

**MEETING NOTICE**

**NOTICE IS HEREBY GIVEN** that the Special Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Wednesday, August 3, 2022, beginning at 6:30 PM in the Council Chambers at the Village Hall of Tinley Park, 16250 South Oak Park Avenue, Tinley Park, Illinois.

6:30 PM            CALL TO ORDER

                      PLEDGE OF ALLEGIANCE

                      ROLL CALL

**ITEM #1**

SUBJECT:            CONSIDER APPROVAL OF AGENDA

ACTION:            Discussion - **Consider approval of agenda as written or amended.**

COMMENTS: \_\_\_\_\_

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**ITEM #2**

SUBJECT:            CONSIDER APPROVAL OF MINUTES OF THE REGULAR  
VILLAGE BOARD MEETING HELD ON JULY 19, 2022

ACTION:            Discussion: **Consider approval of minutes as written or amended.**

COMMENTS: \_\_\_\_\_

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**ITEM #3**

SUBJECT:            CONDUCT A SWEARING IN CEREMONY FOR K9 POLICE OFFICERS -  
**Trustee Brennan and Clerk O'Connor**

ACTION:            Discussion: The following K9 Police Officers will be sworn in by the Village  
Clerk:

- K9 Helmut
- K9 Ron

**No specific action is required.**

COMMENTS: \_\_\_\_\_

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**ITEM #4**

SUBJECT: CONDUCT A SWEARING IN CEREMONY FOR POLICE OFFICERS -  
Trustee Brennan and Clerk O'Connor

ACTION: Discussion: The following Police Officers will be sworn in by the Village Clerk:

- Joseph Leone
- Kevin Lipman
- John "Jack" Sherlock

COMMENTS: **No specific action is required.**

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**ITEM #5**

SUBJECT: CONSIDER A PROCLAMATION RECOGNIZING SERGEANT CHRIS  
BUTLER FOR LIFE-SAVING ACTIONS - President Glotz

ACTION: Discussion: **Consider a Proclamation recognizing Tinley Park Police  
Department Sergeant Chris Butler for life-saving actions at the Tinley Park  
Block Party on Sunday, July 17, 2022.**

COMMENTS:

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**ITEM #6**

SUBJECT: CONSIDER A PROCLAMATION RECOGNIZING TINLEY PARK  
RESIDENT CARRIE GANSER FOR HER ACCOMPLISHMENTS AS A  
SPECIAL OLYMPICS MULTI-SPORT ATHLETE AND REPRESENTATIVE  
FOR ILLINOIS SPECIAL OLYMPICS PROGRAMS - President Glotz

ACTION: Discussion: **Consider a proclamation recognizing Tinley Park resident  
Carrie Ganser for her accomplishments as a Special Olympics Multi-Sport  
Athlete and Representative for Illinois Special Olympics programs.**

COMMENTS:

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**ITEM #7**

SUBJECT: RECEIVE PRESENTATIONS OF THE TINLEY PARK BUSINESS SPOTLIGHT - STRONG ESTHETICS - **President Glotz & Clerk O'Connor**

ACTION: Discussion: Strong Esthetics offers a comprehensive range of facial treatments, eyebrow and eyelash services, and waxing options. We are pleased to welcome Dana Armstrong, owner of Strong Esthetics. **No specific action required.**

COMMENTS: \_\_\_\_\_  
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**ITEM #8**

SUBJECT: CONSIDER THE APPOINTMENT OF VICTORIA SEDOROOK TO THE POSITION OF ASSISTANT POLICE RECORDS SUPERVISOR - **President Glotz**

ACTION: Discussion: Vicki joined the Tinley Park Police Department in 2005 and has been a full-time Police Clerk Matron and oversees Evidence. Over the last 17 years, Vicki has demonstrated competent performance and shown that she is skilled in all phases of the job making her uniquely qualified. She is a clear and concise communicator, can be relied upon to make sound decisions, and is willing to make difficult decisions when needed. She delegates with clearly defined responsibility and authority, is judicious in carrying out assignments without direction and is a self-starter. Vicki is recommended for promotion to the full-time position of Assistant Records Supervisor. **Consider appointing Victoria Sedorook to the position of Assistant Police Records Supervisor effective August 4, 2022.**

COMMENTS: \_\_\_\_\_  
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**ITEM #9**

SUBJECT: CONSIDER APPROVAL OF THE FOLLOWING CONSENT AGENDA ITEMS:

A. CONSIDER ADOPTING RESOLUTION 2022-R-091 APPROVING AN AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CARTEGRAPH FOR THE PURCHASE OF OMS OPERATING ACCESS IN THE AMOUNT OF \$72,800

B. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$499,295.39 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JULY 22 AND 29, 2022.

ACTION: Discussion: **Consider approval of consent agenda items.**

COMMENTS: \_\_\_\_\_



**ITEM #10**

**SUBJECT:** CONSIDER ADOPTING RESOLUTION 2022-R-084 AUTHORIZING THE RELEASE OF CERTAIN EXECUTIVE SESSION MINUTES - **Clerk O'Connor**

**ACTION:** Discussion: Pursuant to 5 ILCS 120/2.06(d) of the Illinois Open Meetings Act, the President and Board of Trustees of the Village of Tinley Park will periodically meet and review the minutes of all meetings of the President and Board of Trustees that had been closed to the public. The following Executive Session minutes are under consideration by the Village Board for release:

August 3, 2021	June 15, 2021	March 11, 2021
May 19, 2020	May 6, 2020	February 4, 2020
December 17, 2019	November 12, 2019	October 15, 2019
July 16, 2019	July 2, 2019	June 18, 2019
May 7, 2019	April 10, 2019	February 19, 2019
December 18, 2018	July 17, 2018	June 5, 2018
May 1, 2018	April 17, 2018	March 20, 2018
March 6, 2018	January 16, 2018	December 19, 2017
December 12, 2017	November 7, 2017	September 5, 2017
August 8, 2017	June 20, 2017	June 20, 2017
June 6, 2017	April 11, 2017	March 14, 2017
March 7, 2017	February 21, 2017	February 14, 2017
February 6, 2017	January 17, 2017	December 20, 2016
December 6, 2016	November 15, 2016	November 8, 2016
November 1, 2016	October 4, 2016	September 13, 2016
August 2, 2016	July 19, 2016	June 21, 2016
June 7, 2016	May 17, 2016	April 12, 2016
March 22, 2016	March 15, 2016	March 1, 2016
February 16, 2016	February 2, 2016	January 19, 2016
September 22, 2015	September 8, 2015	July 14, 2015
June 23, 2015	May 12, 2015	January 20, 2015
January 6, 2015	October 21, 2014	September 9, 2014
September 2, 2014	March 15, 2014	March 4, 2014
February 4, 2014	April 22, 2013	

**This Resolution is eligible for adoption.**

**COMMENTS:**

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**ITEM #11**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-067 AMENDING TITLE III CHAPTER 32 REGARDING RESIDENCY REQUIREMENTS FOR THE ECONOMIC AND COMMERCIAL COMMISSION - **President Glotz**

ACTION: Discussion: The proposed Ordinance would amend Village residency requirements for the Economic and Commercial Commission to require Tinley Park citizenship for the Commission's eleven (11) members and four (4) associate members. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #12**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-059 GRANTING A VARIATION TO PERMIT A CORNER FENCE IN A SECONDARY FRONT YARD FOR PROPERTY LOCATED AT 17251 OLCOTT AVENUE - **Trustee Mueller**

ACTION: Discussion: The Petitioner, Mark Murphy, is seeking a variation from the Zoning Ordinance to permit a 5-foot high open-style fence to encroach forty feet (40') into the required secondary front yard of their property located in the R-1 (Single-Family Residential) zoning district.

The Plan Commission held a Public Hearing on June 16, 2022, and voted 2-5 recommending denial of the requested variation in accordance with plans and findings of fact in the Staff Report. The Village Board held a first reading at the July 19th, 2022, meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #13**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-045 APPROVING A TEXT AMENDMENT TO TITLE XI: BUSINESS REGULATIONS, CHAPTER 129A HOTEL ACCOMMODATIONS TAX, SECTION 129.03 DEFINITIONS AS WELL AS AMENDING CHAPTER 116: TEMPORARY AND PERMANENT RESIDENTIAL HOUSING LICENSES AND CERTIFICATES. - **Trustee Mueller**

ACTION: Discussion: The Committee of the Whole discussed this item at the June 7th meeting. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #14**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-061 PROPOSING THE ESTABLISHMENT OF A SPECIAL SERVICE AREA (SSA) NO. 5 IN THE VILLAGE OF TINLEY PARK AND PROVIDING FOR A PUBLIC HEARING AND OTHER RELATED PROCEDURES (OAK RIDGE SUBDIVISION) - **Trustee Mueller**

ACTION: Discussion: This item was discussed at the Committee of the Whole earlier this evening. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #15**

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-062 GRANTING A MASONRY VARIATION FOR CERTAIN PROPERTY LOCATED AT 7313 DUVAN DRIVE (OTTEN'S SEAFOOD) - **Trustee Mueller**

ACTION: Discussion: The Plan Commission held a Public Hearing on July 21, 2022, and voted 6-0 recommending approval of the Variation request in accordance with plans and findings of fact as listed in the Staff Report. **This Ordinance is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #16**

SUBJECT: CONSIDER RESOLUTION 2022-R-085 AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT WITH TOP HOSPITALITY LLC., FOR PROPERTY LOCATED AT 9551 AND 9555 183RD STREET (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE, NOW KNOWN AS WHITE EAGLE DRIVE) - **Trustee Mueller**

ACTION: Discussion: The Petitioner, Top Hospitality, has petitioned the Village of Tinley Park to annex approximately 8.7 acres of property. The Annexation Agreement provides for the development of the property with two Marriott branded hotels: Courtyard and Residence Inn. The agreement includes recapture of costs for the extension of utilities to the proposed development and recognizes the subject property is eligible for a Cook County Property Tax 7b reclassification. **This Resolution is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #17**

SUBJECT: CONSIDER ORDINANCE 2022-O-063 APPROVING THE ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED AT 9551 AND 9555 183RD STREET (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE, NOW KNOWN AS WHITE EAGLE DRIVE) - **Trustee Mueller**

ACTION: Discussion: The Petitioner has petitioned the Village of Tinley Park to annex approximately 9.15 acres of property per the attached Plat of Annexation, including the adjacent unimproved right-of-way for the development of two Marriott brand hotels. **This Ordinance is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #18**

SUBJECT: CONSIDER ORDINANCE 2022-O-064 GRANTING A MAP AMENDMENT (REZONING) UPON ANNEXATION TO B-3 (GENERAL BUSINESS & COMMERCIAL) FOR CERTAIN PROPERTY LOCATED AT 9551 AND 9555 183RD STREET - **Trustee Mueller**

ACTION: Discussion: The Petitioner is seeking to rezone property, upon annexation and subdivision, to the B-3 (General Business & Commercial) zoning district to permit construction of the Marriott Courtyard and Residence Inn hotels. The Plan Commission held a Public Hearing on July 21, 2022, and voted 6-0 to recommend approval of the Map Amendment in accordance with the plans and the Findings of Fact listed in the Staff Report. **This Ordinance is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #19**

SUBJECT: CONSIDER RESOLUTION 2022-R-086 APPROVING AND ACCEPTING THE NEW HORIZON FINAL PLAT OF SUBDIVISION LOCATED AT 9551 AND 9555 183RD STREET - **Trustee Mueller**

ACTION: Discussion: The Petitioner has requested Final Plat approval for the New Horizon Subdivision associated with the development of the Marriott Courtyard and Residence Inn hotels. The Plan Commission reviewed the Final Plat of Resubdivision on July 21, 2022, and voted 6-0 to recommend approval with two conditions. **This Resolution is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #20**

SUBJECT: CONSIDER ORDINANCE 2022-O-065 GRANTING VARIATIONS FROM THE ZONING ORDINANCE FOR THE PROPOSED COURTYARD AND RESIDENCE INN HOTELS AT THE PROPERTY LOCATED AT 9551 AND 9555 183RD STREET - **Trustee Mueller**

ACTION: Discussion: The Petitioner is seeking thirteen variations as part of their proposal to redevelop the property for Marriott Courtyard and Residence Inn hotels. The Plan Commission held a Public Hearing on July 21, 2022, and voted 6-0 to recommend approval of the thirteen Variations with four conditions and adopt the Findings of Fact in accordance with the plans as listed in the Staff Report. **This Ordinance is eligible for first reading.**

COMMENTS:

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**ITEM #21**

SUBJECT: CONSIDER ORDINANCE 2022-O-066 GRANTING A SPECIAL USE PERMIT TO PERMIT AN EXTENDED STAY HOTEL FOR MARRIOTT RESIDENCE INN AT 9551 183RD STREET - **Trustee Mueller**

ACTION: Discussion: The Petitioner is seeking a special use for an extended stay hotel for the Marriott Residence Inn in the B-3 (General Business & Commercial) zoning district. The Plan Commission held a Public Hearing on July 21, 2022, and voted 6-0 to recommend approval of the Special Use Permit in accordance with the plans and the Findings of Fact as listed in the Staff Report. **This Ordinance is eligible for first reading.**

COMMENTS:

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**ITEM #22**

SUBJECT: CONSIDER RESOLUTION 2022-R-087 SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94TH AVENUE (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE NOW KNOW AS WHITE EAGLE DRIVE) - (RESIDENCE INN OF MARRIOTT HOTEL) - **Trustee Mueller**

ACTION: Discussion: On July 11, 2022, the Economic Commercial Commission unanimously voted to recommend approval of the class 7b request. The request was discussed at the Committee of the Whole meeting held prior to this meeting. **This Resolution is eligible for first reading**

COMMENTS:

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**ITEM #23**

SUBJECT: CONSIDER RESOLUTION 2022-R-088 SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94TH AVENUE (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE NOW KNOW AS WHITE EAGLE DRIVE) - (COURTYARD OF MARRIOTT HOTEL) - **Trustee Mueller**

ACTION: Discussion: On July 11, 2022, the Economic Commercial Commission unanimously voted to recommend approval of the class 7b request. This item was discussed at the Committee of the Whole held prior to this meeting. **This Resolution is eligible for first reading.**

COMMENTS: \_\_\_\_\_  
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**ITEM #24**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-089 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND INTEGRAL CONSTRUCTION FOR THE POLICE DEPARTMENT SHOOTING RANGE RENOVATION - **Trustee Mahoney**

ACTION: Discussion: Consider awarding a contract to Integral Construction in the amount of \$249,000. This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #25**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-080 APPROVING A PURCHASE ORDER BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL SERVICES CONSULTING FOR THE POLICE DEPARTMENT SIMULCAST RADIO UPGRADE PHASE #3 - **Trustee Mahoney**

ACTION: Discussion: Consider approving purchase order for Phase #3 equipment installation and project coordination with Municipal Services Consulting, in the amount of \$193,000 for simulcast equipment at a total of eleven (11) sites as requested and approved in the FY22 budget. This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: \_\_\_\_\_  
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**ITEM #26**

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-090 APPROVING AN AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND COMED FOR THE OVERHEAD POWER LINE REMOVAL - **Trustee Mahoney**

ACTION: Discussion: The Village is coordinating the placement of the overhead power lines along 183rd Street in the north parkway in front of the Helipad/Fire Training Tower Facility and the Police Department. These are Com Ed poles which appear to also be utilized by AT&T, Comcast and Verizon. The Village has been provided a Customer Work Agreement from Com Ed to proceed with the design plans for the burial of the overhead dry utilities from the utility poles for this project. The Customer Work Agreement is in the amount of \$33,873 which is required to be paid in full prior to Com Ed proceeding with the design plans. The burial of the overhead power lines is the initial stage of the Rebuild Illinois Grant - Helipad Aircraft Improvement Project.

This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS:

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**ITEM #27**

SUBJECT: RECEIVE COMMENTS FROM STAFF -

COMMENTS:

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**ITEM #28**

SUBJECT: RECEIVE COMMENTS FROM THE BOARD -

COMMENTS:

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**ITEM #29**

SUBJECT: RECEIVE COMMENTS FROM THE PUBLIC -

COMMENTS:

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**ITEM #30**

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.

ADJOURNMENT



**MINUTES OF THE REGULAR BOARD MEETING OF THE TRUSTEES,  
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,  
ILLINOIS, HELD JULY 19, 2022**

The regular meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on July 19, 2022. President Glotz called this meeting to order at 6:30 p.m.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

At this time Police Chief Walsh asked for a moment of silence for Police Officer Danny Golden and all Chicago Police Officers who have died by suicide. Officer Golden, an off-duty Chicago police officer, was attempting to break up a bar fight on July 9 in Beverly when a man shot him in the back, paralyzing him from the abdomen down.

Clerk O'Connor called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Village Clerk:	Nancy O'Connor
Trustees:	William P. Brady William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	
Also Present:	
Village Manager:	Patrick Carr
Village Attorney:	Paul O'Grady

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to approve, and place on file the minutes of the Regular Village Board Meeting held on June 21, 2022. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time President Glotz and Clerk O'Connor presented the Tinley Park Business Spotlight.

- MiraCare Behavioral Healthcare Center for Children and Adolescents, 6775 Prosperi Drive

Motion was made by Trustee Brennan, seconded by Trustee Sullivan to receive the presentation of a Recognition Award from the Illinois Section of the American Water Works Association (ISAWWA) for the Water Ambassador Program. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.



Motion was made by Trustee Mueller, seconded by Trustee Brennan to present a Proclamation to Patricia Kmak recognizing her 48 years of dedication to St. Julie Billiart Parish as Director of Religious Education. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to proclaim Tuesday, August 2, 2022, as the 39th Annual National Night Out in the Village of Tinley Park. National Night Out is an annual community-building campaign that promotes police-community partnerships and neighborhood camaraderie. This is the 39th year that the Village of Tinley Park has participated in this national event. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Sullivan, seconded by Trustee Mahoney to adopt and place on file **RESOLUTION 2022-R-083 DECLARING AUGUST 7 THROUGH AUGUST 13, 2022, AS “MUNICIPAL TREASURERS WEEK” IN THE VILLAGE OF TINLEY PARK.** Consider August 7 through August 14, 2022 “Municipal Treasurers Week” and extend appreciation to the members of our Finance Department and to all Municipal Treasurers for the vital services they perform and their outstanding dedication to the communities they represent. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Sullivan to adopt and place on file **RESOLUTION 2022-R-082 RECOGNIZING JULIE PETERSON, REBECCA SIERRA, AND COACH ALLEN LORENZEN ON THEIR NATIONAL ACHIEVEMENT IN THE HYDRANT HYSTERIA COMPETITION.** Illinois Section of the American Water Works Association hosts an annual conference, WATERCON, that brings together water delivery utility operators and industry suppliers, to share statewide information and host competitions with one of them being known as, “Hydrant Hysteria.” This fast-paced competition is where participants will be timed to assemble a completely dismantled fire hydrant. With a final time of 2:39, the Tinley Park women’s team, named Village Vixens, was named the State Champions on March 23, 2022, at the Illinois State AWWA championship in Springfield, Illinois. They were awarded the fastest Illinois women’s time, they were advanced to be the first ever team from Tinley Park to compete nationally at AWWA’s Annual Conference & Exposition (ACE) to compete for the National Championship in San Antonio, TX. They competed against eight other women’s teams from across the nation, with a final time of 2:04:09, the Tinley Park women’s team was named the 2nd Place National Women’s Champions on June 15, 2022, bringing home the first-ever national trophy for Hydrant Hysteria to Tinley Park, Illinois. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Clerk O’Connor conducted a **SWEARING IN CEREMONY FOR POLICE SERGEANT BRIAN WOOD.** Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Clerk O’Connor conducted a **SWEARING IN CEREMONY FOR POLICE OFFICERS ROBERTO FRIAS, MICHAEL JONES, JAKE KELLEY, ALEX NEUFELD, AND JAKE THOMPSON.** Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.



Motion was made by Trustee Brennan, seconded by Trustee Brady, to **appoint JANET SCHMECKPEPER TO THE POSITION OF POLICE CLERK MATRON**. Janet has been a part-time Clerk Matron with the Tinley Park Police Department for 2 ½ years. She is skilled in all job phases and demonstrates competent performance. Janet strives to strengthen and refine her professional effectiveness, is judicious in carrying out assignments without direction, and is a self-starter. She has a positive attitude and interacts well with her peers, subordinates, and supervisors. Janet is recommended for promotion to the full-time position. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Sullivan, seconded by Trustee Mahoney to consider approving the following Consent Agenda items:

- A. CONSIDER ADOPTING RESOLUTION 2022-R-070 APPROVING A PURCHASE ORDER BETWEEN THE VILLAGE OF TINLEY PARK AND MOHAWK LIFTS/RESOURCES LLC FOR THE PUBLIC WORKS FLEET TIRE BALANCER PURCHASE IN THE AMOUNT OF \$23,187.
- B. CONSIDER ADOPTING RESOLUTION 2022-R-079 AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC (LOBBYIST) AT A COST OF \$3,500 PER MONTH.
- C. CONSIDER REQUEST FROM THE PEOPLES ANIMAL WELFARE SOCIETY (P.A.W.S.) TO CONDUCT A TAG DAY FUNDRAISER ON FRIDAY AND SATURDAY OCTOBER 7TH AND 8TH, 2022, AT CERTAIN INTERSECTIONS IN THE VILLAGE OF TINLEY PARK.
- D. CONSIDER REQUEST FROM CRISIS CENTER FOR SOUTH SUBURBIA, TO CONDUCT A RAFFLE THROUGH AUGUST 9, 2022, WITH THE MAXIMUM VALUE OF THE PRIZE NOT TO EXCEED \$15,000. WINNERS WILL BE DRAWN AT SILVER LAKE COUNTRY CLUB, 14700 82ND AVENUE, ORLAND PARK.
- E. CONSIDER REQUEST FROM THE GIGI'S PLAYHOUSE TINLEY PARK TO CONDUCT A RAFFLE THROUGH FRIDAY, NOVEMBER 18, 2022, WITH THE WINNER BEING DRAWN ON THAT DAY AT TUSCANY FALLS BANQUETS, 9425 191ST STREET, MOKENA.
- F. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$3,888,736.38 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JUNE 24 AND JULY 1, 8, AND 15, 2022.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. Trustee Galante motioned to remove Consent Agenda Item 12B for a separate vote.

Vote on roll call for Consent Agenda Items 12A, 12C-12E. Ayes: Brady, Brennan, Galante, Mueller, Sullivan. Nays: None. Absent: Mahoney. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to consider approving the following Consent Agenda items:

- B. CONSIDER ADOPTING RESOLUTION 2022-R-079 AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC (LOBBYIST) AT A COST OF \$3,500 PER MONTH.



President Glotz asked if there were any comments from the Board.

Trustee Galante stated that she disagrees with paying a lobbyist. Trustee Galante stated that she does not understand how to get direction to the lobbyist. President Glotz stated that former Village Manager David Niemeyer explained last year that if an Elected Official would like the lobbyist to look into something they should contact the Village Manager and he will add it to the lobbyist tasks.

President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: Galante. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-054 AMENDING TITLE XI, CHAPTER 112, SECTION 112.22 OF THE TINLEY PARK MUNICIPAL CODE - ADDITION OF ONE (1) CLASS B LIQUOR LICENSE (AMAZON FRESH, 16017 SOUTH HARLEM AVENUE)**. The petitioner, Amazon Retail LLC, has approached the Mayor's Office seeking a Class B license for a new Amazon Fresh store located at 16017 South Harlem Avenue. Amazon Fresh will be a grocery store, the primary purpose of which will be to sell groceries (including fresh produce, meat, dairy items, and prepared foods), household goods, and general merchandise as well as packaged liquor (beer, wine, and spirits). The proposed hours of operation are 7 AM to 10 PM from Sunday to Saturday. This item was discussed at the Committee of the Whole held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. Trustee Brady asked the time liquor would be sold. Village Attorney O'Grady stated that is defined by the Village Code. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-058 AMENDING TITLE VII CHAPTER 74 OF THE VILLAGE OF TINLEY PARK MUNICIPAL CODE TO INCLUDE RESIDENTIAL PERMIT PARKING AT 17344 OAK PARK AVENUE**. The Village entered into a parking lease agreement, 2020-R-096, which granted the property owner of 17344 Oak Park Avenue Tinley Park, Illinois to utilize three (3) parking stalls within the public safety parking lot solely for their residential tenants. This Ordinance will codify the exclusive use of the parking stalls and allow the police department enforcement authority. This item was discussed at the Committee of the Whole held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to place on first read **ORDINANCE 2022-O-059 GRANTING A VARIATION TO PERMIT A CORNER FENCE IN A SECONDARY FRONT YARD FOR PROPERTY LOCATED AT 17251 OLCOTT AVENUE**. The Petitioner, Mark Murphy, is seeking a variation from the Zoning Ordinance to permit a 5-foot high open-style fence to encroach forty feet (40') into the required secondary front yard of their property located in the R-1 (Single-Family Residential) zoning district.

The Plan Commission held a Public Hearing on June 16, 2022, and voted 2-5 recommended denial of the requested variation in accordance with plans and findings of fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. Trustee Mueller stated that he feels this variation does not make a case for hardship and reminded the board that this item is for first reading. President Glotz stated that the Plan Commission recommended denial of this item. President Glotz asked that



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if a Board member has any questions regarding this item contact Community Development Director Clarke or Village Attorney O’Grady. He also stated that this item was discussed at the Plan Commission meeting on June 16, 2022, and is available for viewing on the Village website.

Community Development Director Clarke presented an overview of the variance. Petitioner, Marke Murphy explained his hardship to the Board.

Trustees Sullivan and Brennan question if the open style or privacy fencing makes any difference. Community Development Director Clarke stated yes and the height and distance of the fence from the right-of-way.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady to adopt and place on file **ORDINANCE 2022-O-056 GRANTING INTERNATIONAL FOUNDATIONS EDUCATION INC. A SPECIAL USE PERMIT FOR A DAY OR CHILD CARE CENTER AT 7012 171ST STREET.** The Special Use Permit will allow the Petitioner, Kyna Simpson, to continue to operate a day or childcare center in the B-3 zoning district.

The Plan Commission held a Public Hearing on July 7, 2022, and voted 7-0 to recommend approval of the Special Use with recommended conditions in accordance with the plans as listed in the “List of Reviewed Plans” and Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **ORDINANCE 2022-O-057 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION FOR ADDITIONAL SIGNAGE AND A BUILDING LIGHT BAR FROM THE NORTH CREEK PLANNED UNIT DEVELOPMENT (PUD) AT 18320 NORTH CREEK DRIVE (HOLIDAY INN).** The Petitioner seeks approval of an additional wall sign located at the building’s canopy and a building light bar for the recently constructed Holiday Inn hotel.

The Plan Commission held a Public Hearing on July 7, 2022, and voted 7-0 to recommend approval of the Special Use in accordance with the plans as listed and Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan to adopt and place on file **ORDINANCE 2022-O-046 APPROVING A TEXT AMENDMENT TO THE VILLAGE OF TINLEY PARK ZONING ORDINANCE DEFINING AND PERTAINING TO EXTENDED STAY HOTELS IN CERTAIN ZONING DISTRICTS.** The proposed text amendment defines and regulates extended stay hotels. Extended stay hotels are proposed to require special use permit approval in all zoning districts that currently permit hotels. The additional review will ensure extended stay hotels are properly located and operated in a safe and effective manner.

The Plan Commission held a Public Hearing on June 2, 2022, and voted 5-0 to recommend the proposed text amendments for approval to the Village Board. The Village Board reviewed the text amendment as a first



reading at the June 21st meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-053 AMENDING RESIDENCY REQUIREMENTS FOR COMMISSION AND COMMITTEE MEMBERS**. The proposed amendment allows for the membership of Tinley Park business owners who are non-residents, provided that a majority of a given Commission or Committee members are residents of the Village. This item was discussed at the Committee of the Whole held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. Trustee Galante stated that she feels it's important to keep the decision making should be made with the citizens of the Village. President Glotz noted that business owners will be the minority members of a commission and citizens would be the majority of the members. Trustee Brennan added that he feels it is important that business owners are part of the recommending bodies of the Village Government. Trustee Brady feels business owners can bring insight to these commission. Trustee Mueller stated that these members of these commissions will be held to the same conflict of interest in recommending bodies. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: Galante. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **RESOLUTION 2022-R-078 AMENDING THE AUTHORIZATION OF THE EXECUTIVE SESSION WRITTEN MINUTES AND VERBATIM AUDIO RECORDING REVIEW POLICY FOR THE BOARD OF TRUSTEES**. This Resolution amends Resolution 2020-R-109 providing more clarity and uniformity to the policy for the steps to be taken by the Board of Trustees to request review of written minutes and verbatim audio recordings of Executive Session meetings. This item was discussed at the Committee of the Whole held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney, to **APPROVE AN ENGAGEMENT LETTER WITH GRIFFIN, WILLIAMS, MCMAHON, & WALSH LLP (GWMW LLP) FOR LEGAL SERVICES**. The approval of the Griffin, Williams, McMahon, & Walsh LLP Engagement Letter would authorize the Village of Tinley Park to utilize their services as required. President Glotz asked if there were any comments from members of the Board or public. Village Manager Carr stated this a clean-up of a typographical error on the June 7, 2022, Village Board meeting. He stated it is the same attorney, but a different law firm. Trustee Galante asked for clarification. Village Attorney O'Grady stated it was correct on the June 7, 2022, meeting. Mr. O'Grady stated that since it was raised at the June 7, 2022, meeting, he recommended bringing the item back out of an abundance of caution for clarity. He also noted that Mr. Walsh was in transition from one law firm to the other. President Glotz stated there are two different attorneys named Patrick Walsh which may have added to the confusion. Trustee Galante called for a Point of Order. President Glotz denied the Point of Order. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: Galante. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to table **RESOLUTION 2022-R-080 APPROVING PURCHASE ORDER BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL SERVICES CONSULTING FOR THE POLICE DEPARTMENT SIMULCAST RADIO UPGRADE PHASE #3** to the August 3, 2022, Village Board meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes:



**Meeting of the Board of Trustees – Minutes****July 19, 2022**

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Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff.

Village Manager Carr stated this was a busy event weekend in the Village. Events included two concerts at the Hollywood Casino Amphitheater, a shredding event at the 80<sup>th</sup> Avenue Train Station, and the two-day block party. He commended Village Staff on the hard work and planning that went into these successful events. He noted that the Public Safety agencies rose to the occasion.

Police Chief Walsh concurred with Village Manager Carr on the successful weekend. He also offered a reminder that National Night Out is Tuesday, August 2, 2022, from 6:00 p.m. to 9:00 p.m. at Freedom Park, 7835 Timber Drive. He thanked the Village Board for moving the Village Board meeting to Wednesday, August 3, 2022.

Marketing Director Donna Framke expressed her sincere gratitude to everyone who helped make the Two-Day Block Party a success. She sent thanks to the sponsors, vendors, volunteers, fellow Village Staff, and especially to President Glotz for his vision for the two-day party. This was the 24<sup>th</sup> Block Party Ms. Framke has been involved in.

Community Development Director Clarke stated that Hillgrove Tap, 9501 W. 171<sup>st</sup> Street, is now open for business.

President Glotz asked if there were any comments from members of the Board.

Trustee Brady echoed the comments made regarding the successful Two-Day Block Party. He also mentioned the success of the shredding event.

Trustee Brennan congratulated the Village on a successful event and commented on great teamwork.

President Glotz thanked all the attendees at the Block Party, the Marketing Department, First Responders, and Public Works staff. He thanked his fellow Board members for assisting with the announcements. Kudos to the Marketing Team for bringing in Charles Boken.

President Glotz thanked Building Inspector Mike Coleman and his hard work with the Loyola Project. He thanked the Village Attorneys for their hard work. President Glotz noted that the legal costs are going down.

President Glotz thanked Sergeant Butler for assisting his wife as she choked on food at the Block Party. He credited Sergeant Butler for saving her life. He also thanked Trustee Sullivan for her assistance with this.

President Glotz asked if there were any comments from members of the public.

Duffey Phelps, Vice President of Hospitality for Holiday Properties, owner of Woodsprings Suites in Tinley Park. Mr. Phelps apologized to the Village Board for a letter he sent to them recently, noting the tone of the letter was unacceptable and a poor representation of himself and Holiday Properties. He stated that Holiday Properties would like to work with Village to improve the extended stay hotel ordinance. A discussion with the Village Attorney regarding the ordinance.



**Meeting of the Board of Trustees – Minutes****July 19, 2022**

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Motion was made by Trustee Mueller, seconded by Trustee Brady, at 8:16 p.m. to adjourn to Executive Session to discuss the following:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.
- B. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.
- C. DISCUSSION OF MINUTES OF MEETINGS LAWFULLY CLOSED UNDER THIS ACT, WHETHER FOR PURPOSES OF APPROVAL BY THE BODY OF THE MINUTES OR SEMI-ANNUAL REVIEW OF THE MINUTES AS MANDATED BY SECTION 2.06.
- D. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- E. THE SETTING OF A PRICE FOR SALE OR LEASE OF PROPERTY OWNED BY THE PUBLIC BODY.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Sullivan, seconded by Trustee Brady, to adjourn the Village Board meeting at 8:57 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



# **CONDUCT SWEARING IN CEREMONY FOR K9 POLICE OFFICERS**

***Trustee Brennan & Clerk O'Connor***



# **CONDUCT SWEARING IN CEREMONY FOR POLICE OFFICERS**

***Trustee Brennan & Clerk O'Connor***



## Tinley Park



### Proclamation

#### *RECOGNIZING*

*SERGEANT CHRIS BUTLER FOR LIFE-SAVING ACTIONS AT THE TINLEY PARK BLOCK  
PARTY ON Sunday, July 17, 2022*

**WHEREAS**, Mrs. Kristie Glotz suffered a choking incident at the Tinley Park Block Party on Sunday, July 17<sup>th</sup>, 2022 in the vicinity of 173<sup>rd</sup> and Oak Park Avenue; and

**WHEREAS**, Sergeant Chris Butler swooped in and commenced performing the Heimlich Maneuver, thereby promptly dislodging the obstruction; and

**WHEREAS**, Mrs. Glotz was immediately able to breathe freely and recover fully;

**NOW, THEREFORE, BE IT RESOLVED**, by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, that Sergeant Chris Butler performed life-saving actions with great professionalism, skill and speed, resulting in a positive outcome for which Mayor Michael Glotz and Mrs. Kristie Glotz will be forever grateful.

**APPROVED** this 3<sup>rd</sup> day of August 2022.

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Michael W. Glotz, Village President

ATTEST:



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Nancy M. O'Connor, Village Clerk



Tinley Park



Proclamation

RECOGNIZING

*Carie Ganser’s accomplishments as a Special Olympics multi-Sport Athlete and representative for Illinois Special Olympics programs*

**WHEREAS,** Tinley Park resident Carie Ganser was chosen as Jewel-Osco’s 2022 “Change for Champions” Ambassador to represent the more than 21,000 Special Olympics Illinois athletes and additionally recognized for her twenty-eight years of exceptional customer service at Jewel-Osco’s Tinley Park location; and

**WHEREAS,** Carie is a multi-sport Special Olympics Illinois athlete who began competing at age 19 and has earned over 100 medals in volleyball, basketball, bowling, powerlifting, tennis, snowshoeing, downhill skiing, golf and, most recently at the 2022 Summer Games, swimming; and

**WHEREAS,** Carie has held a seat on the Special Olympics Board of Directors, participated in the Illinois Law Enforcement Torch Run, and has represented Special Olympics Illinois in media interviews on both TV and radio;

**NOW, THEREFORE, BE IT RESOLVED,** by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, that Carie Ganser be celebrated for her athletic accomplishments, advocacy for Special Olympics Illinois athletes and programs, and outstanding service to the citizens of Tinley Park.

**APPROVED** this 3<sup>rd</sup> day of August 2022.

\_\_\_\_\_  
Michael W. Glotz, Village President

ATTEST:

\_\_\_\_\_  
Nancy M. O’Connor, Village Clerk



# TINLEY PARK BUSINESS SPOTLIGHT

President Glotz and  
Clerk O'Connor



# **CONSIDER THE APPOINTMENT OF:**

**VICTORIA SEDOROOK**

**ASSISTANT POLICE RECORDS SUPERVISOR**

**President Glotz**



**Interoffice****Memo**

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**Date:** July 27, 2022  
**To:** Village Board  
**Cc:** Patrick Carr, Hannah Lipman  
**From:** William Gomolka  
**Subject:** Cartegraph OMS Purchase – Annual Agreement

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Presented at the Committee of the Whole and Village Board Meetings for consideration and possible action.

**Description:** Approve the purchase of Cartegraph OMS Annual Renewal

**Background:** The Village of Tinley Park Public Works Department currently utilizes Cartegraph Work Order Systems which requires an annual purchase agreement for one year of operation. We are currently due for our annual renewal.

Cartegraph is utilized by the Public Works Department as its operating work order system allowing administrative staff to create requests for Public Works Maintenance Staff to execute. The system is vital to labor tracking, event tracking, asset management, task assignment, and report creation.

Purchasing with Cartegraph has a renewal cost of \$72,800 for one year of operation. This cost covers access to the OMS work order system for a term one of year, user licensing, and 811 JULIE Integration.

**Staff Direction Request:** Enter into a one (1) year agreement with Cartegraph for the purchase of OMS operating access for the cost of \$72,800.

**Attachments:**

1. Cartegraph OMS Renewal Master Agreement 2022



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**Voucher List**  
**Village of Tinley Park**

Page: 1

Bank code : ap\_py

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
126385	7/22/2022	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-PPPR080122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	1,165.00
			BCBS-NA-PR080122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	2,099.00
					<b>Total :</b>	<b>3,264.00</b>
126386	7/22/2022	019214 BLUE CROSS BLUE SHIELD	BCBS-DA-PPPR080122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	569.52
			BCBS-DA-PR080122		0000ILLB1212 HEALTH INS EXP-JUI 86-00-000-20430	445.91
					<b>Total :</b>	<b>1,015.43</b>
126387	7/22/2022	004640 HEALTHCARE SERVICE CORPORATION	HCSVCS-PPPR080122		A/C#271855-HEALTH INS-JULY PMT 86-00-000-20430	22,046.13
			HCSVCS-PR080122		A/C#271855-HEALTH INS-JULY PMT 86-00-000-20430	17,626.51
					<b>Total :</b>	<b>39,672.64</b>
126388	7/22/2022	002613 UNITED HEALTHCARE AARP	AARP -PPPR080122		AARP POLICE PENSION JULY PMT/ 86-00-000-20430	3,401.63
					<b>Total :</b>	<b>3,401.63</b>
<b>4 Vouchers for bank code : ap_py</b>						<b>Bank total : 47,353.70</b>



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**Voucher List**  
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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198070	7/19/2022	020611 MIDLOTHIAN HOG WILD INC	071922		EMPLOYEE PICNIC 7/20/22 PULLED 01-14-000-72974	959.75
					<b>Total :</b>	<b>959.75</b>
198071	7/19/2022	020610 RUNA IZAKAYA INC	58079		EMPLOYEE PICNIC LUNCH HAWIIA 01-14-000-72974	634.72
					<b>Total :</b>	<b>634.72</b>
198072	7/19/2022	020612 SNO-DAZE,INC.	071122		EMPLOYEE PICNIC 7/20/22 SNO CC 01-14-000-72974	400.00
					<b>Total :</b>	<b>400.00</b>
198073	7/22/2022	010955 A T & T LONG DISTANCE	827776689		CORPORATE ID931719LB TIP LINE 01-17-225-72120	50.35
					<b>Total :</b>	<b>50.35</b>
198074	7/22/2022	013035 ADVANCE AUTO PARTS	6717219378933		OIL AND FUEL FILTERS 01-17-205-72540	4.74
					<b>Total :</b>	<b>4.74</b>
198075	7/22/2022	014341 AFTERMATH, INC.	JC2022-9389		SQUAD CAR CLEANING PD1W 01-17-205-72750	300.00
					<b>Total :</b>	<b>300.00</b>
198076	7/22/2022	014936 AQUAMIST PLUMBING & LAWN	115755		IRRIGATION OAK PARK ZABROCKI 01-26-023-72790	435.81
			115754	VTP-019159	IRRIGATION STREETSCAPES 01-26-023-72790	2,335.35
			115758	VTP-019159	IRRIGATION OPA TRAIN STATION W 01-26-025-72790	372.23
			115759	VTP-019159	IRRIGATION OPA TRAIN STATION E 01-26-025-72790	502.32
					<b>Total :</b>	<b>3,645.71</b>
198077	7/22/2022	016477 BARAJAS, JOHN	071422		REIMBURSE EQUIPMENT FOR EM, 01-21-000-72540	246.18
					<b>Total :</b>	<b>246.18</b>



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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198078	7/22/2022	003015 BEHRENS, JERRY	AP080122		JERRY BEHRENS HEALTH INSURAI 01-14-000-72435	169.00
<b>Total :</b>						<b>169.00</b>
198079	7/22/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	220069		SEMI TRUCK TIME FOR HAULING S 01-26-023-72890	262.50
					60-00-000-73681	385.88
					63-00-000-73681	42.88
					64-00-000-73681	183.74
			220070		SEMI TRUCK TIME FOR HAULING S 01-26-023-72890	318.75
					60-00-000-73681	468.56
					63-00-000-73681	52.06
					64-00-000-73681	223.13
			220071		TRUCK TIME HAULING STREET SW 01-26-023-72890	318.75
					60-00-000-73681	468.56
					63-00-000-73681	52.06
					64-00-000-73681	223.13
<b>Total :</b>						<b>3,000.00</b>
198080	7/22/2022	002923 BLACK DIRT INC.	2094		LOCKPORT - PULVERIZED 4WHEEL 01-26-023-73680	360.00
			2107		LOCKPORT - PULVERIZED 4WHEEL 01-26-023-73680	240.00
<b>Total :</b>						<b>600.00</b>
198081	7/22/2022	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-AP080122		IL065LB000001212-0 HEALTH INS E 01-14-000-72435	1,791.00
			BCBS-NA-PPAP080122		IL065LB000001212-0 HEALTH INS E 01-14-000-72435	1,165.00
<b>Total :</b>						<b>2,956.00</b>
198082	7/22/2022	019214 BLUE CROSS BLUE SHIELD	BCBS-DA-AP080122		0000ILLB1212 HEALTH INS EXP-JUI 01-14-000-72435	445.89
			BCBS-DA-PPAP080122		0000ILLB1212 HEALTH INS EXP-JUI 01-14-000-72435	569.50



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**Voucher List**  
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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198082	7/22/2022	019214 019214 BLUE CROSS BLUE SHIELD	(Continued)		<b>Total :</b>	<b>1,015.39</b>
198083	7/22/2022	015199 CHICAGO PARTS & SOUND LLC	2J0003730		LABOR TO INSTALL RADIO AND AN	
			3-0050835		01-26-023-72540	175.00
					5W30 OIL BLEND WATER #83,#29	
					60-00-000-72540	46.62
					63-00-000-72540	15.54
					64-00-000-72540	26.64
					<b>Total :</b>	<b>263.80</b>
198084	7/22/2022	017349 CHICAGO STREET CCDD, LLC	22545		DUMP FEE 7/6,7/7,7/8	
					01-26-023-72890	700.00
					<b>Total :</b>	<b>700.00</b>
198085	7/22/2022	013820 CINTAS CORPORATION	4125247364		MATS - PD	
			4125385774		01-26-025-72790	176.78
					MATS - VH	
					01-26-025-72790	260.08
					<b>Total :</b>	<b>436.86</b>
198086	7/22/2022	012057 COMCAST CABLE	8771401810010702		ACCT#8771401810010702 16250 OF	
			8771401810028977		01-35-000-72517	10.51
					ACCT#8771401810028977 7980 183	
					01-26-025-72517	52.55
					<b>Total :</b>	<b>63.06</b>
198087	7/22/2022	012410 CONSERV FS, INC.	66049853		EZ REACHER PRO 32"	
			66049893		01-26-023-73410	190.00
					STRUCTRON LH DRAIN SPD	
					60-00-000-73410	26.65
					63-00-000-73410	2.96
					64-00-000-73410	12.69
			66049939		CONSERV FS SUNNY PLATINUM C	
					01-26-023-73680	348.09
					<b>Total :</b>	<b>580.39</b>
198088	7/22/2022	018234 CORE & MAIN LP	R160663		HYMAX 2 FLIP CPLG ,SERVE BOX 1	
					60-00-000-73630	478.16



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**Voucher List**  
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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198088	7/22/2022	018234 CORE & MAIN LP	(Continued)		63-00-000-73630	53.13
					64-00-000-73630	227.69
					<b>Total :</b>	<b>758.98</b>
198089	7/22/2022	020622 CROMBAR, BRANDON	Ref001424180		UB Refund Cst #00509550	
					60-00-000-20599	32.48
					<b>Total :</b>	<b>32.48</b>
198090	7/22/2022	003635 CROSSMARK PRINTING, INC	87560		WEST STAGE - EAST STAGE BANN	
					01-35-000-72923	210.00
					<b>Total :</b>	<b>210.00</b>
198091	7/22/2022	014690 DARLING INGREDIENTS INC	12199406		CAVALLINI'S CAFE SERVICE FEE TI	
					01-26-025-72530	155.00
					<b>Total :</b>	<b>155.00</b>
198092	7/22/2022	009126 DAVID FLEMING ENTERTAINMENT	051322		MAGIC,JUGG,BALLOONS/NAT'L NIG	
					01-17-215-73600	200.00
					<b>Total :</b>	<b>200.00</b>
198093	7/22/2022	009126 DAVID FLEMING ENTERTAINMENT	051322.		NATIONAL NIGHT OUT STILTS-MEE	
					01-17-205-73600	175.00
					<b>Total :</b>	<b>175.00</b>
198094	7/22/2022	011194 DRURY LANE	G03027		DEPOSIT LUNCH AND SHOW 9/21/2	
					01-41-056-72937	316.80
					<b>Total :</b>	<b>316.80</b>
198095	7/22/2022	011176 ELEMENT GRAPHICS & DESIGN, INC	19624		PW DECAL	
					01-26-023-72540	116.15
					01-26-024-72540	58.08
					60-00-000-72540	60.98
					63-00-000-72540	20.33
					64-00-000-72540	34.84
					<b>Total :</b>	<b>290.38</b>
198096	7/22/2022	004019 EVON'S TROPHIES & AWARDS	070622		SHIRT EMBROIDERY	



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198096	7/22/2022	004019 EVON'S TROPHIES & AWARDS	(Continued)		01-17-205-73610	45.00
					<b>Total :</b>	<b>45.00</b>
198097	7/22/2022	004267 FIRST AYD CORP	PSI540944		WINDSHIELD BLADE,MOP BUCKET	
					01-19-000-73580	1,152.04
					<b>Total :</b>	<b>1,152.04</b>
198098	7/22/2022	012941 FMP	52-516647		FVP BRAKE ROTOR - PD STOCK	
					01-17-205-72540	274.30
					<b>Total :</b>	<b>274.30</b>
198099	7/22/2022	011611 FOX VALLEY FIRE & SAFETY CO.	IN00535239	VTP-019152	MONTHLY RADIO MAINTENANCE F	
					14-00-000-72750	8,717.25
					<b>Total :</b>	<b>8,717.25</b>
198100	7/22/2022	004535 GALLS LLC	021343257		CARGO SHORTS	
			021348542		01-21-000-73610	54.04
			021367912		CARGO SHORTS	
					01-21-000-73610	27.02
			021448631		TACTICAL PANTS,CARGO SHORTS	
					01-21-000-73610	227.14
			021449838		UNIFORM -PROFFITT	
					01-21-000-73610	95.08
					TACLITE SHORT	
					01-21-000-73610	47.45
					<b>Total :</b>	<b>450.73</b>
198101	7/22/2022	004538 GOLDY LOCKS INC	22288047		SINGLE CUT DUPLICATE KEY	
					01-26-023-73840	7.13
					<b>Total :</b>	<b>7.13</b>
198102	7/22/2022	015397 GOVTEMPSUSA LLC	3990753		D.VANNORSDEL WEEK ENDING 6/1	
			3999865		30-00-000-74160	630.00
			3999866		D.VANNORSDEL WEEK ENDING 7/3	
					30-00-000-74160	280.00
					FY23-GOVTEMPS USA (CONTRACT	



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198102	7/22/2022	015397 GOVTEMPSUSA LLC	(Continued)	VTP-019223	01-12-000-72790	614.25
					<b>Total :</b>	<b>1,524.25</b>
198103	7/22/2022	004640 HEALTHCARE SERVICE CORPORATION	HCSVCS-AP080122		A/C#271855-HEALTH INS EXPENSE	
			HCSVCS-PPAP080122		01-14-000-72435	8,213.92
					A/C#271855-HEALTH INS EXP-JULY	
					01-14-000-72435	28,576.32
					<b>Total :</b>	<b>36,790.24</b>
198104	7/22/2022	019784 HEARTLAND BUSINESS SYSTEMS LLC	532822-H		SMB ENGINEER II D.STEINHART	
					01-16-000-72650	236.25
					<b>Total :</b>	<b>236.25</b>
198105	7/22/2022	018696 HENRY'S HOUSE OF DECORATED	1098		PERFORMANCE T SHIRTS - PW SA	
					60-00-000-73610	166.29
					63-00-000-73610	31.67
					64-00-000-73610	84.84
					01-26-023-73610	282.80
					01-26-024-73610	141.40
					<b>Total :</b>	<b>707.00</b>
198106	7/22/2022	001487 HOMEWOOD DISPOSAL SERVICE	7918297		6 CASE OF LINERS	
					01-26-023-73870	450.00
					<b>Total :</b>	<b>450.00</b>
198107	7/22/2022	005160 ILLINOIS STATE POLICE	CC04004		CC4004 TINLEY FINGERPRINT VILL	
					01-14-000-72848	84.75
					<b>Total :</b>	<b>84.75</b>
198108	7/22/2022	004985 ILLINOIS STATE TOLL HWY AUTH	G000006918		ACCT#8793 TOLL FEES 5/1-6/30/22	
					01-17-205-72130	0.55
					01-26-023-72170	45.85
					01-26-024-72170	1.10
					60-00-000-72170	0.39
					63-00-000-72170	0.38
					64-00-000-72170	0.33



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198108	7/22/2022	004985 ILLINOIS STATE TOLL HWY AUTH	(Continued) G125000006918		ACCT#8793 TOLL FEES 4/1-4/30/22 01-17-205-72130 01-26-023-72170 01-26-024-72170 60-00-000-72170 63-00-000-72170 64-00-000-72170	1.10 3.80 1.10 2.66 2.66 2.28
					<b>Total :</b>	<b>62.20</b>
198109	7/22/2022	005025 INTERNATIONAL CODE COUNCIL INC	1001513147		PLAN REVIEW 18299 HARLEM -FIR 01-33-300-72844	550.00
					<b>Total :</b>	<b>550.00</b>
198110	7/22/2022	005186 INTERSTATE BATTERY SYSTEM	317924		BATTERY - PD 1G 01-17-205-72540	48.00
					<b>Total :</b>	<b>48.00</b>
198111	7/22/2022	005251 J AND R SALES AND SERVICE INC.	0350294		HANDHELD BLOWER 01-26-023-73410	246.99
					<b>Total :</b>	<b>246.99</b>
198112	7/22/2022	020608 JORDAN PROMOTIONS	72022 72122		JR POLICE LABELS 01-17-215-73600 MOUSE PADS 01-17-215-73600	521.21 381.66
					<b>Total :</b>	<b>902.87</b>
198113	7/22/2022	019630 JOTFORM, INC.	07132241		ONLINE FORM BUILDER RENEWAL 01-16-000-72655	4,740.00
					<b>Total :</b>	<b>4,740.00</b>
198114	7/22/2022	020561 KLM ENGINEERING INC	9022	VTP-019237	INSPECTION POST 11 ROV EVALU/ 60-00-000-72854	2,500.00
					<b>Total :</b>	<b>2,500.00</b>
198115	7/22/2022	020207 LENNY'S GAS N WASH 183RD ST	3136		CAR WASH - VM JUNE 2022 01-12-000-72540	8.00



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198115	7/22/2022	020207 LENNY'S GAS N WASH 183RD ST	(Continued) 3137		CAR WASH - CD JUNE 2022 01-33-300-72540	20.00
			3138		CAR WASH - PD JUNE 2022 01-17-205-72540	116.00
			3139		CAR WASH - PW JUNE 2022 01-26-023-72540	2.00
					60-00-000-72540	7.35
					63-00-000-72540	2.45
					64-00-000-72540	4.20
					<b>Total :</b>	<b>160.00</b>
198116	7/22/2022	014846 LORENCE, BRUCE	080122		AUGUST '22 OPA TRAIN STATION M 01-26-025-72530	30.00
					<b>Total :</b>	<b>30.00</b>
198117	7/22/2022	013969 MAP AUTOMOTIVE OF CHICAGO	40-673519		CORE CREDIT 01-26-023-72540	-16.00
			40-673520		CORE CREDIT 01-17-205-72540	-64.00
			40-675108		MTR-C/BLWR PD 10R 01-17-205-72540	47.75
			40-675930		PAD BRAKE, B/LIN KIT PD STOCK 01-17-205-72540	144.15
					<b>Total :</b>	<b>111.90</b>
198118	7/22/2022	020518 MARIO'S EVENT RENTALS	QB21950B		CHAIR RENTAL - BLOCK PARTY 6 C 01-35-000-72923	69.00
					<b>Total :</b>	<b>69.00</b>
198119	7/22/2022	005765 MARTIN WHALEN O.S. INC.	CM54611	S	CREDIT FOR COVID PERIOD 4/2/20 01-16-000-72756	-325.74
			IN3669495		CONTRACT INVOICE 18232-01 VH 01-16-000-72756	962.02
			IN3696789		CONTRACT INVOICE 18929-03 PW 01-16-000-72756	293.65



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198119	7/22/2022	005765 005765 MARTIN WHALEN O.S. INC.	(Continued)		<b>Total :</b>	<b>929.93</b>
198120	7/22/2022	020322 MASTER AUTO SUPPLY	150300-119875		BRAKE LINE 1/4 ROLL EMA 680	
					01-21-000-72540	32.07
			15030-119213		SERP BELT - POLY RIB - EMA 678	
					01-21-000-72540	42.97
			15030-119721		O2 SENSOR,AIR FILTER PD 8A	
					01-17-205-72540	78.39
					01-26-023-72540	51.57
			15030-119722		AIR FILTER PLOW TRUCKS STREE	
					01-26-023-72530	245.76
			15030-119731		AIR FILTER - STREET PLOW TRUC	
					01-26-023-72530	51.57
			15030-119926		BRK PAD,PAINTED ROTOR,DISC BF	
					60-00-000-72540	361.10
					63-00-000-72540	120.37
					64-00-000-72540	206.33
			15030-120065		OIL FILTER	
					01-26-024-72540	14.98
					<b>Total :</b>	<b>1,205.11</b>
198121	7/22/2022	020322 MASTER AUTO SUPPLY	6981-565371		OIL SEAL WATER #51	
					60-00-000-72540	21.90
					63-00-000-72540	7.30
					64-00-000-72540	12.52
					<b>Total :</b>	<b>41.72</b>
198122	7/22/2022	013492 MCDONALD, JACLYN	072022		NATIONAL NIGHT OUT DJ 2022	
					01-17-215-73600	225.00
					<b>Total :</b>	<b>225.00</b>
198123	7/22/2022	005844 MCDONALD'S	071822		JUNE'22 PRISONER MEALS	
					01-17-220-72230	116.06
					<b>Total :</b>	<b>116.06</b>
198124	7/22/2022	006074 MENARDS	24011		18" HV OSC WALL FAN	
					01-19-000-72524	99.99



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198124	7/22/2022	006074 MENARDS	(Continued) 24063		VAPORTIGHT METAL LIGHT 60-00-000-73570	8.75
					63-00-000-73570	8.75
					64-00-000-73570	7.49
			24065		CLEAT,LIGHT,TEMP SOCKET 60-00-000-73570	3.73
					63-00-000-73570	3.73
					64-00-000-73570	3.20
			24096		CEILING WALL W/GUARD,VAPORTI 60-00-000-73570	-13.99
					63-00-000-73570	-13.99
					64-00-000-73570	-12.00
			24320		NSF POLY PIPE,MEDIUM FIELD BO 60-00-000-73630	22.50
					63-00-000-73630	2.50
					64-00-000-73630	10.71
			24368		TAPCON HEX 1/4X2-3/4 01-26-025-72520	14.98
			24394		6" ROUND GRATE - GREEN 01-26-023-73870	22.41
			24405		35' X 1.25" KOMELON CONTS 01-26-023-73410	12.99
					60-00-000-73410	8.18
					63-00-000-73410	0.91
					64-00-000-73410	3.90
			24412		5 GALLON PAIL,LID FOR PAIL 01-35-000-72923	92.10
			24415		FLOURESCENT SPRAYPAINT YELL 01-35-000-72923	23.92
			24427		PROGRADE EARMUFF 01-26-023-73845	21.89
					<b>Total :</b>	<b>332.65</b>
198125	7/22/2022	012517 MERIDIAN IT INC	516232		SERVICE CALL 50169 01-16-000-72650	390.00
			516556		SERVICE CALL 48857 4/7-4/8/22	



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198125	7/22/2022	012517 MERIDIAN IT INC	(Continued)		01-16-000-72650	900.00
					<b>Total :</b>	<b>1,290.00</b>
198126	7/22/2022	005742 METRO POWER INC.	13677	VTP-019284	EMERGENCY BACK UP GENERATC 60-00-000-72750	1,925.00
				VTP-019284	63-00-000-72750	1,925.00
				VTP-019284	64-00-000-72750	1,650.00
			13686		EMERGENCY BACK UP GENERATC	
				VTP-019284	01-26-025-72790	5,575.00
			13687		EMERGENCY BACK UP GENERATC	
				VTP-019284	01-26-025-72790	5,500.00
			13692		EMERGENCY BACK UP GENERATC	
				VTP-019284	01-26-025-72790	358.45
			13693		EMERGENCY BACK UP GENERATC	
				VTP-019284	01-26-025-72790	419.10
					<b>Total :</b>	<b>17,352.55</b>
198127	7/22/2022	011724 METROPOLITAN MAYORS CAUCUS	2022-254		FY'22 CAUCUS DUES 01-11-000-72720	2,518.70
					<b>Total :</b>	<b>2,518.70</b>
198128	7/22/2022	014443 MURPHY & MILLER, INC	SVC00038712		SVC FIRE STATION #1 PUMP 01-26-025-72520	3,656.01
					<b>Total :</b>	<b>3,656.01</b>
198129	7/22/2022	020620 NAPOLSKI, MARIBETH	Ref001424178		UB Refund Cst #00455367 60-00-000-20599	70.33
					<b>Total :</b>	<b>70.33</b>
198130	7/22/2022	006475 PARK ACE HARDWARE	068345/1		ACCT#891432 INV#068345/1 CABLE 01-26-023-73410	75.94
			68257/1		ACCT#9404 INV#68257/1 GAS TANK 01-19-000-73870	91.96
			68354/1		ACCT#89143 INV#68354/1 ANCHOR 01-26-025-72520	7.18
					<b>Total :</b>	<b>175.08</b>



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198131	7/22/2022	020298 PEERLESS NETWORK INC	513098		CREDIT - DISCONTINUED LINES 2/1	
					01-19-000-72120	-6,849.81
					60-00-000-72120	-4,531.87
					63-00-000-72120	-503.54
					64-00-000-72120	-2,158.03
			522010		VILLAGE LANDLINE PHONE SERV	
					01-19-000-72120	-1,347.80
					60-00-000-72120	906.38
					63-00-000-72120	100.71
					64-00-000-72120	431.61
					01-17-205-72120	512.35
					01-14-000-72120	310.00
					01-11-000-72120	3.67
					01-12-000-72120	8.45
					01-17-205-72120	8.45
					01-19-000-72120	1.84
					01-26-023-72120	2.21
					01-26-024-72120	2.21
					01-33-000-72120	4.41
					60-00-000-72120	5.50
					01-12-000-72120	143.80
					01-14-000-72120	449.38
					01-15-000-72120	89.88
					01-17-205-72120	269.63
					01-19-000-72120	125.83
					01-19-020-72120	35.95
					01-26-023-72120	53.93
					01-26-024-72120	53.93
					01-33-000-72120	287.60
					01-35-000-72120	53.93
					01-42-000-72120	35.95
					60-00-000-72120	179.75
					63-00-000-72120	17.94
			530871		ACCT#VILLAGEO3328 17355 68TH	
					01-19-000-72120	5,360.56
					60-00-000-72120	1,934.19
					63-00-000-72120	214.91



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198131	7/22/2022	020298 PEERLESS NETWORK INC	(Continued)			
					64-00-000-72120	921.04
					01-17-205-72120	59.93
					01-14-000-72120	310.00
					01-11-000-72120	4.99
					01-12-000-72120	11.49
					01-17-205-72120	11.49
					01-19-000-72120	2.50
					01-26-023-72120	3.00
					01-26-024-72120	3.00
					01-33-000-72120	6.00
					60-00-000-72120	7.51
					01-12-000-72120	88.56
					01-14-000-72120	276.76
					01-15-000-72120	55.35
					01-17-205-72120	166.05
					01-19-000-72120	77.49
					01-19-020-72120	22.14
					01-26-023-72120	33.21
					01-26-024-72120	33.21
					01-33-000-72120	177.12
					01-35-000-72120	33.21
					01-42-000-72120	22.14
					60-00-000-72120	110.70
					63-00-000-72120	11.08
			539450		VILLAGE LANDLINE PHONE SERV ;	
					01-19-000-72120	259.42
					60-00-000-72120	1,071.36
					63-00-000-72120	119.04
					64-00-000-72120	510.17
					01-17-205-72120	149.81
					60-00-000-72120	190.88
					63-00-000-72120	39.77
					01-14-000-72120	310.00
					01-11-000-72120	2.89
					01-12-000-72120	6.66
					01-17-205-72120	6.66



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198131	7/22/2022	020298 PEERLESS NETWORK INC	(Continued)			
					01-19-000-72120	1.45
					01-26-023-72120	1.74
					01-26-024-72120	1.74
					01-33-000-72120	3.47
					60-00-000-72120	4.33
					01-12-000-72120	151.12
					01-14-000-72120	505.05
					01-15-000-72120	91.47
					01-17-205-72120	302.23
					01-19-000-72120	135.21
					01-19-020-72120	45.73
					01-26-023-72120	59.65
					01-26-024-72120	59.65
					01-33-000-72120	316.15
					01-35-000-72120	59.65
					01-42-000-72120	31.81
					01-17-205-72120	156.71
			6414		ACCT#VILLAGEO3328 17355 68TH (	
					01-26-025-72120	215.00
			7117		ACCT#VILLAGEO3328 17355 68TH (	
					01-26-025-72120	215.00
					<b>Total :</b>	<b>3,685.69</b>
198132	7/22/2022	015995 PORTER LEE CORPORATION	46819		VTP-019078 RESIN RIBBON CARTR	
					01-17-220-73600	79.63
					<b>Total :</b>	<b>79.63</b>
198133	7/22/2022	013587 PROSHRED SECURITY	990123683		METRA STATION 80TH AVE SHREDI	
					01-11-000-72790	600.00
					<b>Total :</b>	<b>600.00</b>
198134	7/22/2022	006361 RAY O' HERRON CO INC	2206782		UNIFORM - WALSH	
					01-17-205-73610	54.95
			2206783		UNIFORM - RAFFERTY	
					01-17-205-73610	135.00
			2206930		AMMUNITION	



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**Voucher List**  
**Village of Tinley Park**

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198134	7/22/2022	006361 RAY O' HERRON CO INC	(Continued)	VTP-019199	01-17-220-73760	264.00
					<b>Total :</b>	<b>453.95</b>
198135	7/22/2022	006870 RELIABLE FIRE EQUIPMENT	66646	VTP-019310	SERVICING ALL EXTINGUISHERS II	2,434.45
			67110	VTP-019280	01-21-000-73870 FIRE EXTINGUISHER FOR NEW SQ	822.00
					<b>Total :</b>	<b>3,256.45</b>
198136	7/22/2022	006974 RINGHOFER, WILLIAM	AP080122		WILLIAM RINGHOFER HEALTH INSI	663.30
					01-14-000-72435	<b>Total : 663.30</b>
198137	7/22/2022	016334 RUSH TRUCK CENTERS	3028396869		TUBE ASSY BREATHER INLET - VAL	147.05
			3028519782		01-26-023-72540 VALVE AUTO TANK DRAIN W/HEATE	265.44
			3028527539		01-26-023-72540 BRAKE DRUM REAR - STREETS 19	449.97
			3028527540		01-26-023-72540 SHIELD DUST BRAKE DRUM READ	149.99
			3028532840		01-26-023-72540 SHOE KIT STREET 19 STOCK	367.64
			3028547218		01-26-023-72540 SHIELD DUST BRK UNIT 19	277.32
					<b>Total :</b>	<b>1,657.41</b>
198138	7/22/2022	007091 SAFETY KLEEN SYSTEMS, INC.	87947533		WASHER SOLVENT,MANIFET FEE,F	46.88
					01-33-000-72750	93.76
					01-26-024-72750	93.76
					01-26-023-72750	32.82
					60-00-000-72750	32.82
					63-00-000-72750	28.11
					64-00-000-72750	140.63
					01-17-205-72750	



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198138	7/22/2022	007091	007091 SAFETY KLEEN SYSTEMS, INC.	(Continued)	<b>Total :</b>	<b>468.78</b>
198139	7/22/2022	007629	SAM'S CLUB DIRECT	071822	PAPER PLATE,COOLERS,WATER	
					60-00-000-73870	25.19
					63-00-000-73870	25.19
					64-00-000-73870	21.59
					01-26-023-73870	71.99
					01-26-024-73870	36.00
					01-17-205-73315	131.84
					<b>Total :</b>	<b>311.80</b>
198140	7/22/2022	007092	SAUNORIS	696069	SOD	
				VTP-019216	01-26-023-73680	964.00
				696125	SOD	
				VTP-019216	01-26-023-73680	651.00
				696214	PALLET REFUND	
					01-26-023-73680	-84.00
				696602	SOD	
					60-00-000-73680	273.42
					63-00-000-73680	30.38
					64-00-000-73680	130.20
					<b>Total :</b>	<b>1,965.00</b>
198141	7/22/2022	020619	SCHREIBER, KEVIN	071422	REIMBURSEMENT CPR AED CLASS	
					01-21-000-72140	15.00
					<b>Total :</b>	<b>15.00</b>
198142	7/22/2022	007453	SERVICE SANITATION, INC.	8377161	BLOCK PARTY PORTA POTTIES	
				VTP-019242	01-35-000-72923	9,236.00
					<b>Total :</b>	<b>9,236.00</b>
198143	7/22/2022	020511	SIERRA ITS	1197	IT STAFF J. DAVILA 6/26-7/2/22	
					01-16-000-72790	1,800.00
				1207	IT STAFF J. DAVILA 7/3-7/9/22	
					01-16-000-72790	1,440.00
					<b>Total :</b>	<b>3,240.00</b>
198144	7/22/2022	013043	SITE DESIGN GROUP, LTD.	7698-79	NATURALIZED STORMWATER 6/1-6	



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**Village of Tinley Park**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198144	7/22/2022	013043 SITE DESIGN GROUP, LTD.	(Continued)	VTP-019176	01-26-023-72847	377.50
					<b>Total :</b>	<b>377.50</b>
198145	7/22/2022	019719 SKILLET HOUSE	070622		PD DPT MEETING 7/6/22 01-17-205-72170	350.00
					<b>Total :</b>	<b>350.00</b>
198146	7/22/2022	020621 SPENCER, DANIEL	Ref001424179		UB Refund Cst #00465117 60-00-000-20599	29.55
					<b>Total :</b>	<b>29.55</b>
198147	7/22/2022	007224 STANDARD EQUIPMENT COMPANY	P37336		STREET BROOM SWEEPER - PART 01-26-023-72530	786.56
					<b>Total :</b>	<b>786.56</b>
198148	7/22/2022	007438 SUB TRAILER HITCH, INC.	13664		RD7 W/POWERED MODULE ELEC# 01-26-024-72540	210.00
					<b>Total :</b>	<b>210.00</b>
198149	7/22/2022	007297 SUTTON FORD INC./FLEET SALES	557029		INSTRUMENT CLUSTER EMA 11M 01-21-000-72540	410.71
			557303		EXHAUST SENSOR PD 8A 01-17-205-72540	27.72
			557631		V BELT PD 1C 01-17-205-72540	11.85
			557686		ARM ASY FRONT PD 2 SAM 01-17-205-72540	127.65
			557741		V BELT - POLICE STOCK 01-17-205-72540	11.85
					<b>Total :</b>	<b>589.78</b>
198150	7/22/2022	018607 TELCOM INNOVATIONS GROUP, LLC	A58844		LABOR CHARGE REMOTE SVC TIC 01-26-025-72777	181.25
					<b>Total :</b>	<b>181.25</b>
198151	7/22/2022	007717 THIRD DISTRICT FIRE CHIEF ASSN	4908		QUARTERLY MABAS 24 DUES & AS 01-19-000-72720	1,825.25



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198151	7/22/2022	007717 THIRD DISTRICT FIRE CHIEF ASSN	(Continued) 4926		MONTHLY LUNCHEON MEETING -D 01-19-000-72170	20.00
					<b>Total :</b>	<b>1,845.25</b>
198152	7/22/2022	019712 TM TIRE CO INC	142554		SERVICE CALL STREET UNIT 112 01-26-023-72540	280.00
					<b>Total :</b>	<b>280.00</b>
198153	7/22/2022	015251 TRAFFIC SAFETY WAREHOUSE	98755A	VTP-019300	TRAFFIC CONES 01-21-000-73870	1,077.50
					<b>Total :</b>	<b>1,077.50</b>
198154	7/22/2022	008040 UNDERGROUND PIPE & VALVE CO	055443-01		MAIN BREAK CLAMPS	
				VTP-019268	60-00-000-73630	225.54
				VTP-019268	63-00-000-73630	25.06
				VTP-019268	64-00-000-73630	107.40
				VTP-019268	60-00-000-73630	182.07
				VTP-019268	63-00-000-73630	20.23
				VTP-019268	64-00-000-73630	86.70
			055496-01		MAIN BREAK CLAMP	
				VTP-019287	60-00-000-73630	427.14
				VTP-019287	63-00-000-73630	47.46
				VTP-019287	64-00-000-73630	203.40
				VTP-019287	60-00-000-73630	226.17
				VTP-019287	63-00-000-73630	25.13
				VTP-019287	64-00-000-73630	107.70
					<b>Total :</b>	<b>1,684.00</b>
198155	7/22/2022	002613 UNITED HEALTHCARE AARP	AARP-AP080122		JULY 22 PYMT FOR AUG 22 COVER 01-14-000-72435	2,120.47
			AARP-PPAP080122		AARP POLICE PENSION JULY PMT/ 01-14-000-72435	2,441.17
					<b>Total :</b>	<b>4,561.64</b>
198156	7/22/2022	007987 UNITED METHODIST CHURCH	080122		AUG'22 PARKING RENTAL 70-00-000-72621	1,200.00



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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198156	7/22/2022	007987	007987 UNITED METHODIST CHURCH	(Continued)	<b>Total :</b>	<b>1,200.00</b>
198157	7/22/2022	011416	VERIZON WIRELESS	9910339328	ACCT#242459316-00001 CENTRAL	
					63-00-000-72127	16.68
					60-00-000-72127	16.68
					64-00-000-72127	14.30
			9911074478		ACCT 2804813333-00003 MOBILE S	
					01-19-020-72120	173.03
					63-00-000-72120	50.28
					01-11-000-72120	350.00
					01-12-000-72120	310.71
					01-13-000-72120	89.48
					01-14-000-72120	12.45
					01-16-000-72120	614.23
					01-19-000-72120	440.47
					01-21-210-72120	218.17
					01-26-023-72120	1,169.39
					01-26-024-72120	181.04
					01-26-025-72120	305.12
					01-33-000-72120	275.68
					64-00-000-72120	214.99
					01-17-205-72120	4,668.19
					01-35-000-72120	47.24
					60-00-000-72120	452.55
			9911075803		ACCT# 285837077-00001 TELLULAF	
					01-17-205-72127	8.55
			Data		ACCT 280481333-00001 DATA SVC (	
					11-00-000-72127	73.68
					01-11-000-72127	144.04
					01-12-000-72127	72.02
					01-15-000-72127	36.01
					01-16-000-72127	386.51
					01-17-220-72127	1,840.55
					01-17-205-72127	396.22
					01-19-000-72127	1,116.38
					01-19-020-72127	108.03
					01-21-210-72127	288.08



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198157	7/22/2022	011416 VERIZON WIRELESS	(Continued)			
					01-26-023-72127	504.14
					01-26-025-72127	216.06
					01-33-000-72127	360.10
					01-35-000-72127	108.03
					60-00-000-72127	340.31
					63-00-000-72127	37.81
					64-00-000-72127	198.01
					01-13-000-72127	36.01
					<b>Total :</b>	<b>15,891.22</b>
198158	7/22/2022	006362 VILLAGE OF OAK LAWN	7911		WINTRUST REG WATER LOAN INT	
					60-00-000-73221	8,663.95
			7922		REG WATER UNUSED COMMIT FEI	
					60-00-000-73221	30.97
					<b>Total :</b>	<b>8,694.92</b>
198159	7/22/2022	010165 WAREHOUSE DIRECT INC	5271204-0		PETTY CASH FORM	
					60-00-000-73110	11.83
					63-00-000-73110	1.31
					64-00-000-73110	5.63
			5280540-0		PAPER	
					01-26-024-73110	8.17
					01-26-023-73110	16.34
					60-00-000-73110	10.30
					63-00-000-73110	1.14
					64-00-000-73110	4.91
					<b>Total :</b>	<b>59.63</b>
198160	7/22/2022	011055 WARREN OIL CO.	W1487154		N.L. GAS USED 6/18-7/8/22	
					01-17-205-73530	16,006.82
					01-19-000-73530	1,064.54
					01-19-020-73530	137.39
					01-21-000-73530	2,113.85
					60-00-000-73530	1,328.33
					63-00-000-73530	332.08
					64-00-000-73530	711.61



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198160	7/22/2022	011055 WARREN OIL CO.	(Continued)			
					01-26-023-73530	2,465.81
					01-26-024-73530	768.99
					01-33-300-73530	295.55
					01-12-000-73530	199.34
					01-14-000-73532	38.76
					01-14-000-73531	1,411.31
					14-00-000-73530	67.49
					01-42-000-73530	679.35
			W1487155		DIESEL GAS USED 6/2-7/8/22	
					01-19-000-73545	4,432.31
					60-00-000-73545	849.32
					63-00-000-73545	212.33
					64-00-000-73545	454.99
					01-26-023-73545	4,100.19
					01-26-024-73545	586.20
					01-21-000-73530	63.07
					01-14-000-73531	1,474.59
					<b>Total :</b>	<b>39,794.22</b>
198161	7/22/2022	008342 WHOLESAL DIRECT, INC.	000258141		TRAILER PLUGS	
					01-26-023-72540	41.92
					60-00-000-72540	22.01
					63-00-000-72540	7.34
					64-00-000-72540	12.56
					<b>Total :</b>	<b>83.83</b>
92 Vouchers for bank code : apbank						<b>Bank total : 209,267.49</b>



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
4102	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	140.13 26.69 71.50 <b>Total : 238.32</b>
4103	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-1	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	165.53 31.53 84.46 <b>Total : 281.52</b>
4104	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-2	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	165.53 31.53 84.46 <b>Total : 281.52</b>
4105	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-3	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	165.53 31.53 84.46 <b>Total : 281.52</b>
4106	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	1,192.03 <b>Total : 1,192.03</b>
4107	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-1	PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	7,753.87 <b>Total : 7,753.87</b>
4108	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-2	PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	206.02 <b>Total : 206.02</b>
4109	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	240.65



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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
4109	7/12/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		<b>Total :</b>	<b>240.65</b>
4110	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-3		PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	201.26
					<b>Total :</b>	<b>201.26</b>
4111	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-4		PAYEE-PAMELA YOUNKER 01-14-000-72542	1,113.02
					<b>Total :</b>	<b>1,113.02</b>
4112	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC ( ) 01-14-000-72542	247.00
					<b>Total :</b>	<b>247.00</b>
4113	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 211026W032		PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	43.00
					<b>Total :</b>	<b>43.00</b>
4114	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-1		PAYEE-PRESCRIPTION PARTNERS 01-14-000-72542	81.77
					<b>Total :</b>	<b>81.77</b>
4115	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-5		PAYEE-PRIORITY CARE SOLUTION 01-14-000-72542	64.72
					<b>Total :</b>	<b>64.72</b>
4116	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 201019W041		PAYEE-SALT CREEK SURGERY CEI 01-14-000-72542	1,181.53
					<b>Total :</b>	<b>1,181.53</b>
4117	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-6		PAYEE-SOUTH SUBURBAN HOSPIT 01-14-000-72542	515.77
					<b>Total :</b>	<b>515.77</b>
4118	7/12/2022	018837	INSURANCE PROGRAM MANAGERS GR 210421W008-1		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	1,704.52
					<b>Total :</b>	<b>1,704.52</b>



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<b>Voucher</b>	<b>Date</b>	<b>Vendor</b>	<b>Invoice</b>	<b>PO #</b>	<b>Description/Account</b>	<b>Amount</b>
4119	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	140.13 26.69 71.50 <b>Total : 238.32</b>
4120	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-1	PAYEE-ALIGN NETWORKS INC 60-00-000-72542 63-00-000-72542 64-00-000-72542	140.13 26.69 71.50 <b>Total : 238.32</b>
4121	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-GENEX SERVICES 01-14-000-72542	171.00 <b>Total : 171.00</b>
4122	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	200211W025-1	PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	6,498.73 <b>Total : 6,498.73</b>
4123	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	200211W025	PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	3,928.70 <b>Total : 3,928.70</b>
4124	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-2	PAYEE-VILLAGE OF TINLEY PARK 60-00-000-72542 63-00-000-72542 64-00-000-72542	961.09 183.06 490.35 <b>Total : 1,634.50</b>
4125	7/19/2022	018837	INSURANCE PROGRAM MANAGERS GR	2008 2104	PAYEE-IPMG 01-14-000-72542	222.42 <b>Total : 222.42</b>
<b>24 Vouchers for bank code : ipmq</b>						<b>Bank total : 28,560.03</b>
<b>120 Vouchers in this report</b>						<b>Total vouchers : 285,181.22</b>



Bank code :    ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

\_\_\_\_\_ Village President

\_\_\_\_\_ Village Clerk

\_\_\_\_\_ Date



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## Voucher List

Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198162	7/29/2022	013702 AT & T	0939671708		ACCT#8310011782085 17355 68TH CT 0 01-19-000-72120	1,427.65
					<b>Total :</b>	<b>1,427.65</b>
198163	7/29/2022	020617 ADAMS, JILLIAN	072122		FARMERS MARKET MUSICIAN 7/30/22 01-35-000-72923	25.00
					<b>Total :</b>	<b>25.00</b>
198164	7/29/2022	002856 AIRY'S, INC	26598		WATER MAIN BREAK 18142 66TH CT 60-00-000-72745 63-00-000-72745 64-00-000-72745	853.24 853.24 731.35
					<b>Total :</b>	<b>2,437.83</b>
198165	7/29/2022	002517 ALLIED ELECTRONICS INC.	9016548884	VTP-019315	3 TRANSDUCERS 64-00-000-72525 64-00-000-72525	2,019.81 18.00
					<b>Total :</b>	<b>2,037.81</b>
198166	7/29/2022	019633 ALTA CONSTRUCTION EQUIPMENT	ESA0432123	VTP-019279	REPLACEMENT TRAILER 30-00-000-74265	10,752.04
					<b>Total :</b>	<b>10,752.04</b>
198167	7/29/2022	002470 AMPEST EXTERMINATION LLC	97186		REMOVE HORNETS NEST FROM TREE 01-26-023-72790	175.00
					<b>Total :</b>	<b>175.00</b>
198168	7/29/2022	014936 AQUAMIST PLUMBING & LAWN	115756	VTP-019159	IRRIGATION TP VH 01-26-025-72790	982.99
			115757	VTP-019159	IRRIGATION 171ST ST MEDIANS 01-26-023-72790	1,697.72
			115760	VTP-019159	IRRIGATION TP POLICE STATION 01-26-025-72790	879.75
			115761	VTP-019159	IRRIGATION TP FIRE STATION -BROOK 01-26-025-72790	576.28
			115762		IRRIGATION LAGRANGE RD MEDIANS	

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198168	7/29/2022	014936 AQUAMIST PLUMBING & LAWN	(Continued)			
			120442	VTP-019159	01-26-023-72790	3,813.41
					REPAIRS TO SPRINKLER SYSTEMS	
				VTP-019324	01-26-023-72790	1,842.50
					<b>Total :</b>	<b>9,792.65</b>
198169	7/29/2022	002433 ASSOCIATED TECHNICAL SERVICES	35823		EMER. CALL 18142 66TH CT	
					60-00-000-72513	668.85
					63-00-000-72513	222.95
					64-00-000-72513	382.20
					<b>Total :</b>	<b>1,274.00</b>
198170	7/29/2022	010953 BATTERIES PLUS - 277	P53421175		KEY FOB BATTERY CHIEF WALSH	
					01-17-205-73600	10.75
			P53436499		BATTERIES	
					01-19-000-73410	100.80
					<b>Total :</b>	<b>111.55</b>
198171	7/29/2022	020616 BAUMAN, ALYSON	072122		FARMERS MARKET MUSICIAN 7/30/22	
					01-35-000-72923	25.00
					<b>Total :</b>	<b>25.00</b>
198172	7/29/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	220074		SEMI TRUCK TIME FOR HAULING STON	
					01-26-023-73860	281.25
					60-00-000-73860	354.38
					63-00-000-73860	39.38
					64-00-000-73860	168.75
					70-00-000-73860	93.74
			220075		TRUCK TIME HAULING STONE FROM C	
					01-26-023-73860	281.25
					60-00-000-73860	354.38
					63-00-000-73860	39.38
					64-00-000-73860	168.75
					70-00-000-73860	93.74
			220080		SEMI TRUCK TIME FOR HAULING SPOI	
					01-26-023-72890	300.00
					60-00-000-73681	441.00



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198172	7/29/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	(Continued)			
					63-00-000-73681	49.00
					64-00-000-73681	210.00
			220081		TRUCK TIME HAULING STREET SWEEP	
					01-26-023-72890	300.00
					60-00-000-73681	441.00
					63-00-000-73681	49.00
					64-00-000-73681	210.00
					<b>Total :</b>	<b>3,875.00</b>
198173	7/29/2022	002923 BLACK DIRT INC.	2061		ADDITIONAL DIRT FOR LAWN RESTOR	
				VTP-019313	01-26-023-73680	240.00
			2119		ADDITIONAL DIRT FOR LAWN RESTOR	
				VTP-019313	01-26-023-73680	240.00
					<b>Total :</b>	<b>480.00</b>
198174	7/29/2022	020618 BLOMARZ, MICHAEL	072122		FARMERS MARKET MUSICIAN 7/30/22	
					01-35-000-72923	25.00
					<b>Total :</b>	<b>25.00</b>
198175	7/29/2022	003304 CARLIN-MORAN LANDSCAPE INC	5754		LANDSCAPE SVC 17424 94TH CT,17017	
					01-33-300-72744	5,237.50
			5774		LANDSCAPE SVC 17424 94TH CT	
					01-33-300-72744	4,050.00
			5779		LANDSCAPE SERVICE 6652 175TH ST	
					01-33-300-72744	2,275.00
					<b>Total :</b>	<b>11,562.50</b>
198176	7/29/2022	003396 CASE LOTS INC	12708		ANTIMICROBIAL SOAP	
					01-26-025-73580	495.75
			12709		MULTIFOLD TOWELS,BLACK CAN LINE	
					01-26-025-73580	493.00
			12710		BLACK LINERS	
					01-26-025-73580	453.65
					<b>Total :</b>	<b>1,442.40</b>
198177	7/29/2022	014026 CHANDLER SERVICES	28666		LATCH ASSY,BOLT SVC PIERCE VEOLI	



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198177	7/29/2022	014026 CHANDLER SERVICES	(Continued)			
			28670		01-19-000-72540 HOSE ,HOSE FITTING,COOLANT SVC F 01-19-000-72540	255.36 531.90
					<b>Total :</b>	<b>787.26</b>
198178	7/29/2022	015199 CHICAGO PARTS & SOUND LLC	2J0003725	VTP-018482	EMERGENCY EQUIPMENT FOR (9) POL 30-00-000-74220	12,259.00
					<b>Total :</b>	<b>12,259.00</b>
198179	7/29/2022	020527 CITY ESCAPE GARDEN & DESIGN	11035	VTP-019163	MOWING - JUNE 2022 01-26-023-72881	34,055.48
					<b>Total :</b>	<b>34,055.48</b>
198180	7/29/2022	012315 CLASSY FLOWERS	100008797		SYMPATHY PLANT 01-11-000-73110	79.50
					<b>Total :</b>	<b>79.50</b>
198181	7/29/2022	012057 COMCAST CABLE	8771401810265348		ACCT#8771401810265348 6829 173RD I 01-19-000-72517	97.11
			8771401810316240		ACCT#8771401810316240 7850 183RS S 01-17-205-72517	65.40
			8771401810784702		ACCT#8771401810784702 7825 167TH S 01-19-000-72517	90.78
					<b>Total :</b>	<b>253.29</b>
198182	7/29/2022	013892 COMED	6771163052		ACCT#6771163052 TRAFFIC SIGNALS 6 01-26-024-72510	813.13
					<b>Total :</b>	<b>813.13</b>
198183	7/29/2022	013878 COMED - COMMONWEALTH EDISON	0052035006		ACCT#0052035006 6720 SOUTH ST 6/2 01-26-025-72510	165.78
			0385181000		ACCT#0385181000 18001 80TH AVE 6/1 01-26-025-72510	2,331.28
			0385440022		ACCT#0385440022 SS BROOKSIDE GLI 64-00-000-72510	336.92
			0421064066		ACCT#0421064066 LAPORTE RD & WA1	



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198183	7/29/2022	013878 COMED - COMMONWEALTH EDISON	(Continued)			
					64-00-000-72510	83.13
			0471006425		ACCT#0471006425 19948 SILVERSLIDE	
					01-26-024-72510	44.28
			0522112018		ACCT#0522112018 17048 OPA 6/21-7/21	
					01-26-024-72510	23.29
			0637059039		ACCT#0637059039 7950 W TIMBER DR	
					64-00-000-72510	88.16
			1222218001		ACCT#1222218001 1 E OPA NORTH ST	
					70-00-000-72510	161.86
			2761036017		ACCT#2761036017 8317 AMBERLY CT 6	
					01-26-024-72510	48.93
			2922039023		ACCT#2922039023 9342 PARKWOOD LI	
					01-26-024-72510	13.20
			4803158058		ACCT#4803158058 RIDGEFIELD LN LIF	
					64-00-000-72510	116.02
			4943163008		ACCT#4943163008 7650 TIMBER AVE 6/	
					70-00-000-72510	21.79
			5437131000		ACCT#5437131000 7980 W 183RD ST 6/	
					01-26-025-72510	328.94
			5983017013		ACCT#5983017013 19112 S 80TH AVE 6.	
					63-00-000-72510	76.46
			67711-63043		ACCT#6771163043 87TH AVE 3PS 176TI	
					01-26-024-72510	5,950.56
			7398024011		ACCT#7398024011 7000 W 183RD ST 6/	
					01-26-024-72510	73.78
					<b>Total :</b>	<b>9,864.38</b>
198184	7/29/2022	018311 CONNECTION	72994927		PLOTTER PAPER	
					60-00-000-73110	10.19
					63-00-000-73110	1.13
					64-00-000-73110	4.85
					01-26-023-73110	16.18
					01-26-024-73110	8.09
					<b>Total :</b>	<b>40.44</b>
198185	7/29/2022	012410 CONSERV FS, INC.	66049942		STRAW BLANKET,CONSERV FS SUNNY	



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198185	7/29/2022	012410 CONSERV FS, INC.	(Continued)		60-00-000-73680	246.73
					63-00-000-73680	27.41
					64-00-000-73680	117.50
			66049986		STRAW BLANKET, CONSERV FS SUNN	
					60-00-000-73680	239.43
					63-00-000-73680	26.60
					64-00-000-73680	114.02
					<b>Total :</b>	<b>771.69</b>
198186	7/29/2022	019809 COOK COUNTY TREASURER	2022-2		MAINTENANCE OF TRAFFIC SIGNALS	
					01-26-024-72775	5,462.75
					70-00-000-72775	835.50
					<b>Total :</b>	<b>6,298.25</b>
198187	7/29/2022	014690 DARLING INGREDIENTS INC	12235294		SANITATION TRAP FEE 80TH AVE TRAIL	
					01-26-025-72530	228.00
					<b>Total :</b>	<b>228.00</b>
198188	7/29/2022	020614 DOMALIK, KAROL	072122		FARMERS MARKET MUSICIAN 7/30/22	
					01-35-000-72923	25.00
					<b>Total :</b>	<b>25.00</b>
198189	7/29/2022	004094 EJ EQUIPMENT INC.	P37729		CLAMP HOSE, COUPLER,NIPPLE PIPE	
					60-00-000-72530	37.15
					63-00-000-72530	12.38
					64-00-000-72530	21.24
			P37780		PARTS TO REPAIR WATER FLEET #69	
				VTP-019327	60-00-000-72540	349.54
				VTP-019327	63-00-000-72540	116.51
				VTP-019327	64-00-000-72540	199.74
					<b>Total :</b>	<b>736.56</b>
198190	7/29/2022	004176 FEDEX (FEDERAL EXPRESS)	7-825-16437		SHIPPING COSTS	
					60-00-000-72110	10.40
					64-00-000-72110	4.45
					<b>Total :</b>	<b>14.85</b>



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198191	7/29/2022	020526 FOX RIVER SYSTEMS INC	7424		PUMP TESTING AT POST 2	
				VTP-019323	60-00-000-72528	1,375.00
				VTP-019323	63-00-000-72528	1,375.00
					<b>Total :</b>	<b>2,750.00</b>
198192	7/29/2022	011611 FOX VALLEY FIRE & SAFETY CO.	IN00535310KZ		RADIO INSPECTIONS WITH REPAIRS,M	
					14-00-000-74150	3,416.00
					<b>Total :</b>	<b>3,416.00</b>
198193	7/29/2022	004535 GALLS LLC	021562011		UNIFORM BADGES/SHORTS/PANTS	
				VTP-019289	01-21-000-73610	80.96
			021593742		ST SHORT W/CARGO POCKET	
					01-21-000-73610	27.02
					<b>Total :</b>	<b>107.98</b>
198194	7/29/2022	018387 GBJ SALES, LLC	4469		TIGER GRIP GLOVES	
				VTP-019303	01-26-023-73845	354.00
				VTP-019303	01-26-024-73845	177.00
				VTP-019303	60-00-000-73845	221.25
				VTP-019303	63-00-000-73845	26.55
				VTP-019303	64-00-000-73845	106.20
				VTP-019303	01-26-023-73845	13.04
				VTP-019303	01-26-024-73845	6.52
				VTP-019303	60-00-000-73845	8.15
				VTP-019303	63-00-000-73845	0.98
				VTP-019303	64-00-000-73845	3.91
					<b>Total :</b>	<b>917.60</b>
198195	7/29/2022	012943 GODETTE CUSTODIAN, LAURA	072722		SNACKS FOR VILLAGE BOARD	
					01-14-000-73115	42.54
					<b>Total :</b>	<b>42.54</b>
198196	7/29/2022	020615 GOETZ, WILLIAM RICHARD	072122		FARMERS MARKET MUSICIAN 7/30/22	
					01-35-000-72923	25.00
					<b>Total :</b>	<b>25.00</b>
198197	7/29/2022	004493 GORDON FOOD SERVICE INC.	768190409		PICNIC SUPPLIES - PW	



