door. While the walk path is important, he would prefer it not being there was opposed to it being in front of an entrance to someone's home. He noted this was not a make-or-break point for him. He suggested the Petitioner consider buffering with landscaping. He noted that it looked like there was a stub off Ridgeland that connects to the path.

The Petitioner answered that was a proposal of another thing that could be done for someone coming up Ridgeland.

COMMISSIONER SHAW reiterated this was not a sticking point for him. He appreciated the Petitioner's effort there. He asked if the Petitioner intended for this to be a single-phase build-out.

The Petitioner responded that they will plat this all at one time and get all the public improvements in. The intent would be to start building the homes at the same time as they start getting the improvements. They don't intend to break it into two phases although as they sell homes if they start in the Spring they would get their model and marketing up then and sell homes as they are building out the public improvements.

COMMISSIONER SHAW asked if the townhomes or single-family homes would be built at separate times.

The Petitioner responded no, they will be built at the same time.

COMMISSIONER SHAW asked if they would build them as they sell them.

The Petitioner responded yes.

COMMISSIONER SHAW noted he had no concerns about the wood fence. He asked if the parking at Roscommon, Longford, and Galway were the only public roadways, and everything else was HOA / private.

The Petitioner responded yes, in the townhome portion of the project.

COMMISSIONER SHAW asked if the parking on Roscommon (shown with green dots on parking exhibit) was just for illustrative purposes and that there were no parking restrictions on Longford planned.

The Petitioner responded no, that was just for illustrative purposes. He noted that on the exhibit they did two weeks ago they realized they didn't show anything on Roscommon Drive. You could get additional spaces on the one side of the street also. It was left off in the original exhibit. Dan Ritter, Planning Manager, noted the on-street parking allowances would really come down to final engineering designs and will be at the direction of the Village Engineer and Public Works Department. There are some universal standards and will depend on fire hydrant placement. Two-sided parking could provide additional spaces and also works as a traffic-calming method, so it can be reviewed with traffic standards at Final review/approval. What is shown on the exhibit was just an estimate.

COMMISSIONER SHAW noted he agreed with Dan on that the two-sided parking slows vehicles. That is his preference. He felt that the parking requirements were overblown and that he didn't think we should be planning and



zoning for the worst-case scenario peaks. Pavement is expensive, and even pervious is not very green. He was happy to see the optimism in the studies.

COMMISSIONER GASKILL had no comment.

COMMISSIONER TRUXAL asked to look again at the images of the additional walkway and asked for clarification on them.

COMMISSIONER SHAW clarified the image on the left was a sketch he sent to Staff as a thought/option he had after the workshop.

Dan Ritter, Planning Manager, noted it was an option Commissioner Shaw sent that would remove one detached single-family lot (lot 39). It would then run it through there and down the east side of the townhomes. He noted it looks nice on paper, but there is a question of how it would work in real life. There are utilities and a small drainage area for overland flow. The Petitioner came back with Option 2.

CHAIRMAN GRAY noted the first picture showed the home units and the northeast portion of the townhome units and the southern area that abuts Freedom Pond.

The Petitioner noted it was showing two different areas.

Dan Ritter, Planning Manager, responded the goal was still the same, to connect into the sidewalk paths as direct as possible to Freedom Pond and probably Tinley Park High School.

COMMISSIONER TRUXAL noted those were his only questions.

CHAIRMAN GRAY asked COMMISSIONER TRUXAL had any preference on the fence.

COMMISSIONER TRUXAL noted that if the photos shown are true after 20 years, it is shocking to him. He noted we had talked about durability and the material being used, 1x6 dog-ear and 2x3 cross members and 4x4 posts. That is basic residential, so to him, that's not anymore durable than what you would build in your own yard. However, if the fence shown is 20 years old, then someone is taking care of that.

The Petitioner noted that the fences do require maintenance. He noted he had a similar fence in his own yard which had held up for 14 years. He personally likes the wood in this location here with respect to the nature of the site having the forest preserve next door. It blends better along the frontage of the development that ties into the forest preserve.

COMMISSIONER TRUXAL asked if the HOA will have to maintain it.

The Petitioner responded yes.

Dan Ritter, Planning Manager, clarified that once it is built out, it will fall under the HOA to maintain how they wish.

COMMISSIONER TRUXAL noted that it will be up to the HOA if the fence falls down.

COMMISSIONER SHAW noted it would still fall under property maintenance.

Dan Ritter, Planning Manager noted it would probably make sense to seal it, stain it, or clean it occasionally even for the HOA. We could recommend they do regular maintenance. If it starts falling apart, we have full ability to enforce via property maintenance and the PUD requirements to have the fences.

COMMISSIONER SHAW noted he has seen this type of shadow-box construction where you have the boards on both sides. It is pretty heavy duty.

COMMISSIONER TRUXAL noted it's hard to get a paint brush in between the boards.



COMMISSIONER SHAW noted that's why they are typically left natural. He noted he likes them because they are sturdy being double-sided and not quite as flimsy.

Dan Ritter, Planning Manager noted the wind is a big factor. You have some break for the wind.

COMMISSIONER SHAW noted there's also some light bleed-through at an extreme while still getting privacy.

Dan Ritter, Planning Manager noted that you will get maintenance issues with PVC fences. With PVC fences, there are the two beams that hold in the middle sections so if you get high winds, you can blow out the whole middle. They are harder to repair, and you almost need to get a whole new fence panel.

COMMISSIONER GASKILL provided comment on his experience with the longevity of cedar fencing. He stated he's lived at his home for 35 years and put up a cedar fence in the first year. He's just now replaced his fence. He didn't power wash his fence. He let it weather and turn gray. It doesn't take that much maintenance.

Dan Ritter, Planning Manager noted that PVC sometimes makes sense on commercial properties. They tend to not do as much regular maintenance, and it's just there because they are forced to have it.

CHAIRMAN GRAY provided his comments. He appreciated that the Petitioner worked with the Commission at the Workshop, especially with the access to Freedom Pond. He thanked COMMISSIONER SHAW for sending his sketch. It sounds like there is still a bit of fiddling with the location. He noted they were able to remove the Variation by meeting the minimum acreage for the open space. He appreciated the parking lot links. He wasn't able to go to the locations, but he did look at Google and saw they were built about 3 or 4 years ago. That one was done in stages. He never saw spillage of cars on Google Earth maps. He didn't think parking would be an issue as it is shown. Maybe they will have two-sided parking on the streets, but that was not an issue for him. Regarding the fence, it sounded like there was a case for the wood. He didn't have an issue as long as it is durable. It sounds like it is, given COMMISSIONER GASKILL's personal testimony where didn't have to maintain it much in 35 years. The brickwork on the front façade looks great and is the better value for the dollar than on the rear façade with the garages. He would rather keep the brickwork on the front with the siding on the small portions along the garages. He appreciated the Petitioner providing a construction schedule. He feels this is a good project that fits the community. It will be attractive to potential residents. He asked if anyone from the public wished to speak. Hearing none, he asked Staff to review the Standards. Before Staff could review the Standards, he requested a motion to close the public hearing. Motion made by COMMISSIONER GASKILL, seconded by COMMISSIONER SHAW. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY asked for the standards.

Dan Ritter, Planning Manager, provided the standards.

There were three motions for this item.

Motion 1-Map Amendment/Rezoning:

COMMISSIONER SHAW made a motion to recommend that the Village Board grant the Petitioner, DR Horton Inc - Midwest, a Map Amendment (rezoning) of the property generally located at the southeast corner of Ridgeland Ave. & Oak Forest Ave (excluding 17201 Ridgeland Ave) from the existing ORI (Office and Restricted Industrial)) zoning district to the R-5 (Low-Density Residential) zoning district, and adopt the Findings of Fact as proposed in the December 16, 2021 Staff Report.

Motion seconded by COMMISSIONER TRUXAL. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 2-Special Use for Preliminary PUD Approval:

COMMISSIONER MANI made a motion to recommend that the Village Board grant a Special Use Permit to the Petitioner, DR Horton Inc - Midwest, for Preliminary Planned Unit Development Approval for the Oak Ridge Subdivision located at the southeast corner of Ridgeland Ave. & Oak Forest Ave (excluding 17201 Ridgeland



Ave), to be zoned R-5 (Low-Density Residential) and developed with 81 detached single-family and 162 attached single-family units, in accordance with all plans/documents submitted and listed herein and adopt the Findings of Fact as proposed and following seven conditions as listed in the December 16, 2021 Staff Report:

1. The PUD exceptions and restrictions from the Zoning Ordinance, as listed in the staff report, shall be included within the Preliminary and Final PUD ordinance documents.
2. Final PUD and Plat Approval is required and shall be in substantial compliance with the plans, documents, findings, conditions, discussion, and agreements determined as part of the Preliminary PUD approval.
3. Final conditions, covenants, and restrictions (CC&Rs) shall be submitted outlining ownership and association responsibilities.
4. A Special Service Area (SSA) shall be established over the development at the time of Final Approval.
5. The public park design and layout shall be finalized at final approval. The timeline of completion and acceptance shall be agreed upon with the Tinley Park - Park District.
6. A cash-in-lieu payment for the sidewalks on Ridgeland Ave and Oak Forest Ave be submitted prior to issuance of any permits. The payment is currently estimated by the engineer at \$82,279 but is subject to changes related to increases in construction or material cost.
7. Final approval is subject to final engineering review and approval of all plans by the Village Engineer and any other jurisdictional approvals, including but not limited to Cook County DOT, MWRD, and IEPA.

Motion seconded by COMMISSIONER TRUXAL. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 3-Preliminary Plat Approval:

COMMISSIONER TRUXAL made a motion to recommend that the Village Board grant approval to the Petitioner, DR Horton Inc – Midwest, Preliminary PUD Plat Approval for the Oak Ridge Subdivision in accordance with the Preliminary Plat submitted (dated December 7, 2021), subject to the condition that the approval is subject to the review and approval by the Village Engineer and Village Attorney.

Motion seconded by COMMISSIONER SHAW. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

CHAIRMAN GRAY noted this will go to the Village Board. He asked Staff to confirm if this will happen on Tuesday, January 4<sup>th</sup>, 2022.

Dan Ritter responded yes and that he will follow-up with the petitioner on how to attend.



**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**

**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**

**SUBJECT: MINUTES OF THE DECEMBER 16, 2021 REGULAR MEETING**

**ITEM #2 PUBLIC HEARING – RESIDENCE AT BROOKSIDE GLEN/MAGNUSON APARTMENTS, SPECIAL USE FOR A PUD SUBSTANTIAL DEVIATION**

Consider recommending that the Village Board grant the Petitioner, Karli Mayer on behalf of One Magnuson Lane, LLC, a Special Use Permit for a Substantial Deviation from the Brookside Glen Planned Unit Development (a.k.a. The Residence at Brookside Glen) to modify the elevations of the residential structures at the properties 19248-88 Magnuson Lane in the R-6 PD (Medium Density Residential) Zoning District.

Present Plan Commissioners: Chairman Garrett Gray  
James Gaskill  
Eduardo Mani  
Ken Shaw  
Kurt Truxal

Absent Plan Commissioners: Angela Gatto  
Frank Loscuito

Village Officials and Staff: Kimberly Clarke, Director of Community Development  
Dan Ritter, Planning Manager  
Lori Kosmatka, Associate Planner

Petitioners: Scott Shalvis, Architectural Studio, Ltd.  
Andrea Crowley, Griffin Gallagher

Members of the Public: None

CHAIRMAN GRAY asked for a motion to open the Public Hearing. Motion made by COMMISSIONER TRUXAL, seconded by COMMISSIONER MANI. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing. He invited staff to start with the presentation of this item.

Lori Kosmatka, Associate Planner, summarized the Staff Report for the Commission. She briefly provided the PUD history noting it was originally approved in 1990, with the development most recently approved in 2017. There were discussions on the development's scale, design, and aesthetics. The development is within the Urban Design Overlay District. The development has four residential buildings with a clubhouse. There are 144 units. The petitioners have proposed design changes which require a substantial deviation to the PUD. The PUD has evolved over time due to market demands and a change in exterior wall construction. The major proposed building changes include a lower building height, longer building footprint, shortening of the connecting terraces, and extending the clubhouse through the parking garage. The façade materials, offsets, windows, and balconies are being reconfigured, and glazing is being reduced notably in the clubhouse. Parking has also been adjusted. The distance to the nearest townhome was reduced by 1'-3" and the dog park length was reduced by just over 20 feet. An additional 8<sup>th</sup> pergola was added on the terraces. She reviewed the setbacks and the proposed materials including the ½ inch thin brick veneer, similar to what was previously approved, 4 inch brick, and natural stone veneer. She described the proposed entries and balconies. The mechanicals included more PTEC units, and intake vents, exhaust sheds for the garages, and rooftop units which are



not screened, but are on the rear of the property. Other changes included stairs and ramps from the clubhouse to its adjacent terraces, relocation of restrooms, additional clubhouse amenities, a narrowed lobby, indoor location of trash, and a refined pedestrian ADA drop-off area. The Petitioner will coordinate screening of transformer pads and gas meters with ComEd and Nicor. She provided comparisons of elevations, noting the loss of glazing on the clubhouse. Some of the glazing on the rear (west) clubhouse elevation is lost due to the HVAC plenum required for the fitness center there. She summarized the exterior façade materials. She noted that the west residential canopy did not have brick accent, and that the clubhouse had a horizontal separator of soldier course brick rather than the appearance of a continuous stone sill as previously approved. She also noted the clubhouse has some HardieBoard lap siding behind the rooftop units on the top gable on the rear elevation. Some of the mechanical items such as the intake vents, clubhouse rooftop unit, and residential rooftop mechanicals didn't specify if they would match surrounding materials. She noted there is slightly less seating on the terraces and the common seating area on each residential floor was removed. She also noted the cabanas which were previously within stone walls will now be freestanding. She provided an analysis summary noting that architectural consultant Farnsworth Group reviewed a recent previous submittal of the east residential façade, noting only minor visual differences between it and the previous approval. There was a different horizontal rhythm of windows under the high roof. The general layout, orientation, and appearance of materials remains with some reconfiguration. The open items included the notable reduction of clubhouse glazing and outstanding points on exterior materials.

Scott Shalvis, of Architectural Studio, Ltd. and Andrea Crowley, representing the Petitioner, were sworn in. Andrea Crowley thanked staff. She noted the coloring is identical and just appears different due to a new software. Scott Shalvis pointed out the brick sample displayed. Andrea noted they agree with the staff report, and happy to discuss open items. She stated they are fine with the first four conditions. The fifth condition is about the thin brick on the clubhouse. Initially the thin brick was approved on the PUD, and there was to be a lot more of it. The foundation is in. They cannot do thin brick. There would be problems in terms of water infiltration if they did four-inch brick there. It is just set up for thin brick. It looks the same. The substructure behind it is so thick that it's going to be deeper than the four-inch brick anyways. The renderings that were initially put together and part of the PUD were done pre-mechanical, pre-engineering and were put into the building, and the code was applied. Some of the items now are a direct result of placing mechanicals, electrical, and plumbing in. We tried to keep the spirit of the building the same, and have worked to make it look almost identical. Farnsworth had said it's almost the same. We are not looking to do the 5<sup>th</sup> condition because it won't work. It doesn't look different. We will color match it so it'll look the same. Otherwise we are happy with the staff report, and can meet the four conditions. The 5<sup>th</sup> condition is a result of when you engineer a building beyond just drawing it.

Scott Shalvis of Architectural Studio, Ltd., also representing the Petitioner spoke. The thin brick is actually brick. A half-inch of the front face of a brick is cut off rather than the full 3 5/8" thick. The material is identical looking. You will not be able to tell it apart from what's above or below. We are using the thin brick because we have a 22-inch foundation wall going straight down there. To try to attach a four-inch brick will not work. We have issues with trying to support it and worry about getting water in the back of it. The thin brick is designed to be adhered to that material like originally designed for the precast construction previously approved.

COMMISSIONER TRUXAL noted he was concerned with the balcony material. The decking is aluminum which he's never seen before. He asked how it works with people walking on it, and damage from items being dropped on it. He asked how long the powder coating is good.

Scott Shalvis responded he found the material and sent Staff a product link. It is a tube structure with 1 ½ inch solid aluminum decking on top. It is channeled. There are grooves on it to avoid slipping. The powder coating has a lifetime guarantee.

CHAIRMAN GRAY noted that the powder coating wasn't specified. He asked if this is what is intended.

Scott Shalvis responded yes.

COMMISSIONER TRUXAL asked if it is solid decking or if there are gaps to confirm that if a drink is spilled, it won't fall on the floor below.



Scott Shalvis responded when he saw it, it looked solid. The pieces go together, but there doesn't appear to be any gap.

COMMISSIONER GASKILL had no comment.

COMMISSIONER MANI noted he had the same question about the balcony.

COMMISSIONER SHAW asked what was necessitating the changes to the previously approved project.

Scott Shalvis responded part of it was marketing. Due to COVID, they needed to revisit the design of the units for at-home amenities. This included spaces for exercise equipment and a desk to work at home. They also looked at other apartments to see what amenities are offered. This is why the clubhouse was enlarged. They also didn't like in the previous design how one would have to walk through a drive aisle to get across to the pool area. They didn't feel like that was a good flow for people. Also, they are now working with the mechanicals. The 14-foot ceilings need additional mechanical units for heating and cooling. The two sheds were added for the carbon monoxide exhaust system for the garage. By code, they have to be above ground by 10 feet. They can't have them in the lower wall like they do with the intakes. Glazing is different because they are working with the mechanicals. The clubhouse design is also being worked out by the mechanicals, and they wanted access to the pool area. The changes are a refinement between the structure and mechanicals and the final designs.

COMMISSIONER SHAW asked about the difference in the footprint.

Scott Shalvis responded that the footprint came in because of the structure of the building. They spoke with precast contractor on the podium design with the precast walls. Instead of being 12 inches thick, the columns would have needed to be 24 inches. To maintain the amount of parking spaces they needed inside, it ended up elongating the building. They shrank the building in depth to try to maintain the building FAR.

COMMISSIONER SHAW noted the foundation changed from what was approved. He asked if the foundation was in.

Scott Shalvis responded yes, with the elongated length.

COMMISSIONER SHAW stated he wanted to understand the sequence. He noted we are being asked for approval on something that exists. The foundation is constructed as proposed, not as approved.

Scott Shalvis responded that is correct. There were some other design issues coming up that we went back with, and Staff had said we need to work with them on that. Originally the developer was trying to reduce the height of the building. During the first PUD, a lot of the neighbors were bringing up concerns about the height. Looking at marketing we realized we didn't need the height on the upper level, but staff wanted us to keep that as far as the look of the building.

COMMISSIONER SHAW noted he was on the Plan Commission in November 2017 by one vote. He was Chair at the time. The deciding factor for him to vote in favor was all the amenities, high quality aesthetics, all the glazing, the Prairie style, and the height. There was a lot of work done by Staff, the Commission and members of the Brookside Glen community to get to a point where approval could be recommended. It was close. Now, it seems the changes here scale back all of these elements. The report says these are minor changes, but collectively this takes what was previously considered as an upscale development being scaled back, changing the amenities.

Scott Shalvis responded that amenities are being added, not taken out.

COMMISSIONER SHAW noted there were going to be fixed structures for the cabanas, the dog park width is being changed, and the underground parking is going to be two feet lower, previously 13 feet and now 11 feet and no longer goes through. There is an additional three feet lost on the floors, roughly one foot from each floor.

Scott Shalvis responded yes. He clarified the ceilings are still nine feet. The change is just in the floor-to-floor height. Originally, they were allowing for 26 inches of floors, but now only need 14 inches.



COMMISSIONER SHAW noted it's good to hear the render differences are due to printing software, with the intent being the same.

Scott Shalvis responded it was an issue in Photoshop.

COMMISSIONER SHAW noted there was a triple transom reduced to a single transom.

Scott Shalvis responded that was in the clubhouse. The glazing in the residential buildings are the same. He noted Farnsworth stated they were virtually identical.

COMMISSIONER SHAW stated he disagreed. He asked if there is a difference in the HVAC units vents on the face, or if that is how it looks on the screen. He asked if the intent of that has changed. There was a lot of previous discussion on whether they would stand out. We had received assurance that they would not.

Scott Shalvis responded it is how it looks on the screen, that they were trying to match the color of the brick. The intent of that has not changed.

COMMISSIONER SHAW asked which of these changes are necessitated from the change in the footprint. He wanted to know which changes are a function of the structural change versus an aesthetic change.

Scott Shalvis responded the length of the building and the balconies are due to the structure itself, not being precast exterior wall. The half inch brick was the same as the previously approved PUD. The Village had updated their code and how they interpreted their construction so they allowed 4A, more of the standard 3A construction so we did a noncombustible exterior wall construction with a four-inch brick on a stud backup for the upper structure, but with the 22-inch foundation wall, they only wanted to install the thin brick on it. That would be on the clubhouse front and back walls on the lower level only, and between the fourth and fifth floor on the sides where the roofs are, on the returns where its' not over a wall that goes all the way down. The rest of the fifth floor would be solid brick. The thin brick is the same identical material as the regular brick.

COMMISSIONER SHAW noted he didn't have an issue with the brick. If it's the same color, and installed well, you shouldn't be able to tell the difference. He asked if any of the amenities as pitched originally are changing to be reduced or eliminated.

Scott Shalvis responded yes. They are maintaining all of the original amenities plus an aerobics room, dog washing station, and golf simulator.

COMMISSIONER SHAW stated he didn't understand how the foundation already exists for something we are being asked to consider recommending.

CHAIRMAN GRAY asked when the foundation was dug.

Scott Shalvis responded it was about a year and a half ago. It was about a year long process.

CHAIRMAN GRAY noted he agrees with COMMISSIONER SHAW. It is putting the cart before the horse. The 14 feet is a pretty big issue. He understood construction materials dictated that change. Since a lot of these changes are non-aesthetic are related to that, it should have gotten clearance prior to breaking ground.

COMMISSIONER SHAW stated he has difficulty recommending approval. It comes down to recommending something that already exists. Taking away the footprint, he doesn't have a lot of concern about most of the changes. Regarding the height change in particularly in the garage, a taller garage to him is a high-end element. Even if it is well-lit, you lower the ceiling by two feet, you are reducing the value. Overall, any one of the changes are not very significant, but the rationale for the lower height that the neighborhood had concern about it, had already passed the board in spite of that. He does not accept them coming back now with this as the rationale. You are rationalizing it by aiming it at the community. The overall appearance of the glazing is more significant than what the Farnsworth report says. He does not think the essential character of the building is changing, but he doesn't know if he can approve something after the fact.



Andrea Crowley noted that when we came in for a foundation permit, if they would have been directed that these would be considered substantial deviations, we probably would have been back here. We are here because of staff direction. We submitted that foundation plan to the Village, and the permit was issued. If we would have been told at that time, we would have been happy to come back.

COMMISSIONER SHAW asked if the foundation as built was issued a permit.

Andrea Crowley responded yes, it was issued and inspected. The code has minor and substantial deviations, and she is happy to abide by the determination. A minor deviation would have a little different course. The foundation was inspected, and when they came for the upper structure, they were directed here. Primarily they were told it was on some of the elevation issues and not on the initial setback. We find ourselves here because of the upper structure issue after the foundation was permitted, installed, and inspected.

COMMISSIONER MANI asked when it was submitted for permit, if anyone at the building department noted the building was longer.

Andrea Crowley responded she cannot speak for the Village, but the PUD was on record. She doesn't submit or handle permits. Presumably it went to the building department just like these plans would have. When these plans went in, it was determined to be a substantial deviation needing Plan Commission review. When the foundation permit went in, that was not the determination.

COMMISSIONER MANI asked when you presented the new foundation and plans, that you did not tell them the building got longer.

Andrea Crowley said they had that information of what is approved by the Village and what's being submitted.

COMMISSIONER SHAW noted that is an important point. What you submitted was issued and approved as a permit. That alters his thinking on the matter. He noted what was recommended for approval by the Plan Commission and approved by the Village Board in terms of the footprint was not what was submitted for permit.

Andrea Crowley responded yes. When they actually put the systems in the building, it changed the configuration in terms of how it needed to move. Also, the precast has had a major supply chain issue, so they changed the foundation so it could have proper masonry. It changed because they had to put pipes in walls and systems into the space.

COMMISSIONER MANI stated he is an architect. He found it odd they presented the project without having engineers to create drawings to see how it fits. Engineers have to have input early on to see if the design works.

Scott Shalvis responded they were working back and forth with the Village at the beginning so the owner did not have the full mechanical/structural plans done at that stage.

COMMISSIONER MANI noted that you should still have a basis of design and what's required and a rule of thumb. Engineering drawings should back up architectural drawings.

Scott Shalvis responded the foundation is 22 inches thick. Other buildings of his have only a 12-inch foundation. These are for two different engineers. Engineers are outside consultants working for the owners. He has done buildings with thinner foundations and styles. The engineers want to do it their way. He argued with the structural engineer on the 22 inches. The structural engineer insisted 22 inches was needed. The precast contractor/designer took months, and will not tell you how they are doing it until they are ready for bid and engineering the product. They found a precast contractor who would do it in the most economic way and advised they needed spacing for the columns.

COMMISSIONER MANI noted it sounded like a major lack of communication. What you asked for in the permit was not the same as what was approved. It came to the Board as a certain size, underwent heated discussions in the community, but was finally passed. However, what was actually constructed was not that. There also was not communication on advising it got bigger and asking to look at it again per the changes due to structure or otherwise. But now you want approval for something that's already constructed.



CHAIRMAN GRAY concurred with COMMISSIONER MANI that there was a communication breakdown. However, they did get an approved permit to build. He wasn't there to know what went on before. They obtained a proper permit. The 14-foot length was permitted. This now appears to just be a process to get proper approval for that permitting. The foundation was approved.

Kimberly Clarke, Community Development Director, noted the request was for a foundation only permit, which is not typically if always done by right. A Village can review case-by-case projects on whether or not a foundation is warranted. The submittal in the beginning of the process wasn't complete construction drawings. We were looking at limited information on the foundation-only submittal, looking at structural elements. The elevations were not part of the review, which could have allowed us to catch it sooner. Foundations are looked at with general conformance with location and property lines from the planning perspective. Foundation permits are at your own risk. If you want to move forward and don't have full construction drawings, but want to get a foundation in, it is still at their own risk. They are taking the chance that nothing is going to change substantially. In the petitioner's case, because they are in a PUD, they are held on a much stricter level unlike a standard by-right development which only has to comply with the overall zoning code. In this case it matters because it is a PUD. We always make the effort to identify any code deficiencies, however any failure to identify any code deficiencies in plan review does not alleviate or obligate them not to comply. Foundation only permits carry risk on both ends.

CHAIRMAN GRAY noted that it had been a sticking point, but is not now. He noticed there is a 1'-3" reduction to the nearest other residence. It might not be big to the Plan Commission, but it is big to the person that lives there. Also, the dog park is reduced by 20 feet.

Kimberly Clarke noted that in rounds of revised drawings, there had been a significant modification in the terraces. It was Staff that pushed to keep the amenities to the original approval. There were some structural changes, but there were other significant changes in previous submittals. What you see today was not was initially provided.

COMMISSIONER SHAW noted that was fair, and that he could have been conflating the previous materials seen with what is currently here.