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198197	7/29/2022	004493 GORDON FOOD SERVICE INC.	(Continued)		01-26-024-72220	9.59
					01-26-023-72220	19.19
					60-00-000-72220	6.72
					63-00-000-72220	6.72
					64-00-000-72220	5.75
					<b>Total :</b>	<b>47.97</b>
198198	7/29/2022	004438 GRAINGER	9378073275		HAND TRUCK GRIP	
					01-21-000-72540	65.92
			9382627769		JACK 5000LB,DROP LEG PULL PIN	
					01-21-000-72530	100.52
					<b>Total :</b>	<b>166.44</b>
198199	7/29/2022	014491 HANSEN DOOR INC.	11240		TORSION SPRING, WINDING PLUG, ST	
					01-26-025-72520	1,010.00
					<b>Total :</b>	<b>1,010.00</b>
198200	7/29/2022	010238 HOME DEPOT CREDIT SERVICES	W892295368		WIRENUT WIRES,125V AMP	
					01-26-025-73570	42.74
			WB18803814		****2304 KLEIN TOOLD MULTIBIT PREC	
					01-26-025-73410	39.94
					<b>Total :</b>	<b>82.68</b>
198201	7/29/2022	005127 INGALLS OCCUPATIONAL MEDICINE	302908		TESTING SERVICES JUNE'22	
					01-41-040-72846	505.00
					<b>Total :</b>	<b>505.00</b>
198202	7/29/2022	005025 INTERNATIONAL CODE COUNCIL INC	1001531365		PLAN REVIEW/INTERP FEES BANGING	
					01-33-300-72844	600.00
					<b>Total :</b>	<b>600.00</b>
198203	7/29/2022	011466 JEWEL OSCO	072222		****8778 SODA - CONF ROOMS	
					60-00-000-73110	12.33
					63-00-000-73110	1.37
					64-00-000-73110	5.87
					01-26-023-73110	19.57



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198203	7/29/2022	011466 JEWEL OSCO	(Continued)			
			072622		01-26-024-73110 BOARD SNACKS 01-14-000-73115	9.79  136.60
					<b>Total :</b>	<b>185.53</b>
198204	7/29/2022	019785 JIMSON DISTRIBUTING	172663		ONE DRUM VERSATRANS FLUID	
				VTP-019312	01-33-300-72540	120.00
				VTP-019312	01-17-205-73535	260.40
				VTP-019312	01-26-024-73535	120.00
				VTP-019312	01-26-023-73535	250.00
				VTP-019312	01-19-020-73535	150.00
				VTP-019312	01-21-000-73535	50.00
				VTP-019312	60-00-000-73535	78.75
				VTP-019312	63-00-000-73535	26.25
				VTP-019312	64-00-000-73535	45.00
					<b>Total :</b>	<b>1,100.40</b>
198205	7/29/2022	006948 JOE RIZZA FORD OF ORLAND PARK	671864		BRAKELIGHTS ELECTRIC UNIT 34	
					01-26-024-72540	180.00
					<b>Total :</b>	<b>180.00</b>
198206	7/29/2022	006559 LINDE GAS & EQUIPMENT INC	30248119		ACETYLENE 6/20-7/22/22	
					01-26-024-73730	65.82
					01-26-023-73730	131.64
					60-00-000-73730	46.07
					63-00-000-73730	46.07
					64-00-000-73730	39.50
					<b>Total :</b>	<b>329.10</b>
198207	7/29/2022	020322 MASTER AUTO SUPPLY	15030-120182		SELEDTYP 3030 STREET - STOCK	
					01-26-023-72540	299.95
					<b>Total :</b>	<b>299.95</b>
198208	7/29/2022	006074 MENARDS	24605		CONCRETE FORMING,BASIC PLT FLTR	
			24644		01-26-025-72520	21.04
					ALGAE EXTRA,PLASTIC TENT STAKE	



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198208	7/29/2022	006074 MENARDS	(Continued)			
			24684		01-26-023-73410 QUICK STRAPS,HOSE SAVER FITS,HOS	59.46
			24703		01-21-000-72530 TEKS,HWH,IMPACT - STREETS STOCK	62.81
			24708		01-26-023-73410 ANGLE KEY VALVE,WATERPROOF ,TUE	11.04
			24709		01-26-025-73630 BLOCK PARTY PVC CAP, GROUND RO	69.42
			24754		01-26-024-73570 FAUCET EXT W/SHUT OFF,SIMPLE GRE	37.06
					60-00-000-73630	9.43
					63-00-000-73630	1.05
					64-00-000-73630	4.49
					60-00-000-73110	12.59
					63-00-000-73110	1.40
					64-00-000-73110	5.99
			24757		DAWN ULTRA APPLE,100QT COOLER	
					01-26-025-73580	10.98
					60-00-000-73870	28.00
					63-00-000-73870	28.00
					64-00-000-73870	23.99
					01-26-023-73870	79.99
					01-26-024-73870	40.00
			24761		3/4 LF PRESS BV	
					60-00-000-73630	20.15
					63-00-000-73630	2.24
					64-00-000-73630	9.59
			24826		3/4" PRS REPR CPLNG	
					60-00-000-73630	13.19
					63-00-000-73630	1.47
					64-00-000-73630	6.28
					<b>Total :</b>	<b>559.66</b>
198209	7/29/2022	013275 MITCHELL, PHILLIP	224880085		REIMBURSE DRINKING WATER OPERA	
					60-00-000-72140	3.50
					63-00-000-72140	3.50



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198209	7/29/2022	013275 MITCHELL, PHILLIP	(Continued)		64-00-000-72140	3.00
					<b>Total :</b>	<b>10.00</b>
198210	7/29/2022	015723 NICOR	33079168366		ACCT#33079168366 METER 4385355 93	
			49924710004		64-00-000-72511	62.53
			64423710009		ACCT#49924710004 METER 4581759 91	192.89
			81423710003		01-26-025-72511	233.24
			90223493009		ACCT#6443710009 METER 3358398 682	49.17
					01-26-025-72511	89.60
					<b>Total :</b>	<b>627.43</b>
198211	7/29/2022	010135 ONSITE COMMUNICATIONS USA, INC	52047		KENWOOD 2 WAY RADIO	
					01-21-000-72550	670.00
					<b>Total :</b>	<b>670.00</b>
198212	7/29/2022	006475 PARK ACE HARDWARE	068370/1		ACCT#891432 INV#068370/1 AIR BLOW	
			68398/1		01-26-023-73410	19.18
			68400/1		ACCT#891432 INV#68398/1 LIQUID CHL	26.36
			68412/1		01-26-023-73550	5.74
					ACCT#891432 INV#68400/1 PAIL LID OP	19.18
					01-26-023-73410	
					ACCT#89143 VILLAGE HALL FAUCET V	
					01-26-025-72520	
					<b>Total :</b>	<b>70.46</b>
198213	7/29/2022	006597 PITNEY BOWES PURCHASE POWER	072522		ACCT#8000-9000-0107-6300 POSTAGE	
					01-33-300-72110	147.49
					01-41-040-72110	89.67
					01-13-000-72110	21.11
					01-41-046-72110	2.12
					01-21-000-72110	2.16
					01-41-044-72110	2.36



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**Voucher List**  
**Village of Tinley Park**

Page: 12

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198213	7/29/2022	006597 PITNEY BOWES PURCHASE POWER	(Continued)			
					14-00-000-72110	62.82
					01-19-020-72110	42.56
					01-35-000-72110	255.66
					01-33-310-72110	185.92
					06-00-000-72110	797.24
					01-41-050-72110	1.50
					60-00-000-72110	501.64
					64-00-000-72110	214.99
					01-14-000-72120	669.15
					01-41-056-72110	424.98
					<b>Total :</b>	<b>3,421.37</b>
198214	7/29/2022	006780 POMP'S TIRE SERVICE, INC	310210140		TIRES - FD 46	
					01-19-000-72570	1,512.00
					<b>Total :</b>	<b>1,512.00</b>
198215	7/29/2022	006361 RAY O' HERRON CO INC	2208044		UNIFORM - J.KELLEY	
					01-17-220-73610	129.99
					<b>Total :</b>	<b>129.99</b>
198216	7/29/2022	017975 REVIZE LLC	10883		MOBILE APP	
					01-35-000-72653	2,500.00
					<b>Total :</b>	<b>2,500.00</b>
198217	7/29/2022	006874 ROBINSON ENGINEERING CO. LTD.	22070148		19-R0866.04 TP 191ST AND 80TH AVE -	
					30-00-000-75810	890.75
			22070404		08-562.TP NBIS PROGRAM MANAGER	
					01-26-023-72840	923.75
			22070419		22-R0005.014 FY 2023 PMP RESURFAC	
					05-00-000-72840	30,600.00
					<b>Total :</b>	<b>32,414.50</b>
198218	7/29/2022	007629 SAM'S CLUB DIRECT	071322		PAPER TOWEL,WATER,GATORADE,BA1	
					01-26-025-73580	263.44
					60-00-000-73115	9.57
					63-00-000-73115	8.57



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## Voucher List

Village of Tinley Park

Page: 13

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198218	7/29/2022	007629 SAM'S CLUB DIRECT	(Continued)			
					64-00-000-73115	8.20
					01-26-023-73115	27.34
					01-26-024-73115	13.67
					01-14-000-73115	76.72
			071422		GATORADE,WATER,BATTERIES	
					01-35-000-72923	158.52
					60-00-000-73110	5.03
					63-00-000-73110	0.56
					64-00-000-73110	2.40
					01-26-023-73110	7.99
					01-26-024-73110	4.00
					01-14-000-73115	-37.38
			071922		EMPLOYEE PICNIC SUPPLIES:CUTLER	
					01-14-000-72974	115.69
					01-26-025-73580	52.36
					60-00-000-73115	5.27
					63-00-000-73115	5.27
					64-00-000-73115	4.52
					01-26-023-73115	15.07
					01-26-024-73115	7.55
			071922..		WATER	
					01-35-000-72923	29.90
					60-00-000-73115	8.88
					63-00-000-73115	8.88
					64-00-000-73115	7.67
					01-26-023-73115	25.56
					01-26-024-73115	14.79
					01-14-000-73115	-1.87
			072022		ICE FOR EMPLOYEE PICNIC	
					01-35-000-72923	14.88
					<b>Total :</b>	<b>863.05</b>
198219	7/29/2022	020623 SOUTHWEST LABORATORY	62954325315.1		ACCT#6295*4325315.1 J.GLUSAK SCRE	
					01-41-040-72846	39.70
					<b>Total :</b>	<b>39.70</b>



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**Voucher List**  
**Village of Tinley Park**

Page: 14

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198220	7/29/2022	012238 STAPLES BUSINESS ADVANTAGE	3512423334		REFILL CARD,PAPER CLIPS,RUBBERB/	
					01-41-056-73110	17.63
					01-14-000-73110	21.35
			3512423335		STAMPER	
					01-17-205-73110	88.24
			3512423336		HP 202A INK,FILE WALL	
					01-17-205-73110	92.13
					<b>Total :</b>	<b>219.35</b>
198221	7/29/2022	015452 STEINER ELECTRIC COMPANY	S007181431.001		BLOCK PARTY MISC	
					01-26-024-73570	400.73
					<b>Total :</b>	<b>400.73</b>
198222	7/29/2022	002957 THE BREWER COMPANY	182543		PAINT	
					01-26-023-73620	285.36
					<b>Total :</b>	<b>285.36</b>
198223	7/29/2022	004400 THE GORMAN GROUP, LTD.	072022		APPRAISAL FEES 6381 W 171ST ST	
					18-00-000-72790	500.00
			072022.		APPRAISAL FEES 17112 OAK PARK AVE	
					18-00-000-72790	750.00
			072022..		APPRAISAL SERVICES 17116 OAK PAR	
					18-00-000-72790	750.00
			072022...		APPRIASAL SERVICES 17132 67TH CT	
					18-00-000-72790	350.00
			072022....		APPRAISAL SERVICES 17147 OAK PAR	
					18-00-000-72790	1,250.00
					<b>Total :</b>	<b>3,600.00</b>
198224	7/29/2022	012187 TOTAL AUTOMATION CONCEPTS, INC	C013228		BUILDING AUTOMATION MAINTENANCI	
				VTP-019285	01-26-025-72790	9,504.00
					<b>Total :</b>	<b>9,504.00</b>
198225	7/29/2022	014510 TRUGREEN	162249265		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162260339		WEED CONTROL	
				VTP-019170	01-26-023-72881	300.00



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## Voucher List

Village of Tinley Park

Page: 15

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198225	7/29/2022	014510 TRUGREEN	(Continued)			
			162262957		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162292892		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162292896		WEED CONTROL	
				VTP-019170	01-26-023-72881	300.00
			162292898		WEED CONTROL	
				VTP-019170	01-26-023-72881	150.00
			162292899		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162292904		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162304501		WEED CONTROL	
				VTP-019170	01-26-023-72881	150.00
			162305909		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
			162319365		WEED CONTROL	
				VTP-019170	01-26-023-72881	75.00
Total :						1,425.00
198226	7/29/2022	008040 UNDERGROUND PIPE & VALVE CO	055922		WATER MAIN REPLACEMENT PARTS	
				VTP-019318	60-00-000-73630	462.77
				VTP-019318	63-00-000-73630	51.42
				VTP-019318	64-00-000-73630	220.37
				VTP-019318	60-00-000-73630	1,677.48
				VTP-019318	63-00-000-73630	186.39
				VTP-019318	64-00-000-73630	798.81
				VTP-019318	60-00-000-73630	598.50
				VTP-019318	63-00-000-73630	66.50
				VTP-019318	64-00-000-73630	285.00
				VTP-019318	60-00-000-73630	418.95
				VTP-019318	63-00-000-73630	46.55
				VTP-019318	64-00-000-73630	199.50
				VTP-019318	60-00-000-73630	56.70
				VTP-019318	63-00-000-73630	6.30
				VTP-019318	64-00-000-73630	27.00



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## Voucher List

Village of Tinley Park

Page: 16

Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198226	7/29/2022	008040 UNDERGROUND PIPE & VALVE CO	(Continued)			
				VTP-019318	60-00-000-73630	59.85
				VTP-019318	63-00-000-73630	6.65
				VTP-019318	64-00-000-73630	28.50
				VTP-019318	60-00-000-73630	40.95
				VTP-019318	63-00-000-73630	4.55
				VTP-019318	64-00-000-73630	19.50
				VTP-019318	60-00-000-73630	59.85
				VTP-019318	63-00-000-73630	7.00
				VTP-019318	64-00-000-73630	58.50
				VTP-019318	60-00-000-73630	81.90
				VTP-019318	63-00-000-73630	9.10
				VTP-019318	64-00-000-73630	39.00
				VTP-019318	60-00-000-73630	56.70
				VTP-019318	63-00-000-73630	6.30
				VTP-019318	64-00-000-73630	27.00
				VTP-019318	60-00-000-73630	100.80
				VTP-019318	63-00-000-73630	11.20
				VTP-019318	64-00-000-73630	48.00
				VTP-019318	60-00-000-73630	301.14
				VTP-019318	63-00-000-73630	33.46
				VTP-019318	64-00-000-73630	143.40
				VTP-019318	60-00-000-73630	289.17
				VTP-019318	63-00-000-73630	32.13
				VTP-019318	64-00-000-73630	137.70
				VTP-019318	60-00-000-73630	187.74
				VTP-019318	63-00-000-73630	20.86
				VTP-019318	64-00-000-73630	89.40
				VTP-019318	60-00-000-73630	63.00
				VTP-019318	63-00-000-73630	6.65
					<b>Total :</b>	<b>7,072.24</b>
198227	7/29/2022	010165 WAREHOUSE DIRECT INC	5283929-0		PAPER	
					01-14-000-73110	257.30
			5285514-0		LABELS	
					01-21-210-73110	63.78
			5287920-0		FILE JACKET,MARKER	



Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
198227	7/29/2022	010165 WAREHOUSE DIRECT INC	(Continued)			
					60-00-000-73110	24.27
					63-00-000-73110	2.70
					64-00-000-73110	11.56
					01-26-023-73110	38.52
					01-26-024-73110	19.26
			5287922-0		PAPER	
					60-00-000-73110	25.94
					63-00-000-73110	2.88
					64-00-000-73110	12.35
					01-26-023-73110	41.17
					01-26-024-73110	20.58
					01-14-000-73110	51.46
					Total :	571.77
66	Vouchers for bank code :		apbank		Bank total :	189,333.06



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**Voucher List**  
**Village of Tinley Park**

Page: 18

Bank code : ipmg

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
4126	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	200803W006		PAYEE-ELECTROSTIM MEDCL SVCS 01-14-000-72542	41.54
					<b>Total :</b>	<b>41.54</b>
4127	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	201019W041		PAYEE-PETERSON, JOHNSON & MURR 01-14-000-72542	56.00
					<b>Total :</b>	<b>56.00</b>
4128	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	201130W025		PAYEE-PETERSON JOHNSON & MURR 01-14-000-72542	93.00
					<b>Total :</b>	<b>93.00</b>
4129	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	190326W026		PAYEE-PETERSON JOHNSON & MURR 01-14-000-72542	2,980.00
					<b>Total :</b>	<b>2,980.00</b>
4130	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	190326W026-1		PAYEE-PETERSON JOHNSON & MURR 01-14-000-72542	21.50
					<b>Total :</b>	<b>21.50</b>
4131	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	200803W006		PAYEE-SOUTH SUBURBAN HOSPITAL 01-14-000-72542	18,771.53
					<b>Total :</b>	<b>18,771.53</b>
4132	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	210421W008		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	1,704.52
					<b>Total :</b>	<b>1,704.52</b>
4133	7/27/2022	018837 INSURANCE PROGRAM MANAGERS GRP	200803W006-1		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	1,113.02
					<b>Total :</b>	<b>1,113.02</b>
8 Vouchers for bank code : ipmg						<b>Bank total : 24,781.11</b>
74 Vouchers in this report						<b>Total vouchers : 214,114.17</b>



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Voucher List  
Village of Tinley Park

Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

\_\_\_\_\_ Village President

\_\_\_\_\_ Village Clerk

\_\_\_\_\_ Date



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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**RESOLUTION**  
**NO. 2022-R-084**

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**A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN**  
**EXECUTIVE SESSION MINUTES**

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**MICHAEL W. GLOTZ, PRESIDENT**  
**NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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**VILLAGE OF TINLEY PARK**  
**Cook and Will Counties, Illinois**

**RESOLUTION NO. 2022-R-084**

**A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN  
EXECUTIVE SESSION MINUTES**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, pursuant to 5 ILCS 120/2.06(d) of the Illinois Open Meetings Act, the President and Board of Trustees of the Village of Tinley Park have periodically met and reviewed the minutes of all meetings of the President and Board of Trustees that had been closed to the public; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park find and hereby declare that the need for confidentiality still exists, except for the minutes or portions thereof expressly identified:

August 3, 2021	December 12, 2017	June 7, 2016
June 15, 2021	November 7, 2017	May 17, 2016
March 11, 2021	September 5, 2017	April 12, 2016
May 19, 2020	August 8, 2017	March 22, 2016
May 6, 2020	June 20, 2017	March 15, 2016
February 4, 2020	June 20, 2017	March 1, 2016
December 17, 2019	June 6, 2017	February 16, 2016
November 12, 2019	April 11, 2017	February 2, 2016
October 15, 2019	March 14, 2017	January 19, 2016
July 16, 2019	March 7, 2017	September 22, 2015
July 2, 2019	February 21, 2017	September 8, 2015
June 18, 2019	February 14, 2017	July 14, 2015
May 7, 2019	February 6, 2017	June 23, 2015
April 10, 2019	January 17, 2017	May 12, 2015
February 19, 2019	December 20, 2016	January 20, 2015
December 18, 2018	December 6, 2016	January 6, 2015
July 17, 2018	November 15, 2016	October 21, 2014
June 5, 2018	November 8, 2016	September 9, 2014
May 1, 2018	November 1, 2016	September 2, 2014
April 17, 2018	October 4, 2016	March 15, 2014
March 20, 2018	September 13, 2016	March 4, 2014
March 6, 2018	August 2, 2016	February 4, 2014
January 16, 2018	July 19, 2016	April 22, 2013
December 19, 2017	June 21, 2016	



WHEREAS, the President and Board of Trustees of the Village of Tinley Park have determined that the minutes of the closed session meetings for the dates provided above no longer require confidential treatment and should be made available for public inspection.

NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: The President and Board of Trustees find and hereby declare that the closed session minutes or portions thereof expressly identified above no longer require confidential treatment and are henceforth available for public inspection.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 3<sup>rd</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 3<sup>rd</sup> day of August, 2022.

---

VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
                                      )  
COUNTY OF COOK       )  
                                      )  
COUNTY OF WILL       )  
                                      )

SS.

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, County of Cook and Will Counties and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-084, “A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN EXECUTIVE SESSION MINUTES,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on this 3<sup>rd</sup> day of August, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 3<sup>rd</sup> day of August, 2022.

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VILLAGE CLERK



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# **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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## **ORDINANCE NO. 2022-O-067**

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**AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING RESIDENCY  
REQUIREMENTS FOR THE ECONOMIC AND COMMERCIAL COMMISSION**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-067****AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING RESIDENCY REQUIREMENTS FOR THE ECONOMIC AND COMMERCIAL COMMISSION**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, citizens and business owners who volunteer to staff Village commissions and committees are vital to the successful development of quality public policy; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to amend residency requirements for Village Commission and Committee members;

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That Title III Chapter 32 of the Village of Tinley Park Municipal Code entitled "DEPARTMENTS, BOARDS, AND COMMISSIONS" is hereby amended by adding the following underlined language as follows:

**RESIDENCY**

§32.064 MEMBERS; TERMS.

The membership of the Economic and Commercial Commission shall be composed of eleven (11) members and four (4) associate members, all of whom must be residents of the Village of Tinley Park.

~~The membership of the Economic and Commercial Commission shall be composed of 11 members, the majority of which will be citizens of Tinley Park and four associate members, who are not required to be citizens of Tinley Park.~~



**SECTION 3:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 4:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 3<sup>rd</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 3<sup>rd</sup> day of August, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-067, “AN ORDINANCE AMENDING TITLE III CHAPTER 32 REGARDING RESIDENCY REQUIREMENTS FOR THE ECONOMIC AND COMMERCIAL COMMISSION,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 3<sup>rd</sup>, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 3<sup>rd</sup> day of August, 2022.

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VILLAGE CLERK



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**THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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**ORDINANCE  
NO. 2022-O-059**

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**AN ORDINANCE GRANTING A VARIATION TO PERMIT A PRIVACY  
FENCE IN A SECONDARY FRONT YARD AT 17251 OLCOTT AVENUE**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
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COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-059****AN ORDINANCE GRANTING A VARIATION TO PERMIT A PRIVACY FENCE IN A  
SECONDARY FRONT YARD AT 17251 OLCOTT AVENUE**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition has been filed with the Village Clerk of this Village and has been processed in accordance with the Tinley Park Zoning Ordinance by Mark Murphy ("Petitioner"), to grant a forty-foot (40') Variation to permit the construction of a five-foot (5') tall open-style fence encroaching forty-feet into the required forty-foot (40') secondary front yard, where a fence encroachment is not permitted ("Variation"); and

**WHEREAS**, the Village of Tinley Park Plan Commission held a Public Hearing on the question of whether the Variation should be granted on June 16, 2022, at the Village Hall of this Village at which time all persons present were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said Public Hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said Public Hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, after hearing testimony on the petition, the Plan Commission found that the petition did not meet the requisite standards enumerated in the Tinley Park Zoning Ordinance for granting the Variation and voted 2-5 to recommend to the Village President and Board of Trustees for the denial of the Variation; and

**WHEREAS**, the Plan Commission has filed its report of findings and recommendations regarding the Variation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variation; and



**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner have provided evidence establishing that he has met the standards for granting the Variation as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variation as set forth herein are in the public good and in the best interest of the Village and its residents and are consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
  - The subject parcel can still yield a reasonable return under the conditions of the district it is located. The Petitioner has multiple options to comply with code, including aligning the fence with the home's setback, repairing/maintaining the existing fence, or installing additional landscaping. None of these compliant options will not limit the owner's ability to yield a reasonable return on their property.
2. The plight of the owner is due to unique circumstances.
  - The subject property does not present a clear, physical hardship related to the property. The Petitioner could build to align with the homes existing non-conforming setback. Privacy and security at the lot line could be addressed via other code compliant options such as maintenance of the existing fence and additional landscaping.
3. The Variation, if granted, will not alter the essential character of the locality.
  - The Variation, if granted, will alter the essential character of the locality. Though some corner lot properties do have nonconforming fences, most in the neighborhood conform to the code. Those properties with non-conforming fences will similarly need to come into conformance when they are eventually replaced. Furthermore, the property abuts an interior neighboring interior lot, which has a primary front yard. Fences are not permitted to extend into primary front yards due to visibility concerns and the negative visual appearance of having fences extend into primary front yards.
4. Additionally, the Plan Commission also considered the extent to which the following facts are not favorable to the Petitioner based on the established evidence:
  - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as



distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
- d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
- e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

**SECTION 3:** The Variation set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:** LOT 13, BLOCK 4 IN A.T. MCINTOSH AND COMPANY'S SUBDIVISION UNIT NO. 2, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**PARCEL IDENTIFICATION NUMBER:** 27-25-405-012-0000

**COMMONLY KNOWN AS:** 17251 Olcott Avenue, Tinley Park, Illinois

**SECTION 4:** A forty-foot (40') Variation from Section III.J (Fence Regulations) of the Zoning Ordinance, to permit a five-foot (5') high open-style fence to extend forty-feet (40') into the required forty-feet (40') secondary front yard where a fence encroachment is not permitted is hereby granted to the Petitioner in the R-1 (Single-Family Residential) Zoning District at the above-mentioned Property, in accordance with the "List of Reviewed Plans" attached hereto as Exhibit A.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.



**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 19<sup>TH</sup> day of July 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 19<sup>TH</sup> day of July 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS        )  
COUNTY OF COOK        )     SS  
COUNTY OF WILL        )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-059, “AN ORDINANCE GRANTING A VARIATION TO PERMIT A CORNER FENCE IN A SECONDARY FRONT YARD AT 17251 OLCOTT AVENUE,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on July 19, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 19<sup>TH</sup> day of July 2022.

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VILLAGE CLERK



**Exhibit A**

Per the June 16, 2022, Plan Commission Public Hearing Staff Report

**LIST OF REVIEWED PLANS**

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Submitted Sheet Name	Prepared By	Date On Sheet
Application (Redacted)	Applicant	4/27/2022
Response to Standards for Variation	Applicant	Rec'd 4/27/2022
Applicant Narrative	Applicant	5/23/2022
Plat of Survey (Marked)	Applicant	Rec'd 4/27/2022
Applicant Existing Fence Photos	Applicant	Rec'd 5/23/2022
Applicant Additional Photos	Applicant	Rec'd 6/9/2022



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-045**

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**AN ORDINANCE APPROVING A TEXT AMENDMENT TO TITLE XI: BUSINESS  
REGULATIONS, CHAPTER 129A HOTEL ACCOMODATIONS TAX, SECTION 129.03  
DEFINITIONS AS WELL AS AMENDING CHAPTER 116: TEMPORARY AND  
PERMANENT RESIDENTIAL HOUSING LICENSES AND CERTIFICATES**

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**MICHAEL W. GLOTZ, PRESIDENT  
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Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-045****AN ORDINANCE APPROVING A TEXT AMENDMENT TO TITLE XI: BUSINESS REGULATIONS, CHAPTER 129A HOTEL ACCOMODATIONS TAX, SECTION 129.03 DEFINITIONS AS WELL AS AMENDING CHAPTER 116: TEMPORARY AND PERMANENT RESIDENTIAL HOUSING LICENSES AND CERTIFICATES**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park (“Village”) desires to amend (“Amendments”) That Title XI: Business Regulations Chapter 129A: Hotel Accommodations Tax, Section 129A.03: Definitions as well as Title XI: Business Regulations, Chapter 116: Hotels and Rooming Houses; and

**WHEREAS**, the Village desires to implement further regulations regarding hotels and extended stay establishments in order to promote the best interests of the residents of and the visitors to the Village of Tinley Park, including their health, safety, and welfare; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Amendments to the Tinley Park Zoning Ordinance; and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** That Title XI: Business Regulations Chapter 129A: Hotel Accommodations Tax, Section 129A.03: Definitions is hereby be amended by deleting the following strikethrough language and adding the following underlined language:

For purposes of this tax, the following definitions shall apply:

“GROSS RENTAL RECEIPTS.” The total amount of consideration for occupancy, valued in money, whether received in money or otherwise, including all receipts, cash, credits, and property or services of any kind or nature, including, but not limited to, amounts charged for the making, servicing or facilitating reservations.



“HOTEL.” Any building or buildings in which the public may, for a consideration, obtain living quarters, sleeping or housekeeping accommodations. The term includes inns, motels, tourist homes or courts, lodging houses, rooming houses and apartment houses. Hotel means any public or private space or structure, including but not limited to, any inn, hostelry, tourist home, motel, bed and breakfast, lodging house or motel rooming house offering space for sleeping or overnight accommodations in exchange for rent. Hotel includes the parking lot and other common areas of the hotel. Hotel does not include living accommodations provided at any governmental or nonprofit institution in connection with the functions of that institution.

“EXTENDED STAY HOTEL” shall, for the purpose of this chapter, mean a Hotel which offers services and facilities designed to appeal to longer-term guests, such as laundry and kitchen facilities, and may quote rates on a weekly or monthly basis.

“PERMANENT RESIDENT.” Any person who occupied or has the right to occupy any room or rooms in a hotel for at least 30 28 consecutive days.

“PERSON.” Any natural individual, firm, partnership, association, joint stock company, joint adventure, public or private corporation, or a receiver, executor, trustee, guardian or other representative appointed by order of any court.

“ROOM” or “ROOMS.” Any living quarters, sleeping or housekeeping accommodations.

**SECTION 3:** That Title XI: Business Regulations, Chapter 116: Hotels and Rooming Houses is hereby be amended by deleting the following strikethrough language and adding the following underlined language:

#### **§ 116.01 LICENSE REQUIREMENTS; FEES.**

(A) It shall be unlawful to conduct or operate a hotel or a building or part thereof used or held out to the public as a place where sleeping accommodations are furnished for 20 or more persons for a period of one day or more without first having obtained a license therefor. The fee for such a license shall be as provided in § 110.25 of this Code.

(B) It shall be unlawful to conduct or operate a rooming house or building, apartment, or portion of a building, in which any person or persons not related to the owner or occupant of the premises by blood or marriage are furnished sleeping accommodations for hire without first having obtained a license therefor. The annual license fee for the license shall be \$40.

(Ord. 84-0-050, passed 11-27-84; Am. Ord. 95-0-023, passed 5-22-95) Penalty, see § 116.99

#### **~~§ 116.02 CONDITION OF PREMISES.~~**

~~—(A)— All premises used for hotel or rooming house purposes shall be kept in a clean and sanitary condition, and all portions of the premises and hotels that are open for use by all guests or by the public shall be kept lighted at all times they are so open to use.~~

~~—(B)— All these premises shall be kept heated between October 1 and May 1 to a temperature of not less than 68°F. between the hours of 7:00 a.m. and 10:00 p.m. and to a temperature of not less~~



than 55°F. at all other hours measured three feet from the floor and three feet from the outside wall.

(Ord. 84-0-050, passed 11-27-84; Am. Ord. 85-0-003, passed 1-29-85) Penalty, see § 116.99

### **§ 116.03 SANITARY FACILITIES.**

~~—Water faucets and lavatories shall be available to all guests using any hotel or rooming house. These water faucets and lavatories must comply with all applicable codes and ordinances of the village.~~

(Ord. 84-0-050, passed 11-27-84; Am. Ord. 85-0-003, passed 1-29-85) Penalty, see § 116.99

### **§ 116.04 EXITS.**

~~—(A) — No building shall be used for a hotel unless it is furnished with the number of exits and fire escapes required by the building ordinances of the village for the construction of a new hotel.~~

~~—(B) — No premises shall be used for a rooming house unless there are at least two exits to the outdoors from the premises.~~

~~—(C) — It shall be unlawful to block or permit the blocking of any exit from any premises used for a hotel or rooming house.~~

(Ord. 84-0-050, passed 11-27-84) Penalty, see § 116.99

### **§ 116.05 REGISTER OF GUESTS.**

~~—(A) — It shall be unlawful to knowingly permit any fugitive from justice to stay in any rooming house or hotel.~~

~~—(B) — Each hotel proprietor shall keep or cause to be kept a register of guests as required by state law, and each operator of a rooming house shall keep a list of all persons staying therein.~~

~~—(C) — The register or list shall be available for inspection by any member of the Police Department at any time.~~

(Ord. 84-0-050, passed 11-27-84) Penalty, see § 116.99

### **§ 116.06 INSPECTION BY FIRE SERVICES ADMINISTRATOR.**

~~—It shall be the duty of the Fire Services Administrator to inspect or cause to be inspected every hotel or rooming house operated in the village as frequently as may be necessary to ensure compliance with the provisions of this subchapter.~~

### **§ 116.03 DEFINITIONS**

**"EXTENDED STAY HOTEL"** shall, for the purpose of this chapter, mean a Hotel which offers services and facilities designed to appeal to longer-term guests, such as laundry and kitchen facilities, and may quote rates on a weekly or monthly basis.

**"GUEST"** means a person who exercises occupancy or is entitled to occupancy in a hotel by reason of concession, permit, right of access, license or other agreement.



**"HOTEL"** means any public or private space or structure, including but not limited to, any inn, hostelry, tourist home, motel, bed and breakfast, lodging house or motel rooming house offering space for sleeping or overnight accommodations in exchange for rent. Hotel includes the parking lot and other common areas of the hotel. Hotel does not include living accommodations provided at any governmental or nonprofit institution in connection with the functions of that institution.

**"IDENTIFICATION DOCUMENT"** means a document that contains the name, date of birth, description and picture of a person, issued by the federal government, the State of Illinois, another state, a county or municipal government subdivision or one of their agencies, including but not limited to: a motor vehicle operator's license, an identification card, or an identification card issued to a member of the Armed Forces. Identification document also includes a passport issued by a foreign government or a consular identification card, issued by a foreign government to any of its citizens and nationals, which has been approved by the village as valid identification.

**"OCCUPANCY"** means the use or possession, or the right to the use or possession, of any room in any hotel.

**"OPERATOR"** means the person who is either the proprietor of the hotel or any other person who has the right to rent rooms within the hotel, whether in the capacity of owner, manager, lessee, mortgagee in possession, licensee, employee or in any other capacity.

**"RECORD"** means written documentation of information about a guest. A record may be maintained electronically, in a book or on cards.

**"RENT"** means the consideration charged, whether or not received, for the occupancy of a room in a hotel valued in money, whether to be received in money, goods, labor or otherwise, including all receipts, cash, credits and property and services of any kind or nature.

**"RESERVATION"** means a request to hold a room for a potential guest that includes the following information and is documented in writing: (i) the potential guest's name and contact information; and (ii) the date and time when the contact was made.

**"ROOM"** means any portion of a hotel, which is designed, used or intended for occupancy by a person for temporary lodging or sleeping purposes.

**"VEHICLE"** is any car, truck, trailer, motorcycle, or other machinery used for transporting people or goods and is normally required to be registered with a state in order to be legally operated or towed on a public roadway.



“VISITOR” shall mean a person, who is not a guest, who is on the premises of a hotel, motel or extended-stay hotel at the invitation of a guest, but without the express permission of the owner, operator, keeper or proprietor of the hotel, motel or extended-stay hotel.

#### § 116.04 - TRAINING OF EMPLOYEES.

The owner or proprietor of a hotel, motel or extended stay hotel shall take all reasonable steps, including but not limited to, providing training regarding this section to ensure that the person who checks a person into the hotel complies with the provisions of this section. A person who has not been trained shall not be assigned to check persons into the hotel.

#### § 116.05 – ENTRY DOORS.

For any hotel, motel, or extended stay hotel permitted for construction after the date of adoption of this Ordinance, any public-facing entry points to the premises must require a magnetic or electronic keycard/locking device for access. Within one hundred eighty (180) days after the effective date of this Ordinance, all public facing entry point doors for any hotel, motel, or extended stay hotel shall have operating automatic closures, key entry and shall remain locked at all times between the hours of 9:00 p.m. and 6:00 a.m. Additionally, all entry point doors shall be equipped with an alarm or other device that will alert hotel, motel, or extended-stay hotel security, attendants, or other employees that the door has been opened or remains open. These requirements are not applicable to entry points that enter directly into the lobby of the hotel, motel, or extended stay hotel as long as the lobby is manned by a bona fide employee twenty-four (24) hours a day. These requirements are also not applicable to entry points that enter directly into a banquet hall, conference room, or other facility utilized for a special event or meeting hosted by a hotel, motel, or extended-stay hotel as long as there is a bona fide employee staffing the banquet hall, conference room, or other facility utilized for the duration of that event.

#### § 116.06 – HOURLY RENTALS.

No owner, operator, keeper or proprietor of a hotel, motel, or extended-stay hotel shall provide lodging at an hourly rate.

#### § 116.07 - RENTAL OF ROOMS TO PERSONS UNDER TWENTY-ONE.

It shall be unlawful for any hotel, motel or extended stay hotel to rent a room to any individual under the age of twenty-one (21).

Exception: A hotel, motel or extended stay hotel may rent a room to a person under the age of twenty-one (21) if said individual is part of a group, convention, corporate meeting, pageant or other major contracted booking at the hotel, motel or extended stay hotel and a copy of the contract is on file at the hotel available for inspection by Village of Tinley Park representatives

#### § 116.08 – HOUSEKEEPING SERVICES

All hotels, motels or extended-stay hotels shall provide housekeeping services, including but not limited to room cleaning, linen change and towel service a minimum of once every seven (7) days, and any time prior to a new guest checking in to a room.



§ 116.09 – MAXIMUM STAY LENGTH.

(A) No hotel, motel, extended-stay hotel located within the Village shall allow any person to occupy such facility for more than twenty-eight (28) consecutive days unless otherwise permitted in this section. No guest residing for more than twenty-eight (28) consecutive days shall begin a new rental agreement with the hotel, motel, or extended stay hotel without at least a two day vacancy between stays.

(B) No hotel, motel, or extended-stay hotel located within the Village shall allow any person to occupy such hotel, motel, or extended-stay hotel as his or her permanent residence, and/or to utilize the hotel, motel, or extended-stay hotel address as his or her mailing address.

(C) Notwithstanding subsections (A) and (B) of section 116.09, a stay in excess of twenty-eight (28) consecutive days, or utilizing the hotel, motel, or extended-stay hotel as a mailing address by a guest may occur in the following situations:

(1) Where there is a written contract or documented agreement between a hotel, motel, or extended-stay hotel and a business, corporation, firm or governmental agency to house employees or individuals on valid work orders;

(2) Where there is documentation, consistent with HIPPA privacy rules, that a hotel guest is considered family or is providing care for a patient who is admitted at local hospital;

(3) When an insurance company or federal, state or local agency has provided documentation that a hotel guest has been displaced from their home by a natural disaster or fire;

(4) Where there is a written contract or documented agreement between a hotel, motel, or extended-stay hotel and an organization to provide emergency or transitional housing/shelter.

(D) All hotels, motels, and extended-stay hotels are required to comply with all applicable provisions of this Code.

(E) All hotels, motels, and extended-stay hotels constructed after the effective date of this Ordinance, must provide a minimum of one thousand (1,000) square feet in common areas for recreational use by guests. In computing the one thousand (1,000) square feet requirement, swimming pools, fitness or recreation centers, patios, terraces, and other recreational facilities in common areas may be used in determining the square footage required by this subsection. An extended-stay hotel is considered constructed only after a certificate of occupancy is issued.

§ 116.10 – RESPONSIBILITIES OF ALL HOTELS.

(A) Every owner, operator, keeper or proprietor of any hotel, motel, or extended-stay hotel shall, without delay, report violations of law to the Village of Tinley Park Police Department that were either witnessed or made known to them by an employee, guest, visitor or other person on the premises.



(B) Every owner, operator, keeper or proprietor of any hotel, motel, or extended-stay hotel shall, at all times, maintain a manager on duty or on-call capable of assisting, communicating, and cooperating with the police or other law enforcement officials in maintaining the public health, welfare, and safety.

(C) All information required to be procured and kept pursuant to this article shall be kept strictly confidential in accordance with state and federal law and shall not be provided to any person except to a federal or state law enforcement officer or to any officer empowered to enforce this article.

(D) All information required to be procured and kept pursuant to this article shall be provided to any federal or state law enforcement officers, or local sworn enforcement officer empowered to enforce this article, upon demand, and in no event later than twenty-four (24) hours of the officer and a representation by said officer that a reasonable suspicion exists that such information is relevant to a then-pending inquiry or investigation. Nothing in this requirement shall be construed as giving any such officer any greater right or license to enter a room or invade privacy than the officer shall otherwise possess as a matter of law, probable cause, constitutional law, statutory right, or warrant.

(E) Every owner, operator, keeper or proprietor of any hotel, motel, or extended-stay hotel shall keep a record of all rental agreements between the hotel, motel, or extended-stay hotel and all guests and their visitors, and make these records available to the Village within a reasonable time upon request. For the purposes of this section, the term "record" shall mean the hotel, motel, or extended-stay hotel's electronic guest registration system which stores guest identifying information. In the event the hotel, motel, or extended-stay hotel does not have an electronic guest registration system, the hotel, motel, or extended-stay hotel shall record the guest and any visitor's information in a paper record or reservation book. The following information, at a minimum, must be recorded at the time of registration and maintained for a period of no less than one year after the rental agreement's termination:

(1) The full name, phone number, and home address of each overnight guest. If the guest is a tourism company or other business, only the guest shall be required to provide this information, but the total number of people staying under that tourism company or other business shall be provided;

(2) The make, type and license number of the guest's vehicle if the vehicle will be parked on hotel, motel or extended stay hotel premises that are under the control of the operator or management;

(3) The day, month, year and time of arrival of each guest;

(4) The number or other identifying symbol of location of the room rented or assigned each guest; The date that each guest is scheduled to depart;



- (5) The rate charged and amount collected for rental of the room assigned to each guest;
- (6) The method of payment for the room;
- (7) The full name of the person checking in the guest; and
- (8) Documentation used to verify a stay in excess of twenty-eight (28) consecutive days as stated in section 116.09(B).

(F) Every owner, operator, keeper or proprietor of any hotel, motel, or extended-stay hotel shall require each guest to provide proper identification prior to renting a room when registering in person. Proper Identification Documents, as defined in this Chapter, shall be required. A record of the provided Identification Documents shall be kept on file for the duration of the occupancy and for one hundred eighty (180) days thereafter.

(G) No person shall procure or provide lodging in any hotel, motel, or extended-stay hotel, or any services therefrom, through misrepresentation or production of false identification, or identification which misrepresents the identity of the person procuring or sharing in such lodging or service.

#### § 116.11 – OCCUPANCY REQUIREMENTS.

(A) No operator, owner, keeper, or proprietor of any hotel, motel, or extended-stay hotel shall rent or provide a room for any number of persons greater than the sleeping accommodations provided within the particular rental unit or temporary sleeping accommodations provided by the hotel, motel, or extended-stay hotel.

(B) No operator, owner, keeper, or proprietor, guest, or visitor of any hotel, motel, or extended-stay hotel shall be allowed to congregate within any room or single rental unit a number of persons which is greater than two (2) times the number of persons for whom sleeping accommodations are provided within the single room or rental unit except when temporarily designated as a hospitality suite by the hotel, motel, or extended-stay hotel.

#### § 116.12 – COMMON AREA AND PARKING ILLUMINATION REQUIREMENTS.

(A) The open parking area and all areas surrounding any building or proposed building being a hotel, motel, or extended-stay hotel shall comply with all requirements related to illumination levels set forth in the subdivision and land development section of this code, within one year of the effective date of this Ordinance

(B) Within one hundred eighty (180) days of the effective date of this Ordinance, any hotel, motel, or extended-stay hotel must provide and maintain security in its parking area. This shall include but not be limited to a live security guard or other security measures to meet the minimum security standards required by this code section, such as complete video surveillance. All hotels, motels, or extended-stay hotels must maintain a security plan which shall include all



implemented security measures. Security plans and documentation for approved alternative security measures shall be kept on file and made available to the Village within a reasonable time upon request.

#### § 116.13 – VIDEO SURVEILLANCE.

(A) For the purpose of this section, "video surveillance system" (VSS) means a continuous digital surveillance system including cameras, cabling, monitors, and digital video recorders (DVR).

(B) Every owner, operator, keeper or proprietor of any new or existing hotel, motel, or extended-stay hotel is required to install a VSS within one hundred eighty (180) days of the effective date of this Ordinance. All hotels, motels, and extended-stay hotels, which have installed a VSS prior to the effective date of this article, shall ensure said systems are in full compliance with this section.

(C) All VSS shall be maintained in proper working order at all times, be kept in continuous operation twenty-four (24) hours a day, seven (7) days a week, and meet the minimum technological standards established in this section. The hotel, motel, or extended-stay hotel shall retain the continuous digital images recorded by this system for no less than twenty-one (21) days.

(D) All VSS shall have no less than one (1) camera dedicated to each register or checkout stand, entrance/exit, interior hallways and lobby, swimming pool area, exercise facility, loading dock, and parking lots or areas designated for customer and/or employee parking use. And, upon approval by management, will issue an approval notice which will be placed in plain view inside the common area of the hotel, motel, or extended-stay hotel. This approval notice will also inform customers and employees of the presence of the VSS. Existing VSS at any hotel, motel, or extended-stay hotel as of the effective date of this article will be evaluated to ensure full compliance with this section.

(E) Any new standards or changes to existing standards will be issued in conjunction with annual business license renewal notices and become effective on May 1 of each year.

#### § 116.14—LOITERING AND JUVENILE CURFEW.

(A) All hotel, motel, or extended-stay hotel operators will advise guests verbally, upon registration, and through posted signage that loitering is prohibited.

(B) No person(s) shall loiter in or upon any hotel, motel, or extended-stay hotel parking lot, public parking structure or in or around any building to include breezeways, stairwells or hotel, motel, or extended-stay hotel rooms either on foot or in or upon any conveyance being driven or parked thereon, without the permission of the owner, operator, keeper or proprietor or the hotel, motel, or extended-stay hotel.

#### § 116.15—UNLAWFUL OPERATION DECLARED NUISANCE.



Any hotel, motel, or extended-stay hotel operated, conducted or maintained contrary to the provisions of this article may be declared to be unlawful and a public nuisance. The Village of Tinley Park may, in addition, or in lieu of all other remedies, commence actions or proceedings for abatement, removal or enjoinder thereof, in the manner provided by state law and this Code.

**SECTION 4:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 5:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 6:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 3<sup>rd</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 3<sup>rd</sup> day of August, 2022.

---

VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-045, **“AN ORDINANCE APPROVING A TEXT AMENDMENT TO TITLE XI: BUSINESS REGULATIONS, CHAPTER 129A HOTEL ACCOMODATIONS TAX, SECTION 129.03 DEFINITIONS AS WELL AS AMENDING CHAPTER 116: TEMPORARY AND PERMANENT RESIDENTIAL HOUSING LICENSES AND CERTIFICATES”**, which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 3, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 3<sup>rd</sup> day of August, 2022.

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VILLAGE CLERK



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2022-O-061**

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**ORDINANCE PROPOSING THE ESTABLISHMENT OF A SPECIAL  
SERVICE AREA NO. 5 IN THE VILLAGE OF TINLEY PARK AND  
PROVIDING FOR A PUBLIC HEARING AND OTHER RELATED  
PROCEDURES  
(Oak Ridge Subdivision)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

---

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-061****ORDINANCE PROPOSING THE ESTABLISHMENT OF A SPECIAL  
SERVICE AREA NO. 5 IN THE VILLAGE OF TINLEY PARK AND  
PROVIDING FOR A PUBLIC HEARING AND OTHER RELATED  
PROCEDURES  
(Oak Ridge Subdivision)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, special service areas are established pursuant to Article VII, Sections 6(I) and 7(6) of the Constitution of the State of Illinois, and pursuant to the provisions of the Special Service Area Tax Law, (35 ILCS 200/27-5 *et seq.*) and pursuant to the Property Tax Code (35 ILCS 200/1-1 *et seq.*); and

**WHEREAS**, this ordinance is to propose the establishment of Special Service Area Number 5 providing a tax to be levied associated with the provision of special services to the area; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to establish Special Service Area Number 5;

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1: Recitals.** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2: Authority to Establish Special Service Area.** The Village of Tinley Park is authorized to establish Special Service Area Number 5 pursuant to Article VII, Section 6 of the Illinois Constitution, 1970, and further pursuant to the provisions of the Illinois Special Service Areas Act (Illinois Compiled Statutes, Chapter 35, Paragraph 200/27-5 *et seq.*).

**SECTION 3: Findings.** The Corporate Authorities find as follows:



- A. It is in the public interest that the creation of Special Service Area Number 5 as described in this Ordinance for the purposes set forth in this Ordinance be established.
- B. Special Service Area Number 5 is located at the southeast corner of Ridgeland Avenue and Oak Forest Avenue. The area comprised of 39.19 acres of vacant land, with proposed 162 attached single family townhomes and 81 detached single-family homes. The permanent tax index numbers of all parcels located within the area of the proposed SSA Number 5 and legal descriptions are attached as **Exhibit 1**. An accurate map depicting the location of the proposed Special Service Area is attached to and incorporated by reference as **Exhibit 2**.

**SECTION 4: Public Hearing.** That a public hearing shall be held on September 20, 2022 at 6:15 pm in the Council Chambers of the Village of Tinley Park, 16250 S. Oak Park Ave., Tinley Park, IL 60477 to consider the establishment of a Special Service Area Number 5 consisting of territory legally described in **Exhibit 1** and as depicted on the map labeled **Exhibit 2**, and incorporated by reference into this ordinance. At the hearing, a tax levy for the Special Service will be considered. The proposed annual tax levy for the Special Service Area is in an amount not to exceed the annual rate of 0% (percent) of the equalized assessed value of the property within the proposed Special Service These taxes shall be in addition to all other taxes permitted by law and shall be levied pursuant to provisions of the Property Tax Code (35 ILCs 200/1-1 *et seq.*).

**SECTION 5: Notice of Hearing.** Notice of the public hearing shall be published at least once not less than fifteen (15) days prior to the public hearing in a newspaper of general circulation in the Village of Tinley Park. Additionally, notice of the public hearing by mail shall be provided with the public hearing notice deposited in the U.S. Mail not less than ten (10) days prior to the time set for the public hearing. The notice of public hearing shall be addressed to the person or persons in whose name the general taxes for the last preceding year were paid on each lot, block, tract or parcel of land lying within the Special Service Area, and in the event taxes for the last preceding year were not paid, the notice of the hearing was sent to the person or persons last listed on the tax rolls prior to that year as the owner or owners of said property.

**SECTION 6:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 7:** The Village President, the Village Clerk, the Village Manager, the Village Finance Administrator, and the Village Attorney are hereby authorized to execute all documentation, and take all action, necessary to consummate the acquisition of the Property by the Village, as may be required pursuant to applicable law and the Agreement.

**SECTION 8:** If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

**SECTION 9:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 3<sup>rd</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 3<sup>rd</sup> day of August, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-061, “ORDINANCE PROPOSING THE ESTABLISHMENT OF A SPECIAL SERVICE AREA NO. 5 IN THE VILLAGE OF TINLEY PARK AND PROVIDING FOR A PUBLIC HEARING AND OTHER RELATED PROCEDURES (Oak Ridge Subdivision),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 03, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 3rd day of August, 2022.

---

VILLAGE CLERK



**EXHIBIT 1**  
**Legal Description of Proposed Special Service Area and List of PINs**

Parcel 1

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4); THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 358.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 1285.59 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28; THENCE SOUTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4, 544.91 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 758.60 FEET TO THE EAST LINE OF THE WEST 577.00 FEET OF SAID SOUTHWEST\* 1/4; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4, 521.12 FEET TO THE NORTH LINE OF THE SOUTH 703 FEET OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 57 MINUTES 33 SECONDS WEST, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4, 527.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE, 1066.33 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

Parcel 2

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF OAK FOREST AVENUE (SAID LINE BEING 60 FEET SOUTHEASTERLY OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT-OF-WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY), AND THE EAST LINE



OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST OF (BY RECTANGULAR MEASUREMENT) AND PARALLEL WITH THE WEST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4): THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG SAID EAST LINE OF RIDGELAND AVENUE 358.00 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 345.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 46 SECONDS EAST 941.25 FEET TO THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE LAST DESCRIBED LINE, 902.43 FEET TO THE NORTH LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST ALONG THE LAST DESCRIBED LINE 282.49 FEET TO THE AFORESAID SOUTHEASTERLY LINE OF OAK FOREST AVENUE: THENCE SOUTH 61 DEGREES 29 MINUTES 52 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE, 747.91 FEET TO A LINE THAT IS 345.00 FEET EAST OF AND PARALLEL WITH THE AFORESAID EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH 0 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, 545.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS. \*AMENDED SCRIVNER'S ERROR

### Parcel 3

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY (BY RECTANGULAR MEASUREMENT) OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILWAY COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE, SAID EAST LINE BEING 50 FEET EAST (BY RECTANGULAR MEASUREMENT) OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE EAST LINE OF RIDGELAND AVENUE A DISTANCE OF 298.00 TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE EAST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345.00 FEET; THENCE NORTH ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 491 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE AND MAKING AN ANGLE 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM NORTH TO EAST) A DISTANCE OF 290.14 FEET TO A POINT BEING 600 FEET EAST OF AND PARALLEL TO THE EAST LINE OF RIDGELAND AVENUE; THENCE SOUTH ALONG A LINE MAKING AN ANGLE OF 61 DEGREES 29 MINUTES 50 SECONDS WITH THE LAST DESCRIBED COURSE (AS MEASURED FROM SOUTHWESTERLY TO SOUTH) A DISTANCE OF 683.81 FEET TO A



POINT OF INTERSECTION WITH A LINE, SAID LINE BEING DRAWN AT RIGHT ANGLES TO THE EAST LINE OF RIDGELAND AVENUE AND BEING 358 FEET SOUTH OF THE INTERSECTION OF THE SOUTH LINE OF OAK FOREST AVENUE AND THE EAST LINE OF RIDGELAND AVENUE; THENCE WEST ON A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 600.00 FEET TO THE EAST LINE OF RIDGELAND AVENUE; THENCE NORTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET TO THE POINT OF BEGINNING, (EXCEPT THEREFROM A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 298 FEET ALONG THE EAST LINE OF RIDGELAND AVENUE SOUTH FROM THE POINT OF INTERSECTION OF THE SOUTHEASTERLY LINE OF SOUTH OAK FOREST AVENUE (SAID SOUTHEASTERLY LINE BEING 60 FEET SOUTHEASTERLY BY RECTANGULAR MEASUREMENT OF THE SOUTHEASTERLY LINE OF THE 100 FOOT WIDE RIGHT OF WAY OF THE CHICAGO ROCK ISLAND AND PACIFIC RAILROAD COMPANY) WITH THE EAST LINE OF RIDGELAND AVENUE (SAID EAST LINE BEING 50 FEET EAST BY RECTANGULAR MEASUREMENT, OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST 1/4), THENCE SOUTH ALONG THE EAST LINE OF RIDGELAND AVENUE, A DISTANCE OF 60 FEET, THENCE EAST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET, THENCE NORTH IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 60 FEET, THENCE WEST IN A LINE PERPENDICULAR TO THE LAST DESCRIBED COURSE A DISTANCE OF 345 FEET TO THE PLACE OF BEGINNING).

**PARCEL IDENTIFICATION NUMBER:** 28-29-200-030-0000, 28-29-200-036-0000, 28-29-300-041-0000

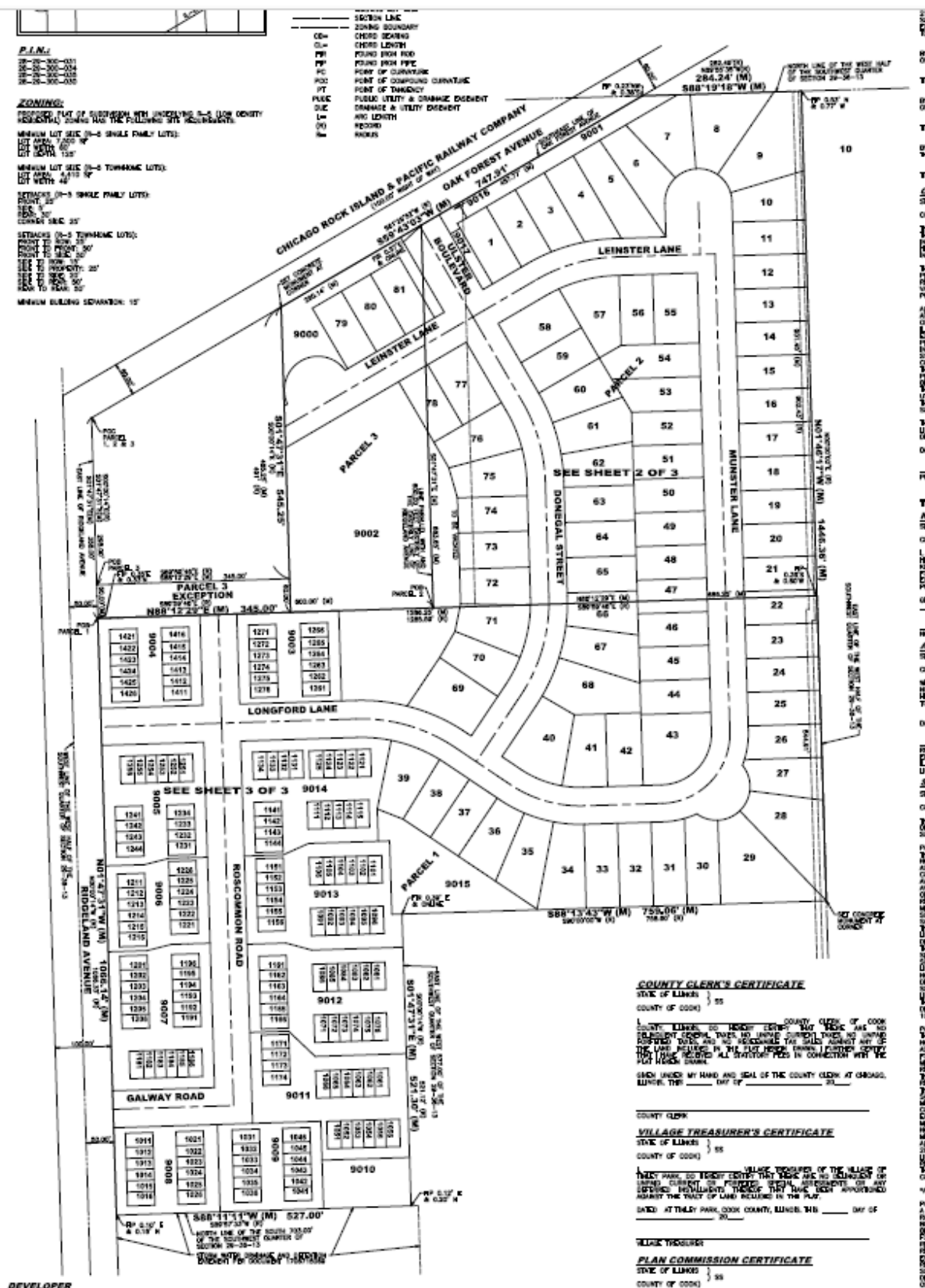
**COMMONLY KNOWN AS:** SEC Ridgeland Ave. & Oak Park Ave (Also previously referred to as 17301 Ridgeland Ave, 6301 Oak Forest Ave, 6200 175<sup>th</sup> St).



**EXHIBIT 2**  
**Proposed Map of Special Service Area No. 5**











# PLAN COMMISSION STAFF REPORT

July 21, 2022 Public Hearing

## Petitioner

Magnus Ottenborn on  
behalf of  
Otten's Seafood

## Property Location

7313 Duvan Drive

## PIN

27-36-204-024-0000

## Zoning

MU-1 Mixed Use Duvan  
Drive Overlay

## Approvals Sought

Site Plan/Arch. Approval  
Variation

## Project Planner

Lori Kosmatka  
Associate Planner

## Otten's Seafood – Variations for Masonry, Alternate Building Materials

7313 Duvan Drive



## EXECUTIVE SUMMARY

The Petitioner, Magnus Ottenborn on behalf of Otten's Seafood, is requesting Variations from Section V.C.7.F.2. and Section V.C.7.G. of the Zoning Ordinance to allow the front façade to be below the required minimum 75% of face brick masonry and to contain more than 15% of the façade with an alternate building material on the property at 7313 Duvan Drive in the MU-1 (Mixed Use Duvan Drive Overlay) Zoning District.

The Village Board adopted code changes that moved the masonry requirements from the Building Code to the Zoning Ordinance in December 2019. The commercial masonry requirements were revised to maintain high architectural standards, but to allow for some additional flexibility and remain competitive with developers.

The Petitioner purchased the property in 2019, and in 2020 installed wood cladding on a portion of the front façade without a building permit. If a permit was submitted, the owner would have been informed that Variations and Site Plan/Architectural approvals were required. The Petitioner notes the wood cladding is a light, decorative treatment intended to improve the aesthetics of the property and surrounding neighborhood. The cladding is only located on a portion of original brick façade, and the Petitioner states the original shape of the building would not be affected if the cladding were removed. The façade changes do not greatly change the overall look of the Duvan Drive industrial park.

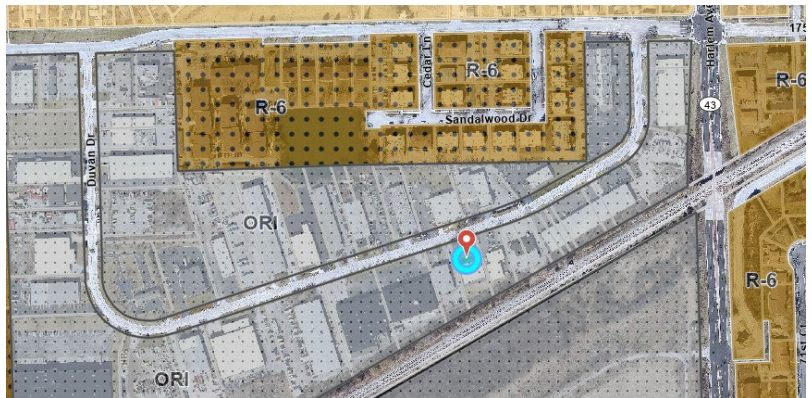
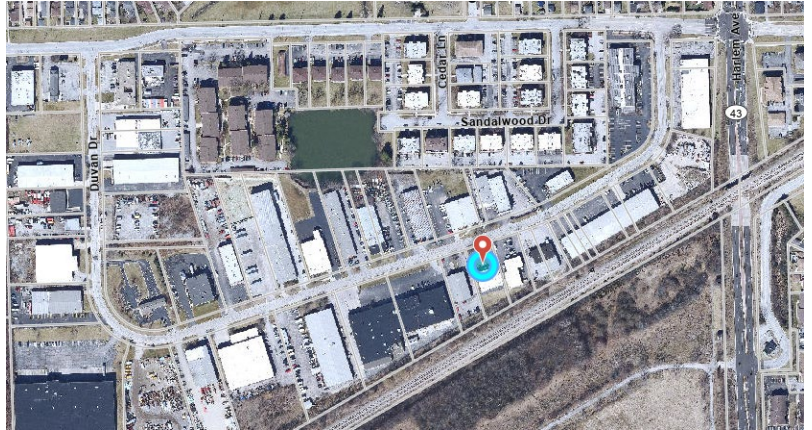


## EXISTING SITE & HISTORY

The subject property is located at 7313 Duvan Drive within the Duvan industrial park, Duvan Drive was developed within the Tinley Park Industrial Park Subdivision, platted in 1972.

The subject property is a 25,058 sq. ft. lot with 100 ft. of frontage to Duvan Drive. The lot has a one story brick building with a primary entrance and loading dock facing Duvan Drive. The building was constructed with all brick façade in 1975. with decorative arch reliefs on the façade, some of which are still visible, and with a 32 foot long by eight foot deep semi-enclosure in front of a portion of the building's 73 foot front façade. The semi-enclosure is an open-air extension of walls which serves as a type of courtyard with landscaping, and has three openings that align with the front door and two flanking windows.

In 2019, the Petitioner Magnus Ottenborn purchased the property for his seafood and meat purveyor business. In 2020, he installed wood cladding over the brick on portions of the front façade without knowledge that Variations and Site Plan/Architectural approvals were required.



The properties to the north, east, and west within the Duvan Industrial Park are all zoned MU-1 as the Mixed Use Duvan Drive Overlay District and located in the same subdivision. All the properties along Duvan Drive have existing commercial properties located on them, apart from a vacant lot at 17516 Duvan Drive. The “U” shape of Duvan Drive surrounds Whispering Cove and Sandlewood multifamily residential development which are in the R-6 Zoning District to the north of Duvan Drive. Immediately south of the subject property is the former state mental health facility within the ORI Zoning District.

## CODE BACKGROUND & ZONING

The Village Board adopted code changes that moved the masonry requirements from the Building Code to the Zoning Ordinance in December 2019. The commercial masonry requirements were revised to maintain high architectural standards, while allowing for some additional flexibility for newer materials (precast concrete, fiber cement board, etc.), and to remain competitive with commercial developers, particularly with larger industrial buildings. Residential masonry requirements were maintained at the previously existing level, which requires face brick, stone, or similar masonry products to be installed on the first floor of all residential buildings.

Previously, all “masonry waivers” went to the Community Development Committee since it was under the purview of the Comprehensive Building Code. Since masonry and exterior architectural requirements are now located in the Zoning Ordinance, a Variation of the masonry requirements is reviewed by the Plan Commission depending on the circumstance. The Commercial Masonry Requirements are in Zoning Code Section V.C.7.F.2.:



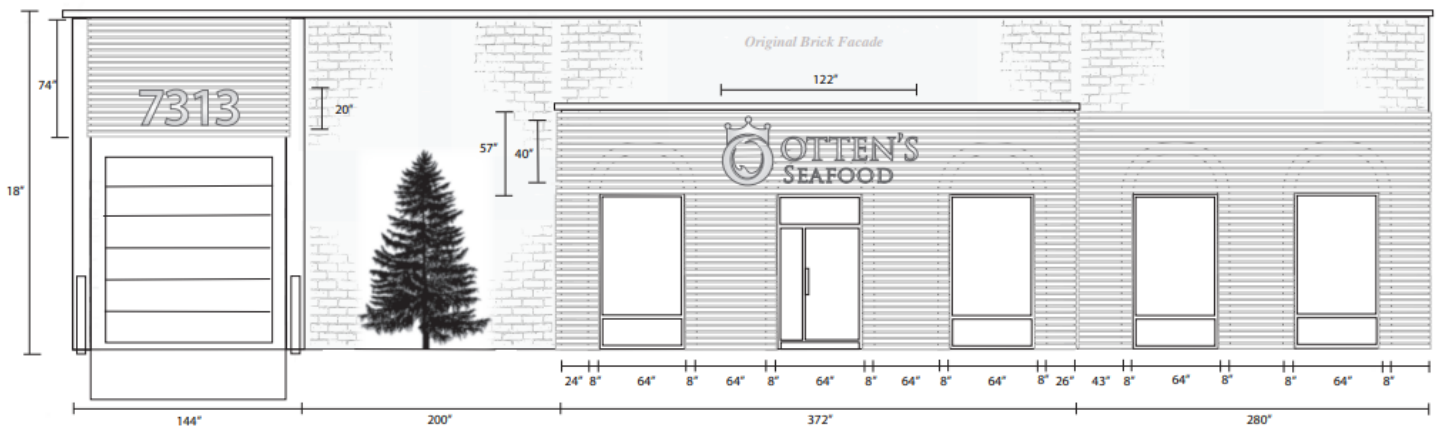
*Structures measuring greater than 3,000 square feet but no more than 40,000 square feet must be constructed with at least 75% of each façade with face brick; as an option, 25% of the area required to be constructed with face brick may be constructed of decorative stone. The area not constructed with face brick or decorative stone must be constructed of an approved masonry material as defined herein.*

Additionally, the Zoning Ordinance provides for a maximum of 15% of alternate building materials to be used. These materials may include architectural steel, stone, glass exposed aggregate panels, extruded or architecturally finished concrete, cast in place concrete, wood and engineered wood, EIFS, stucco, or Dryvit, fiber cement siding, cedar shingle, or equivalent/better materials or any combination of the above. The Alternate Building Materials Requirements are in Zoning Code Section V.C.7.GI:

*The following alternate building materials may be used for architectural treatments, decorations or architectural accents provided they do not constitute more than 15% of any facade: . . . (6) Wood and engineered wood.*

## VARIATION REQUEST

The Petitioner is proposing to seek Variation and Site Plan/Architectural Approvals as part of the necessary zoning entitlement for changes that have been made to the building's façade.



*Architectural Elevation and Photo of Front Facade (per Petitioner)*



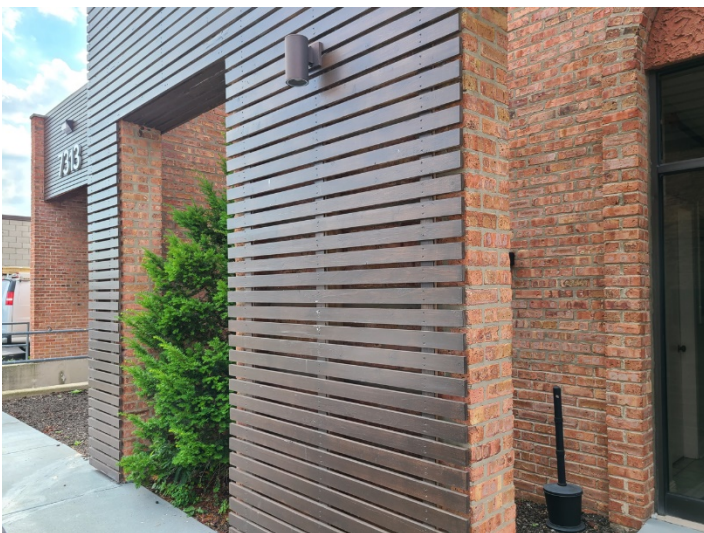
The Petitioner installed cladding consisting of wooden slats on a portion of the front façade and signage. The Petitioner states he was unaware that Variations and Site Plan/Architectural approvals were required prior to changing the façade nor did he contact the Village to see if a permit was required for such work. The Variations required are:

- Masonry Variation from Section V.C.7.F.2. of the Zoning Ordinance to allow the front façade to have less than 75% of face brick
- Alternative Building Material Variation from Section V.C.7.G. of the Zoning Ordinance to allow the front façade to contain more than 15% of an alternate building material

He notes the façade change is an aesthetic improvement to the property and the varied appearance of the Duval Drive neighborhood, and that the wood cladding is a light, decorative treatment. He states he chose this modern and clean appearance to help keep in demands of customers in the industry. The cladding treatment is only on portions of the front façade. The cladding is dark brown 1" x 2 ½" slats secured to the building via weatherproof concrete anchors every two feet. Some of the cladding is directly attached to the brick wall. Other areas with varied relief of the brick arches have vertical wood members (2"x6"s or less) between the cladding and brick for a flat and streamlined appearance of the cladding.



*Cladding Profile and Front Entry*



*Semi-enclosure courtyard area*



The outer semi-enclosure has full cladding on the front (outer north elevation) as well as partial cladding on the upper part of the reverse of that enclosure (within the courtyard). The narrow undersides of the three openings also have cladding. Partial cladding on the front (north) elevation is also on the to the right of the semi-enclosure and to the



left above the overhead door. The Petitioner's architectural drawings contain narrative notes that state if the cladding is removed, the original shape and arches of the building will not be affected.

The traditional Standards for a Variation are difficult to apply in regards to Variations that concern architectural design. It is useful to look at the context to the neighborhood. The three most relevant standards used are listed below:

- a. Compatible Architecture - Is the new structure and proposed materials compatible with neighboring properties and the surrounding neighborhood's existing housing stock?
- b. Proposed Building Materials - Are the proposed materials of high-quality and durability? Do the proposed materials negatively affect the homes attractiveness or future marketability?
- c. Cohesive Building Design - Do the proposed materials compliment the style and design of the home, or do they detract compared to alternative materials? Do the proposed exterior materials compliment the architectural design and create natural breaks within the façade to transition between materials?

The standard the Village's Community Development Committee has traditionally used is to review masonry Variations in context with the existing neighborhood's architecture. This ensures the character and quality of materials within a neighborhood does not degrade over time and that buildings fit in with the existing neighborhood. It is important that the proposed architecture/building materials are not so incongruent with the existing architecture/building material that it devalues existing property. The goal should be that the new design is compatible with the neighborhood, enhances rather than detracts, and will maintain value over time.

#### Surrounding Properties

The commercial buildings on Duvan Drive are largely constructed of differing colors of brick or CMU blocks, and have some metal along side facades. Many of the buildings are older construction however, some of the buildings have well maintained exteriors, others have some weathered aging and discoloration of materials. The Sandlewood multifamily residences north of Duvan Drive have varied shades of brown brick with dark brown shingled awnings over balconies. The Commission may wish to discuss whether they are trying to maintain the quantity of brick per the original character of the neighborhood or whether they wish to incorporate some alternative building materials that convey a slightly more modern aesthetic.





*(Left) Properties Across Street and Abutting; (Right) Other Older Duval Drive Properties*

## ARCHITECTURE

The lot has a one story brick building with a primary entrance and loading dock facing Duval Drive. The building was constructed with all brick façade in 1975 with decorative arch reliefs on the façade, some of which are still visible, and with a 32 foot long by eight foot deep semi-enclosure in front of a portion of the building's 73 foot front façade. The semi-enclosure is an open-air extension of walls which serves as a type of courtyard with landscaping, and has three openings that align with the front door and two flanking windows.



*Photo Prior To Purchase (per Petitioner)*

The building is a rectangular one-story brown masonry brick building with aluminum framed windows on the north (front) and west facades. Aside from the building's semi-enclosed courtyard feature and originally installed decorative arches, the brick building previously did not have any other notable architectural treatments.



The front façade's overall appearance now is a mix of original brick and wood cladding. The installed wood cladding appears scaled to the building and has a low profile. Three of the original arches along the flat front façade remain. They are at the front door and flanking windows remain. Two additional arches also remain on the right side of the building around windows.



## STANDARDS FOR SITE PLAN APPROVAL

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Section III.U.6. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan and Architectural approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission.

### Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as "belly-bands" (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. **Screen Mechanicals:** All mechanical devices shall be screened from all public views.



- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

#### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.



## STANDARDS FOR A VARIATION

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Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff prepared draft responses for the Findings of Fact below, which indicate support for the request. If the Plan Commission wishes to recommend denial, alternative findings will need to be indicated.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
  - ***While the property can yield a reasonable return if permitted to be used only under the conditions allowed, the design style of the structure is compromised if the code requirements were to be met.***
2. The plight of the owner is due to unique circumstances.
  - ***The building is older construction dating to 1975, within an established neighborhood dating to 1972. The proposed design helps update and modernize the building's front appearance. The design is compatible with the surrounding neighborhood's existing exterior materials and architecture.***
3. The Variation, if granted, will not alter the essential character of the locality.
  - ***The existing neighborhood's exterior building materials are largely constructed of differing colors of brick or CMU blocks, with some metal. Overall, the neighborhood has older construction with a varied appearance. The proposed wood cladding is over a portion of the front façade, allowing for the original brick to also be part of the design. The cladding is low profile in design with clean lines that visually helps improve the overall aesthetic of the Duvan Drive neighborhood. The character of the Duvan Drive neighborhood is not harmed by the reduction in the masonry nor the application of wood as an alternative building material.***
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
  - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
  - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
  - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
  - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
  - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
  - f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or



endanger the public safety, or substantially diminish or impair property values within the neighborhood.

## MOTIONS TO CONSIDER

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If the Plan Commission wishes to take action, an appropriate wording of the motions would read:

### Site Plan/Architectural Approval:

"...make a motion to grant the Petitioner, Magnus Ottenborn on behalf of Otten's Seafood, Site Plan and Architectural Approval for the proposed changes at 7313 Duvan Drive in the MU-1 (Mixed Use Duvan Drive Overlay) Zoning District."

### Variation:

"...make a motion to recommend that the Village Board grant a Variation to the Petitioner Magnus Ottenborn on behalf of Otten's Seafood Variations from Sections V.C.7.F.2. and Section V.C.7.G. of the Zoning Ordinance to allow the front building façade to be below the required minimum 75% of face brick masonry and to contain more than 15% of the façade with an alternate building material on the property at 7313 Duvan Drive in the MU-1 (Mixed Use Duvan Drive Overlay) Zoning District. "



**LIST OF REVIEWED PLANS**

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Submitted Sheet Name		Prepared By	Date On Sheet
	Application (Redacted)	Applicant	6/15/22
	Applicant's Response to Standards	Applicant	n/a 6/15/22
	Narrative and Photos	Applicant	
	Plat of Survey	JNT Land Surveying	9/12/19
	Façade Elevation Drawing Without Cladding	n/a	n/a Rec'd 6/24/22
	Façade Elevation Drawing With Cladding	n/a	n/a Rec'd 6/24/22
	Side View Drawing of Cladding Detail	Art Dose	n/a Rec'd 6/24/22



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO.2022-O-062**

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**AN ORDINANCE GRANTING A MASONRY VARIATION FOR CERTAIN  
PROPERTY LOCATED AT 7313 DUVAN DRIVE (OTTEN'S SEAFOOD)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-062****AN ORDINANCE GRANTING A MASONRY VARIATION FOR CERTAIN  
PROPERTY LOCATED AT 7313 DUVAN DRIVE (OTTEN'S SEAFOOD)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for the granting of a certain variation ("Variation") to permit the renovation of a front facade without the required masonry coverage at 7313 Duvan Drive ("Subject Property") has been filed by Magnus Ottenborn, on behalf of Otten's Seafood ("Owner" and "Petitioner") with the Village Clerk of this Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, the Village of Tinley Park Plan Commission held a public hearing on the question of whether the Variation should be granted on July 21, 2022, at the Village Hall of this Village, at which time all persons present were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, after hearing testimony on the petition, the Plan Commission found that the petition met the requisite standards enumerated in the Tinley Park Zoning Ordinance for granting the Variation and voted 6-0 to recommend to the Village President and Board of Trustees for the approval of the Variation; and

**WHEREAS**, the Plan Commission has filed its report and findings and recommendations regarding the Variation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variation; and



**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variation as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variation as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variation listed below. The Plan Commission must provide findings for the first three standards.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
  - *While the property can yield a reasonable return if permitted to be used only under the conditions allowed, the design style of the structure is compromised if the code requirements were to be met.*
2. The plight of the owner is due to unique circumstances.
  - *The building is older construction dating to 1975, within an established neighborhood dating to 1972. The proposed design helps update and modernize the building's front appearance. The design is compatible with the surrounding neighborhood's existing exterior materials and architecture.*
3. The Variation, if granted, will not alter the essential character of the locality.
  - *The existing neighborhood's exterior building materials are largely constructed of differing colors of brick or CMU blocks, with some metal. Overall, the neighborhood has older construction with a varied appearance. The proposed wood cladding is over a portion of the front façade, allowing for the original brick to also be part of the design. The cladding is low profile in design with clean lines that visually helps improve the overall aesthetic of the Duvan Drive neighborhood. The character of the Duvan Drive neighborhood is not harmed by the reduction in the masonry nor the application of wood as an alternative building material.*
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:



- a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
- d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
- e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

**SECTION 3:** The Variation set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION:** LOT 16 (EXCEPTING THEREFROM THE WESTERLY  $\frac{1}{2}$  THEREOF) IN TINLEY INDUSTRIAL PARK, BEING A SUBDIVISION OF THAT PART OF THE NORTHEAST  $\frac{1}{4}$  OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTH LINE OF THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD (EXCEPTING THEREFROM THE WEST 1543.6 FEET OF THE EAST 2009.6 FEET OF THE NORTH 496.65 FEET), ALL IN COOK COUNTY, ILLINOIS.

**PARCEL IDENTIFICATION NUMBER:** 27-36-204-024-0000

**COMMONLY KNOWN AS:** 7313 Duvan Drive, Tinley Park, Illinois

**SECTION 4:** That a Variation from Sections V.C.7.F.2. and Section V.C.7.G. of the Zoning Ordinance to allow the front building façade to be below the required minimum 75% of face brick masonry and to contain more than 15% of the façade with an alternate building material is hereby approved to the Petitioner in the MU-1 (Mixed Use Duvan Drive Overlay) Zoning District at the Subject Property to permit the redevelopment of the front façade without the required full masonry, in accordance with the “List of Reviewed Plans” attached hereto as Exhibit A.



**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.  
Passed this 3rd day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 3rd day of August 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-062, “AN ORDINANCE GRANTING A MASONRY VARIATION FOR CERTAIN PROPERTY LOCATED AT 7313 DUVAN DRIVE (OTTEN’S SEAFOOD),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 3, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 3rd day of August 2022.

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VILLAGE CLERK



**Exhibit A**

Per the July 21, 2022, Plan Commission Public Hearing Staff Report

**LIST OF REVIEWED PLANS**

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Submitted Sheet Name		Prepared By	Date On Sheet
	Application (Redacted)	Applicant	6/15/22
	Applicant's Response to Standards	Applicant	n/a 6/15/22
	Narrative and Photos	Applicant	
	Plat of Survey	JNT Land Surveying	9/12/19
	Façade Elevation Drawing Without Cladding	n/a	n/a Rec'd 6/24/22
	Façade Elevation Drawing With Cladding	n/a	n/a Rec'd 6/24/22
	Side View Drawing of Cladding Detail	Art Dose	n/a Rec'd 6/24/22





# Interoffice Memo

**Date:** August 03, 2022

**To:** Pat Carr, Village Manager

**From:** Kimberly Clarke, AICP

**Subject:** Top Hospitality Annexation Agreement



## BACKGROUND

The Petitioner, Top Hospitality LLC (Petitioner/Owner), applied for annexation and zoning entitlements in July of 2019 for the 8.7 acre parcel depicted above. The project was put on hold due to the unknown impacts of COVID-19. The owners are back to propose the original project which is to construct two Marriott branded hotels (Courtyard of Marriott and Residence Inn). An annexation agreement has been drafted and reviewed by the applicant which will be the subject of the Public Hearing scheduled for



August 16, 2022. The Agreement outlines the terms of the annexation and addresses such items as the zoning entitlements, recapture and other issues as outlined below.

## **DISCUSSION**

The Annexation Agreement legitimizes the annexation petition filed by Top Hospitality and memorializes the conditions of incorporating the 8.7 acre property into the Village of Tinley Park. Following is a summary of the major points of the Agreement:

- Zoning entitlements include the rezoning of the property upon annexation to the B-3 (General Business and Commercial District), granting of a special use to permit an extended stay hotel and granting of variations and approval of a Plat of Subdivision.
- Extends the Village corporate boundary to the far side of any adjacent highway including the undeveloped 183<sup>rd</sup> Street Right-of-way at the south end of the property.
- Provides by attachment the architectural and civil engineering plans recommended for approval by the Plan Commission and obligates the owner to develop in accordance with these plans. Hotels may be constructed in phases.
- Provides for the recapture of the cost to be paid by the Village for the extension of utilities currently under construction. The Agreement references the Recapture Ordinance that will be subject to approval by the Village Board prior to the approval of the Annexation Agreement.
- Payment of the recapture fee will be paid by the Owner prior to final plat recording.
- Provides for the payment of all impact, tap-on and connection fees (these are in addition to the recapture fees noted above).
- Recognizes the property is located in the blighted area described in Ordinance 2019-O-009 and therefore the Village will review the 7b reclassification applications for each hotel property. (Both resolutions are on the VB agenda for this evening)
- 20 year term

## **RECOMMENDATION**

Approve the Resolution authorizing the execution the annexation agreement scheduled for a First Reading this evening and proceed with the Public Hearing scheduled for August 16, 2022. Final adoption of the Resolution is scheduled for August 16, 2022.





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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **RESOLUTION NO. 2022-R-085**

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**A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION  
AGREEMENT WITH TOP HOSPITALITY LLC., FOR PROPERTY LOCATED AT  
9551 AND 9555 183RD STREET (PREVIOUSLY REFERRED TO AS 18300 96TH  
AVENUE, NOW KNOWN AS WHITE EAGLE DRIVE)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, and Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



VILLAGE OF TINLEY PARK  
Cook County, Illinois  
Will County, Illinois

**RESOLUTION NO. 2022-R-085**

**A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT WITH TOP HOSPITALITY LLC., FOR PROPERTY LOCATED AT 9551 AND 9555 183RD STREET (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE, NOW KNOWN AS WHITE EAGLE DRIVE)**

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, did hold a public hearing to consider an annexation agreement for the annexation of certain property not presently within the corporate limits of any municipality but contiguous to the Village of Tinley Park, a true and correct copy of such Annexation Agreement (the "Annexation Agreement") being attached hereto and made a part hereof as **EXHIBIT 1**; and

**WHEREAS**, the aforesaid public hearing was held pursuant to legal notice as required by law, and all persons desiring an opportunity to be heard were given such opportunity at said public hearing; and

**WHEREAS**, the statutory procedures provided in 65 ILCS 5/11-15.1-1 of the Illinois Municipal Code with regard to the making of annexation agreements have been fully complied with by the parties of this Annexation Agreement; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Annexation Agreement be entered into by the Village of Tinley Park.

**NOW, THEREFORE, Be It Resolved** by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

**Section 1:** The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

**Section 2:** That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid Annexation Agreement be entered into and executed by said Village of Tinley Park, with said Annexation Agreement to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1** subject to review and revision as to form by the Village Attorney.

**Section 3:** That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Annexation Agreement.



**Section 4:** That this Resolution shall take effect from and after its adoption and approval

**ADOPTED** this \_\_\_\_ day of \_\_\_\_\_, 2022, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

PASSED THIS \_\_\_\_ day of \_\_\_\_\_, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
VILLAGE PRESIDENT

ATTEST:

\_\_\_\_\_  
VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

## CERTIFICATE

I, NANNY M. O'CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-085, "A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT WITH TOP HOSPITALITY LLC., FOR PROPERTY LOCATED AT 9551 AND 9555 183RD STREET (PREVIOUSLY REFERRED TO AS 18300 96TH AVENUE, NOW KNOWN AS WHITE EAGLE DRIVE)," which was adopted by the President and Board of Trustees of the Village of Tinley Park on \_\_\_\_\_, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
VILLAGE CLERK



**ANNEXATION AGREEMENT –TOP HOSPITALITY LLC  
9599 94<sup>TH</sup> AVENUE (formerly 18300 96th Avenue, now White Eagle Drive)  
(MARRIOTT RESIDENCE INN & COURTYARD)**

This Agreement is entered into this \_\_\_\_\_ day of \_\_\_\_\_ 2022, by and between the VILLAGE OF TINLEY PARK, Illinois, a municipal corporation (hereinafter referred to as the "Village"); and TOP HOSPITALITY LLC, a Limited Liability Company with Registered Office located at 143 Wheeling Road, Wheeling, IL 60090 (hereinafter referred to as "Owner").

**RECITALS:**

**WHEREAS**, Owner owns property generally located at generally located at **9599 94<sup>th</sup> Avenue**, (formerly 18300 96th Avenue now White Eagle Drive), and legally described in **Exhibit A**, attached hereto and made part hereof (hereinafter referred to as the "Subject Property"), which property is subject to this Agreement; and

**WHEREAS**, Owner has confirmed that Owner is the sole owner of record of the Subject Property and has legal and equitable title to said Subject Property; and

**WHEREAS**, the Subject Property contains approximately 8.7 acres and is presently located within the unincorporated areas of the County of Cook and is contiguous with the Village of Tinley Park; and

**WHEREAS**, the Village is a home-rule unit pursuant to the provisions of the Illinois Constitution, Article VII, Section 6, and the terms, conditions and acts of the Village under this Agreement are entered into and performed pursuant to the home rule powers of the Village and the statutes in such cases made and provided; and

**WHEREAS**, Owner has petitioned the Village for annexation to the Village of the Subject Property, subject to the terms and conditions as hereinafter set forth, conditioned on the approval of this Agreement; and



**WHEREAS**, the Parties hereto have fully complied with all relevant statutes of the State of Illinois and the code and ordinances of the Village with respect to annexation, including the filing of a petition by the Owner requesting annexation of the Subject Property, zoning of the Subject Property, including an application for rezoning of the Subject Property, special use, subdivision of the Subject Property, including an application for a Final Plat of Subdivision, and the granting of variations as indicated in Section 3 of this Agreement; and

**WHEREAS**, the Village has caused the issuance of proper notice and all public hearings as required by law to effectuate such annexation, rezoning, subdivision and the granting of variances and development plans herein set forth have been held by the different departments, commissions, boards, and other governmental bodies of the Village, and each has submitted various reports and recommendations, or both, required of them to achieve the following:

- (a) Adoption and execution of this Agreement by ordinance;
- (b) Enactment of an annexation ordinance annexing the Subject Property to the Village;
- (c) Adoption of such ordinances as are necessary to effectuate the terms and provisions of this Agreement, including the classification of the Subject Property for purposes of zoning, the subdivision of the Subject Property and the granting of the variations as indicated in Section 3 of this Agreement; and
- (d) The adoption of such other ordinances, resolutions and actions as may be necessary to fulfill and implement this Agreement pursuant to the terms and conditions herein contained.

**WHEREAS**, the Subject Property is not located within a Fire Protection District or a Public Library District, and accordingly, no notices relative to the annexation to said districts are required. Further, there is no road on or adjacent to the Subject Property under the jurisdiction of



Orland or Frankfort Townships (Cook and Will Counties, respectively) and accordingly, no notices relative to the annexation to said townships are required.

**WHEREAS**, the Parties hereto have determined that it is in the best interests of the Village and the Owner and in furtherance of the public health, safety, comfort, morals and welfare of the community to execute and implement this Agreement, and that such implementation of this Agreement will provide a valuable asset to the community;

**WHEREAS**, the Parties wish to enter into a binding agreement with respect to annexation, zoning, development approval and other related matters, pursuant to the authority and provisions of 65 ILCS 5/11-15.1-1 et. seq. upon the terms and conditions contained in this Agreement;

NOW, THEREFORE, in consideration of the above and foregoing and the mutual promises and covenants herein contained, the parties hereto agree as follows:

#### **SECTION ONE – ANNEXATION**

Owner has filed a petition for annexation to the Village of the Subject Property subject to the relevant provisions of Chapter 65, Act 5, Article 7, of the Illinois Compiled Statutes, (65 ILCS 5/7-1-1 et seq.) and such other statutory provisions as may be relevant, and the home rule powers of the Village.