CHAIRMAN GRAY noted that when the item was provided a month ago, not all the information was in. Some of what is now submitted is unclear. He noted Staff's presentation here showed the proposed against the approved with pictures which helped him gain some clarity. He noted however that there were items Staff identified as missing or unclear. He asked, for example, if the stone columns were going to be stone, and that the color just was not shown right.

Scott Shalvis responded yes.

CHAIRMAN GRAY noted that the canopies had a lot of non-uniformity, which he assumes is by error and not by design. He wanted clarity on what material is being used.

Scott Shalvis responded that the entrances had stone in the background and brick in the front on the columns.

CHAIRMAN GRAY noted the west canopy had brick but is now stone. The east canopy entries were previously double door but are now single due to security concerns, not for structural reasons.

Scott Shalvis responded yes, that a security consultant advised double doors are not as secure. There is also more chance for water leakage. People are not moving in through these doors. There is an elevator on the other side.

CHAIRMAN GRAY noted that the west residential canopy previously had a brick accent, but will now be covered with stone. He asked if these were supposed to be uniform initially.

Scott Shalvis responded that all the residential canopies on the street side have brick piers with a stone accent. The other side would have a thin stone going around the columns. However, we can do a thin brick instead. They are about 2 feet wide.



CHAIRMAN GRAY noted the staff report identified things that were missing or unclear. There are also a lot of changes at once. The changes should be precise and clear in drawn and written form. There should be unanimity in thought on what is going to be built that anyone can understand on the plans. Some of the changes were unclear. He would like to see some of these changes clarified before passing it on to the Trustees. We could either flesh out the items today to clarify as conditions under approval or continue so these open items are clearly addressed in plan or written form. He felt it was difficult to understand what was specified at times. Some information was missing or unclear on the plans. He asked the other Commissioners if they felt the same when they read through the report.

COMMISSIONERS SHAW and TRUXAL responded yes.

CHAIRMAN GRAY noted he didn't feel it would be fair to the Trustees or Mayor.

COMMISSIONER TRUXAL noted he read through the report thoroughly, and he had a lot of questions. The balcony was the biggest issue for him, and that was addressed, however there were some other things that were not clear to him.

CHAIRMAN GRAY noted he had no issue with the parking.

Scott Shalvis noted they still are exceeding the 1:1 ratio indoors.

CHAIRMAN GRAY felt those were reasonable changes.

COMMISSIONER TRUXAL noted they increased the number of electric vehicle charging spaces. There were only two outdoor, now there's 4 indoor for each building.

CHAIRMAN GRAY thought this was good. That is an attractive amenity. There was a lot of good, but also a lot of unclear aspects. If there was one unclear aspect, the Commission could take care of that, but going one-by-one in the details tonight might not be the best use of time. He asked for an informal tally if the Commissioners would like to see more clarity on some of the changes or questions prior to entertaining a motion.

COMMISSIONER TRUXAL responded he would like to see more detail for each change so he could find the changes in the drawings.

CHAIRMAN GRAY noted on page 6 of the report, it is unclear if they are brick or steel tubes.

Scott Shalvis responded originally on the east façade there were stone piers with a steel tube frame. Staff wanted a solid brick, so we added that to the plans. But we do have a stone accent band.

CHAIRMAN GRAY noted that if he doesn't know what exactly he's agreeing to, he doesn't want to mislead the Trustees or Mayor going forward. He would appreciate clarity. He asked Lori Kosmatka if there was other information needed from the petitioner.

Lori Kosmatka, Associate Planner felt that doing another round to ensure that the plans correctly reflect the proposal would be helpful. She noted some items aren't noted including the one setback on building #3 and the balcony specifications. One of the elevations is shown to be brick but is tagged as stone. Whether it's 4 inch or half inch would be helpful.

COMMISSIONER SHAW noted given the history of the project and the role of the Plan Commission to do its due diligence, there is a responsibility to ensure it's complete. He felt it would be prudent to have a continuance to get clarity for the Commissioners. He originally thought there was clarity, but now there is ambiguity. Going into a decision with ambiguity is a recipe for disaster.

CHAIRMAN GRAY commented when there is doubt, then there is no doubt we should pause. He entertained a motion to continue the public hearing.



COMMISSIONER SHAW mentioned the setbacks are being measured differently now. He didn't understand why. We are now in a situation in what was approved and what's proposed calculated different ways. For comparison purposes, we need to know what the change is.

CHAIRMAN GRAY agreed. He thanked Scott Shalvis and Andrea Crowley.

COMMISSIONER SHAW asked if Staff preferred continuing or closing the hearing.

Dan Ritter, Planning Manager, responded continuing is best. It can remain open, and will not be necessary to republish this way.

Motion to close the public hearing made by COMMISSIONER GASKILL, seconded by COMMISSIONER TRUXAL.

COMMISSIONER SHAW asked if there was a date that the meeting is being continued to.

Kimberly Clarke, Community Development Director, responded the next meeting is January 6<sup>th</sup>. She wanted to make sure the petitioner will be available.

Dan Ritter, Planning Manager, noted it seems like minor items are needed for clarity. We need to make sure we can turn it around quickly for the report. He recommended we indicate a meeting date. If the petitioner has a problem, then Staff can let the Commission know at that meeting.

CHAIRMAN GRAY noted the motion as amended with a continuance for the public hearing for Brookside Glen to continue to January 6, 2022 Plan Commission meeting. He requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.



**GOOD OF THE ORDER –**

Dan Ritter reviewed the following Good of the Order items:

- He noted there will be a couple other items on the upcoming January 6<sup>th</sup> agenda. There will be an item for a small expansion at the Pete's Fresh Market's warehouse space. This will be in front of the old K-Mart entrance. The roof is already there, and they are doing a small office addition. Also, Dunkin Donuts on 80<sup>th</sup> and 171<sup>st</sup> will move to the outlot building and do a drive-thru that cuts through the building. Staff has helped work some of those challenges.
- We also may have a new Plan Commission member shortly by the Village Board. They are anticipated to be appointed next Tuesday.
- Loyola had their groundbreaking yesterday. They are starting with site and ground work, no foundations yet.
- Smoothie King has demolished the existing building on-site, site work should start soon.
- Popus Popcorn is going into The Boulevard downtown, and are close to getting their permit for the buildout.
- There is also a new pet store in town called the BarketPlace, next to the Village Pizza. There was a one-year art exhibit in that space before. It is a positive to see retail space in downtown.
- McDonalds is open and complete on 159<sup>th</sup> Street.
- The two Bettinardi projects are complete. One was an addition to the IGOR building that they purchased and the other was parking lot changes at their headquarters.

**COMMENTS FROM THE PUBLIC –** CHAIRMAN GRAY asked if there were comments from the public. Hearing none, he asked to adjourn the meeting.

**CLOSE MEETING -**

A Motion was made by COMMISSIONER SHAW, seconded by COMMISSIONER GASKILL to adjourn the December 16, 2021 Plan Commission meeting.

CHAIRMAN GRAY asked for a voice vote; all were in favor. He declared the motion carried and adjourned the meeting at 9:37 P.M.



**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**

**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**

**SUBJECT: MINUTES OF THE JANUARY 6, 2022 REGULAR MEETING**

**ITEM #1 PUBLIC HEARING – RESIDENCES AT BROOKSIDE GLEN/MAGNUSON APARTMENTS, SPECIAL USE FOR A PUD SUBSTANTIAL DEVIATION**

Consider recommending that the Village Board grant the Petitioner, Karli Mayer on behalf of One Magnuson Lane, LLC, a Special Use Permit for a Substantial Deviation from the Brookside Glen Planned Unit Development (a.k.a. The Residence at Brookside Glen) to modify the elevations of the residential structures at the properties 19248-88 Magnuson Lane in the R-6 PD (Medium Density Residential) Zoning District.

Present Plan Commissioners: Chairman Garrett Gray  
James Gaskill  
Angela Gatto  
Frank Loscuito  
Eduardo Mani  
Andrae Marak  
Ken Shaw  
Kurt Truxal

Absent Plan Commissioners: None

Village Officials and Staff: Kimberly Clarke, Director of Community Development  
Dan Ritter, Planning Manager  
Lori Kosmatka, Associate Planner  
Kevin Kearney, Village Attorney, PJM Chicago

Petitioners: Scott Shalvis, Architectural Studio, Ltd.  
Andrea Crowley, Griffin Gallagher

Members of the Public: Michael Stocklose

CHAIRMAN GRAY noted this is a continuation of the public hearing.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing. He invited staff to start with the presentation of this item.

Lori Kosmatka, Associate Planner, summarized the Staff Report for the Commission. She briefly provided the PUD and project history. She reviewed highlights of the previous approval. The petitioner has proposed design changes which require a substantial deviation to the PUD. The PUD has evolved over time due to market demands and a change in exterior wall construction. She briefly compared the previously approved exceptions to the new proposal, including the new setback information. She clarified the setbacks as consistently calculated from the building's face as opposed to calculations from the canopy piers as submitted at the last meeting. At the previous Plan Commission meeting on December 16, 2021, the Plan Commission recommended the petitioner clarify missing or unclear items in their submittal, and calculate setbacks in the same manner as previous approval. She noted the petitioner has not made any changes to the drawings proposed at the December 16<sup>th</sup> meeting. She reviewed the major proposed building changes which include modification of the length and height of the buildings as well as other elements. The façade materials, offsets, windows, and balconies are being reconfigured, and glazing is being reduced notably in the clubhouse. She reviewed other new information and open items as noted in the Staff Report. She provided a table of



the setbacks, noting that the maximum setback from building #3 of 69'-11" is one of the missing elements from the drawings. She noted the piers were verbally confirmed as stone by the petitioner. She provided the balcony information, noting that a mid-grade AAMA #2604 powder coat finish is provided by the manufacturer. She noted the petitioner agrees to match the color of exterior mechanicals to those of surrounding material, with brick being a reddish brown and color of roof shingles and siding not identified. She noted staff received Commissioner feedback following posting of the Staff Report, which included concerns on the removal of the outdoor trash enclosures, screening of mechanical rooftop units, and maintenance of the balcony paint. She noted the petitioner agreed the ½" adhered and 4" anchored brick veneers will visually match, and that the balcony color will be dark bronze. She noted the petitioner also agreed canopy piers on the residential front and rear entries will be covered with brick, and that the clubhouse's rear horizontal separator will be stone and not soldier-course brick. She noted the petitioner stated that other than this, the clubhouse façade will remain as proposed. She noted staff had new open items, and had inquired to the petitioner as to how the decking tile will drain and avoid freeze-thaw issues, and if the freestanding cabanas will withstand high winds. She noted that staff recommends the petitioner revise the documents and submit to staff for review, prior to being heard by the Village Board.

CHAIRMAN GRAY asked if the applicant had anything to add.

Scott Shalvis, of Architectural Studio, Ltd. and Andrea Crowley, representing the Petitioner, were sworn in. Andrea Crowley noted Scott will handle all architectural items. Out of the nine conditions listed in the staff report, they were in general agreement with the first four conditions. She noted they cannot do Condition #5 because the foundation that is currently existing does not support 4-inch brick. She noted Scott can address Condition #6 regarding the balconies. It was her understanding that he called the company, and the recommendation for the higher grade is not for this region, and was for oceanfront regions, thus is not something done for this area. She noted they cannot do Condition #7, as she is unaware of any construction lender who will allow a letter of credit to destroy their collateral to exist with construction financing in place. She stated that condition is an impossibility. She noted they can be flexible on the terms of Conditions #8 & #9. They are not opposed, but it just depends on how the timing works with Village Board meetings. She noted that Scott would best be able to answer the remaining open items.

Scott Shalvis stated he spoke with the manufacturer of the balconies, and he did research on the ratings. The higher rating is more for a coastal use such as in Florida rather than in the Midwest based on types of environmental impacts such as salt. They have not had any issues such as product recalls.

CHAIRMAN GRAY asked if they noted that the mid-range is appropriate for the Midwest

Scott Shalvis responded that the testing for both products is done in the site's Florida climate. The higher end one is more set-up for coastal use.

CHAIRMAN GRAY asked what the issues are for maintenance.

Scott Shalvis responded he asked the manufacturer, but they had not yet gotten back to him with a document on the maintenance of the decks.

CHAIRMAN GRAY asked that when the petitioner does receive this document, to provide it to staff.

Scott Shalvis agreed. He noted that the color will match the PTEC units. The rooftop units are referred so that the ductwork goes straight down in the building. Putting them down and or screening them would be an issue for us. We can't really build them into the roof themselves. We can see if we can drop it down a little bit further. We can try to match the material and background with the color of the roof. We can put the same roofing material on the vertical surface so visibility would be reduced down. The color of the HVAC units can be painted to match the roof materials. Regarding the cabanas, we'd like to keep some of the ones shown as options. At this point of time in the market, we don't know what's going to be available a year from now when they're ready for looking at the finishes to the clubhouse and the pool. What's available today isn't available tomorrow. They want something similar as to what's shown, but they don't want to be locked in until they're ready to buy it. They don't want to be stuck on something that is a long-term-lead item, which isn't available when they're ready for it. They want the flexibility of one that can be taken down and put back up in the winter so it's not being damaged, or if they have special events



where they don't want to have all the cabanas out there, or in the future if the tenants want to have additional cabanas. They want flexibility to shift those around, and allow for more cabanas if that's what the tenants are looking for. They would be anchored to concrete via anchor bolts. They are done in the same way as they are done in Florida. It is not something that is unusual for those types of products.

CHAIRMAN GRAY noted that you still have to ensure to factor safety in against uplift with the right tension and bolts.

Scott Shalvis agreed.

COMMISSIONER TRUXAL asked for clarification if the terrace would be tile and not concrete.