The Village shall proceed to consider the question of annexing the Subject Property and do all things necessary or appropriate to cause the Subject Property to be validly annexed to the Village. The Subject Property shall be annexed in its entirety. All ordinances, plats, affidavits and other documents necessary to accomplish said annexation shall be recorded by the Owner, at the Owner's expense, including the Plat of Annexation attached hereto as **Exhibit B**. The new boundary of the Village resulting from such annexation shall extend to the far side of any adjacent highway and shall include the full extent of every highway within the area so annexed.



## SECTION TWO – ZONING

After annexation of the Subject Property and the completion of all required public hearings, the Village agrees to adopt the necessary ordinances and/or resolutions to zone the property B-3 (General Business & Commercial District) and grant the variations as enumerated in **Exhibit C** and grant a Special Use for an extended stay hotel (Residence Inn).

## SECTION THREE – DEVELOPMENT/BUILDING CODE COMPLIANCE

Owner intends to construct two Marriott-brand hotels (the “Hotels”) on the Subject Property. The Village acknowledges that a hotel use is deemed an allowable use in the B-3 District and an extended stay is permitted by a special use and shall therefore, by ordinance, cause the Subject Property to be classified under the Zoning Ordinance of the Village as B-3 General Business and Commercial District, and shall also grant variations and a special use in accordance with procedures set forth in the Tinley Park Zoning Ordinance, as may be required. The general site plan is attached hereto as **Exhibit D**, which said plan is entitled “Site Plan,” dated January 22, 2020 and prepared by Advantage Consulting Engineers. The architectural plans are attached hereto as **Exhibit E**, which said plans are entitled “Architectural Plans,” last revised date February 04, 2020 & May 25, 2020, and prepared by Base 4. Owner agrees that the Subject Property shall be developed substantially in accordance with the Site Plan and Architectural Plans as approved by the Village, and in accordance with any modifications thereof required by the Village during the review of the necessary building permits. Such acknowledgment shall not be construed as a waiver of the required approval process for a development of this magnitude which includes, but is not limited to, all regulations contained in the Village’s municipal, subdivision, and building codes; final plat approval; special use approval; preliminary and final engineering approval; landscape approval; and approval and receipt of securities for any required public improvements.



Any future development of, or construction upon, the Subject Property after the execution of this Agreement, and shall be in full compliance with all Village Codes, Ordinances, and Regulations, except variances from same as may be specifically provided pursuant to this Agreement, or as may be granted in the future. Owner shall have sole control over the timing of construction upon the Subject Property. Development and construction of the two hotels upon the Subject Property may either be completed simultaneously or in phases, at the sole discretion of the Owner.

#### **SECTION FOUR – UTILITY CONNECTIONS AND VILLAGE RECAPTURE**

Owner, or future Developer, shall have the right to connect to and use Village utility infrastructure and mains upon payment of the tap-on/connection fees set forth in the Village Code. Further, Owner, or future Developer, agree to connect solely to Village-owned infrastructure,

The Parties acknowledge and agree that a water main, sanitary sewer, and sanitary sewer lift station (“Utility Extensions”) have been constructed and extended to provide service to the Subject Property. The Utility Extensions have been constructed by the Village generally in route and locations indicated within the illustration provided in **Exhibit F** and made a part hereof. The Parties recognize that the Utility Extensions will also benefit other property owners relative to the development of the properties as outlined in the Recapture Ordinance, in substantially the same form as attached hereto as **Exhibit G**, in accordance with the Villages’ policy of providing recapture rights to the Village or developers, who construct extended and/or oversized sewers, water mains, retention ponds, and other public improvements. The provisions of this Section are intended to provide recovery to the Village from the Owner for its proportionate share of the Utility Extensions cost. The Owner does hereby unconditionally agree that it shall pay FOUR HUNDRED AND FORTY THOUSAND, ONE HUNDRED AND SIXTY-FOUR DOLLARS



AND 67/100 (\$440,164.67) to the Village prior to the recording of a plat of subdivision for the Subject Property.

#### **SECTION FIVE – EASEMENTS**

The Owner agrees to grant to the Village all easements over, in, or under, the Subject Property as the Village deems necessary to construct, operate and maintain required public improvements, however said easements shall be designed in such a manner so as to have a minimal impact on the planned development on the Subject Property.

#### **SECTION SIX – SECURITIES FOR PUBLIC IMPROVEMENTS**

In accordance with the Village's Subdivision Code and Development Regulations, to ensure the construction and completion of all required public improvements undertaken by Owner in accordance with the Village's requirements, the Owner shall submit at the time of Final Plat approval one of the following:

- (a) A cash deposit in the amount equal to 125% percent of the estimated costs of construction as approved by the Village's Engineer pursuant to an escrow and disbursement agreement in a form approved by the Village; or
- (b) An irrevocable standby letter of credit in the amount equal to 125% percent of the estimated costs of construction in a form approved by the Village.

#### **SECTION SEVEN – IMPACT REQUIREMENTS**

Owner agrees that any and all recaptures, contributions, dedications, donations and easements provided for in this Agreement substantially advance legitimate governmental interests of the Village and are uniquely attributable to, reasonably related to, and made necessary by the Annexation of the Subject Property into the Village. Owner shall pay all impact fees set forth in



the Village Code, Ordinances, and Regulations, and as otherwise established within this agreement.

#### **SECTION EIGHT – DISCONNECTION**

Owner agrees to take no action to disconnect, or to seek petition for disconnection, of the Subject Property, or any portion thereof, from the Village. This provision shall also apply to all subsequent owners or developers.

#### **SECTION NINE– REIMBURSEMENT OF COSTS**

Owner shall reimburse the Village for all reasonable actual costs incurred by the Village's retained consultants including, but not limited to, attorney's fees and engineer costs, in connection with the Owner's Annexation Petitions, Zoning Petitions, and Redevelopment Agreement.

#### **SECTION TEN – PROPERTY TAX DESIGNATION**

Owner has indicated its desire to seek certain property tax incentives for the Subject Property under the Cook County Property Tax 7b Classification Ordinance and Program. Pursuant to Village Ordinance 2019-O-009, designating certain areas in the vicinity of 183<sup>rd</sup> Street and LaGrange Road as blighted, the Subject Property is potentially eligible to receive this Classification under the program guidelines. The Village affirms that the Subject Property is located within the area determined to be blighted, and so designated, under the aforementioned Village Ordinance 2019-O-009. Under the Cook County program, an applicant must obtain approval of the application request from the local municipality prior to submitting the application to the County. The Village agrees to review all application materials submitted by the Owner in good faith, and assure compliance with the Village's incentive policies prior to voting on a resolution supporting any such application under the Cook County program.



### **SECTION ELEVEN– TERM**

This Agreement shall be binding upon the Parties and their respective successors and assigns for twenty (20) years, commencing as of the date hereof, and for such further terms as may hereinafter be authorized by State Statute and by Village Code, Ordinances, and Regulations. If any of the terms of this Agreement, annexation, or zoning of the Subject Property is challenged in any court proceeding, then, to the extent permitted by law, the period of time during which such litigation is pending shall not be considered or included in calculating said twenty (20) year period. The expiration of the term of this Agreement shall not affect the continuing validity of the zoning of the Subject Property, or any ordinance that may be enacted by the Village pursuant to this Agreement.

### **SECTION TWELVE- PERMITS**

The Village will agree to reasonably provide all approvals, permits and consents to Owner as reasonably required for Owner's construction and improvements to the Building, upon appropriate petitions and requests by Owner.

In conjunction with the approval of this Annexation Agreement, the Village agrees to issue a Foundation Only Permit, so long as Owner submits all necessary documents for the construction of said foundation and complies with the Village's Foundation Only Policy, attached hereto as **Exhibit H**, and pays all costs and fees as required herein.

### **SECTION THIRTEEN - SIGNAGE**

Subject to obtaining and recording an easement for the monument sign depicted in **Exhibit I**, owner shall be allowed to construct and maintain an off-site, monument sign, as set forth in therein. The parties to this Annexation Agree that Owner shall maintain said signage and easement area. Owner acknowledges that if easement rights are revoked, then said monument sign must be removed within thirty (30) days of the revocation of the easement rights. Further, should the



Residence Inn cease operations for more than ninety (90) days, then then Owner shall remove the monument sign, without notice of the Village. Prior to constructing a monument sign, as depicted in Exhibit I, Owner must provide to the Village a fully executed, recorded easement for the easement area, conveying all necessary rights to construct and maintain a monument sign.

#### **SECTION FOURTEEN – MISCELLANEOUS**

**Amendment.** This Agreement, and the exhibits attached hereto, may be amended only by mutual consent of the Parties or their successors in interest, by adoption of a resolution by the Village approving said amendment as approved by said Parties, or their successors in interest.

**Compliance with Law.** Owner will at its own expense comply with all federal and state laws, ordinances of the Village of Tinley Park, and federal or state rules and regulations now or later in force which may be applicable to its operations in the Village. Owner will obtain and pay for all permits, licenses, variations, and other authorizations which may be required for the improvements and its activities contemplated by this Annexation Agreement.

**Severability.** If any provision, covenant, agreement or portion of this Agreement or its application to any person, entity or property is held invalid, such invalidity shall not affect the application or validity of any other provisions, covenants, agreements and portions of this Agreement and said provision, covenant or portion of this Agreement shall be deemed severed from this Agreement, which shall remain in full force and effect. If for any reason the annexation or zoning of the Subject Property is ruled invalid, in whole or in part, the Corporate Authorities, as soon as possible, shall take such actions (including the holding of public hearings, and the adoption of ordinances and resolutions) as may be necessary to give effect to the spirit and intent of this Agreement and the objectives of the Parties, as established by this Agreement, provided that the foregoing shall be undertaken at the expense of the Owner.



**Entire Agreement.** This Agreement sets forth all agreements, undertakings and covenants between and among the Parties. This Agreement supersedes all prior agreements, negotiations and understandings, written and oral, and is a full integration of the entire agreement of the Parties.

**Survival.** The provisions contained herein shall survive the annexation of the Subject Property and shall not be merged or expunged by the annexation of the Subject Property to the Village. The provisions of this Agreement related to zoning of the Subject Property, easements, and any fees to be paid by the Owner, including without limitation impact fees of any nature, shall survive the termination of this Agreement. All fees and charges to be paid by the Owner under this Agreement shall be contractual and shall survive any judicial determination of the invalidity or inapplicability of any Village Code, Ordinance, and Regulations providing for payment of same.

**Effect of this Agreement.** It is the agreement of the Parties that if any pertinent existing resolution or ordinances or interpretations thereof, of the Village be in any way inconsistent or in conflict with any provisions hereof, then the provisions of this Agreement shall constitute lawful and binding amendments to, and shall supersede the terms of said inconsistent ordinances or resolutions, or interpretations thereof, as they may relate to the Subject Property.

**Successors and Assigns.** This Agreement shall inure to the benefit of, and be binding upon, the Owner, and their respective heirs, legal representatives, successors, grantees, lessees, and assigns, and upon successor corporate authorities of the Village and successor municipalities, and shall constitute a covenant running with the land. This Agreement may not be assigned without the approval of the President and Board of Trustees of the Village of Tinley Park.

**Notices.** Any notice required or permitted by the provisions of this Agreement shall be in writing and sent by certified mail, return receipt requested, or personally delivered, to the Parties at the following addresses, or at such other addresses as the Parties may, by notice, designate:



If to Village:

Patrick Carr  
Village Manager  
Village of Tinley Park  
16250 Oak Park Avenue  
Tinley Park, Illinois 60477

With a copy to:

Paul O'Grady  
Peterson Johnson & Murray, Chicago-LLC  
200 W Adams Street  
Suite 2125  
Chicago, IL 60606

If to the Owner:

Chris Patel  
Top Hospitality LLC  
550 E Devon Ave. Suite 110  
Itasca IL 60143

With a copy to:

Mark Rogers  
Liston & Tsantilis, P.C.  
33 N. LaSalle, 28<sup>th</sup> Floor  
Chicago, IL 60602

Notices shall be deemed given on the fifth (5<sup>th</sup>) business day following deposit in the U.S. Mail if given by certified mail as aforesaid, and upon receipt, if personally delivered.

**Time of Essence.** Time is of the essence of this Agreement and of each and every provision hereof.

**Village Approval.** Wherever any approval or consent of the Village, or of any of its departments, officials or employees, is called for under this Agreement, the same shall not be unreasonably withheld or delayed.

**IN WITNESS WHEREOF**, the Parties hereto have executed this Agreement on the date first above written and, by so executing, each of the Parties warrants that it possesses full right and authority to enter into this Agreement.

**VILLAGE OF TINLEY PARK**

**A Municipal Corporation**

**ATTEST:**

**By:** \_\_\_\_\_

**By:** \_\_\_\_\_



**Nancy O'Connor, Village Clerk**

**Michael W. Glotz, Village President**

**ATTEST:**

**TOP HOSPITALITY LLC**

**By: \_\_\_\_\_**

**By: \_\_\_\_\_**

**Its \_\_\_\_\_**

**Chris Patel, Manager**

DRAFT



**EXHIBIT A****LEGAL DESCRIPTION OF TERRITORY**

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.



**EXHIBIT B**  
**PLAT OF ANNEXATION**

DRAFT



**EXHIBIT C****VARIATIONS**

1. A 1.87-acre Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres (Residence Inn – Lot 2).
2. A height Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55 ft. 10 in. tall building (Residence Inn) and a four story 54 ft. 9.5 in. tall building (Courtyard) instead of the permitted maximum of three stories and 35 ft.
3. A two ft. Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24 ft. drive aisle instead of the permitted minimum of 26 ft.
4. A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize fiber cement board siding and panels to comply with the masonry requirements beyond face brick instead of the maximum of 15% of the building exteriors.
5. A 19 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Residence Inn to have 124 parking spaces instead of the 143 parking spaces required.
6. A 46 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 175 parking spaces required.
7. A front yard setback Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 42.5' to 274.92' instead of the permitted 20' maximum.
8. A front yard setback Variation from Section V.D.2.D.(2) to permit the Courtyard (Lot 1) to have a front yard setback of 25' instead of the permitted 20' maximum.
9. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).
10. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 1).
11. A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.
12. A Variation from Section IX.M.2. to permit two off-site signs for Lot 2 to be located on the single shared ground sign on Lot 1 with an approved signage easement and at the north side of the northern drive aisle accessed by White Eagle Drive if the signs are separated in the future.
13. A Variation from Section IX.D.2.c. to permit all permitted freestanding signs to be setback five feet from the property line instead of the required ten foot minimum.

Subject to the following Conditions:

1. The off-site sign for Lot 2 as part of the shared ground sign shall constitute the only ground sign permitted for that lot if the easement is utilized (no second sign would be permitted on Lot 2).



2. An area land banked for parking, as indicate in the plans, shall be constructed by the owner of the Lot 1 (Courtyard) if it is determined that the proposed parking is not sufficient to accommodate the hotel or banquet uses in the future.
3. A minimum of 50% face brick shall be utilized on both hotel exteriors, as indicated in the architectural plans.

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**EXHIBIT D**

**SITE PLAN (See Enclosed)**

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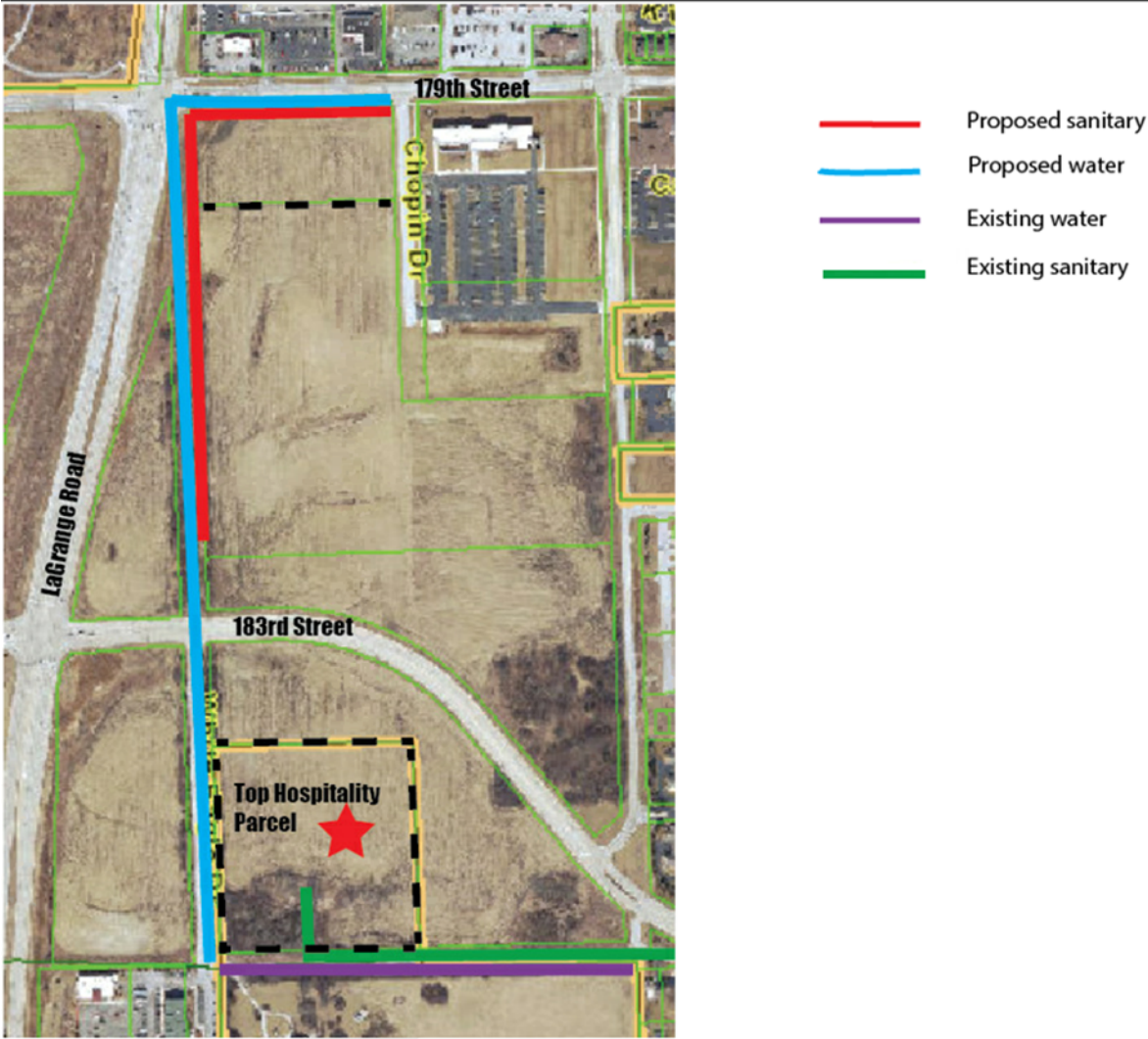


**EXHIBIT E**  
**ARCHITECTURAL PLANS**  
**(See Enclosed)**

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EXHIBIT F  
VILLAGE UTILITY EXTENSION





**EXHIBIT G**  
**RECAPTURE ORDINANCE**

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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE**

**NO. \_\_\_\_\_**

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**ORDINANCE NO. 2022-O-\_\_\_\_\_**

**AN ORDINANCE ESTABLISHING A RECAPTURE FOR COSTS  
RELATED TO UTILITY EXTENSIONS AND A LIFT STATION  
SERVING THE AREA EAST OF LAGRANGE ROAD  
GENERALLY BETWEEN 179TH STREET AND 183RD STREET**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
MICHAEL G. MUELLER  
DENNIS P. MAHONEY  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-\_\_****AN ORDINANCE ESTABLISHING A RECAPTURE FOR COSTS  
RELATED TO UTILITY EXTENSIONS AND A LIFT STATION  
SERVING THE AREA EAST OF LAGRANGE ROAD  
GENERALLY BETWEEN 179TH STREET AND 183RD STREET**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois (“The Village”), with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village is authorized to adopt ordinances and to promulgate rules and regulations that pertain to its government and affairs and that protect the public health, safety, and welfare of its citizens; and

**WHEREAS**, the Village has previously identified the area of the East side of LaGrange Road generally bounded by 179<sup>th</sup> Street on the North, Old 183<sup>rd</sup> Street on the South, and 94<sup>th</sup> Avenue on the east for non-residential (commercial) development by including this area in the B-3 and ORI zoning districts; and

**WHEREAS**, the aforementioned area has remained undeveloped for many years despite efforts to encourage such development; and

**WHEREAS**, the Village has determined that the lack of economic development in this area is, in part, attributable to the lack of necessary public utilities, namely water and sanitary sewer, existing and available in this vicinity; and

**WHEREAS**, under the Village’s Municipal Code, Ordinances, and Regulations, new developments are responsible for constructing the utility infrastructure that is necessary for that development to occur if it does not already exist; and

**WHEREAS**, it has been determined that the costs associated with undertaking these utility extensions are likely greater than the developer of a single property would be willing to undertake individually; and

**WHEREAS**, the Village believes that this lack of available public utility resources, and the costs of installation have become a significant impediment for development; and



**WHEREAS**, the Village of Tinley Park, in the interest of encouraging economic development in this area, intends to install water mains, sanitary sewer, and a lift station required (“the Utility Extensions”) in advance of current development to remove this impediment to development; and

**WHEREAS**, the Utility Extensions will benefit many properties in this area, and each of these properties should bear a proportional share of the cost of these improvements under the Village’s Municipal Code, Ordinances, Regulations, and its development and fiscal policies; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to construct the Utility Extensions and provide for a formula of recapture against the properties receiving benefits from the improvements.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

### **SECTION ONE**

**A.** That the Village owns, operates and maintains a sanitary sewer and water main system and that said system will be expanded and extended in accordance with the utility plan (the “Utility Extensions”) attached hereto and made a part hereof as **Exhibit A**. These Utility Extensions will be constructed and paid for by the Village.

**B.** That the construction, including without limitation the acquisition of easements and rights-of-way and all legal and engineering services required for the installation of the aforementioned utility extensions will benefit multiple properties (hereinafter referred to as “Benefitted Properties”) in the general area of the East side of LaGrange Road between 179<sup>th</sup> and 183<sup>rd</sup> Streets. The Benefitted Properties have been identified in a list (including legal descriptions) attached hereto as **Exhibit B**.

**C.** That in addition to the Utility Extensions mentioned above, the construction, including without limitation the acquisition of easements and rights-of-way and all legal and engineering services required for the installation of a sanitary sewer lift station, will benefit only a portion of the Benefitted Properties. The properties benefitted by the installation of a sanitary sewer lift station (hereinafter referred to as “Lift Station Benefitted Properties”) are identified in a list attached hereto as **Exhibit C**.

**D.** That no special assessment or special taxes have been levied in connection with the aforesaid improvements, and it is in the public interest that the cost of said improvements shall be paid by special connection charges assessed at such time as the Benefitted Properties and the Lift Station Benefitted Properties connect to the respective utility infrastructure in accordance with Section 11-150-1 of the Illinois Municipal Code and the home rule powers of this Village;



## SECTION TWO

That the special connection charges provided by this Ordinance shall be applicable to the Benefitted Properties and the Lift Station Benefitted Properties, and shall be in addition to the general connection fees and other fees that may be established under the Village Municipal Code, other separate ordinances, or regulations of the Village, as the same shall be in effect from time to time. Said special connection fees shall be paid on a square foot basis as a percentage of the actual total cost of construction of the aforementioned Utility Extensions, including without limitation the acquisition costs of easements and rights-of-way and all legal and engineering services expenses required for the installation for the utility extensions and lift station.

Upon completion of the utility extension and the installation of the lift station the actual costs will be calculated by the Village. This cost will then be applied using the following formulas to determine the cost per square foot for the Benefitted Properties and for the Lift Station Benefitted Properties. The completion date of the Utility Extensions shall be defined as the date the project is certified complete by the Village and the related total cost has been determined. The special connection fee applicable to each property shall be determined based on its proportionate beneficial share of said total costs.

### Benefitted Properties

**Total Cost** of the utility extension (excluding the lift station costs) divided by **Total Area\*** (Parcels 1, 2, 3, 4a & 4b) = **Benefitted Properties cost per square foot of area.**

The Benefitted Properties cost per square foot will then be multiplied by the square footage of each parcel in the benefitted property area (Parcels 1, 2, 3, 4a & 4b) to determine the recapture obligation of each Benefitted Property (excluding the recapture obligation for those properties benefitted by the lift station).

### Lift Station Benefitted Properties

The Lift Station Benefitted Properties (Parcels 2, 3, 4a & 4b) are subject to share in the cost of the lift station and will follow a similar formula to the Benefitted properties. The formula for Lift Station Benefitted Properties is as follows:

**Total Cost** of the lift station divided by **Total Area\*** (Parcels 2, 3, 4a & 4b) = **Lift Station Benefitted Properties cost per square foot of area.**

*\* Area calculations will be verified upon the completion of the improvements as described above and identified in Exhibit A.*



The Lift Station Benefitted Properties cost per square foot will then be multiplied by the square footage of each parcel in the lift station property area (Parcels 2, 3, 4a & 4b) to determine the recapture obligation for the lift station.

The total recapture obligation of the Lift Station Benefitted Properties will be a combination of the cost for Benefitted Properties and the cost for Lift Station Benefitted Properties.

### **SECTION THREE**

The Village shall require, to the extent the same is permitted by law, that the owner or owners of said Benefitted Properties and Lift Station Benefitted Properties pay to the Village the aforesaid special connection fees in the amounts established under Section Two (2) herein prior to such time as the Benefitted Properties and the Lift Station Benefitted Properties connect to the related utility extensions and a lift station serving the area east of LaGrange Road generally between 179th Street and 183rd Street.

### **SECTION FOUR**

The special connection fees established by this ordinance shall be compounded annually, or any part thereof, to the date of determination by either the True Interest Cost, or the annual change in the Construction Cost Index, whichever shall apply, and as further described below. The special connection fees shall be increased each year, or part thereof, for a total of five (5) full years, and thereafter such connection charge shall cease to increase further.

At the time of adopting this recapture ordinance, the Village of Tinley Park has not made final determination on how the Utility Extensions shall be financed. If the Village elects to finance the Utility Extensions utilizing a municipal bond issue, said special connection fees shall be increased annually by the True Interest Cost (TIC) of said municipal bond issue. True interest cost is the real cost of the bond issue including all ancillary fees and costs stated as an annualized percentage. The TIC will be established when the bonds are sold.

Should the Village choose to finance the improvements through any means other than a municipal bond issue (e.g. capital reserves, grant, or short term borrowing), said special connection fees shall be increased annually by the change in the Construction Cost Index (CCI) as compiled as part of the collection of Municipal Cost Indexes assembled by American City and County on a monthly basis. (<https://www.americancityandcounty.com/municipal-cost-index/>) The base index value shall be established using the month in which the Utility Extensions have been certified complete as described above.



**SECTION FIVE**

Any provisions of this Ordinance that conflicts with the existing Municipal Code, policy, resolution, other ordinance, or regulation of the Village shall be and is hereby repealed to the extent of such conflict.

**SECTION SIX**

That this Ordinance shall be in full force and effect, from and after its passage, approval and publication as provided by law.

**SECTION SEVEN**

The Village Clerk is directed to publish this Ordinance in pamphlet form and to record a copy of this Ordinance with the Recorder of Deeds of Cook County, Illinois against all the Benefitted Properties as identified in **Exhibits B and C** and as made a part of this Ordinance herein.

**PASSED** this \_\_\_\_ day of \_\_\_\_\_, 2022, pursuant to a roll call vote of the Corporate Authorities of the Village of Tinley Park as follows:

AYES:

NAYS:

ABSENT:

APPROVED THIS \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
VILLAGE PRESIDENT

ATTEST:

\_\_\_\_\_  
VILLAGE CLERK



27

STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

## CERTIFICATE

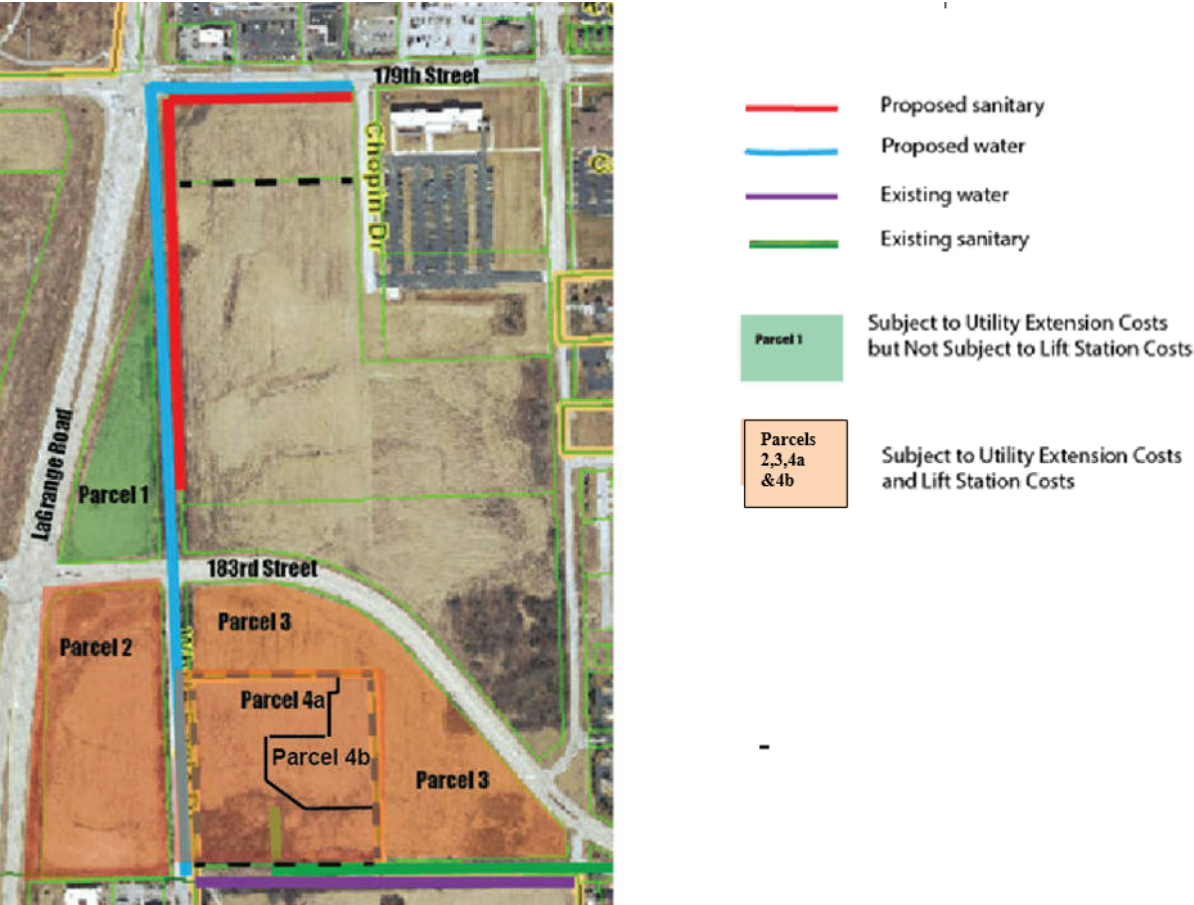
I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. \_\_\_\_\_, “AN ORDINANCE ESTABLISHING A RECAPTURE FOR COSTS RELATED TO UTILITY EXTENSIONS AND A LIFT STATION SERVING THE AREA EAST OF LAGRANGE ROAD GENERALLY BETWEEN 179TH STREET AND 183RD STREET,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on \_\_\_\_\_.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
NANCY M. O’CONNOR, VILLAGE CLERK



EXHIBIT A  
UTILITY EXPANSION PLAN





**EXHIBIT B****PROPERTIES BENEFITTING FROM UTILITY EXTENSION**

<u>Parcel #</u>	<u>Pin #</u>	<u>Area (Sq Ft)</u>	<u>Recapture Cost</u>	<u>Ownership</u>
0	27-34-300-005-0000	216,493.00	\$132,811.83	Loyola
00	27-34-300-011-0000	938,500.15	\$575,741.13	Loyola
1	27-33-401-012-0000	141,614.00	\$86,875.86	Loyola
2	27-33-401-013-0000	382,718.00	\$234,785.78	R. Charal/Halikias
3a/b	27-34-300-012-0000	941,462.00	\$577,558.13	Tinley Park, LLC/Halikias
4a/b	27-34-300-002-0000	435,600.00	\$267,227.27	Top Hospitality/Marriott
Totals:		3,056,387.15	\$1,875,000.00	

**LEGAL DESCRIPTIONS OF BENEFITTED PARTIES****Parcel 1:** 27-33-401-012-000

141,614 square feet

**LEGAL DESCRIPTION - PARCEL 1**

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 01 DEGREES 19 MINUTES 04 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 253.81 FEET;

THENCE SOUTH 88 DEGREES 27 MINUTES 15 SECONDS WEST, 33.87 FEET TO THE WEST LINE OF 96TH AVENUE PER DOCUMENT NUMBER 10157484, RECORDED SEPTEMBER 26, 1928, FOR THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88 DEGREES 27 MINUTES 15 SECONDS WEST, 15.12 FEET TO THE WESTERLY LINE OF THE DEED RECORDED AUGUST 23, 1993 AS DOCUMENT NUMBER 93667499;

THENCE SOUTHERLY, ALONG THE WESTERLY LINE OF SAID DEED, THE FOLLOWING THREE COURSES:

SOUTH 14 DEGREES 00 MINUTES 12 SECONDS WEST, 338.86 FEET;

SOUTH 10 DEGREES 35 MINUTES 58 SECONDS WEST, 580.18 FEET;

SOUTH 12 DEGREES 51 MINUTES 03 SECONDS WEST, 447.303 FEET;

THENCE NORTH 88 DEGREES 48 MINUTES 56 SECONDS EAST, 333.48 FEET TO SAID WEST LINE OF 96TH AVENUE;

THENCE NORTH 01 DEGREES 18 MINUTES 00 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, 1328.76 FEET TO THE POINT OF BEGINNING, (EXCEPTING THAT PART TAKEN FOR 183RD STREET AND 96TH AVENUE), ALL IN COOK COUNTY, ILLINOIS.

**Parcel 2:** 27-33-401-013-0000



30

382,718 square feet

## LEGAL DESCRIPTION - PARCEL 2

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SOUTHEAST QUARTER, THAT IS 253.81 FEET SOUTH OF THE NORTHEAST QUARTER THEREOF;

THENCE SOUTH 88 DEGREES 27 MINUTES 15 SECONDS WEST, A DISTANCE OF 48.99 FEET;

THENCE SOUTH 14 DEGREES 00 MINUTES 12 SECONDS WEST, A DISTANCE OF 338.86 FEET;

THENCE SOUTH 10 DEGREES 35 MINUTES 58 SECONDS WEST, A DISTANCE OF 580.18 FEET;

THENCE SOUTH 12 DEGREES 51 MINUTES 03 SECONDS WEST, A DISTANCE OF 546.21 FEET;

THENCE SOUTH 02 DEGREES 56 MINUTES 03 SECONDS WEST, A DISTANCE OF 975.42 FEET, MORE OR LESS, TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE SOUTHEAST CORNER THEREOF;

THENCE NORTHERLY ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM THAT PART TAKEN FOR PUBLIC ROADWAY FOR 96TH AVENUE, 183RD STREET AND F.A.I. 80) AND (FURTHER EXCEPTING THAT PART LYING NORTH OF THE NORTH LINE OF 183RD STREET), ALL IN COOK COUNTY, ILLINOIS.

**Parcel 3:** (27-34-300-012 PARTIAL)

504,068 square feet

## LEGAL DESCRIPTION - PARCEL 3

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT INTERSECTION OF THE WEST LINE OF THE EAST 33.00 FEET OF THE WEST HALF OF SAID SOUTHWEST QUARTER AND THE SOUTH LINE OF THE NORTH 942.37 FEET OF THE WEST HALF OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 01 DEGREES 11 MINUTES 45 SECONDS EAST, ALONG THE WEST LINE OF THE EAST 33.00 FEET OF THE WEST HALF OF SAID SOUTHWEST QUARTER, SAID LINE ALSO BEING THE WEST LINE OF 94TH AVENUE, A DISTANCE OF 462.76 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 89 DEGREES 03 MINUTES 21 SECONDS WEST, 1239.07 FEET TO THE EAST LINE OF 96TH AVENUE PER DOCUMENT NUMBER 10157484, RECORDED SEPTEMBER 26, 1928;

THENCE SOUTH 01 DEGREES 18 MINUTES 00 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, 581.39 FEET TO THE NORTH LINE OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER;

THENCE NORTH 89 DEGREES 02 MINUTES 53 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, 602.71 FEET TO THE EAST LINE OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 01 DEGREES 15 MINUTES 24 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, 629.03 FEET TO THE NORTH LINE OF THE SOUTH 33.00 FEET OF THE WEST HALF OF SAID SOUTHWEST QUARTER, SAID LINE ALSO BEING THE NORTH LINE OF 183RD STREET;

THENCE NORTH 89 DEGREES 03 MINUTES 21 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, 634.64 FEET TO SAID WEST LINE OF 94TH AVENUE;

THENCE NORTH 01 DEGREES 11 MINUTES 45 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, 1210.33 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS,



EXCEPTING THEREFROM THE FOLLOWING:

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 34;  
THENCE ON AN ASSUMED BEARING OF SOUTH 88 DEGREES 19 MINUTES 58 SECONDS WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 34, A DISTANCE OF 872.02 FEET TO A POINT OF CURVATURE;  
THENCE NORTHWESTERLY ON A TANGENTIAL CURVE, CONVEX TO THE SOUTHWEST, HAVING A RADIUS OF 750.00 FEET, CHORD BEARING OF NORTH 70 DEGREES 54 MINUTES 23 SECONDS WEST, CENTRAL ANGLE OF 41 DEGREES 31 MINUTES 19 SECONDS, AN ARC DISTANCE OF 543.52 FEET TO THE WEST LINE OF THE EAST 33 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 34, TO THE POINT OF BEGINNING;  
THENCE SOUTH 01 DEGREES 55 MINUTES 13 SECONDS EAST ALONG SAID WEST LINE, 65.45 FEET;  
THENCE NORTHWESTERLY ON A CURVE, CONVEX TO THE SOUTHWEST, HAVING A RADIUS OF 800.00 FEET, CHORD BEARING OF NORTH 46 DEGREES 42 MINUTES 46 SECONDS WEST, CENTRAL ANGLE OF 13 DEGREES 06 MINUTES 52 SECONDS, AN ARC DISTANCE OF 183.11 FEET TO A POINT OF TANGENCY;  
THENCE NORTH 40 DEGREES 09 MINUTES 20 SECONDS WEST ALONG A TANGENTIAL LINE, 588.06 FEET TO A POINT OF CURVATURE;  
THENCE NORTHWESTERLY ALONG A TANGENTIAL CURVE, CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 700.00 FEET, CHORD BEARING OF NORTH 65 DEGREES 58 MINUTES 02 SECONDS WEST, CENTRAL ANGLE OF 51 DEGREES 37 MINUTES 23 SECONDS, AN ARC DISTANCE OF 630.70 FEET TO A POINT OF TANGENCY;  
THENCE SOUTH 88 DEGREES 13 MINUTES 17 SECONDS WEST ALONG A TANGENTIAL LINE, 197.74 FEET TO THE EAST LINE OF 96TH AVENUE PER DOCUMENT NUMBER 1057484;  
THENCE NORTH 02 DEGREES 01 MINUTES 43 SECONDS WEST ALONG SAID EAST LINE, 100.00 FEET;  
THENCE NORTH 88 DEGREES 13 MINUTES 17 SECONDS EAST, 198.18 FEET TO A POINT OF CURVATURE;  
THENCE SOUTHEASTERLY ALONG A TANGENTIAL CURVE, CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 800.00 FEET, CHORD BEARING OF SOUTH 65 DEGREES 58 MINUTES 02 SECONDS EAST, CENTRAL ANGLE OF 51 DEGREES 37 MINUTES 23 SECONDS, AN ARC DISTANCE OF 720.79 FEET TO A POINT OF TANGENCY;  
THENCE SOUTH 40 DEGREES 09 MINUTES 20 SECONDS EAST ALONG A TANGENTIAL LINE, 538.06 FEET TO A POINT;  
THENCE NORTH 49 DEGREES 50 MINUTES 40 SECONDS EAST, 103.28 FEET TO THE WEST LINE OF THE EAST 33 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF AFORESAID SECTION 34;  
THENCE SOUTH 01 DEGREE 55 MINUTES 13 SECONDS EAST ALONG SAID WEST LINE, 229.29 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS,

ALSO FURTHER EXCEPTING THEREFROM THAT PART LYING NORTHERLY OF THE NORTHERLY LINE OF 183RD STREET.

**Parcel 4a** : (part of 27-34-300-002)

242,584 square feet

LEGAL DESCRIPTION - PARCEL 4a

LOT 1 OF THE NEW HORIZON SUBDIVISION BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



**Parcel 4B** : (part of 27-34-300-002)

136,143 square feet

LEGAL DESCRIPTION - PARCEL 4B

LOT 2 OF THE NEW HORIZON SUBDIVISION BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



**EXHIBIT C****PROPERTIES BENEFITTING FROM THE LIFT STATION**

<u>Parcel #</u>	<u>Pin #</u>	<u>Area (Sq Ft)</u>	<u>Recapture Cost</u>	<u>Ownership</u>
2	27-33-401-013-0000	382,718.00	\$151,942.74	R. Charal/Halikias
3b	27-34-300-012-0000	504,068.00	\$200,119.86	Tinley Park, LLC/Halikias
4a/b	27-34-300-002-0000	435,600.00	\$172,937.40	Top Hospitality/Marriott
Totals:		1,322,386.00	\$525,000.00	

*\* The area of the parcels is provided for general estimating purposes only. Individual parcel areas will be verified upon completion of the utility extension project in order to calculate pro-rata share of costs for each parcel.*

Total Recapture Costs

<u>Parcel #</u>	<u>Pin #</u>	<u>Area (Sq Ft)</u>	<u>Recapture Cost</u>	<u>Ownership</u>
0	27-34-300-005-0000	216,493.00	\$132,811.83	Loyola
00	27-34-300-011-0000	938,500.15	\$575,741.13	Loyola
1	27-33-401-012-0000	141,614.00	\$86,875.86	Loyola
2	27-33-401-013-0000	382,718.00	\$386,728.52	R. Charal/Halikias
3a	27-34-300-012-0000	437,394.00	\$268,327.84	Tinley Park, LLC/Halikias
3b	27-34-300-012-0000	504,068.00	\$509,350.15	Tinley Park, LLC/Halikias
4a/b	27-34-300-002-0000	435,600.00	\$440,164.67	Top Hospitality/Marriott
Totals:		3,056,387.15	\$2,400,000.00	

**LEGAL DESCRIPTIONS OF BENEFITTED PARTIES**

**Parcel 2:** 27-33-401-013-0000

382,718 square feet



## LEGAL DESCRIPTION - PARCEL 2

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

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THENCE SOUTH 88 DEGREES 27 MINUTES 15 SECONDS WEST, A DISTANCE OF 48.99 FEET;

THENCE SOUTH 14 DEGREES 00 MINUTES 12 SECONDS WEST, A DISTANCE OF 338.86 FEET;

THENCE SOUTH 10 DEGREES 35 MINUTES 58 SECONDS WEST, A DISTANCE OF 580.18 FEET;

THENCE SOUTH 12 DEGREES 51 MINUTES 03 SECONDS WEST, A DISTANCE OF 546.21 FEET;

THENCE SOUTH 02 DEGREES 56 MINUTES 03 SECONDS WEST, A DISTANCE OF 975.42 FEET, MORE OR LESS, TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE SOUTHEAST CORNER THEREOF;

THENCE NORTHERLY ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM THAT PART TAKEN FOR PUBLIC ROADWAY FOR 96TH AVENUE, 183RD STREET AND F.A.I. 80) AND (FURTHER EXCEPTING THAT PART LYING NORTH OF THE NORTH LINE OF 183RD STREET), ALL IN COOK COUNTY, ILLINOIS.

**Parcel 3:** (27-34-300-012 PARTIAL)

504,068 square feet

## LEGAL DESCRIPTION - PARCEL 3

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THENCE SOUTH 01 DEGREES 18 MINUTES 00 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, 581.39 FEET TO THE NORTH LINE OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER;

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THENCE SOUTH 01 DEGREES 55 MINUTES 13 SECONDS EAST ALONG SAID WEST LINE, 65.45 FEET;

THENCE NORTHWESTERLY ON A CURVE, CONVEX TO THE SOUTHWEST, HAVING A RADIUS OF 800.00 FEET, CHORD BEARING OF NORTH 46 DEGREES 42 MINUTES 46 SECONDS WEST, CENTRAL ANGLE OF 13 DEGREES 06 MINUTES 52 SECONDS, AN ARC DISTANCE OF 183.11 FEET TO A POINT OF TANGENCY;

THENCE NORTH 40 DEGREES 09 MINUTES 20 SECONDS WEST ALONG A TANGENTIAL LINE, 588.06 FEET TO A POINT OF CURVATURE;

THENCE NORTHWESTERLY ALONG A TANGENTIAL CURVE, CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 700.00 FEET, CHORD BEARING OF NORTH 65 DEGREES 58 MINUTES 02 SECONDS WEST, CENTRAL ANGLE OF 51 DEGREES 37 MINUTES 23 SECONDS, AN ARC DISTANCE OF 630.70 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 88 DEGREES 13 MINUTES 17 SECONDS WEST ALONG A TANGENTIAL LINE, 197.74 FEET TO THE EAST LINE OF 96TH AVENUE PER DOCUMENT NUMBER 1057484;

THENCE NORTH 02 DEGREES 01 MINUTES 43 SECONDS WEST ALONG SAID EAST LINE, 100.00 FEET;

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THENCE SOUTH 40 DEGREES 09 MINUTES 20 SECONDS EAST ALONG A TANGENTIAL LINE, 538.06 FEET TO A POINT;

THENCE NORTH 49 DEGREES 50 MINUTES 40 SECONDS EAST, 103.28 FEET TO THE WEST LINE OF THE EAST 33 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF AFORESAID SECTION 34;

THENCE SOUTH 01 DEGREE 55 MINUTES 13 SECONDS EAST ALONG SAID WEST LINE, 229.29 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS,

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**Parcel 4a** : (part of 27-34-300-002)

242,584 square feet

LEGAL DESCRIPTION - PARCEL 4a

LOT 1 OF THE NEW HORIZON SUBDIVISION BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



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**Parcel 4B** : (part of 27-34-300-002)

136,143 square feet

LEGAL DESCRIPTION - PARCEL 4B

LOT 2 OF THE NEW HORIZON SUBDIVISION BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



## **EXHIBIT H**

### **FOUNDATION ONLY POLICY**

Foundation only permits (FOP) may be issued by the Community Development Department for projects seeking building permits, only after all required plans and specifications for the project have been submitted and at least the initial plan review has been completed by the Building, Fire, Engineering and Planning and Zoning departments of the Village. The intent is to allow large projects to be built in phases and therefore the request for FOP will only be considered for large multifamily and commercial buildings, on a case-by case basis.

**Foundation only permits are subject to the Following:**

- Land Use conformance has been verified by the Planning Commission and approved by the Village Board (if applicable)
- Request for a FOP will only be considered for projects needing to start between the dates of November 1<sup>st</sup>-April 30<sup>th</sup>. These requests must be recommended by the Community Development Committee and approved by the Village Board.
- Building plan review has been completed to the point that general building code compliance has been verified for the project, with minor corrections noted
- No building permits will be issued without Village of Tinley Park Engineering Department approval and issued an approved street address
- No building permits will be issued without MWRD (if applicable)
- Foundation only permits will be granted to only commercial buildings as regulated by the International Building Code
- A permit that is issued for the foundations of a building will require a second building permit for work to progress beyond the foundation stage
- Work permitted under a foundation permit shall be limited to footings, foundation walls and any other construction up to and including a first floor slab
- The owner proceeds at his or her own risk with the understanding that (the building permit may or may not be granted) and that any changes in construction necessary to meet the Village's code requirements after plan checking has been completed for the remainder of the structure are to be made with no liability attached to the Village for issuing the foundation permit.



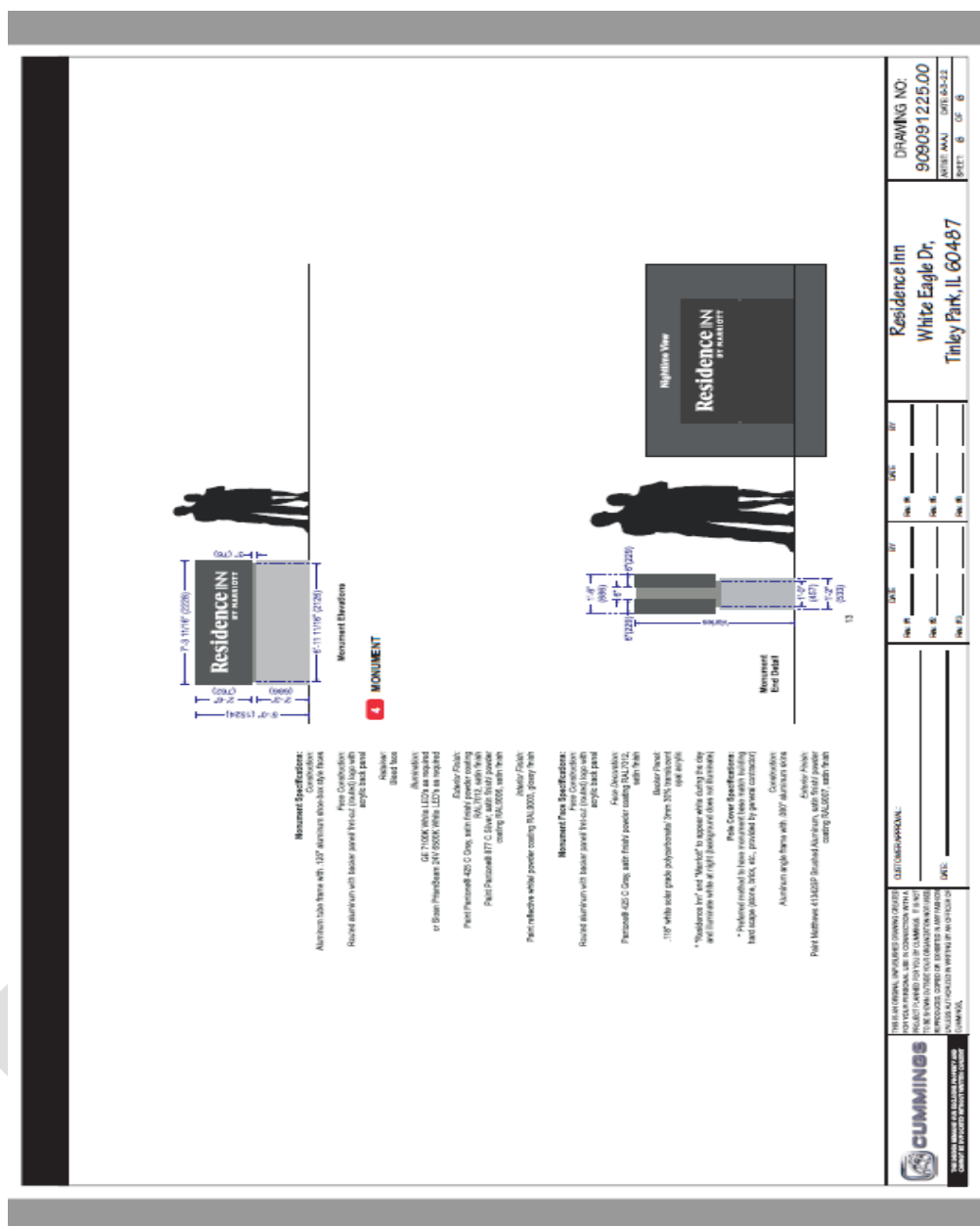
**Submittal Requirements:**

- A. Completed permit application and fee submitted
- B. Letter of Credit in place for any public infrastructure construction
- C. Letter of Credit in place for the removal of all foundations in the event the developer does not complete the project
- D. Architectural site plan or civil engineering drawings indicating all lot lines, building setbacks, existing structures, parking layout, curb cuts, light pole details, grading plan, utility plans that show underground plumbing, mechanical and electrical information and all fire hydrants. Floor plans shall state the use and should state "NOT FOR CONSTRUCTION-REFERENCE ONLY". Architectural elevations shall state the same "NOT FOR CONSTRUCTION-REFERENCE ONLY"
- E. Provide plans prepared by an Illinois Licensed Architect, or Illinois Licensed Structural Engineer signed and wet sealed construction documents. Provide two (2) sets of soils testing results. All seals shall be on the cover sheet with an index of the sheets the stamps apply to
  - 1. Building Code Information on the cover sheet must contain the following:
    - a. Use Group (Single/Mixed)
    - b. Construction Type(s)
    - c. Square footage (Act/Allow.)
    - d. IBC Occupant Load calculations
    - e. Design live and dead loads
    - f. Illinois Plumbing Occ. Load calc.
  - 2. Foundation plans indicating the following: layout of the entire plan, indicate all construction materials and all rated assemblies. Indicate all requirements for compliance with the Illinois Accessibility Code
  - 3. Foundation sections and wall sections as required, to describe the construction and all rated assemblies
  - 4. Structural plans and sections. All pre-Engineered component drawings are to be submitted at the time of application
- F. If in a Planned Unit Development, submit three (3) copies of the Village of Tinley Park approved, final plan documents and landscape plans. In addition submit a signed landscape contract and a letter of credit covering all required landscape improvements
- G. Submit waiver indicating all plan review fees will be paid regardless whether construction continues beyond foundation

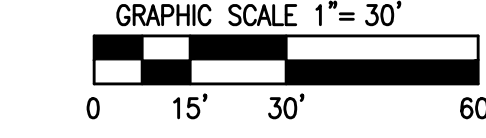
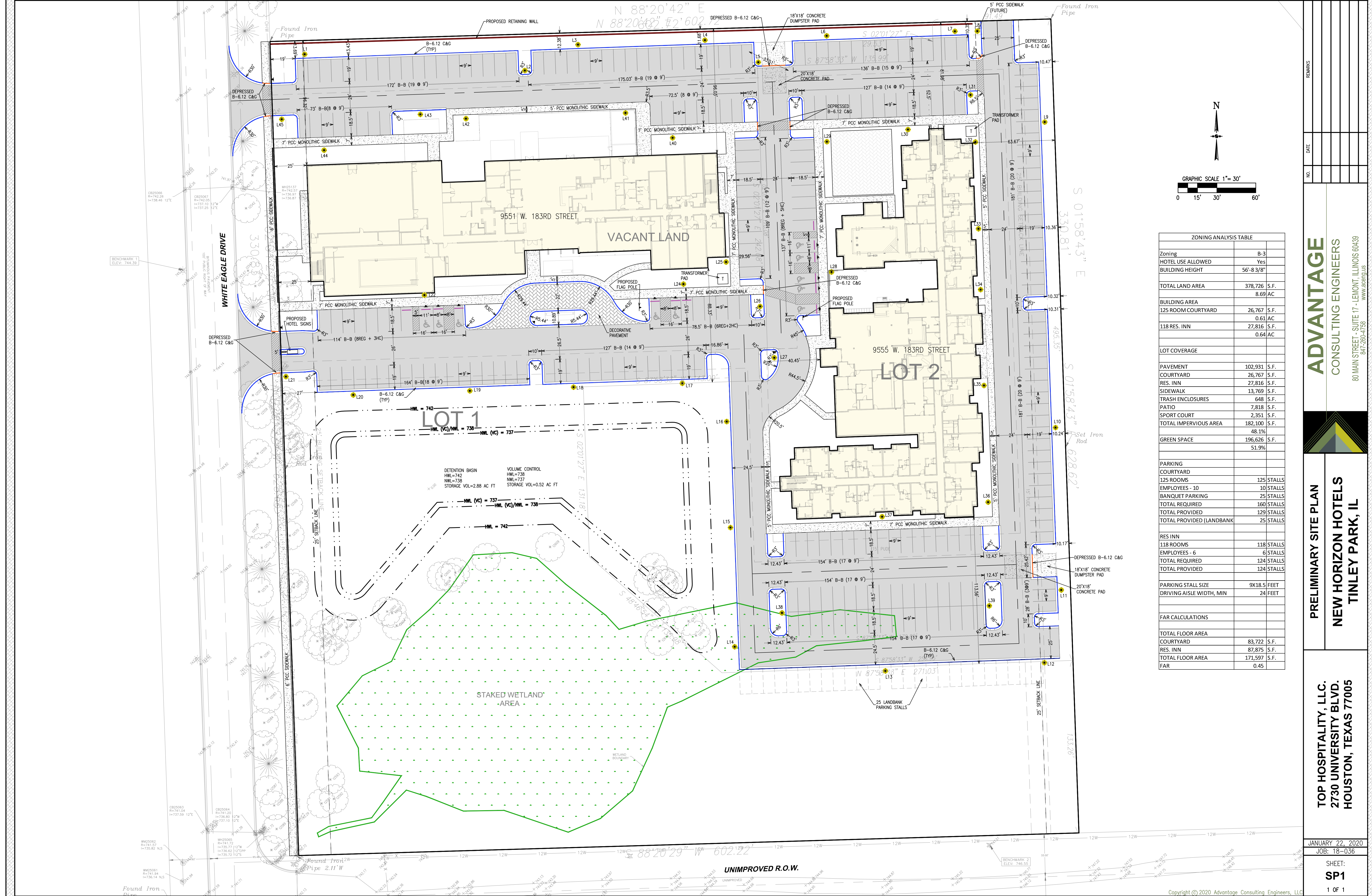












ZONING ANALYSIS TABLE	
Zoning	B-3
HOTEL USE ALLOWED	Yes
BUILDING HEIGHT	56'-8 3/8"
TOTAL LAND AREA	378,726 S.F. 8.69 AC
BUILDING AREA	
125 ROOM COURTYARD	26,767 S.F. 0.61 AC
118 RES. INN	27,816 S.F. 0.64 AC
LOT COVERAGE	
PAVEMENT	102,931 S.F.
COURTYARD	26,767 S.F.
RES. INN	27,816 S.F.
SIDEWALK	13,769 S.F.
TRASH ENCLOSURES	648 S.F.
PATIO	7,818 S.F.
SPORT COURT	2,351 S.F.
TOTAL IMPERVIOUS AREA	182,100 S.F. 48.1%
GREEN SPACE	196,626 S.F. 51.9%
PARKING	
COURTYARD	
125 ROOMS	125 STALLS
EMPLOYEES - 10	10 STALLS
BANQUET PARKING	25 STALLS
TOTAL REQUIRED	160 STALLS
TOTAL PROVIDED	129 STALLS
TOTAL PROVIDED (LANDBANK)	25 STALLS
RES INN	
118 ROOMS	118 STALLS
EMPLOYEES - 6	6 STALLS
TOTAL REQUIRED	124 STALLS
TOTAL PROVIDED	124 STALLS
PARKING STALL SIZE	9X18.5 FEET
DRIVING AISLE WIDTH, MIN	24 FEET
FAR CALCULATIONS	
TOTAL FLOOR AREA	
COURTYARD	83,722 S.F.
RES. INN	87,875 S.F.
TOTAL FLOOR AREA	171,597 S.F.
FAR	0.45

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
847-260-7758 WWW.ACEPCLUS

**PRELIMINARY SITE PLAN**  
**NEW HORIZON HOTELS**  
**TINLEY PARK, IL**

**TOP HOSPITALITY, LLC.**  
**2730 UNIVERSITY BLVD.**  
**HOUSTON, TEXAS 77005**

JANUARY 22, 2020  
JOB: 18-036  
SHEET:  
**SP1**  
1 OF 1





Contractors shall send all bidding questions and RFIs to the general contractor. The GC shall then forward inquiries to the appointed Base4 Construction Administration Project Manager, who will be introduced at the beginning of bidding and construction phase. Please reference the project number and project title in your email subject line to ensure that your request is forwarded to the proper team.

**OWNER:**  
Kris Patel/ Krishna Gandhi (HOS Management)  
kris.patel@hosmanagement.com/  
krishan@hosmanagement.com  
1000 Towne Center Blvd. Sull 503, Pooler,  
GA 31322  
T: 912.604.7824 / F: 912.344.4705

**ARCHITECT CONTACT:**  
BASE4  
Rick Muniz  
+1 954.812.6650  
rickm@base-4.com

**STRUCTURAL CONTACT:**  
BASE4  
Adam J Ginsburg, PE, SSECB  
(561) 206-4469  
adamg@base-4.com

**MEP CONTACT:**  
BASE4  
Garry Vermaas, PhD, PE  
(615) 613-3005  
garryv@base-4.com

**CIVIL ENGINEER CONTACT:**  
Kevin M Berry, PE, LEED AP  
(843) 881-0525  
(843) 224-2250  
berryk@earthsourceeng.com

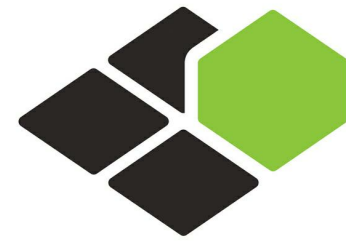
**INTERIOR DESIGN CONTACT:**  
BASE4  
Luci and Lindsey  
lucil@base-4.com  
lindseyb@base-4.com  
1.888.901.8008  
Savannah, Georgia, USA

**RE/PG CONTACT:**  
Wilkes Evans (Piedmont Construction Group)  
478.405.8907 - O | 478.951.2881 - C |  
478.314.3434 - D  
107 Gateway Dr., Ste. B | Macon, GA 31210  
wevans@piedmontconstructiongroup.com

# COURTYARD

## BY MARRIOTT

MARRIOT PROJECT NO: 10837  
COURTYARD MARRIOTT, TINLEY PARK, IL  
BASE4 PROJECT NO : B4-157-1801  
DECOR PACKAGE : Gen 6.0 CYenergy design schemes  
MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND  
RESIDENCE INN) - 9551 & 9555 183<sup>rd</sup> STREET



**BASE<sup>4</sup>**

BASE4  
2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP  
Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2019.08.24

ID	ISSUED	DESCRIPTION
AO	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

**ISSUED FOR PC STAFF  
REVIEW**

CURRENT ISSUE DATE  
2020.01.22

DRAWN BY  
RC

CHECKED BY  
RB/DDP

PROJECT NO.  
B4-157-1801

SHEET NAME

TITLE SHEET

DRAWINGS NO.

**G-000**



COURTYARD MARRIOT

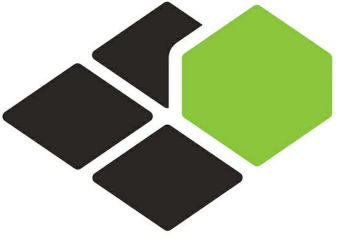
LOCATION

MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND RESIDENCE INN) - 9551 & 9555 183<sup>RD</sup> STREET



BUILDING STORIES	4 STORIES
BUILDING HEIGHT LIMITATIONS	75'-0"
SITE ACERAGE	2,69 ACRES

SHEET INDEX ARCH	
SHEET NUMBER	SHEET NAME
General	
G-000	TITLE SHEET
G-001	SHEET INDEX
General: 2	
Architectural	
A-001	DUMPSTER/SITE DETAILS
A-002	MONUMENT SIGN DETAIL
A-010	PORTE COCHERE DETAILS
A-012A	OUTDOOR PATIO FLOOR PLANS
A-012B	OUTDOOR PATIO ELEVATIONS AND FIRE PIT DETAILS
A-012C	EXTERIOR COURTYARD LOGGIA/ TRELLIS
A-013A	BUILDING CANOPIES
A-013B	BUILDING CANOPY ELEVATIONS
A-013C	CANOPY PLAN AND ELEVATIONS
A-101	1ST FLOOR PLAN
A-102	2ND FLOOR PLAN
A-103	3RD FLOOR PLAN
A-104	4TH FLOOR PLAN
A-105	ROOF LEVEL PLAN
A-200	EXTERIOR ELEVATIONS-1
A-201	EXTERIOR ELEVATIONS-2
Architectural: 16	
Grand total: 18	




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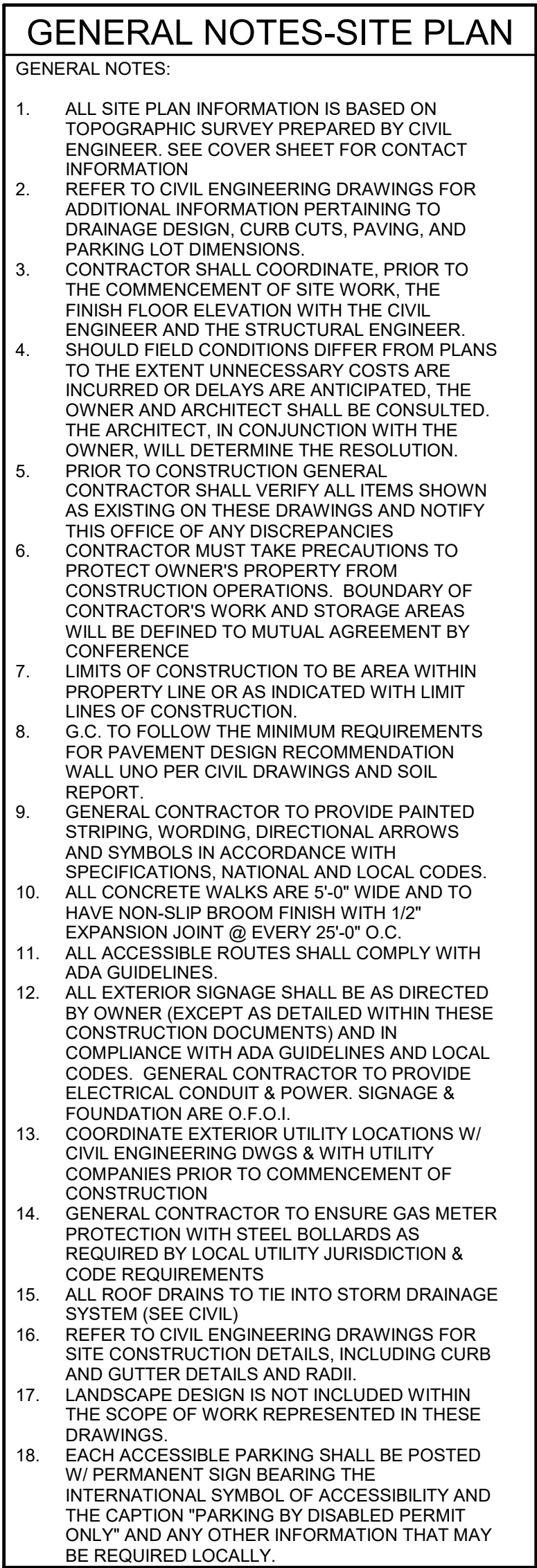
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**SHEET INDEX**

DRAWINGS NO.

**G-001**





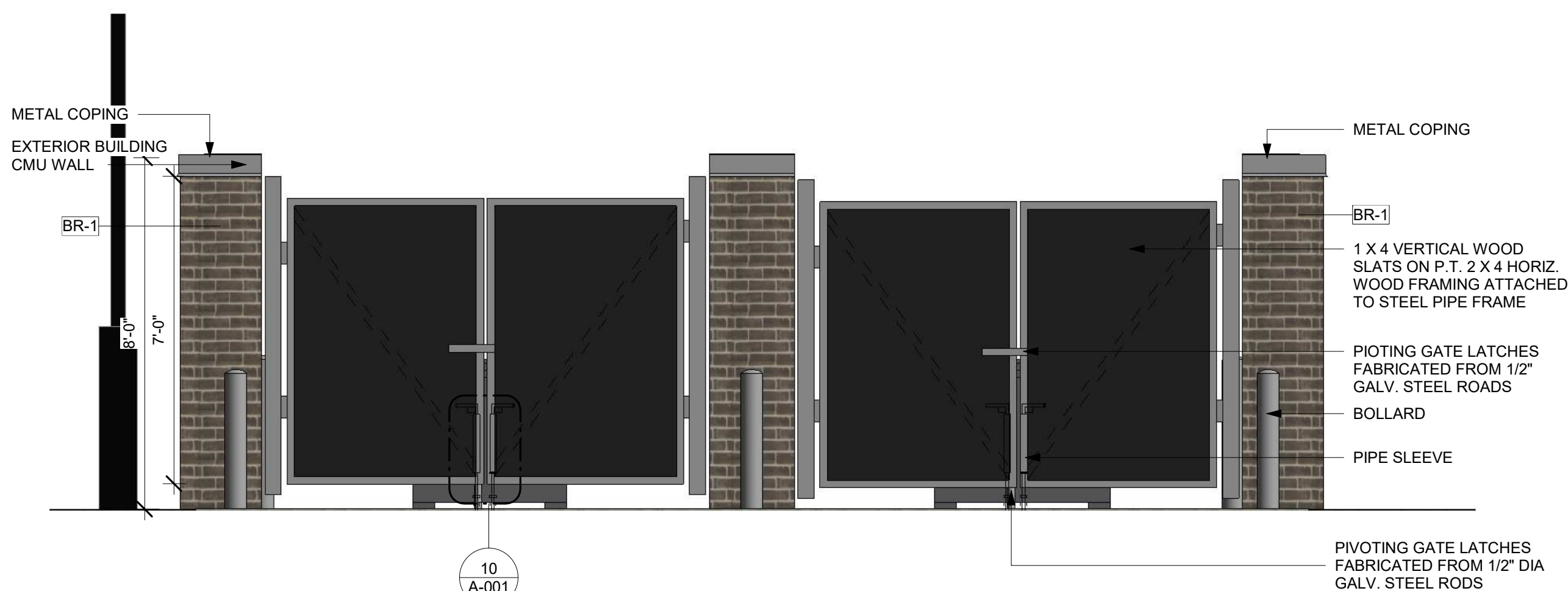
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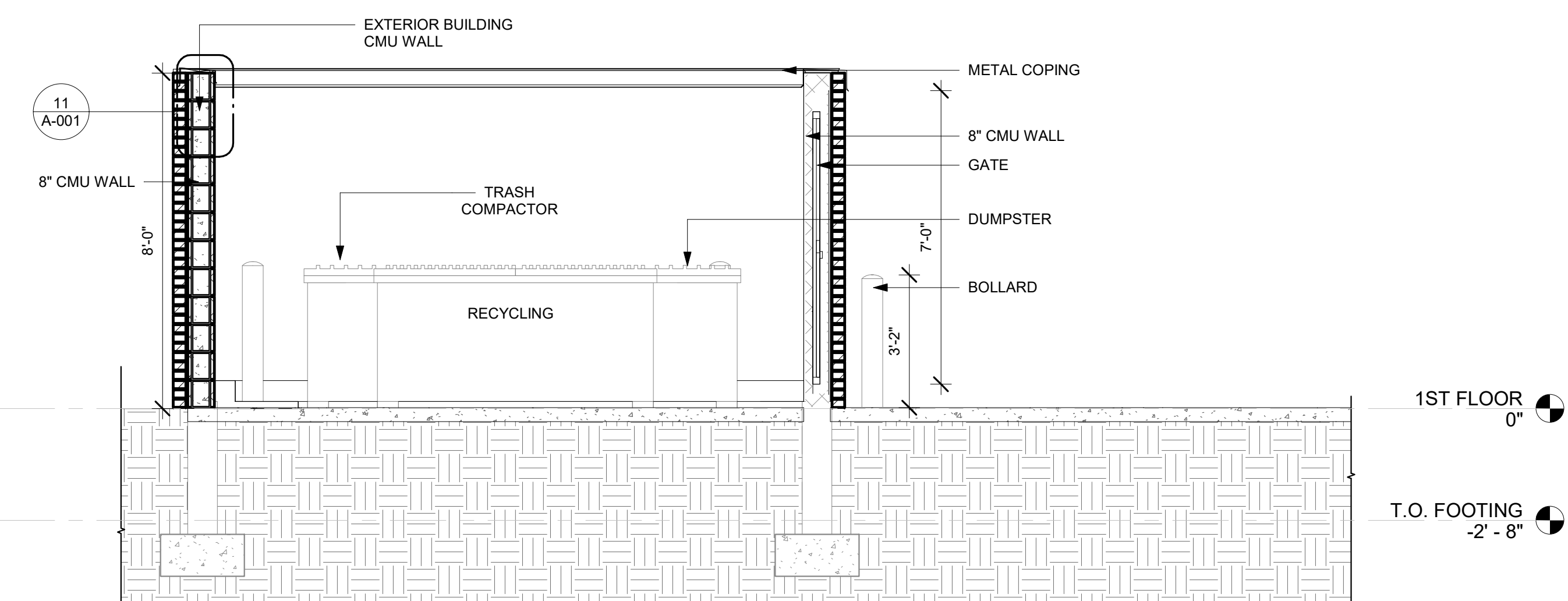
PROTOTYPE VERSION: GEN 6

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11 DUMPSTER COPING DETAIL  
A-001 A-001 1 1/2" = 1'-0"



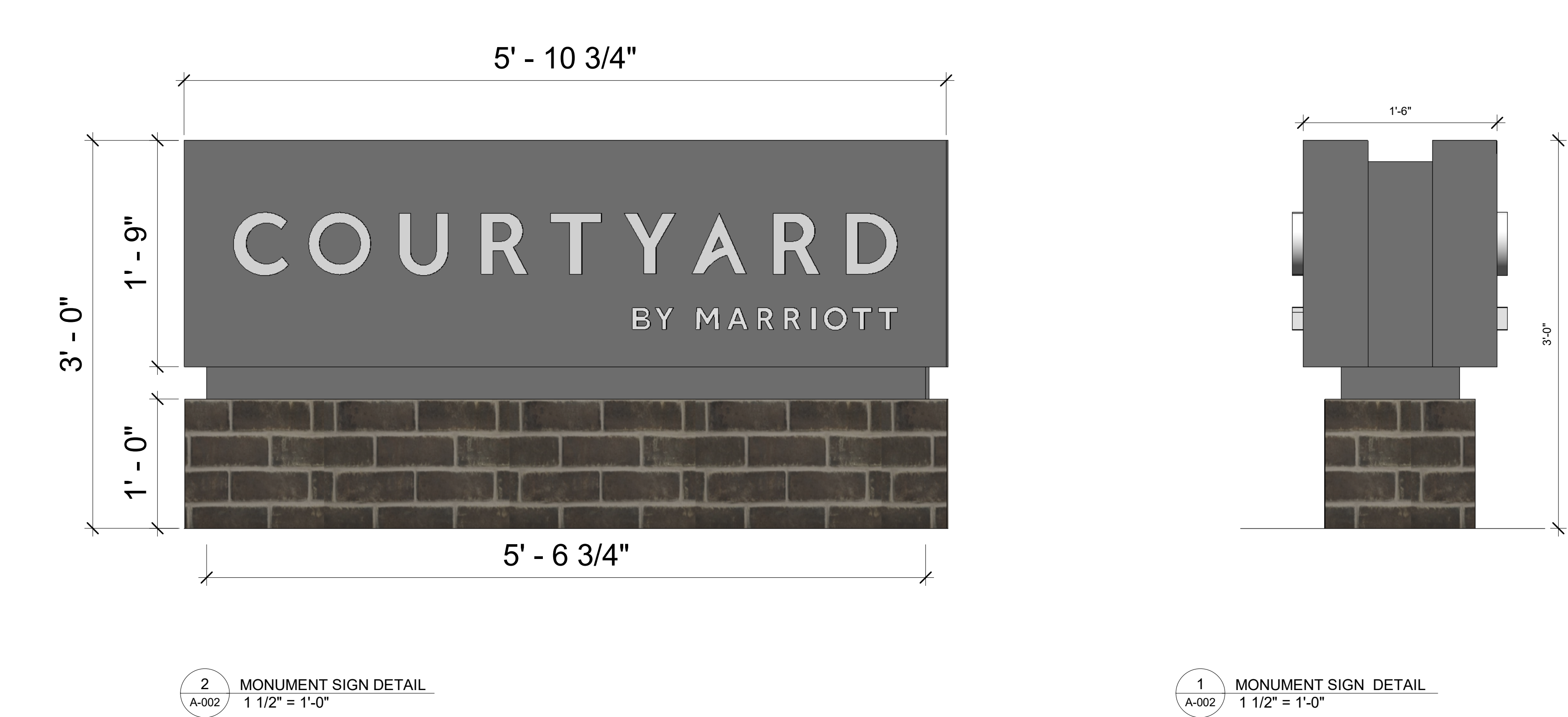
6 DUMPSTER ELEVATION 2  
A-001  $3/8" = 1'-0"$



2 DUMPSTER SECTION 2  
A-001 3/8" = 1'-0"

**A-001**





MONUMENT SPECIFICATIONS

**Monument Specifications:**  
*Construction:* Aluminum angle frame with .125" aluminum shoe-box style faces  
*Face Construction:* Routed aluminum with backer panel  
*Retainer:* Bleed face  
*Illumination:* GE White LED's  
*Exterior Finish:* Paint Pantone® 426 C gray, satin finish, and Pantone® 877 C Silver, satin finish  
*Interior Finish:* Paint reflective white

**Monument Face Specifications:**  
*Face Construction:* Routed aluminum with backer panel  
*Face Decoration:* Paint Pantone® 426 C gray, satin finish  
*Backer Panel:* .118" white solar grade polycarbonate  
\* "Courtyard" and "Marriott" to appear white during the day and illuminate white at nighttime.

**Pole Cover Specifications:**  
\* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)  
*Construction:* Aluminum angle frame with .080" aluminum skins  
*Exterior Finish:* Paint Matthews 41342SP Brushed Aluminum, satin finish

- GENERAL NOTES-SITE PLAN
- GENERAL NOTES:

1.

ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE COVER SHEET FOR CONTACT INFORMATION.

2.

REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.

3.

CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER. SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.

5.

PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.

6.

CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.

7.

LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.

8.

G.C. TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.

9.

GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.

10.

ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.

11.

ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.

12.

ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER, SIGNAGE & FOUNDATION ARE O.F.O.I.

13.

COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

14.

GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.

15.

ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).

16.

REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADII.

17.

LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.

18.

EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

1

MONUMENT SIGN DETAILS

LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR : EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

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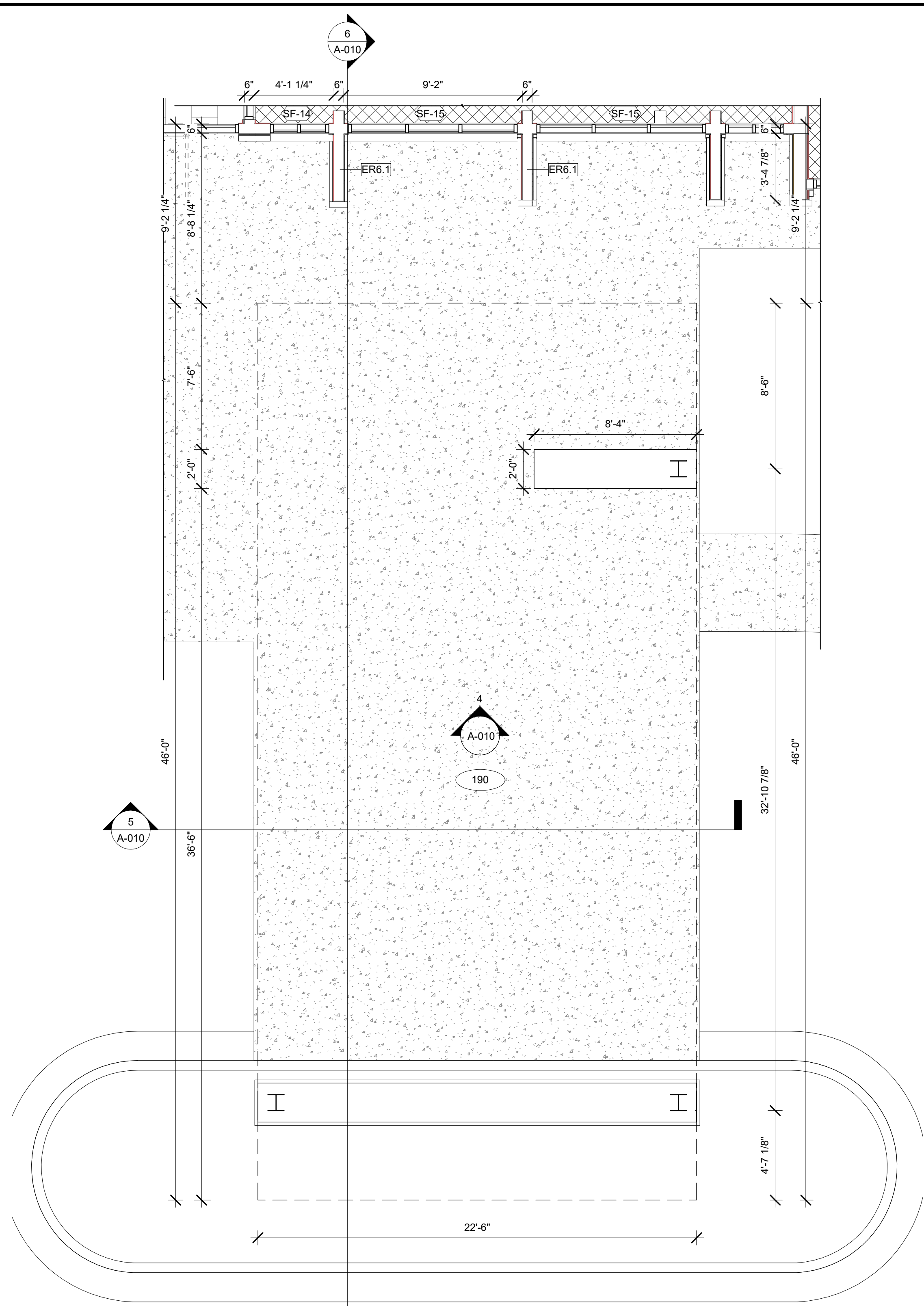
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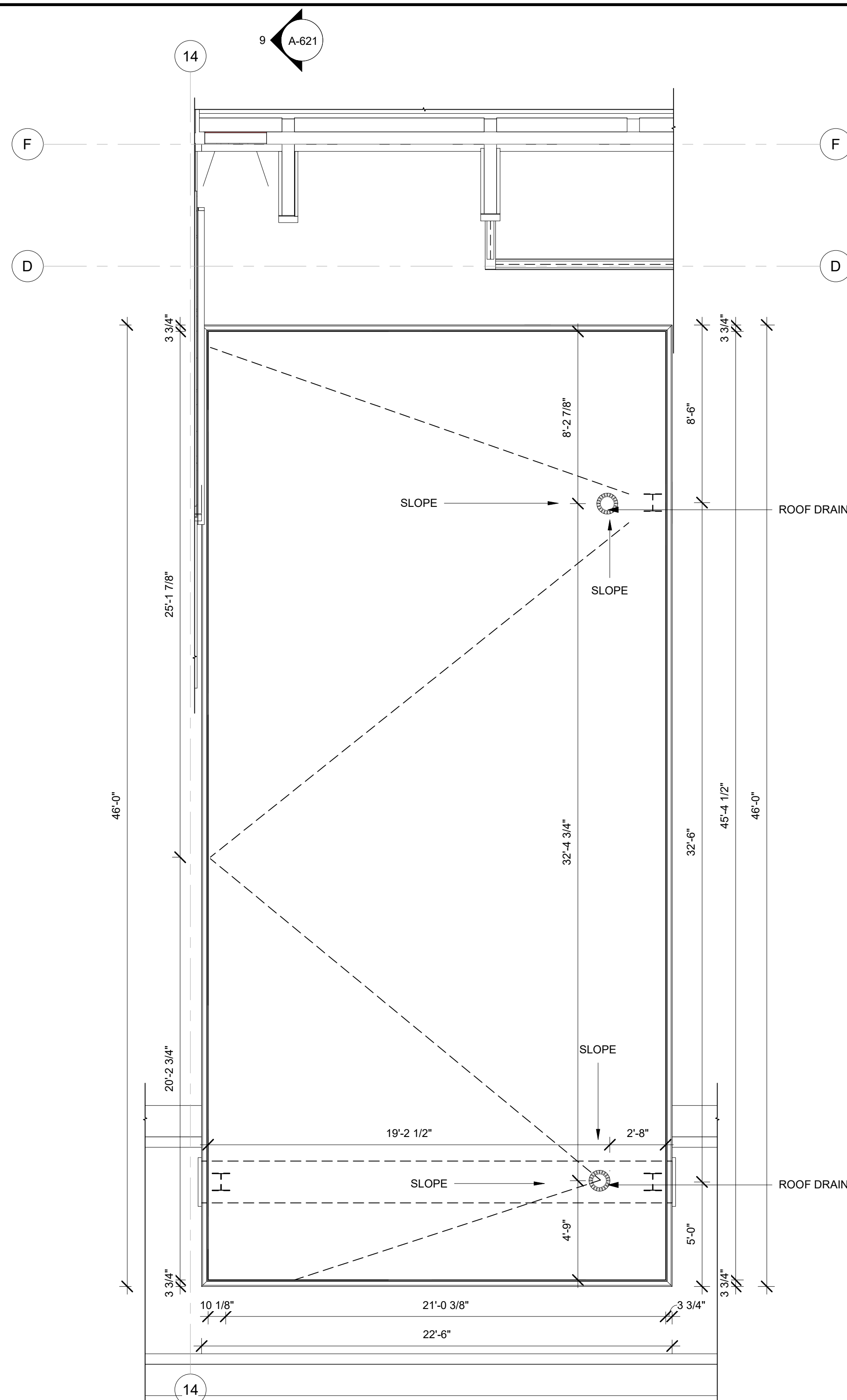
SHEET NAME  
MONUMENT SIGN DETAIL

DRAWINGS NO.  
A-002

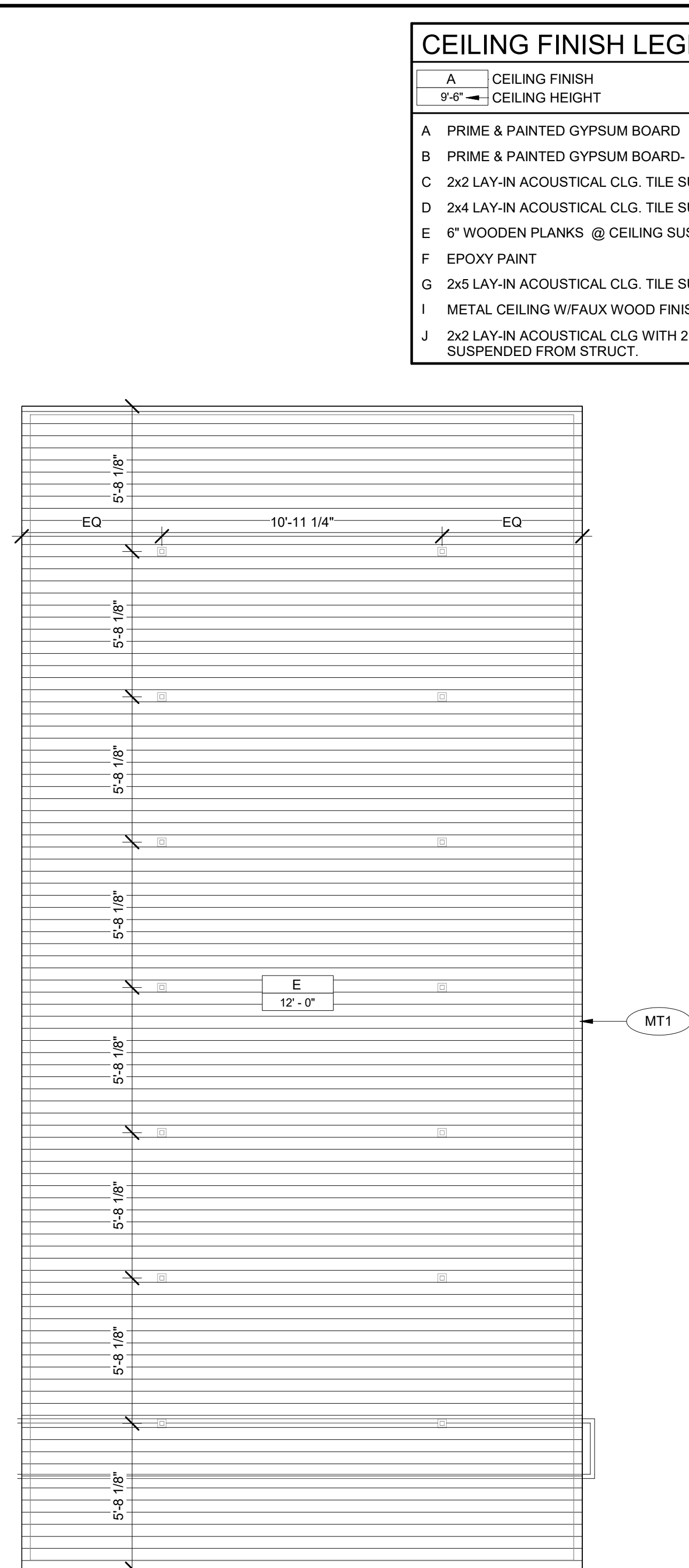




1 ENLARGED PORTE COCHERE - FLOOR PLAN  
1/4" = 1'-0"



2 ENLARGED PORTE COCHERE - ROOF PLAN  
1/4" = 1'-0"



3 ENLARGED PORTE COCHERE - RCP PLAN  
1/4" = 1'-0"

CEILING FINISH LEGEND

A	CEILING FINISH
9'-6"	CEILING HEIGHT

A PRIME & PAINTED GYPSUM BOARD

B PRIME & PAINTED GYPSUM BOARD- MOISTURE RESISTANT

C 2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.

D 2x4 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.

E 6" WOODEN PLANKS @ CEILING SUSPENDED FROM STRUCT.

F EPOXY PAINT

G 2x6 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.

I METAL CEILING W/FAUX WOOD FINISH; REFER TO SPEC M-3

J 2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.

GENERAL FLOOR PLAN NOTES

BASE4 NOTES

- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
- GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
- REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
- REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS.

PROJECT NOTES

- REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
- REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
- REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
- REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

GENERAL RCP NOTES

BASE4 NOTES

- REFER TO PLUMBING, MECHANICAL, ELECTRICAL FOR LOCATIONS OF RELATED ITEMS.
- COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.
- REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.
- CEILING CONTROL JOINTS TO BE 50'-0" MAX. EITHER DIRECTION OR TO LIMIT AREAS TO 2500 SF.
- REFER TO CEILING DETAILS FOR FURTHER INFORMATION.
- ALL ACT TILE CENTERED IN ROOM.
- USE 9/16TH GRID ON SUSPENDED GRID SYSTEM

PROJECT NOTES

- REFER TO DESIGN STANDARDS FOR REQUIREMENTS REALATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN. CENTER OF CEILING TILE TO ALIGN WITH CENTER OF CORRIDORS, TYP.
- CENTER LIGHT FIXTURES IN CENTER OF CEILING TILE.

GENERAL NOTE - ENLARGED

BASE4 NOTES

- CO-ORDINATE POWER, DATA, AND CABLE REQUIREMENTS WITH FINAL EQUIPMENT SELECTIONS.
- EXERCISE MILLWORK ALSO AVAILABLE AS FF & E ITEMS.
- ALL EXTERIOR CORNERS IN CORRIDORS SHALL HAVE FULL HEIGHT CORNER GUARDS.