Scott Shalvis clarified that the main cabanas are on the pool level. There are some cabanas on the upper level, which are not the ones we are talking about. Those would be a different, more permanent structures. The ones down by the pool would be a system more easily broken down. As far as terraces and how it performs with water, it would either be tile on adjustable pedestals with roofing material below, and roof drains underneath to drain off the water. When you are looking at those elevations, you are not seeing the drains because they are underneath the tile itself. There is a gap between the tiles to allow water in there. Green roofs will have semi-intense plantings with some intense bermed up toward Magnuson. This would allow bigger plans for screening. As far as seating, there are one or two chairs missing, we can add those back as well. That is flexible based on the usage of the tenants at the time. It might adjust from time to time, based on tenant use. They would not be out during winter. We wanted more tables toward the center clubhouse and making it more of a gathering focal point. The tables could be adjusted. He asked if there any additional outstanding items.

Lori Kosmatka, Associate Planner, asked for confirmation that the deck tiles will have spacing.

Scott Shalvis responded the pedestals will be adjustable with caps on top which gives a uniform look whether you are placing tiles or pallets on top. The gap allows the water to drain between the tiles. The pedestals are about 6 inches in diameter so water drains around them. The deck below would be insulated with single ply roof on top.

Lori Kosmatka noted that regarding the samples, that the brick was provided, but it would be helpful to also see the stone sample. The renderings provided are not showing true to what the proposal is. It is supposed to be a dark reddish brown as per the sample, but it looks like a light orange. The balconies are also supposed to be dark bronze.

Scott Shalvis responded that for the color in the rendering, he took a Photoshop material from the approved submittal, and put it on, and it came off differently. It was meant to be the same color, and really is just more of a program issue.

Lori Kosmatka noted in regards to the rooftop units, staff's Building Official reviewed the roof plan sheet, which is not part of this submittal, notes that for the residential units, there is a recessed open area meant to house a makeup air unit for positive pressurization of the corridors. Upon looking at the drawings, it appears it is a sort of wall. This appears awkward.

Scott Shalvis responded it would be behind the unit, not in front of the unit because the unit is dropped down for the most part in the well. You are probably seeing the background of that well. We can try to use the roofing material itself to disguise that as a material.

Lori Kosmatka displayed the submitted elevations and noted it looks like a light gray. She asked what that material is.

Scott Shalvis responded we were looking originally at it being the same material as over the clubhouse, it being Hardieboard. We could do shingles.

Kimberly Clarke, Community Development Director, asked if it was a wall.

Scott Shalvis responded that is a back wall. It is a hole in the roof, dropped down, so you can put the rooftop units in out of sight as much as possible.



Dan Ritter, Planning Manager, asked if they could be relocated to the attic.

Scott Shalvis responded that no, you cannot put them inside. They have intakes. Also, if you want to replace it, you need to tear the roof off. We have to think about ten years from now if they need to replace the unit. Here, they just need a crane to lift it off. As far as maintenance, these are not little house furnaces, these are sizeable rooftop units.

Lori Kosmatka asked for clarification if that the reason for the location is for efficiency so the CFMs can travel straight.

Scott Shalvis responded it would have minimal loss there and in the amount of makeup air they can bring in on the outside. If you have furnaces, you're trying to bring other systems to bring outside air in. Rooftop units bring in a lot more makeup air.

Lori Kosmatka noted that it is an awkward configuration on how it cuts across the roofline, and is situated lengthwise so you see more instead of the other way. Staff would like to know if there are other locations and how to make it look less awkward. It is proposed a light gray. Even if it were brick, it would look better.

Scott Shalvis responded it would not be brick because there is no structure below it. We could do a material like architectural roofing shingle going down the vertical surface to match the color. We are looking at this flat on, versus looking at a building five stories up from a distance where you would see more of a little shadow.

Lori Kosmatka asked about the option of having it on the ground.

Scott Shalvis responded they looked at that, but it would require getting ductwork up through the building. It would require sizeable ducts. The most efficient way is to drop the ducts straight down, not pulling the duct twenty feet over before going up.

Dan Ritter noted that staff has never seen rooftop units on pitched roofs like this. They have been on flat roofs with parapets. He referred to the condos across the street.

Scott Shalvis responded he had seen them.

Dan Ritter noted that staff struggles to see what this would look like in real life.

CHAIRMAN GRAY asked if the petitioner had a plan view looking down.

Scott Shalvis responded he could do one. He could find another site that has this. He has seen it before.

CHAIRMAN GRAY noted that this would help. From the flat perspective, it does look awkward.

COMMISSIONER GASKILL noted this is totally incomplete. The questions being asked should have been done in private with the petitioner. We don't need to go through all that here. There are things that are undecided and haven't been shown. There are still too many questions. He suggested we set this aside until you get together and iron this out.

COMMISSIONER MANI agreed. There is a lack of communication and missing holes.

Andrea Crowley noted that some of the items being discussed were not part of the original PUD, like cabana materials. We have had an enormous amount of communication from staff that is sometimes contradictory. Staff has been great, but if this is your position, then we need to get out of here. It is fine if we go to the Board with a no recommendation, but we request a vote tonight.



COMMISSIONER MANI noted he's an architect himself and knows the process. When I submit something, we spell out everything from the get-go. Some materials will change which doesn't affect life safety. There is some leeway. He could see it if they bring something to the Board showing we have all the answers and that some things like color may change, finetuning it.

Andrea Crowley noted there are no architectural plans submitted. This is a site plan approval. Some of the things we are discussing were not requested, required, or the subject matter of the original PUD. Some of those things get fleshed out later on. Some of the things being asked for now were never a matter of the original PUD. She understands the concern and is not an architect, but at this point, we are largely in agreement with the staff report. There is not a huge distance between us and staff. Some of their questions are things that can be easily answered. The cabana materials are all international commercial grade, bolted down like they are in hurricane zones. A lot of the things we are talking about are minor and architecturally laden. From our perspective, we have done everything that staff has asked. We agreed to meet the conditions that we can meet. We are happy to answer questions, but we don't want to continually come back here.

COMMISSIONER GASKILL asked if this is totally new construction, and if the previous approval had 4-inch brick.

Andrea Crowley responded it was thin brick. She noted that the architectural consultant Farnsworth said it looked virtually identical.

CHAIRMAN GRAY noted it was for one face only.

Andrea Crowley noted it was the east façade and by and large the façades are the same.

COMMISSIONER GASKILL asked if the foundation does not support the 4-inch brick.

Andrea Crowley clarified that the foundation does not support the precast, which is what was originally approved. The original approval contained a foundation that would bear a precast structure.

Scott Shalvis noted the foundation can support the brick above. They are asking to add brick onto the face of the exposed side of the foundation wall itself. What we proposed initially was stamped and stained concrete. What we are proposing is more of a thin stone over the existing stone or a thin brick. To add a 4-inch brick on top of it you have to bolt it on and pour another foundation. The 4-inch brick above is supported by the foundation. For the distance from the top of the foundation down to grade is the area we are talking about, that cannot support the brick because there's no foundation underneath.

Andrea Crowley noted the building is a 4-inch brick building, and we are talking about the surface beneath.

CHAIRMAN GRAY asked the petitioner if they can come to an agreement on items #8 and #9. Number 9 is all revised documents to be submitted to staff for review prior to being heard by the Village Board. All contract documents, not just the specifications but also the project plans.

Andrea Crowley noted that that was not what staff told them. Staff had said it did not include architectural plans.

Kimberly Clarke responded that whatever had been submitted, we are reviewing as part of the packet. If there are tweaks to those documents that need to be made, that is what ultimately will be forwarded to Village Board and part of the future ordinance. We like to bring complete documents to Village Board. That is what our goal was. There are items that Lori has called out that need to be identified. We want that to be corrected for the Village Board to see.

Andrea Crowley noted she emailed and called Lori and spoke with Kimberly to confirm that architectural plans are not what are being looked for.

Dan Ritter noted it would be needed for architectural level, but not for construction level.



Andrea Crowley noted she was told it was everything in the submittal that Scott would have to tweak, like the elevations. We have no objection to submitting the tweaked documents for this.

CHAIRMAN GRAY noted that at the last portion of the last public hearing in December, there are question marks. Regarding the printer, one shows more of an orange and another shows a fire-engine red versus a dark brown. We appreciated the sample, but if someone only gets that printout, it should match so that someone knows what the color is, being color-correct while being clear and concise to avoid any confusion. In terms to what we have been presented at the Plan Commission, some drawings are not updated. You're saying they don't have to be, but whatever is submitted should be clear. Maybe what's available for the cabanas may change down the line. We understand that. However in terms of clarity for construction with these exceptions, it should be clear to us as the Plan Commissioners prior to moving it to the Village Board.

COMMISSIONER GASKILL noted he certainly cannot vote yes for something he is unclear on.

Andrea Crowley responded that we are agreeing to the four conditions as posted in the list of 1 to 9. We will change our renderings and elevations prior to Village Board to reflect those. We are asking for an approval subject to these conditions. We will make the modifications prior to the Village Board's second reading as per what Kimberly said to her today. We are happy to do that. We don't think continuing to come back has been productive. We are agreeing to make these changes. These haven't largely shifted as the last staff report. Most of these are identical. We have had discussion. It is my client's position that we would like to be moved on.

Kevin Kearney, Village Attorney, PJM Chicago, noted you can add conditions of approval to the motion. They are making an affirmative statement that the materials are going to match and that any difference in plans are due to issues with the printer's program made to prepare the plans. We can include as a condition that it is approved subject to that affirmation that the materials are consistent throughout and that they provide updated documents for the Village Board. We can include statements like that in the motion.

CHAIRMAN GRAY stated he doesn't have an issue with the thin brick because it is based structurally. He is a P.E., and understands that. As long as it can match, and it looks uniform. We will go through some of these open items. In terms of #7 on the motions to consider, perhaps we can get an alternate type of motion that we are all in agreement on. We will go to the Commissioners for comments.

COMMISSIONER GASKILL had no comment.

COMMISSIONER LOSCUITO asked for clarification from staff on the requirement for #7 the letter of credit. He asked what the purpose for it is.

Kimberly Clarke responded that for the PUD in the Zoning Code, it says the Plan Commission can request additional guarantees to ensure that the project is completed as presented. There is that general language there. Now the Village has a more formal policy on foundations. Unfortunately, in the recession we had to deal with zombie subdivisions with foundations sitting out there. The policy puts into place that if something goes stale, the foundation could be removed and the property restored. It is a newer policy, so it isn't known to staff if it causes issues from a financial construction loan standpoint. Our attorney and I have discussed and understand that we think the PUD allows for a guarantee to be in place. Maybe it is more of a vague guarantee and not specific to the removal of the foundation which we are not looking to jeopardize the construction loan, but it does allow that to be in place. We were open to some other conversations on how that could be put in place before. We all hope that the developer has every intention to move this forward and wants to go vertical, but we want to ensure that if a what-if happens we don't have only foundation walls for the next decade.

COMMISSIONER TRUXAL noted his main concern is with removal of the trash enclosures. The maintenance guy is going to have to run out into the parking lot with the bins when the trash hauler shows up. Not having outdoor trash enclosures doesn't make sense.

Andrea Crowley responded she believes the Brookside East project across the highway has internal trash enclosures.

COMMISSIONER TRUXAL asked how that works.



Andrea Crowley responded the trash companies have a system. We have staff who will be coordinating this. Brookside East has this. She's not the association at Brookside so she doesn't know. She noted it's part of the service.

Scott Shalvis said they probably pay the hauler additional fees to come in to pull the bins.

COMMISSIONER GATTO noted that she has condos across the street from her, and every Thursday, the trash haulers go back and pull the cans or dumpsters onto the street. It must be part of the contract.

COMMISSIONER MARAK had no comment.

COMMISSIONER GATTO felt like there's a better option for the HVAC unit, if it can be better screened. She's concerned how it will look from the street. She tried googling pictures of other buildings. The only thing she could find are buildings downtown with greenery around the rooftop units, but she's never seen it in the suburbs. She thinks there should be another option for that.

COMMISSIONER MANI noted he did something similar by creating a pocket or hole in the roof, but in this case there is something on the roof.

Scott Shalvis responded it's recessed into the roof.

COMMISSIONER MANI responded it looks odd. A parapet might be weird looking and not aesthetically pleasing. Regarding the foundations being high, he still grapples with the length on the building and how it grew. At the last meeting, it was clarified that the foundation drawings were submitted, looked at, and permitted. His question for staff is whether staff became aware it became longer.

Scott Shalvis responded he believed there were comments in the original permit review that mentioned the length of the building. It did have some comments about setbacks. He would have to go back and look.

COMMISSIONER MANI noted that in his experience, if there are changes, he provides a narrative. This came up. This is a PUD and we have to stick to the original footprint. He asked where the checks and balances are. You need to let staff know once it becomes larger and the plan comes in to be permitted and reviewed. It should have been taken care of there and brought back to us to see if it still fits in the vision of the project. It seems to him that it was made bigger and now coming to ask for forgiveness.

Andrea Crowley responded she didn't think it was fair to say they made a mistake. The dimensions were shown. The difference in the distance to the townhomes is 1.3 feet, less than 1 percent on a nearly 200 foot building. She has townhomes that go over more than that for a single family residence. The approval was in the hands of the people issuing the permit. They came out over the course of almost a year and inspected. Everything was disclosed. We didn't not build what we asked the building department for. If she had been told then that it was a substantial deviation and that they'd need to come back, they would have come back, but that wasn't what the Village said when they went in for the permit, they issued it. Now she was told it was a substantial deviation so they are here. The foundation that is in the ground necessitates a majority of these changes. It was asked for and the permit issued.

COMMISSIONER MANI asked if the space inside the trash enclosures will be conditioned so there will not be a foul smell from rotting food. You want to keep the food fresh until the haulers come.

Scott Shalvis responded that we have a compactor with multiple bins in the room.

COMMISSIONER SHAW echoed some of the comments about the mechanical screening. The originally approved drawings did not show the mechanicals. Now they are being shown. He doesn't understand what changed, or if it hadn't been figured out yet. Today, he thinks it looks odd assuming the plan is to put in a pocket. That is a critical point.

Scott Shalvis responded there would be a pocket.



COMMISSIONER SHAW asked for clarification on which conditions the petitioner is OK on. He noted that the petitioner had stated they were OK with conditions 1 through 9, and didn't think that was what was meant.

Andrea Crowley responded she was referring to conditions 1 through 4 out of referencing the list of 1 through 9. We can meet conditions 1 through 4 with no problem. Number 6 we are generally OK with, and Scott can address the maintenance for the balconies. Numbers 5 and 7 we cannot do. Numbers 8 and 9 are time dependent.

COMMISSIONER SHAW doesn't know the appropriate mechanism, but would be in strong favor of a performance bond or as appropriate the Village Board can do. He asked when the project will be done, assuming approval from the Village Board without delay, and assuming weather and labor market.

Andrea Crowley responded construction is expected to last 24 to 36 months as soon as the permit issued. Her client is ready to go and has \$5 million in. Every day costs him money.

COMMISSIONER SHAW noted he didn't recall the original timeline.

A member of the audience noted it was 18 months, four years ago.

COMMISSIONER SHAW notes the time that it's taken from original approval until now, looking at an optimistic 24 to 36 month completion is the reason for his strong favor of some sort of condition for performance bond. He notes the petitioner says it's not possible. He defers to the Village Board and attorneys.

CHAIRMAN GRAY echoed some of the comments said. It's been a while since the foundation has been in and since the original approval. He thinks Commissioner Shaw's point is reasonable, and you have in the language here for the motion that pending approval you will start April 1<sup>st</sup> and that you have 24 to 36 months and you will adhere to the construction schedule as established. He feels it would be in the best interest to have a form of guarantee, only because of the time of the previous approval about five years ago.

Andrea Crowley clarified that it was November 2017. It was well over a year that the Village was illegally dumping from the commercial piece on the roadway of Magnuson. They asked us to clean it up. We negotiated with the pipeline to accommodate the water from the commercial piece on Magnuson that was being illegally dumped by the Village into the creek. We spent over a year cleaning up an issue that was not ours. The delays are not all on one side. Some of these issues are a two-way street. We spent a very long time negotiating to cross an easement so that we could accommodate the Village's water.

Kevin Kearney noted for clarification sake, in the original motion, the letter of credit was to secure removal of the foundation. Your comments are discussing performance bonds to secure completion of the project. That is a difference than what's listed in the motion. He asked if that's something the developer has thought through.

Andrea Crowley noted she has to discuss it with him. You're asking whatever value is being put on top of it to be posted.

Kevin Kearney noted that would be for a letter of credit.

Andrea Crowley stated that a letter of credit would be a problem because it would be cash cleared at 100% so it would be 200%. There's not a lender who would do that because you're asking them to collateralize 200%.

Kimberly Clarke asked the petitioner to return to the podium.

Andrea Crowley stated that a letter of credit would be 100% cash secured, so it is sitting in a bank account. It is fully grabbed by the bank. You pay them a fee annually for the ability to draw. You are asking for double the value and for us to be a cash builder. If we can post the cash for a letter of credit and we've got a loan, it is a \$30 million project.

Kevin Kearney noted a performance bond for completion could be considered rather than removal of the structure, or else some sort of security for completion.



Andrea Crowley responded she hasn't spoken with her client as the bond has just come up tonight. She knows that a letter of credit would not work.

Dan Ritter noted it is typically a percentage, not the entire project cost.

Andrea Crowley responded typically you don't post letters of credit for completion of private things. Typically they are for public improvements. The norm on a letter of credit or maintenance or performance bond is on public improvements, then you pull from it if it's not done. She asked if the Village has ever required a developer to put up a bond for a project.

Kevin Kearney responded our code specifically allows, not in the foundation only.

Andrea Crowley noted that it's not common. She noted that it's common for public improvements. They posted one for the street. It's not usual that it would be posted for private improvements for going vertical. She is curious if the Village has ever required it, because it is not typically done.

Dan Ritter noted it might be for bigger projects.

Andrea Crowley noted it's typically not required for private improvements. The person that has the most money to lose is the one with his money in the ground. If we mess up the public improvements, that is a problem for the Village.

Kevin Kearney responded it's a way to keep the developer on a timeline. He has used it to keep developers on timelines. It can be something to discuss with the developer.

CHAIRMAN GRAY asked for clarification on conditions 8 and 9.

Andrea Crowley noted that the question was on what documents are meant on Condition 9. Now we know it is the submittals and not the full architectural plans. Scott says he can turn that around in roughly a week. Kimberly said that if we have it by final board meeting, that would be something she'd be OK with. She has no problem submitting with the conditions and corrections drawn and depicted. That is fair. The concern was if it involved architectural plans or not. We can do the elevations in this submittal.

CHAIRMAN GRAY asked what language the petitioner has an issue with in Condition 8. It gives a start date of April 1<sup>st</sup> contingent on approval.

Kimberly Clarke clarified that it would be the building permit submittal by April 1<sup>st</sup>.

Andrea Crowley responded they are fine with sentences 1 and 2. The only issue with April 1<sup>st</sup> is if for some reason they didn't get on a Board meeting in time to petition for approval. Assuming this goes quickly, it isn't a problem.

Kevin Kearney responded we could add a condition that pending approval by Village Board.

Andrea Crowley noted it's not a date, but the vagueness of the prior timespan. Her concern is just on the date.

COMMISSIONER SHAW asked about the language for Condition 7, if there is language to replace to have the conversation continue. The Commission has made feelings clear for the Board.

Kevin Kearney responded that if the Plan Commission feels that a security of some form is necessary for completion of the project rather than for removal of the unfinished structure, it's a condition that you can have. The Board can modify or reject it or add their own condition. In the interim, we can work with the developer to see if we can come to an agreement satisfactory to the Village. For the purpose of memorializing the Plan Commission's feelings, if you want some form of security on the project, include that as a condition so the Board understands.

CHAIRMAN GRAY asked if there should be any pending language as Andrea Crowley has to discuss with her employer and have other conversations with Village staff.



Andrea Crowley responded she is happy to have a conversation with Kevin Kearney. She cannot speak for her client.

CHAIRMAN GRAY asked Kevin Kearney if he can draft up condition's language for the Commissioner who will read the motion.

Kevin Kearney responded yes, and that he will have additional modifications.

CHAIRMAN GRAY noted with respect to Condition #6's railing system, he looked at the links provided. They look decent. The petitioner gave a good rebuttal to the questions and he is confident in terms of this as an open item. He asked if there are any comments from the Commissioners.

Dan Ritter suggested that a recommendation for Condition #8 could be instead of a formal date, rather have it read as three months from Village Board approval. This would resolve concern if the case got continued at a Board level.

CHAIRMAN GRAY asked if that seems reasonable for the client.

Andrea Crowley responded she is fine with that. Her hesitation to commit with a date is if she finds it is the 3<sup>rd</sup> week of March and getting kicked back to the Village.

CHAIRMAN GRAY noted that whoever reads the motion should note that instead of it being April 1<sup>st</sup>, 2022, it should read as three months from Village Board approval. He asked if there is anyone from the public wishing to comment.

Michael Stocklose was sworn in. Four years ago they were at Plan Commission. He is president of the Brookside Glen Townhouse Association which abuts this project. When it went to the Plan Commission the first time, with Commissioner Shaw as a Commissioner, it failed, then it passed. We sat with the developers, Mayor Glotz, and Trustee Mueller who at the time was not a trustee, but an advocate for our group. The plan was supposed to have a drive-through garage from end to end. When they came up with the difference with the length of the building, that should have been a red flag. After this was approved the second time, I discussed the height with Karli who agreed it didn't need to be that high. Karli had said her lawyer said if we change the height then we have to go back to Plan Commission. When the building length changed, it should have been brought back to the Plan Commission before they got their construction permit. Four years later, we've been looking at this. There is rebar all over. I have to call once a month to have the grass cut. The hill behind the foundation is overgrown with weeds and trees. Branches from the trees are lying on the property. The wind storm knocked over the outhouse. They used to have a construction board and EPA permits have disappeared. This summer, they dug electrical which he doesn't know if they have a permit for. They damaged our sprinkler lines to the association. Our sprinkler lines can't be marked with JULIE. They are 20 years old. They refuse to pay the \$410 bill. The ground sat for four months. Before the last meeting, I sent an email to Kimberly and received a response from Karli saying that ComEd had dug it up. Mike Podtek was there digging it up and refuses to pay the bill because it wasn't marked. They also hit a gas line. I have to live with this foundation. Their construction foreman is not following guidelines to not use Greenway for entrance and exit. Every day he and the other employees drive down Greenway to 80<sup>th</sup> Avenue. ComEd and other trucks also do it. They tore up the streets. Greenway is going to be a pot-hole in the next year. It was repaved five years ago and is already cracked from trucks. For the size of this project, why are we using river rock for the landscaping? That is the cheapest, dirtiest rock you can buy. Upgrade it to something more substantial. The Boulevard had drainage issues on the sidewalks where they had to put grates in for the slope. Here they should put retaining wall to cut the slope of the grass planted so the slope can alleviate drainage onto the sidewalk. The north side of the sidewalk will not get sunlight and easily freeze. The staff reports were hard to read, and it was hard to hear Kimberly at the last meeting. He understands that some of the grill stations are being removed, but it wasn't in the second staff report. This is supposed to be a high-end structure. Why are we eliminating this? Four years ago, Mr. Cronin mentioned this occupancy for this project shouldn't be granted until the project is 100% complete. He heard a rumor earlier this summer that they would be granted occupancy if two buildings were done. I could go along with 80% finished, but there is no incentive for them if only two buildings are finished, unless there is a performance bond. There has to be a timeline set up, stating occupancy can't be granted until the project is 80% done. I'd prefer 100%. Previously, they stated construction timeline was 18 months. Even taking the year delay for



illegal dumping, we are four years into this. Now we are talking two to three years even if approved. I'd like it if they do get approved, they start on the south end of the project so the townhomes don't have to look at the foundations for much longer. I would appreciate if the final grade slopes toward the creek and not slope toward the townhouses. We do not need extra water coming in. Now the water sits there by the construction fence. The site should be cleaned up. There's no reason cut rebar, wood forms, and tree branches should be there. I shouldn't have to call the Village every three weeks because the grass grows to a foot high.

CHAIRMAN GRAY entertained a motion to close the public hearing.

Motion to close the public hearing made by COMMISSIONER GASKILL, seconded by COMMISSIONER LOSCUITO. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY asked staff to go through the Standards.

Lori Kosmatka reviewed the drafted Standards for a Special Use on this request, as indicated in the Staff Report.

CHAIRMAN GRAY asked that whoever reads the motion, to read what has been drafted by the Village Attorney.

There was one motion for this item.

Kevin Kearney noted that a Commissioner who makes a motion does not have to approve affirmatively of it. It just opens discussion.

CHAIRMAN GRAY noted that Condition #6 remains, and Condition #5 was stricken.

Motion 1- (Special Use for a Substantial Deviation):

COMMISSIONER SHAW made a motion to recommend that the Village Board grant the Petitioner, Karli Mayer on behalf of One Magnuson Lane LLC, a Special Use Permit for a Substantial Deviation from the Brookside Glen Planned Unit Development with Exceptions from the Zoning Ordinance to permit exterior design changes in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the January 6, 2022 Staff Report and subject to the following conditions:

1. *The development's exterior mechanicals including rooftop units, PTEC units, intake and exhaust vents shall match the color of the surrounding material.*
2. *The ½" thin brick and 4" brick veneers shall visually match (to be burned and colored in the same manner).*
3. *Canopy pier materials on the residential front and rear entry points shall be coordinated and be covered on all sides with brick.*
4. *Clubhouse rear (west) elevation's horizontal separation between the lower and upper level shall solely be continuous cut stone sill.*
5. *The balcony and railing system shall be bolt-on aluminum in a powder coat finish complementary to the building's design, to be reviewed and approved by Staff prior to issuance of the building permit.*
6. *A Letter of Credit, performance bond, or other security deemed acceptable by the Village Board to secure completion of the project consistent with the approved submittals.*
7. *The Petitioner shall adhere to the construction schedule as established. Construction is estimated to commence within 60 days of the issuance of a permit. Petitioner will be required to submit for a building permit three months after approval by the Village Board. Construction is estimated to last for 24-36 months from the issuance of a building permit. Construction of clubhouse and amenities to be completed prior to or simultaneously with the first residential building.*
8. *All revised submittals shall be submitted to staff for review and prior to being heard by the Village Board.*



Motion seconded by COMMISSIONER GATTO. Vote taken by Roll Call; COMMISSIONERS GATTO, LOSCUITO, TRUXAL, MARAK, and CHAIRMAN GRAY were in favor (aye). COMMISSIONERS GASKILL, MANI, and SHAW voted against (nay). CHAIRMAN GRAY declared the motion carried.

CHAIRMAN GRAY noted that the petitioner is anticipated to go to Village Board January 18<sup>th</sup>. He noted there may be offline conversations for portions of the motion.

DRAFT





# Interoffice Memo

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**Date:** January 12, 2022

**To:** **Village Board**

**Cc:** Patrick Carr, Hannah Lipman

**From:** **Anthony Ardolino**

**Subject:** GIS Agreement and Annual Renewal.

Presented for January 18, 2022 Committee of the Whole meeting discussion and action:

**Description:** Renew agreement with Municipal GIS Partners to provide Geographic Information System services to the Village.

**Background:** The Village is part of a GIS Consortium where GIS services are provided to the Village by Municipal GIS Partners. In July 2019 due to the financial impact of COVID-19 as a cost savings measure the Village reduced the GIS contract. This renewal is at the same reduced level. The Village may change the scope and service level of this contract at a later date via a board approved addendum.