GENERAL NOTE FOR LEGENDS

BASE4 NOTES

- REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
- REFER "Courtyard Gen 6 Cynergy Interior Finish Index-ID" FOR FINISHES.
- REFER "22-224000b-C-Plumbing Fixture Matrix\_Gen 6\_Cynergy" FOR RESTROOM ACCESSORIES.

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GENERAL RCP NOTES

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- USE 9/16TH GRID ON SUSPENDED GRID SYSTEM

PROJECT NOTES

- REFER TO DESIGN STANDARDS FOR REQUIREMENTS REALATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN. CENTER OF CEILING TILE TO ALIGN WITH CENTER OF CORRIDORS, TYP.
- CENTER LIGHT FIXTURES IN CENTER OF CEILING TILE.

GENERAL NOTE - ENLARGED

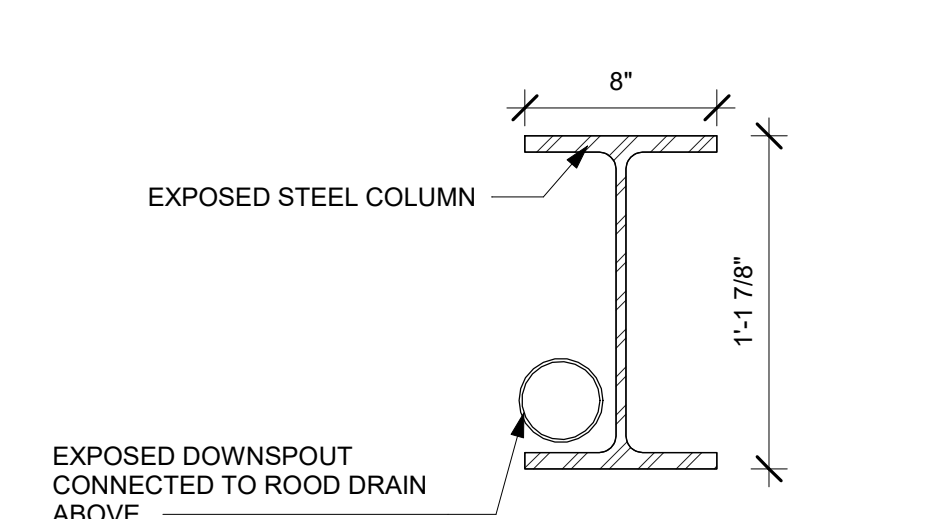
BASE4 NOTES

- CO-ORDINATE POWER, DATA, AND CABLE REQUIREMENTS WITH FINAL EQUIPMENT SELECTIONS.
- EXERCISE MILLWORK ALSO AVAILABLE AS FF & E ITEMS.
- ALL EXTERIOR CORNERS IN CORRIDORS SHALL HAVE FULL HEIGHT CORNER GUARDS.

GENERAL NOTE FOR LEGENDS

BASE4 NOTES

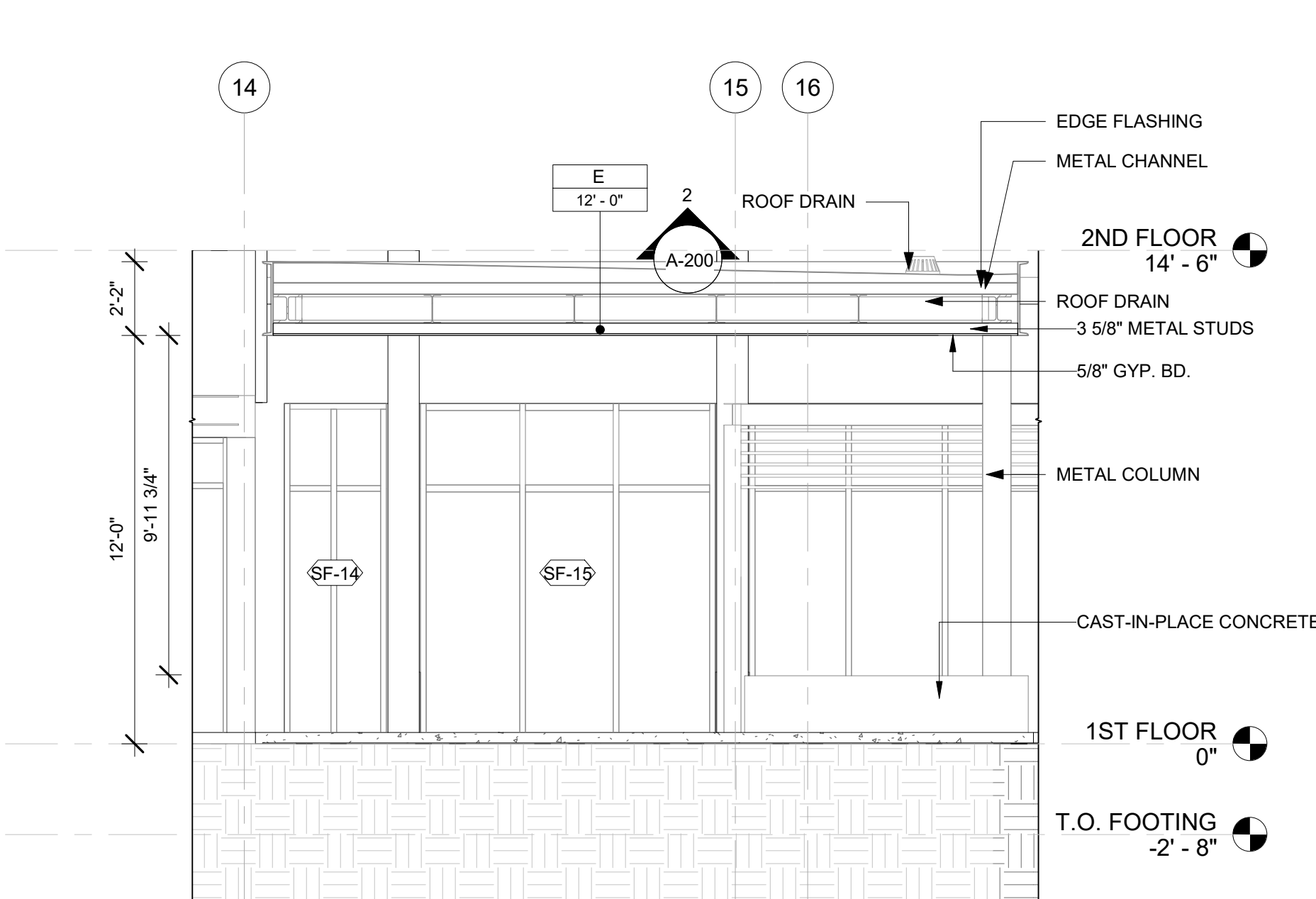
- REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
- REFER "Courtyard Gen 6 Cynergy Interior Finish Index-ID" FOR FINISHES.
- REFER "22-224000b-C-Plumbing Fixture Matrix\_Gen 6\_Cynergy" FOR RESTROOM ACCESSORIES.



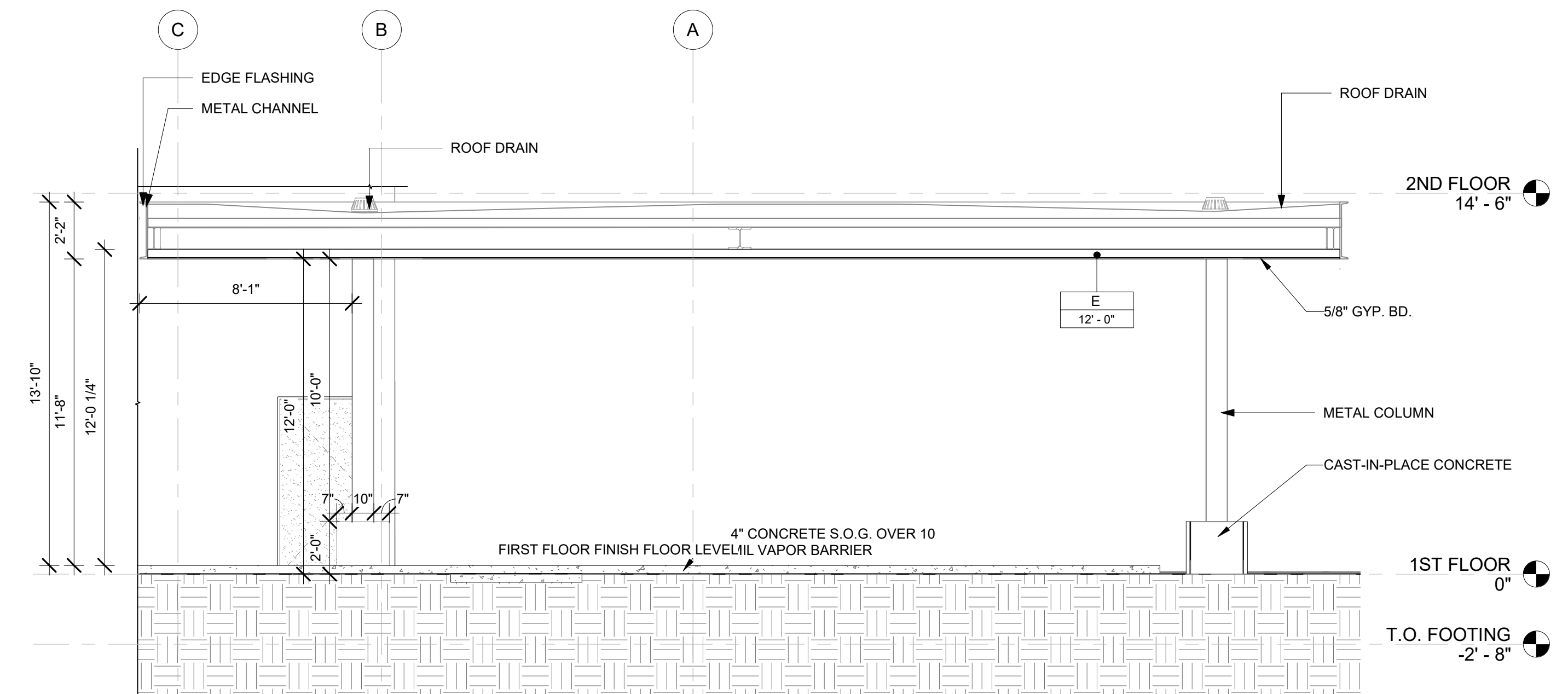
7 PORTE COCHERE COLUMN DETAIL  
1 1/2" = 1'-0"



4 PORTE COCHERE FRONT ELEVATION  
1/4" = 1'-0"



5 PORTE COCHERE SECTION 1  
1/4" = 1'-0"



6 PORTE COCHERE SECTION 2  
1/4" = 1'-0"

8 KEYPLAN PORTE COCHERE  
1" = 50'-0"

BASE4

2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP Hospitality

143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD

BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6;  
REVISION DATE: 2019.06.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PC STAFF REVIEW

CURRENT ISSUE DATE  
2020.01.22

DRAWN BY  
RC

CHECKED BY  
RB/DDP

PROJECT NO.  
B4-157-1801

SHEET NAME  
PORTE COCHERE DETAILS

DRAWINGS NO.  
A-010





RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

A circular professional seal for the State of Illinois. The outer ring contains the text "LICENSED ARCHITECT" at the top and "STATE OF ILLINOIS" at the bottom. Inside the ring, the name "RICARDO JAVIER MUNIZ GUILLET" is printed, followed by the license number "001023672". A blue ink signature is written across the center of the seal.

**TOP  
Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

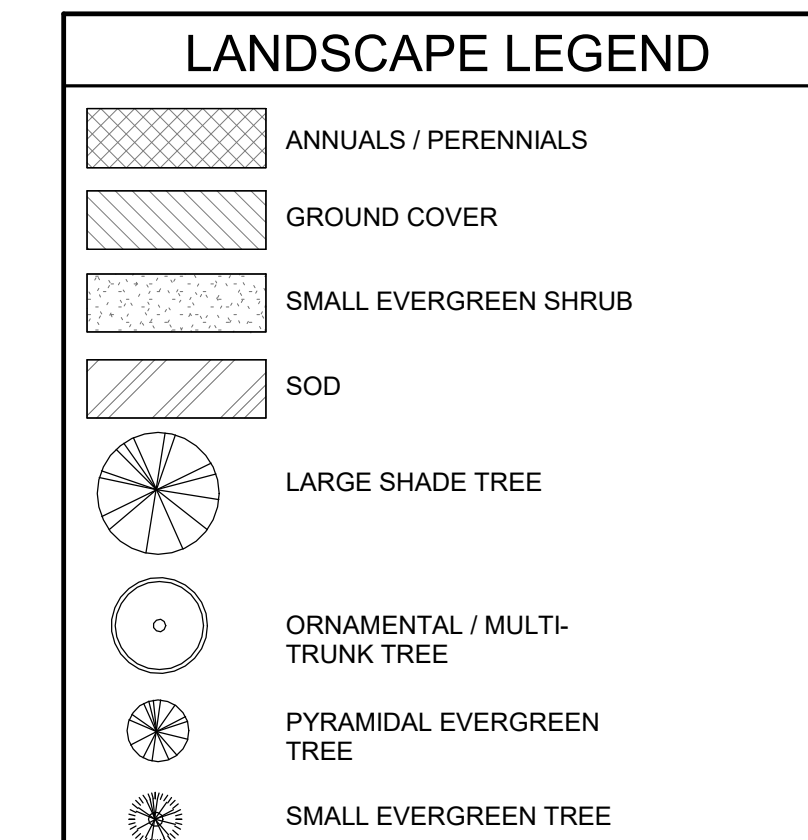
ISSUED FOR PC STAFF  
REVIEW

DRAWN BY RC

PROJECT NO.	B4-157-1801
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## OUTDOOR PATIO FLOOR PLANS

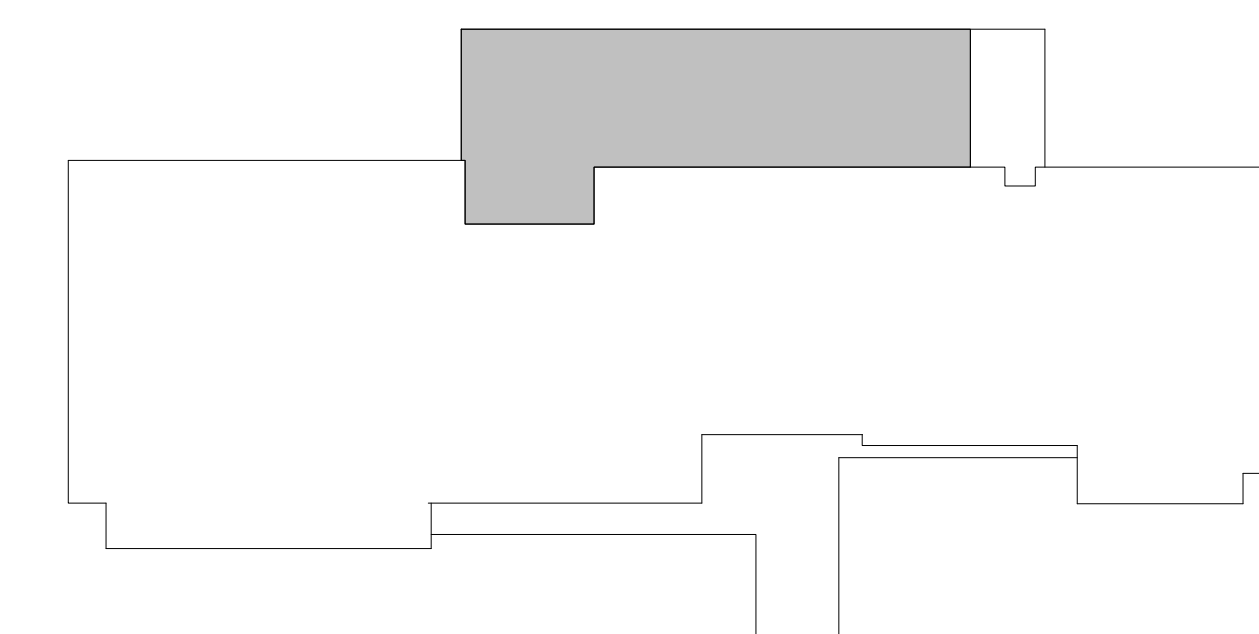
**A-012A**



**B** OUTDOOR PATIO CONSTRUCTION PLAN  
A-012A 3/16" = 1'-0"

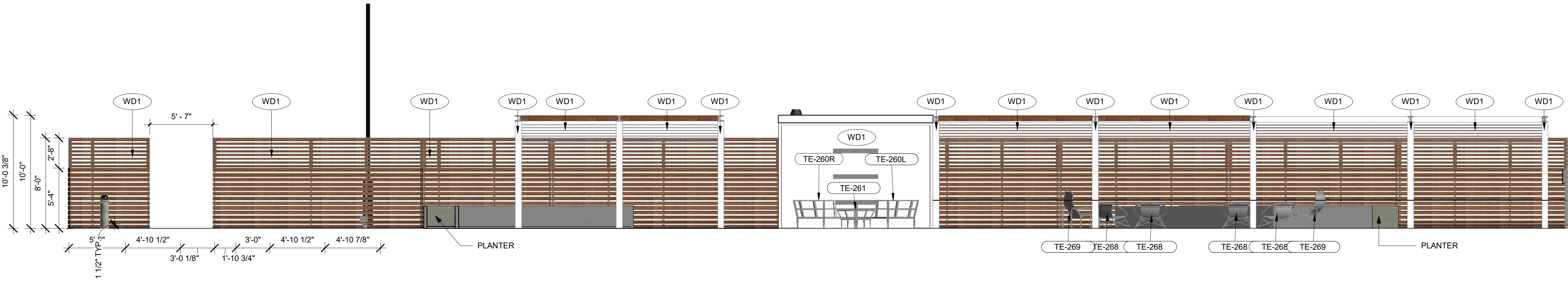


**A** OUTDOOR PATIO FURNITURE PLAN  
A-012A 3/16" = 1'-0"

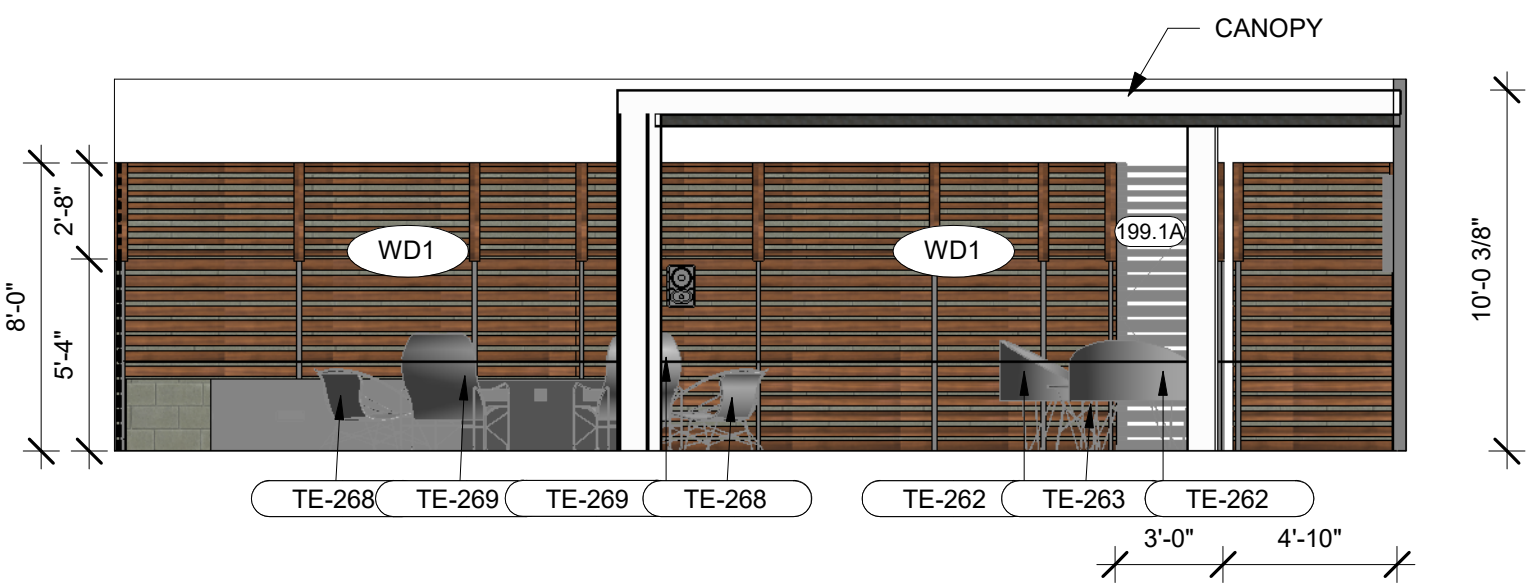


3 KEYPLAN OUTDOOR COURTYARD  
A-012A 1" = 50'-0"

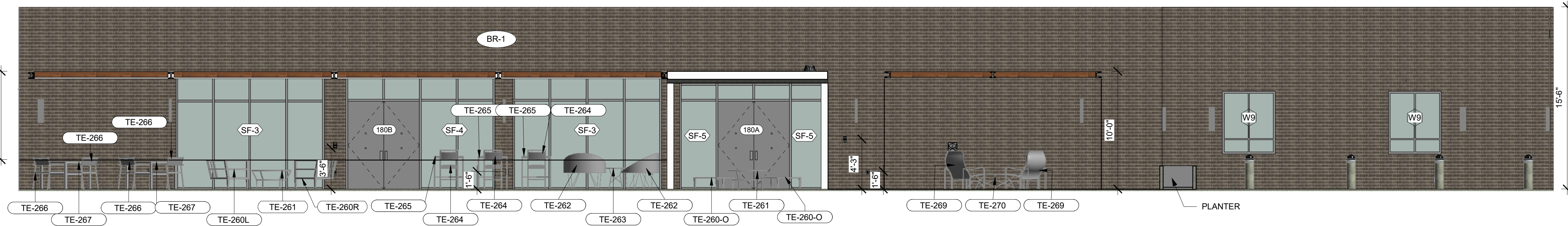




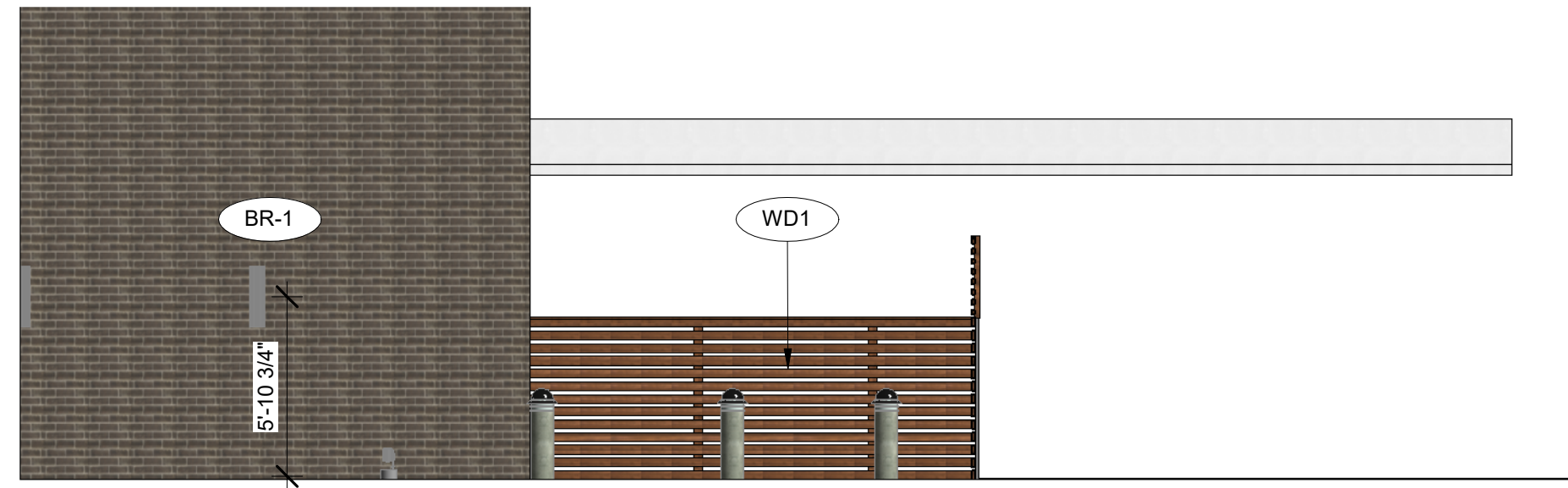
1 NOTH ELEVATION  
A-012B  
3/16" = 1'-0"



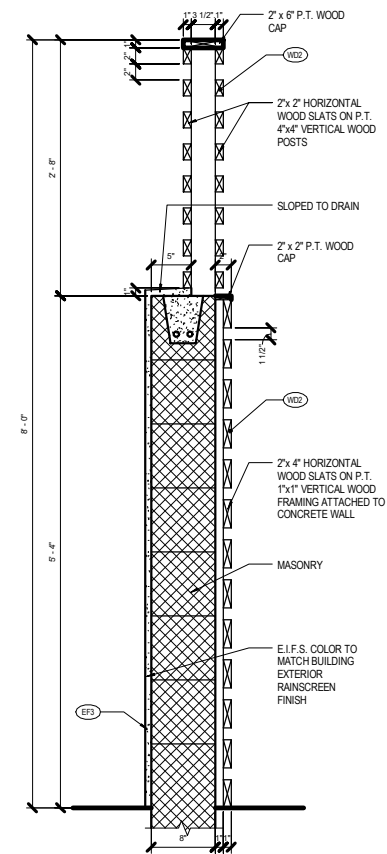
2 EAST ELEVATION  
A-012B  
3/16" = 1'-0"



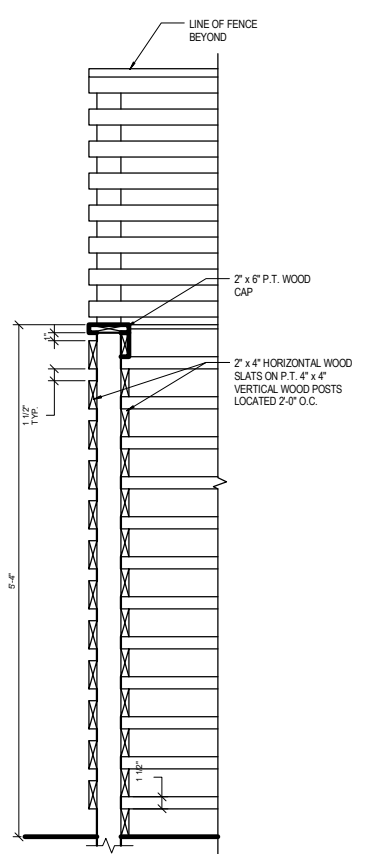
3 SOUTH ELEVATION  
A-012B  
3/16" = 1'-0"



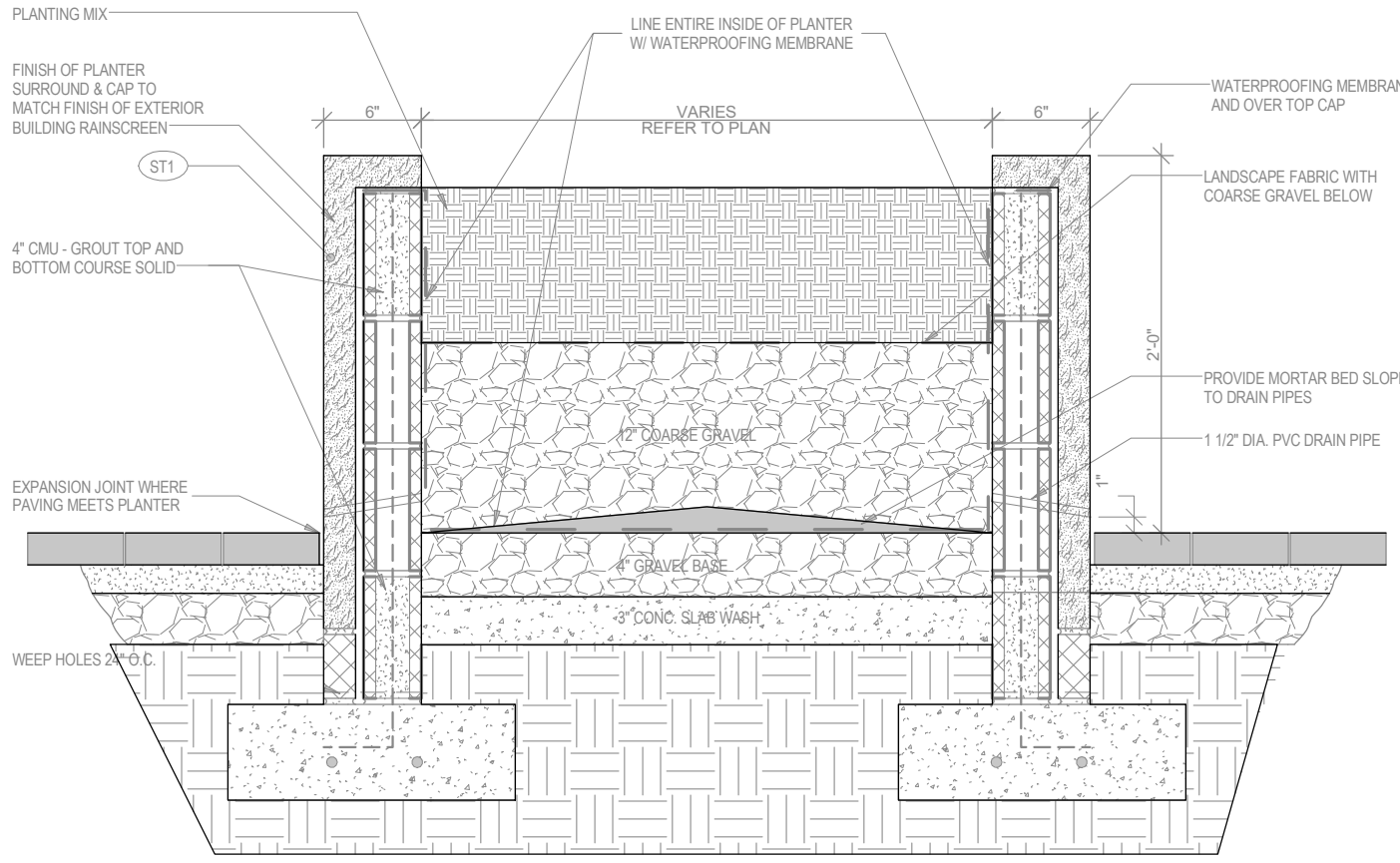
4 WEST ELEVATION  
A-012B  
3/16" = 1'-0"



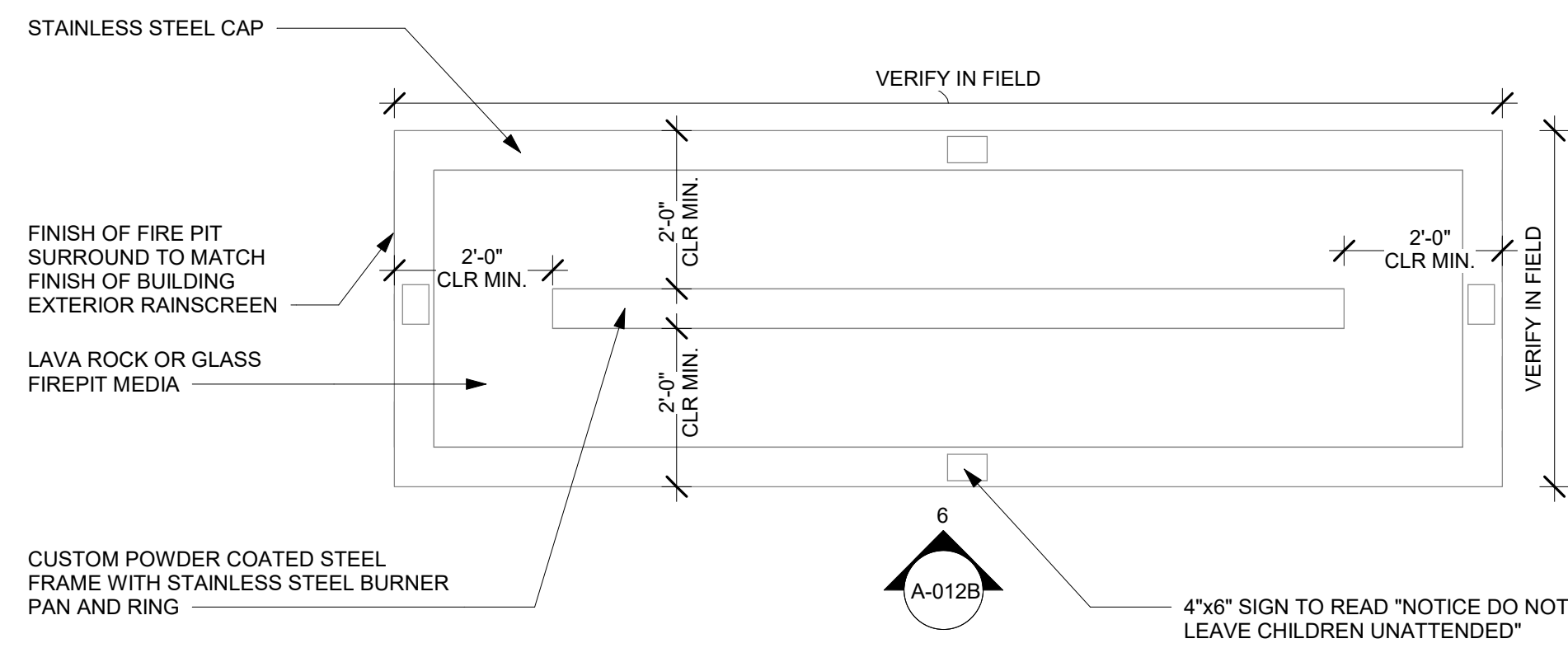
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A-012B  
1/2" = 1'-0"



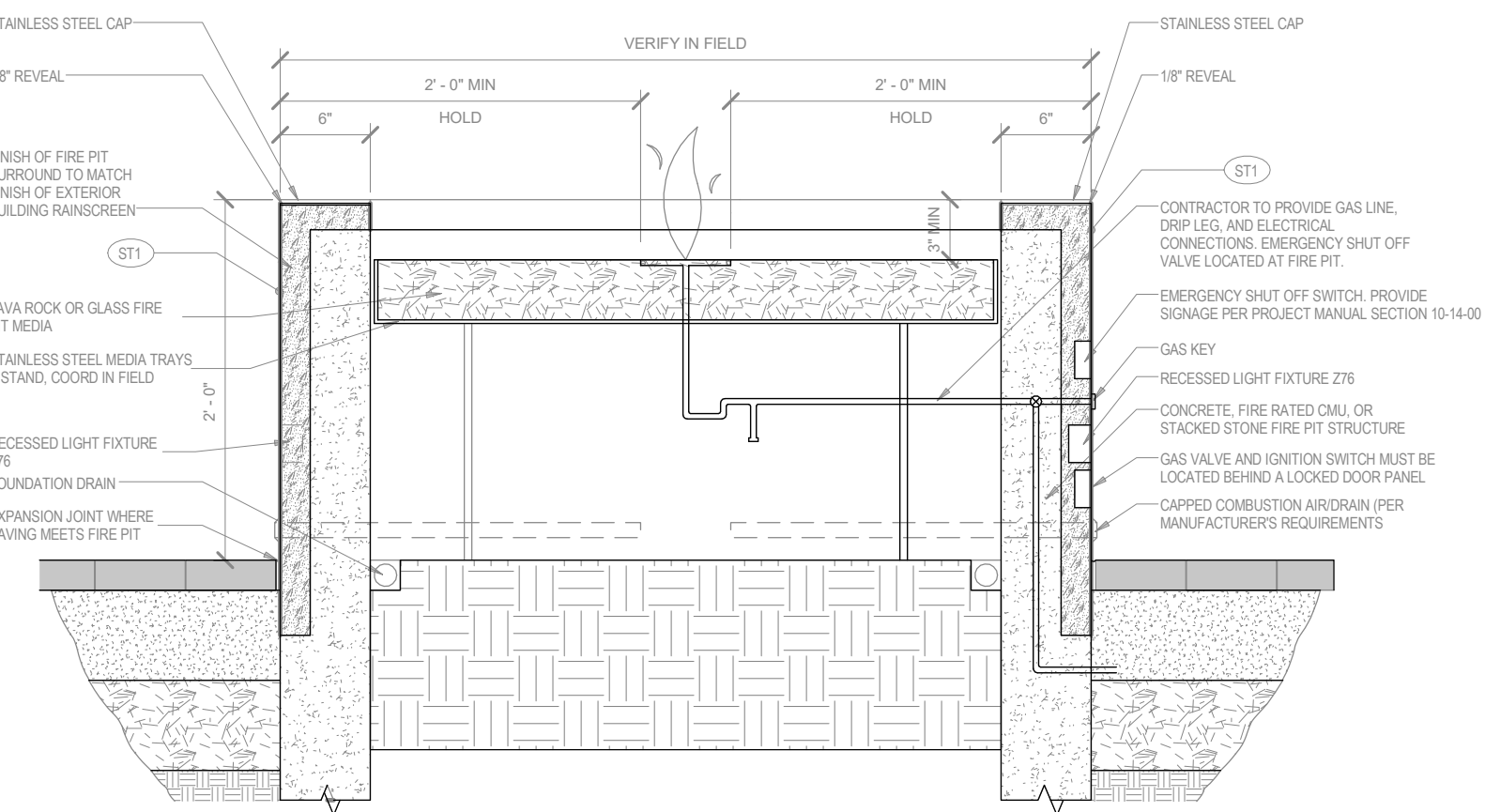
8 FENCE DETAIL 2  
A-012B  
1/2" = 1'-0"



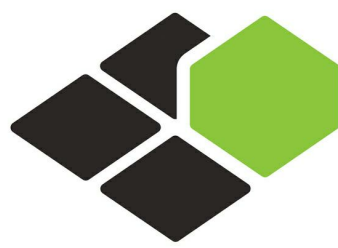
9 PLANTER DETAIL  
A-012B  
1" = 1'-0"



5 FIRE PIT PLAN  
A-012B  
1/2" = 1'-0"



10 FIRE PIT DETAIL  
A-012B  
1" = 1'-0"



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+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

TOP  
Hospitality  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018.08.24

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PROJECT NO.  
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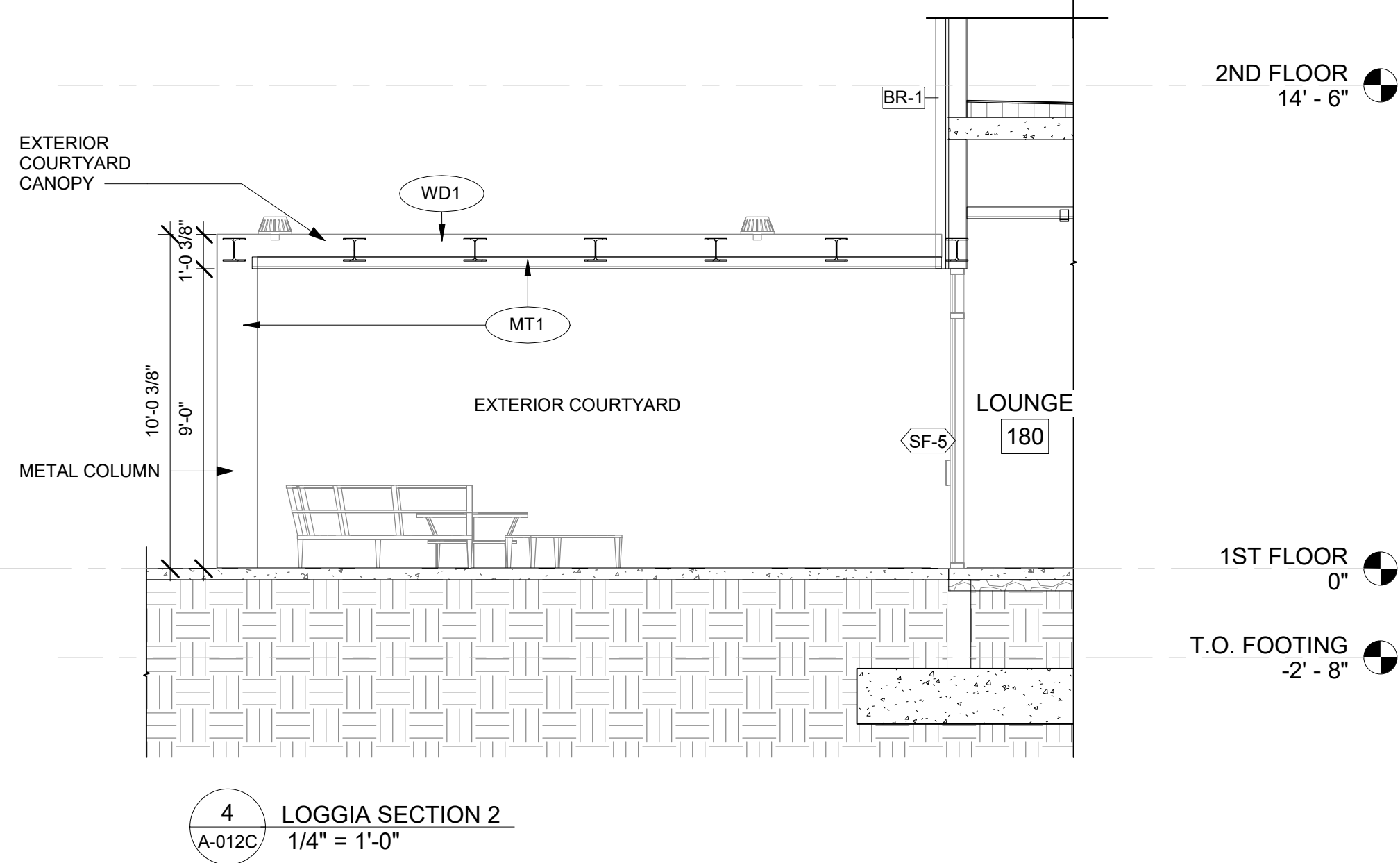
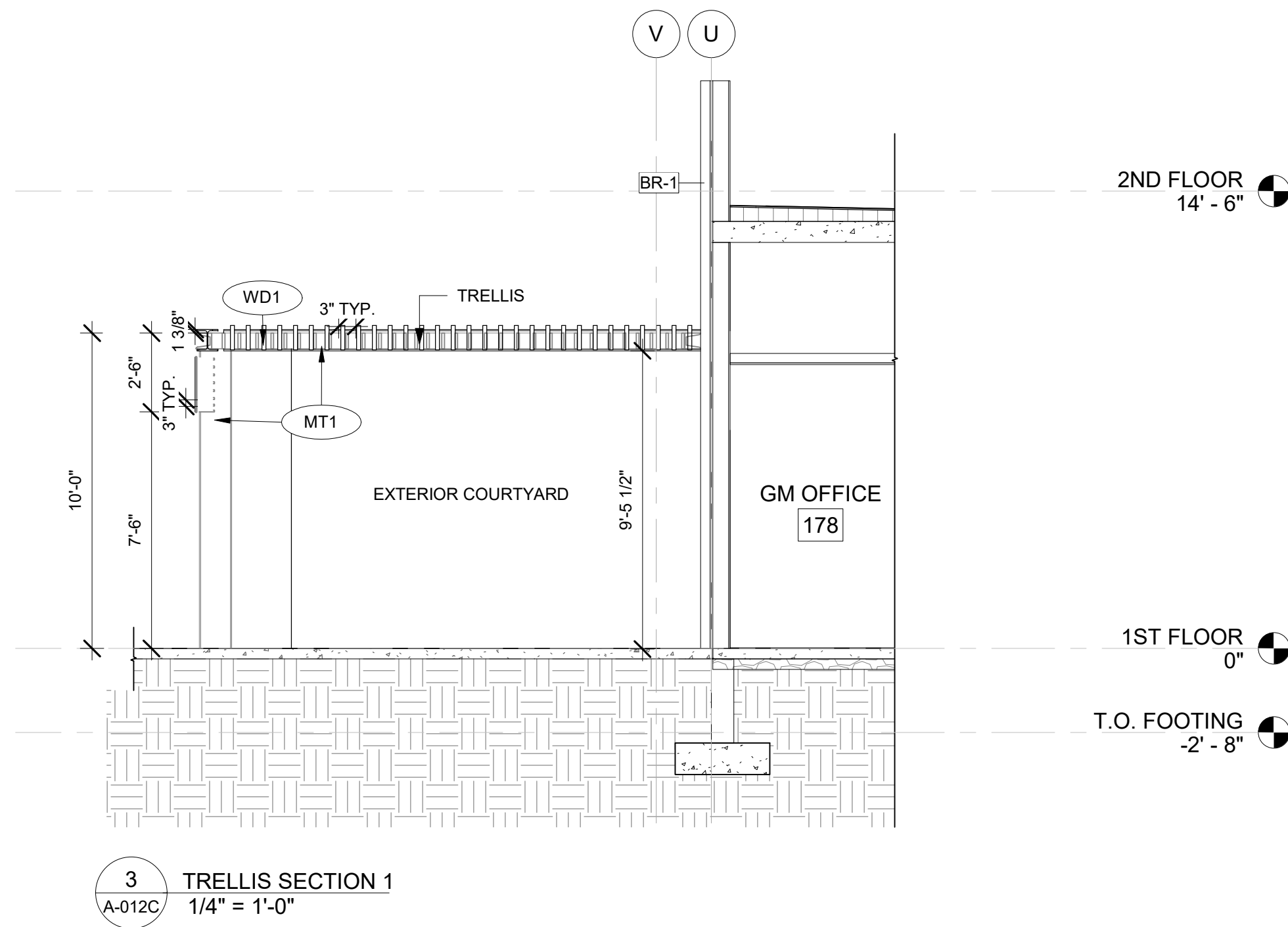
SHEET NAME

OUTDOOR PATIO  
ELEVATIONS AND  
FIRE PIT DETAILS

DRAWINGS NO.

A-012B

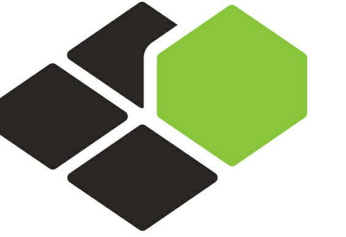
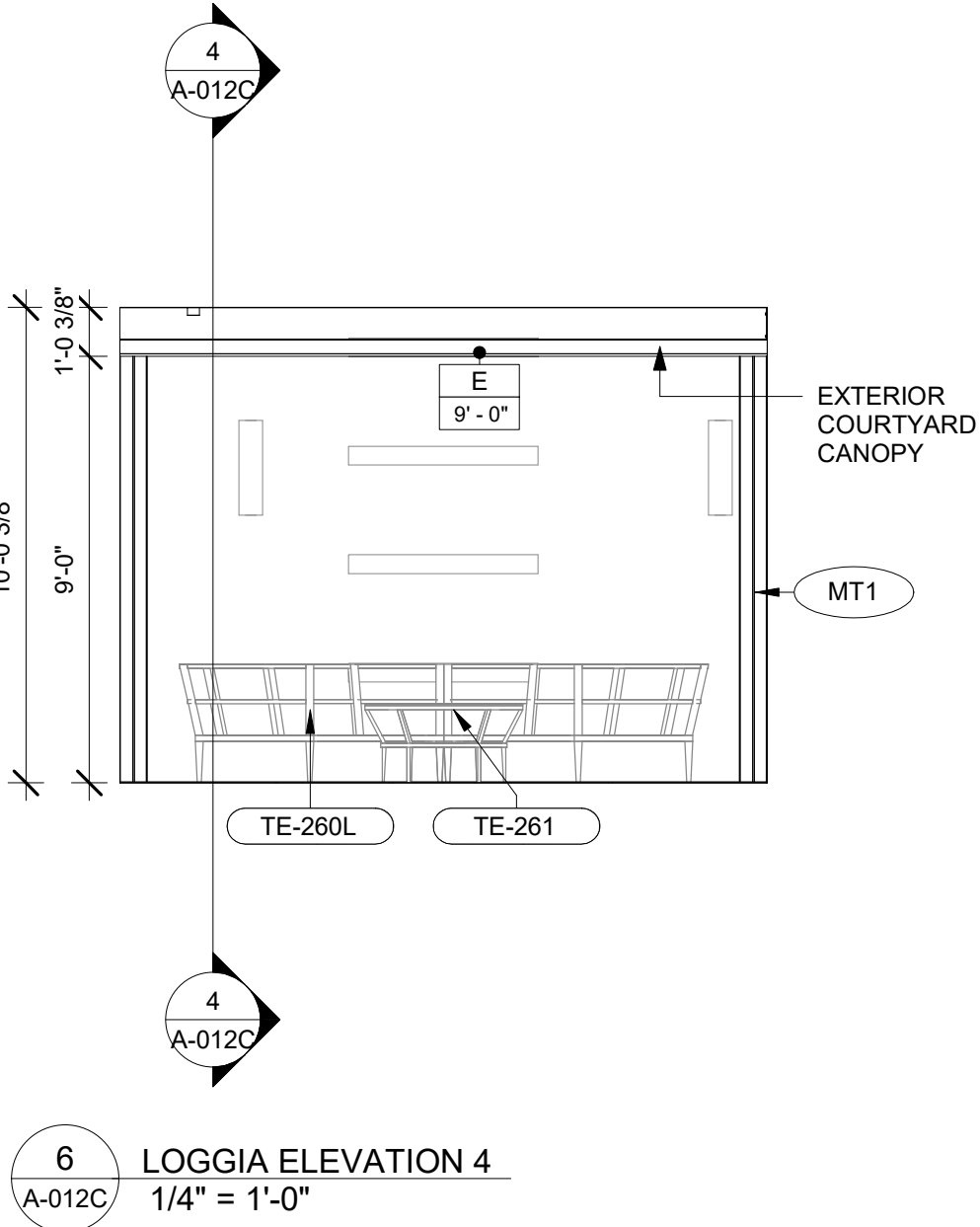
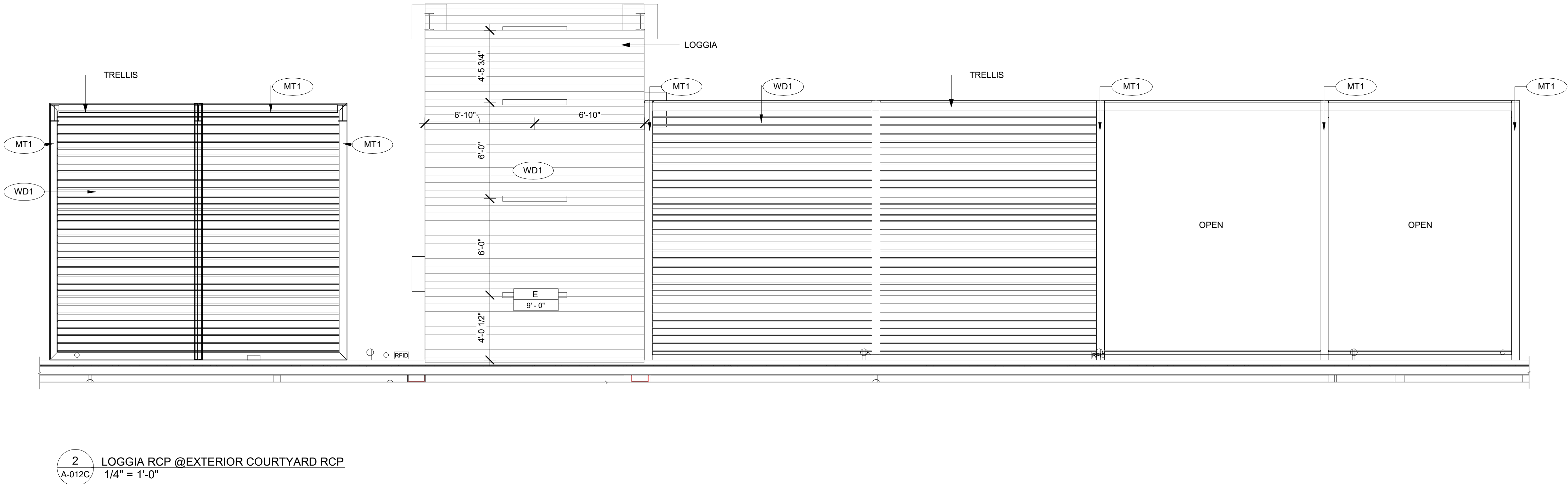
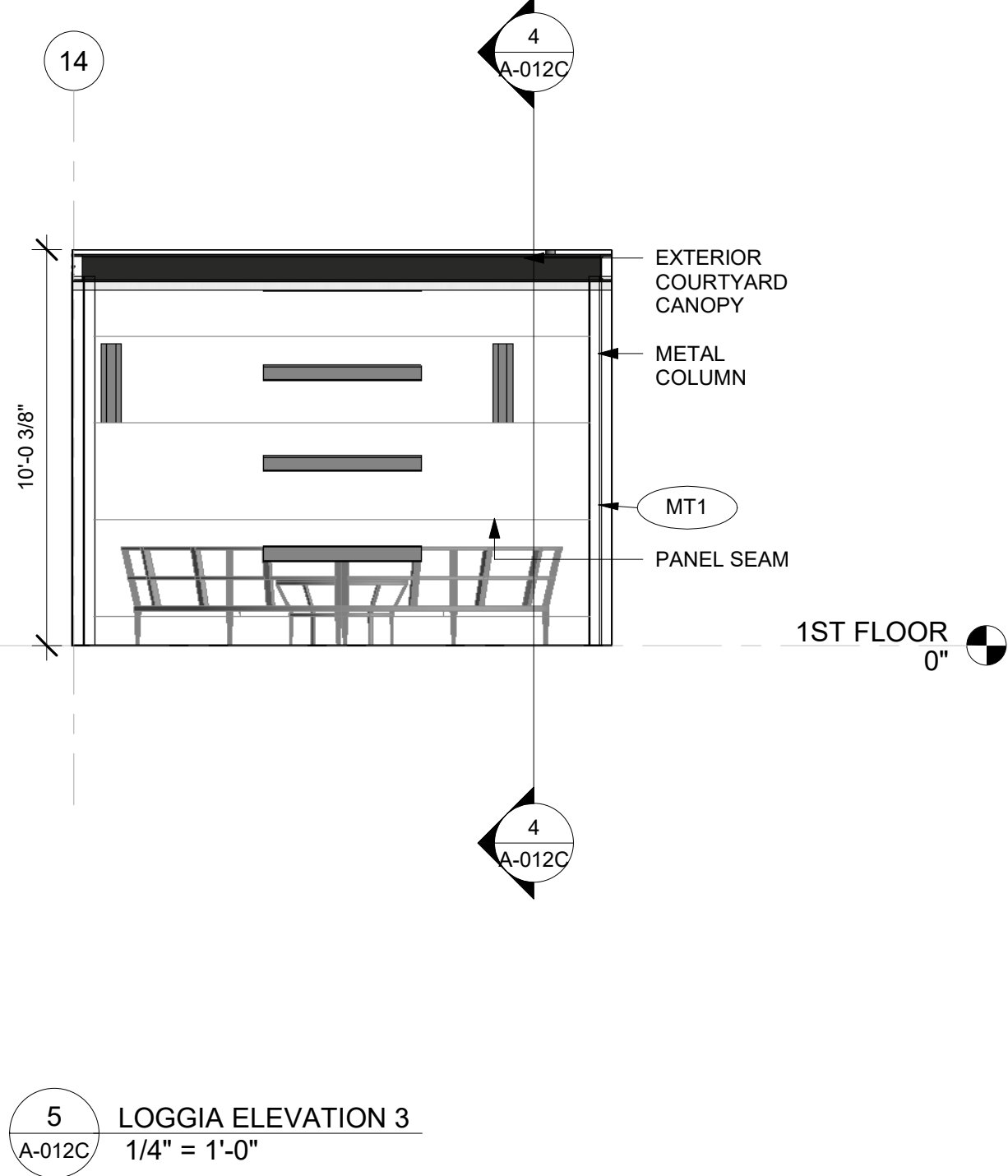
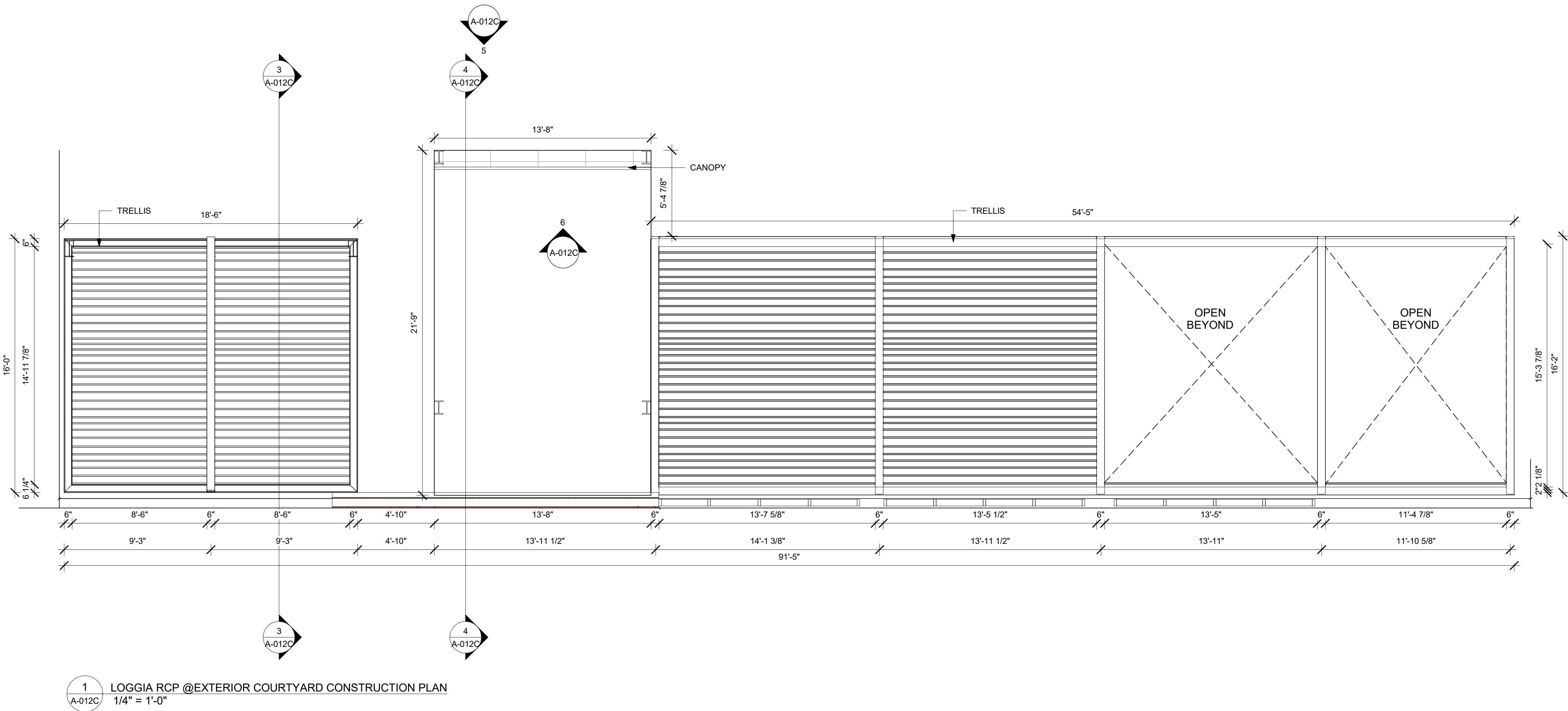




GENERAL RCP NOTES
<b>BASE4 NOTES</b>
1. REFER TO PLUMBING, MECHANICAL, ELECTRICAL FOR LOCATIONS OF RELATED ITEMS.
2. COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.
3. REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.
4. CEILING CONTROL JOINTS TO BE 50'-0" MAX. EITHER DIRECTION OR TO LIMIT AREAS TO 2500 SF.
5. REFER TO CEILING DETAILS FOR FURTHER INFORMATION.
6. ALL ACT TILE CENTERED IN ROOM.
7. USE 9/16TH GRID ON SUSPENDED GRID SYSTEM.
<b>PROJECT NOTES</b>
1. REFER TO DESIGN STANDARDS FOR REQUIREMENTS REALATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
2. BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN. CENTER OF CEILING TILE TO ALIGN WITH CENTER OF CORRIDORS, TYP.
3. CENTER LIGHT FIXTURES IN CENTER OF CEILING TILE.

GENERAL FLOOR PLAN NOTES
<b>BASE4 NOTES</b>
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5. REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES.
6. REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7. REFER G-002S-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS.
<b>PROJECT NOTES</b>
1. REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2. REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3. REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
4. REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

GENERAL NOTE FOR LEGENDS
<b>BASE4 NOTES</b>
1. REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
2. REFER "Courtyard Gen 6 C_Ynergy Interior Finish Index-ID" FOR FINISHES.
3. REFER "22-224000b-C-Plumbing Fixture Matrix_Gen 6_C_Ynergy" FOR RESTROOM ACCESSORIES.



BASE4

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5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2019.08.24

ID	ISSUED	DESCRIPTION
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RC

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PROJECT NO.

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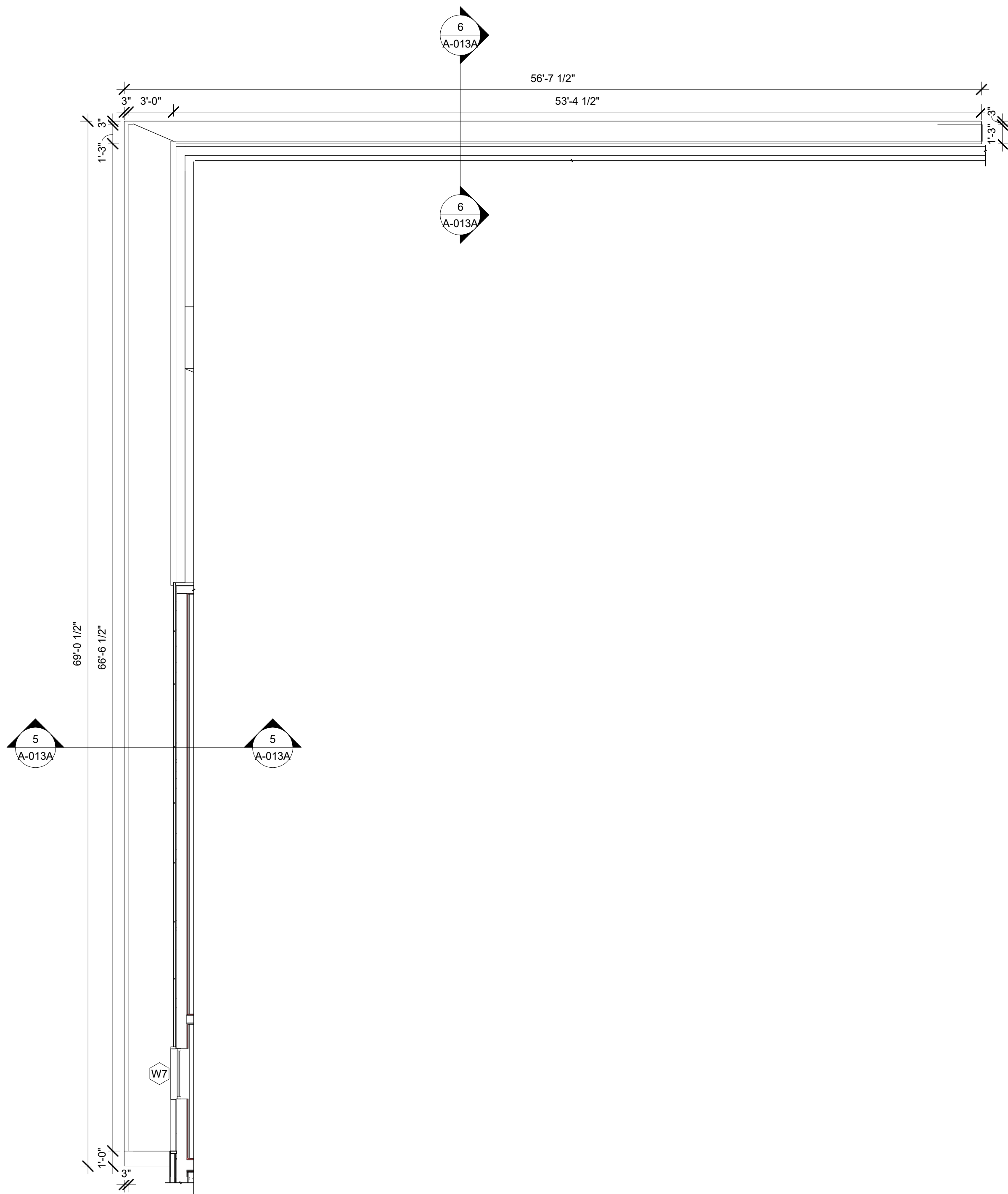
SHEET NAME

**EXTERIOR COURTYARD LOGGIA/ TRELLIS**

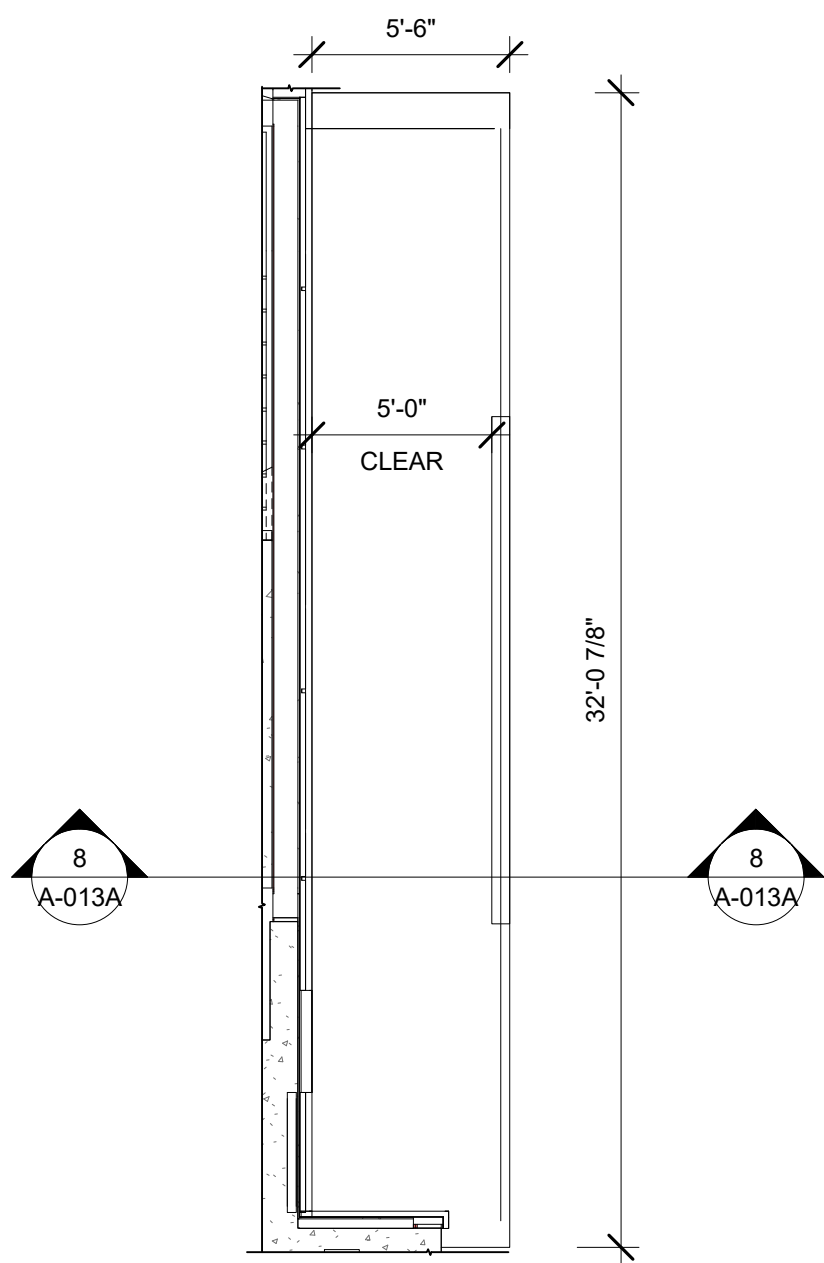
DRAWINGS NO.

**A-012C**

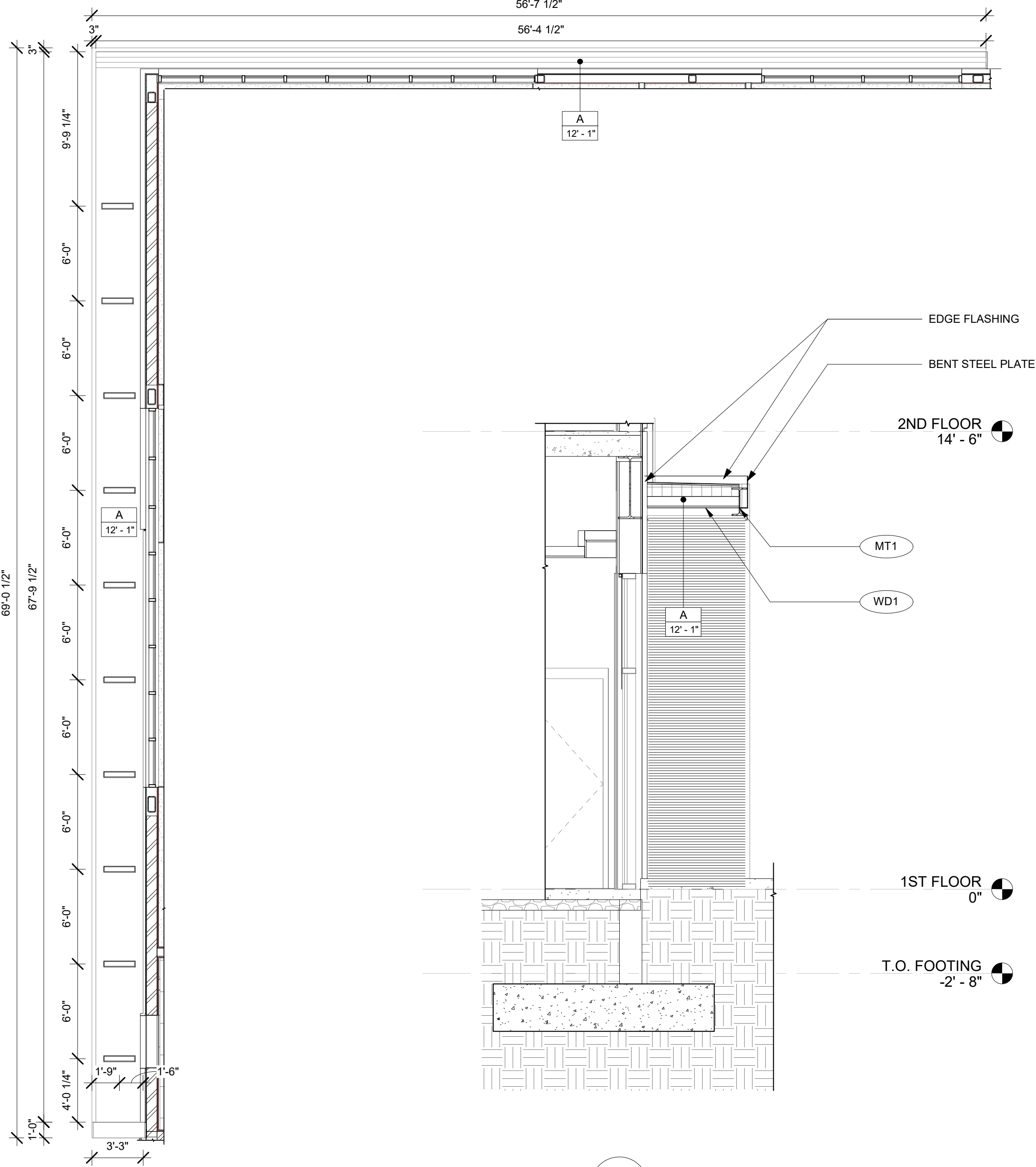




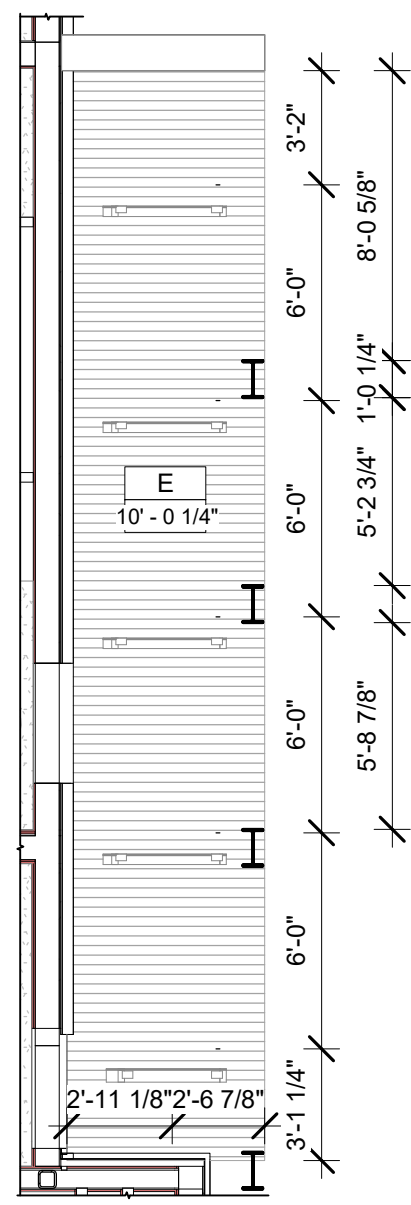
1 CANOPY CONSTRUCTION PLAN  
A-102/A-013A  
3/16" = 1'-0"



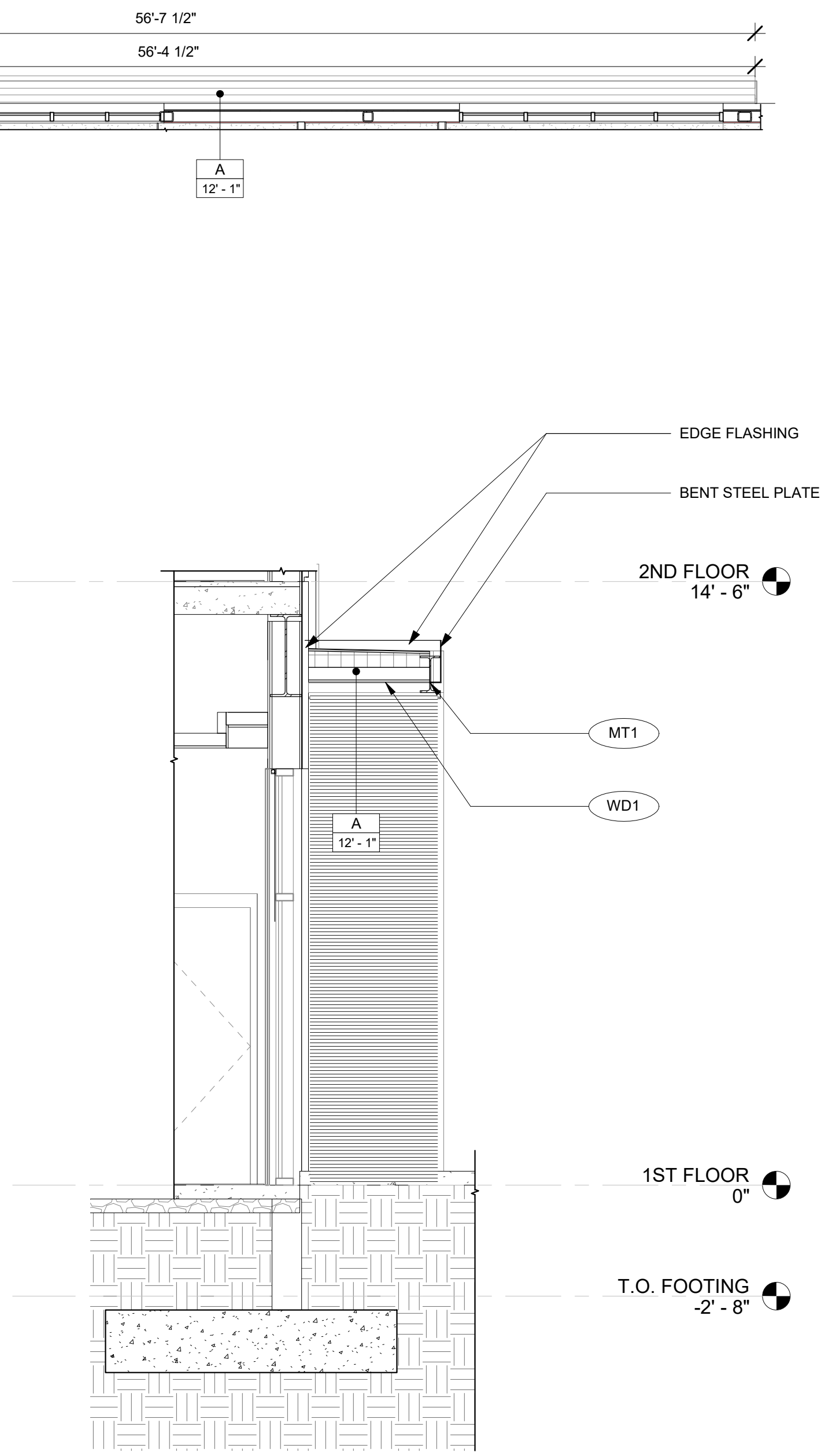
2 CANOPY CONSTRUCTION PLAN  
A-102/A-013A  
3/16" = 1'-0"



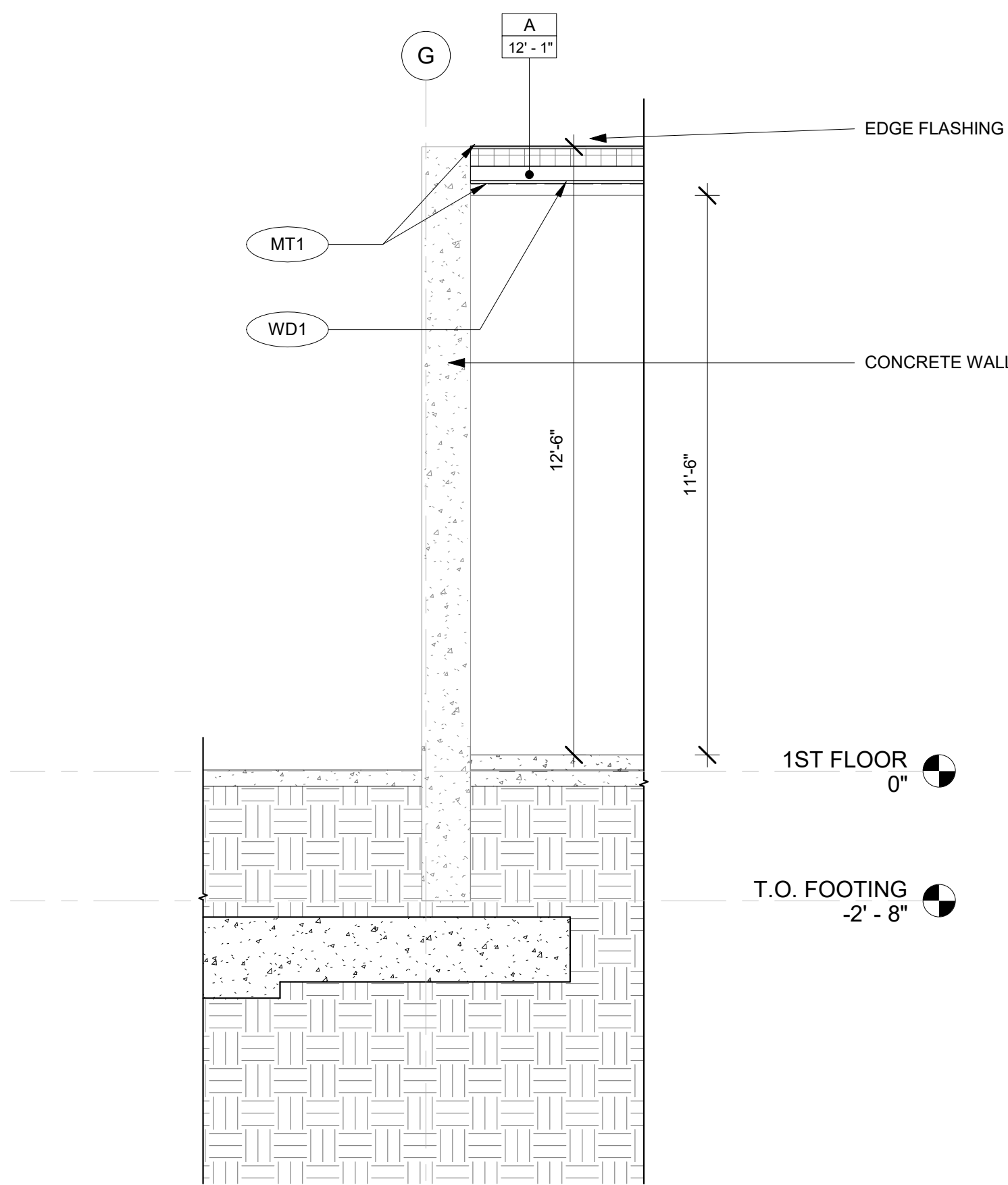
3 CANOPY RCP  
A-110/A-013A  
3/16" = 1'-0"



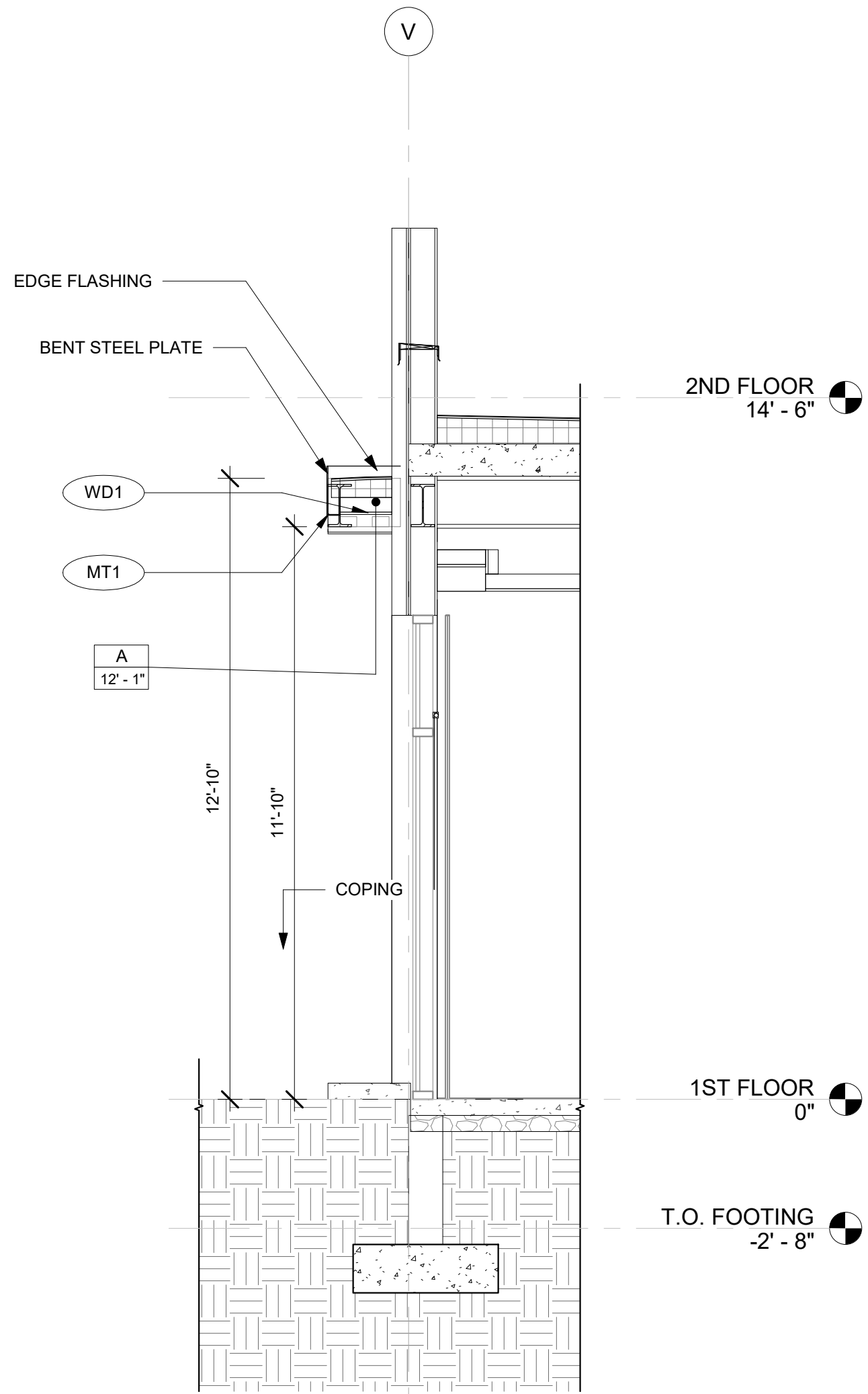
4 CANOPY RCP  
A-110/A-013A  
3/16" = 1'-0"



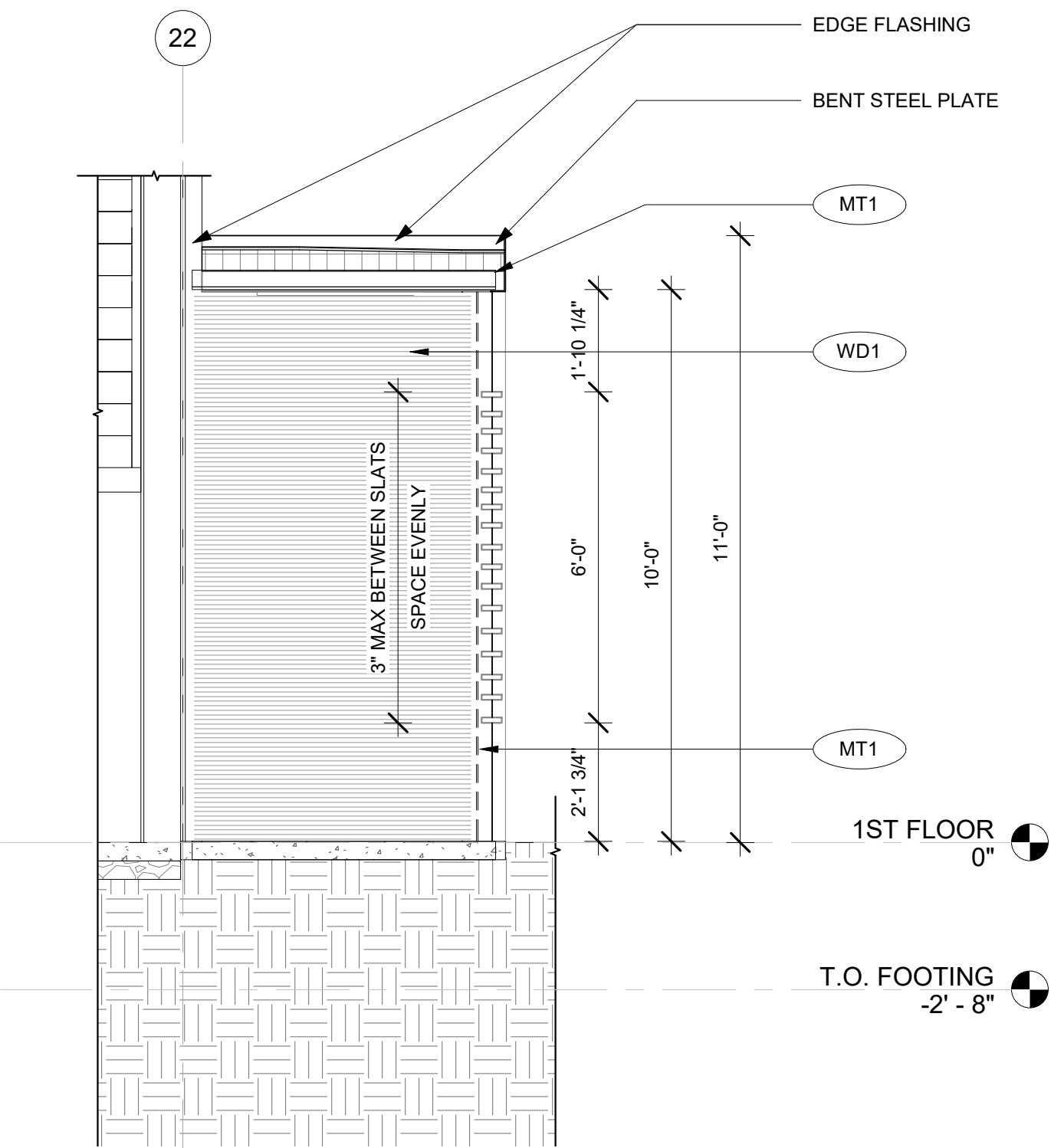
5 CANOPY DETAIL-1  
A-013A/A-013A  
3/8" = 1'-0"



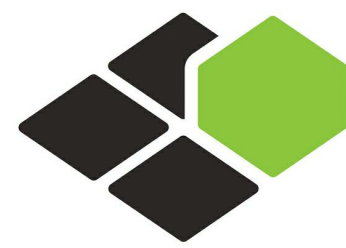
7 CANOPY DETAIL-3  
A-013A  
3/8" = 1'-0"



6 CANOPY DETAIL-2  
A-013A/A-013A  
3/8" = 1'-0"



8 CANOPY DETAIL-4  
A-013A/A-013A  
3/8" = 1'-0"



BASE4

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+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
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A0	2019.12.13	ISSUED FOR PERMIT

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PROJECT NO.  
B4-157-1801

SHEET NAME

**BUILDING CANOPIES**

DRAWINGS NO.