**Budget/Finance:** Funding is budgeted and available in the approved FY22 operating budget via the accounts 01-16-000-72652, 60-00-000-72652, 63-00-000-72652, 64-00-000-72652

**Staff Direction Request:** Enter into an agreement with with Municipal GIS Partners to provide Geographic Information System services to the Village with the cost of \$138,661.00.

**Attachments:**

1. GIS Consortium service provider contract and Statement of Work to GIS Consortium Service Provider Contract.



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# **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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## **RESOLUTION NO. 2022-R-008**

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**A RESOLUTION AUTHORIZING A GEOGRAPHIC INFORMATION SYSTEM (GIS)  
CONSORTIUM SERVICE PROVIDER CONTRACT BY AND BETWEEN THE  
VILLAGE OF TINLEY PARK AND MUNICIPAL GIS PARTNERS, INCORPORATED**

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**MICHAEL GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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**RESOLUTION NO. 2022-R-008****A RESOLUTION AUTHORIZING A GEOGRAPHIC INFORMATION SYSTEM (GIS) CONSORTIUM SERVICE PROVIDER CONTRACT BY AND BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL GIS PARTNERS, INCORPORATED**

**WHEREAS,** the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

**WHEREAS,** the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Consortium Service Provider Contract with Municipal GIS Partners, Inc., a true and correct copy of such Agreement being attached hereto and made a part hereof as **EXHIBIT 1**; and

**WHEREAS,** the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Consortium Service Provider Contract be entered into by the Village of Tinley Park;

**NOW, THEREFORE, Be It Resolved** by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

**Section 1:** The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

**Section 2:** That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid " Consortium Service Provider Contract" be entered into and executed by said Village of Tinley Park, with said Consortium Service Provider Contract to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

**Section 3:** That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Consortium Service Provider Contract.



**Section 4:** That this Resolution shall take effect from and after its adoption and approval.

**ADOPTED** this 18<sup>th</sup> day of January, 2022, by the Corporate Authorities of the Village of Tinley

Park on a roll call vote as follows:

**AYES:**

**NAYS:**

**ABSENT:**

**APPROVED** this 18<sup>th</sup> day of January, 2022, by the President of the Village of Tinley Park.

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Village President

ATTEST:

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Village Clerk



## **EXHIBIT 1**



STATE OF ILLINOIS            )  
COUNTY OF COOK            )       SS  
COUNTY OF WILL            )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-008, “**A RESOLUTION AUTHORIZING A GEOGRAPHIC INFORMATION SYSTEM (GIS) CONSORTIUM SERVICE PROVIDER CONTRACT BY AND BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL GIS PARTNERS, INCORPORATED,**” which was adopted by the President and Board of Trustees of the Village of Tinley Park on January 18, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18th day of January, 2022.

\_\_\_\_\_  
VILLAGE CLERK



## GIS CONSORTIUM SERVICE PROVIDER CONTRACT

This contract (this “**Contract**”) made and entered into this 1st day of January, 2022 (the “**Effective Date**”), by and between the Village of Tinley Park, an Illinois municipal corporation (hereinafter referred to as the “**Municipality**”), and Municipal GIS Partners, Incorporated, 701 Lee Street, Suite 1020, Des Plaines, Illinois 60016 (hereinafter referred to as the “**Consultant**”).

**WHEREAS**, the Municipality is a member of the Geographic Information System Consortium (“**GISC**”);

**WHEREAS**, the Consultant is a designated service provider for the members of GISC and is responsible for providing the necessary professional staffing resource support services as more fully described herein (the “**Services**”) in connection with the Municipality’s geographical information system (“**GIS**”);

**WHEREAS**, the Municipality desires to engage the Consultant to provide the Services on the terms set forth herein; and

**WHEREAS**, the Consultant hereby represents itself to be in compliance with Illinois statutes relating to professional registration applicable to individuals performing the Services hereunder and has the necessary expertise and experience to furnish the Services upon the terms and conditions set forth herein.

**NOW, THEREFORE**, in consideration of the foregoing and of the promises hereinafter set forth, it is hereby agreed by and between the Municipality and the Consultant that:

### SECTION 1 SCOPE OF SERVICES

1.1 Statement of Work. This Contract contains the basic terms and conditions that will govern the overall relationship between the Consultant and the Municipality. The Consultant will provide the Services described in the statement of work attached hereto as **Attachment 1** (“**Statement of Work**”), which shall become a part of and subject to this Contract.

1.2 Supplemental Statements of Work. Any additional services to be performed by the Consultant may be added to this Contract after the Effective Date by the mutual agreement of the parties, which agreement will be evidenced by mutual execution of a Supplemental Statement of Work which shall also be subject to the terms and conditions set forth in this Contract, substantially in the form attached hereto as **Exhibit A**.

1.3 Additional Compensation. If the Consultant wishes to make a claim for additional compensation as a result of action taken by the Municipality, the Consultant shall give written notice of its claim within fifteen (15) days after occurrence of such action. Regardless of the decision of the Municipality Manager relative to a claim submitted by the Consultant, all work required under this Contract as determined by the Municipality Manager shall proceed without interruption.



1.4 Contract Governs. If there is a conflict between the terms of this Contract and the Statement of Work or any Supplemental Statement of Work, unless otherwise specified in such Statement of Work, the terms of this Contract shall supersede the conflicting provisions contained in such Statement of Work.

## **SECTION 2 PERFORMANCE OF WORK**

2.1 All work hereunder shall be performed under the direction of the Village Manager or their designee (hereinafter referred to as the “*Municipality Manager*”) in accordance with the terms set forth in this Contract and each relevant Statement of Work.

## **SECTION 3 RELATIONSHIP OF PARTIES**

3.1 Independent Contractor. The Consultant shall at all times be an independent contractor, engaged by the Municipality to perform the Services. Nothing contained herein shall be construed to constitute a partnership, joint venture or agency relationship between the parties.

3.2 Consultant and Employees. Neither the Consultant nor any of its employees shall be considered to be employees of the Municipality for any reason, including but not limited to for purposes of workers’ compensation law, Social Security, or any other applicable statute or regulation.

3.3 No Authority to Bind. Unless otherwise agreed to in writing, neither party hereto has the authority to bind the other to any third party or to otherwise act in any way as the representative of the other.

## **SECTION 4 PAYMENT TO THE CONSULTANT**

4.1 Payment Terms. The Municipality agrees to pay the Consultant in accordance with the terms and amounts set forth in the applicable Statement of Work, provided that:

(a) The Consultant shall submit invoices in a format approved by the Municipality.

(b) The Consultant shall maintain records showing actual time devoted to each aspect of the Services performed and cost incurred. The Consultant shall permit the authorized representative of the Municipality to inspect and audit all data and records of the Consultant for work done under this Contract. The Consultant shall make these records available at reasonable times during this Contract period, and for a year after termination of this Contract.

(c) The service rates and projected utilization set forth in the applicable Statement of Work shall adjust each calendar year in accordance with the annual rates approved by the Board of Directors of GISC which shall be reflected in a Supplemental Statement of Work.



(d) Payments to the Consultant shall be made pursuant to the Illinois Local Government Prompt Payment Act (50 ILCS 505/1 et seq.).

(e) The Municipality is a tax-exempt municipality and will provide Consultant with a copy of the Municipality's current sales tax exemption certificate. Consultant shall not charge the Municipality any tax incurred by the Consultant for these Services.

4.2 Service Rates. The service rates set forth in the Statement of Work and Supplemental Statement of Work include all applicable federal, state, and local taxes of every kind and nature applicable to the Services as well as all taxes, contributions, and premiums for unemployment insurance, old age or retirement benefits, pensions, annuities, or similar benefits and all costs, royalties and fees arising from the use of, or the incorporation into, the Services, of patented or copyrighted equipment, materials, supplies, tools, appliances, devices, processes, or inventions. All claim or right to claim additional compensation by reason of the payment of any such tax, contribution, premium, costs, royalties, or fees is hereby waived and released by Consultant.

## SECTION 5 TERM

5.1 Initial Term. Subject to earlier termination pursuant to the terms of this Contract, the initial term of this Contract shall commence on the Effective Date and remain in effect for **one (1) year** (the "**Initial Term**").

5.2 Renewal Terms. The Initial Term may be extended for successive one (1) year periods or for any other period as mutually agreed to in writing and set forth in a Supplemental Statement of Work executed by both parties (each, a "**Renewal Term**").

## SECTION 6 TERMINATION OF CONTRACT

6.1 Voluntary Termination. Notwithstanding any other provision hereof, the Municipality may terminate this Contract during the Initial Term or any Renewal Term, with or without cause, at any time upon ninety (90) calendar days prior written notice to the Consultant. The Consultant may terminate this Contract or additional Statement of Work, with or without cause, at any time upon one hundred eighty (180) calendar days prior written notice to the Municipality.

6.2 Termination for Breach. Either party may terminate this Contract upon written notice to the other party following a material breach of a material provision of this Contract by the other party if the breaching party does not cure such breach within fifteen (15) days of receipt of written notice of such breach from the non-breaching party.

6.3 Payment for Services Rendered. In the event that this Contract is terminated in accordance with this Section 6, the Consultant shall be paid for services actually performed and reimbursable expenses actually incurred.



## SECTION 7 CONSULTANT PERSONNEL AND SUBCONTRACTORS

7.1 Adequate Staffing. The Consultant must assign and maintain during the term of this Contract and any renewal thereof, an adequate staff of competent employees, agents, or subcontractors (“*Consultant Personnel*”) that is fully equipped, licensed as appropriate and qualified to perform the Services as required by the Statement of Work or Supplemental Statement of Work.

7.2 Availability of Personnel. The Consultant shall notify the Municipality as soon as practicable prior to terminating the employment of, reassigning, or receiving notice of the resignation of, any Consultant Personnel assigned to provide the Municipality with the Services. The Consultant shall have no claim for damages and shall not bill the Municipality for additional time and materials charges as the result of any portion of the Services which must be duplicated or redone due to such termination or for any delay or extension of the time of performance as a result of any such termination, reassigning, or resignation.

7.3 Use of Subcontractors. The Consultant’s use of any subcontractor or subcontract to perform the Services shall not relieve the Consultant of full responsibility and liability for the provision, performance, and completion of the Services as required by this Contract. All Services performed under any subcontract shall be subject to all of the provisions of this Contract in the same manner as if performed by employees of the Consultant. Consultant shall be fully responsible and assumes liability for the acts and omissions of all subcontractors directly or indirectly employed by, or working at the direction of, the Consultant in the performance of the Services.

7.4 Removal of Personnel and Subcontractors. Municipality may, upon written notice to Consultant, request that any Consultant Personnel be removed or replaced. Consultant shall promptly endeavor to replace such Consultant Personnel and Municipality shall have no claim for damages for a delay or extension of the applicable Statement of Work as a result of any such removal or replacement.

7.5 Non-Solicitation of Consultant Employees. The Municipality agrees that during the term of this Contract and for a period of one (1) year thereafter, it shall not, directly or indirectly, through any other person, firm, corporation or other entity, solicit, induce, encourage or attempt to induce or encourage any employee of the Consultant to terminate his or her employment with the Consultant or to breach any other obligation to the Consultant. The Municipality acknowledges that the aforementioned restrictive covenant contained in this Section is reasonable and properly required for the adequate protection of the Consultant’s business.

## SECTION 8 ACCOMMODATION OF CONSULTANT PERSONNEL; MUNICIPAL FACILITIES

8.1 Facilities, Equipment, and Records. The Municipality shall provide the Consultant with adequate office space, furnishings, records, hardware, software and connectivity to fulfill the objectives of the GIS program. Facilities, equipment, and records include, but are not limited to, the following:



- (a) Office space for the Consultant's Personnel. This space should effectively and securely house all required GIS systems, peripherals and support tools. This space must be available during normal business hours;
- (b) Furnishings including adequate desk(s), shelving, and seating for the Consultant's Personnel;
- (c) A telephone line and phone to originate and receive outside calls;
- (d) A network connection with adequate speed and access to the Internet;
- (e) Hardware, software, peripherals, and network connectivity to perform the program objectives efficiently; and
- (f) Any Municipality data or record which is necessary for carrying out the work as outlined in the Contract, Statement of Work or Supplemental Statement of Work.

8.2 Backup and Recovery Systems. The Municipality shall be responsible for installing, operating and monitoring the backup and recovery systems for all the Municipality's GIS assets that permit the Consultant to continue Services within a reasonable period of time following a disaster or outage. The Consultant shall be responsible for installing, operating and monitoring the backup and recovery systems for all Consultant's assets that permit the Municipality to continue accessing the GISC Materials and Services within a reasonable period of time following a disaster or outage.

8.3 Right of Entry; Limited Access. Consultant's Personnel performing Services shall be permitted to enter upon the Municipality's property in connection with the performance of the Services, subject to those rules established by the Municipality. Consent to enter upon a Municipality's facility given by the Municipality shall not create, nor be deemed to imply, the creation of any additional responsibilities on the part of the Municipality. Consultant's Personnel shall have the right to use only those facilities of the Municipality that are necessary to perform the Services and shall have no right to access any other facilities of the Municipality.

## SECTION 9

### CONFIDENTIAL INFORMATION; INTELLECTUAL PROPERTY; FOIA

9.1 Municipal Materials. The Consultant acknowledges and agrees that all trademarks, service marks, logos, tradenames and images provided by or on behalf of the Municipality to the Consultant for use in performing the Services and the GIS database (including files created from the database) created by Consultant hereunder (the "***Municipal Materials***") are the sole and exclusive property of the Municipality. The Consultant acknowledges that this Contract is not a license to use the Municipal Materials except as needed to perform the Services hereunder.