**A-013A**





RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal



Owner
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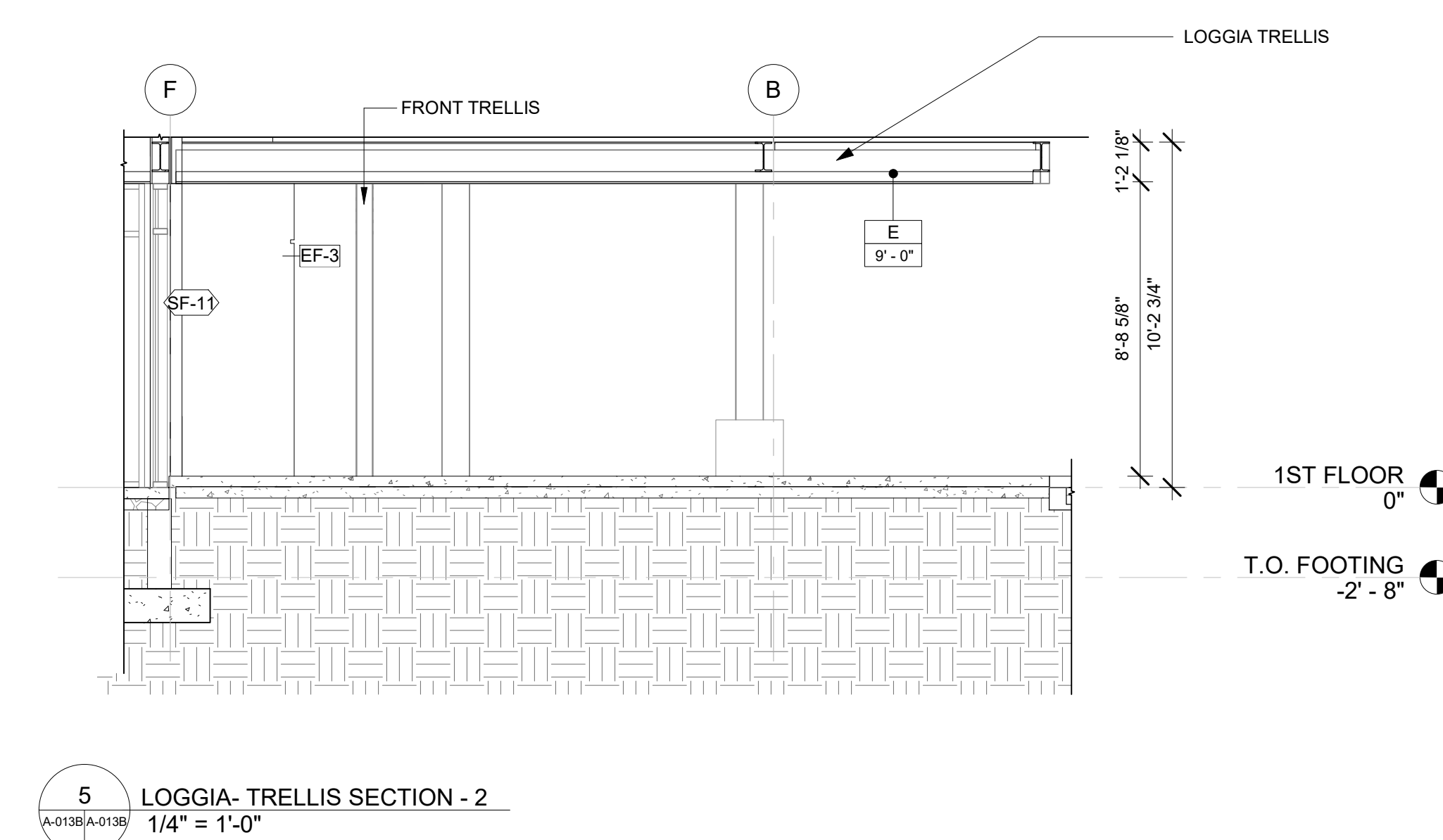
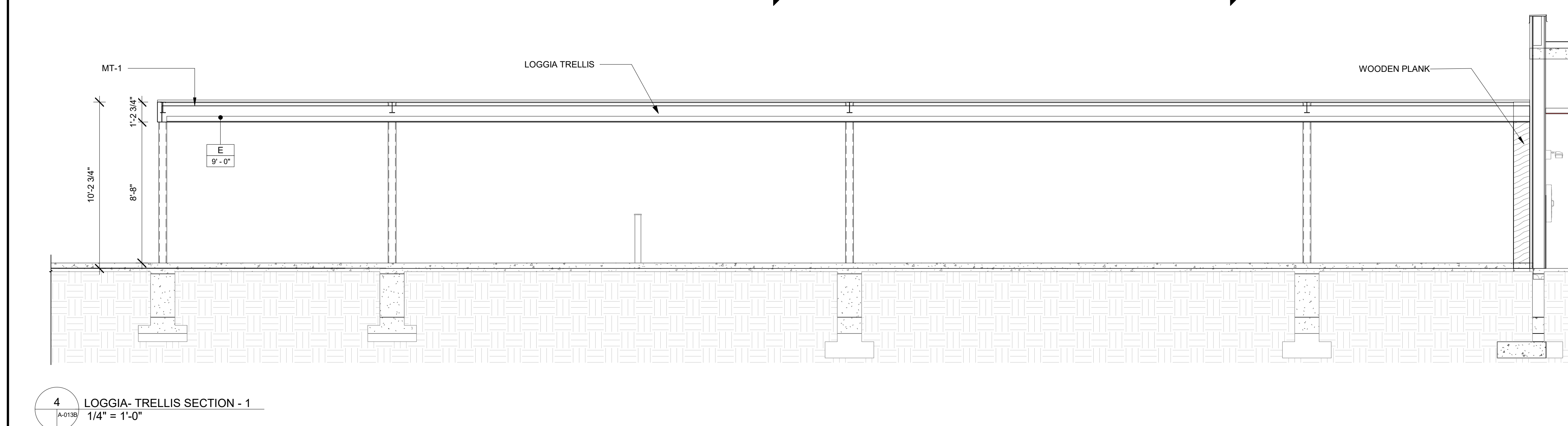
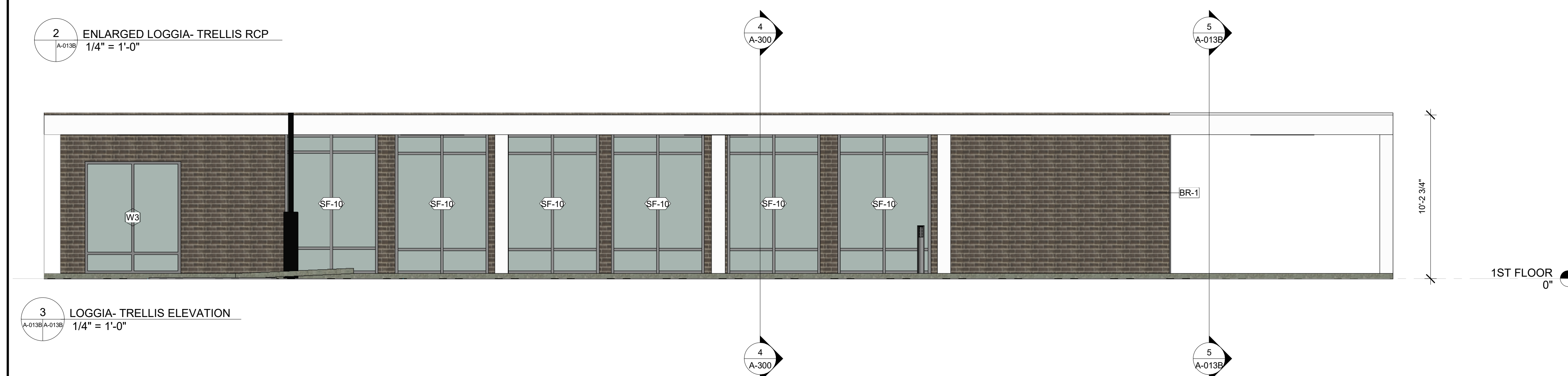
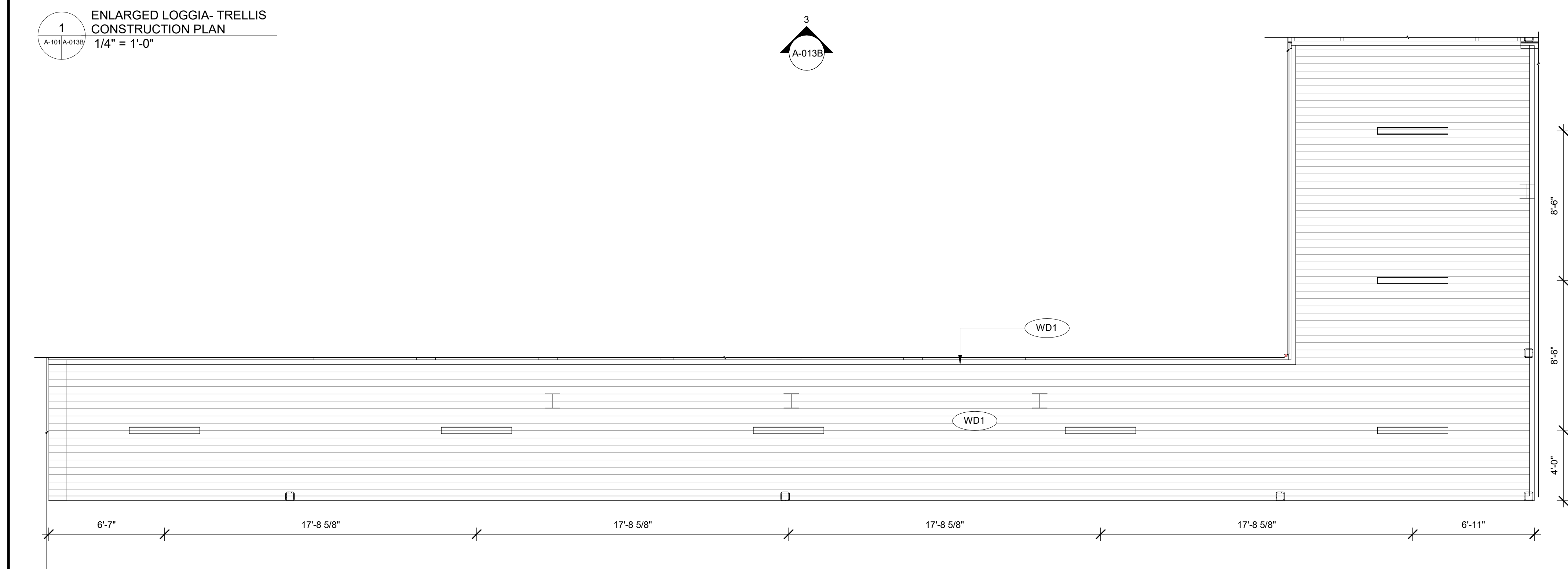
**TOP  
Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

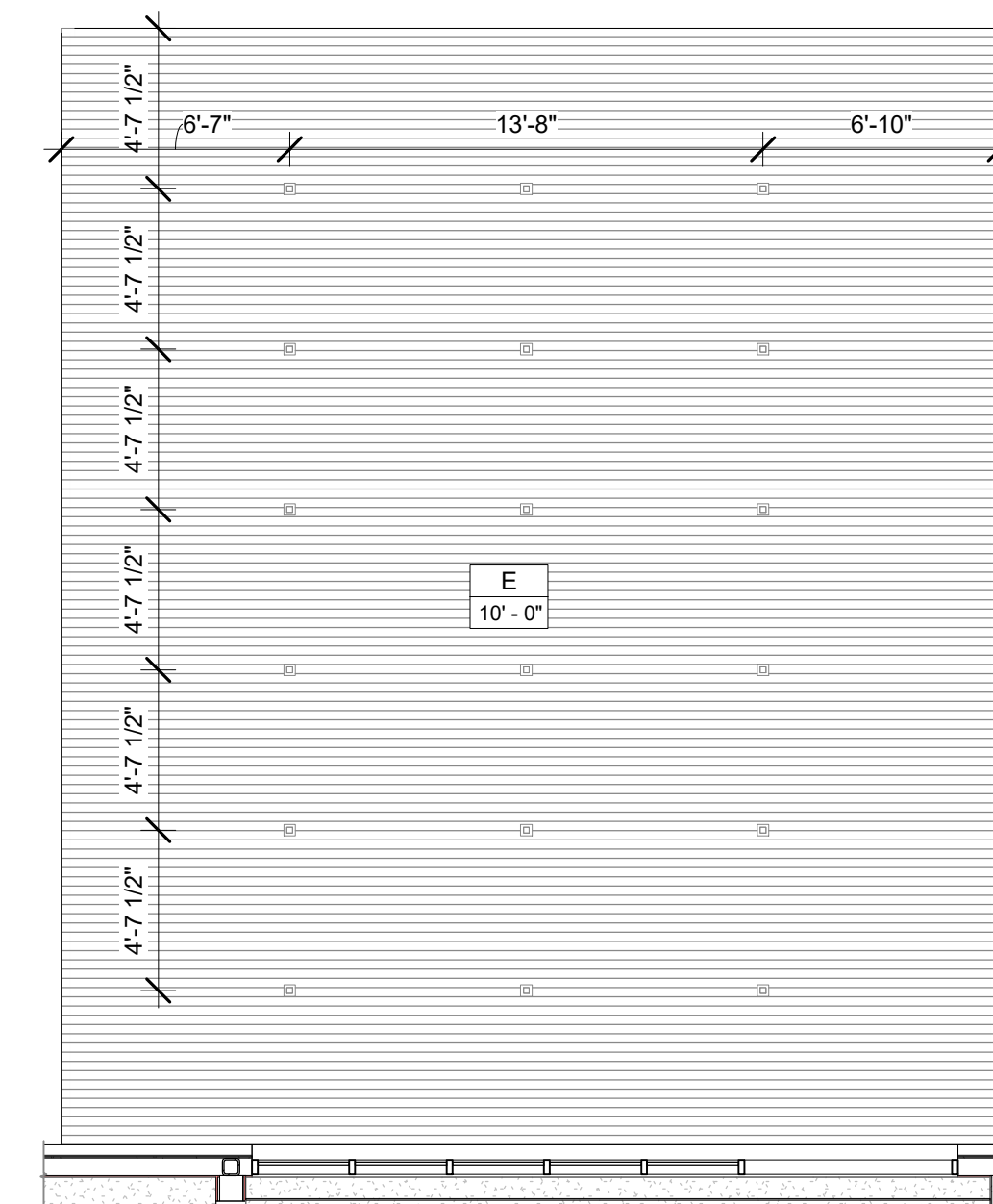
TINLEY PARK, IL

PROTOTYPE VERSION; GEN 1  
REVISION DATE: 2018.08.24

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3 ENLARGED BANQUET CANOPY RCP PLAN  
A-110/A-013C 3/16" = 1'-0"



6 ENLARGED BANQUET ELEVATION  
A-013C/A-013C 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES	
<b>BASE 4 NOTES</b>	
1.	ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2.	INTERIOR DOORS TO BE MIN. OF 4' FROM ADJACENT WALLS AS SHOWN ON PLANS.
3.	CHOOSE ONE SMOKEY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4.	GYPSUM WALLBOARD CONTROL JOINTS TO BE AT MAX. 8' AND 12" DOOR JAMBES FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
5.	REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE ROUTE TO COMMUNICATING ROOM TALS
6.	REFER TO SHEETS STARTING ON A-420 FOR ENLARGED CLOSET INFORMATION.
7.	SEE G-003 FOR GYM/ GUESTROOM MIX/MATRIX AND GENERAL LEGENDS
<b>PROJECT NOTES</b>	
1.	REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2.	REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3.	REFER TO FINISH SCHEDULE FOR TYP. ROOM
4.	REFER TOHEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

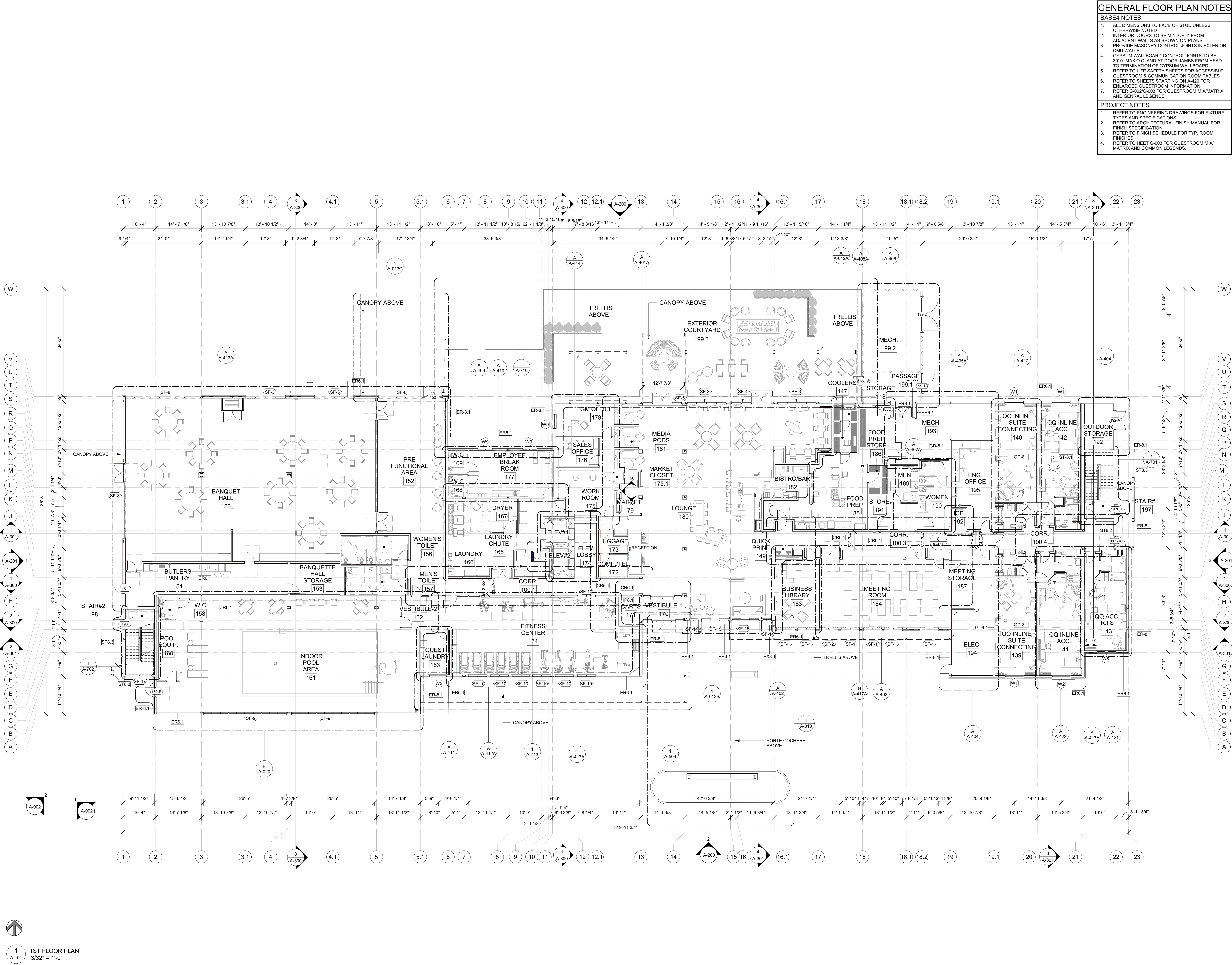
## GENERAL NOTE FOR LEGENDS

### BASE4 NOTES

- 1. REFER TO SHEET G-002 AND A-400A AND A-400B FOR ALL PROJECT NOTES, LEGENDS AND SYMBOLS.
- 2. REFER "Courtyard Gen 6 Cynergy Interior Finish Index-ID" FOR FINISHES.
- 3. REFER "22-224000b-C-Plumbing Fixture Matrix\_Gen 6\_Cynergy" FOR RESTROOM ACCESSORIES.







- GENERAL FLOOR PLAN NOTES
- BASE4 NOTES

1.

ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED

2.

INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.

3.

PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.

4.

GYPSON WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSON WALLBOARD.

5.

REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES

6.

REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION

7.

REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS
- PROJECT NOTES

1.

REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS

2.

REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION

3.

REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES

4.

REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

BASE4  
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COURTYARD

BY MARRIOTT

TINLEY PARK, IL

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RB/DDP

PROJECT NO.

B4-157-1801

SHEET NAME

1ST FLOOR PLAN

DRAWINGS NO.

A-101





RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Sea



Owner:

**TOP**  
**Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

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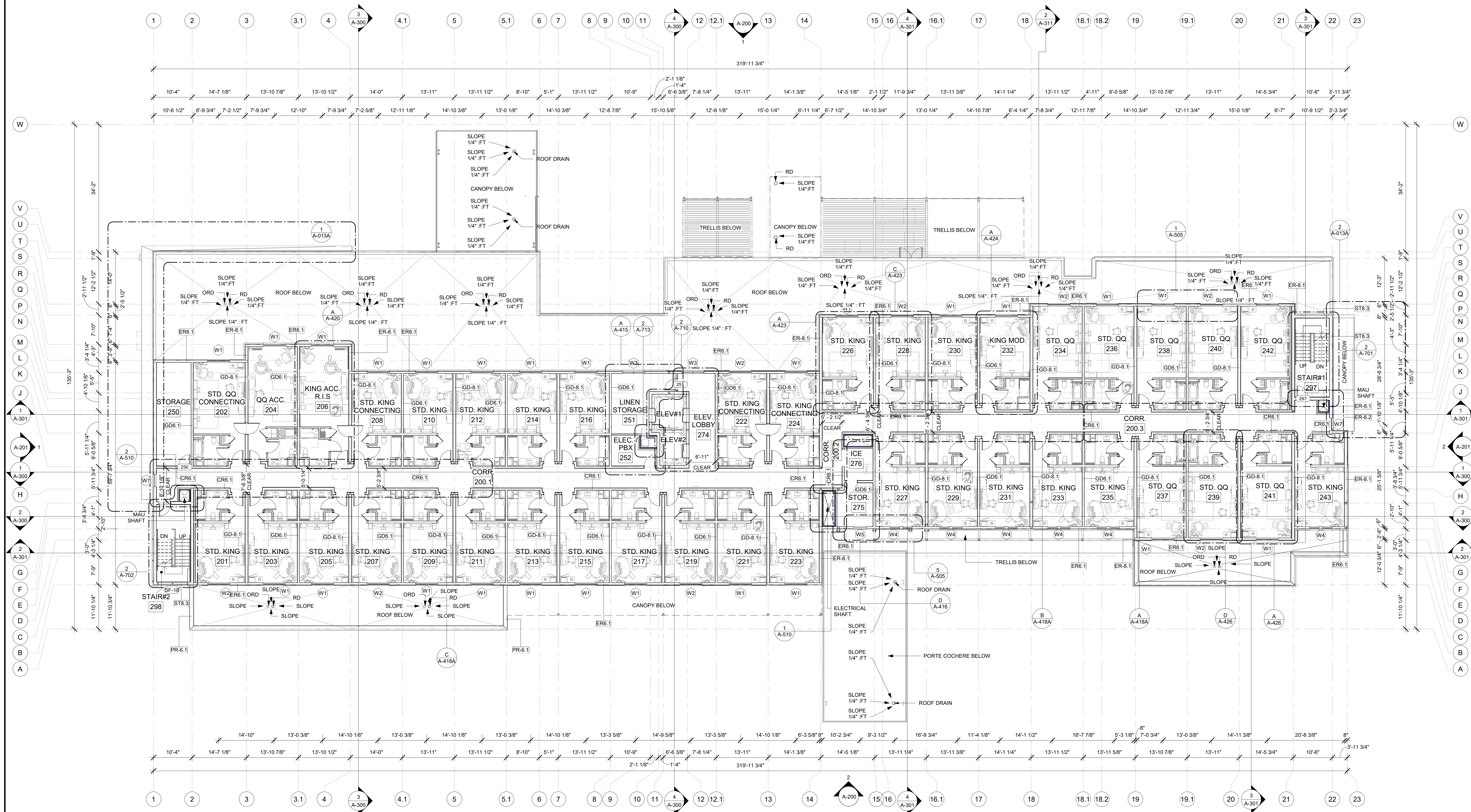
PROJECT NO.	B4-157-1801
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	SHEET NAME
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2ND FLOOR PLAN

DRAWINGS NO.

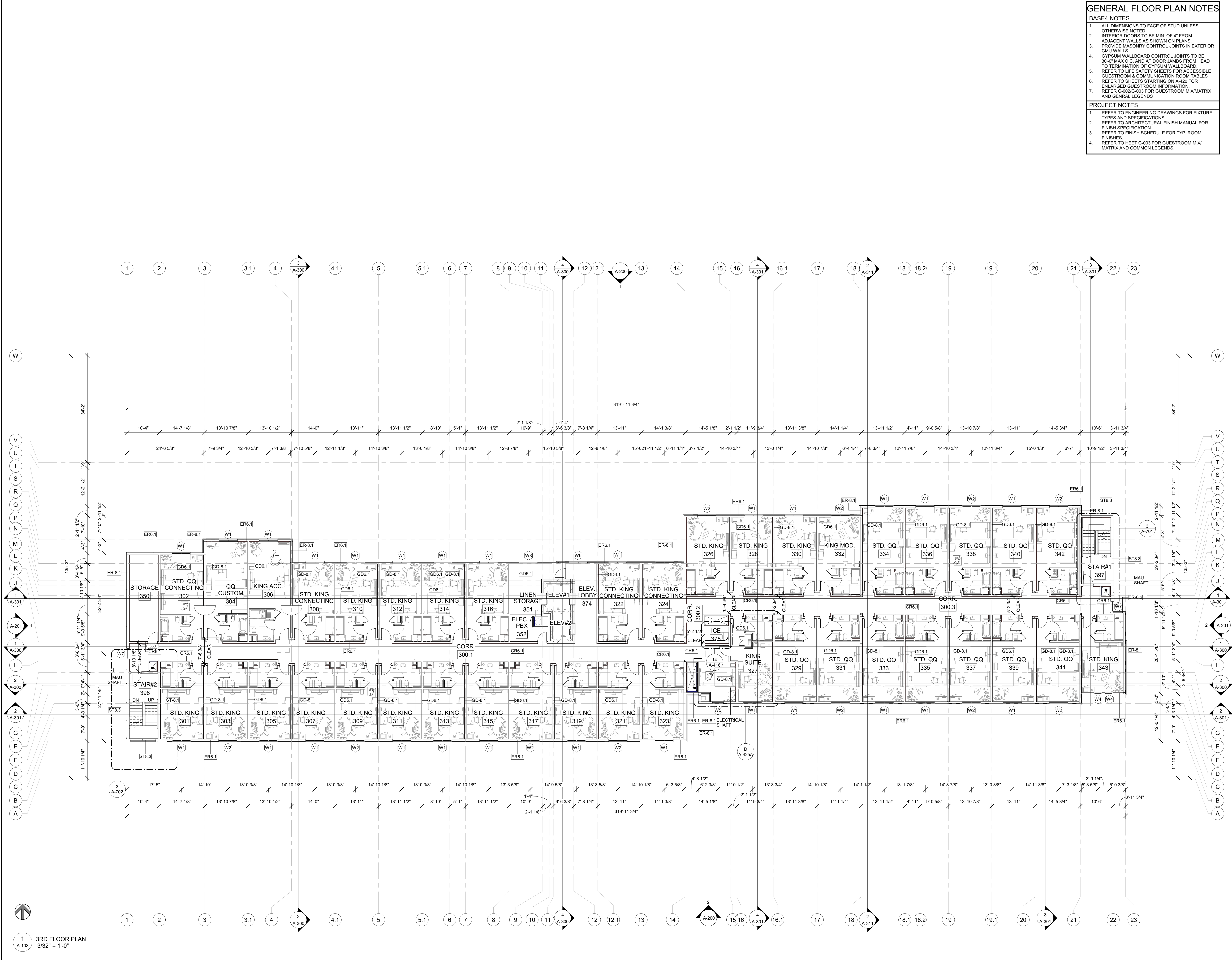
**A-102**



1  
A-102

2ND FLOOR PLAN  
3/32" = 1'-0"





- GENERAL FLOOR PLAN NOTES
- BASE4 NOTES
1.

ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2.

INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3.

PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4.

GYPSON WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSON WALLBOARD.
5.

REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
6.

REFER TO SHEETS STARTING ON A-420 FOR ENLARGED GUESTROOM INFORMATION.
7.

REFER G-002/G-003 FOR GUESTROOM MIX/MATRIX AND GENRAL LEGENDS
- PROJECT NOTES
1.

REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS.
2.

REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATION.
3.

REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.
4.

REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

BASE4  
2901 CLINT MOORE ROAD, #114  
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+1-888-901-8008BASE4 www.base-4.com

Owner:

TOP  
Hospitality  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD

BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

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PROJECT NO.

B4-157-1801

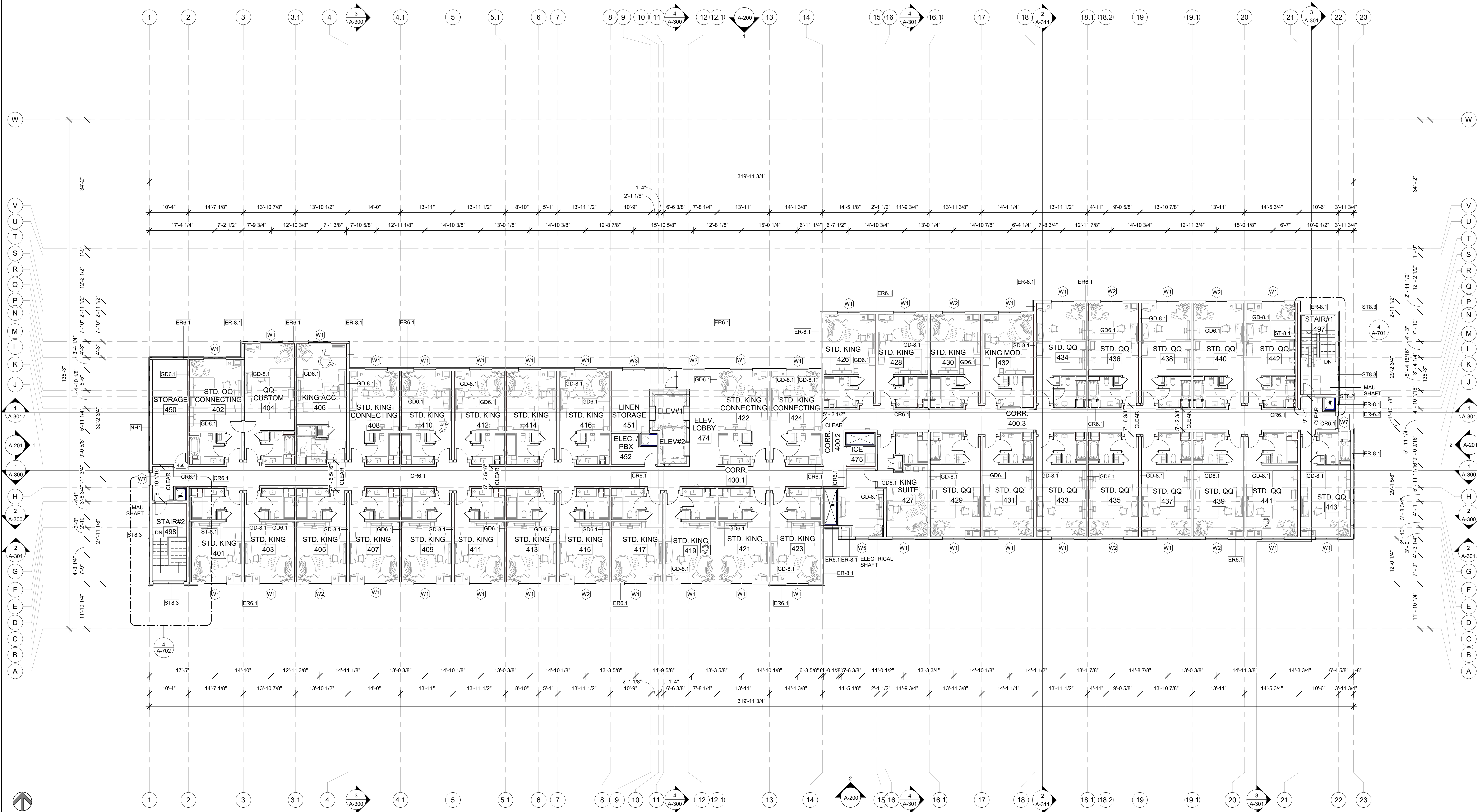
SHEET NAME

3RD FLOOR PLAN

DRAWINGS NO.

A-103





1  
A-104  
4TH FLOOR PLAN  
3/32" = 1'-0"

- GENERAL FLOOR PLAN NOTES
- BASE4 NOTES
1.

ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2.

INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
3.

PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
4.

GYPSON WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSON WALLBOARD.
5.

REFER TO LIFE SAFETY SHEETS FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES
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- PROJECT NOTES
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2.

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REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES
4.

REFER TO HEET G-003 FOR GUESTROOM MIX/ MATRIX AND COMMON LEGENDS.

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5453 NW 106TH DR  
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312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018 08 24

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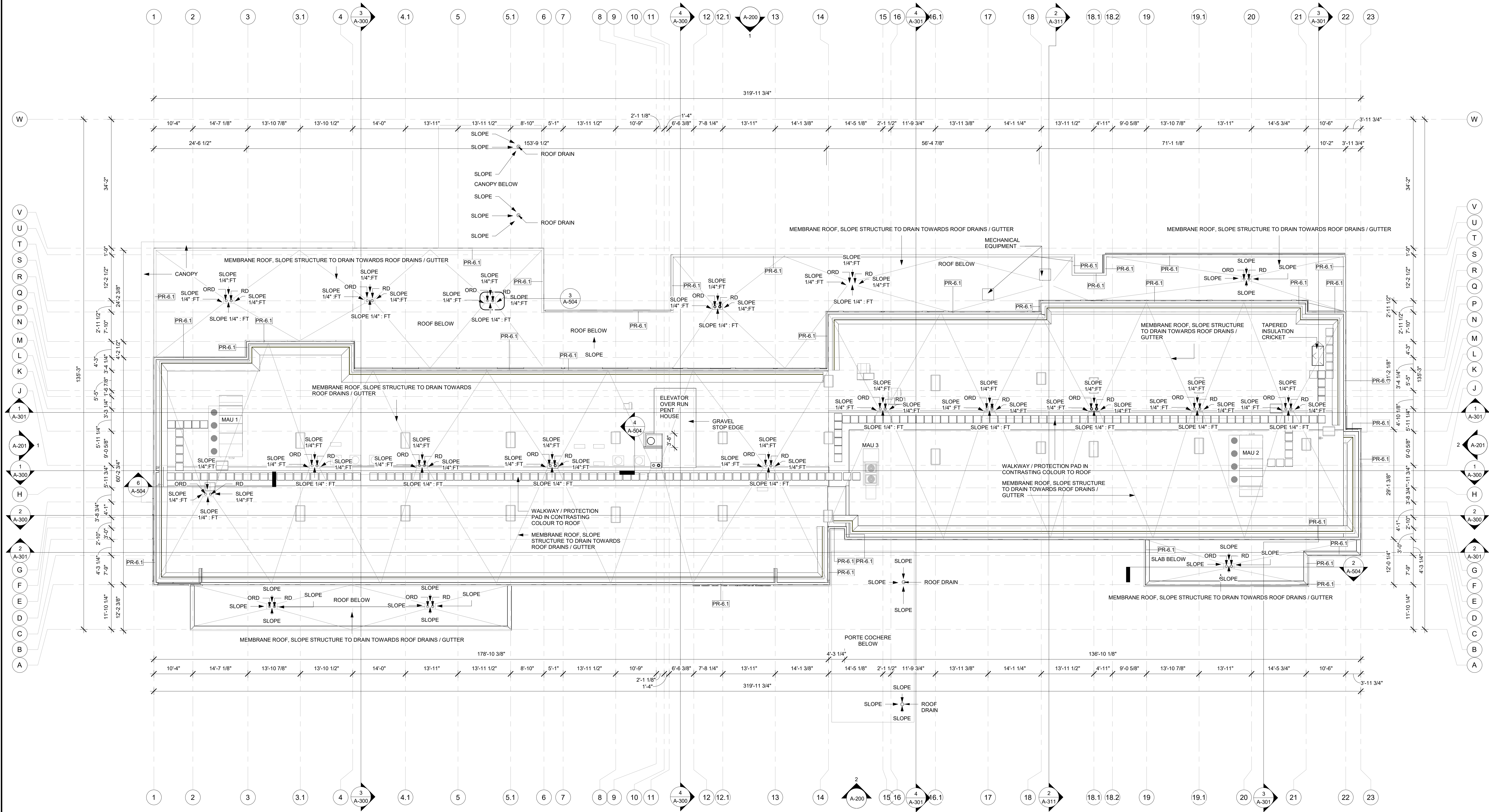
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4TH FLOOR PLAN

DRAWINGS NO.

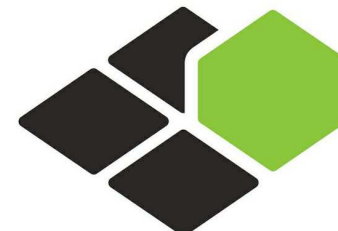
A-104





GENERAL ROOF NOTES

1. ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE
2. CONTRACTOR TO COORDINATE WITH CHUTE VENDOR, STRUCTURAL ENGINEER, PLANK MFR. AND TRUSS MFR.
3. THE DIMENSION AND LOCATION OF CHUTE DUCT ROOF PENETRATION AND TRUSS SPACING WHERE CHUTE DUCT PENETRATES THE TOWER ROOF.
4. SEE DETAILS FOR ROOF PENETRATION DETAILS.
5. SEE STRUCTURAL FOR ALL TOP-OF-DECK ELEVATIONS, JOIST SIZES ETC. COORDINATE ALL ROOF TOP UBIT LOCATIONS WITH MECHANICAL SEE MECHANICAL/PLUMBING FOR ADDITIONAL INFORMATION
6. PAINT ALL ROOF PENETRATIONS, ROOF TOP EQUIPMENT LADDERS ETC UNLESS EQUIPMENT IS PREFINISHED (COLOR TO BE SELECTED BY THE GENERAL CONTRACTOR)
7. PROVIDE TAPERED INSULATION CRICKETS AT ALL ROOF SLOPE OBSTRUCTIONS
8. PAINT ALL EXPOSED SHROUDS, INSTALL PADS AFTER HVAC EQUIPMENT HAS BEEN INSTALLED
9. ALL WOOD BLOCKING WITH MECHANICAL ENGINEER
10. COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL
11. ANY ROOF FLASHING, METAL FACIA & FORMED CAP FLASHING TO BE FIRESTONE PRODUCT'S ONLY.
12. ALL VENT PIPES, ETC. ENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.



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CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP Hospitality**  
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Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018.08.24

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PROJECT NO.

B4-157-1801

SHEET NAME

ROOF LEVEL PLAN

DRAWINGS NO.

**A-105**



1 ROOF LEVEL PLAN  
A-105 3/32" = 1'-0"



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" paint to match Pantone® 426 C gray, satin finish

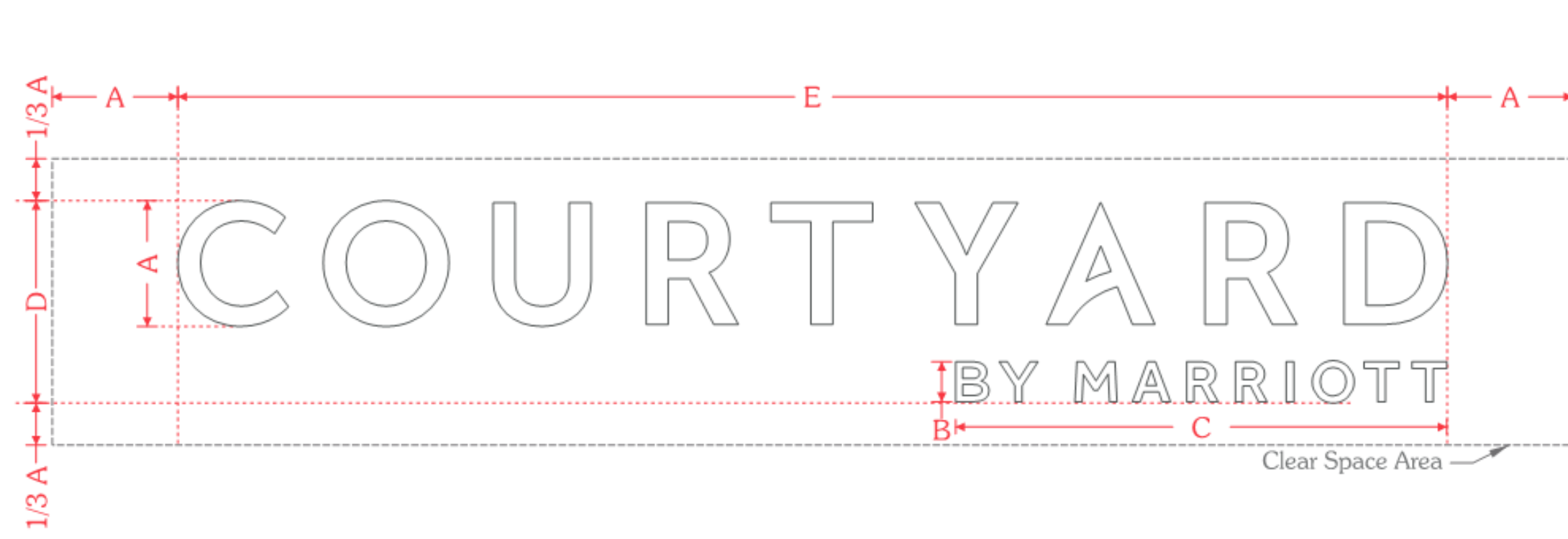
Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 426 C gray, satin finish

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic



Model #	A	B	C	D	E
C-24-CL	24"	8 11/16"	8'-10 9/16"	3'-3 11/16"	20'-2 9/16"
C-30-CL	30"	9 9/16"	9'-9 5/16"	4'-0 5/16"	25'-3 1/4"
C-36-CL	36"	11 7/16"	11'-8 3/4"	4'-9 15/16"	30'-3 7/8"
C-48-CL	48"	15 1/4"	15'-7 11/16"	6'-5 1/4"	40'-5 3/16"

\* Letter height determined by the height of the letter "C".

LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHIHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR ; EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

- GENERAL SIGNAGE NOTES
1.

ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL SCREENED BASIS.
2.

MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
3.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
4.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
5.

PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MAY APPLY.
6.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

- GENERAL ELEVATION NOTES
1.

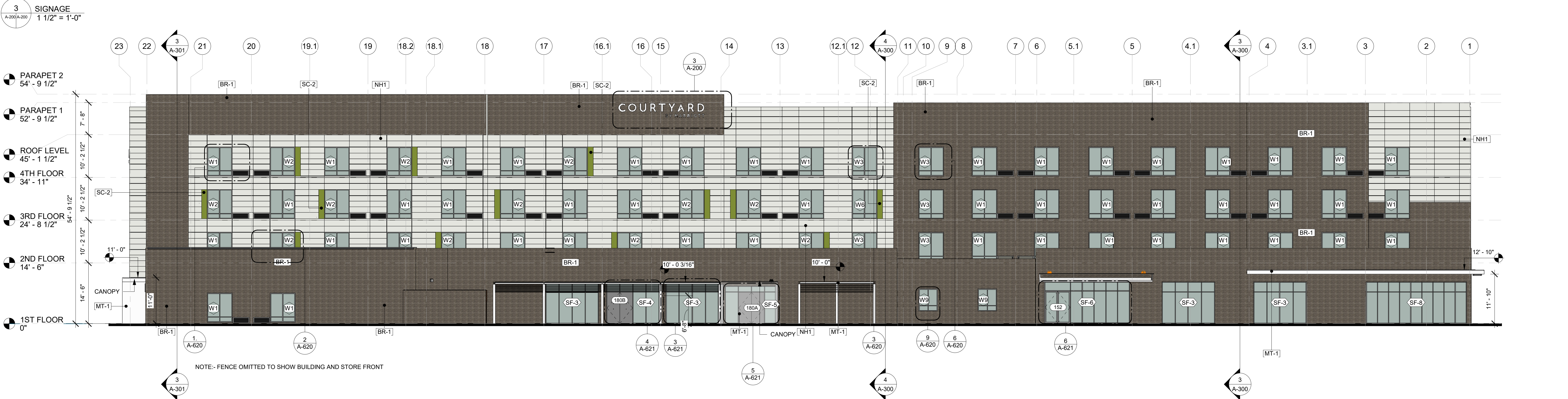
REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
2.

GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
3.

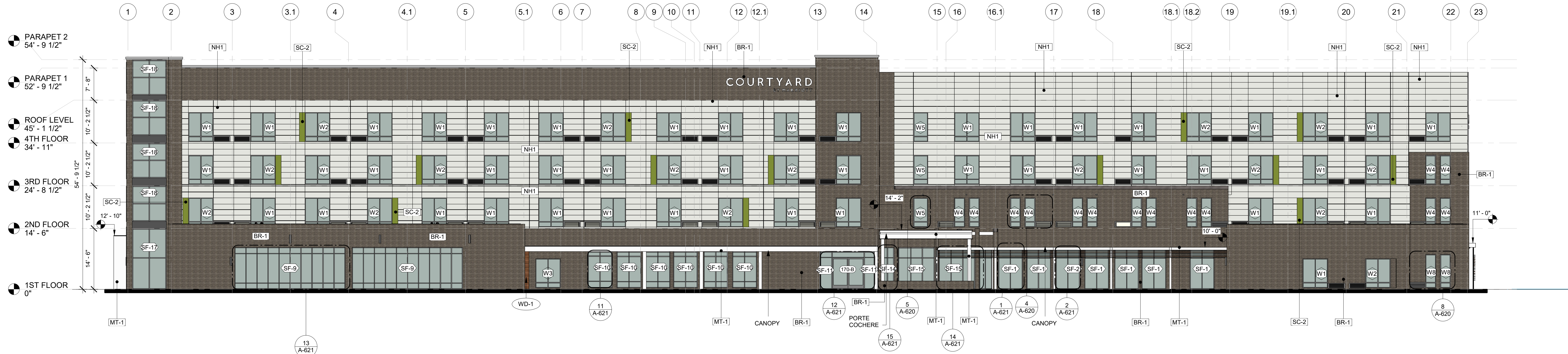
ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPERS RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
4.

ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
5.

ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.



1 NORTH SIDE ELEVATION  
3/32" = 1'-0"



2 SOUTH SIDE ELEVATION  
3/32" = 1'-0"

BASE4  
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Owner:

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143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6  
REVISION DATE: 2019.08.24

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PROJECT NO.

B4-157-1801

SHEET NAME

EXTERIOR ELEVATIONS-1

DRAWINGS NO.

A-200



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" paint to match Pantone® 426 C gray, satin finish

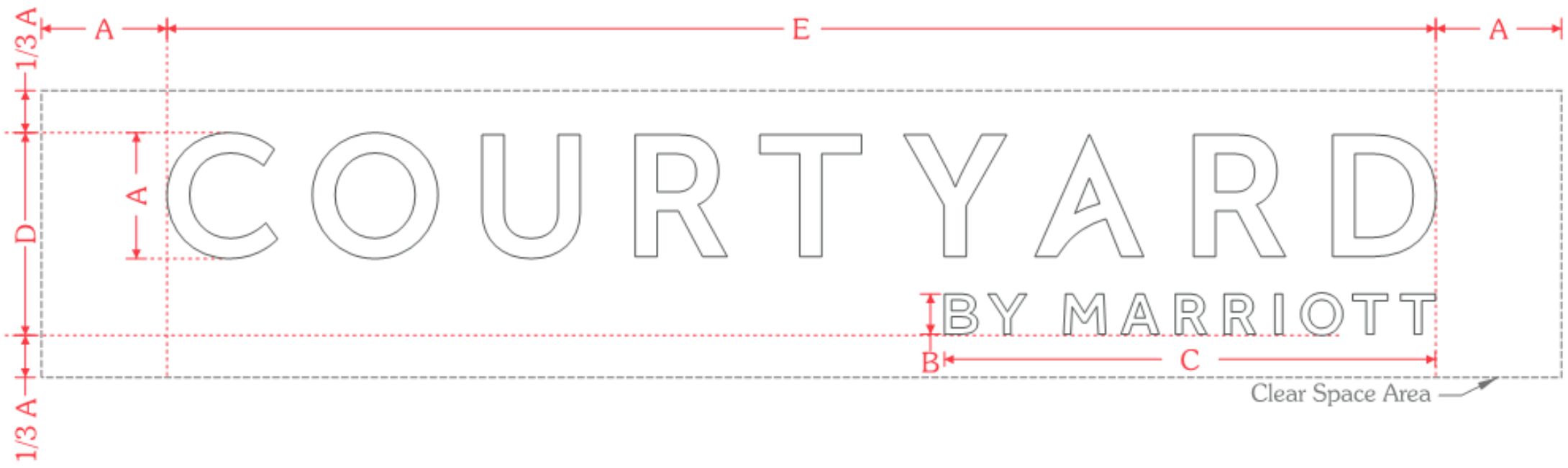
Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 426 C gray, satin finish

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic



Model #	A	B	C	D	E
C-24-CL	24"	8 11/16"	8'-10 9/16"	3'-3 11/16"	20'-2 9/16"
C-30-CL	30"	9 9/16"	9'-9 5/16"	4'-0 5/16"	25'-3 1/4"
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C-48-CL	48"	15 1/4"	15'-7 11/16"	6'-5 1/4"	40'-5 3/16"

\* Letter height determined by the height of the letter "C".

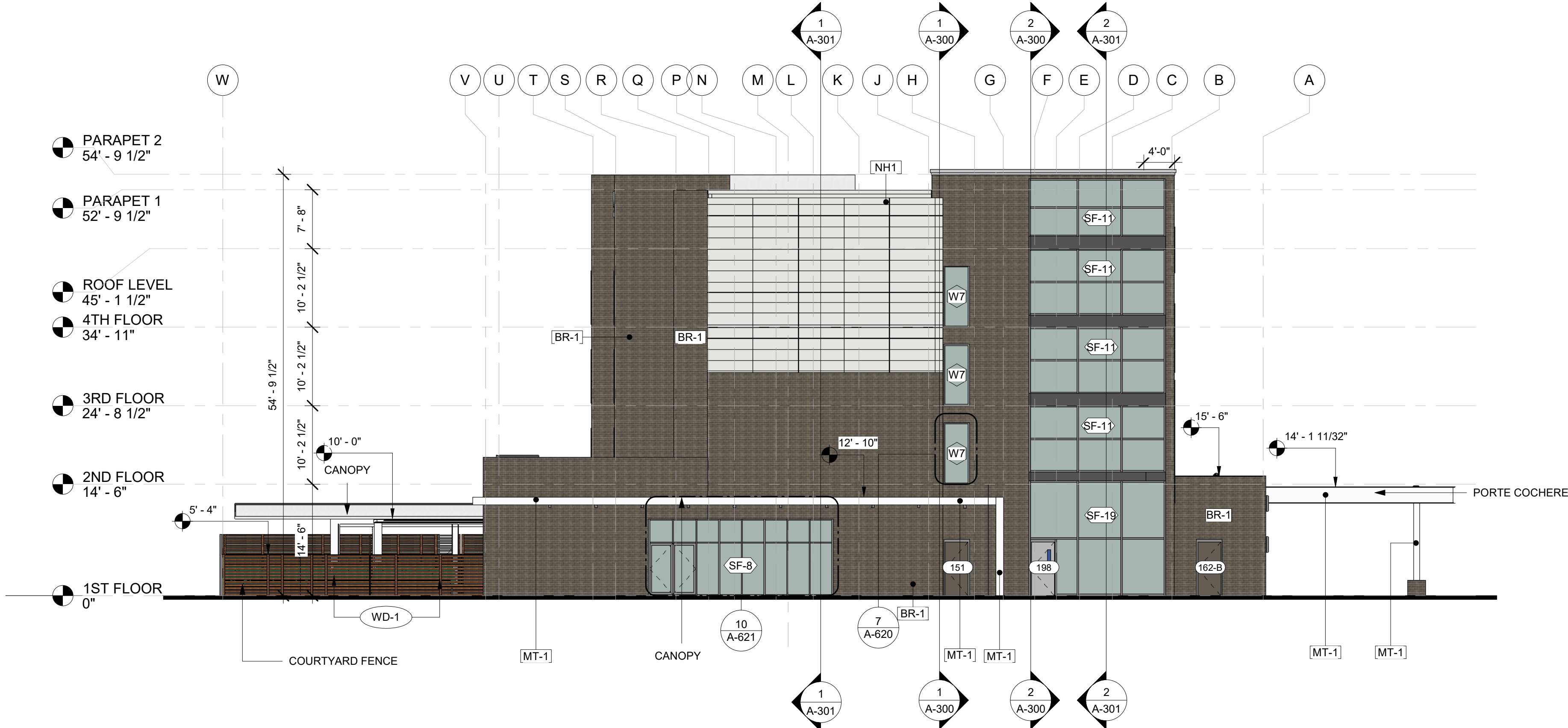
LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR ; EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

GENERAL ELEVATION NOTES

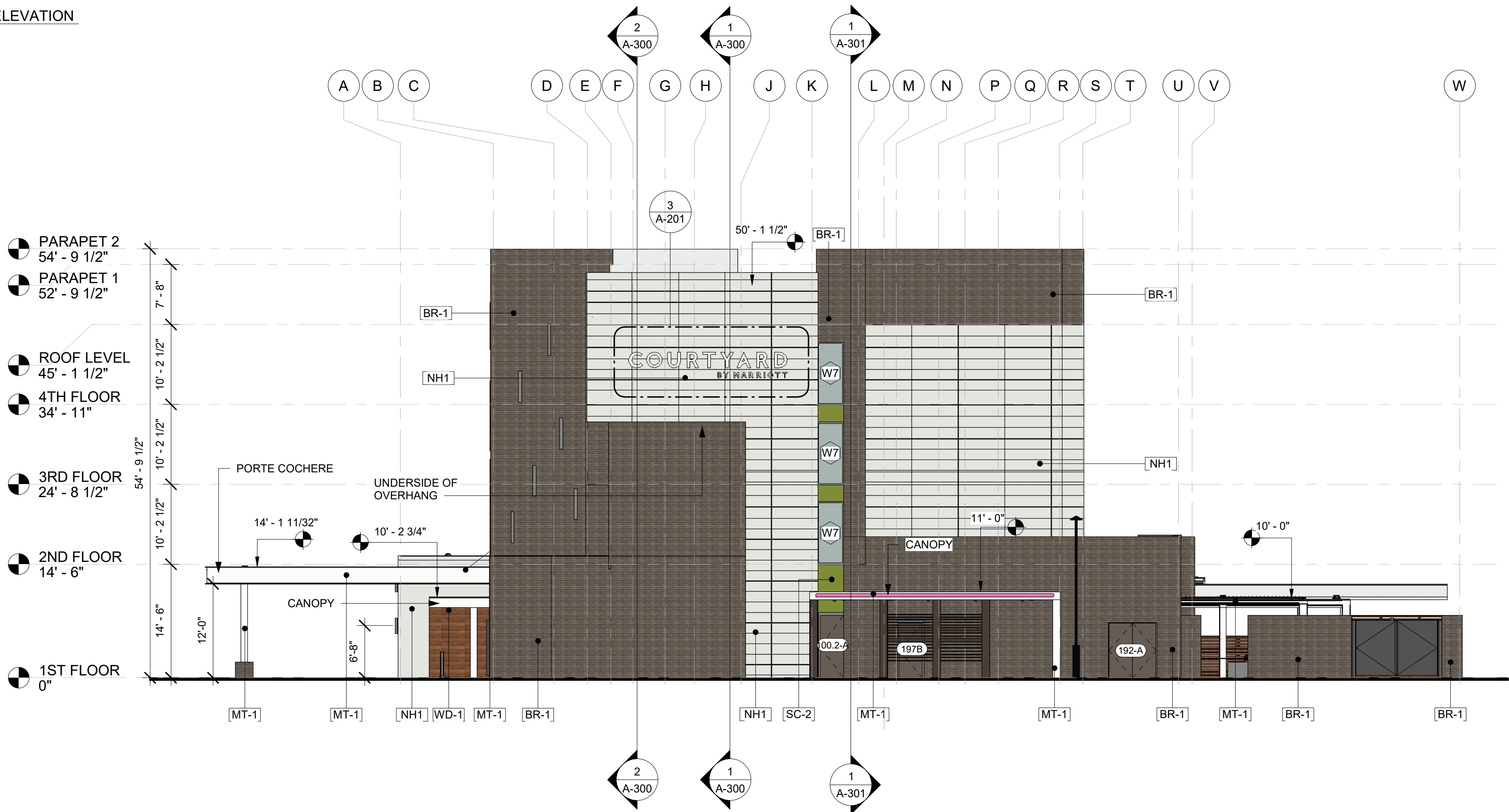
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3. ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
4. ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
5. ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

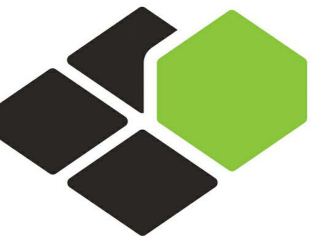
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1 WEST SIDE ELEVATION  
A-201 3/32" = 1'-0"



2 EAST SIDE ELEVATION  
A-201 3/32" = 1'-0"



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+1-888-901-8008BASE4 www.base-4.com

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5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

TOP  
Hospitality  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6:  
REVISION DATE: 2019.08.24

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PROJECT NO.

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SHEET NAME

EXTERIOR ELEVATIONS-2

DRAWINGS NO.

A-201





# Residence INN

BY MARRIOTT

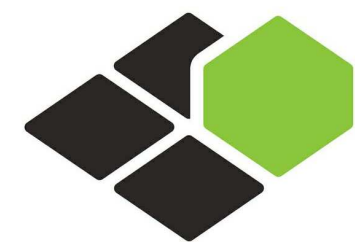
PROTOTYPE VERSION: DESIGN GUIDELINE DRAWINGS - GEN 9  
REVISION DATE: 29.04.2019

MARRIOTT PROJECT NO: 12605 RIBM Tinley Park

## TINLEY PARK, ILLINOIS

PROJECT NO: B4-157-1901

MARRIOTT /NEW HORIZON HOTELS (COURTYARD  
AND RESIDENCE INN) - 9551 & 9555 183RD  
STREET



BASE<sup>4</sup>

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5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP  
Hospitality

143 Wheeling Road  
Wheeling, Illinois 60090  
312 404 6735

Residence INN  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2010.04.29

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PROJECT NO.  
B4-157-1901

SHEET NAME

TITLE SHEET

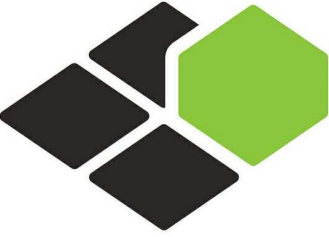
DRAWINGS NO.

**G-000**



SHEET INDEX GENERAL	
SHEET NUMBER	SHEET NAME
G-000	TITLE SHEET
G-001	SHEET INDEX

SHEET INDEX ARCH	
A-001	DUMPSTER/SITE DETAILS
A-100	1ST FLOOR PLAN
A-101	2ND FLOOR PLAN
A-102	3RD FLOOR PLAN
A-103	4TH FLOOR PLAN
A-104	ROOF LEVEL PLAN
A-600	EXTERIOR ELEVATION & BUILDING SECTION-1
A-601	EXTERIOR ELEVATION & BUILDING SECTION-2
A-602	EXTERIOR ELEVATION & BUILDING SECTION-3
A-603	EXTERIOR ELEVATION & BUILDING SECTION-4
A-604	EXTERIOR ELEVATION
A-605	MONUMENT SIGN (RESIDENCE INN)
A-606	EXTERIOR SIGNAGE (RESIDENCE INN)
A-607	EXTERIOR SIGNAGE (RESIDENCE INN)



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5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

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Hospitality  
  
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Wheeling, Illinois 60090  
312 404 6735

Residence INN  
BY MARRIOTT  
  
9555 83RD STREET,  
TINLEY PARK, Illinois  
  
PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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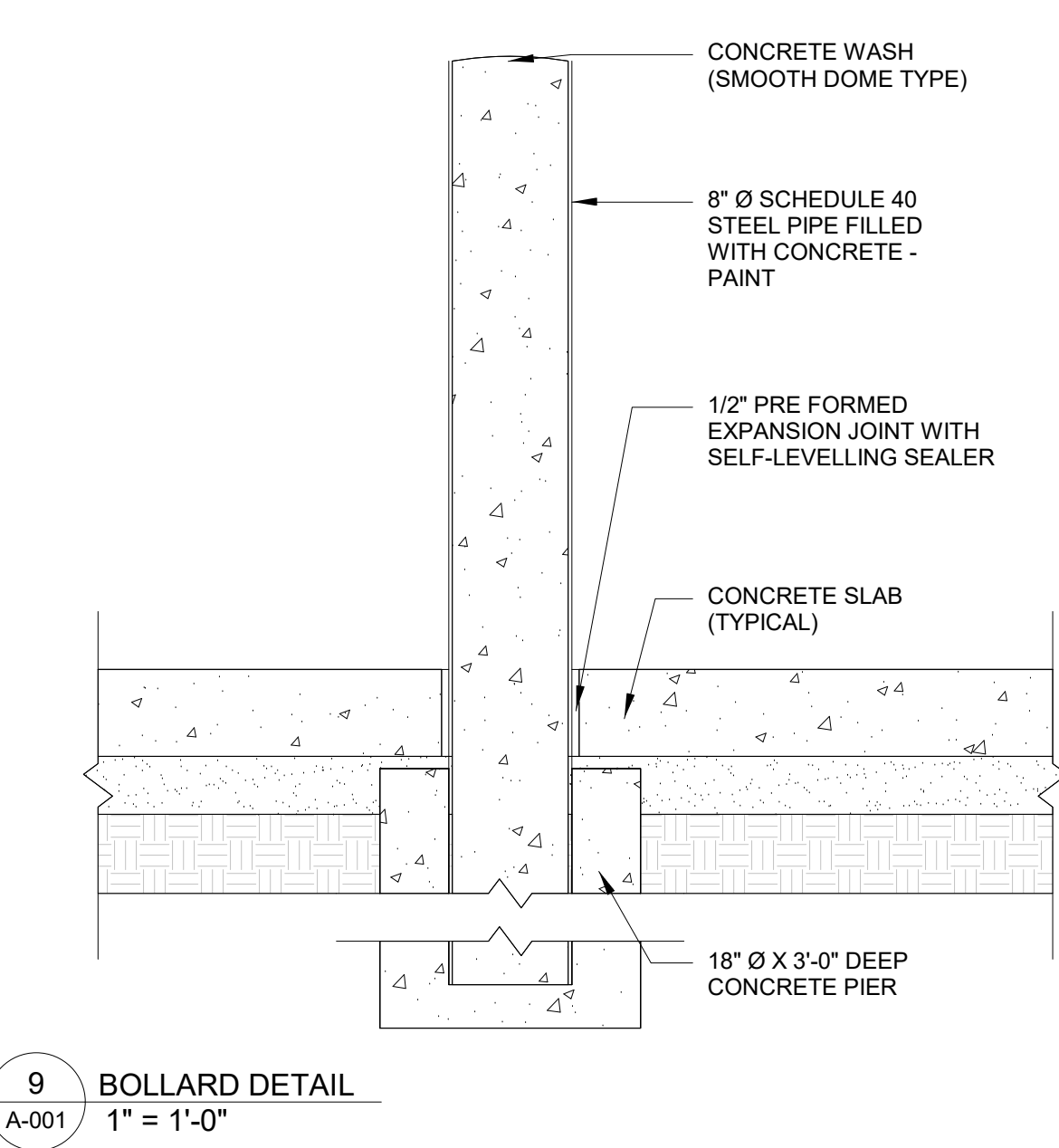
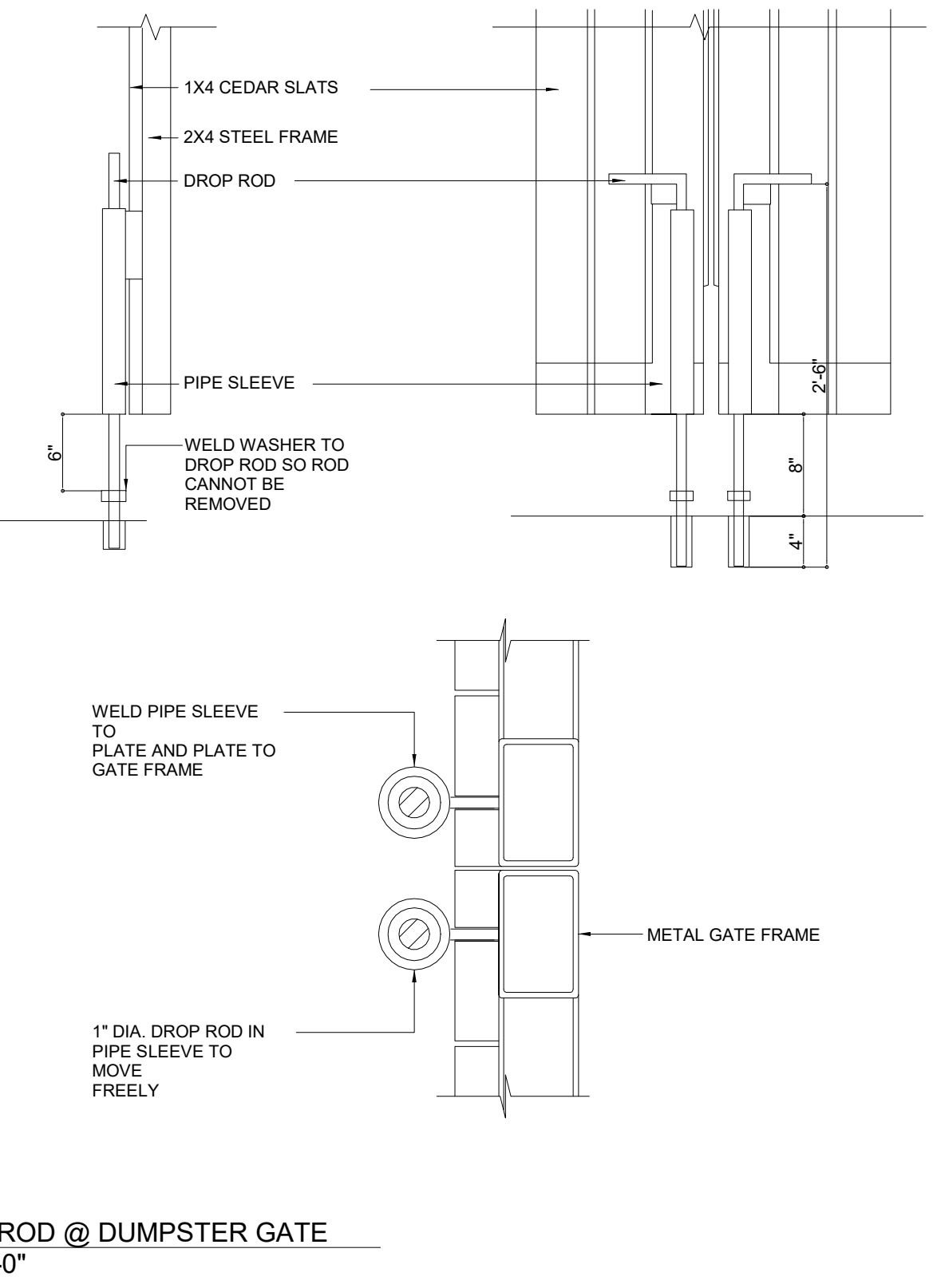
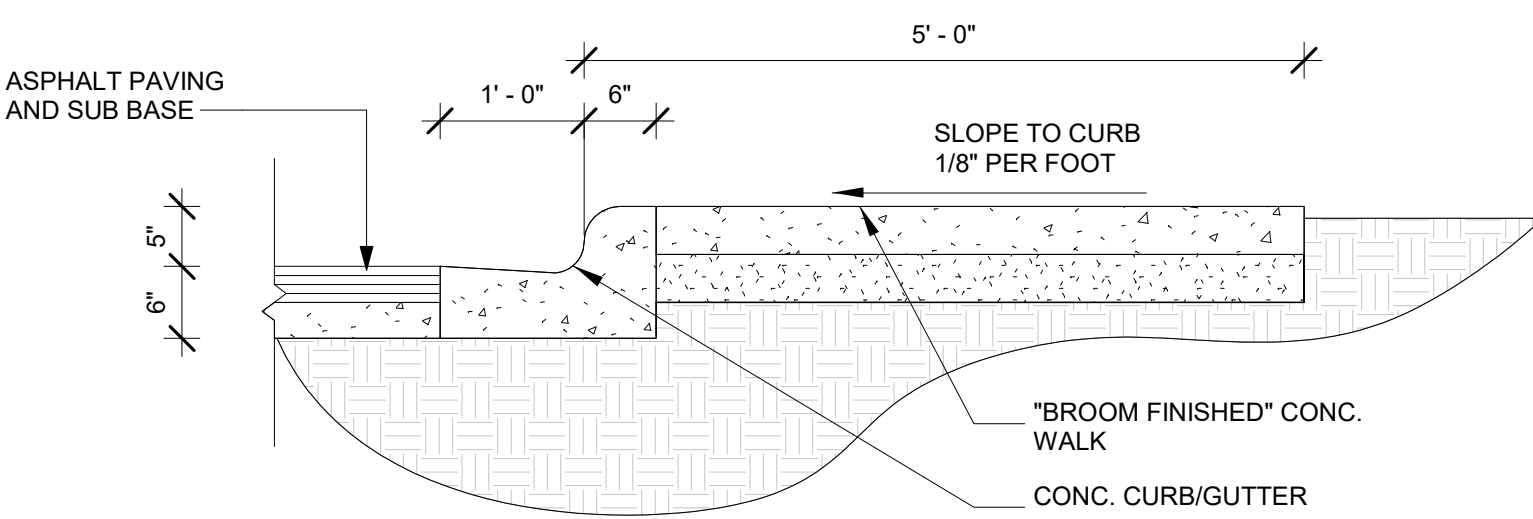
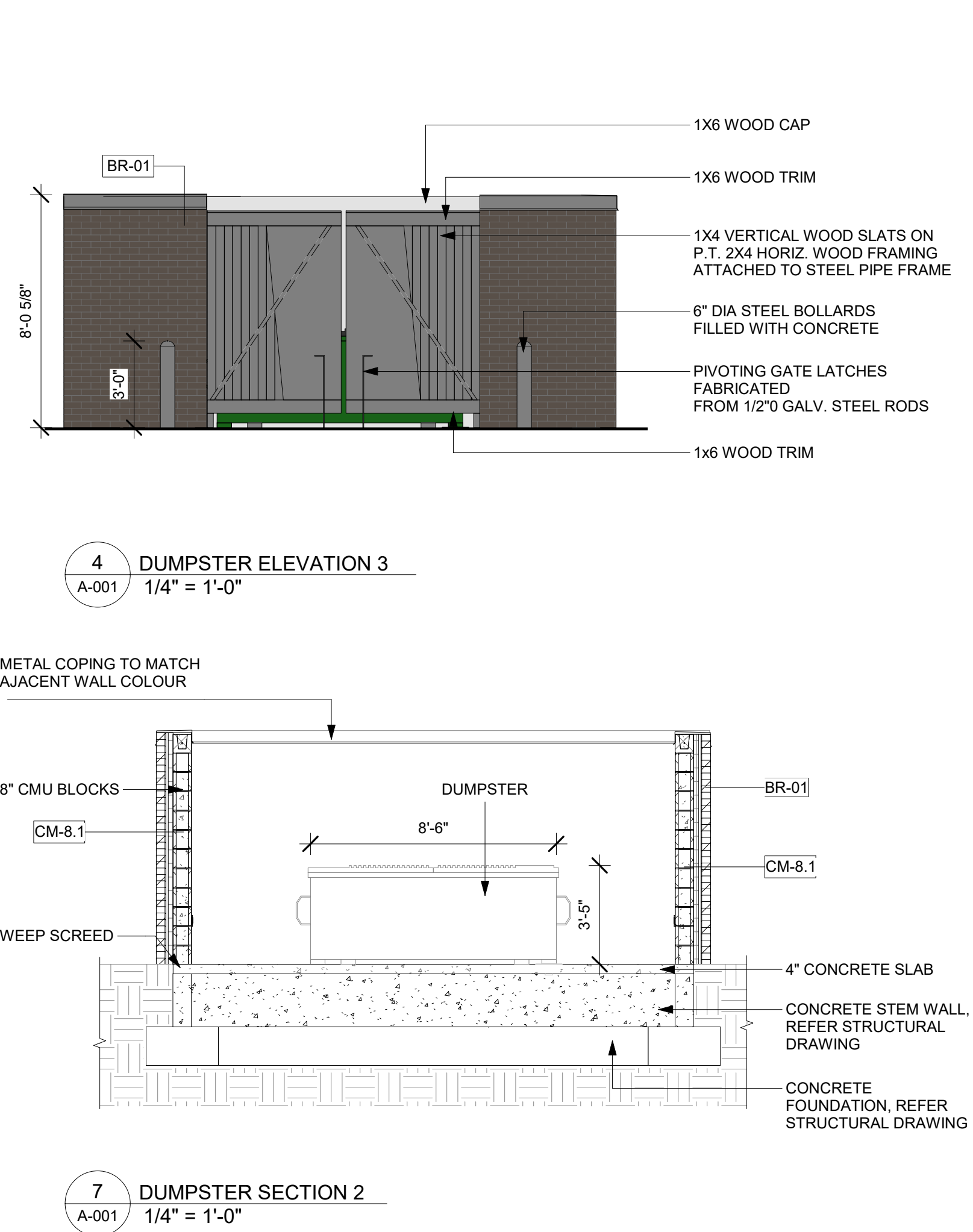
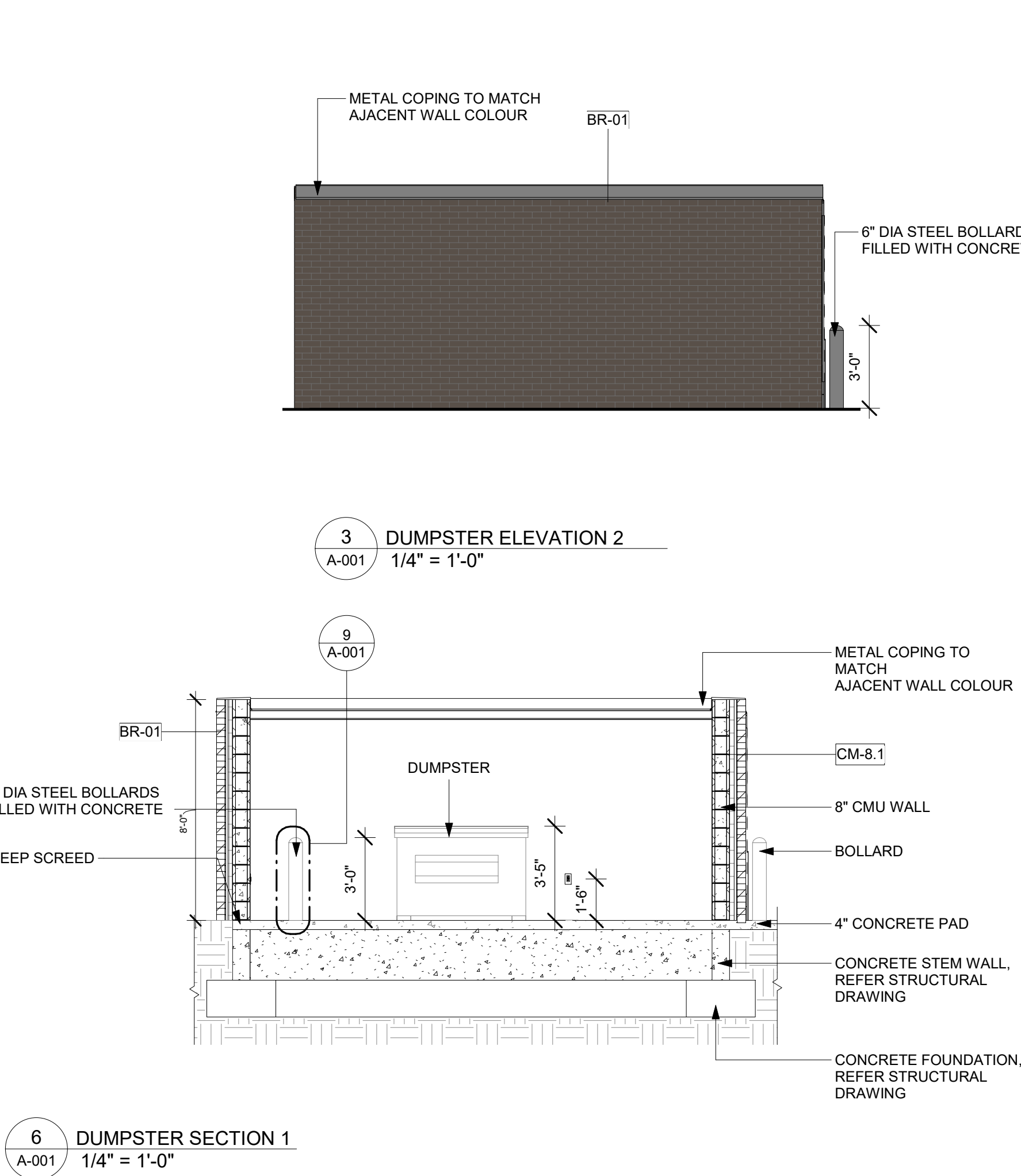
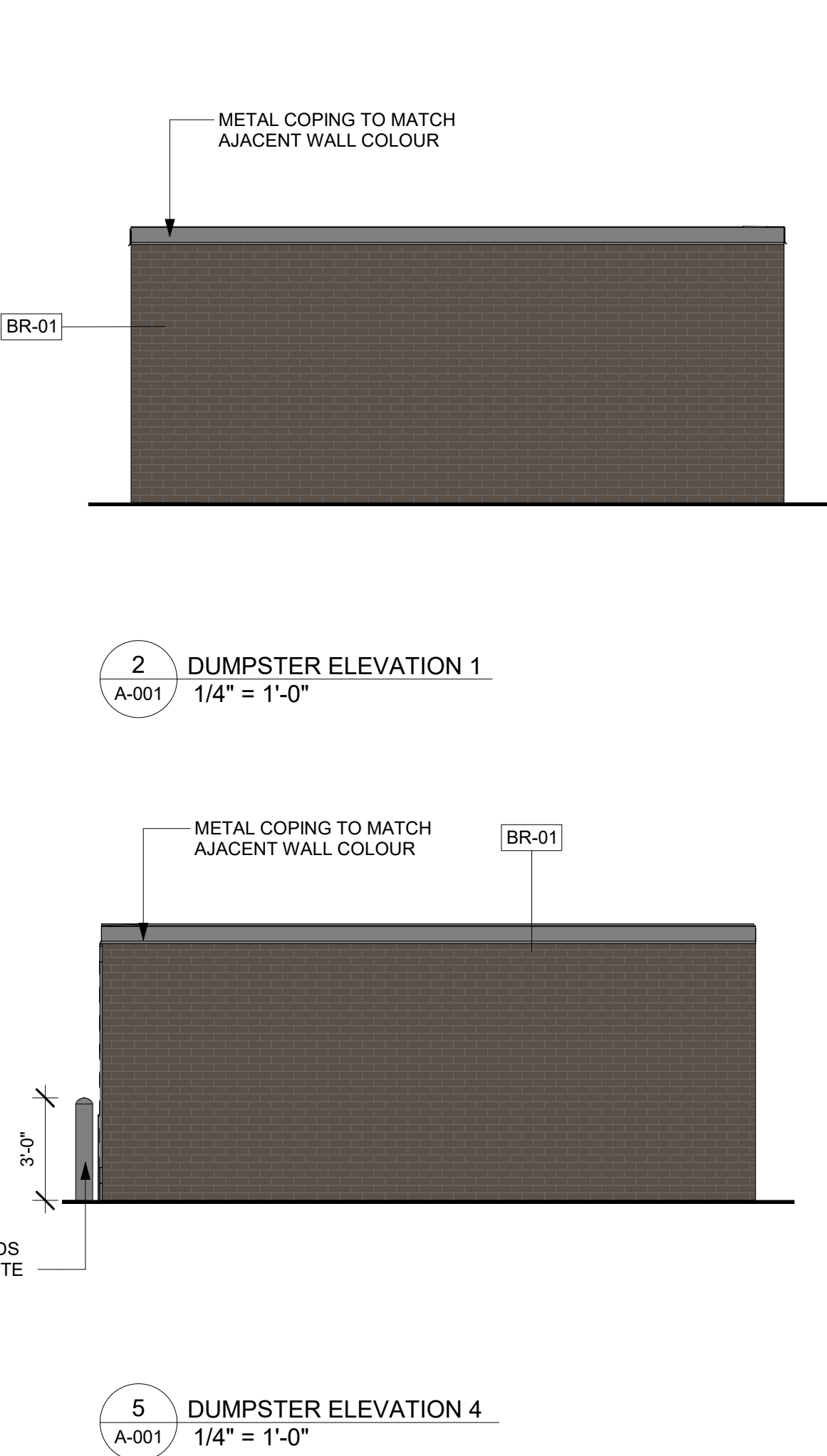
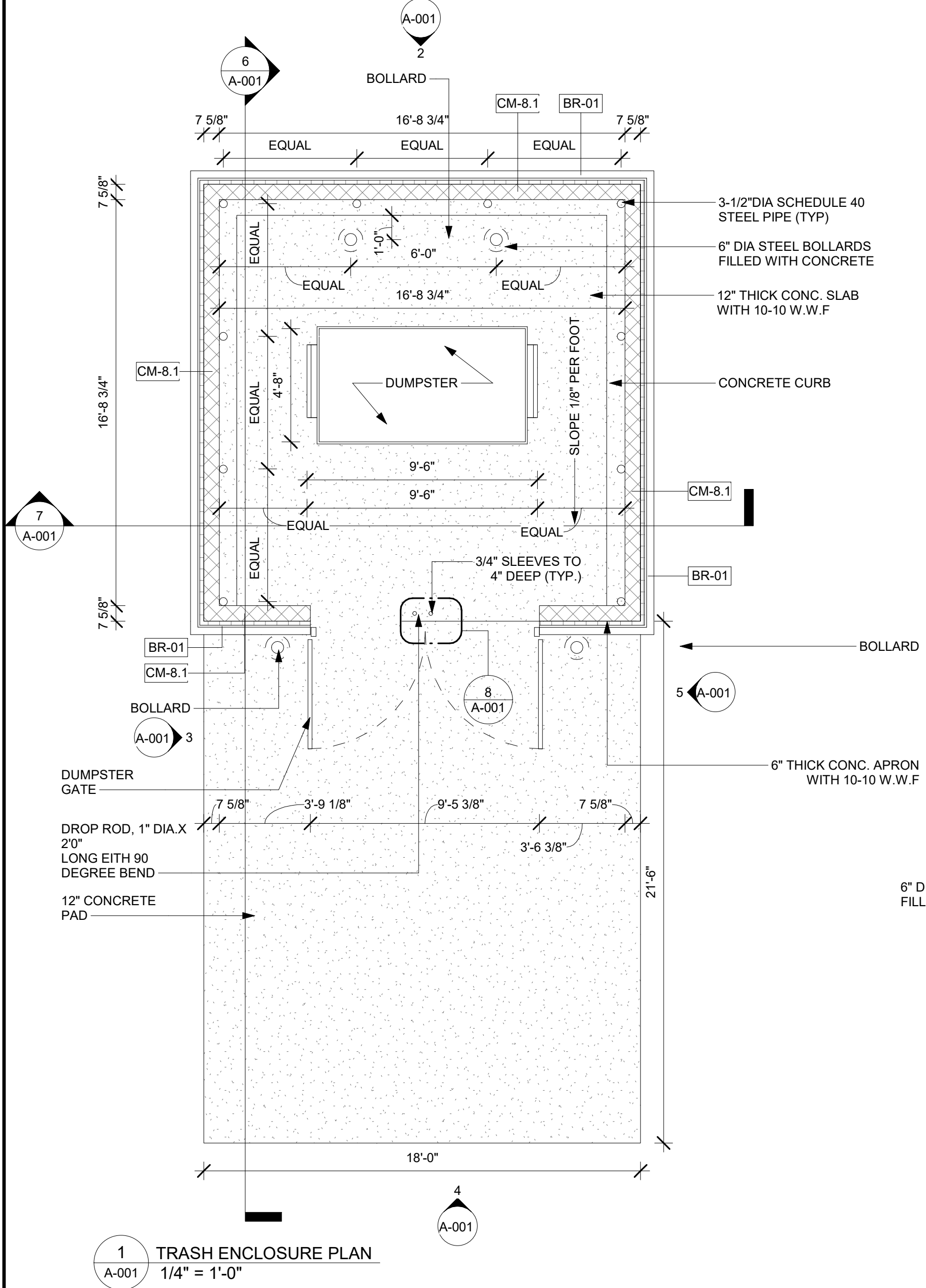
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PROJECT NO.  
B4-157-1901

SHEET NAME  
  
SHEET INDEX

DRAWINGS NO.  
**G-001**





EXTERIOR FINISH LEGEND				
MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%

**BASE4**

2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
888.901.8008 [www.base-4.com](http://www.base-4.com)

RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

**TOP Hospitality**

143 Wheeling Road  
Wheeling, Illinois 60090  
312 404 6735

**Residence INN**  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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CURRENT ISSUE

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CURRENT ISSUE DATE  
2020.01.17

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SD

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RB/CM

PROJECT NO.  
B4-157-1901

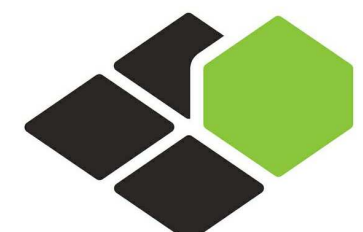
SHEET NAME

**DUMPSTER/SITE DETAILS**

DRAWINGS NO.

**A-001**





**BASE4**

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RICARDO J MUNIZ-GUILLET, AIA  
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Wheeling, Illinois 60090  
312 404 6735

**Residence INN**  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
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2020.01.16

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RB/CM

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B4-157-1901

SHEET NAME

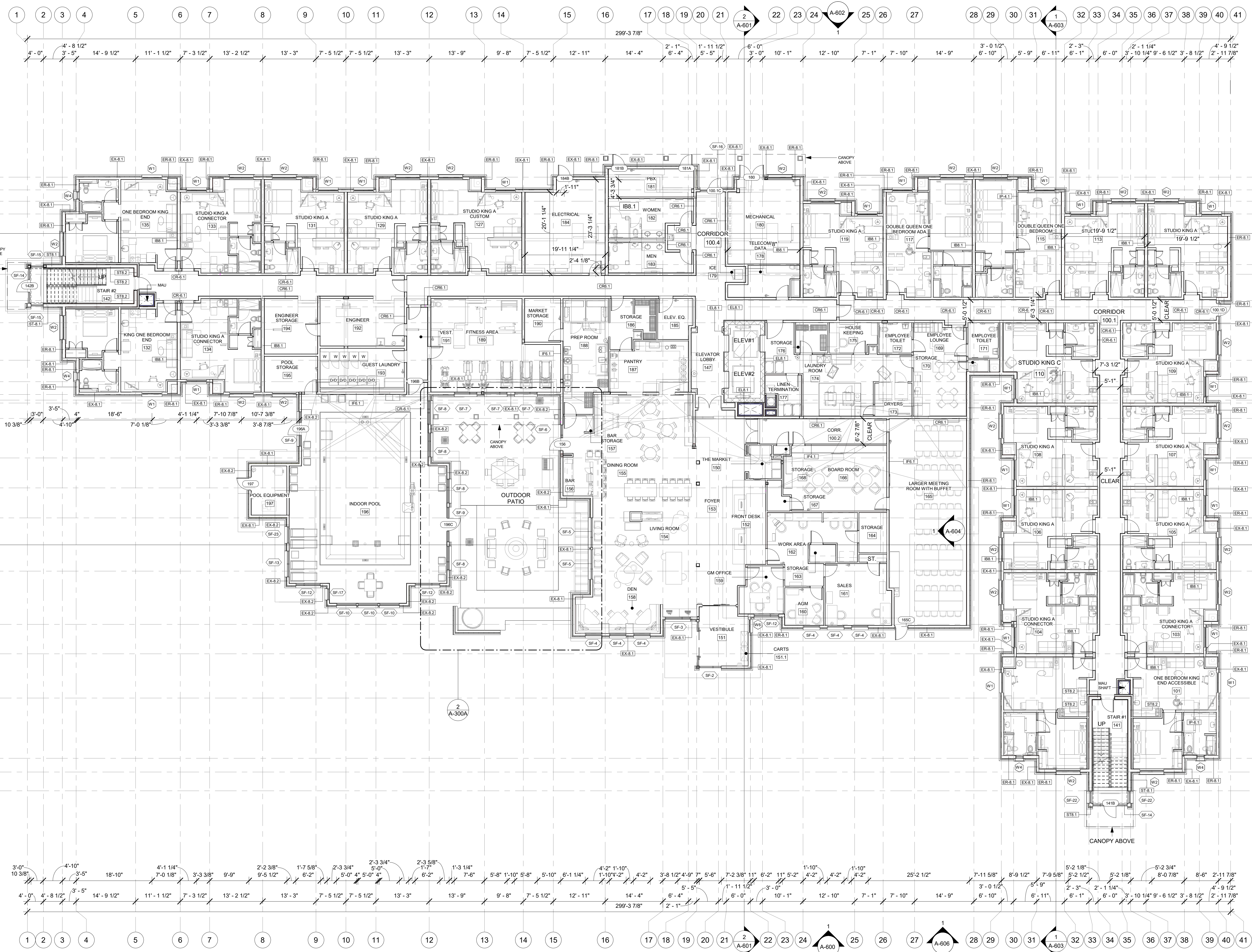
**1ST FLOOR PLAN**

DRAWINGS NO.

**A-100**

AA  
Z  
Y  
X  
3  
A-602  
W  
V  
U  
T  
S  
R  
Q  
P  
N  
M  
L  
K  
A-601  
J  
2  
A-600  
H  
G  
F  
E  
D  
C  
B  
A

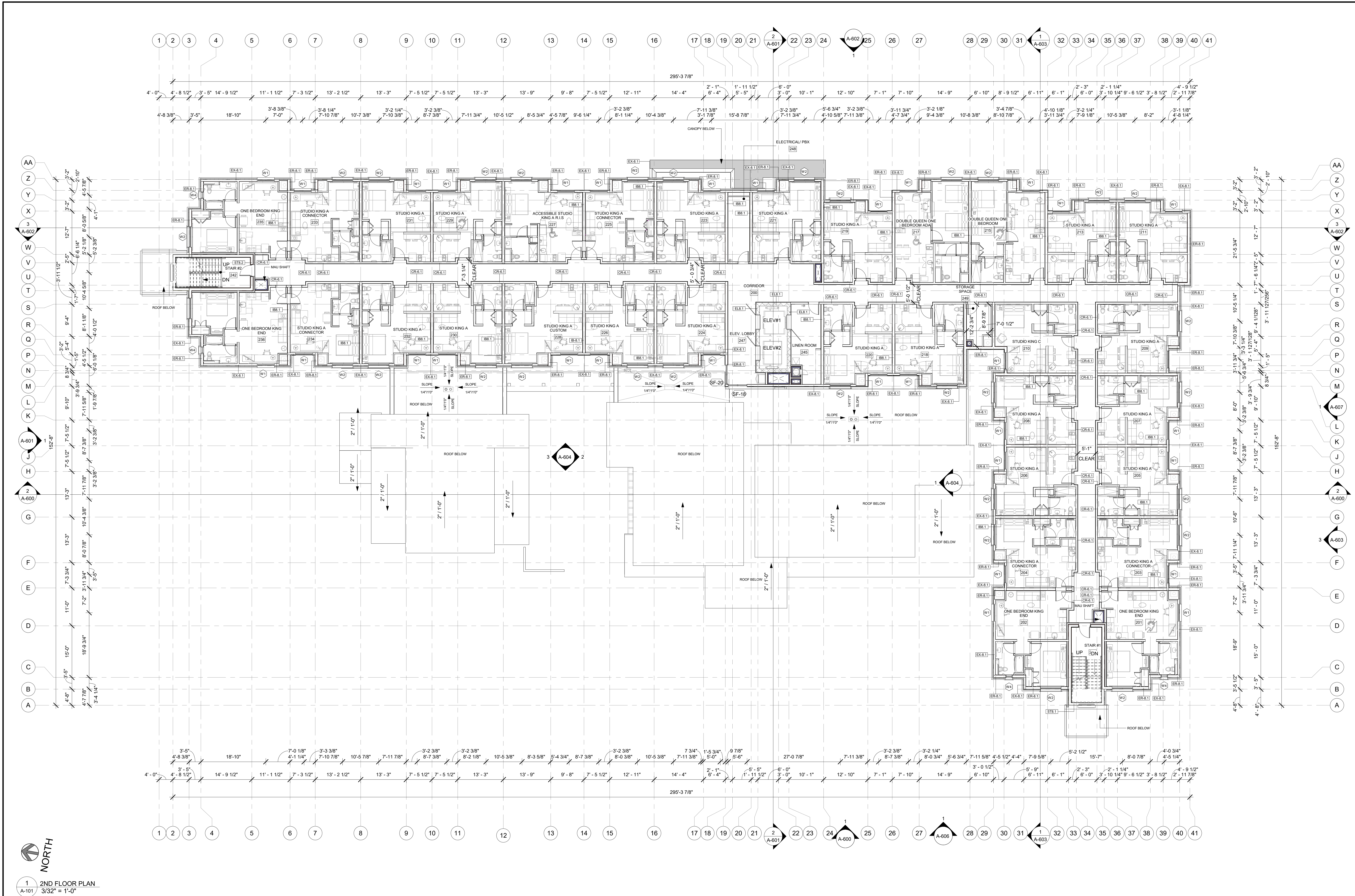
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Z  
Y  
X  
W  
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A-602  
V  
U  
T  
S  
R  
Q  
P  
N  
M  
L  
K  
A-601  
J  
H  
G  
F  
E  
D  
C  
B  
A



**NORTH**  
1  
A-100  
1ST FLOOR PLAN  
3/32" = 1'-0"

**GENERAL FLOOR PLAN NOTES**  
BASE4 NOTES  
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED  
2. EXTERIOR GRIDLINE ALIGNMENT IS ON FACE OF EXTERIOR SHEATHING, CMU, & CONCRETE.  
3. INTERIOR GRIDLINE ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS, CMU, & CONCRETE.  
4. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.  
5. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.  
6. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.  
7. REFER TO G-002 FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES.  
8. REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION.  
9. REFER TO SHEET G-005 FOR ACCESSIBLE CLEARANCE LEGEND





- GENERAL FLOOR PLAN NOTES**
- BASE4 NOTES**
1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
  2. EXTERIOR GRIDLINE ALIGNMENT IS ON FACE OF EXTERIOR SHEATHING, CMU, & CONCRETE.
  3. INTERIOR GRIDLINE ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS, CMU, & CONCRETE.
  4. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
  5. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
  6. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
  7. REFER TO G-002 FOR ACCESSIBLE GUESTROOM & COMMUNICATION ROOM TABLES.
  8. REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION.
  9. REFER TO SHEET G-005 FOR ACCESSIBLE CLEARANCE LEGEND.



BASE4  
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312 404 6735

**Residence INN**  
BY MARRIOTT

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TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
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**2ND FLOOR PLAN**

DRAWINGS NO.

**A-101**





RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Owner:

TOP  
Hospitality

Residence INN  
BY MARRIOTT

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9  
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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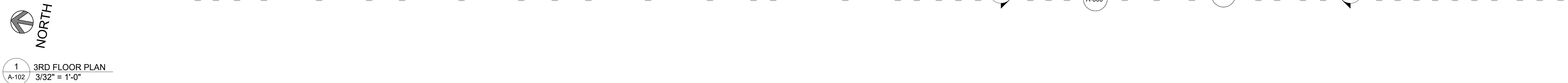
CHECKED BY RB/CM

PROJECT NO. B4-157-1901

**SHEET NAME**

DRAWINGS NO.

# A-102



## BASE4 NOTES

1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2. EXTERIOR GRIDLIN ALIGNMENT IS ON FACE OF EXTERIOR SHEATHING CMU & CONCRETE
3. INTERIOR GRIDLIN ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS CMU & CONCRETE
4. INTERIOR DOORS TO BE MIN. OF 4" FROM EXTERIOR WALL
5. EXTERIOR WALLS TO BE CONCRETE
6. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
7. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
8. REFER TO G-002 FOR ACCESSIBLE GUESTROOM & GUEST BATH
9. REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION.
10. REFER TO SHEET G-005 FOR ACCESSIBLE CLEARANCE LEGEND.

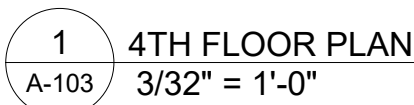




deal:

Residence INN  
BY MARRIOTT

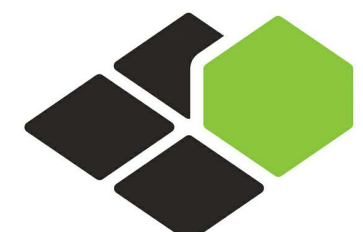
ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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1. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED
2. EXTERIOR GRIDLINE ALIGNMENT IS ON FACE OF EXTERIOR SHEETS, CMU & CONCRETE
3. EXTERIOR GRIDLINE ALIGNMENT IS ON CENTERLINE OF METAL OR WOOD STUDS, CMU & CONCRETE.
4. INTERIOR DOORS TO BE MIN. OF 4' FROM EXTERIOR WALL.
5. PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
6. PROVIDE WALLBOARD CONTROL JOINTS TO BE 30"-4" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
7. REFER TO G-002 FOR ACCESSIBLE GUESTROOM & BATH COMMUNICATIONS.
8. REFER TO SHEETS STARTING ON A-400 FOR ENLARGED GUESTROOM INFORMATION.
9. REFER TO SHEETS G-005 FOR ACCESSIBLE CLEARANCE LEGEND.

# A-103





BASE4

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Owner:  
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**Residence INN**  
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TINLEY PARK, Illinois

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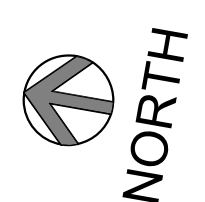
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SHEET NAME		

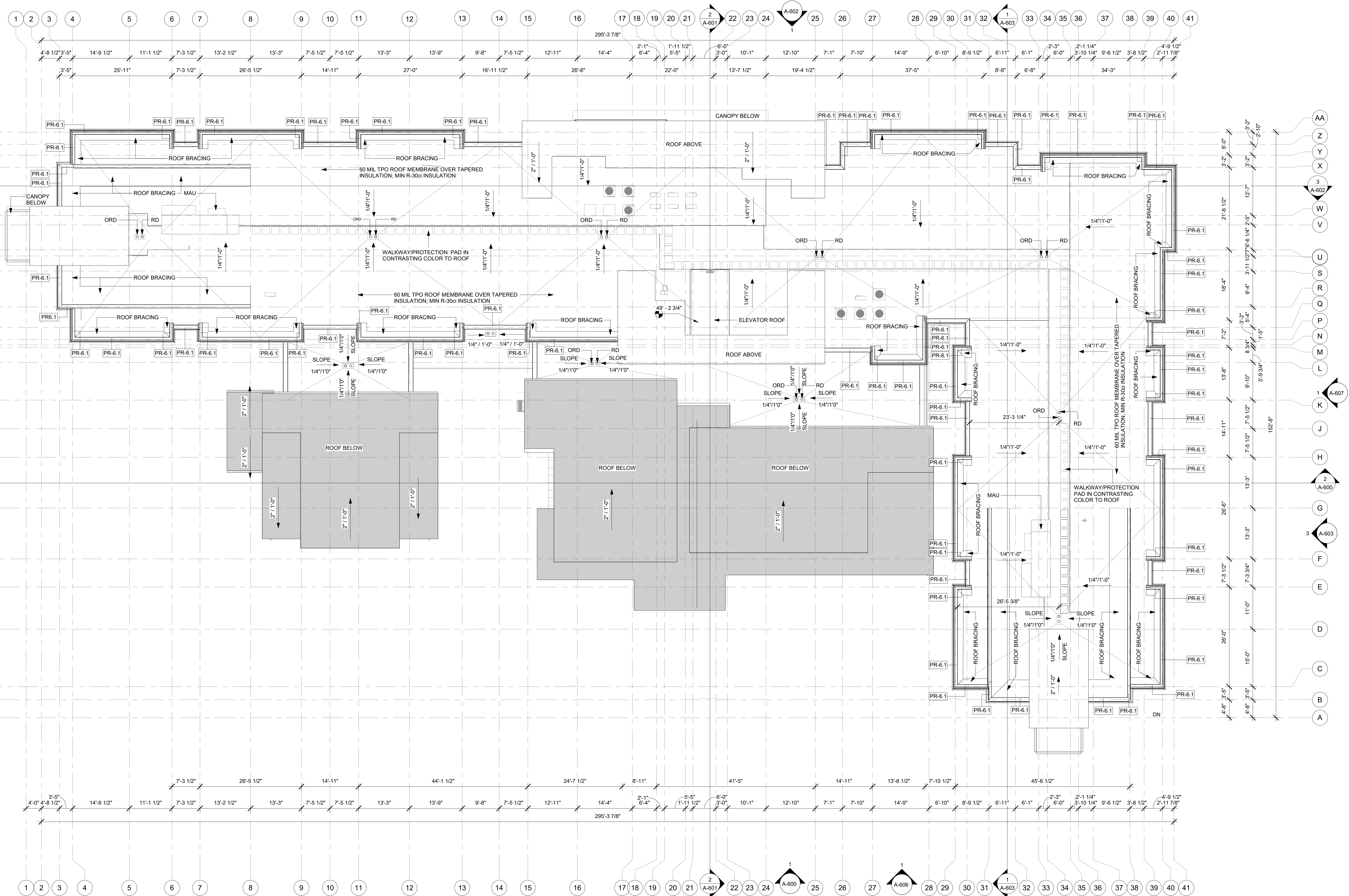
ROOF LEVEL PLAN

DRAWINGS NO.

A-104

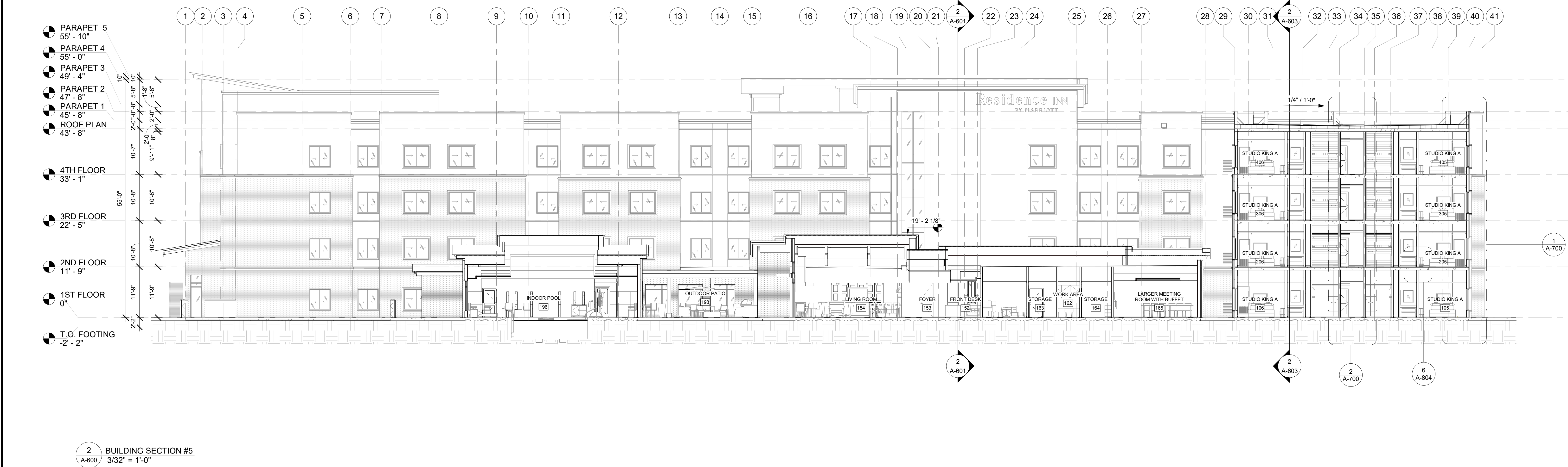
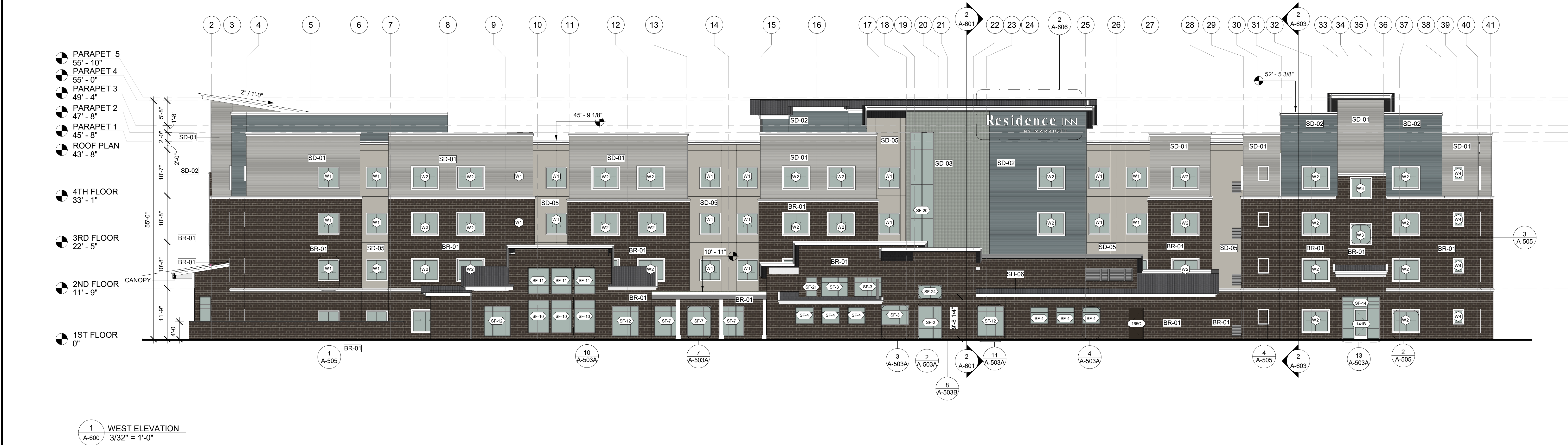


1  
A-104  
ROOF PLAN  
3/32" = 1'-0"



- GENERAL ROOF NOTES**
1. ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE
  2. CONTRACTOR TO COORDINATE WITH CHUTE VENDOR, STRUCTURAL ENGINEER, PLANK MFR. AND TRUSS MFR.
  3. THE DIMENSION AND LOCATION OF CHUTE DUCT ROOF PENETRATION AND TRUSS SPACING WHERE CHUTE DUCT PENETRATES THE TOWER ROOF.
  4. SEE DETAILS FOR ROOF PENETRATION DETAILS.
  5. SEE STRUCTURAL FOR ALL TOP OF DECK ELEVATIONS, JOIST SIZES, ETC.
  6. COORDINATE ALL ROOF TOP UBT LOCATIONS WITH MECHANICAL.
  7. SEE MECHANICAL/PLUMBING FOR ADDITIONAL INFORMATION.
  8. PAINT ALL ROOF PENETRATIONS, ROOF TOP EQUIPMENT, LADDERS, ETC. UNLESS EQUIPMENT IS PREFINISHED (COLOR TO BE SELECTED BY THE GENERAL CONTRACTOR).
  9. PROVIDE TAPERED INSULATION CRICKETS AT ALL ROOF SLOPE OBSTRUCTIONS.
  10. PAINT ALL EXPOSED SHROUDS. INSTALL PADS AFTER HVAC EQUIPMENT HAS BEEN INSTALLED.
  11. ALL WOOD BLOCKING WITH MECHANICAL ENGINEER.
  12. COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL.
  13. ANY ROOF FLASHING, METAL FACIA & FORMED CAP FLASHING TO BE FIRESTONE PRODUCTS ONLY.
  14. ALL VENT PIPES, ETC. ENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.





GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL, LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4\"/>

ENERGY CODE INFORMATION

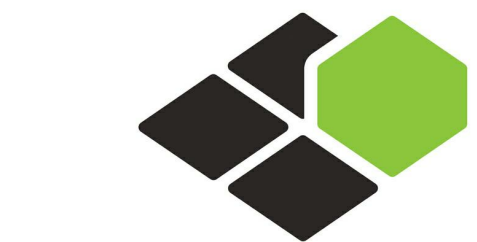
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(C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	
<b>CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY</b>	
TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	
<b>ROOFS</b>	
INSUL. ENTIRELY ABOVE DECK	R-30 cl
METAL BUILDING	R-19 + R-11 LS
ATTIC AND OTHER	R-38
<b>WALLS ABOVE GRADE</b>	
MASS	R-11.4 cl
METAL BUILDING	R-13 + R-13cl
METAL FRAMED	R-13 + R-7.5cl
<b>WALLS BELOW GRADE</b>	
BELOW GRADE WALLS	R-7.5 cl
MASS	R-10 cl
JOIST/FRAMING	R-30
<b>SLAB-ON-GRADE FLOORS</b>	
UNHEATED SLABS	R-10 for 24\"/>
HEATED SLABS	R-15 for 38\"/>
<b>OPAQUE DOORS</b>	
NONSWINGING	R-4.75
<b>TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS</b>	
<b>VERTICAL FENESTRATION</b>	
FIXED FENESTRATION	U-0.38
OPERABLE FENESTRATION	U-0.45
ENTRANCE DOORS	U-0.77
<b>SHGC</b>	
PROJECTION FACTOR	U-0.64 N / U-0.64 SEW
<b>SKYLIGHTS</b>	
U-FACTOR	U-0.50
SHGC	U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

BASE4  
2901 CLINT MOORE ROAD, #114  
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RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

TOP  
Hospitality

143 WHEELING ROAD  
WHEELING, ILLINOIS 60090  
312.404.6735

Residence INN  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
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1	A1	2020.02.04	ISSUED FOR PERMIT
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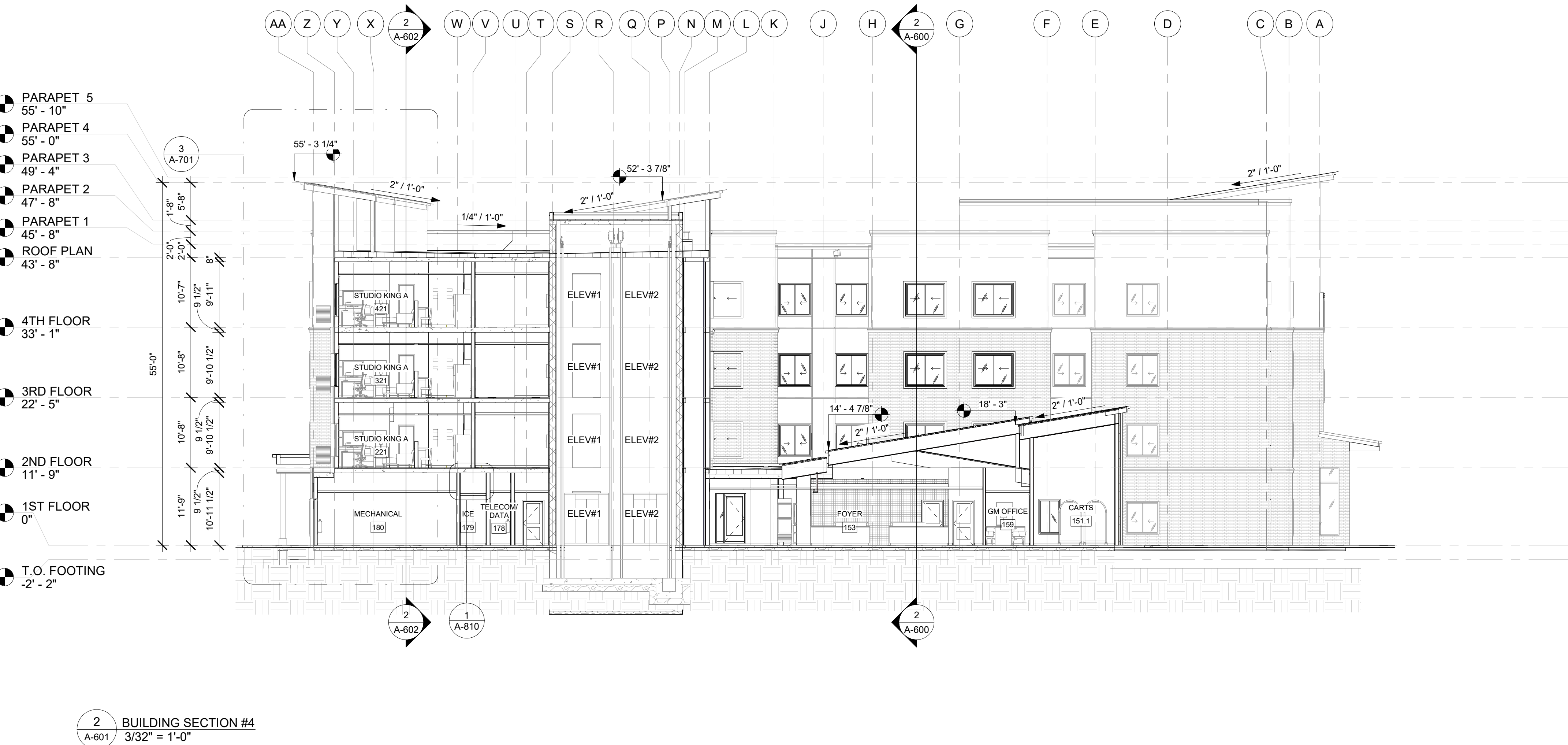
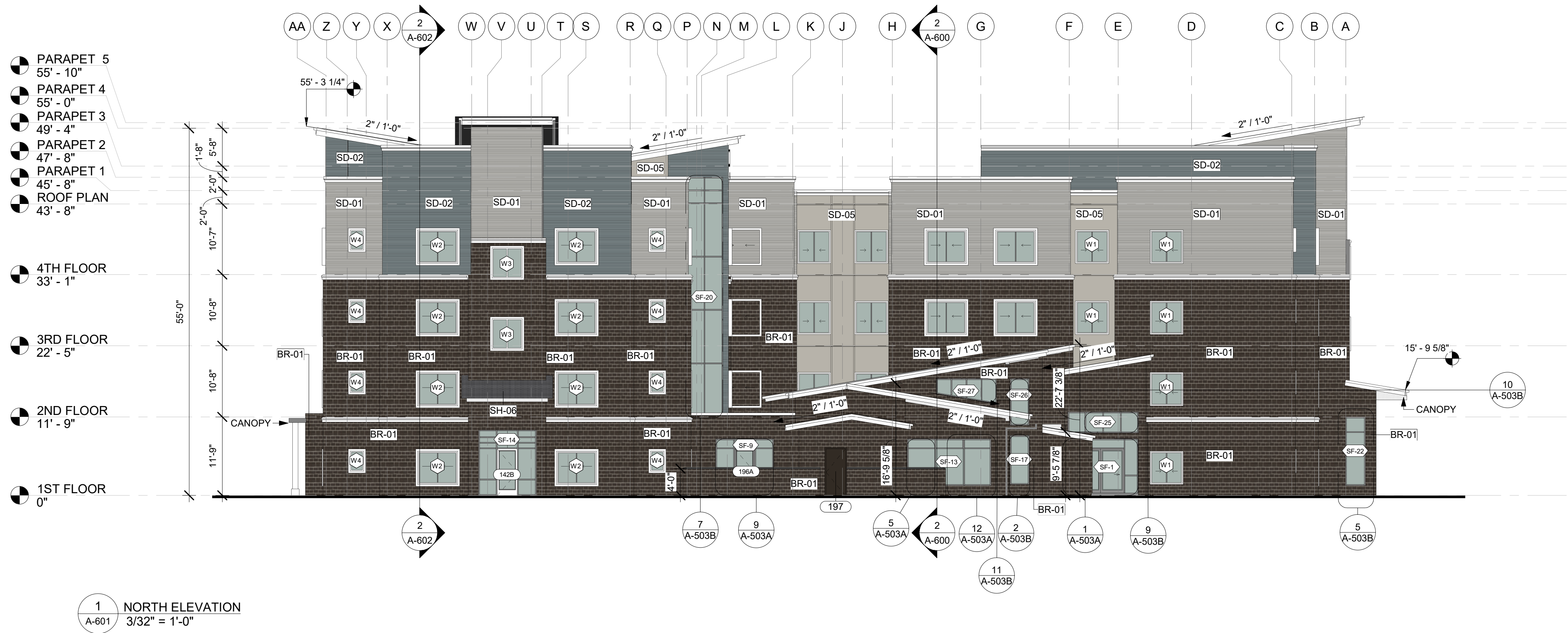
SHEET NAME

EXTERIOR  
ELEVATION &  
BUILDING  
SECTION-1

DRAWINGS NO.

A-600





GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. INSIDE PARAPET WALL PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

ENERGY CODE INFORMATION

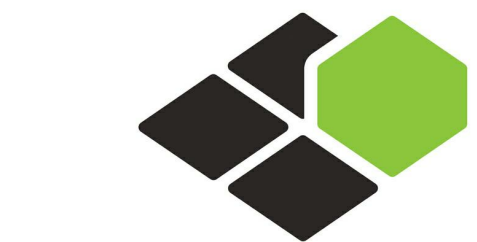
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<b>CHAPTER 3: GENERAL REQUIREMENTS</b>	
(C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	
<b>CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY</b>	
TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	
<b>ROOFS</b>	
INSUL ENTIRELY ABOVE DECK	R-30 cl
METAL BUILDING	R-19 + R-11 LS
ATTIC AND OTHER	R-38
<b>WALLS ABOVE GRADE</b>	
MASS	R-11.4 cl
METAL BUILDING	R-13 + R-13cl
METAL FRAMED	R-13 + R-7.5cl
<b>WALLS BELOW GRADE</b>	
BELOW GRADE WALLS	R-7.5 cl
FLOORS	R-10 cl
MASS	R-30
JOIST/FRAMING	
<b>SLAB-ON-GRADE FLOORS</b>	
UNHEATED SLABS	R-10 for 24" below
HEATED SLABS	R-15 for 38" below
<b>OPAQUE DOORS</b>	
NONSWINGING	R-4.75
TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS	
<b>VERTICAL FENESTRATION</b>	
FIXED FENESTRATION	U-0.38
OPERABLE FENESTRATION	U-0.45
ENTRANCE DOORS	U-0.77
<b>SHGC</b>	
PROJECTION FACTOR	U-0.64 N / U-0.64 SEW
<b>SKYLIGHTS</b>	
U-FACTOR	U-0.50
SHGC	U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7645 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

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Seal:



DATE : 2020.02.04

Owner:

TOP  
Hospitality

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WHEELING, ILLINOIS 60090  
312.404.6735

Residence INN  
BY MARRIOTT

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TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN  
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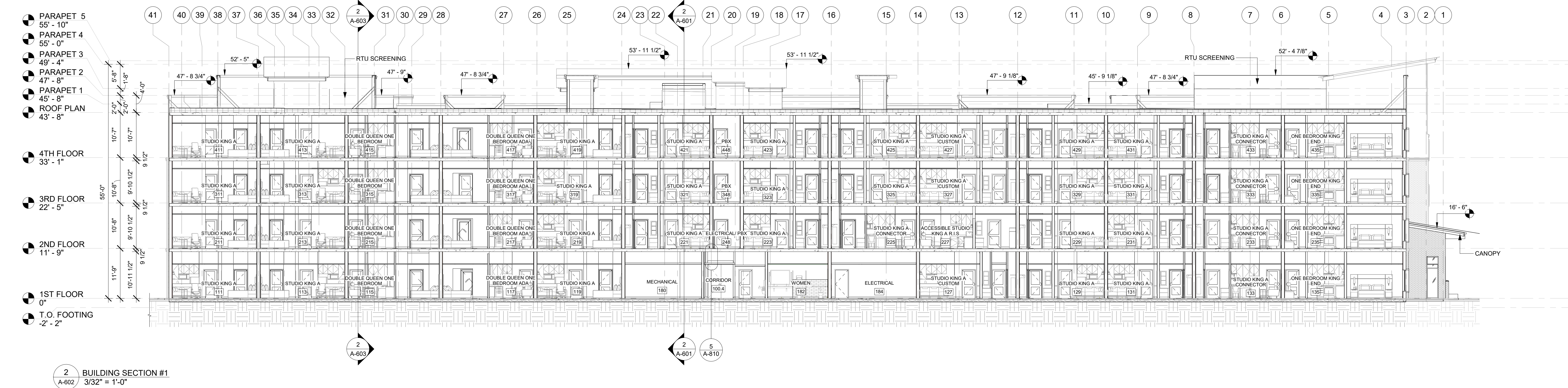
SHEET NAME

EXTERIOR  
ELEVATION &  
BUILDING  
SECTION-2

DRAWINGS NO.

A-601





GENERAL ELEVATION NOTES

1. REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
2. GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LUE OF FULL SIZE WINDOW.
3. ALL EXTERIOR VENTS, GRILLES, MECHANICAL, LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
4. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
5. ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
6. ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
2. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
4. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. INSIDE PARAPET WALL PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
5. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

ENERGY CODE INFORMATION

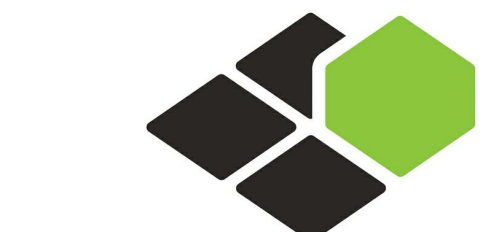
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<b>CHAPTER 3: GENERAL REQUIREMENTS</b>	
(C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	
<b>CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY</b>	
TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	
<b>ROOFS</b>	
INSUL. ENTIRELY ABOVE DECK	R-30 cl
METAL BUILDING	R-19 + R-11 LS
ATTIC AND OTHER	R-38
<b>WALLS ABOVE GRADE</b>	
MASS	R-11.4 cl
METAL BUILDING	R-13 + R-13cl
METAL FRAMED	R-13 + R-7.5cl
<b>WALLS BELOW GRADE</b>	
BELOW GRADE WALLS	R-7.5 cl
FLOORS	R-10 cl
MASS	R-30
JOIST/FRAMING	
<b>SLAB-ON-GRADE FLOORS</b>	
UNHEATED SLABS	R-10 for 24" below
HEATED SLABS	R-15 for 36" below
<b>OPAQUE DOORS</b>	
NONSWINGING	R-4.75
<b>TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS</b>	
<b>VERTICAL FENESTRATION</b>	
FIXED FENESTRATION	U-0.38
OPERABLE FENESTRATION	U-0.45
ENTRANCE DOORS	U-0.77
<b>SHGC</b>	
PROJECTION FACTOR	U-0.64 N / U-0.64 SEW
<b>SKYLIGHTS</b>	
U-FACTOR	U-0.50
SHGC	U-0.40

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

TOP  
Hospitality

143 WHEELING ROAD  
WHEELING, ILLINOIS 60090  
312.404.6735

Residence INN  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2019.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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1	A1	2020.02.04	ISSUED FOR PERMIT
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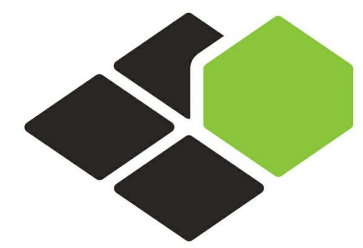
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EXTERIOR  
ELEVATION &  
BUILDING  
SECTION-3

DRAWINGS NO.

A-602





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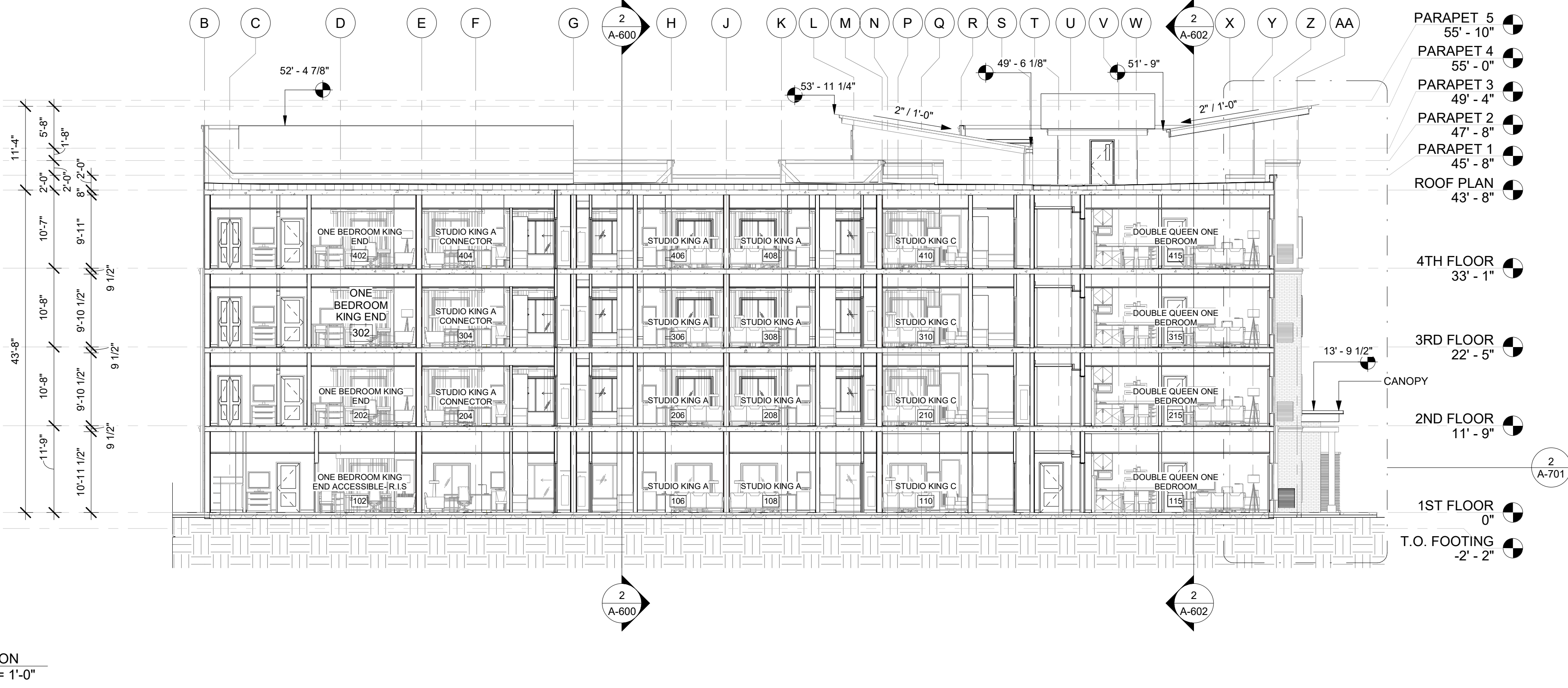
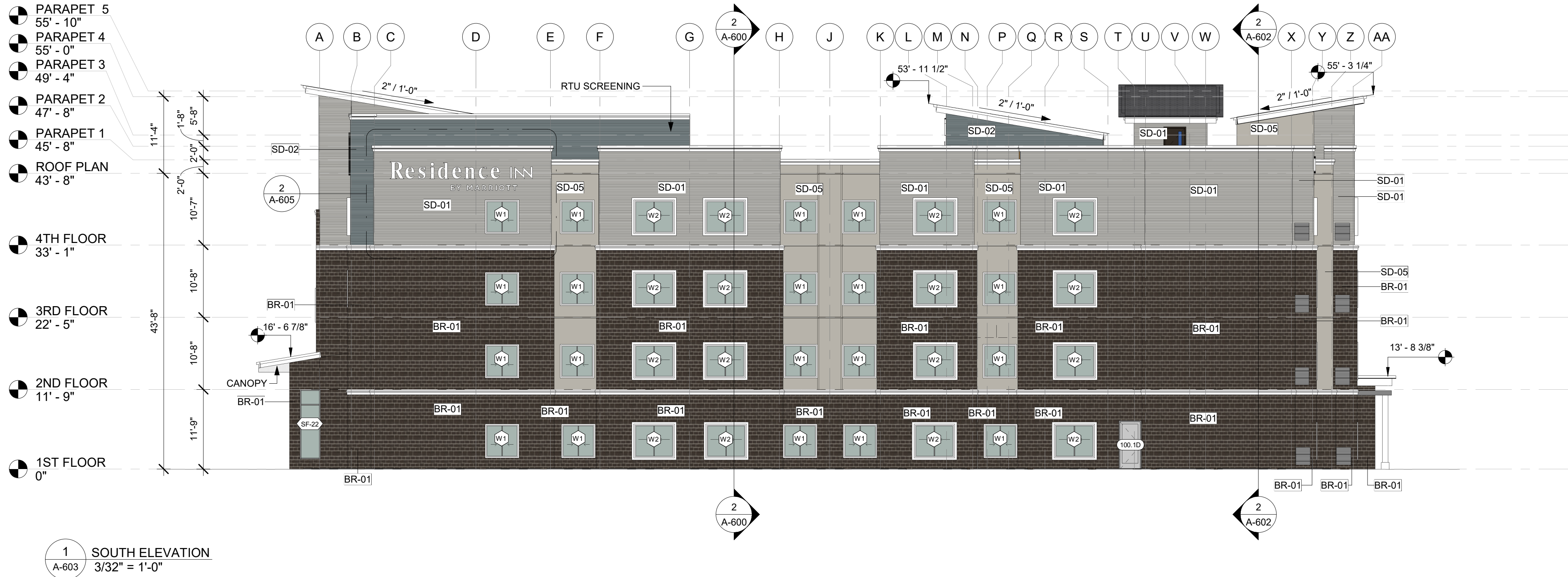
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TINLEY PARK, ILLINOIS

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#### ENERGY CODE INFORMATION

REFERENCED ENERGY CODE: APPLICABLE CODE <b>CHAPTER 3: GENERAL REQUIREMENTS</b> (C) 301.1 CLIMATE ZONE: COOK COUNTY, ILLINOIS	<b>SLAB-ON-GRADE FLOORS</b> UNHEATED SLABS HEATED SLABS OPAQUE DOORS NONSWINING R-10 for 24" below R-15 for 36" below R-4.75
<b>CHAPTER 4: COMMERCIAL ENERGY EFFICIENCY</b> TABLE C402.1.3: OPAQUE THERMAL ENVELOPE INSULATION REQUIREMENTS	<b>ROOFS</b> INSUL. ENTIRELY ABOVE DECK METAL BUILDING ATTIC AND OTHER <b>WALLS ABOVE GRADE</b> MASS METAL BUILDING METAL FRAMED <b>WALLS BELOW GRADE</b> BELOW GRADE WALLS MASS JOIST/FRAMING R-30 cl R-19 + R-11 LS R-38 R-11.4 cl R-13 + R-13cl R-13 + R-7.5cl R-7.5 cl R-10 cl R-30
	<b>TABLE C402.4: BUILDING ENVELOPE FENESTRATION REQUIREMENTS</b> <b>VERTICAL FENESTRATION</b> FIXED FENESTRATION OPERABLE FENESTRATION ENTRANCE DOORS <b>SHGC</b> PROJECTION FACTOR <b>SKYLIGHTS</b> U-FACTOR SHGC U-0.38 U-0.45 U-0.77 U-0.64 N / U-0.64 SEW U-0.50 U-0.40

#### EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

#### EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%

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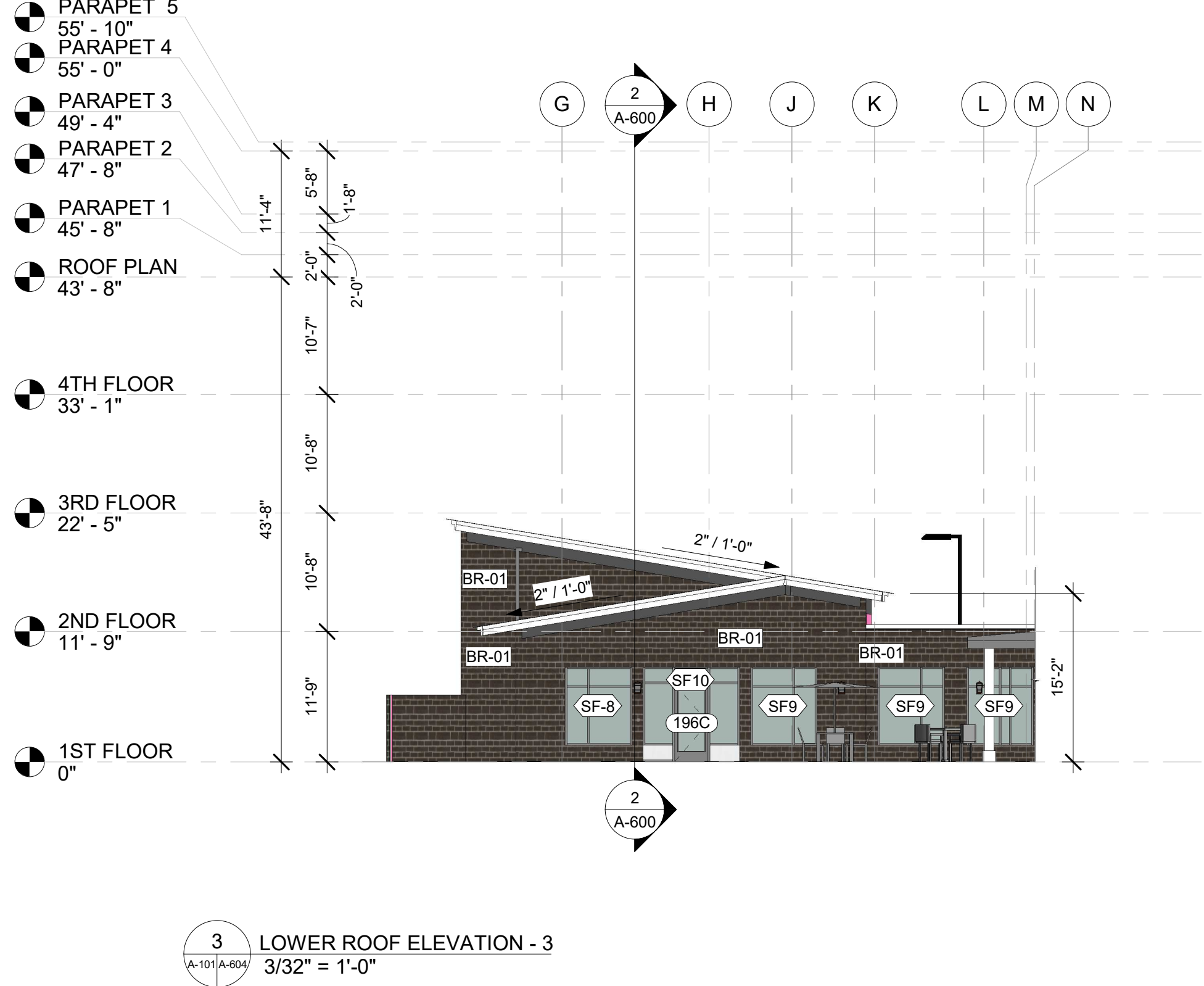
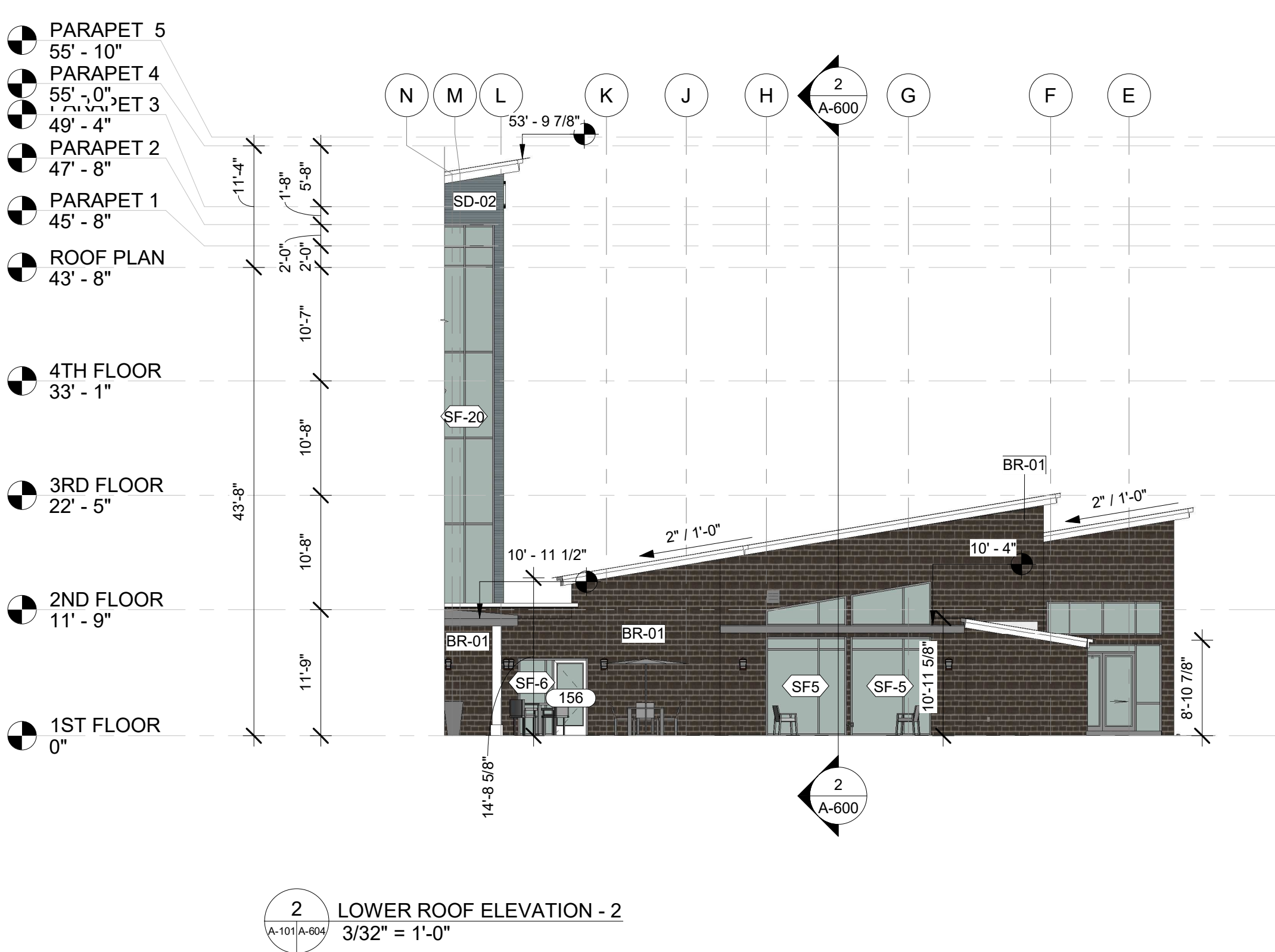
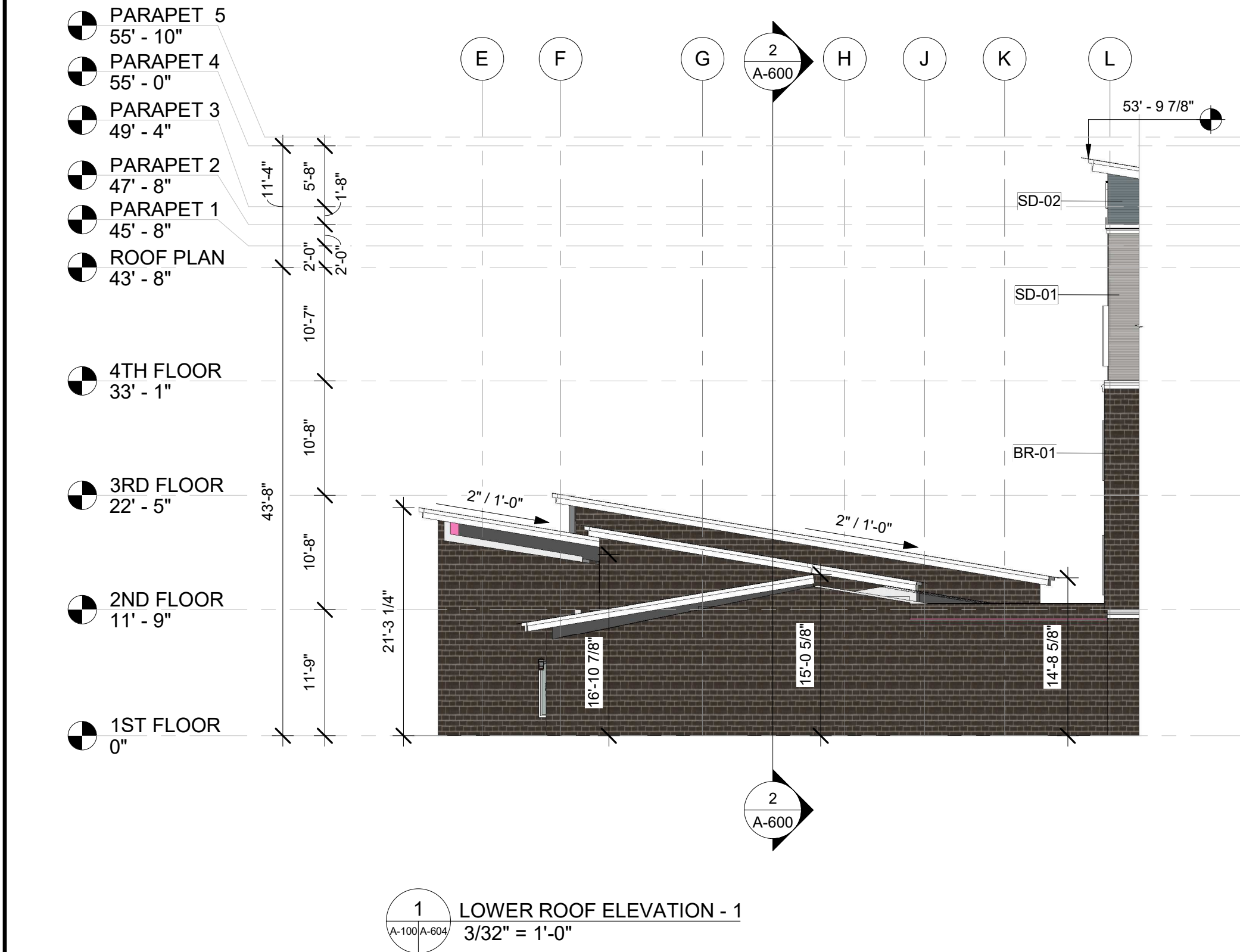
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EXTERIOR  
ELEVATION &  
BUILDING  
SECTION-4

DRAWINGS NO.

A-603



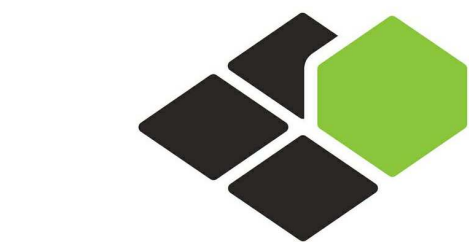


GENERAL NOTES-SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
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- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
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- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%



BASE4

2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

TOP  
Hospitality

143 Wheeling Road  
Wheeling, Illinois 60090  
312 404 6735

Residence INN  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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SHEET NAME

EXTERIOR  
ELEVATION

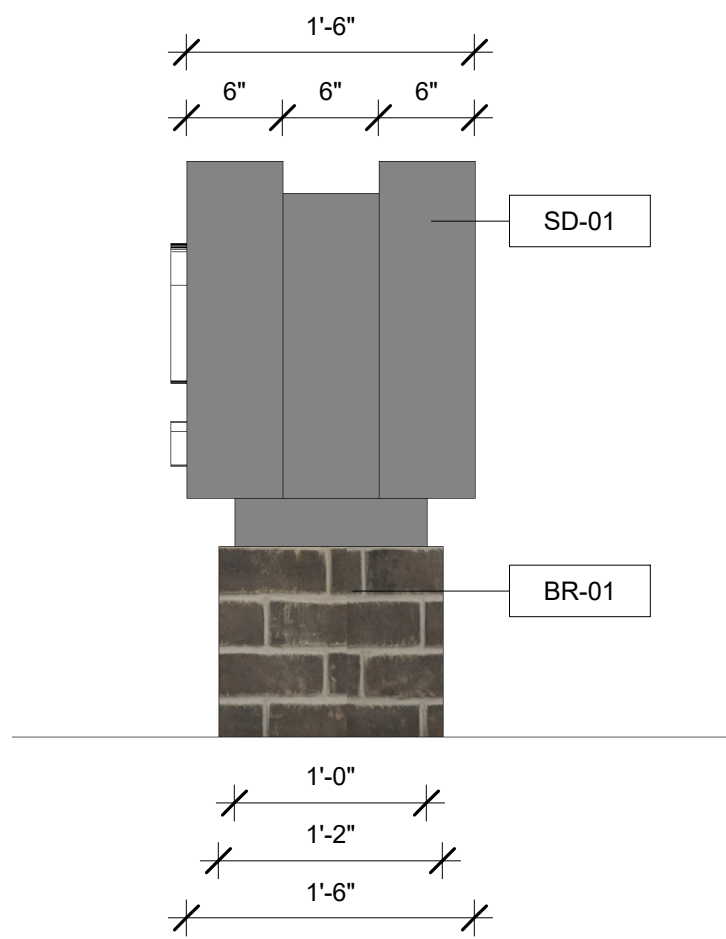
DRAWINGS NO.

A-604





2 MONUMENT ELEVATION  
A-605 1" = 1'-0"



3 MONUMENT ELEVATION-2  
A-605 1" = 1'-0"

**Monument Specifications:**

*Construction:* Aluminum angle frame with .125" aluminum shoe-box style faces

*Face Construction:* Routed aluminum with backer panel

*Retainer:* Bleed face

*Illumination:* GE White LED's

*Exterior Finish:* Paint Pantone® 425 C Gray, satin finish and Pantone® 877 C Silver, satin finish

*Interior Finish:* Paint reflective white

**Monument Face Specifications:**

*Face Construction:* Routed aluminum with backer panel

*Face Decoration:* Pantone® 425 C Gray, satin finish

*Backer Panel:* .118" white solar grade polycarbonate

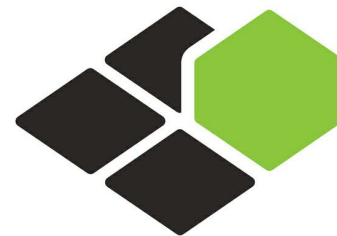
\* "Residence Inn" and "Marriott" to appear white during the day and illuminate white at night (background does not illuminate)

**Pole Cover Specifications:**

\* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)

*Construction:* Aluminum angle frame with .080" aluminum skins

*Exterior Finish:* Paint Matthews 41342SP Brushed Aluminum, satin finish



**BASE4**

BASE4  
2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



DATE : 2020.02.04

Owner:

**TOP  
Hospitality**

143 WHEELING ROAD  
WHEELING, ILLINOIS 60090  
312.404.6735

**Residence INN**  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, ILLINOIS

PROTOTYPE VERSION: DESIGN  
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SHEET NAME

**MONUMENT SIGN  
(RESIDENCE INN)**

DRAWINGS NO.

**A-605**

**GENERAL NOTES-SITE PLAN**

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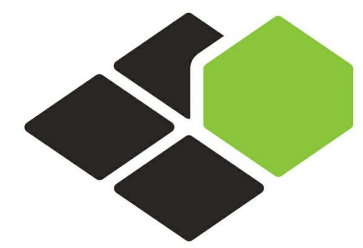
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BASE4

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PROJECT NO.  
B4-157-1901

SHEET NAME

EXTERIOR  
SIGNAGE  
(RESIDENCE INN)

DRAWINGS NO.

A-606

### CHANNEL LETTER SPECIFICATIONS

#### Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" painted to match Pantone® 425 C Gray

Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 425 C Gray

Interior Finish: Paint reflective white

#### Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic

26' - 0 15/16"

Residence INN  
BY MARRIOTT

1' - 3"

2' - 6"

1' - 3"

4' - 2 3/4"

1' - 3"

	A	B	C	D	E
RI Channel 24	24"	7 11/16"	7'-10 1/4"	3'-4 5/8"	16'-10 5/16"
RI Channel 30	30"	9 9/16"	9'-9 3/4"	4'-2 3/4"	21'-0 15/16"
RI Channel 36	36"	11 1/2"	11'-9 5/16"	5'-0 15/16"	25'-3 1/2"
RI Channel 48	48"	15 5/16"	15'-8 7/16"	6'-9 3/16"	33'-8 11/16"

\* Letter height determined by the height of the letter "R".



1  
A-606

ELEVATION 1  
3/32" = 1'-0"

### EXTERIOR FINISH LEGEND

MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BRADDOCK		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%
SH-06	SHINGLES	WEATHERED WOOD		1%



CHANNEL LETTER SPECIFICATIONS

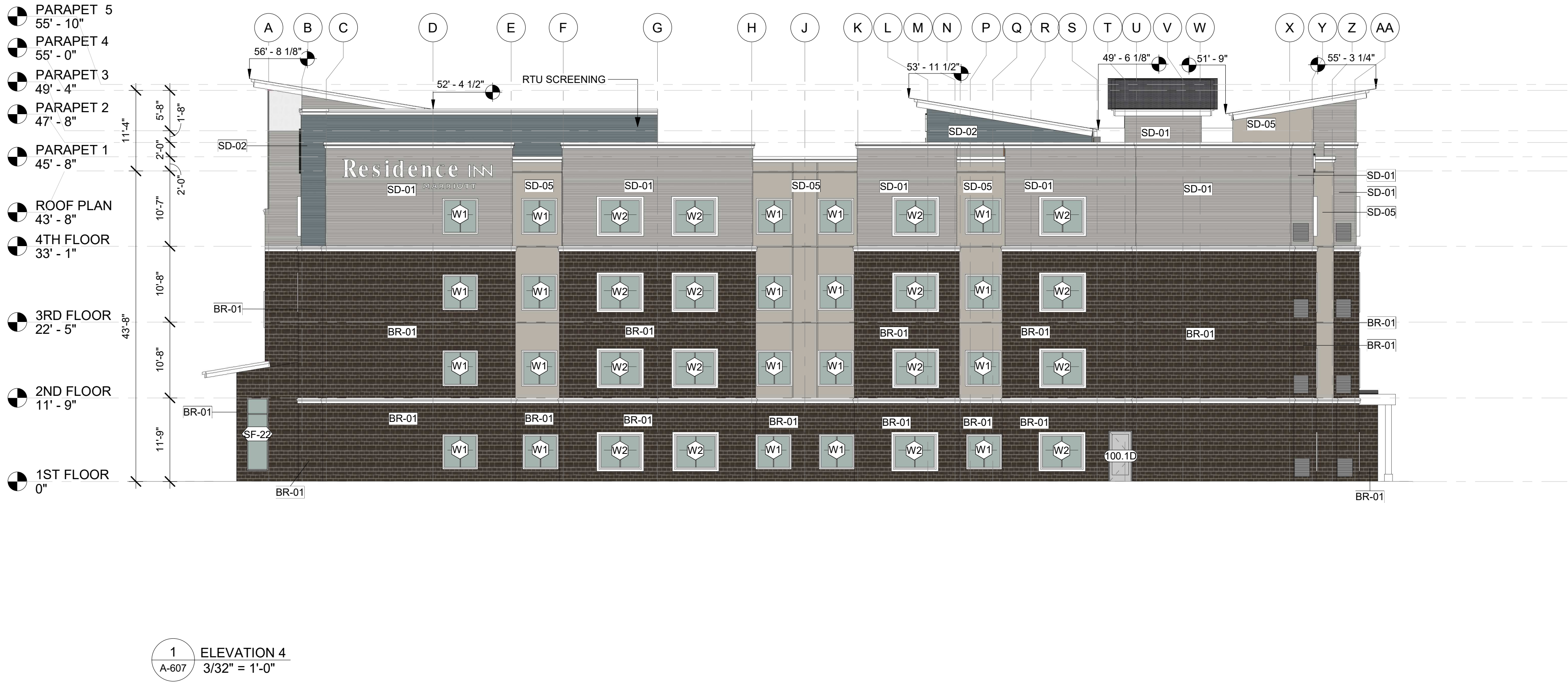
**Channel Letter Specifications:**  
*Construction:* .050" aluminum channel letter with .063" aluminum backs  
*Face Material:* 3/16" 7328 white acrylic  
*Trim Cap:* 1" painted to match Pantone® 425 C Gray  
*Illumination:* GE White LED's as required  
*Exterior Finish:* Paint to match Pantone® 425 C Gray  
*Interior Finish:* Paint reflective white

**Channel Letter Face Specifications:**  
*Face Material:* 3/16" 7328 white acrylic

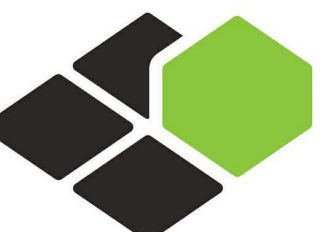


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SH-06	SHINGLES	WEATHERED WOOD		1%



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888.901.8008 www.base-4.com

RICARDO J MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:

Owner:

**TOP Hospitality**

143 Wheeling Road  
Wheeling, Illinois 60090  
312 404 6735

**Residence INN**  
BY MARRIOTT

9555 83RD STREET,  
TINLEY PARK, Illinois

PROTOTYPE VERSION: DESIGN  
GUIDELINE DRAWINGS - GEN 9,  
REVISION DATE: 2010.04.29

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
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CURRENT ISSUE

**ISSUED FOR PC STAFF REVIEW**

CURRENT ISSUE DATE  
2020.01.17

DRAWN BY  
SD

CHECKED BY  
RB/CM

PROJECT NO.  
B4-157-1901

SHEET NAME

**EXTERIOR SIGNAGE  
(RESIDENCE INN)**

DRAWINGS NO.  
**A-607**



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

02/27/2020  
DATE

27/2020  
DATE

WILLIAM J. ZALEWSKI  
062-46121  
REGISTERED  
PROFESSIONAL  
ENGINEER OF ILLINOIS

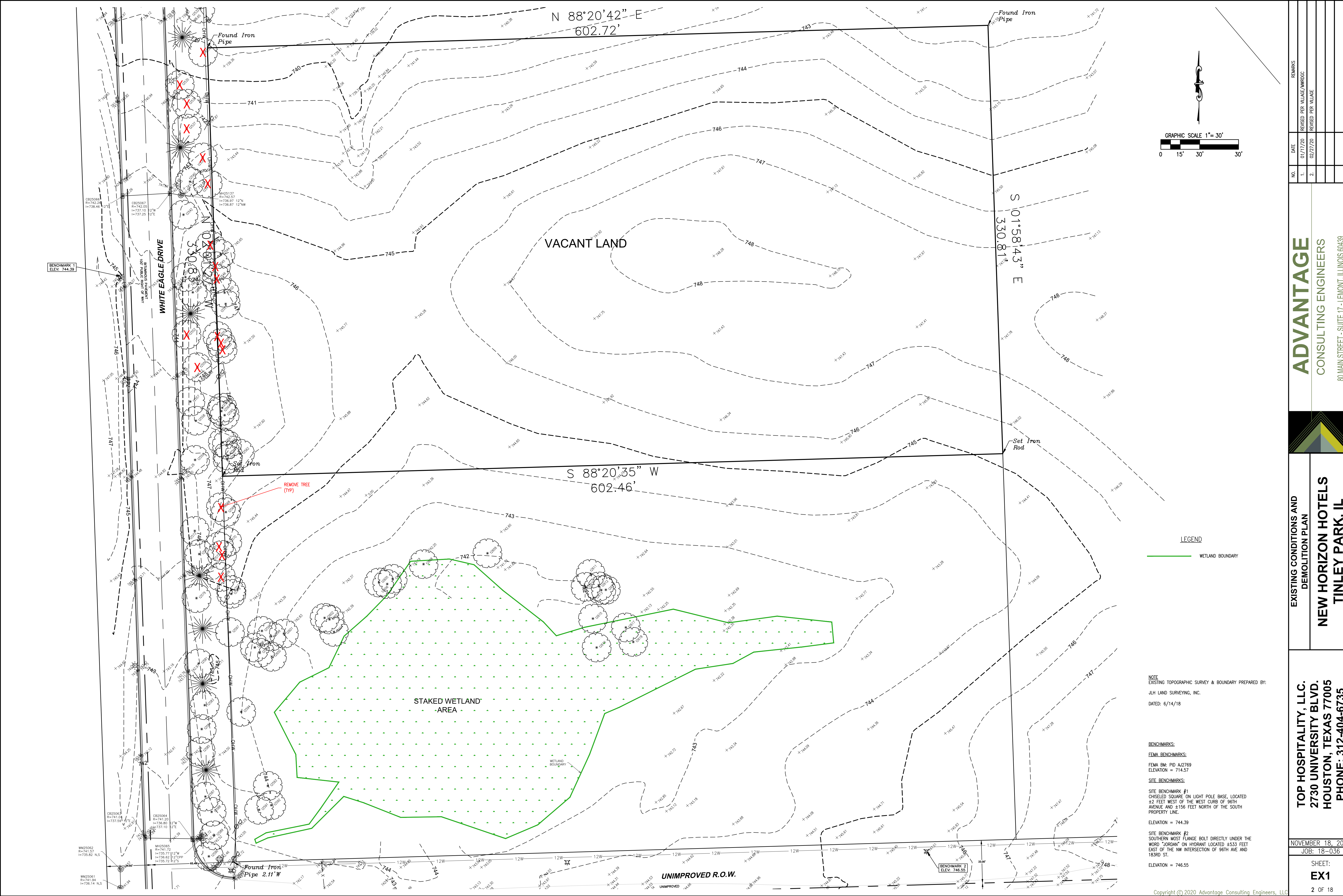
# ADVANTAGE CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439

847-260-4758

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REMARKS

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NO.

1.

2.

DATE

01/17/20

02/27/20

ADVANTAGE

CONSULTING ENGINEERS

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847-260-1758

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EXISTING CONDITIONS AND DEMOLITION PLAN

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

NOVEMBER 18, 2019

JOB: 18-036

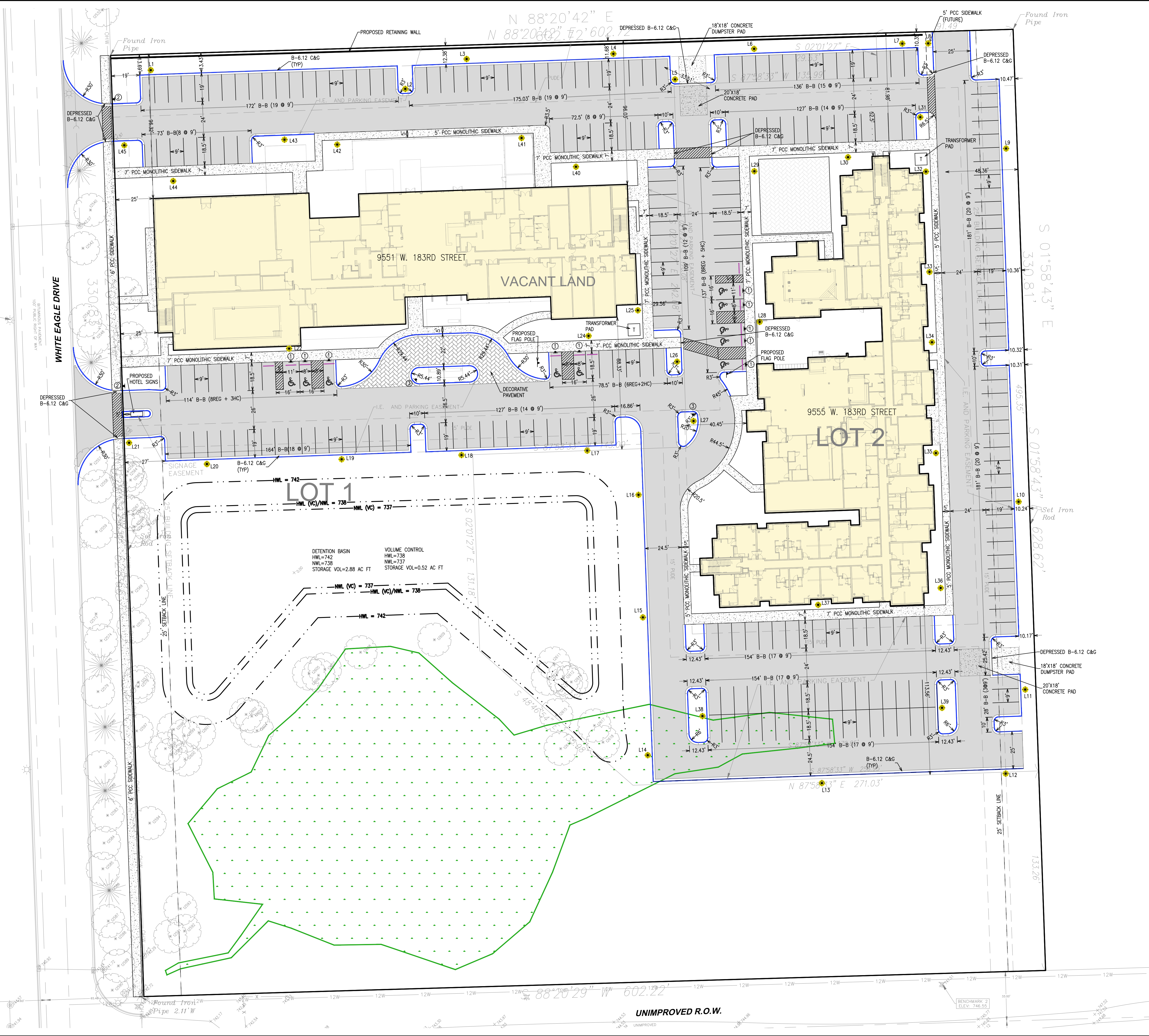
SHEET: EX1

2 OF 18

NOTE  
EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:  
JLH LAND SURVEYING, INC.  
DATED: 6/14/18

BENCHMARKS:  
FEMA BENCHMARKS:  
FEMA BM: PID AJ2769  
ELEVATION = 714.57  
SITE BENCHMARKS:  
SITE BENCHMARK #1  
CHISELED SQUARE ON LIGHT POLE BASE, LOCATED  
±2 FEET WEST OF THE WEST CURB OF 96TH  
AVENUE AND ±156 FEET NORTH OF THE SOUTH  
PROPERTY LINE.  
ELEVATION = 744.39  
SITE BENCHMARK #2  
SOUTHERN MOST FLANGE BOLT DIRECTLY UNDER THE  
WORD "JORDAN" ON HYDRANT LOCATED ±533 FEET  
EAST OF THE NW INTERSECTION OF 96TH AVE AND  
183RD ST.  
ELEVATION = 746.55





- CURB LEGEND(COLOR CODED):
- B-6.12 CURB AND GUTTER
  - DEPRESSED CURB OR CURB OPENING
  - WHEEL STOP

- NOTES:
- ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAPPED RAMP.
  - ALL CURB RADI AT INTERSECTIONS TO BE 3' UNLESS NOTED OTHERWISE.
  - ALL STREET DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  - ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
  - THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.

- SIGN LEGEND:
- HANDICAP PARKING SIGN W/ \$350 FINE SIGN
  - STOP SIGN
  - DO NOT ENTER SIGN

REMARKS

DATE

NO.

1.

2.

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GEOMETRIC PLAN

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

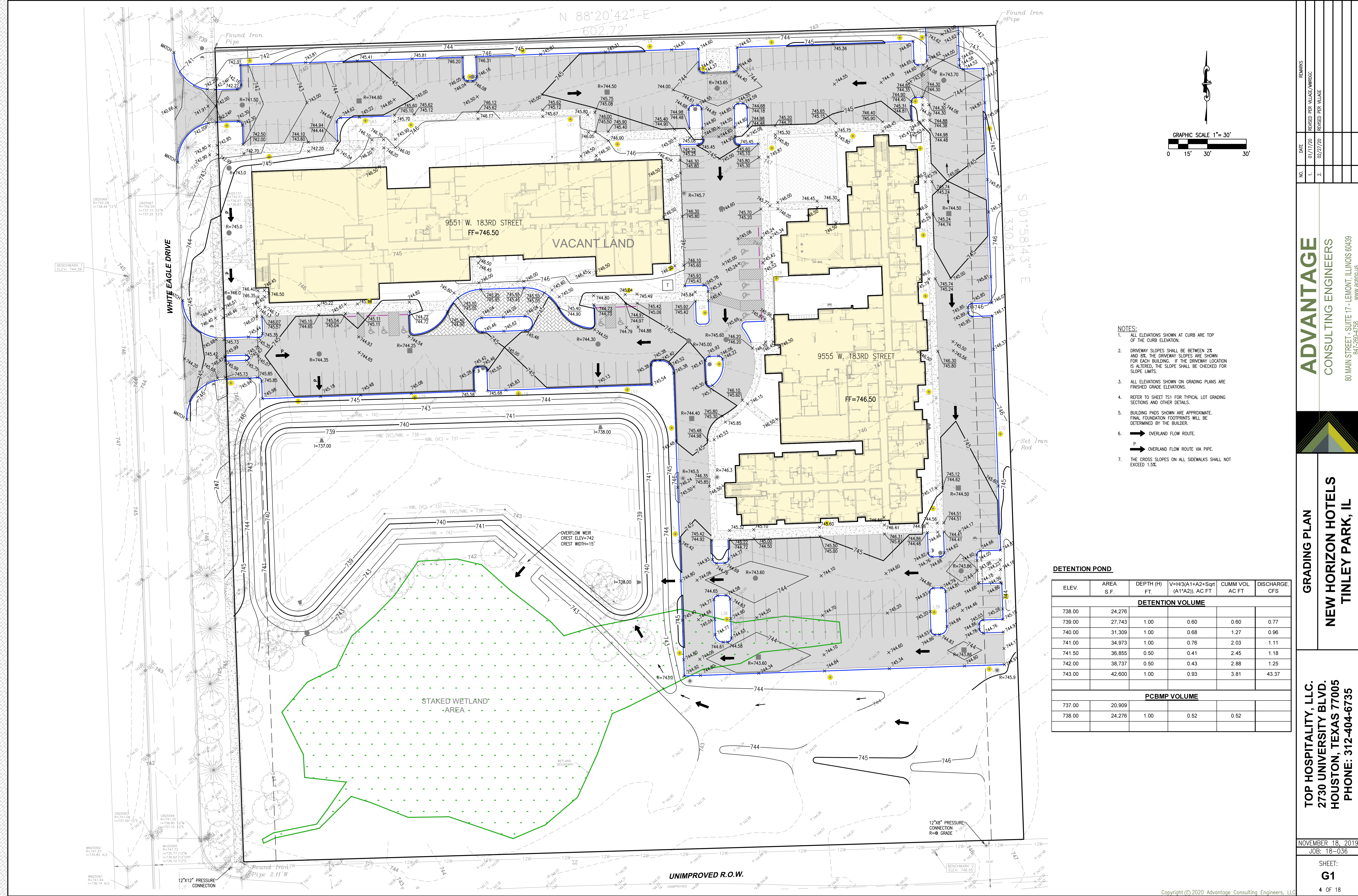
NOVEMBER 18, 2019

JOB: 18-036

SHEET: L1

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- NOTES:
- ALL ELEVATIONS SHOWN AT CURB ARE TOP OF THE CURB ELEVATION.
  - DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 8%. THE DRIVEWAY SLOPES ARE SHOWN FOR EACH BUILDING. IF THE DRIVEWAY LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
  - ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
  - REFER TO SHEET T51 FOR TYPICAL LOT GRADING SECTIONS AND OTHER DETAILS.
  - BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
  - OVERLAND FLOW ROUTE.
  - OVERLAND FLOW ROUTE VIA PIPE.
  - THE CROSS SLOPES ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.

DETENTION POND

ELEV.	AREA S.F.	DEPTH (H) FT.	$V = H/3(A1 + A2 + \text{Sqrt}(A1 \cdot A2))$ AC FT	CUMM VOL. AC FT	DISCHARGE CFS
DETENTION VOLUME					
738.00	24,276				
739.00	27,743	1.00	0.60	0.60	0.77
740.00	31,309	1.00	0.68	1.27	0.96
741.00	34,973	1.00	0.76	2.03	1.11
741.50	36,855	0.50	0.41	2.45	1.18
742.00	38,737	0.50	0.43	2.88	1.25
743.00	42,600	1.00	0.93	3.81	43.37
PCBMP VOLUME					
737.00	20,909				
738.00	24,276	1.00	0.52	0.52	

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GRADING PLAN  
NEW HORIZON HOTELS  
TINLEY PARK, IL

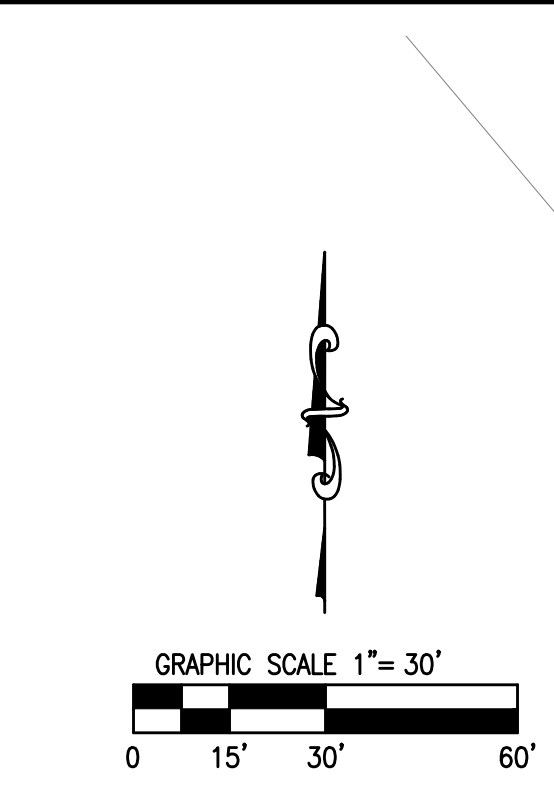
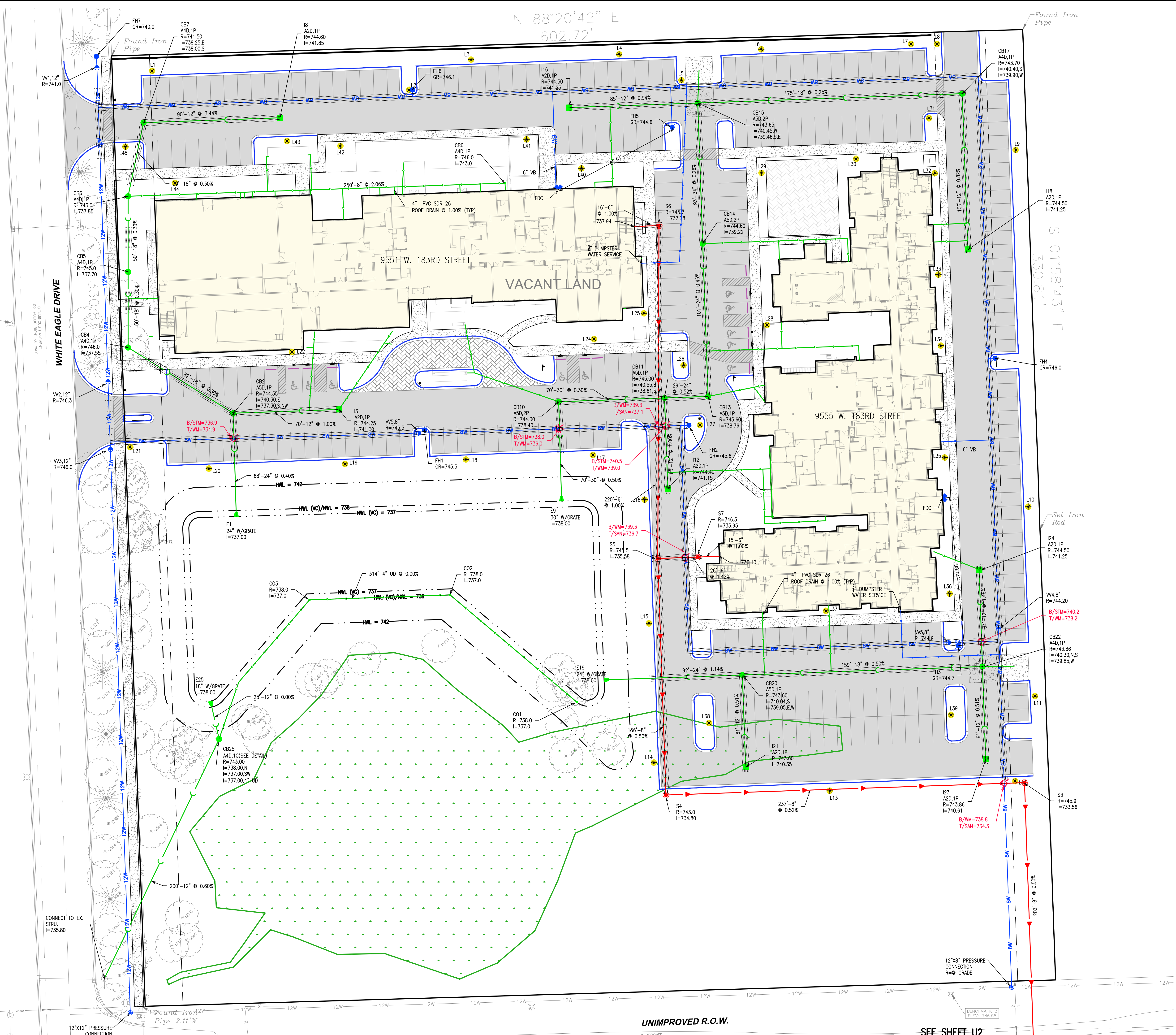
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HOUSTON, TEXAS 77005  
PHONE: 312-404-6735

NOVEMBER 18, 2019  
JOB: 18-036

SHEET:  
G1

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- NOTES FOR OVERALL UTILITY PLAN, ALL UTILITY SHEETS, AND PLAN AND PROFILE SHEETS:
- ALL 12" AND 15" STORM SEWERS SHALL BE RCP CL V, ALL OTHER STORM SEWERS TO BE RCP CL IV UNLESS NOTED OTHERWISE.
  - ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
  - ALL WATER MAIN SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE.
  - THE UNDERDRAIN SHALL BE PERFORATED PVC SDR 26 OR ADS N-12.
  - THE FRAME & GRATE/LID FOR STORM STRUCTURES SHALL BE AS FOLLOWS:  
1P: NEENAH R-1712, TYPE D GRATE  
1C: NEENAH R-1712, TYPE B CLOSED LID
  - UTILITY STRUCTURE SYMBOL LEGEND:  
M36: MANHOLE, STRUCTURE # 36  
I: INLET  
CB: CATCH BASIN  
M: MANHOLE  
E: FLARED END SECTION  
S: SANITARY MANHOLE  
FH: FIRE HYDRANT  
VV: VALVE VAULT  
PC: PRESSURE CONNECTION  
UD: PERFORATED UNDERDRAIN  
A40.1P: TYPE A, 4" DIA, TYPE OF FRAME AND GRATE/LID.
  - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES FOR CONNECTION OF PROPOSED UTILITIES.
  - CONTRACTOR SHALL COORDINATE ANY ROAD CLOSURES FOR OPEN CUT UTILITY WORK WITH THE APPROPRIATE AUTHORITIES.
  - LONG SERVICES INCLUDE TRENCH BACKFILL CA-6 CRUSHED AGGREGATE.
  - 1-6" PVC SCH 40 CONDUIT FOR GAS
  - 3-4" PVC SCH 40 CONDUITS FOR COMED, AMERITECH, CABLE
  - ALL CONDUITS SHALL BE 30" BELOW FINISHED GRADE.
  - PIPE CROSSING

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**UTILITY PLAN**  
**NEW HORIZON HOTELS**  
**TINLEY PARK, IL**

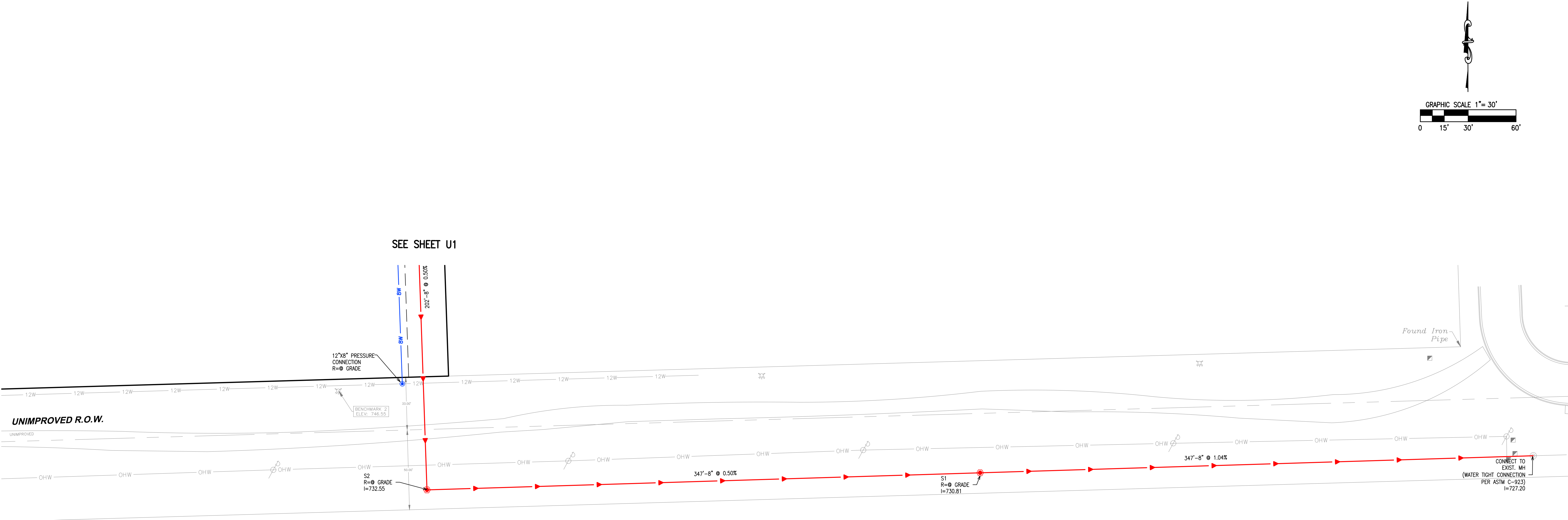
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UNIMPROVED R.O.W.