9.2 Third-Party Materials. If applicable, to the extent the Consultant has agreed to obtain and/or license Third-Party Materials on behalf of Municipality, the Consultant shall obtain a license for Municipality to use the Third-Party Materials as part of the Services for the purpose specified in the applicable Statement of Work. "***Third-Party Materials***" shall include, but are not limited to, computer software, script or programming code or other materials owned by third



parties and/or any software available from third parties, that is licensed by Consultant for the benefit of the Municipality.

9.3 GISC Materials. It is expressly understood that, excluding the Municipal Materials and Third-Party Materials, all members of GISC and the Consultant may use or share in any improvements or modifications incorporated into any computer software (in object code and source code form), script or programming code used or developed by the Consultant in providing Services hereunder (the “**GISC Materials**”).

(a) The Consultant hereby grants the Municipality a limited, personal, nontransferable, non-exclusive license to use the GISC Materials solely for the purpose of and in connection with the Municipality’s GIS. Upon expiration or termination of this Contract, or at such time the Municipality is no longer a member of GISC or in breach of its obligations hereunder, the Municipality shall not be entitled to or granted a license in future enhancements, improvements or modifications in the GISC Materials. The Municipality may grant a sublicense to a third party that the Municipality engages to maintain or update the GISC Materials in connection with the Municipality’s GIS; provided that such third party agrees in writing to be bound by the license restrictions set forth in this Contract.

(b) The Municipality acknowledges that the Consultant is in the business of providing staffing resource support services and that the Consultant shall have the right to provide services and deliverables to third parties that are the same or similar to the services that are to be rendered under this Contract, and to use or otherwise exploit any GISC Materials in providing such services. The Municipality hereby grants to the Consultant, a royalty-free, non-exclusive, irrevocable license throughout the world to publish modify, transfer, translate, deliver, perform, use and dispose of in any manner any portion of the GISC Materials.

9.4 Confidential Information. In the performance of this Contract, the Consultant may have access to or receive certain information in the possession of the Municipality that is not generally known to members of the public (“**Confidential Information**”). The Consultant acknowledges that Confidential Information includes, but is not limited to, proprietary information, copyrighted material, educational records, employee data, financial information, information relating to health records, resident account information, and other information of a personal nature. Consultant shall not use or disclose any Confidential Information without the prior written consent of the Municipality. Consultant will use appropriate administrative, technical and physical safeguards to prevent the improper use or disclosure of any Confidential Information received from or on behalf of the Municipality. Upon the expiration or termination of this Contract, Consultant shall promptly cease using and shall return or destroy (and certify in writing destruction of) all Confidential Information furnished by the Municipality along with all copies thereof in its possession including copies stored in any computer memory or storage medium. The term “Confidential Information” does not include information that (a) is or becomes generally available to the public other than as a result of a breach of this Contract by the Consultant; (b) was in the Consultant’s or Consultant Personnel’s possession on a non-confidential basis from any source other than the Municipality, which source, to the knowledge of the Consultant, is entitled to disclose such information without breach of any obligation of confidentiality; (c) is independently developed by the Consultant without the use of or reference to, in whole or in part, any Confidential Information; (d) required to be disclosed pursuant to a court order issued by a



court having jurisdiction thereof (subject to Section 9.5); or (e) information subject to disclosure under FOIA (as defined below in Section 9.6). For avoidance of doubt, it is agreed that the GISC Materials shall not be considered Confidential Information.

9.5 Dissemination of Confidential Information. Unless directed by the Municipality, Consultant shall not disseminate any Confidential Information. If Consultant is presented with a request for documents by any administrative agency or with a subpoena *duces tecum* regarding any Confidential Information which may be in Consultant's possession as a result of Services provided under this Contract, unless prohibited by law, Consultant shall immediately give notice to the Municipality with the understanding that the Municipality shall have the opportunity to contest such process by any means available to it prior to submission of any documents to a court or other third party. Consultant shall not be obligated to withhold delivery of documents beyond the time ordered by a court of law or administrative agency, unless the request for production or subpoena is quashed or withdrawn, or the time to produce is otherwise extended. Consultant shall cause its personnel, staff and subcontractors, if any, to undertake the same obligations regarding confidentiality and dissemination of information as agreed to by Consultant under this Contract.

9.6 Freedom of Information Act Requests. Within four (4) business days after the Municipality's Notice to the Consultant of the Municipality's receipt of a request made pursuant to the Illinois Freedom of Information Act (ILCS 140/1 et seq. – herein "FOIA"), the Consultant shall furnish all requested records in the Consultant's possession which are in any manner related to this Contract or the Consultant's performance of the Services, including but not limited to any documentation related to the Municipality and associated therewith. The Consultant shall not apply any costs or charge any fees to the Municipality or any other person, firm or corporation for its procurement and retrieval of such records in the Consultant's possession which are sought to be copied or reviewed in accordance with such FOIA request or requests. The Consultant shall defend, indemnify and hold harmless the Municipality including its several departments and including its officers and employees and shall pay all of the Consultant's Costs associated with such FOIA request or requests including Costs arising from the Consultant's failure or alleged failure to timely furnish such documentation and/or arising from the Consultant's failure or alleged failure otherwise to comply with the FOIA, whether or not associated with the Consultant's and/or the Municipality's defense of any litigation associated therewith. In addition, if the Consultant requests the Municipality to deny the FOIA request or any portion thereof by utilizing one or more of the lawful exemptions provided for in the FOIA, the Consultant shall pay all Costs in connection therewith. As used herein, "in the Consultant's possession" includes documents in the possession of any of the Consultant's officers, agents, employees and/or independent contractors; and "Costs" includes but is not limited to attorneys' fees, witness fees, filing fees and any and all other expenses — whether incurred by the Municipality or the Consultant.

9.7 News Releases. The Consultant may not issue any news releases without prior approval from the Municipality Manager nor will the Consultant make public proposals developed under this Contract without prior written approval from the Municipality Manager.

9.8 Survive Termination. The provisions of Section 9.1 and 9.4 through and including 9.8 shall survive the termination of this Contract.



## SECTION 10 LIMITATION OF LIABILITY

10.1 THE REPRESENTATIONS SET FORTH IN THIS CONTRACT ARE EXCLUSIVE AND IN LIEU OF ALL OTHER REPRESENTATIONS AND WARRANTIES, EXPRESS OR IMPLIED, ARISING BY LAW OR OTHERWISE, INCLUDING BUT NOT LIMITED TO ANY FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTIES ARISING FROM TRADE USAGE, COURSE OF DEALING OR COURSE OF PERFORMANCE. UNDER NO CIRCUMSTANCES SHALL EITHER THE CONSULTANT OR THE MUNICIPALITY BE LIABLE TO THE OTHER FOR ANY INDIRECT, CONSEQUENTIAL, SPECIAL OR INCIDENTAL DAMAGES, INCLUDING LOST SALES OR PROFITS, IN CONNECTION WITH THIS CONTRACT, EVEN IF IT HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

## SECTION 11 CONSULTANT WARRANTY; INDEMNIFICATION; INSURANCE

11.1 Warranty of Services. The Consultant warrants that the Services shall be performed in accordance with industry standards of professional practice, care, and diligence practiced by recognized consulting firms in performing services of a similar nature in existence at the time of the Effective Date.

11.2 Indemnification. The Consultant shall indemnify and save harmless the Municipality and its officers, employees, and agents from and against any and all loss, liability and damages of whatever nature, including Workmen's Compensation claims by Consultant's employees, in any way resulting from or arising out of the intentional, willful and wanton, negligent and/or gross negligent actions or omissions of the Consultant, the Consultant's employees and agents.

11.3 Insurance. The Consultant must procure and maintain, for the duration of this Contract, insurance as provided in ***Attachment 2*** to this Contract.

11.4 No Personal Liability No official, director, officer, agent, or employee of any party shall be charged personally or held contractually liable by or to the other party under any term or provision of this Contract or because of its or their execution, approval or attempted execution of this Contract.

## SECTION 12 GENERAL PROVISIONS

12.1 Equal Employment Opportunity Clause. In the event of the Consultant's non-compliance with the provisions of this Section 12.1 or the Illinois Human Rights Act, 775 ILCS 5/1-101, *et seq.*, as it may be amended from time to time, and any successor thereto (the "***Act***"), the Consultant may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and this Contract may be cancelled or voided in whole or in part, and other sanctions or penalties may be imposed or



remedies invoked as provided by statute or regulation. During the performance of this Contract, the Consultant agrees as follows:

(a) The Consultant will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, marital status, order of protection status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, military status or an unfavorable discharge from military service; and, further, the Consultant will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any underutilization.

(b) That, if the Consultant hires additional employees in order to perform this Contract or any portion of this Contract, the Consultant will determine the availability (in accordance with 44 Ill. Admin. C. 750.5, *et seq.*, as it may be amended from time to time, and any successor thereto (the “**Applicable Regulations**”)) of minorities and women in the areas from which the Consultant may reasonably recruit and the Consultant will hire for each job classification for which employees are hired in a way that minorities and women are not underutilized.

(c) That, in all solicitations or advertisements for employees placed by the Consultant or on the Consultant’s behalf, the Consultant will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, order of protection status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, military status or an unfavorable discharge from military service.

(d) That the Consultant will send to each labor organization or representative of workers with which the Consultant has or is bound by a collective bargaining or other agreement or understanding, a notice advising the labor organization or representative of the Consultant’s obligations under the Act and the Applicable Regulations. If any labor organization or representative fails or refuses to cooperate with the Consultant in the Consultant’s efforts to comply with the Act and the Applicable Regulations, the Consultant will promptly notify the Illinois Department of Human Rights (the “**Department**”) and the Municipality and will recruit employees from other sources when necessary to fulfill its obligations under the Contract.

(e) That the Consultant will submit reports as required by the Applicable Regulations, furnish all relevant information as may from time to time be requested by the Department or the Municipality, and in all respects comply with the Act and the Applicable Regulations.

(f) That the Consultant will permit access to all relevant books, records, accounts and work sites by personnel of the Municipality and the Department for purposes of investigation to ascertain compliance with the Act and the Department's Rules and Regulations.

(g) That the Consultant will include verbatim or by reference the provisions of this Section 12.1 in every subcontract awarded under which any portion of the Contract obligations are undertaken or assumed, so that the provisions will be binding upon the subcontractor. In the same manner as with other provisions of this Contract, the Consultant will be liable for compliance with applicable provisions of this Section 12.1 by subcontractors; and further the Consultant will



promptly notify the Municipality and the Department in the event any subcontractor fails or refuses to comply with the provisions. In addition, the Consultant will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

12.2 No Collusion. The Consultant represents and certifies that the Consultant is not barred from contracting with a unit of state or local government as a result of (i) a delinquency in the payment of any tax administered by the Illinois Department of Revenue unless the Consultant is contesting, in accordance with the procedures established by the appropriate revenue act, its liability for the tax or the amount of the tax, as set forth in Section 11-42.1-1 et seq. of the Illinois Municipal Code, 65 ILCS 5/11-42.1-1 *et seq.*; or (ii) a violation of either Section 33E-3 or Section 33E-4 of Article 33E of the Criminal Code of 1961, 720 ILCS 5/33E-1 *et seq.*

12.3 Sexual Harassment Policy. The Consultant certifies that it has a written sexual harassment policy in full compliance with Section 2-105(A)(4) of the Illinois Human Rights Act, 775 ILCS 5/2-105(A)(4).

12.4 Compliance with Laws and Grants. Consultant shall give all notices, pay all fees, and take all other action that may be necessary to ensure that the Services are provided, performed, and completed in accordance with all required governmental permits, licenses, or other approvals and authorizations that may be required in connection with providing, performing, and completing the Services, and with all applicable statutes, ordinances, rules, and regulations, including without limitation the Fair Labor Standards Act; any statutes regarding qualification to do business; any statutes prohibiting discrimination because of, or requiring affirmative action based on, race, creed, color, national origin, age, sex, or other prohibited classification, including, without limitation, the Americans with Disabilities Act of 1990, 42 U.S.C. §§ 12101 et seq., and the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq. Consultant shall also comply with all conditions of any federal, state, or local grant received by Municipality or Consultant with respect to this Contract or the Services.

12.5 Assignments and Successors. This Contract and each and every portion thereof shall be binding upon the successors and the assigns of the parties hereto; provided, however, that no assignment, delegation or subcontracting shall be made without the prior written consent of the Municipality.

12.6 Severability. The parties intend and agree that, if any paragraph, subparagraph, phrase, clause, or other provision of this Contract, or any portion thereof, shall be held to be void or otherwise unenforceable, all other portions of this Contract shall remain in full force and effect.

12.7 Third Party Beneficiary. No claim as a third party beneficiary under this Contract by any person, firm, or corporation other than the Consultant shall be made or be valid against the Municipality.

12.8 Waiver. No waiver of any provision of this Contract shall be deemed to or constitute a waiver of any other provision of this Contract (whether or not similar) nor shall any such waiver be deemed to or constitute a continuing waiver unless otherwise expressly provided in this Contract.



12.9 Governing Laws. This Contract shall be interpreted according to the internal laws, but not the conflict of laws rules, of the State of Illinois. Venue shall reside in Cook County, Illinois.

12.10 Headings. The headings of the several paragraphs of this Contract are inserted only as a matter of convenience and for reference and in no way are they intended to define, limit, or describe the scope of intent of any provision of this Contract, nor shall they be construed to affect in any manner the terms and provisions hereof or the interpretation or construction thereof.

12.11 Modification or Amendment. This Contract constitutes the entire Contract of the parties on the subject matter hereof and may not be changed, modified, discharged, or extended except by written amendment or Supplemental Statement of Work duly executed by the parties. Each party agrees that no representations or warranties shall be binding upon the other party unless expressed in writing herein or in a duly executed amendment hereof.