SEE SHEET U2

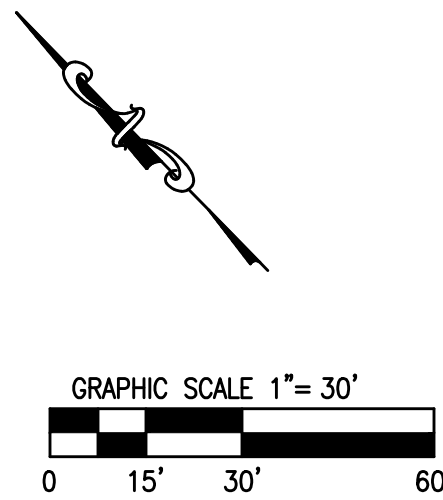
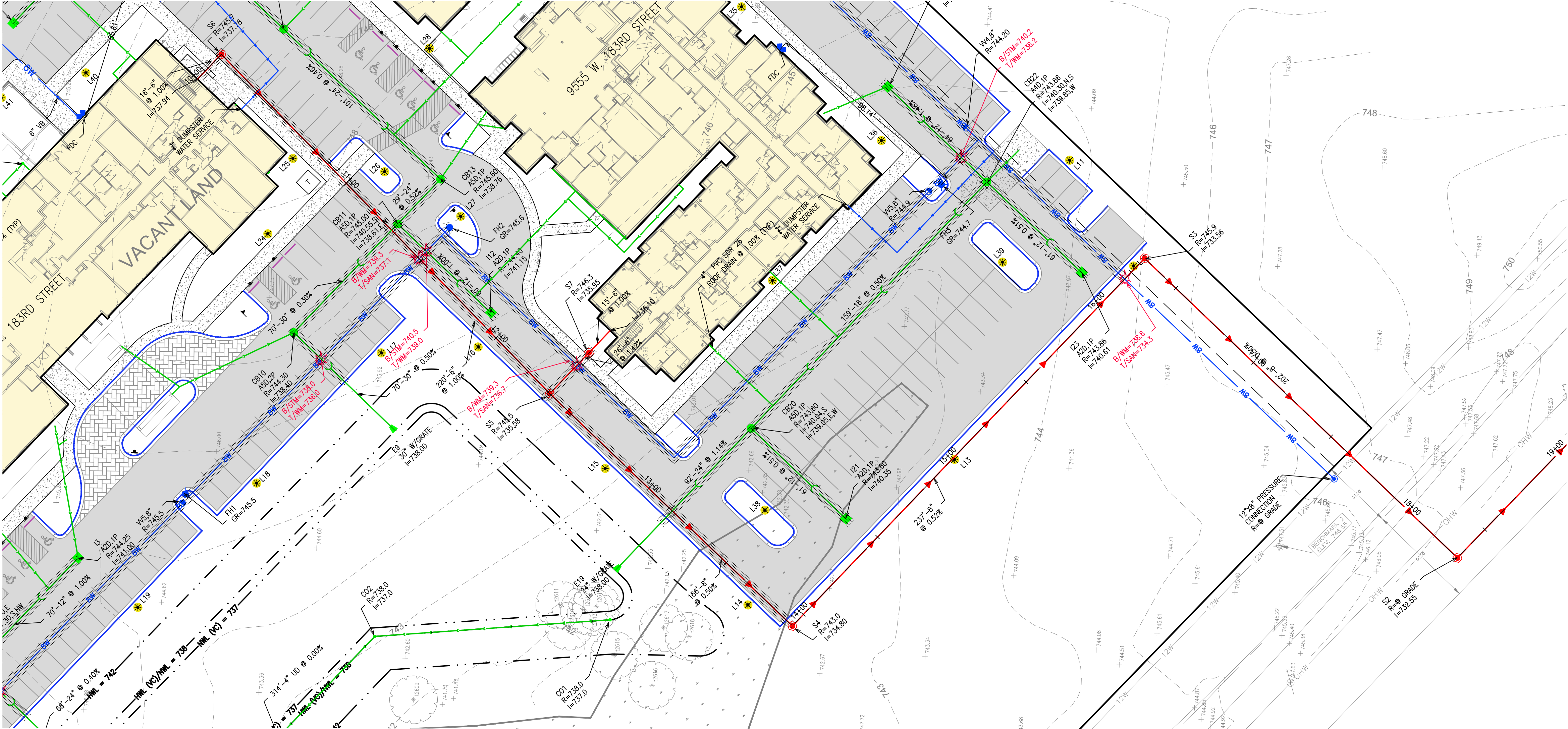




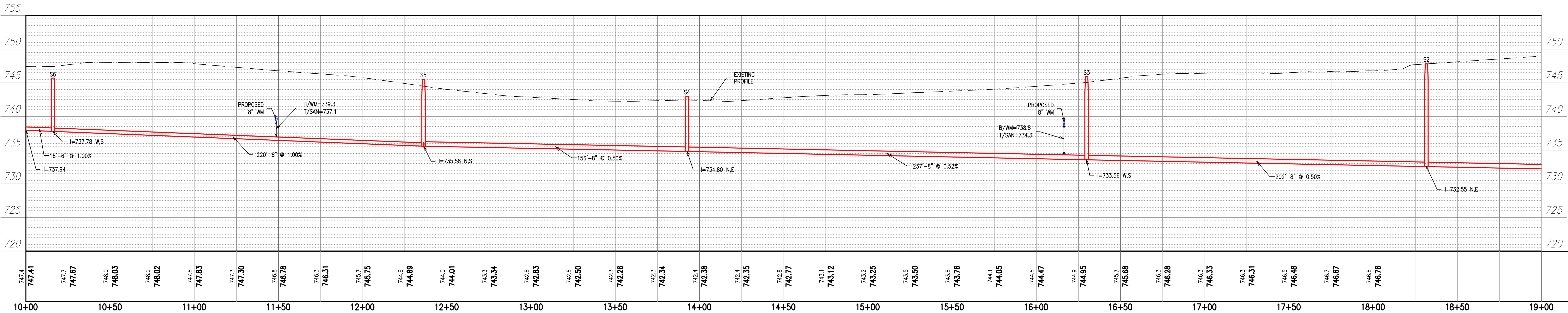
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	01/17/20									
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SHEET: U2										
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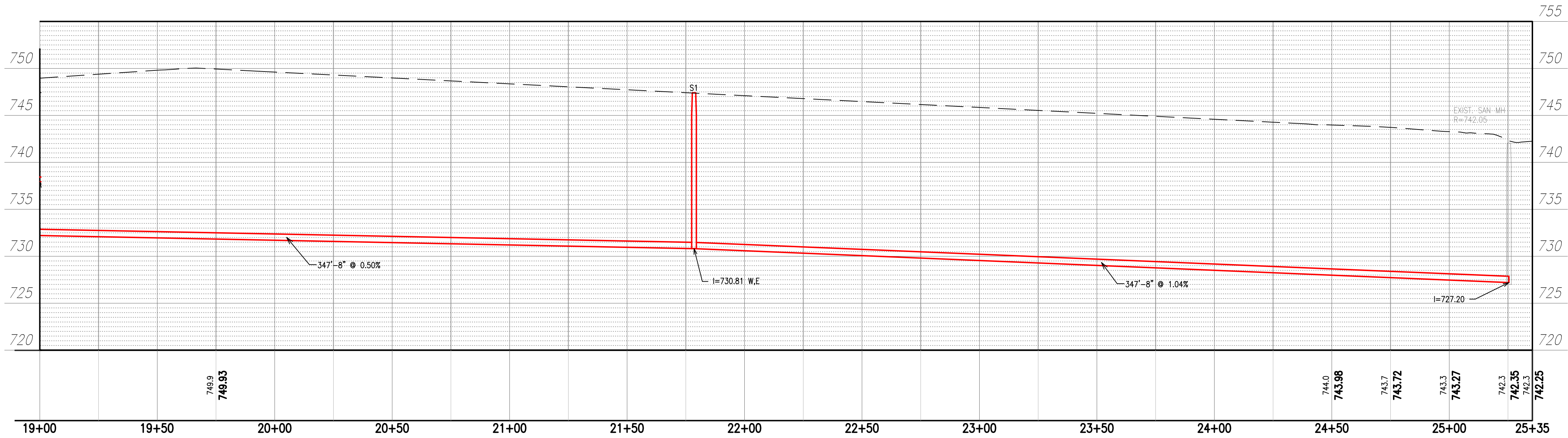
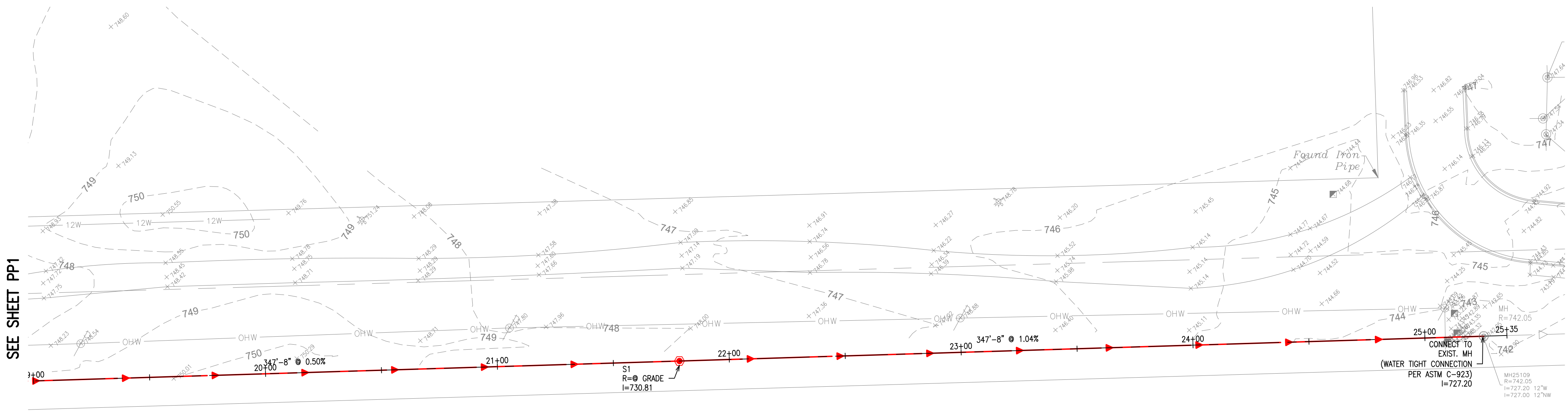


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CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMAN	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING		TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGE WAYS WHERE SEEDING MAY BE DIFFICULT.		X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING		CO	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.	X		N/A
	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AG	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PV	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
DIVERSIONS	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTION WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDED ADEQUATE STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X		REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN	X	UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SOIL STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DRAINER SEDIMENT BASINS.	X		N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SPS	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.	X		CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DRS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.	X		CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.	X		CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.	X		CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X		REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED
	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES – DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT BASINS	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES – DETAIN WATER WITH CONTROLLED RELEASE.	X		CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SILT FENCE	X	SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
SEDIMENT FILTERS	VEGETATIVE FILTER		VF	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X		REDO ANY FAILING AREAS.
	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X		SCRAPE MUD AND REPLACE STONE AS NEEDED.
MUD AND DUST CONTROL	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X		RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET		EB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.	X	X	REPLACE AS NEEDED
EROSION CONTROL	TURF REINFORCEMENT MAT		TM	REINFORCES TURF IN CHANNELS AND SHORELINES.	X	X	REPLACE AS NEEDED
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.	X	X	REPLACE AS NEEDED
	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.		X	REPLACE AS NEEDED
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.	X	X	REPLACE AS NEEDED
SEDIMENT CONTROL	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.		X	REPLACE AS NEEDED
	INLET PROTECTION	X	IF	USED FOR PROTECTION OF INLETS.	X		REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.	X	X	CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.	X		CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG		FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.	X		REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.	X		REPLACE WHEN FABRIC IS TORN OR HOLES BEGIN TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.	X		REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGIN TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.	X		CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING	X	SS	USED TO PREVENT SILT BUILD UP IN STREETS.	X		CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (in)	DISCHARGE Q (CFS)	LENGTH OF APRON Ld (FT)	MEDIAN RIPRAP SIZE C (in)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIP RAP d (in)	AREA OF RIP RAP (SQ.YDS.)	VOLUME OF RIP RAP (CU.YDS.)
ALL	12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION – MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION – OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

CONSTRUCTION SCHEDULE–2020–21

DESCRIPTION	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
EROSION CONTROL									
SITE CLEARING									
MASS GRADING									
UTILITIES									
PAVING									
SITE STABILIZATION									

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES AND SOIL EROSION AND SEDIMENT CONTROL ORDINANCE FOR THE COUNTY.

1. SITE DESCRIPTION.

1. THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY FOLLOWING MASS GRADING WHICH IS THE SUBJECT OF THIS PLAN:
- THE PROPOSED DEVELOPMENT CONSISTS OF CONSTRUCTION OF NEW HORIZON HOTELS DEVELOPMENT THE CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENTS INCLUDE:
- A. MASS GRADING  
B. PAVEMENT CONSTRUCTION  
C. INSTALLATION OF UTILITIES INCLUDING STORM SEWERS  
D. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, AS A MINIMUM.
2. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE, SUCH AS GRUBBING, EXCAVATION, AND GRADING:
- THE SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:
- A. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE  
B. MASS GRADING  
C. UNDERGROUND UTILITIES INSTALLATION  
D. FINE GRADING IN PAVEMENT AREA  
E. PAVEMENT CONSTRUCTION
- THE SOIL EROSION AND SEDIMENTATION CONTROL ITEMS WILL BE INSTALLED FIRST AND AS NEEDED DURING THE ABOVE CONSTRUCTION ACTIVITIES.
3. THE TOTAL ESTIMATED AREA OF THE SITE IS 8.69 ACRES.  
THE TOTAL ESTIMATED AREA OF THE SITE TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS 8.69 ACRES.
4. THE ESTIMATED RUNOFF COEFFICIENTS OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORM WATER MANAGEMENT FOR NEW HORIZON HOTELS PREPARED BY ADVANTAGE CONSULTING ENGINEERS WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.
- THE ESTIMATED PROPOSED OVERALL SITE RUNOFF COEFFICIENT IS PER STORM REPORT.  
EXISTING DATA DESCRIBING SOILS IS INCLUDED IN SOILS REPORT BY COMT, INC. OR NOT AVAILABLE

- NAME OF RECEIVING WATER(S) EXIST. STORM SEWER  
NAME OF ULMATE RECEIVING WATER(S) \_\_\_\_\_  
WETLAND ACREAGE 1.01 AC
5. POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY INCLUDE:
- A. SEDIMENT FROM DISTURBED SOILS  
B. PORTABLE SANITARY STATIONS  
C. FUEL TANKS  
D. STAGING AREAS  
E. WASTE CONTAINERS  
F. CHEMICAL STORAGE AREAS  
G. OIL OR OTHER PETROLEUM PRODUCTS  
H. ADHESIVES  
I. TAR  
J. SOLVENTS  
K. DETERGENTS  
L. FERTILIZERS  
M. RAW MATERIALS (E.G., BAGGED PORTLAND CEMENT)  
N. CONSTRUCTION DEBRIS  
O. LANDSCAPE WASTE  
P. CONCRETE AND CONCRETE TRUCKS  
Q. LITTER

2. CONTROLS.

THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1 ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE INCLUDED AS A PART OF THIS PLAN.

1. EROSION AND SEDIMENT CONTROLS.
- STABILIZATION PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED ON ALL DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS.
- WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECEDDED BY SNOW COVER, STABILIZATION MEASURES SHALL BY INITIATED AS SOON AS PRACTICABLE THEREAFTER.
- THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:
- A. PERMANENT SEEDING  
B. SILT FILTER FENCE  
C. STABILIZED CONSTRUCTION ENTRANCE
2. STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STONE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

- A. DETENTION POND  
B. STORM SEWER SYSTEM  
C. RIP-RAP FOR OUTLET PROTECTION  
D. INLET PROTECTION
3. DUST CONTROL. DUST CONTROL SHALL BE PROVIDED PER STANDARD 825 OF ILLINOIS URBAN MANUAL. THE FOLLOWING METHODS FOR THE DUST CONTROL CAN BE USED.
- A. IRRIGATION  
B. SPRAY ON ADHESIVE  
C. VEGETATIVE COVER  
D. MULCHING
4. STORM WATER MANAGEMENT.
- PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

- THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND OTHER ORDINANCES LISTED IN THE SPECIFICATIONS.
- THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:
- A. BARRIER FILTERS  
B. STORM SEWERS  
C. RETENTION/DETENTION PONDS  
D. PERMANENT SEEDING  
E. OUTLET PROTECTION
5. VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).
- STORM WATER MANAGEMENT CONTROL INCLUDES:
- A. RIP-RAP FOR OUTLET PROTECTION (SEE RIP RAP TABLE FOR QUANTITY)
3. APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND THE MUNICIPAL SUBDIVISION ORDINANCE. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS OR SITE PERMITS OR STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

7. WASTE MANAGEMENT
- SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF SITE BY THE CONTRACTORS. THE CONTRACTORS ARE RESPONSIBLE TO ACQUIRE THE PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS INCLUDING BUILDING MATERIALS SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE TO THE WASTE. THE WASTE SHOULD BE STORED IN A MANNER THAT PREVENTS WASTES FROM BEING DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE, IF NECESSARY. CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ON SITE. WASTE DISPOSAL SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ON-SITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
8. CONCRETE WASTE MANAGEMENT
- CONCRETE WASTE OR WASHOUT IS NOT ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. WHEN PRACTICABLE, A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE, AND SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.
- THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 60% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND USED AGAIN ON SITE (AS APPROVED BY THE ENGINEER) OR HAULED OFF SITE TO AN APPROPRIATE LANDFILL.
9. CONCRETE CUTTING
- CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE OR IMMEDIATELY AFTER A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANE-UP AND DEPOSITED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.
10. VEHICLE STORAGE AND MAINTENANCE

- WHEN NOT IN USE, CONSTRUCTION VEHICLES SHOULD BE STORED IN A DESIGNATED AREA(S) OUTSIDE OF THE REGULATORY FLOODPLAIN, AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. CONTROLS SHOULD BE INSTALLED TO MINIMIZE THE POTENTIAL OF RUNOFF FROM THE STORAGE AREA(S) FROM REACHING STORM DRAINS OR WATER COURSES. VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN A DESIGNATED AREA(S) TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER VEHICLE-RELATED CHEMICALS IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) AND EPA REGULATIONS AND PER MATERIAL SAFETY DATA SHEET (MSDS) AND/OR MANUFACTURER INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE PRIMARY CONTACT.
11. MATERIAL STORAGE AND GOOD HOUSEKEEPING
- MATERIALS AND/OR CONTAINMENTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ON-SITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ON SITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE FOR REFERENCING CLEAN-UP PROCEDURES. ANY RELEASE OF CHEMICALS/CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE PRIMARY CONTACT, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHOULD BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT: AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

- ALL MATERIALS STORED ON SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND ADEQUATELY PROTECTED FROM THE ENVIRONMENT. PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES SHOULD BE KEPT UNDER ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. OPERATIONS SHOULD BE OBSERVED AS NECESSARY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.

12. MANAGEMENT OF PORTABLE SANITARY STATIONS
- TO THE EXTENT PRACTICABLE, PORTABLE SANITARY STATIONS SHOULD BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHALL BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORTABLE SANITARY STATIONS LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (E.G., GRAVEL-BAG BERM). THE CONTRACTOR SHOULD PREVENT/AVOID UNSANITARY CONDITIONS. SANITARY WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL REGULATIONS.

13. SPILL PREVENTION AND CLEAN-UP PROCEDURES
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP SHOULD BE AVAILABLE AND SITE PERSONNEL SHOULD BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHOULD BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHOULD INCLUDE, BUT ARE NOT LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC AND/OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

14. DE-WATERING OPERATIONS
- DURING DE-WATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (E.G., STONE), SEDIMENT FILTER BAG, OR BOTH. ADEQUATE EROSION CONTROLS SHOULD BE USED DURING DE-WATERING OPERATIONS AS NECESSARY. STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION AS APPLICABLE. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED AT THE OUTLET AREA AT THE DISCRETION OF THE PRIMARY CONTACT OR ENGINEER.

15. OFF-SITE VEHICLE TRACKING
- THE SITE SHOULD HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. STREETS SHOULD BE SWEEP AS NEEDED TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. MAINTENANCE MAY INCLUDE: TOP DRESSING THE STABILIZED ENTRANCE WITH ADDITIONAL STONE, AND REMOVING TOP LAYERS OF STONE AND SEDIMENT, AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.
16. TOPSOIL STOCKPILE MANAGEMENT
- IF TOPSOIL IS TO BE STOCKPILED AT THE SITE, SELECT A LOCATION SO THAT IT WILL NOT ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON SITE. TOPSOIL STOCKPILES SHALL NOT BE LOCATED IN THE 100-YEAR FLOODPLAIN OR DESIGNATED BUFFER PROTECTING WATERS OF THE STATE. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHOULD BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. PERIMETER CONTROLS, SUCH AS SILT FENCE, SHOULD BE PLACED AROUND THE STOCKPILE IMMEDIATELY. STABILIZATION OF THE STOCKPILE SHOULD BE COMPLETED IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS.

3. MAINTENANCE

- THE FOLLOWING IS A DESCRIPTION OF PROCEDURES TO WILL BE USED TO MAINTAIN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.
- A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONE, REMOVE AND REPLACE TOP LAYER OF STONE OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC., SHALL BE MAINTAINED, VEGETATIVE AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.
- C. SEDIMENTATION BASINS/TRAPS: SEDIMENTS SHALL BE REMOVED WHEN 40-50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY SEDIMENT. IN NO CASE SHALL SEDIMENT BE ALLOWED TO BUILD UP TO MORE THAN 1 FOOT BELOW THE CREST ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT TO RESTORE ITS ORIGINAL VOLUME.
- D. SILT FILTER FENCE: ANY DAMAGED SILT FILTER FENCE SHALL BE RESTORED TO MEET THE STANDARDS OR REMOVED AND REPLACED AS NEEDED
- E. RIP-RAP OUTLET PROTECTION: INSPECTED SHALL OCCUR AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONE THAT HAVE BEEN DISLODGED. DISTURBED RIP RAP SHALL BE REPAIRED IMMEDIATELY.
- F. DUST CONTROL: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACHIEVE DUST CONTROL.

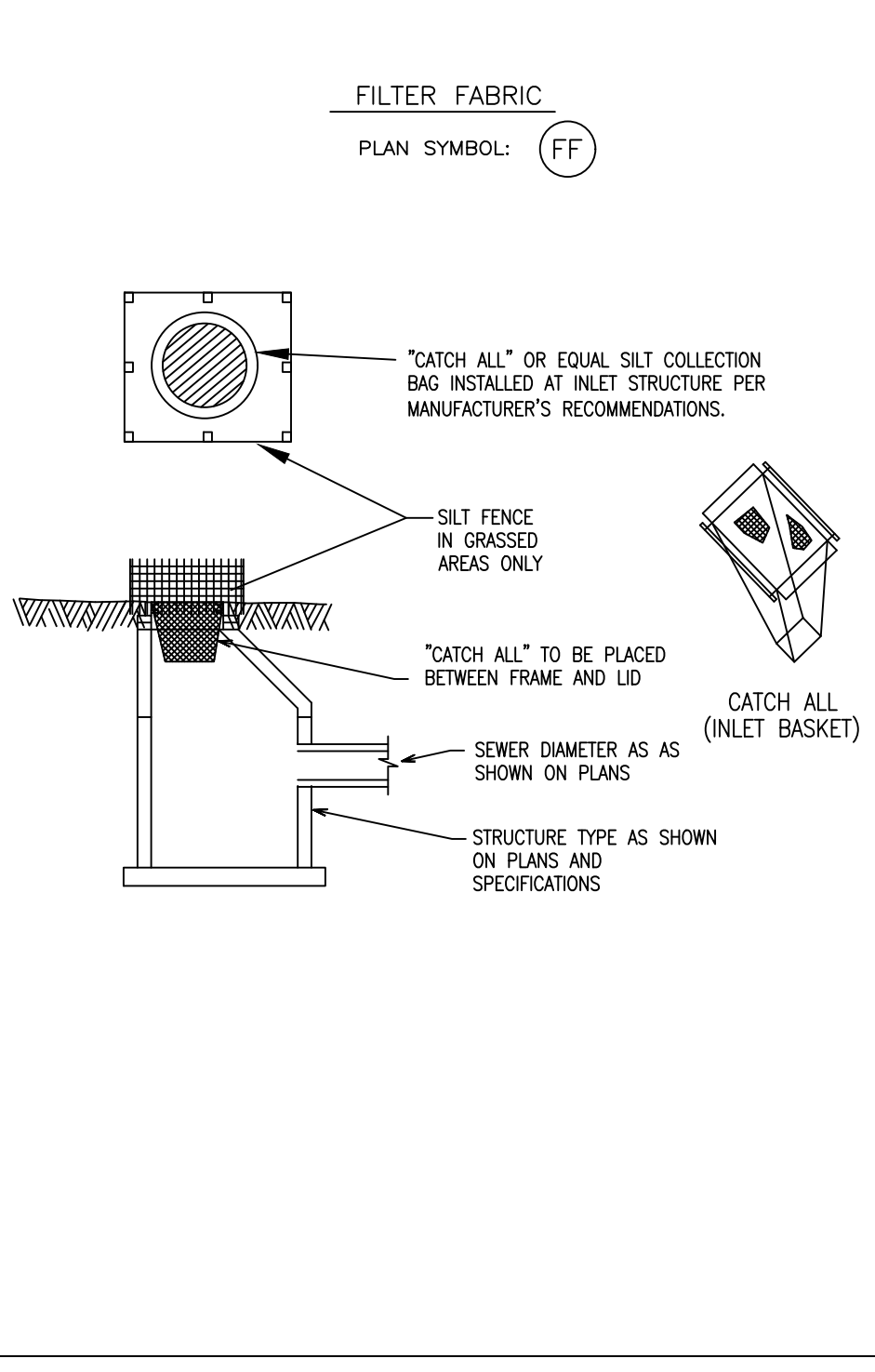
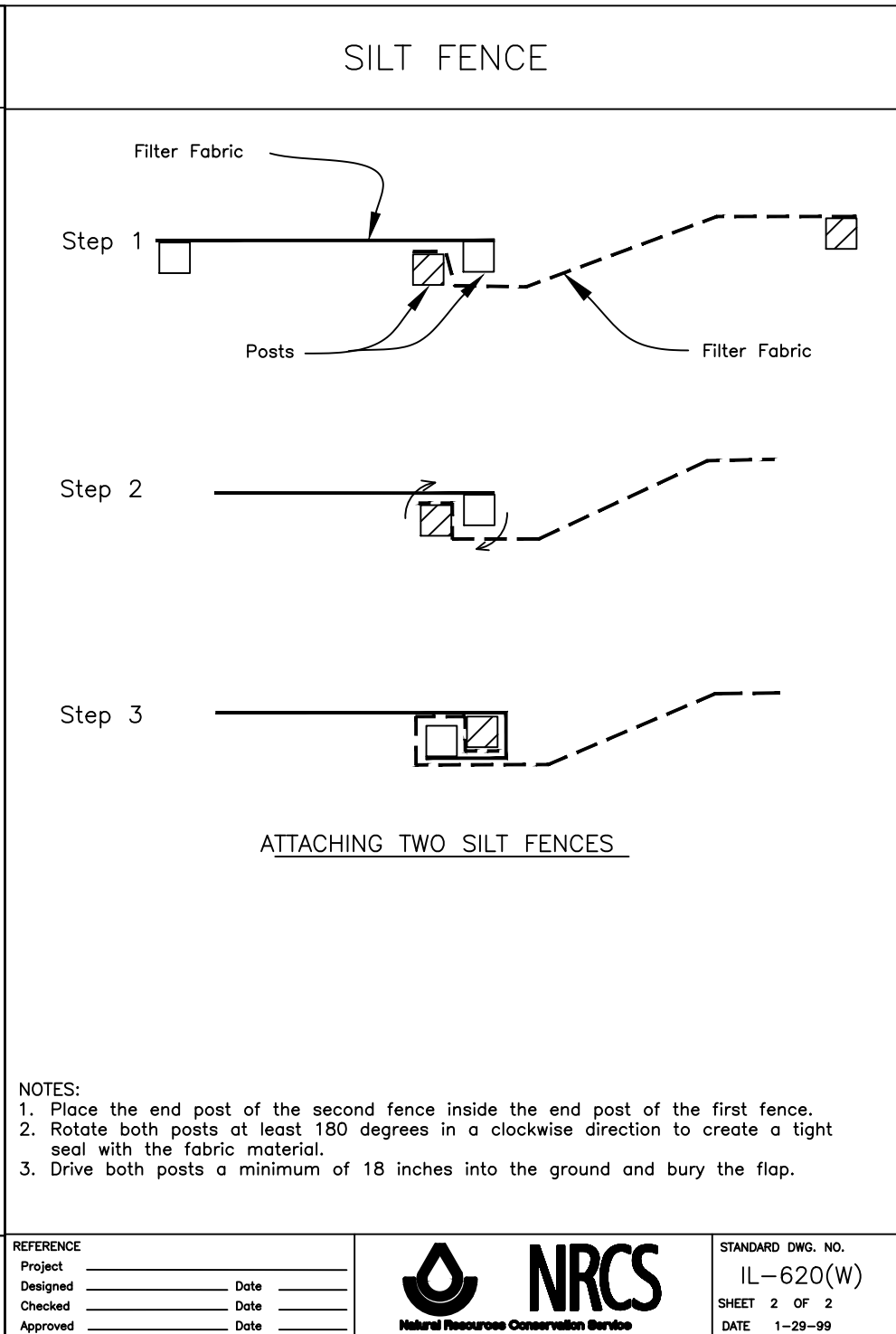
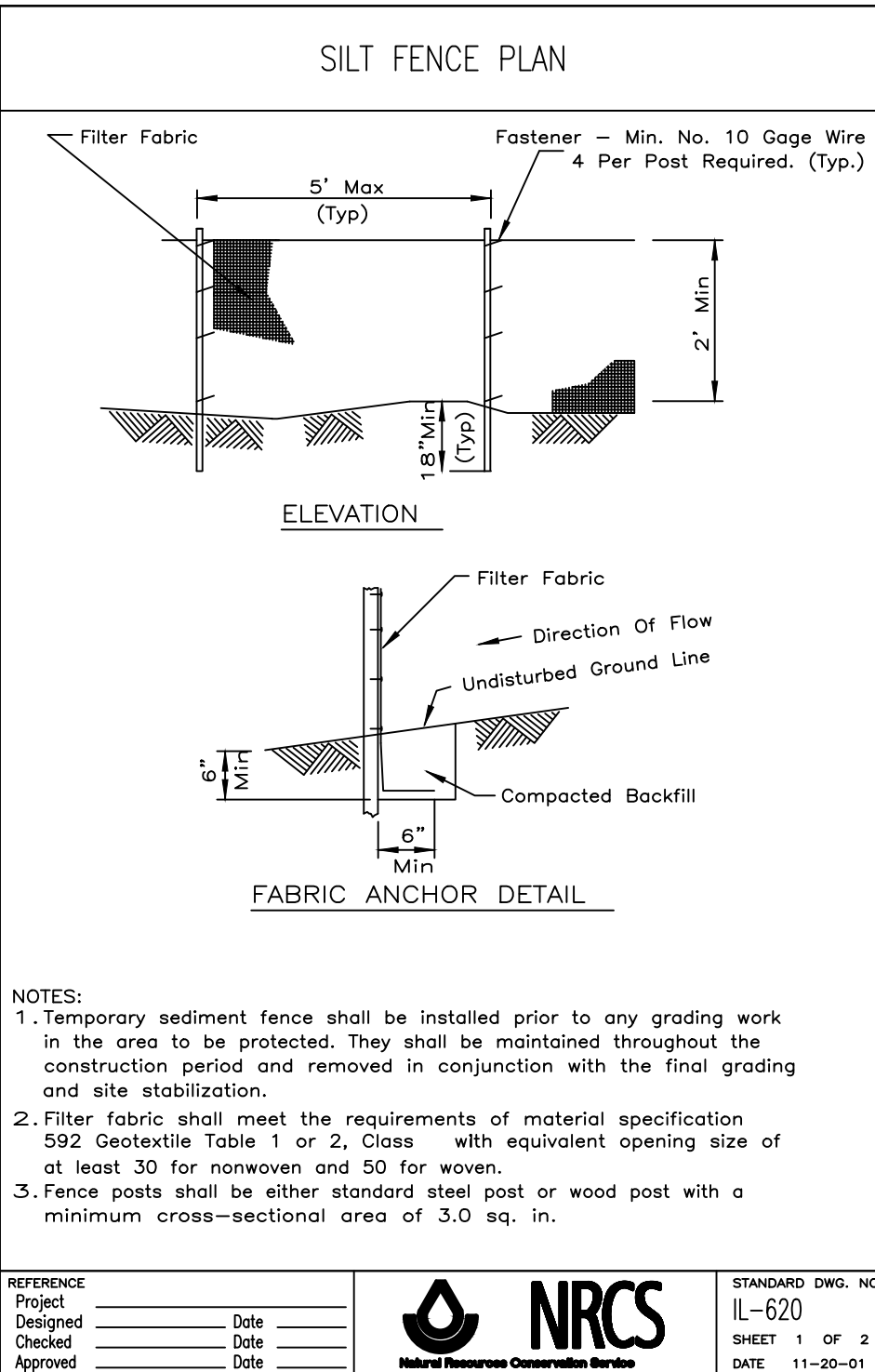
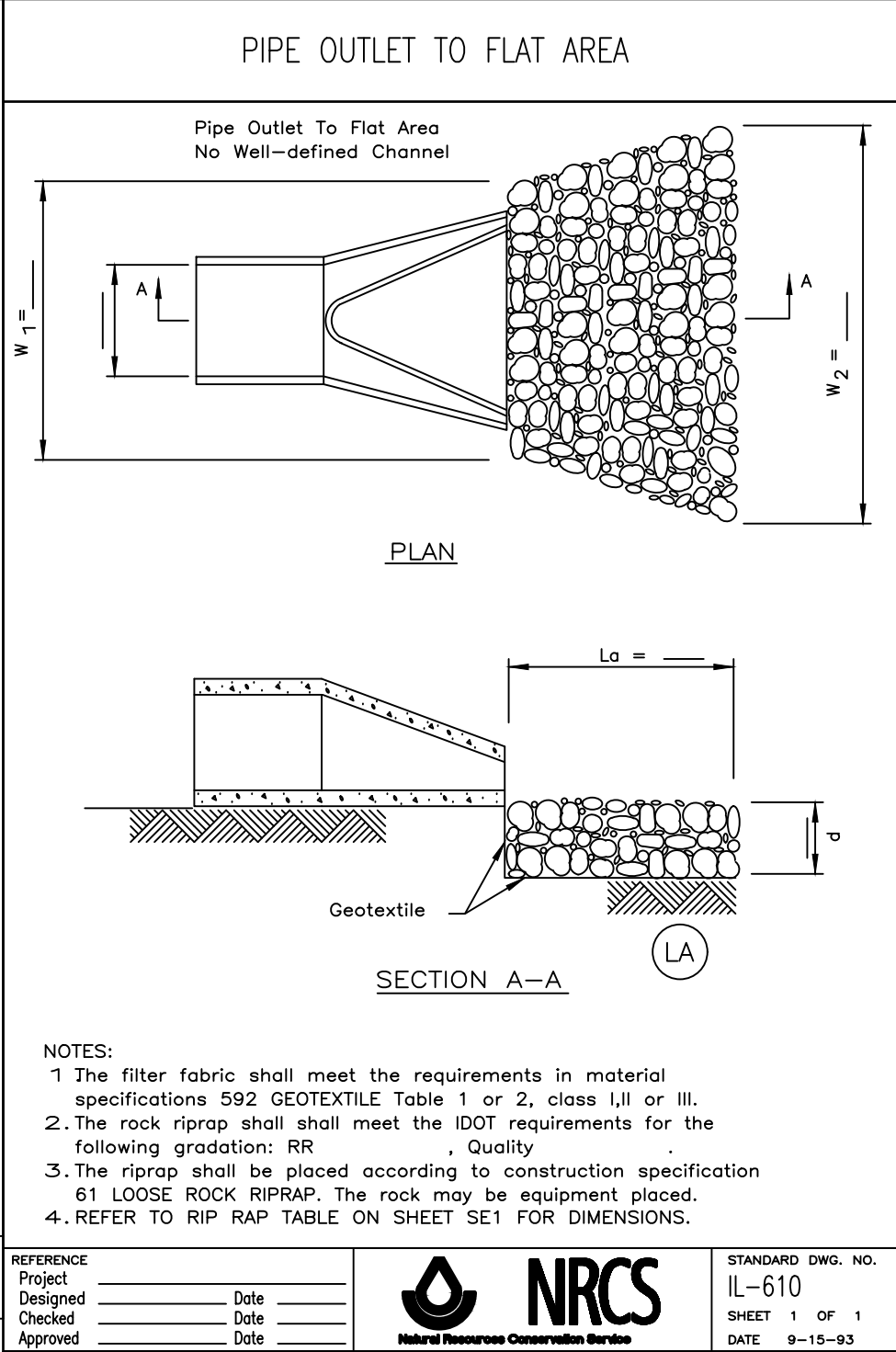
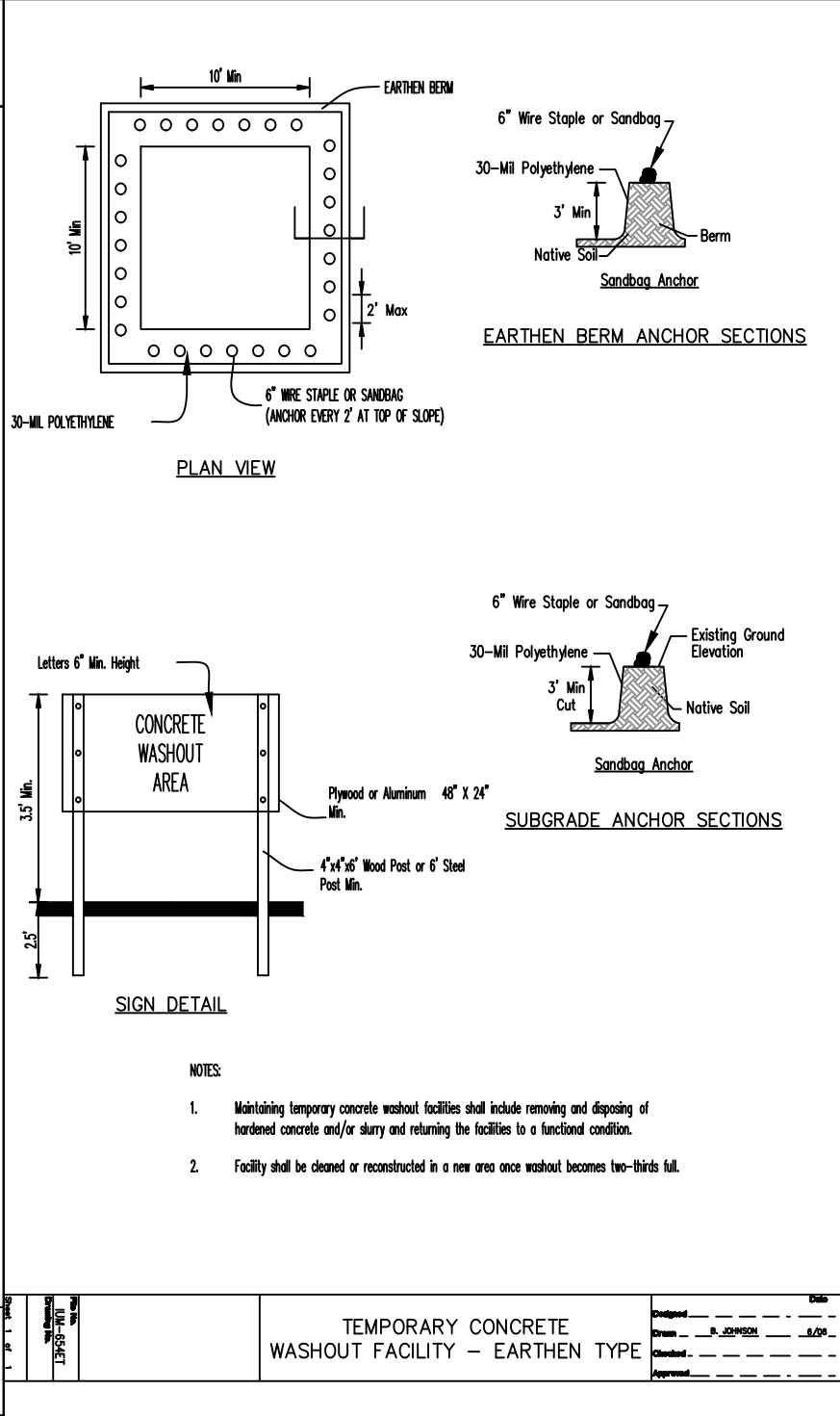
4. INSPECTIONS

1. THE OWNER, OR OWNER'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT THE DISTURBED AREAS OF THE SITE UNDER CONSTRUCTION WHICH HAVE NOT BEEN STABILIZED, ALL STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.
2. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.
3. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
4. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH APPLICABLE PART OF THE GENERAL PERMIT.
5. IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. C OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

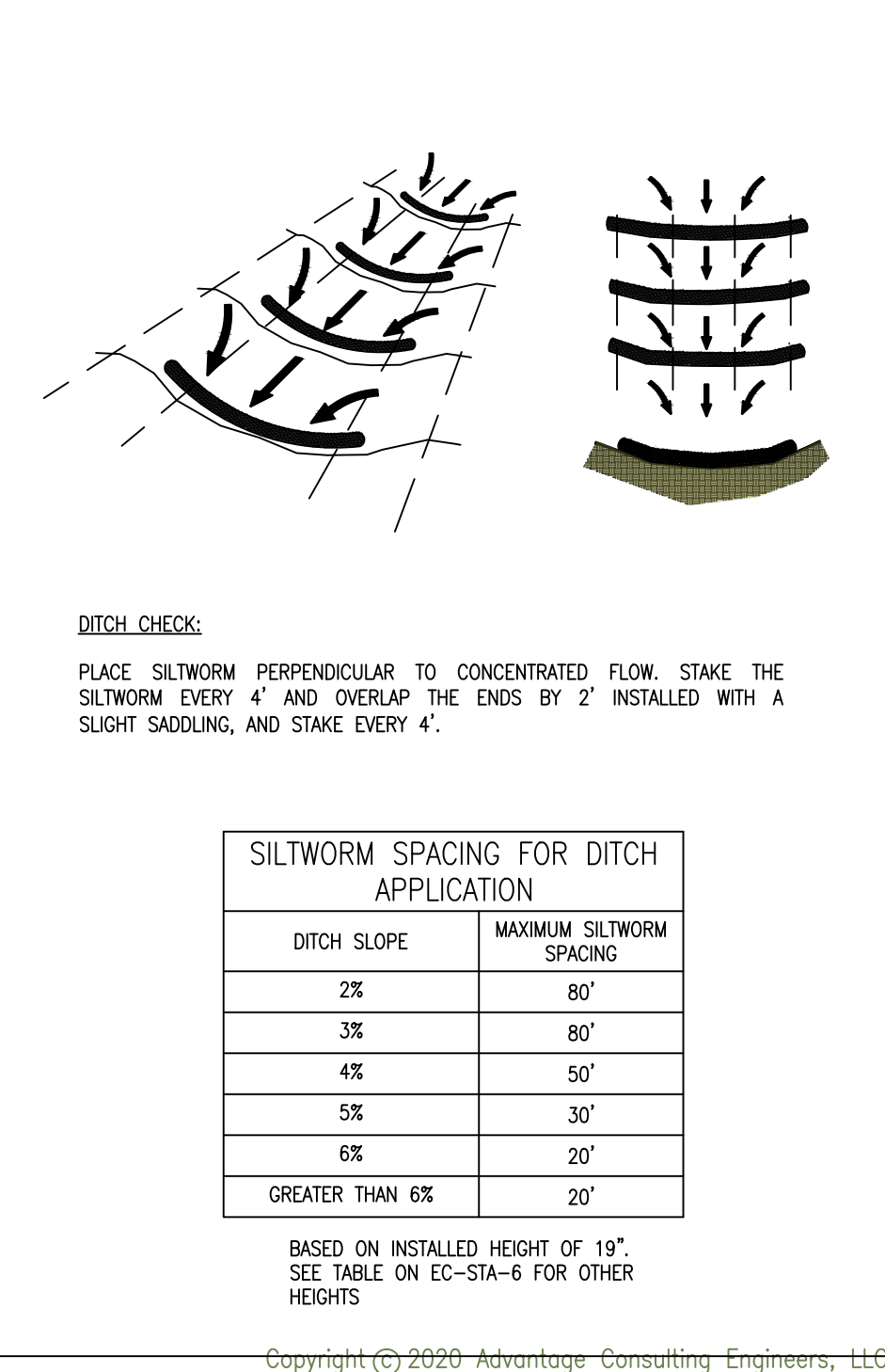
ALL PACKAGES:  
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
ATTN: COMPLIANCE ASSURANCE SECTION  
1024 NORTH GRAND AVENUE, EAST  
SPRINGFIELD, IL 62794

ALL LETTERS  
ILLINOIS ENVIRONMENTAL PROTECTION A

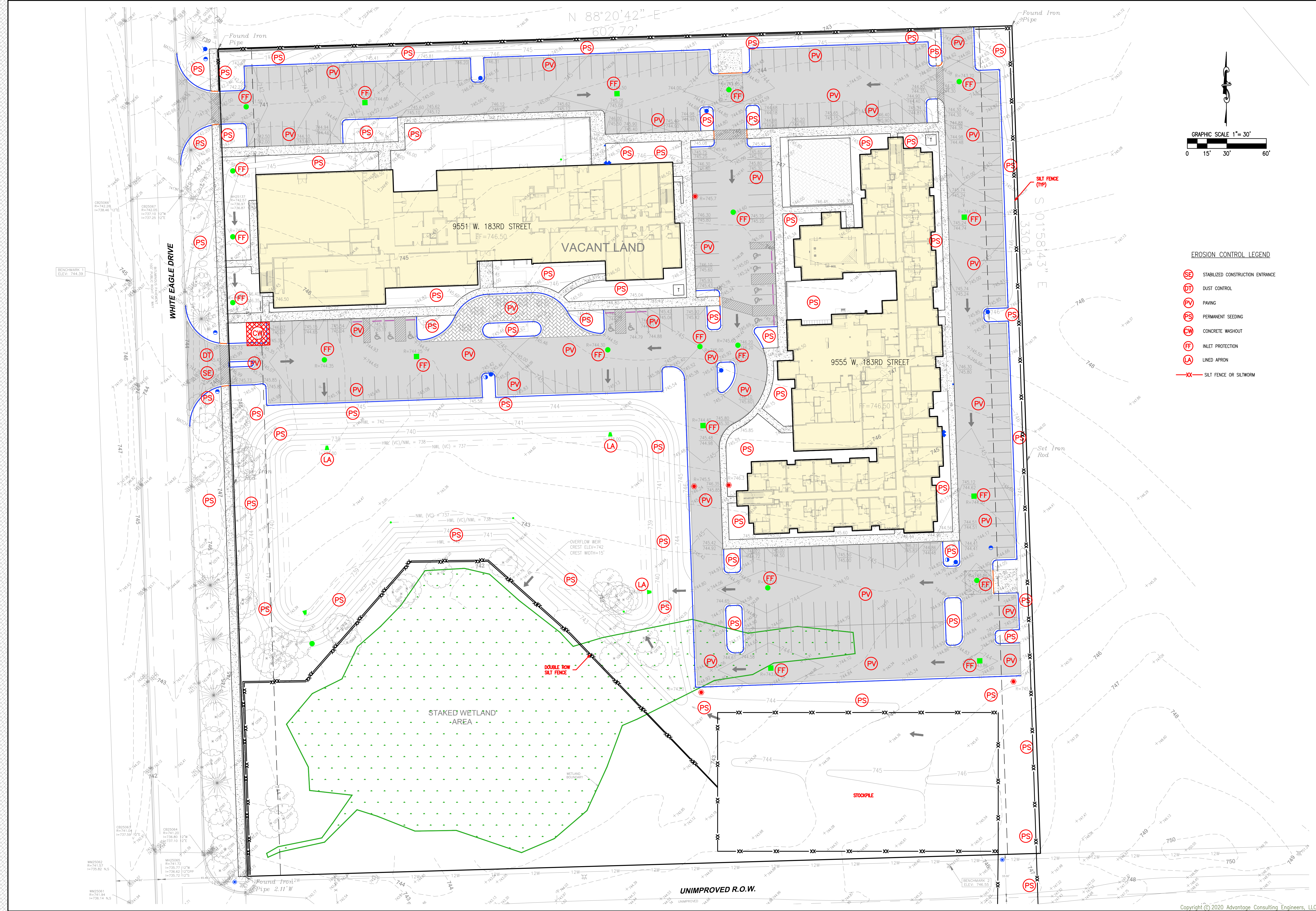




SILT WORM DITCH CHECK DAM ESTIMATED QUANTITIES						
	V - DITCH (1)			TRAPEZOIDAL DITCH (2)		
	24" SILT WORM (INSTALLED HEIGHT 19")	12" SILT WORM (INSTALLED HEIGHT 19")	18" SILT WORM (INSTALLED HEIGHT 29")	24" SILT WORM (INSTALLED HEIGHT 19")	12" SILT WORM (INSTALLED HEIGHT 19")	18" SILT WORM (INSTALLED HEIGHT 29")
LENGTH (FT)	20	60	48	24	72	60
(1) ESTIMATED QUANTITIES BASED ON A 4:1 SIDE SLOPE. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION						
(2) ESTIMATED QUANTITIES BASED ON A 4 FT BOTTOM WIDTH, 4 FT DEPTH, AND 4:1 SIDE SLOPES. QUANTITIES WILL VARY BASED ON ACTUAL DITCH CONFIGURATION						







EROSION CONTROL LEGEND

- SE STABILIZED CONSTRUCTION ENTRANCE
- DT DUST CONTROL
- PV PAVING
- PS PERMANENT SEEDING
- CW CONCRETE WASHOUT
- FF INLET PROTECTION
- LA LINED APRON
- XX SILT FENCE OR SILTWORM

REMARKS	
REVISED PER VILLAGE/WMRSC	
REVISED PER VILLAGE	
DATE	01/17/20
NO.	1.
	2.

ADVANTAGE  
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
815-260-4758  
WWW.ADVANTAGE-ILL.COM

SOIL EROSION AND  
SEDIMENT CONTROL PLAN

NEW HORIZON HOTELS  
TINLEY PARK, IL

TOP HOSPITALITY, LLC.  
2730 UNIVERSITY BLVD.  
HOUSTON, TEXAS 77005  
PHONE: 312-404-6735

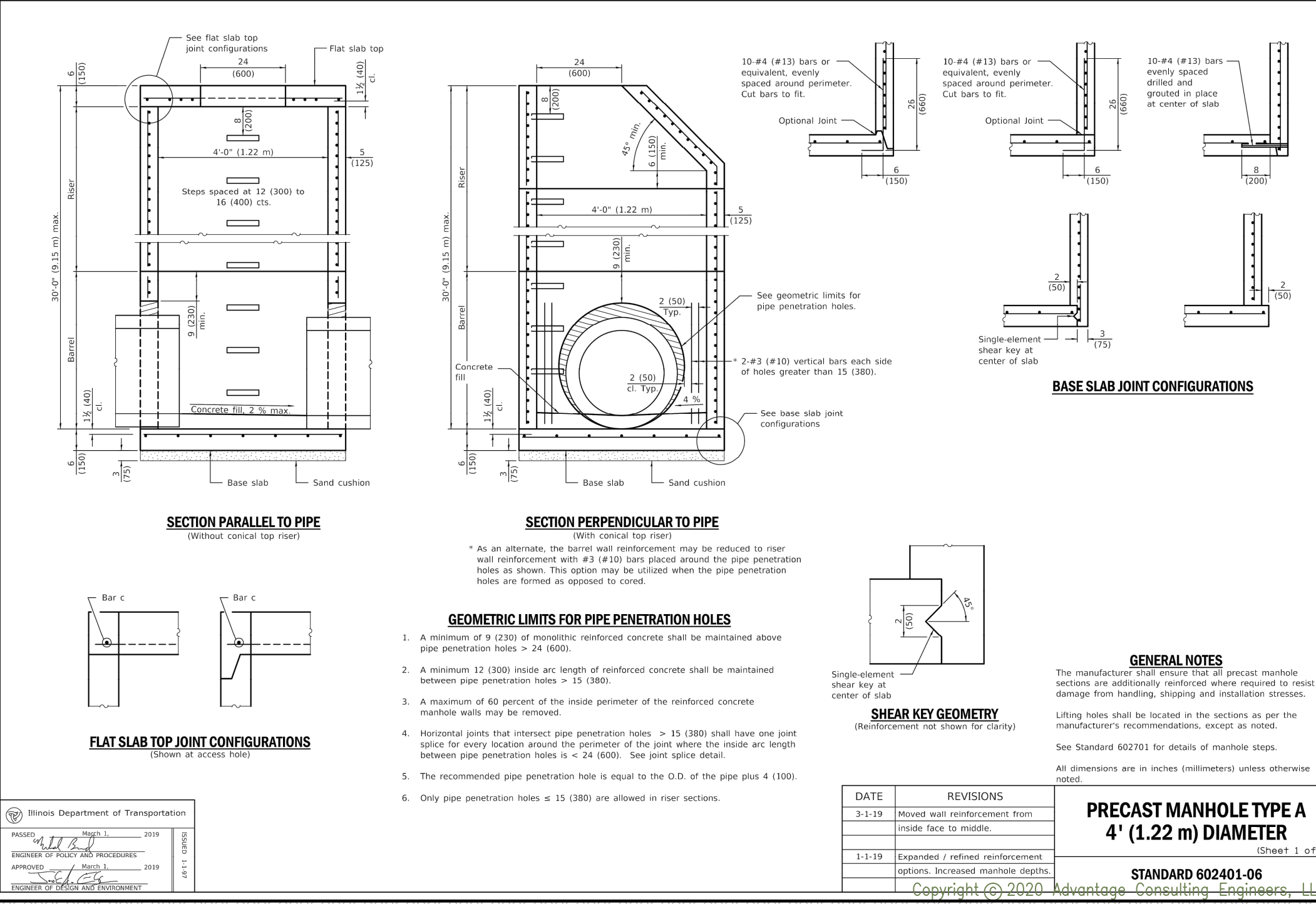
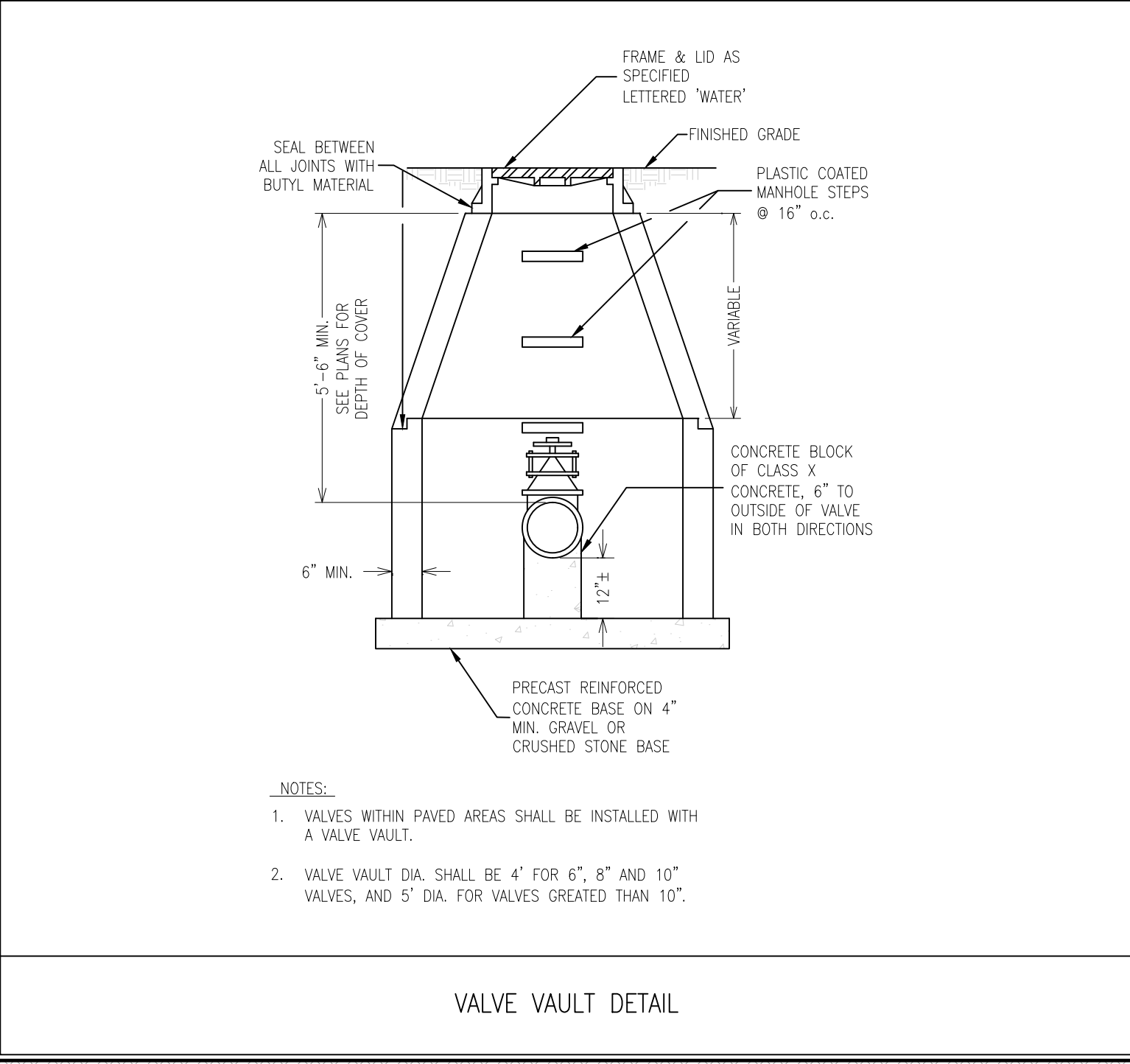
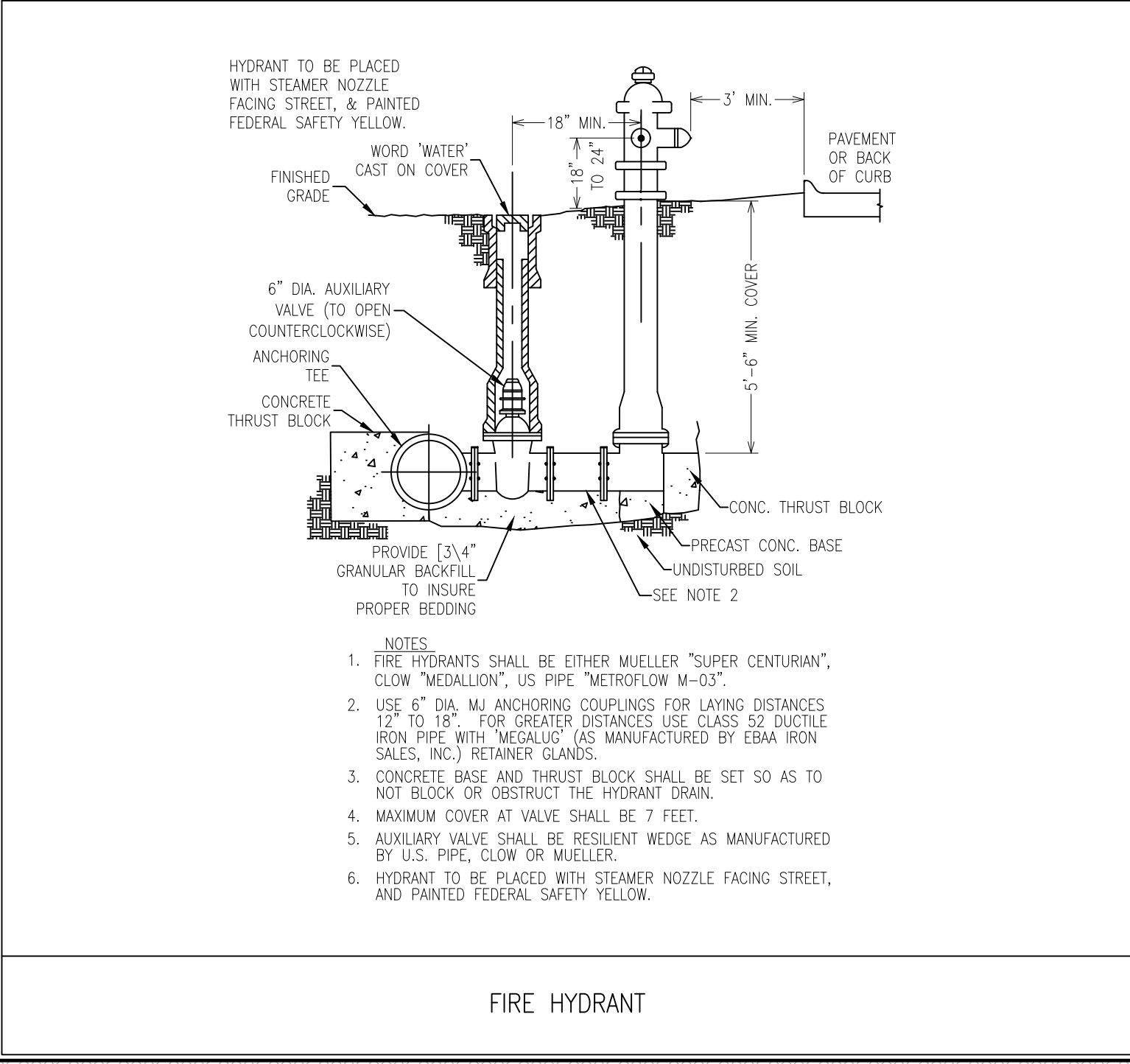
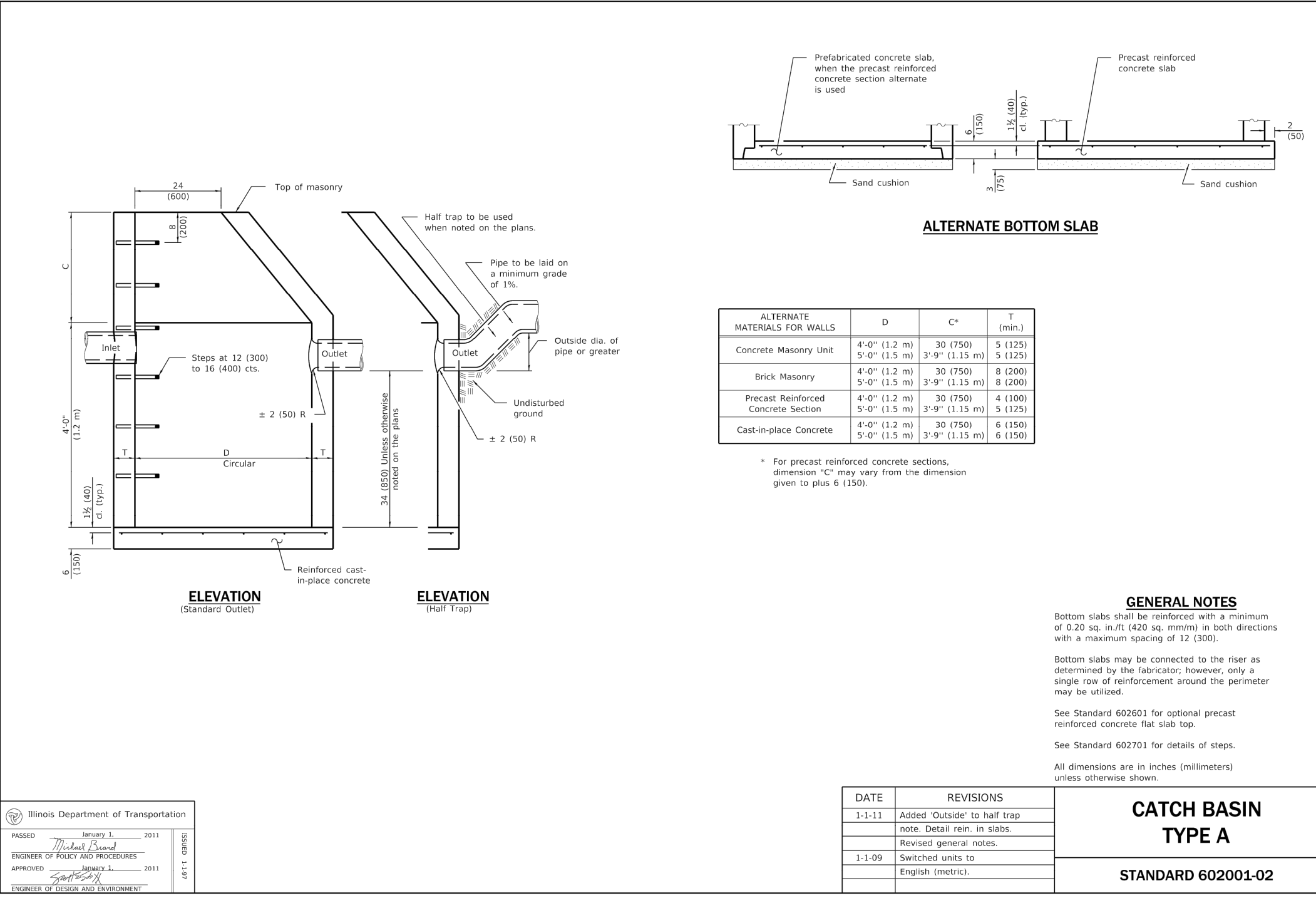
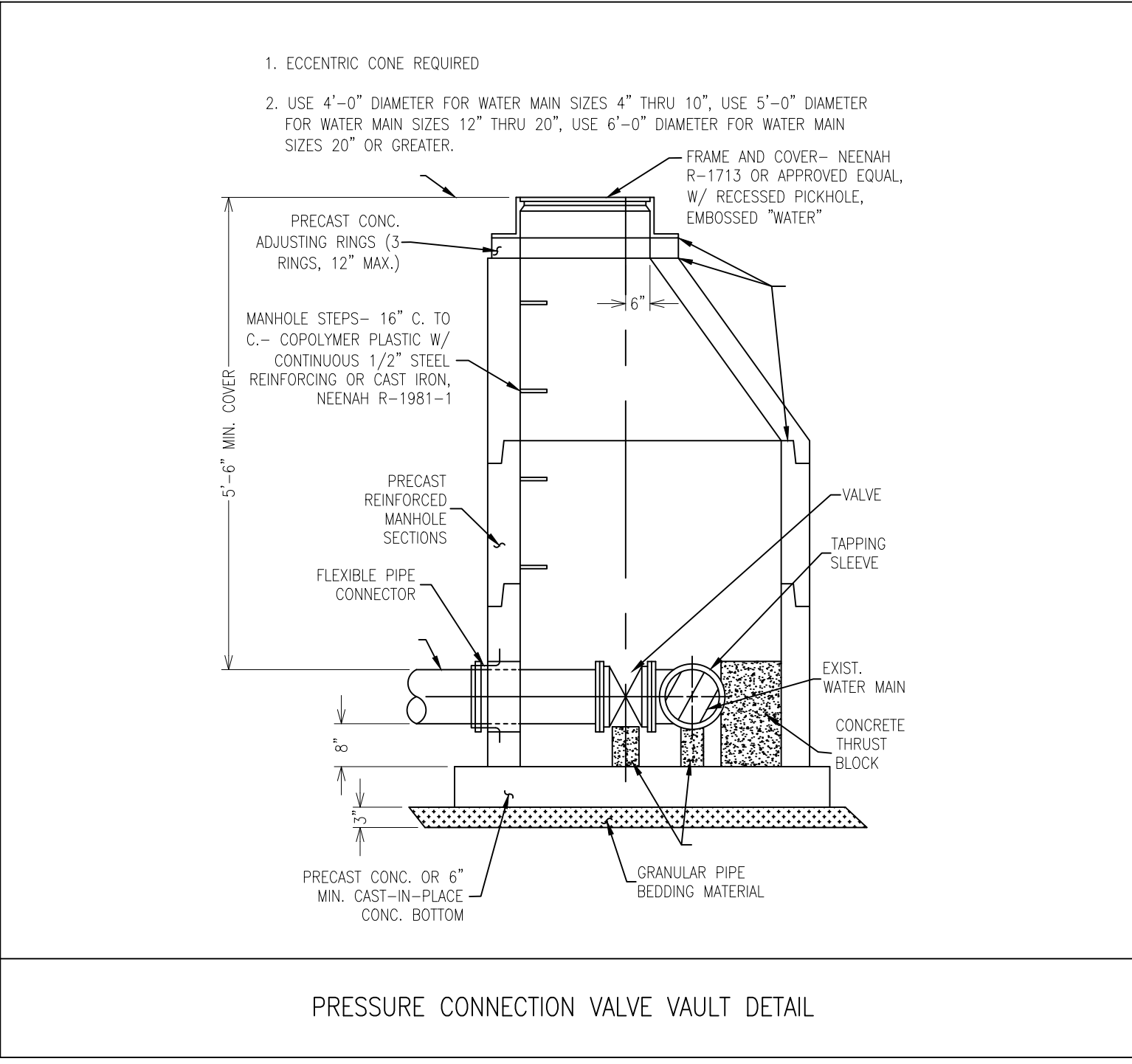
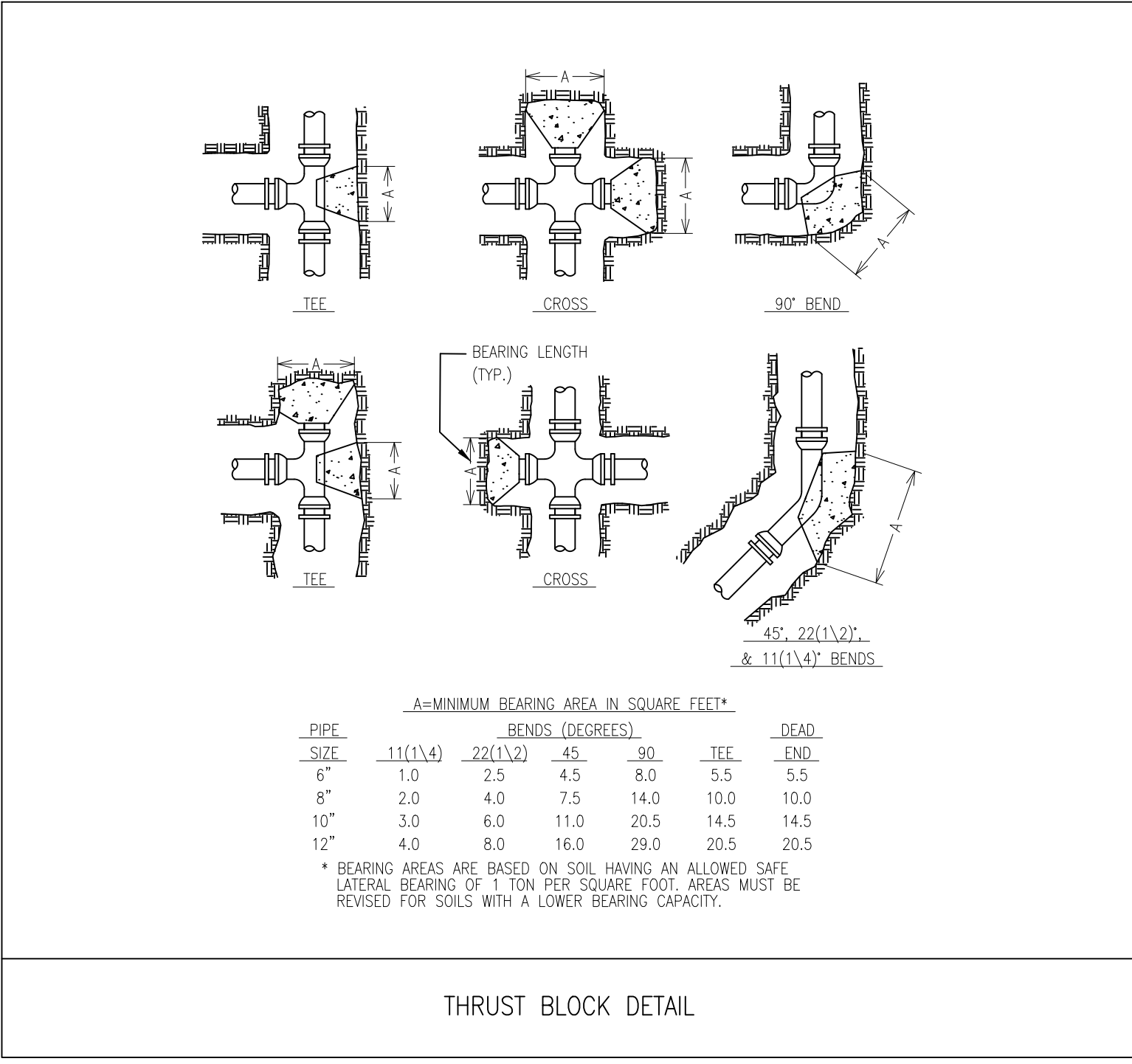
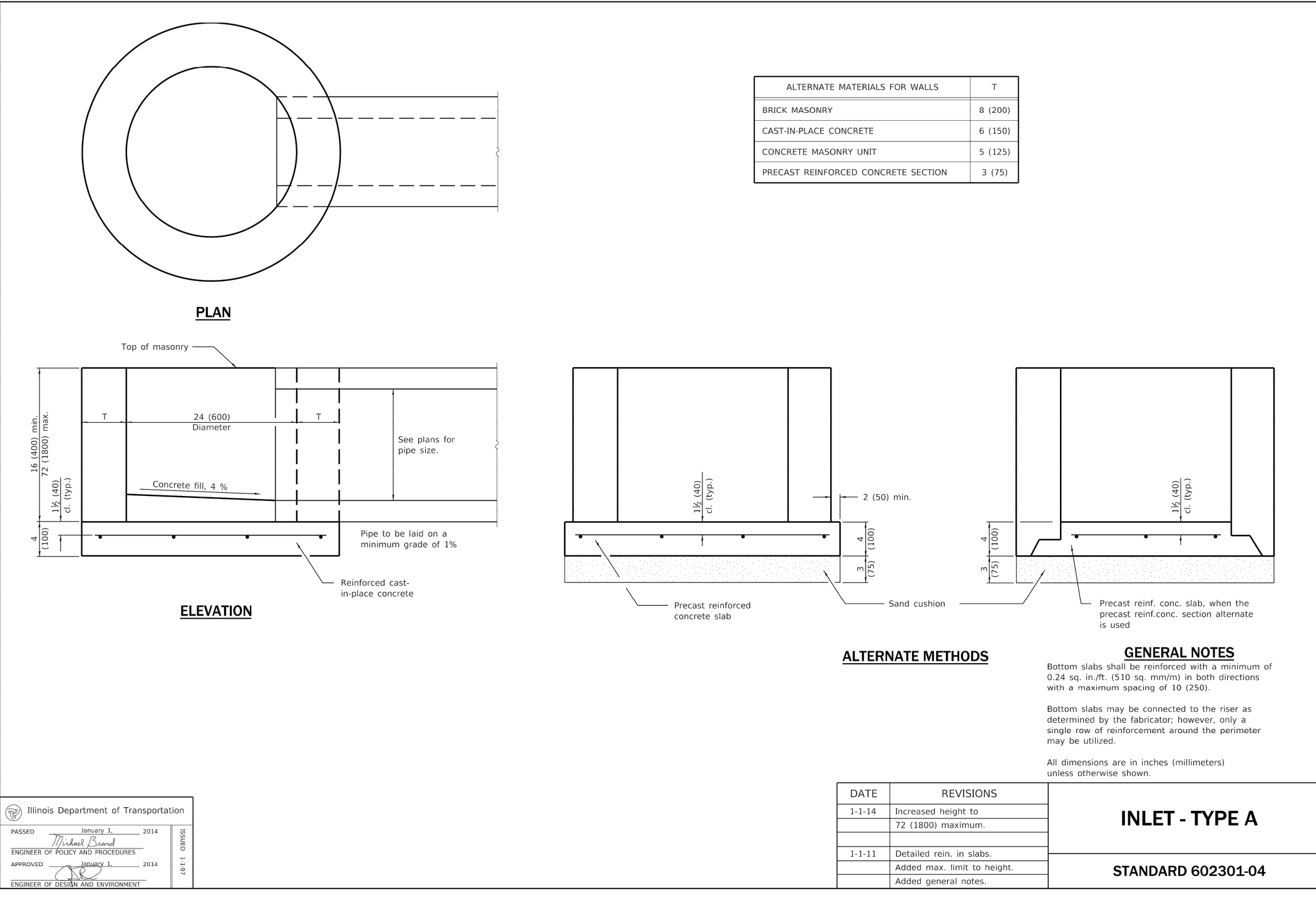
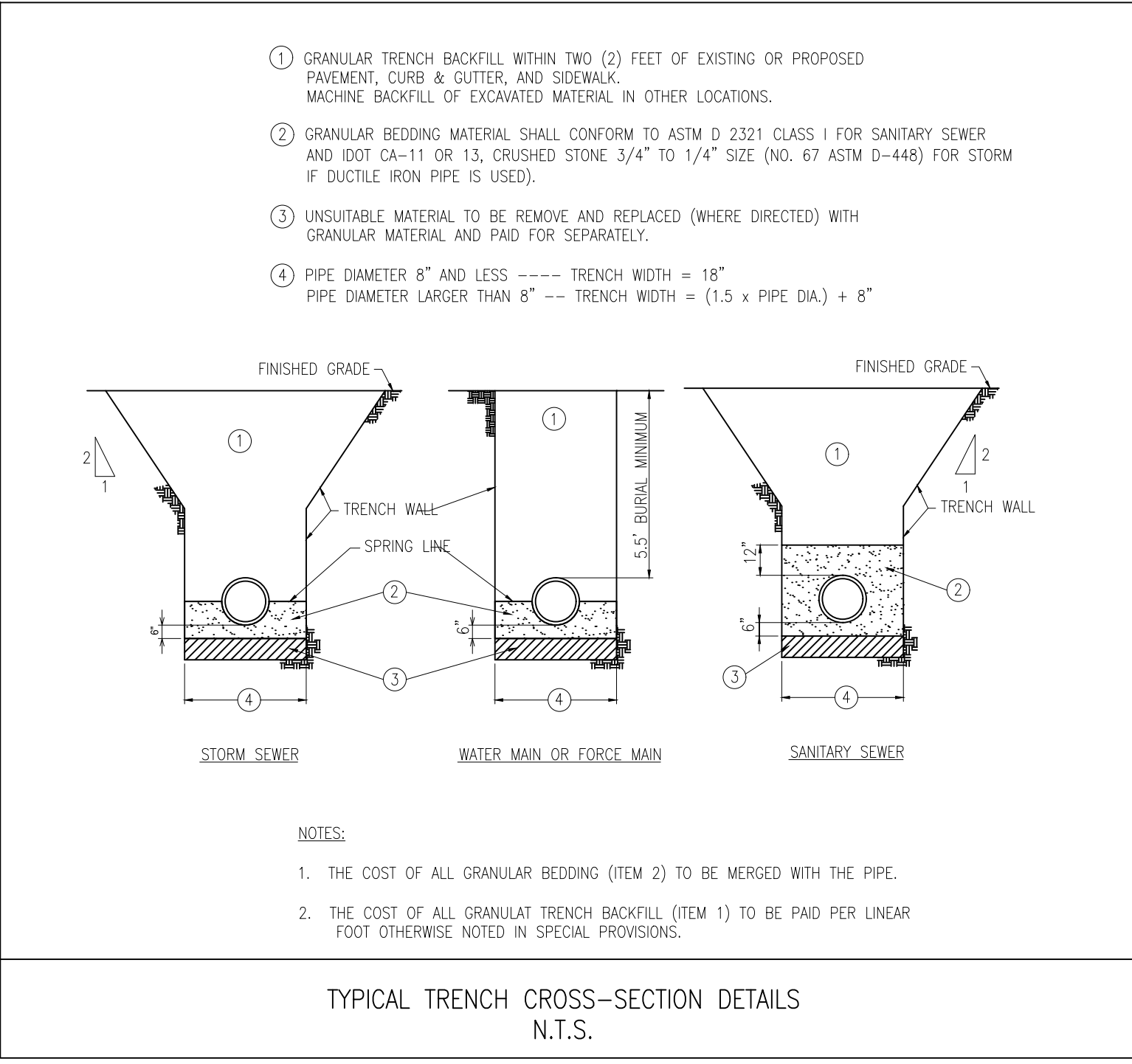
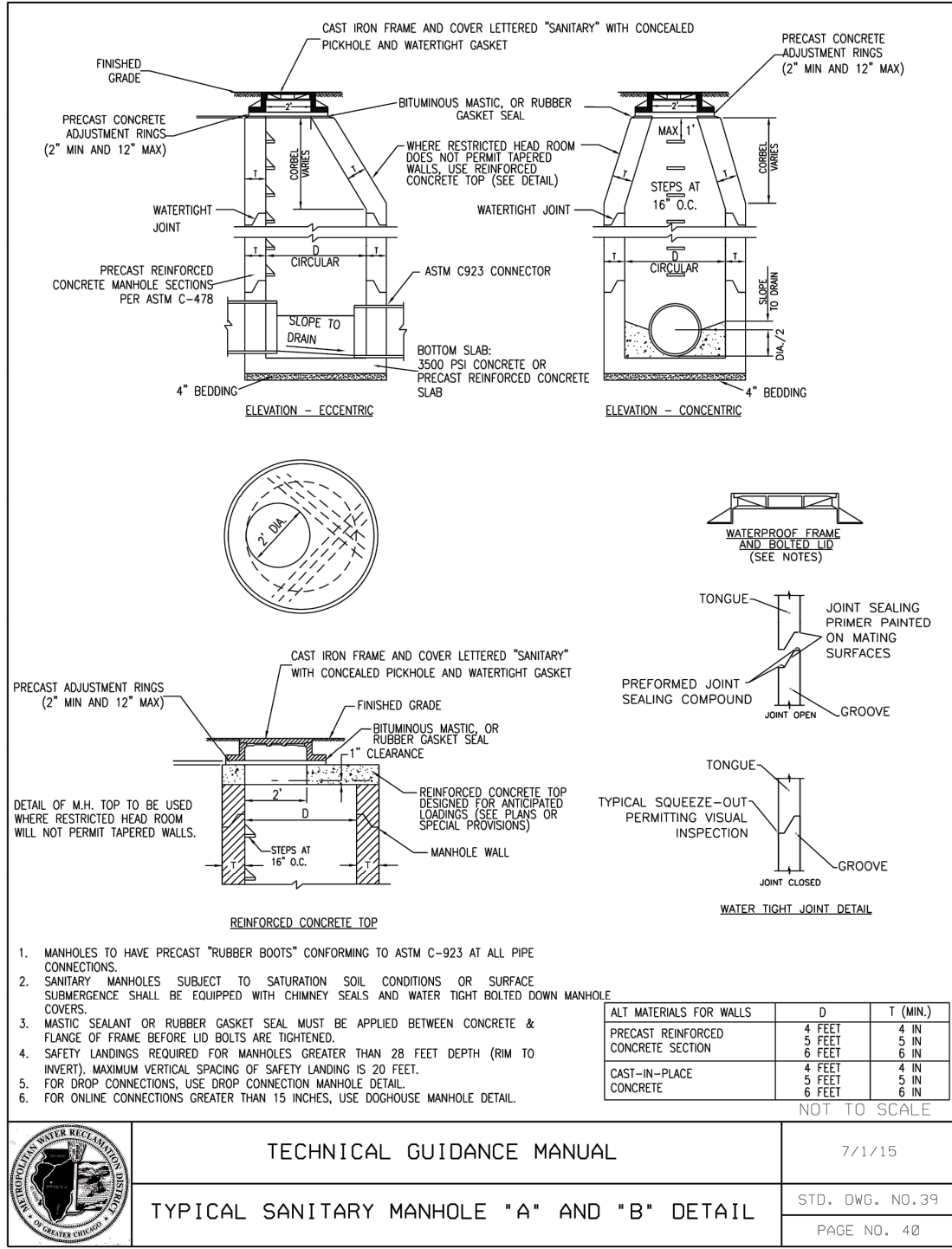
NOVEMBER 18, 2019  
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11 OF 18