12.12 Attachments and Exhibits. Attachments 1 and 2 and Exhibit A are attached hereto, and by this reference incorporated in and made a part of this Contract. In the event of a conflict between any Attachment or Exhibit and the text of this Contract, the text of this Contract shall control. In the event of any conflict or inconsistency between the terms of this Contract and any Supplemental Statement of Work, the terms of the Supplemental Statement of Work will govern and control with respect to the term, projected utilization rates, service rates and scope of services.

12.13 Rights Cumulative. Unless expressly provided to the contrary in this Contract, each and every one of the rights, remedies, and benefits provided by this Contract shall be cumulative and shall not be exclusive of any other such rights, remedies, and benefits allowed by law.

12.14 Good Faith Negotiation. Before commencing any legal action, the parties agree to enter into good faith negotiations to resolve any controversy, claim, or dispute (“*Dispute*”). Such good faith negotiations shall commence promptly upon a party’s receipt of notice of any Dispute from the other party and continue for a period of fourteen (14) days or any period of time as mutually agreed upon.

12.15 Notices. All notices, reports and documents required under this Contract shall be in writing (including prepaid overnight courier, electronic transmission or similar writing) and shall be given to such party at its address or e-mail address set forth below, or at such other address or e-mail address as such party may hereafter specify from time to time. Each such notice shall be effective (i) if given by first class mail or prepaid overnight courier, when received, or (ii) if sent to an e-mail address, upon the sender’s receipt of an acknowledgment from the intended recipient (such as by the “return receipt requested” function, as available, return e-mail or other written acknowledgment).

If to Municipality: Village of Tinley Park  
Pat Carr  
16250 Oak Park Ave  
Tinley Park, IL 60477



Attention: Pat Carr  
E-mail: pcarr@tinleypark.org

If to Consultant: Municipal GIS Partners, Incorporated  
Thomas A. Thomey  
701 Lee Street, Suite 1020  
Des Plaines, IL 60016  
Attention: Thomas Thomey  
E-mail: tthomey@mgpinc.com

12.16 Force Majeure. No party to this Contract shall be responsible or liable for, or deemed in breach hereof because of, any delay in the performance of its respective obligations under this Contract to the extent that such delay is due substantially to circumstances beyond the party's reasonable control and without the fault or negligence of the party experiencing such delay. Such circumstances may include, but are not limited to, any act of God, fire or other casualty, epidemic, quarantine, "stay home" or similar order, epidemic, quarantine, "stay home" or similar order, strike or labor dispute, embargo, war or violence, act of terrorism, or any law, order, proclamation, ordinance, demand, requirement, action or inaction of any national, state, provincial, local, or other government or governmental agency (each, a "*Force Majeure*"). Upon the occurrence of a Force Majeure, the party experiencing the Force Majeure shall notify the other party in writing immediately following such Force Majeure, but in no case later than three (3) business days after such party becomes aware of the occurrence of the Force Majeure. The written notification shall provide a reasonably detailed explanation of the Force Majeure.

12.17 Counterpart Execution. This Contract, Statement of Work or any Supplemental Statement of Work may be executed in several counterparts, each of which, when executed, shall be deemed to be an original, but all of which together shall constitute one and the same instrument.

12.18 Tort Immunity Defenses. Nothing contained in the Contract is intended to constitute, and nothing in the Contract will constitute, a waiver of the rights, defenses, and immunities provided or available to the Municipality under the Local Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10 et seq. or any other applicable State law.

**[REMAINDER INTENTIONALLY LEFT BLANK; SIGNATURE PAGE FOLLOWS]**



**IN WITNESS WHEREOF**, the undersigned have placed their hands and seals hereto as of the date first above written.

ATTEST:

**VILLAGE OF TINLEY PARK**

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

ATTEST:

**CONSULTANT:**

**MUNICIPAL GIS PARTNERS,  
INCORPORATED**

By: Donna J. Thomey  
Name: Donna Thomey  
Its: Management Support Specialist

By: Thomas A. Thomey  
Name: Thomas A. Thomey  
Its: President and General Manager



## **Attachment 1**

### **Statement of Work to GIS Consortium Service Provider Contract**

1) General Purpose. The Consultant will perform all or part of the Municipality's geographic information system (GIS) management, development, operation, and maintenance. In addition to supporting the existing GIS program, the Consultant will identify opportunities for continued development and enhancement.

The Municipality will be sharing management, development, maintenance expertise and staffing with other municipalities as a member of the Geographic Information System Consortium (GISC). The benefits to the Municipality include, but are not limited to, collective bargaining for rates and services, shared development costs, and joint purchasing and training.

The Consultant is the sole Service Provider for the GISC and is responsible for providing the necessary GIS professional resources to support this entity. The Consultant will facilitate and manage resource, cost, and technical innovation sharing among GISC members.

2) Service Types. The Consultant will provide two (2) service types. The intent of this distinction is to track specific types of investment without overburdening general operation of the GIS program. Many of these services will go unnoticed but are required to sustain the GIS program. The Consultant will employ reasonable professional discretion when specific direction is not provided. The two (2) services types are as follows:

A. Services related to the direct management, development, operation, and maintenance of the GIS required to reasonably support the system.

B. Services relating to the investigation, research, and development of new functionality and capability for the GIS Consortium and its members.

3) Services. The Consultant will provide the necessary resources to support the GIS program. The allocation of these resources will be reasonably commensurate with the level of expertise required to fulfill the specific task which includes, but is not limited to, the following:

A. The Site Analyst provides the daily operation, maintenance, and support of the program for the Municipality, either physically on-site or remotely (as reasonably determined by the Consultant after consultation with the Municipality with respect to its need). The Site Analyst is responsible for database management and data quality, map and product development, user training and help-desk, project identification and program documentation.

B. The Shared Analyst provides technical support to the Site Analyst and the Municipality including trouble-shooting and project implementation. The Shared Analyst is responsible for developing, testing, and managing the GISC shared solutions including the standard data model and processes, centralized databases, and shared solutions.



C. The Client Account Manager is responsible for the coordination and operation of the program for the Municipality including leadership alignment and reporting, planning and budgeting, resource allocation, and performance management.

D. The Manager is responsible for the overall GISC program including the development and implementation of new shared opportunities based on the direction and instructions of the GISC Board of Directors.

4) Projected Utilization and Service Rates. The service rates set forth below are based on, among other things, the negotiated annual projected utilization of all GISC members. The Consultant shall negotiate annually with the Board of Directors (the “**Board**”) of GISC to adjust the annual projected utilization and service rates for the members of GISC. It is anticipated that the Consultant will submit its proposed annual projected utilization and service rates (the “**Proposal**”) to the Board for approval every year on or about July 31st. Upon the Board’s approval of the Proposal, the annual projected utilization and service rates shall become binding on the Municipality and incorporated into this Contract by reference, which shall automatically become effective on January 1st and remain in effect for the remainder of such calendar year. The approved annual projected utilization and the service rates will be promptly distributed by the Board or the Consultant to the Municipality. Notwithstanding the foregoing, in the event the Board, for any reason whatsoever (including the Board being disbanded) does not approve the Proposal, the Consultant may submit its proposed annual projected utilization and service rates directly to the Municipality by no later than October 1st, and upon written approval by the Municipality shall become effective on January 1st. Consultant agrees that, each year, the new aggregate annual contract value for the Municipality will not exceed the greater of (i) cost-of-living adjustments based on the CPI<sup>1</sup> measured as of the most recent CPI number available prior to submitting the Proposal, or (ii) 3%. The GISC service and projected utilization rates set forth below are effective as of the Effective Date until December 31 of such calendar year:

A. Projected Utilization

1. 989 hours of Site Analyst
2. 255 hours of Shared Analyst
3. 99 hours of Client Account Manager
4. 78 hours of Manager

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<sup>1</sup>For purposes of this Contract, “CPI” shall mean the all items Consumer Price Index for all Urban Consumers in the Chicago-Gary-Kenosha area. In the event that publication or issuance of the Index is discontinued or suspended, the CPI shall be an index published or issued by the United States Department of Labor or any bureau or agency thereof that computes information from substantially the same statistical categories and substantially the same geographic areas as those computed in the CPI and that weights such categories in a substantially similar way to the weighting of the CPI at the Effective Date. The CPI rates, solely for reference purposes, may be accessed at <http://www.bls.gov/ro5/cpichi.htm>, it being understood that the Consultant makes no representation or warranty that the rates published on such website are accurate.



## B. Service Rates

1. \$94.11 per hour for Site Analyst
2. \$94.11 per hour for Shared Analyst
3. \$111.44 per hour for Client Account Manager
4. \$135.34 per hour for Manager

Total Not-to-Exceed Amount for Services (Numbers): \$138,661.00.

Total Not-to-Exceed Amount for Services (Figures): One Hundred Thirty Eight Thousand Six Hundred Sixty One Dollars and No Cents.



**Attachment 2****To GIS Consortium Service Provider Contract****Insurance****Consultant's Insurance**

Consultant shall procure and maintain, for the duration of this Contract, insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of the work hereunder by the Consultant, its agents, representatives, employees or subcontractors.

A. **Minimum Scope of Insurance:** Coverage shall be at least as broad as:

1. Insurance Services Office Commercial General Liability occurrence form CG 0001 with the Municipality named as additional insured, on a form at least as broad as the ISO Additional Insured Endorsement CG 2010 and CG 2026.

2. Insurance Service Office Business Auto Liability coverage form number CA 0001, Symbol 01 "Any Auto" with the Municipality named as additional insured, on a form at least as broad as the ISO Additional Insured Endorsement.

3. Workers' Compensation as required by the Labor Code of the State of Illinois and Employers' Liability insurance (the policy shall include a 'waiver of subrogation').

B. **Minimum Limits of Insurance:** Consultant shall maintain limits no less than:

1. **Commercial General Liability:** \$1,000,000 combined single limit per occurrence for bodily injury, personal injury and property damage. The general aggregate shall be twice the required occurrence limit. Minimum General Aggregate shall be no less than \$2,000,000 or a project/contract specific aggregate of \$1,000,000.

2. **Business Automobile Liability:** \$1,000,000 combined single limit per accident for bodily injury and property damage.

3. **Workers' Compensation and Employers' Liability:** Workers' Compensation coverage with statutory limits and Employers' Liability limits of \$500,000 per accident.

C. **Deductibles and Self-Insured Retentions:** Any deductibles or self-insured retentions must be declared to and approved by the Municipality. At the option of the Municipality, either: (1) the insurer shall reduce or eliminate such deductibles or self-insured retentions as it respects the Municipality, its officials, agents, employees and volunteers; or (2) the Consultant shall procure a bond guaranteeing payment of losses and related investigation, claim administration and defense expenses.



D. Other Insurance Provisions: The policies are to contain, or be endorsed to contain, the following provisions:

1. General Liability and Automobile Liability Coverages: The Municipality, its officials, agents, employees and volunteers are to be covered as insureds as respects: liability arising out of activities performed by or on behalf of the Consultant; products and completed operations of the Consultant; premises owned, leased or used by the Consultant; or automobiles owned, leased, hired or borrowed by the Consultant. The coverage shall contain no special limitations on the scope of protection afforded to the Municipality, its officials, agents, employees and volunteers.

2. The Consultant's insurance coverage shall be primary as respects the Municipality, its officials, agents, employees and volunteers. Any insurance or self-insurance maintained by the Municipality, its officials, agents, employees and volunteers shall be excess of Consultant's insurance and shall not contribute with it.

3. Any failure to comply with reporting provisions of the policies shall not affect coverage provided to the Municipality, its officials, agents, employees and volunteers.

4. The Consultant's insurance shall contain a Severability of Interests/Cross Liability clause or language stating that Consultant's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

5. If any commercial general liability insurance is being provided under an excess or umbrella liability policy that does not "follow form," then the Consultant shall be required to name the Municipality, its officials, employees, agents and volunteers as additional insureds

6. All general liability coverages shall be provided on an occurrence policy form. Claims-made general liability policies will not be accepted.

7. The Consultant and all subcontractors hereby agree to waive any limitation as to the amount of contribution recoverable against them by the Municipality. This specifically includes any limitation imposed by any state statute, regulation, or case law including any Workers' Compensation Act provision that applies a limitation to the amount recoverable in contribution such as *Kotecki v. Cyclops Welding*. Consultant agrees to indemnify and defend the Municipality from and against all such loss, expense, damage or injury, including reasonable attorneys' fees, which the Municipality may sustain as a result of personal injury claims by Consultant's employees, except to the extent those claims arise as a result of the Municipality's own negligence.

E. All Coverages: Each insurance policy required by this paragraph shall be endorsed to state that coverage shall not be suspended, voided, cancelled, reduced in coverage or in limits except after thirty (30) days prior written notice by certified mail, return receipt requested, has been given to the Municipality.



F. Acceptability of Insurers: Insurance is to be placed with insurers with a Best's rating of no less than A-, VII and licensed to do business in the State of Illinois.

G. Verification of Coverage: Consultant shall furnish the Municipality with certificates of insurance naming the Municipality, its corporate authorities, officials, officers, agents, employees, and volunteers as additional insured's and with original endorsements, affecting coverage required herein. The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. The certificates and endorsements are to be received and approved by the Municipality before any work commences. The Municipality reserves the right to request full certified copies of the insurance policies and endorsements.



# STAFF COMMENT



# **BOARD COMMENT**



# **PUBLIC COMMENT**



# **EXECUTIVE SESSION**

## **ADJOURN TO EXECUTIVE SESSION TO DISCUSS:**

- A. DISCUSSION OF MINUTES OF MEETINGS LAWFULLY CLOSED UNDER THIS ACT, WHETHER FOR PURPOSES OF APPROVAL BY THE BODY OF THE MINUTES OR SEMI-ANNUAL REVIEW OF THE MINUTES AS MANDATED BY SECTION 2.06.**
- B. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.**
- C. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.**



**ADJOURNMENT**