MWRD TYPICAL GENERAL NOTES			EARTHWORK	SANITARY SEWER	WATER MAIN																																																	
<p><b>A. REFERENCE SPECIFICATIONS</b></p> <ul style="list-style-type: none"><li>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:<ul style="list-style-type: none"><li>• STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT SSI) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;</li><li>• STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION; AND</li><li>• VILLAGE OF TINLEY PARK MUNICIPAL CODE;</li></ul></li><li>2. THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;</li><li>• IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.</li></ul> <p><b>B. NOTIFICATIONS</b></p> <ul style="list-style-type: none"><li>1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY SIDEWALK, DRIVEWAY, OR TESTING OF THIS WORK ON THE PROJECT.</li><li>2. THE VILLAGE OF TINLEY PARK ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.</li><li>3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.I.L.I.E. AT 1-800-892-0123.</li></ul> <p><b>C. GENERAL NOTES</b></p> <ul style="list-style-type: none"><li>1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS 1.157.</li><li>2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.</li><li>3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.</li><li>4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.</li><li>5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.</li><li>6. ANY EXISTING PAVED DRIVEWAY, SIDEWALK, OR DRIVEWAY, MAINTAINED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.</li><li>7. MATERIAL AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.</li><li>8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.</li><li>9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.</li><li>10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ADJUSTMENT SHALL, ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.</li></ul> <p><b>D. SANITARY SEWER</b></p> <ul style="list-style-type: none"><li>1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.</li><li>2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.</li><li>3. RESEARCHING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.</li><li>4. ALL SANITARY SEWER CONSTRUCTION SHALL BE CONSTRUCTED WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).</li><li>5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.</li><li>6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.</li><li>7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:</li></ul> <table><thead><tr><th>PIPE MATERIAL</th><th>PIPE SPECIFICATIONS</th><th>JOINT SPECIFICATIONS</th></tr></thead><tbody><tr><td>VITRIFIED CLAY PIPE</td><td>ASTM C-700</td><td>ASTM C-425</td></tr><tr><td>REINFORCED CONCRETE SEWER PIPE</td><td>ASTM C-443</td><td>ASTM C-443</td></tr><tr><td>CAST IRON SOIL PIPE</td><td>ASTM A-74</td><td>ASTM C-564</td></tr><tr><td>DUCTILE IRON PIPE</td><td>ANSI A21.51</td><td>ANSI A21.11</td></tr><tr><td>POLYVINYL CHLORIDE (PVC) PIPE</td><td>ASTM D-3034</td><td>ASTM D-3212</td></tr><tr><td>6-INCH TO 15-INCH DIAMETER SDR 26</td><td>ASTM D-3034</td><td>ASTM D-3212</td></tr><tr><td>18-INCH TO 27-INCH DIAMETER SDR 11</td><td>ASTM D-3350</td><td>ASTM D-3261-F-2620(HEAT FUSION)</td></tr><tr><td>HIGH DENSITY POLYETHYLENE (HDPE)</td><td>ASTM D-3035</td><td>ASTM D-3212-F-477(GASKETED)</td></tr><tr><td>WATER MAIN QUALITY PVC</td><td>ASTM D-2241</td><td>ASTM D-3139</td></tr><tr><td>4-INCH TO 36-INCH</td><td>AWWA C900</td><td>ASTM D-3139</td></tr><tr><td>4-INCH TO 12-INCH</td><td>AWWA C905</td><td>ASTM D-3139</td></tr><tr><td>14-INCH TO 48-INCH</td><td></td><td></td></tr></tbody></table> <p>THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.</p> <table><thead><tr><th>PIPE MATERIAL</th><th>PIPE SPECIFICATIONS</th><th>JOINT SPECIFICATIONS</th></tr></thead><tbody><tr><td>PIPE/PROPYLENE (PP) PIPE</td><td></td><td></td></tr><tr><td>12-INCH TO 24-INCH DOUBLE WALL</td><td>ASTM F-2736</td><td>ASTM D-3212-F-477</td></tr><tr><td>30-INCH TO 60-INCH TRIPLE WALL</td><td>ASTM F-2764</td><td>ASTM D-3212-F-477</td></tr></tbody></table> <ul style="list-style-type: none"><li>8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.</li><li>9. NON-SHRINK FLEXIBLE JOINT CONNECTIONS OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.</li><li>10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATER-TIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED MANHOLE AND WATER-TIGHT LID. CAST INTO THE LID.</li><li>11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:<ul style="list-style-type: none"><li>a. A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HEAVY SADDLE OR HUB-TEE SADDLE.</li><li>b. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.</li><li>c. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTINGS, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.</li></ul></li><li>12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.</li><li>13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.</li><li>14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRECAST. CAST IN PLACE SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS.</li><li>15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A PRECAST "RUBBER BOOT" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED PROCTORED CAST IRON RUBBER GASKET TYPE JOINTS.</li><li>16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.</li><li>17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES OR BASIN, VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.</li><li>18. COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS, CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED, AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WHILE THE PROJECT AREA IS REMOVED, OR THE SEWER CROSSES UNDER A WATERMAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.</li><li>19. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCE/REPAIRS BE PERFORMED. IN THE EVENT OF A SEWER BACKFLOW INTO AN OPERATING DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.</li></ul> <p><b>E. SOIL EROSION AND SEDIMENT CONTROL</b></p> <ul style="list-style-type: none"><li>1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.</li><li>2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.</li><li>3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.</li><li>4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.</li><li>5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED AT A MINIMUM:<ul style="list-style-type: none"><li>a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.</li><li>b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.</li></ul></li><li>6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION, IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.</li><li>7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA, OR SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.</li><li>8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.</li><li>9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.</li><li>10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.</li><li>11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATION OR NON-VEGETATIVE MEASURES.</li><li>12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).</li><li>13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.</li><li>14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.</li><li>15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.</li><li>16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.</li><li>17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.</li><li>18. DEWATERING SERVICES PROVIDING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.</li><li>19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.</li><li>20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.</li><li>21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.</li><li>22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.</li><li>23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.</li></ul>	PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS	VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425	REINFORCED CONCRETE SEWER PIPE	ASTM C-443	ASTM C-443	CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564	DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11	POLYVINYL CHLORIDE (PVC) PIPE	ASTM D-3034	ASTM D-3212	6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212	18-INCH TO 27-INCH DIAMETER SDR 11	ASTM D-3350	ASTM D-3261-F-2620(HEAT FUSION)	HIGH DENSITY POLYETHYLENE (HDPE)	ASTM D-3035	ASTM D-3212-F-477(GASKETED)	WATER MAIN QUALITY PVC	ASTM D-2241	ASTM D-3139	4-INCH TO 36-INCH	AWWA C900	ASTM D-3139	4-INCH TO 12-INCH	AWWA C905	ASTM D-3139	14-INCH TO 48-INCH			PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS	PIPE/PROPYLENE (PP) PIPE			12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	ASTM D-3212-F-477	30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	ASTM D-3212-F-477	<p><b>1. TOPSOIL EXCAVATION</b></p> <p>EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION BELOW STRUCTURALLY UNSUITABLE MATERIALS OR COMPACTED EARTH FILL MATERIAL, AND CUT AREAS OF THE NON-STRUCTURAL ZONES. TOPSOIL MAY NOT HAVE TO BE REMOVED IF FILL IS TO BE PLACED IN NON-STRUCTURAL FILL AREAS SUCH AS REAR YARDS.</p> <p>PLACEMENT OF EXCAVATED MATERIAL FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL ARE TO BE APPROVED BY OWNER PRIOR TO PLACEMENT.</p> <p>EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT TO BE STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</p> <p>TOPSOIL, RESPAREAD SHALL INCLUDE HAULING AND SPREADING A MINIMUM OF 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</p> <p>MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p><b>2. EARTH EXCAVATION</b></p> <p>EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET +/- OF THE PLANE SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.</p> <p>PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET +/- OF THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN PLAN SUBGRADE ELEVATION, IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL FILL AREAS.</p> <p>COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AND BUILDING PAD AREAS, SIDEWALK, ETC., 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p>THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE TO REMAIN SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.</p> <p>THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ALL EXISTING ITEMS WHICH ARE TO BE REMAIN. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.</p> <p><b>3. UNSUITABLE MATERIAL</b></p> <p>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT OR BUILDING CONSTRUCTION, AND IF IT IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION IT SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p><b>4. THE GRADING CONTRACTOR SHALL:</b></p> <p>MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREA.</p> <p>SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED FOR ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</p> <p>SCAFFRY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</p> <p>PROVIDE WATER AS DIRECTED BY SOILS ENGINEER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</p> <p>BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.</p> <p>BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED IN THESE PLANS. ALL CONTRACTORS SHALL COMPLY WITH SWPPP AND NPDES REQUIREMENTS.</p> <p>USE LIME STABILIZATION IN THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS ENGINEER.</p> <p><b>5. TESTING AND FINAL ACCEPTANCE</b></p> <p>THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY GRA REPRESENTATIVE AND OWNER.</p> <p>ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT, AND PROOF ROLLING SHALL BE PERFORMED UNTIL THE SUBGRADE IS APPROVED BY THE GRA REPRESENTATIVE AND OWNER.</p> <p>THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</p> <p><b>6. DRAIN TILES</b></p> <p>ANY DRAIN TILES ENCOUNTERED SHALL BE MARKED. ANY DRAIN TILES THAT ARE DAMAGED SHALL BE REPAIRED OR ROUTED FOR POSITIVE DRAINAGE TO AVOID ANY POTENTIAL DRAINAGE ISSUE FOR THE UPSTREAM PROPERTY OWNERS.</p>	<p>1. UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE. ALL PIPE SHALL CONFORM TO ASTM D-3034 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3212. THE STANDARD DIMENSION RATIO (SDR) FOR PIPE SHALL BE 26, WHERE SHOWN, PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS CONFORMING TO ASTM D3319. THE PVC D1818 SANITARY SEWER SHALL CONFORM TO AWWA C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905</p> <p>2. CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED.</p> <p>3. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY AND/OR AUTHORIZED AGENCY.</p> <p>4. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL CONFORMING TO DOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321, CLASS I.</p> <p>5. COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.</p> <p>6. BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL SANITARY SEWERS. SANITARY SEWERS SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF 1/2 FOR SANITARY SEWER PIPE. THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO DOT GRADATION CA-6 AND INSTALLED PER ASTM D-2321 CLASS I.</p> <p>7. WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.</p> <p>8. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE.</p> <p>9. THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH DEVELOPMENT CODE OF THE MUNICIPALITY.</p> <p>10. SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D. PRECAST REINFORCE CONCRETE RINGS OR MONOLITHIC CONCRETE CONFORMING TO ASTM D478 AND SHALL HAVE AN ECCENTRIC COLE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE CAST IRON NEEHAW R-1981-I AT 16" O.C.</p> <p>11. ALL SANITARY SEWER MANHOLE LIDS SHALL BE NEEHAW R-1772 OR APPROVED EQUAL. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" AND THE MUNICIPALITY OR SANITARY DISTRICT NAME EMBOSSED ON THE LID.</p> <p>12. ALL MANHOLE JOINTS SHALL BE SEALED WITH BUTYL ROPE JOINTS. NO MORE THAN EIGHT INCHES (8") OF PRECAST CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. ALL PIPE OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES PER ASTM C-923. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.</p> <p>13. DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS ONE FOOT (1') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE EXTERIOR DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL.</p> <p>14. INSPECTION OF MANHOLES: ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE ELIMINATED BEFORE FINAL INSPECTION AND ACCEPTANCE.</p> <p>15. TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED FOR LOW PRESSURE AIR TEST AND DEFLECTION TEST. STANDARD SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY AND SHALL BE APPROVED BY THE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED FOR LEAKAGE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244.</p> <p>16. ALL SANITARY SEWERS SHALL BE TELEVIEWED AND A COPY OF THE DISK AND A WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL INCLUDE STUD LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE WORK. TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE.</p> <p>17. IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE REPAIR, OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS NECESSARY TO PASS THE TEST REQUIREMENTS.</p> <p>18. CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PLACED MATERIAL IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LEAKAGE PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIRAL AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS.</p> <p>19. ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.</p> <p>20. THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) AND SUBMIT TO GOVERNING PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND CORRECT THE DEFICIENCIES.</p>	<p>1. WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, CLASS 52, PIPE CONFORMING TO AWWA C-151 (ANSI A-21.51) WITH CEMENT MORTAR LINING AND BITUMINOUS SEAL COATING CONFORMING TO ANSI A-21.4 (AWWA C-104). ALL WATER MAIN SHALL BE POLYETHYLENE ENCASED. THE POLYETHYLENE MATERIAL SHALL BE IN CONFORMANCE 28 MILLIMETER POLY WRAP MINIMUM OR WITH THE MUNICIPAL REGULATIONS.</p> <p>2. THE JOINTS SHALL BE PUSH-ON JOINTS CONFORMING TO ANSI A-21.11 (AWWA C-111) AND ALL RETAINING GLANDS SHALL BE SET SCREW OR MEGA-LUG TYPE. WATER MAIN FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING/COMPLY WITH ANSI A21.4 OR AWWA C205, (STANDARD THICKNESS) AND SEAL COATING (AS SPECIFIED FOR CONCRETE USE IN ANSI A21.51 OR ASPHALT COATING PER AWWA C-151) WITH PLUG-ON JOINTS AND SHALL CONFORM TO ANSI A21.10 (AWWA C-110).MECHANICAL JOINTS RETAINER GLANDS SHALL COMPLY WITH ANSI A21.10 OR A21.53.</p> <p>3. THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON ALL WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC..</p> <p>4. DISTRIBUTION SYSTEM VALVES SHALL BE RESILIENT SEAT VALVE CONFORMING TO AWWA C-509 LATEST STANDARDS, AND SHALL BE APPROVED BY THE MUNICIPALITY. EACH VALVE SHALL BE INSTALLED IN A VALVE VAULT OR BOX OF SIZE SHOWN ON THE PLANS. THE LIDS SHALL BE NEEHAW R-1772 OR APPROVED EQUAL AND LETTERING ON THE CAST IRON FRAME AND LID SHALL INDICATE "WATER" AND THE MUNICIPALITY NAME.</p> <p>5. THE TYPICAL MINIMUM DEPTH OF COVER OF 5'-6" SHALL BE MAINTAINED OVER THE WATER LINES.</p> <p>6. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE WITH CAST IRON VALVE BOX. FIRE HYDRANTS SHALL CONFORM TO MEET ALL REQUIREMENTS DESCRIBED IN THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY. THE HYDRANT SHALL FACE THE ROADWAY. THE FIRE HYDRANTS SHALL BE PAINTED PER THE MUNICIPALITY. THE VALVE BOX LID SHALL HAVE WORD "WATER" EMBOSSED ON THE LID. SEE FIRE HYDRANT DETAIL ON DETAIL SHEETS.</p> <p>7. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH CURRENT MANUFACTURER'S RECOMMENDATIONS AND AWWA SPECIFICATIONS.</p> <p>8. BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL NEW WATER MAINS. SEE WATER MAIN DETAIL ON DETAIL SHEET.</p> <p>9. IEPA WATER MAIN PROTECTION</p> <p>A. WATER MAINS:</p> <p>1. HORIZONTAL SEPARATION:</p> <p>a) WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION.</p> <p>b) WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:</p> <p>1) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND</p> <p>2) THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND</p> <p>3) THE WATER MAIN IS IN A SEPARATE TRENCH.</p> <p>2. VERTICAL SEPARATION:</p> <p>a) A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS UNDER SEWERS. SANITARY SEWERS OR SEWER SERVICES CONNECTIONS UNDER SEWERS SHALL BE TESTED TO A MINIMUM OF 4 HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.</p> <p>b) IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (a) OR THE WATER MAIN PASSES UNDER A SEWER OR DRAIN, THEN ONE OF THE FOLLOWING METHODS SHALL BE FOLLOWED:</p> <p>1) THE STORM DRAIN SHALL BE CONSTRUCTED OF "O" RING JOINTS AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATER MAIN STANDARDS.</p> <p>2) THE WATER MAIN MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE AS INDICATED ON THE PLANS AND AS PER THE SPECIAL CROSSING DETAIL SHOWN ON THE DETAIL SHEET.</p> <p>c) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHEREA WATER MAIN CROSSES UNDER SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN.</p> <p>d) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.</p> <p>10. TESTING:</p> <p>A. ALL WATER MAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF THE IEPA AND THE "STANDARD SPECIFICATIONS FOR WATERMAIN DESIGN AND CONSTRUCTION" WHICH REQUIRE EACH WATER MAIN TO BE PRESSURE TESTED TO A MINIMUM OF 4 HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.</p> <p>B. CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AGAINST EXISTING WATER VALVES AND SHALL NOTIFY THE OWNER OF THE WATER SYSTEM 48 HOURS PRIOR TO TESTING.</p> <p>C. THE CONTRACTOR SHALL PRESSURE TEST ALL NEW WATER MAIN BEFORE WATER SERVICED HAVE BEEN INSTALLED. THE CONTRACTOR SHALL PERFORM A PRELIMINARY TEST TO INSURE THAT ALL SEGMENTS OF THE SYSTEM MEET LEAKAGE RATES AS SET FORTH HEREIN.</p> <p>D. AFTER ALL MAINS HAVE BEEN PRESSURE TESTED, THE CONTRACTOR SHALL SIGNIFY THE MAINS IN ACCORDANCE WITH AWWA STANDARD C-651. THE CONTRACTOR WILL SAMPLE THE CHLORINATED DISINFECTING SOLUTION, AFTER FINAL FLUSHING, AND AS WITNESSED BY THE VILLAGE UTILITY DEPARTMENT, THE CONTRACTOR SHALL OBTAIN TWO SAMPLES OF WATER FROM THE MAIN FOR BACTERIOLOGICAL TESTING. A SECOND SERIES OF SAMPLES SHALL BE COLLECTED NO LESS THAN 24 HOURS AFTER THE FIRST SET OF SAMPLES HAS BEEN COLLECTED. THE CONTRACTOR AND THE VILLAGE WILL BE FURNISHED WITH COPIES OF THE BACTERIOLOGICAL REPORT FOR THEIR RECORDS.</p>
PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS																																																				
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425																																																				
REINFORCED CONCRETE SEWER PIPE	ASTM C-443	ASTM C-443																																																				
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564																																																				
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11																																																				
POLYVINYL CHLORIDE (PVC) PIPE	ASTM D-3034	ASTM D-3212																																																				
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212																																																				
18-INCH TO 27-INCH DIAMETER SDR 11	ASTM D-3350	ASTM D-3261-F-2620(HEAT FUSION)																																																				
HIGH DENSITY POLYETHYLENE (HDPE)	ASTM D-3035	ASTM D-3212-F-477(GASKETED)																																																				
WATER MAIN QUALITY PVC	ASTM D-2241	ASTM D-3139																																																				
4-INCH TO 36-INCH	AWWA C900	ASTM D-3139																																																				
4-INCH TO 12-INCH	AWWA C905	ASTM D-3139																																																				
14-INCH TO 48-INCH																																																						
PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS																																																				
PIPE/PROPYLENE (PP) PIPE																																																						
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	ASTM D-3212-F-477																																																				
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	ASTM D-3212-F-477																																																				
<p><b>PAVEMENT</b></p> <p>1. <b>FINE GRADING</b></p> <p>A. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB.</p> <p>2. <b>CURB AND GUTTER</b></p> <p>A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS.</p> <p>B. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.</p> <p>C. THE STONE UNDER CURB AND GUTTER SHALL BE CONSIDERED INCIDENTAL.</p> <p>D. THE CURB DEPRESSIONS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER PLANS AND DOT STANDARDS.</p> <p>3. <b>PAVEMENT</b></p> <p>A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.</p> <p>4. <b>GENERAL</b></p> <p>THE PAVING CONTRACTOR SHALL:</p> <p>A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.</p> <p>B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. ANY DAMAGE TO THE BINDER COURSE SHALL BE REPAIRED BY THE CONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.</p> <p>C. PROVIDE CONSTRUCTION, EXPANSION, AND CONTRACTION JOINTS FOR CURB AND GUTTER, AND P.C.C. SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS.</p> <p>D. REMOVE ALL EXCESS MATERIALS AND DEBRIS AND DISPOSE OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.</p> <p>5. <b>TESTING AND FINAL ACCEPTANCE</b></p> <p>A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE SUBGRADE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE SUBGRADE SHALL HAVE MINIMUM IIR VALUE OF 3.0.</p> <p>B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, WHEN REQUIRED, SHALL OBTAIN SPECIMENS OF THE BITUMINOUS CONCRETE, DRESSING, AND COURSE, AND SPECIMENS OF OTHER DIRECTION OF OTHER DIRECTION. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".</p> <p>C. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.</p> <p>6. <b>METHOD OF MEASUREMENT</b></p> <p>A. CURB AND GUTTER, AND BASE COURSE SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR. THE QUANTITIES SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION WHEN REQUESTED BY THE OWNER.</p> <p>B. WHEN REQUESTED BY THE OWNER, DOCUMENTATION FOR THE INSTALLED BASE COURSE, BITUMINOUS CONCRETE BINDER, AND SURFACE COURSE, SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION AS REQUIRED BY THE MUNICIPALITY. THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BITUMINOUS CONCRETE, DRESSING, AND COURSE, AND SPECIMENS OF OTHER DIRECTION OF OTHER DIRECTION. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".</p> <p>7. <b>BARRICADES</b></p> <p>IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADES, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION AND IN ACCORDANCE WITH THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.</p>	<p><b>SOIL EROSION AND SEDIMENT CONTROL</b></p> <p>1. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY, AND THE ILLINOIS URBAN MANUAL.</p> <p>2. BEFORE CLEARING AND SITE GRADING BEGINS, THE CONTRACTOR/APPLICANT MUST NOTIFY GOVERNMENT AGENCY 2 WORKING DAYS PRIOR TO STARTING CONSTRUCTION ENTRANCE AND SILT FENCE WHICH SHALL BE INSTALLED AS SHOWN ON THE PLANS.</p> <p>3. THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGIN ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT FROM CONSTRUCTION VEHICLES.</p> <p>4. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE.</p> <p>5. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE STORM STRUCTURES SHOWN ON THE PLANS.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.</p> <p>7. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". AN INSPECTION REPORT SHALL BE FILLED OUT EACH TIME AND SHALL BE KEPT IN A BINDER AT JOB SITE AT ALL TIMES ALONG WITH NO, NPDES PERMIT &amp; SWPPP PLAN.</p> <p>8. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE THOROUGHLY CLEANED AND FREE OF DIRT AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT INTO THE DOWNSTREAM STORM SEWER SYSTEM OR DETENTION BASIN(S).</p> <p>9. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.</p> <p>10. THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.</p> <p>11. A. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS.</p> <p>B. SOIL STOCK PILES MUST BE STABILIZED OR COVERED AT THE END OF EACH DAY.</p> <p>C. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.</p> <p>12. IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THIS DEVELOPMENT SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.</p> <p>13. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.</p> <p>14. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THEN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN THE AREA.</p> <p>15. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING, IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE.</p> <p>16. GRAVEL, ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY.</p> <p>17. ALL CONTRACTORS AND SUB CONTRACTORS SHALL COMPLY WITH SWPPP PLAN AND NPDES REQUIREMENT &amp; SHALL SIGN SWPPP ON FILE WITH OWNER OR GENERAL CONTRACTOR.</p> <p>18. THE ENTIRE SITE MUST BE STABILIZED USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.</p> <p>19. TECHNIQUES SHALL BE EMPLOY</p>																																																					





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DETAILS

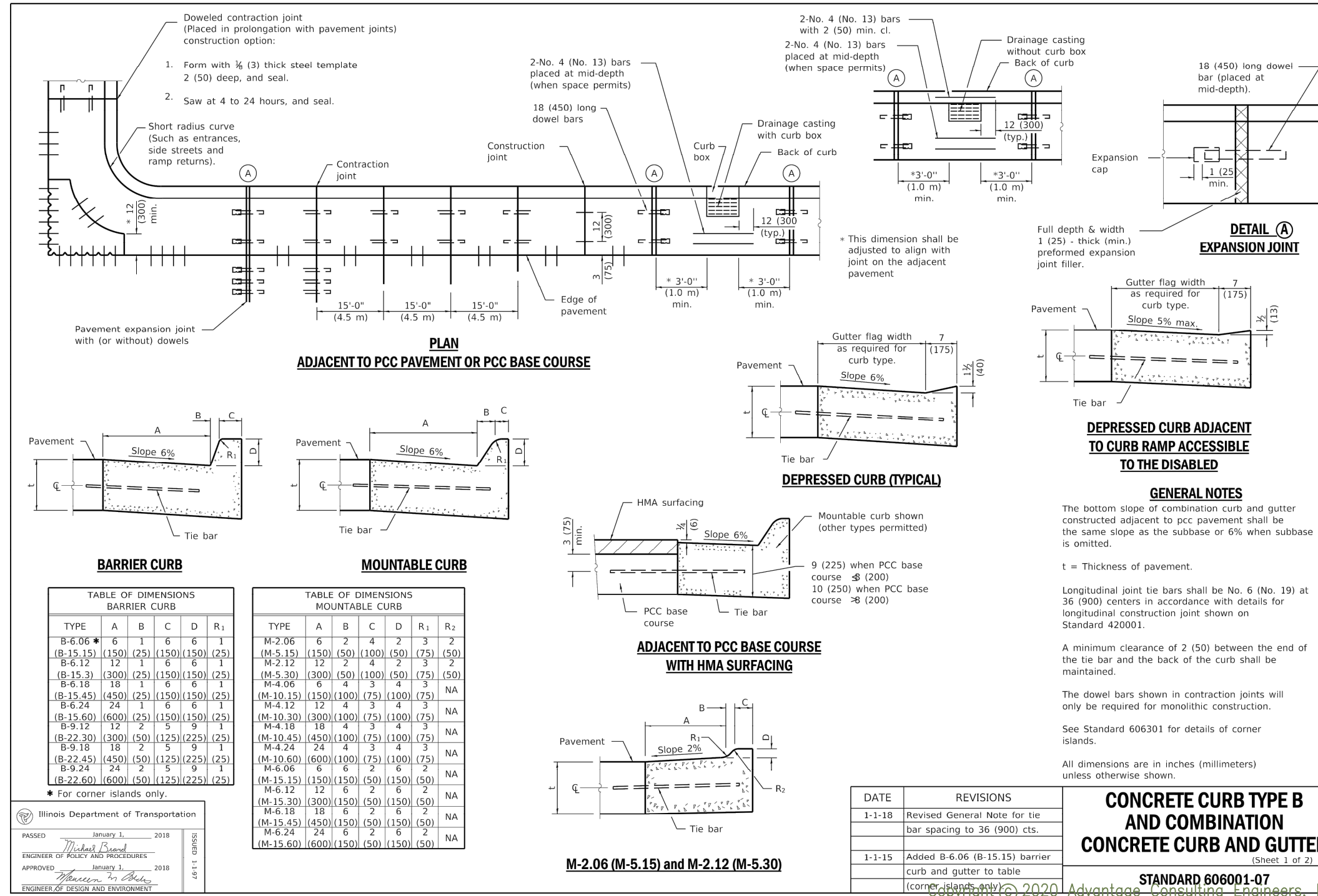
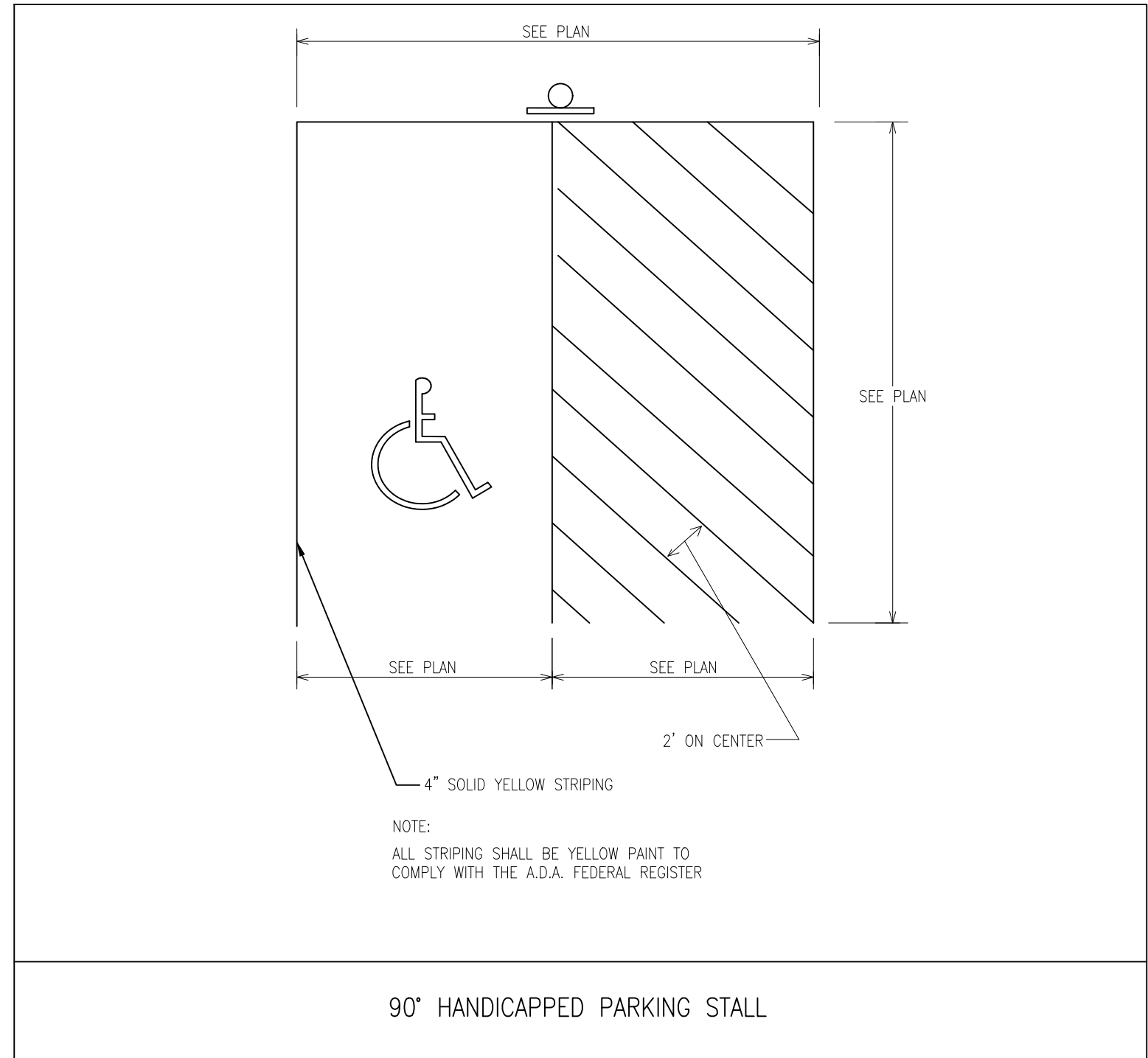
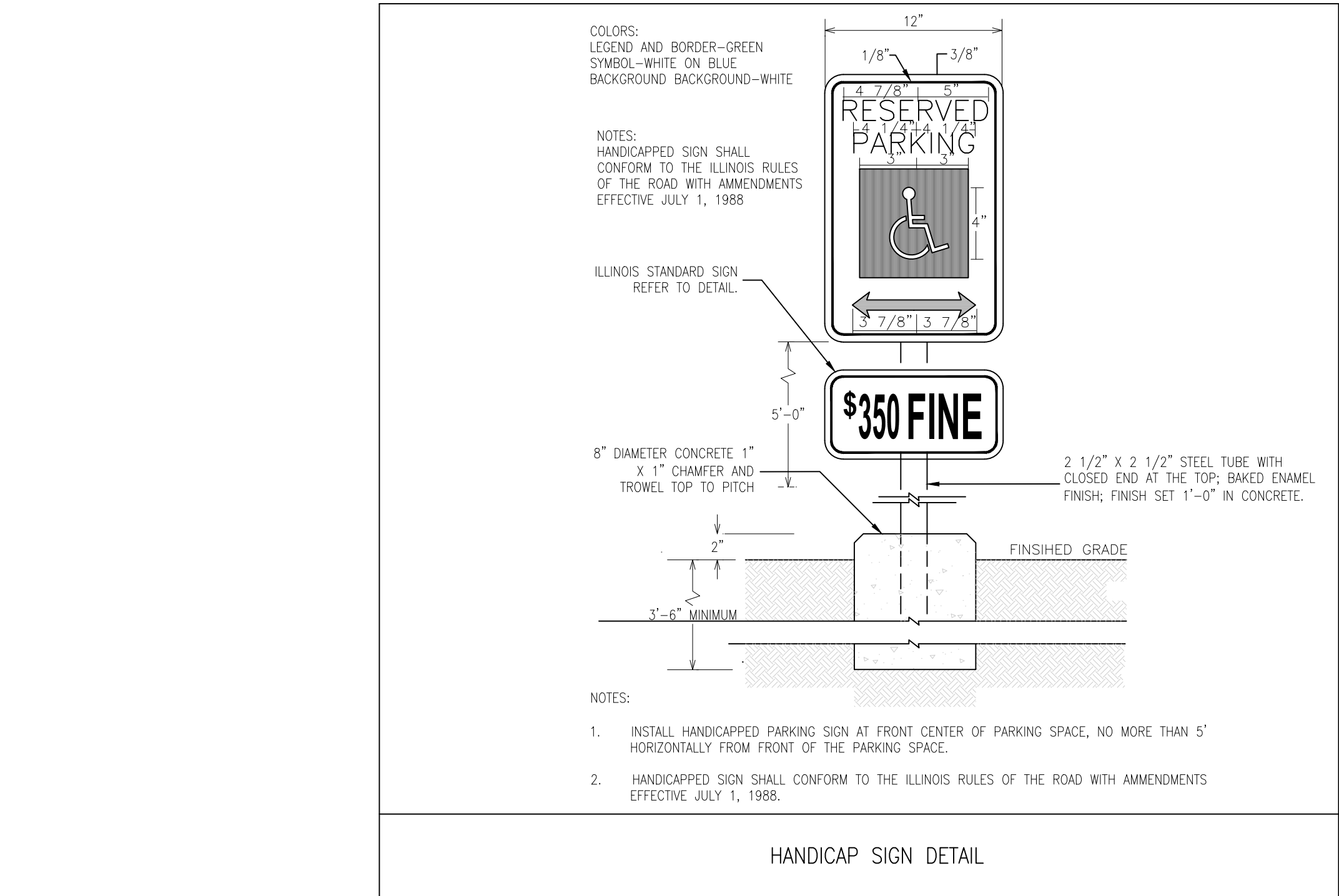
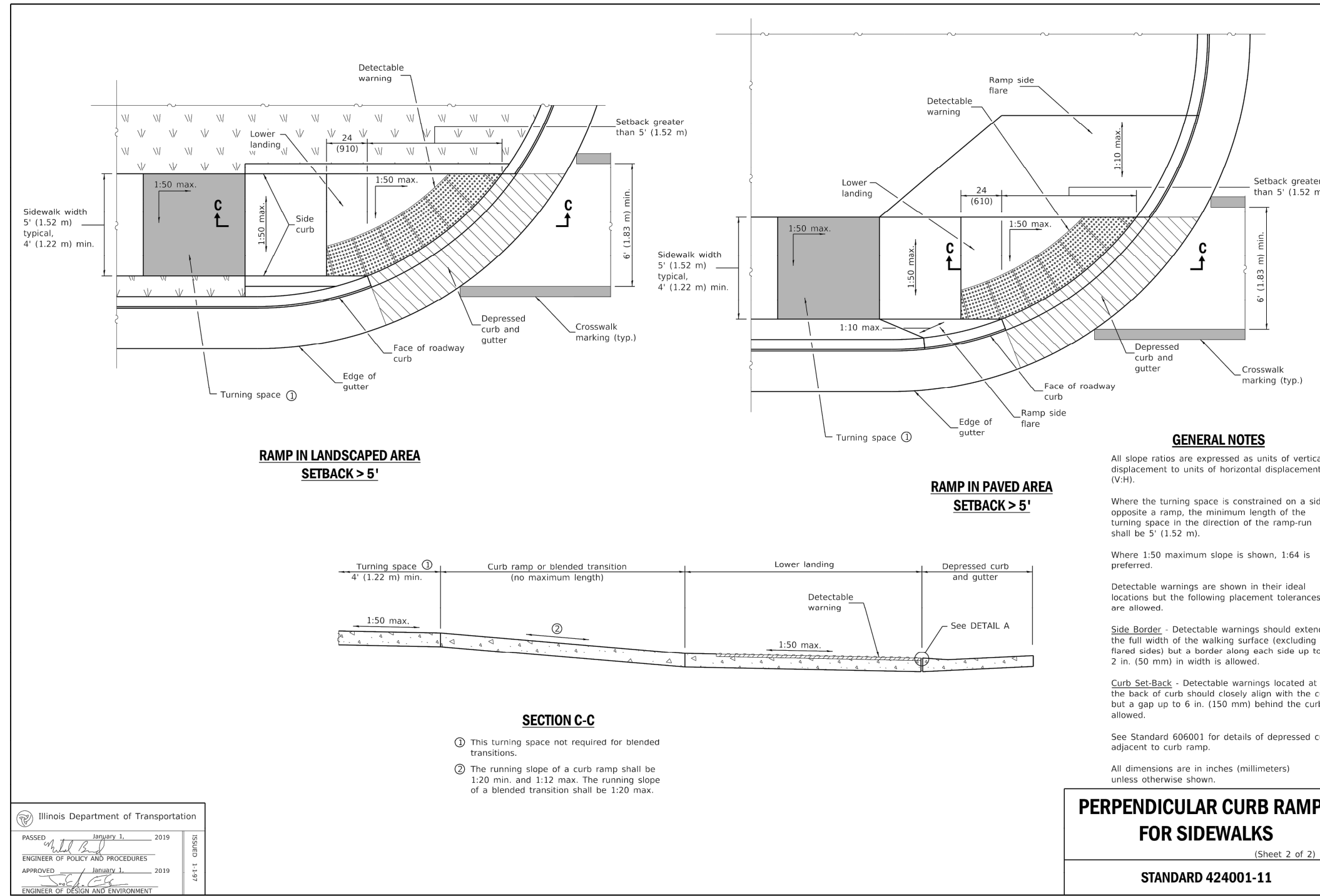
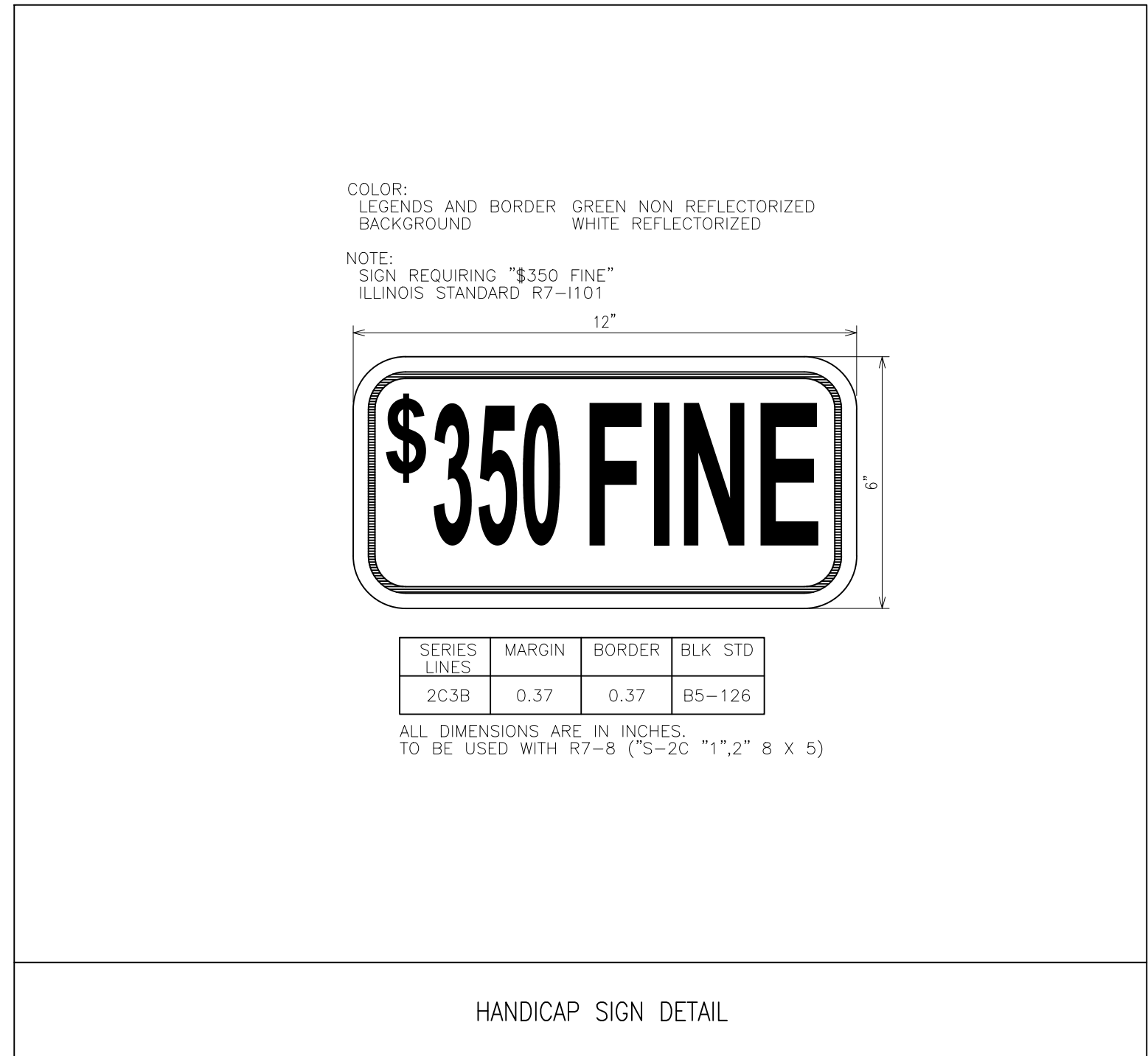
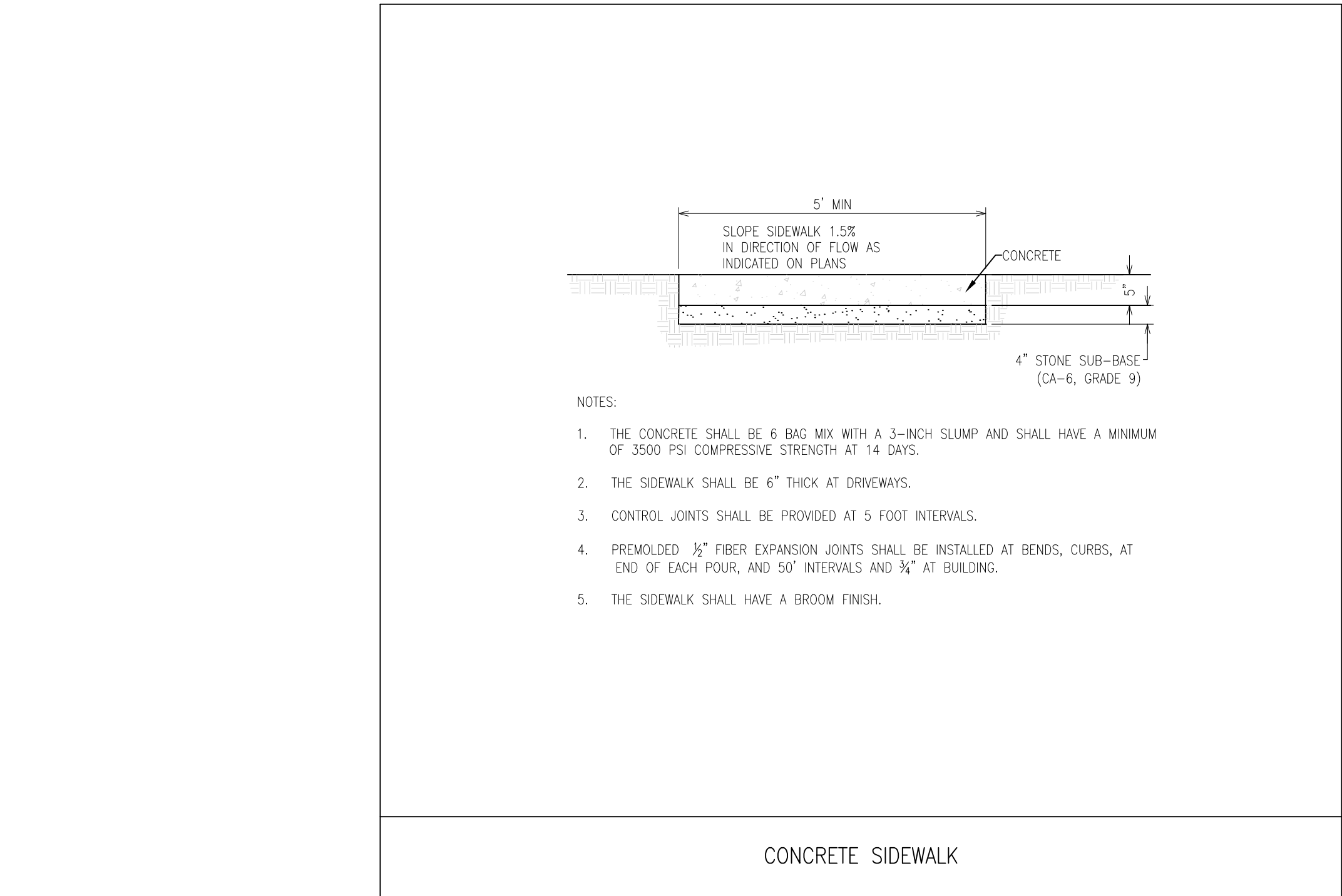
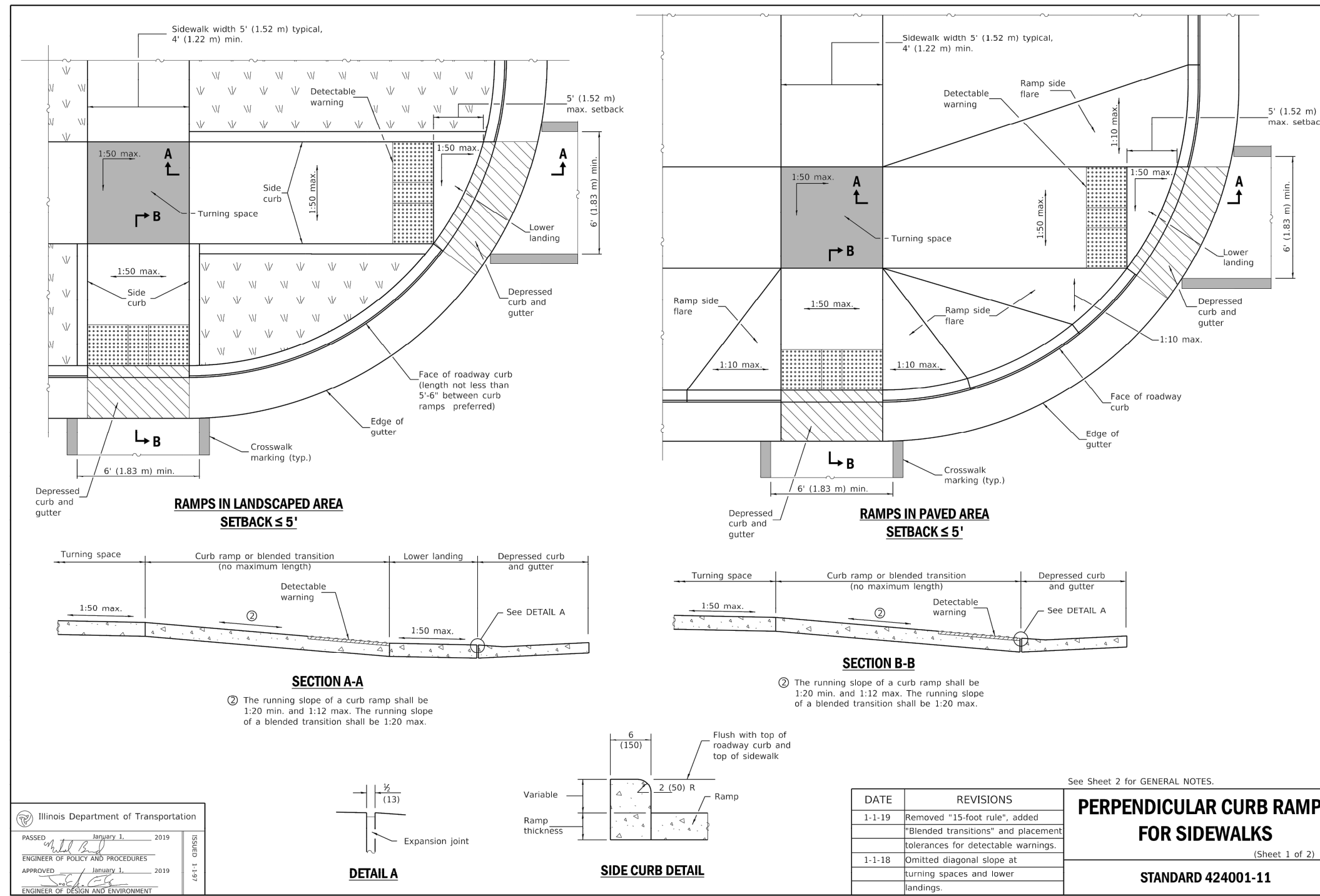
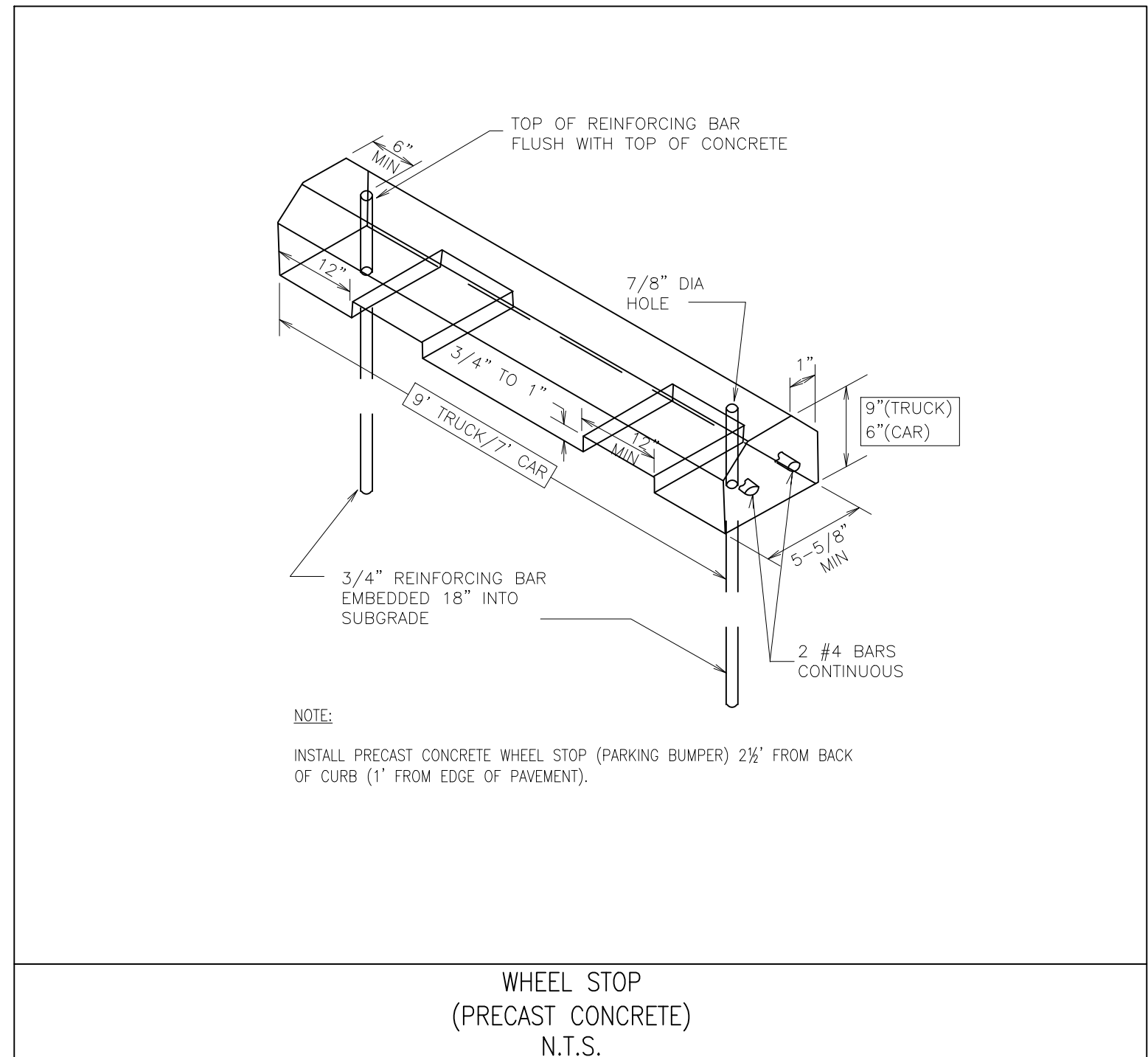
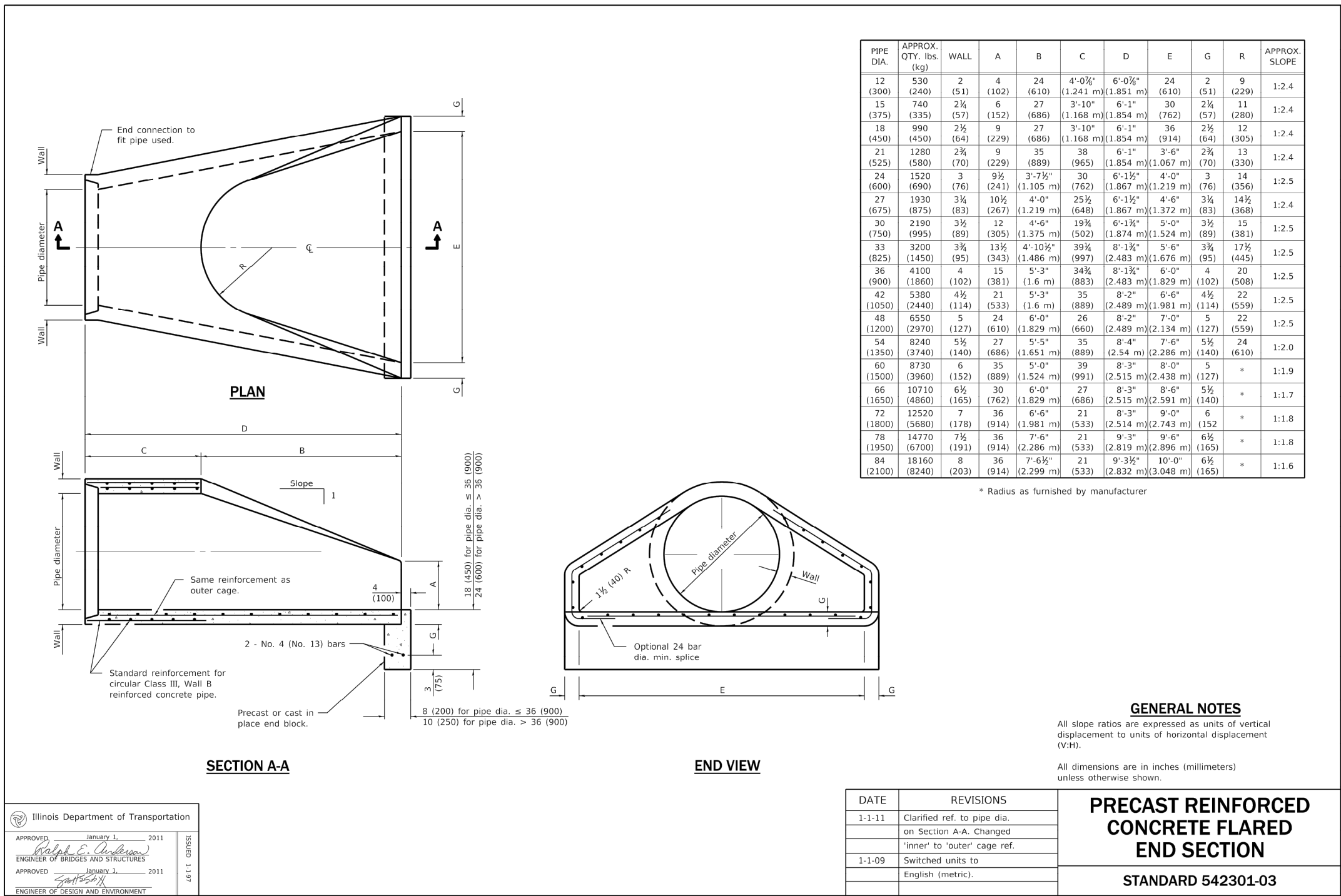
NEW HORIZON HOTELS  
TINLEY PARK, IL

TOP HOSPITALITY, LLC.  
2730 UNIVERSITY BLVD.  
HOUSTON, TEXAS 77005  
PHONE: 312-404-6735

NOVEMBER 18, 2019  
JOB: 18-036

SHEET:  
D1  
13 OF 18





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DETAILS

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

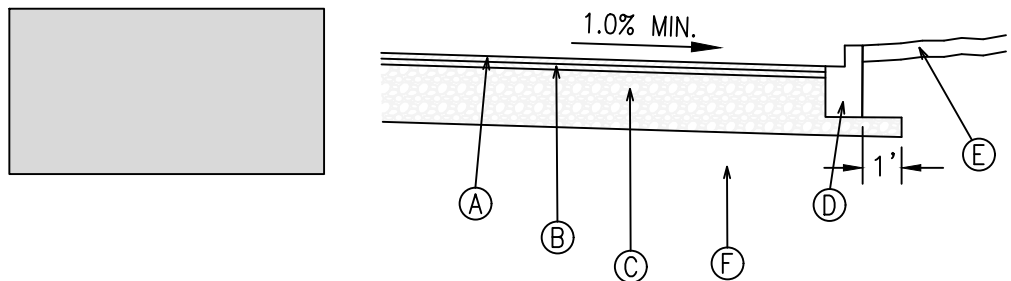
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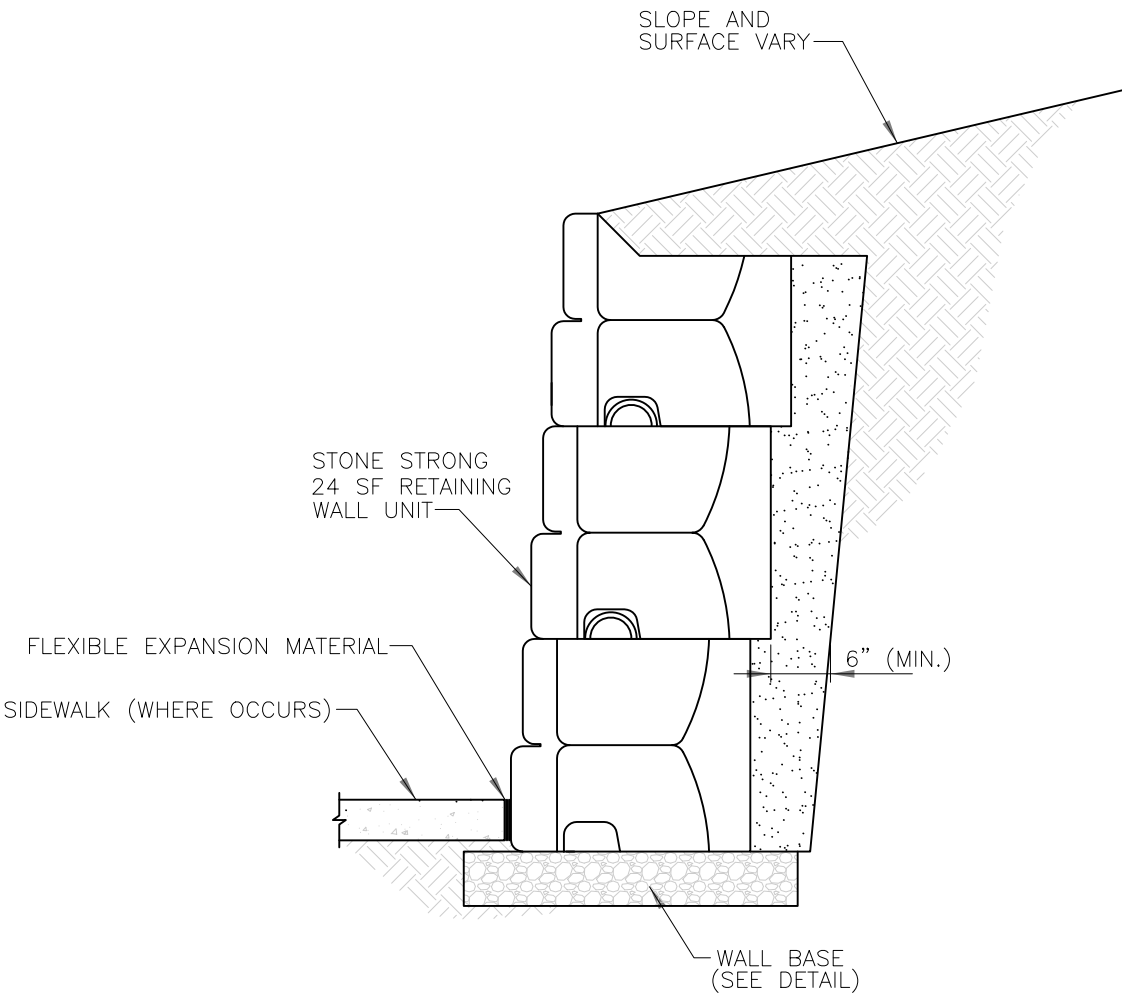
14 OF 18



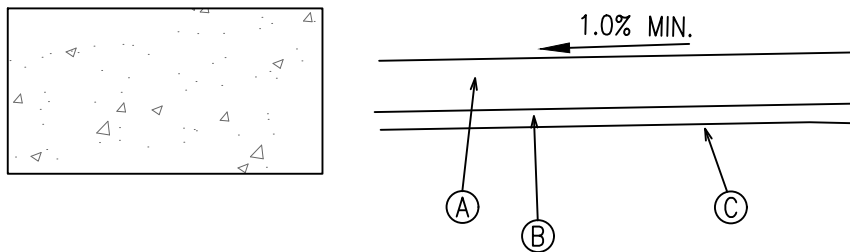


- A 2.0" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, NSO  
B 3.0" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, IL 19, NSO  
C 10" CA-6(GRADE 8) COMPACTED GRAVEL BASE  
D CONC. CURB & GUTTER, TYPE B-6.12 WITH 4" CA-6 GRAVEL SUB-BASE  
E 6" TOP SOIL AND SEEDING  
F COMPACTED SUBGRADE

ASPHALT PAVEMENT SECTION  
N.T.S.

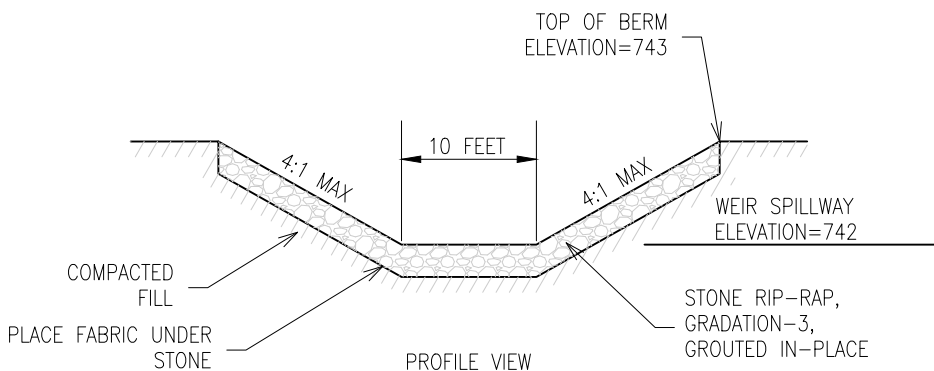
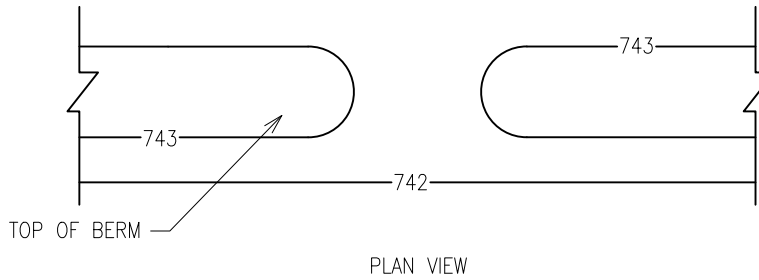


GRAVITY WALL CROSS SECTION  
N.T.S.

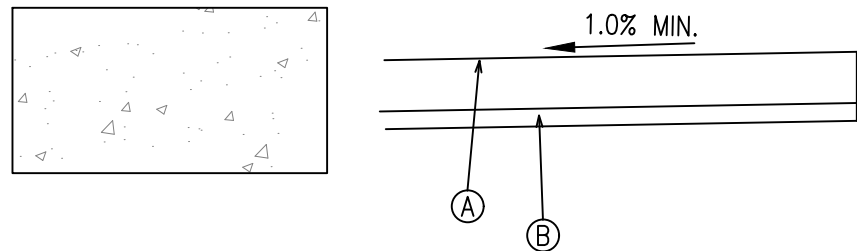


- A 8" PORTLAND CEMENT CONCRETE PAVEMENT W/6X6 WWF  
B 4" CRUSHED AGGREGATE SUB-BASE, TY. B.  
C COMPACTED SUB GRADE

CONCRETE DRIVEWAY SECTION  
N.T.S.

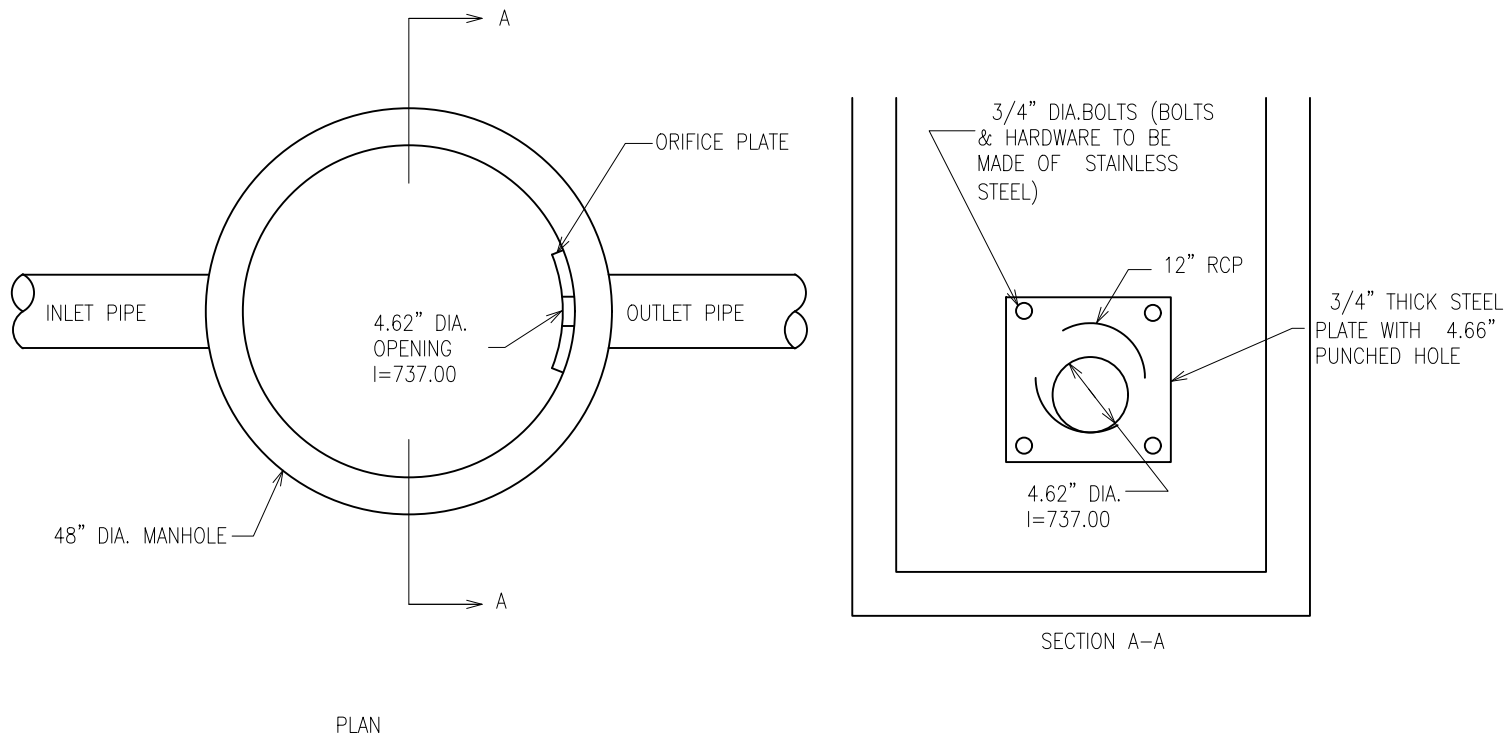


OVERFLOW WEIR



- A 10" PORTLAND CEMENT CONCRETE PAVEMENT W/6X6 WWF  
B 4" CRUSHED AGGREGATE SUB-BASE, TY. B.

DUMPSTER PAD SECTION  
N.T.S.



RESTRICTOR DETAIL

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DETAILS

NEW HORIZON HOTELS  
TINLEY PARK, IL

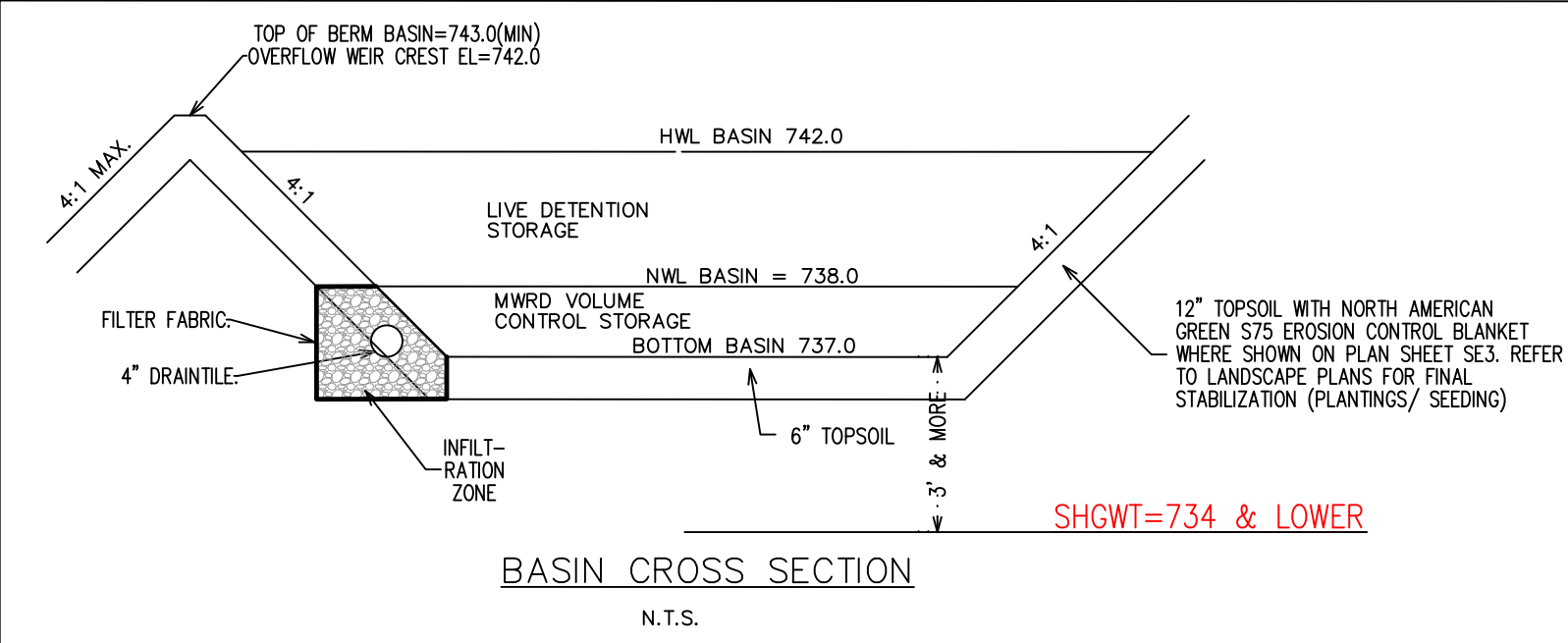
TOP HOSPITALITY, LLC.  
2730 UNIVERSITY BLVD.  
HOUSTON, TEXAS 77005  
PHONE: 312-404-6735

NOVEMBER 18, 2019  
JOB: 18-036

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D3

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MWRD SUMMARY	
LEGEND	
	IMPERVIOUS AREA
	PERVIOUS AREA
	UNRESTRICTED AREA
	VOLUME CONTROL AREA
	OFFSITE AREA
	DRAINAGE AREA BOUNDARY
DETENTION AND RETENTION SUMMARY:	
BASIN:	
BASIN BOTTOM= 737.0	
HWL= 738.0	
HWL= 742.0	
TAILWATER ELEVATION=N/A	
DETENTION VOLUME PROVIDED = 2.88 AC-FT	
DETENTION VOLUME REQUIRED = 2.88 AC-FT	
VOLUME CONTROL PROVIDED= 0.48 AC-FT	
VOLUME CONTROL REQUIRED= 0.52 AC-FT	
SUMMARY:	
TOTAL PROPERTY OWNERSHIP = 8.69 AC.	
TOTAL DEVELOPMENT AREA = 7.21 AC + 1.48 AC (U/S AREA) = 8.69 AC	
AREA TRIBUTARY TO BASIN = 8.47 AC.	
PROPOSED PERVIOUS AREA = 1.72 AC.	
PROPOSED IMPERVIOUS AREA = 5.70 AC.	
UPSTREAM AREA = 1.06 AC. BYPASS THROUGH OVERFLOW WEIR	
HWL AREA = 1.05 AC.	
UNRESTRICTED AREA = 0.22 AC.	

REMARKS

REVISED PER VILLAGE/MWRDC

REVISED PER VILLAGE

DATE

01/17/20

02/27/20

NO.

1.

2.

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DRAINAGE AREA EXHIBIT

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

NOVEMBER 18, 2019

JOB: 18-036

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DR1

16 OF 18



PIN: 27-34-300-013-0000  
27-34-300-014-0000

LEGAL DESCRIPTION:  
THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.  
And  
THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

EXAMPLE MAINTENANCE PLAN FOR X DEVELOPMENT

The Owner of the NEW HORIZON HOTELS, with facilities as shown on this exhibit (Exhibit R), shall assume responsibility for the following perpetual maintenance activities:

1. General  
Regular inspections and routine maintenance of general areas shall be performed on a monthly or as-needed basis. Specific items of concern include:
- Litter and debris shall be controlled
  - Landscaped areas shall be maintained with regular mowing and restored with appropriate seeding/vegetation as necessary.
  - Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations
  - Rip-rap areas shall be repaired with the addition of new riprap, as necessary, of similar size and shape
  - Roads shall be swept, vacuumed and/or washed on a regular basis

2. Storm Management Facilities  
All components of the storm water management facilities shall be checked monthly between March and November and maintained as necessary to ensure proper performance. It is critical that all inflows and outflows to the detention facility are clean and performing as designed. In addition, the design volume of the detention facility shall also be maintained. Inspections for the following specific items should be conducted monthly between March and November:

- Side Slopes/Embankments/Emergency Overflow Structure
- Inspect embankments for settlement and erosion
  - Remove woody growth from the embankment
  - Any breaks, hire Registered Professional Engineer for design resolution
  - Seed and sod any eroded areas
  - Sign of piping (leakage) or seepage, repair
  - Stabilize emergency overflow structure if erosion observed
  - Remove obstructions blocking emergency overflow spillway

- Vegetated Areas
- Regular mowing to control vegetation, no cutting of negative vegetation
  - Need for planting, reseeding or sodding. Supplement alternative native vegetation if a significant portion has not been established (50% of the surface area). Reseed with alternative grass species if original grass cover has not successfully established.
  - Evidence of grazing, motorbikes, or other vehicles, repair
  - Check for invasive vegetation, remove where possible
  - All vegetation must be maintained per the approved planting plan

- Outlet Control Structure
- Inspect restrictor and remove debris if clogged or discharge reduced
  - Remove accumulated sediment at outlet
  - Scour and erosion at outlet, repair and reseed
  - Any ice damage to outlet of pipe, repair if necessary
  - Condition of trash tracks, remove debris
  - Outlet channel conditions downstream Access for Maintenance Equipment
  - Remove any obstructions placed in maintenance easements

- Safety Features
- Access controls to hazardous areas
  - Fences
  - Loose or damaged posts
  - Loose or broken wires
  - Condition of gates
  - Signs

- Detention Volume
- Inspect all storm water detention facilities to ensure that the constructed volume for detention is maintained. No sediment, topsoil, or other dumping into the facility shall be allowed. Specific locations in the storm water management system, designed to accumulate sediment, shall be dredged as necessary to prevent sediment from reaching the invert of any gravity outlet pipe.

3. Volume Control Facility  
Routine inspections and maintenance of volume control facilities shall be performed by the Owner on a yearly or as-needed basis. Specific items of concern include:
- Facility shall be inspected yearly using the monitoring well to verify the system is functioning properly.
  - Surface of permeable pavement shall be cleaned with low-pressure power washer.
  - Accumulated sediment from surface shall be vacuumed out and disposed of properly.
  - Appropriate signage shall be repaired if damaged or illegible.

4. Storm water Collection System  
The Owner shall perform monthly inspections of all components of the stormwater collection system. The monthly inspection shall occur between March and November and include the following specific areas of concern:

- Storm Sewers/Manholes
- Remove accumulated leaves and other debris from gates
  - Reset covers/lids on as-needed basis
  - Remove accumulated sediment from manhole bottom when 50% of sump is filled

- Storm Sewers/Culverts
- Visually inspect pipes by removing manhole lids, make repairs as necessary
  - Storm sewers and culverts shall be checked for siltation deposits at inlets, outlets, and within the conduit, clean out as necessary
  - Restore rip rap at outfalls if erosion observed
  - Restore rip rap at outfalls
  - Replant and reseed any eroded areas

- Overland Flow Routes (Ditches/Slopes)
- Annual visual inspections shall be performed that verify the design capacity of the overland flow routes is maintained. The slope and cross-sectional area of the ditch/swale shall be verified during this inspection.
  - Remove any obstructions that have been placed in the drainage path
  - Seed and sod any eroded areas
  - Restore rip rap as necessary
  - Regrade to provide positive drainage as necessary
  - Regular mowing to control vegetation

5. Vegetated Areas
- Need for planting, reseeding, or sodding. Supplement alternative native vegetation if a significant portion has not been established (50% of the surface area after second growing season). Reseed with alternative native grass species if original grass cover has not successfully established.
  - Evidence of grazing, motorbikes, or other vehicles, repair.
  - Check for invasive vegetation, remove when possible.
  - Regular mowing to control vegetation; it is recommended that native vegetation remain uncut.
  - Dead or damaged non-native grassy areas – repair with seeding with fertilization or seeding with mulch.
  - Compensatory storage area shall be reseeded with appropriate vegetation according to the approved planting plan.

6. Qualified Sewer Construction
- Performed manhole inspections once every five years; make repairs as necessary.
  - Perform sewer inspections once every five years; make repairs as necessary.
  - Perform regular cleaning so that each sewer segment is cleaned once every 5 years.
  - Remove any obstructions placed in maintenance easements that may impede maintenance equipment access.

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EXHIBIT R  
NEW HORIZON HOTELS  
TINLEY PARK, IL

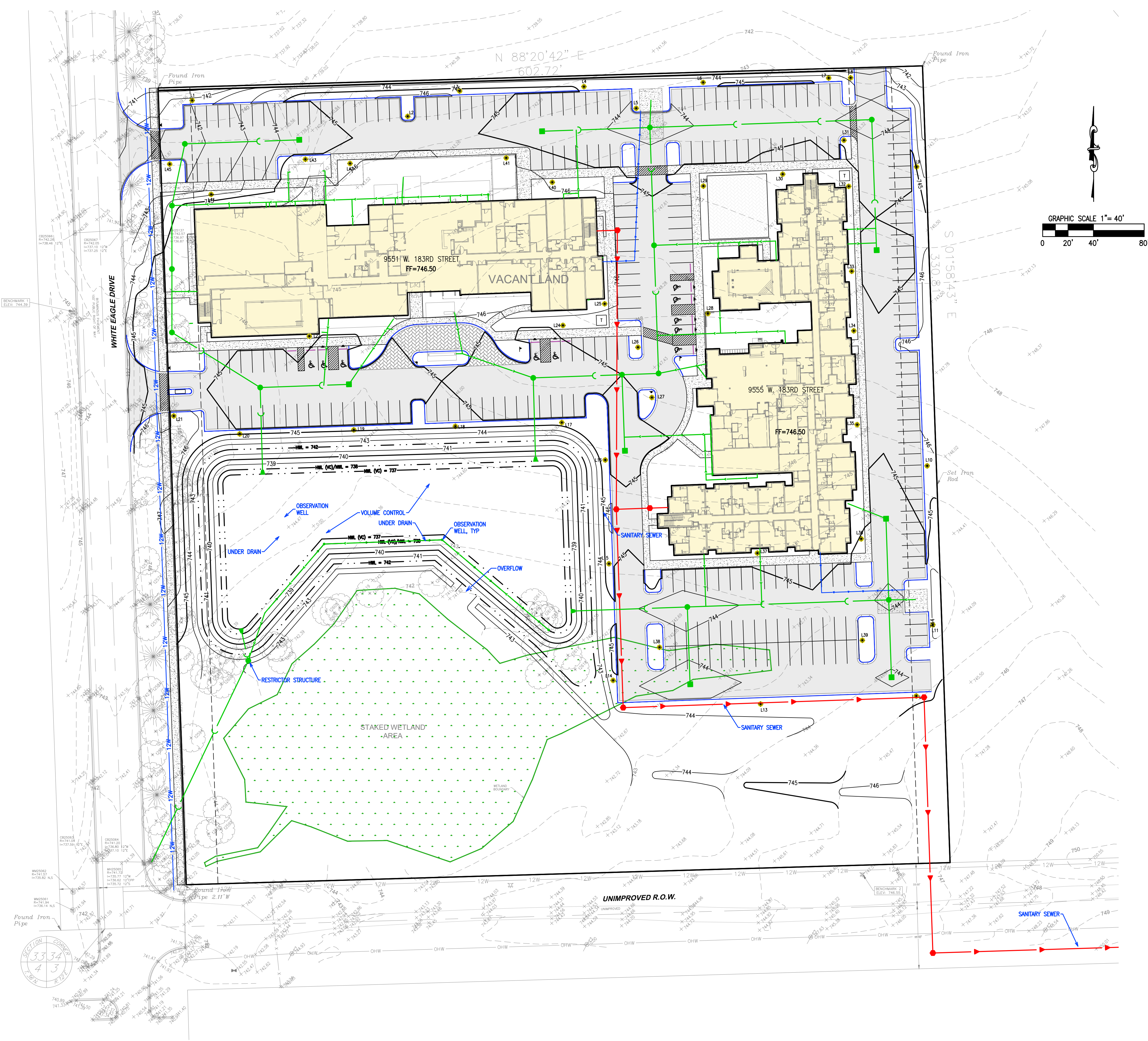
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PHONE: 312-404-6735

NOVEMBER 18, 2019  
JOB: 18-036

SHEET:  
DR2

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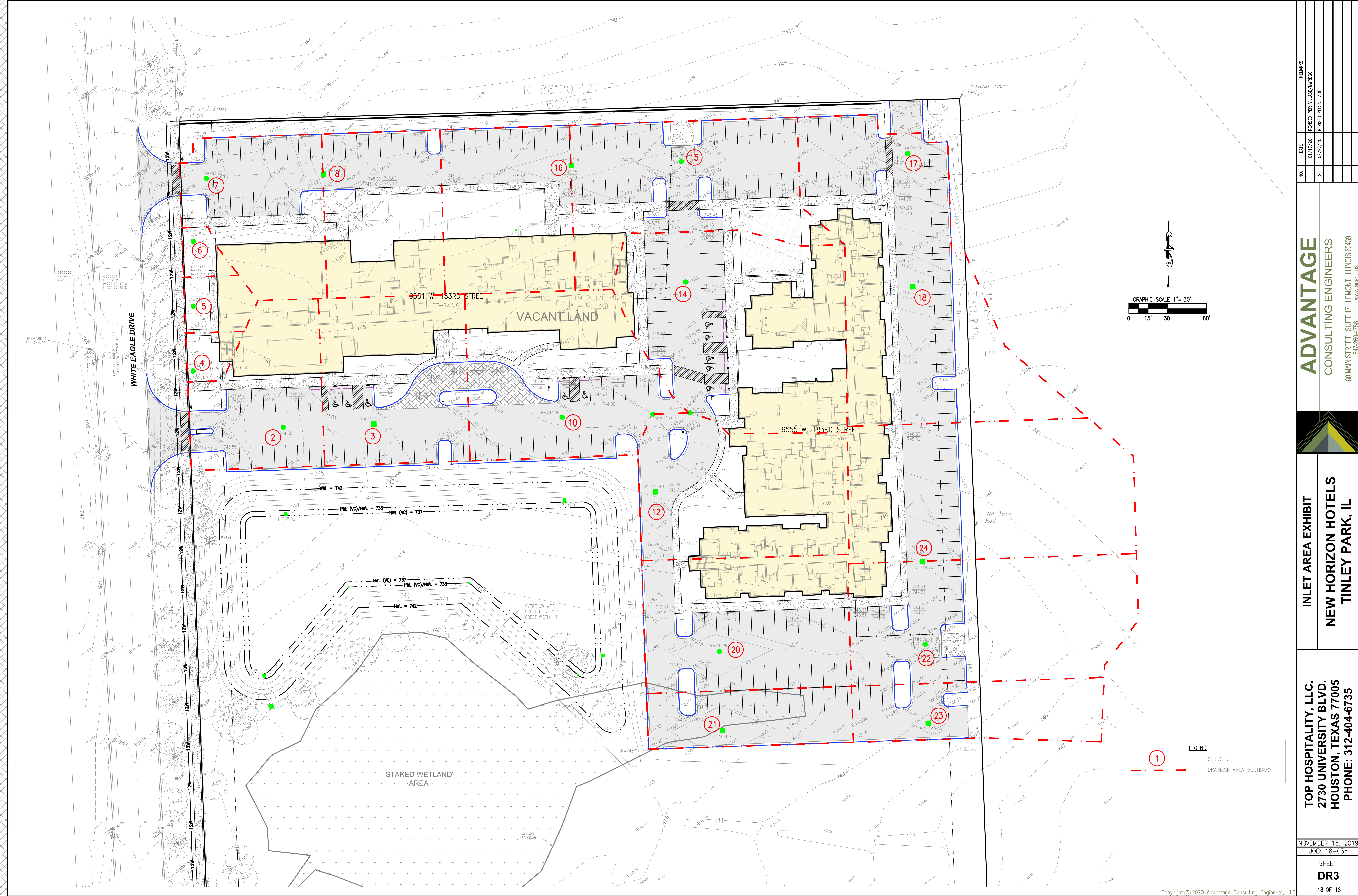
PROPERTY LOCATION: SECTION 34, TOWNSHIP 36N, RANGE 12E  
PROPERTY ADDRESS: 9551-9555 WEST 183RD STREET, TINLEY PARK, IL  
TOTAL CONTIGUOUS OWNERSHIP: 8.69 ACRES  
PROJECT AREA: 8.69 ACRES

OWNER WILL OWN AND MAINTAIN ALL  
STORM SEWERS, DETENTION BASIN AND  
SANITARY SEWERS

STORM WATER VOLUME SUMMARY:

DETENTION VOLUME REQUIRED:	2.88 AC FT
DETENTION VOLUME PROVIDED:	2.88 AC FT
VOLUME CONTROL REQUIRED:	0.48 AC FT
VOLUME CONTROL PROVIDED:	0.52 AC FT





REMARKS

REVISED PER VILLAGE/WRRO/SC

REVISED PER VILLAGE

NO.

1.

2.

DATE

01/17/20

02/27/20

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817-260-4758

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INLET AREA EXHIBIT

NEW HORIZON HOTELS

TINLEY PARK, IL

TOP HOSPITALITY, LLC.

2730 UNIVERSITY BLVD.

HOUSTON, TEXAS 77005

PHONE: 312-404-6735

NOVEMBER 18, 2019

JOB: 18-036

SHEET:

DR3

18 OF 18





# Interoffice Memo

**Date:** August 03, 2022

**To:** Pat Carr, Village Manager

**From:** Kimberly Clarke, AICP

**Subject:** Annexation of property located at 9599 94th Avenue (previously referred to as 18300 96th Ave., now known as White Eagle Drive



## BACKGROUND

The Petitioner, Top Hospitality LLC (Petitioner/Owner), applied for annexation of the 8.7 acre parcel depicted above. Two Marriott branded hotels (Courtyard of Marriott and Residence Inn) are proposed for the site which is currently located in unincorporated Will County. The annexation of the parcel will extend the Village's corporate boundary to the south side of the undeveloped 183<sup>rd</sup> Street right-of-way (former alignment).



**DISCUSSION**

Top Hospitality filed a petition for Annexation for the 8.7 acre parcel as depicted above in July of 2019 and again June of 2022. The applicant proposes to construct two Marriott branded hotels (Courtyard of Marriott and Residence Inn). An annexation agreement has been drafted and submitted for Village Board review and the zoning entitlements for the development of the two hotels have been recommended for approval by the Plan Commission. The annexation of this parcel will bring increased revenue through property taxes and sale taxes as well as provide jobs for the area.

**RECOMMENDATION**

Approve the Ordinance for approving the annexation of the subject parcel scheduled for a First Reading this evening and final adoption on August 16, 2022.





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**THE VILLAGE OF TINLEY PARK**  
**Cook County, Illinois**  
**Will County, Illinois**

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**ORDINANCE**  
**NO. 2022-O-063**

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**AN ORDINANCE APPROVING THE ANNEXATION OF CERTAIN PROPERTY  
LOCATED AT 9551 AND 9555 183RD STREET TO THE VILLAGE OF TINLEY  
PARK (TOP HOSPITALITY LLC / MARRIOTT HOTELS)**

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**MICHAEL W. GLOTZ, PRESIDENT**  
**NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-063****AN ORDINANCE APPROVING THE ANNEXATION OF CERTAIN PROPERTY  
LOCATED AT 9551 AND 9555 183RD STREET TO THE VILLAGE OF TINLEY  
PARK (TOP HOSPITALITY LLC / MARRIOTT HOTELS)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, pursuant to Section 7-1-1 of the Illinois Municipal Code (65 ILCS 5/7-1-1), the Village of Tinley Park ("Village") is authorized to annex any territory that is not within its corporate limits but is contiguous to the Village; and

**WHEREAS**, a petition has been filed with the Village Clerk and presented in proper form to the President and Board of Trustees of the Village of Tinley Park requesting that a territory, described herein, be annexed to the Village of Tinley Park, Cook and Will Counties; and

**WHEREAS**, the aforesaid petition is in proper form under oath, signed by all owners of record of all the land within the territory and also by all the electors within or on said territory; and

**WHEREAS**, said territory is contiguous to the corporate limits of the Village; and

**WHEREAS**, legal notices regarding the intention of the Village to annex said territory have been sent to all public bodies required to receive such notice by the statute; and

**WHEREAS**, copies of such notices required to be recorded, if any, have been recorded in the Office of the Recorder of Cook County; and

**WHEREAS**, the legal owner of record of said territory and the Village have entered into a valid and binding annexation agreement relating to such territory; and

**WHEREAS**, all petitions, documents, and other necessary legal requirements are in full compliance with the terms of the annexation agreement and state law; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, have determined that it is in the best interest of said Village and its residents that the territory be annexed to the Village; and



**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the Village hereby incorporates all of the recitals above into this Ordinance as if fully set forth herein.

SECTION 2: That the following territory described be and is hereby annexed to the Village of Tinley Park, Cook and Will Counties, Illinois pursuant to 65 ILCS 5/7-1-1 and 65 ILCS 5/7-1-8 as shown in the Plat of Annexation in **Exhibit A**:

**LEGAL DESCRIPTION OF TERRITORY:** THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

**P.I.N.s:** 27-34-300-0013-0000 & 27-34-300-0014-0000

**COMMONLY KNOWN AS:** 9551 & 9555 183<sup>rd</sup> Street, Tinley Park, Illinois (formerly referred to as 18300 96<sup>th</sup> Avenue, now known as White Eagle Drive)

Together with any adjacent street or highway required by law to be annexed pursuant to the provisions of 65 ILCS 5/7-1-1 and 65 ILCS 5/7-1-8. The annexation of the above-described territory shall extend to the far side of any adjacent highway and shall include all of every highway within said territory.

SECTION 3: That the Village Clerk is hereby directed to record with the Recorder's Office of Cook County and to file with the Cook County Clerk a certified copy of this Ordinance, together with the accurate map of the territory annexed appended to this Ordinance.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 16<sup>th</sup> day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August 2022.

ATTEST:

---

VILLAGE PRESIDENT

---

VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANACY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-063, “AN ORDINANCE APPROVING THE ANNEXATION OF CERTAIN PROPERTY LOCATED AT 9551 AND 9555 183RD STREET TO THE VILLAGE OF TINLEY PARK (TOP HOSPITALITY LLC / MARRIOTT HOTELS),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August 2022.

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VILLAGE CLERK

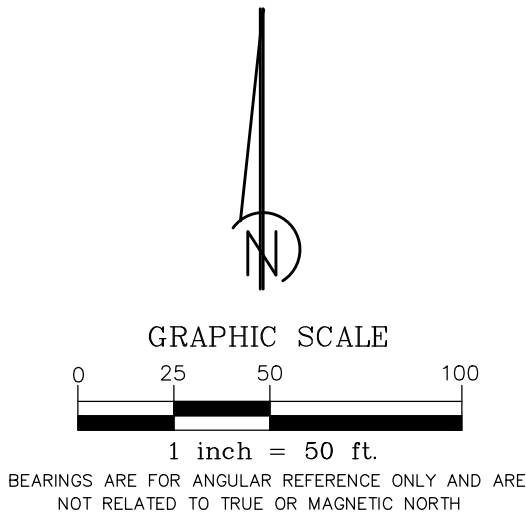


[illegible]



LEGEND

- N North
- S South
- E East
- W West
- ° Degrees
- ' Feet/Minutes
- " Inches/Seconds
- - - Village Limits



LAND AREA:

398,599.13 SF± OR 9.15 ACRES±

# PLAT OF ANNEXATION

## TO THE VILLAGE OF TINLEY PARK

PINS: 27-34-300-013-0000; 27-34-300-014-0000

ADDRESS: 18300 96TH AVENUE, TINLEY PARK, ILLINOIS 60477

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND THIS PLAT PREPARED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

OWNER \_\_\_\_\_

ADDRESS \_\_\_\_\_

NOTARY'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY

THAT \_\_\_\_\_, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC \_\_\_\_\_

VILLAGE BOARD OF TRUSTEES

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

APPROVED AND ACCEPTED BY THE BOARD OF TRUSTEES OF THE VILLAGE TINLEY PARK, COOK COUNTY, ILLINOIS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

VILLAGE PRESIDENT \_\_\_\_\_

ATTEST: VILLAGE CLERK \_\_\_\_\_

LAND SURVEYOR CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS.

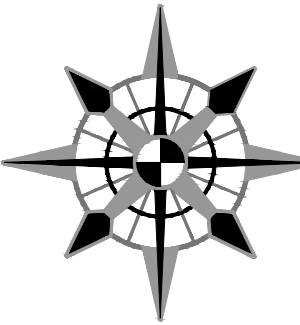
THIS IS TO CERTIFY THAT I, JAMES L. HARPOLE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED HEREIN AND AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY. I FURTHER CERTIFY THAT THE SAID PROPERTY WAS SURVEYED WITHIN THE LAST 18 MONTHS. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE VILLAGE BOARD RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPILED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SITE FALLS WITHIN ZONE X AS DEFINED BY FLOOD INSURANCE RATE MAP, PANEL NUMBER 17031C0706J HAVING AN EFFECTIVE DATE OF 08/19/2008.

DATED THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, 2022.

JAMES L. HARPOLE, ILLINOIS PROFESSIONAL  
LAND SURVEYOR NO. 3190

JLH LAND  
SURVEYING INC.  
Illinois Professional Design Firm No. 184.007120  
910 Geneva Street, Shorewood, Illinois 60404  
815.729.4000 www.jlhsurvey.com



ADVANTAGE  
CONSULTING ENGINEERS  
8100 N. STREET, SUITE 101, LEWIS, ILLINOIS 60469  
630.262.4200  
www.advantage-engineers.com

PREPARED FOR:  
TOP HOSPITALITY LLC  
2730 UNIVERSITY BLVD  
HOUSTON, TX 77005  
PHONE: 312.404.6735

DATE	BY	REVISIONS
10/21/19	JLH	VILLAGE COMMENTS
12/12/19	JLH	VILLAGE COMMENTS
06/09/22	JLH	VILLAGE COMMENTS

PLAT OF ANNEXATION	18300 96TH AVENUE	TINLEY PARK, ILLINOIS 60477
PROJ. MGR.: JLH	DRAWN BY: JLH	CHECKED BY: SR
DATE: 07/24/19	SCALE: 1"=50'	SHEET 1 OF 1
18-632-123		



**PETITION REQUESTING ANNEXATION  
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

**TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS**

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

*See Attached*

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:
- ☐ That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)
- ☒ That there are no electors residing in the described territory. (Property is vacant)

**WHEREFORE**, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

**PRINTED NAME(S) of OWNER(S)**

HARESH JETHANI  
*Manager and Member*  
VISAY BHAGIA  
*Member*  
HARDIK PATEL  
*member*

**SIGNED NAME(S) of OWNER(S)**

[Redacted Signature]

**ADDRESS**

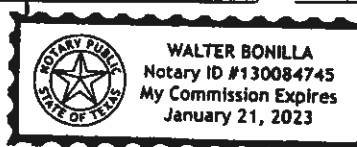
2730 University, Houston TX 77005  
5304 Valarie, Bellare TX 7740  
360 Jennifer Ln, Roselle IL 601

I, HARESH JETHANI, *manager and member of Top Hospitality LLC*, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true and correct.

Petitioner Signature: \_\_\_\_\_

**To Be Completed by a Notary Public:**

Subscribed and sworn to before me this 11 day of July, 2019





**PETITION REQUESTING ANNEXATION  
TO THE VILLAGE OF TINLEY PARK, ILLINOIS**

**TO: THE VILLAGE CLERK, VILLAGE OF TINLEY PARK, ILLINOIS**

We, the undersigned Petitioner(s), owner(s) of record of all the land herein requested to be annexed, respectfully represent that all the conditions required for annexation to the Village of Tinley Park, pursuant to and in accordance with Chapter 65, Illinois Compiled Statutes, Act 5, Illinois Municipal Code, Article 7, Division 1, Section 8 (65 ILCS 5/7-1-8) do hereby exist, to wit:

1. That the territory requested to be annexed is legally described as follows (include tax identification number):

See attached "Exhibit A - Legal Description"

2. That the described territory is not within the corporate limits of any municipality, but is contiguous to the Village of Tinley Park, a municipality organized and existing under the laws of the State of Illinois.
3. That a Plat of Annexation showing the described territory is attached hereto and made a part of this Petition.
4. That this petition is signed by the owners of record of all land in the described territory.
5. That one of the following statements is true:
 

☐ That this petition is signed by all the electors residing in the described territory. (Property has a home built on it)
   
☒ That there are no electors residing in the described territory. (Property is vacant)

**WHEREFORE**, your Petitioners respectfully request the Corporate Authorities of the Village of Tinley Park to annex the above described territory to the Village of Tinley Park.

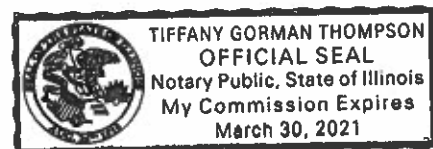
<u>PRINTED NAME(S) of OWNER(S)</u>	<u>SIGNED NAME(S) of OWNER(S)</u>	<u>ADDRESS</u>
TOP HOSPITALITY LLC		2730 University Blvd. Houston, TX 77002
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

I, Haresh Jethani, (printed name of individual signing oath) do hereby state under oath that I am one of the Petitioners in the above and foregoing Petition for Annexation, that I have read the same, and that the facts stated in such Petition are true.

Petitioner Signature: \_\_\_\_\_ Manager of Top Hospitality, LLC

**To Be Completed by a Notary Public:**

Subscribed and sworn to before me this 16<sup>th</sup> day of July, 2019







# PLAN COMMISSION STAFF REPORT

July 21, 2022 – Public Hearing

## Marriott Hotels: Courtyard and Residence Inn

9551 & 9555 183<sup>rd</sup> Street

### Petitioner

Top Hospitality LLC

### Property Location

9551 & 9555 183<sup>rd</sup> Street  
(off of White Eagle Drive)

### PIN

27-34-300-013-0000 &  
27-34-300-014-0000

### Zoning

Current: Unincorporated  
Cook County (C-4)

Proposed: B-3, General  
Business & Commercial

### Approvals Sought

Site Plan Approval  
Special Use Permit  
Variations  
Plat Approval  
Rezoning (Upon  
Annexation)

### Project Planner

Daniel Ritter, AICP  
Planning Manager

Lori Kosmatka,  
Associate Planner



## EXECUTIVE SUMMARY

The Petitioner, Top Hospitality LLC (Petitioner/Owner), is requesting a Special Use for an Extended Stay, Rezoning upon Annexation, Final Plat of Subdivision approval, Variations, and Site Plan approval for their site to be developed with two Marriott brand hotels: Courtyard and Residence Inn. The subject property is located on the east side of White Eagle Drive and south of 183<sup>rd</sup> Street. The 8.7 acre subject site is proposed to be subdivided into two lots and zoned to the B-3, General Business and Commercial zoning district.

The project had previously received preliminary reviews and Plan Commission review in April 2020, however due to the COVID pandemic, the project was delayed and pulled prior to receiving Village Board approvals). The majority of the development remains the same as previously reviewed, except that the project phasing is revised, utility connection locations have changed, and a Special Use Permit is now required for Extended Stay Hotels.

The Courtyard hotel includes an 83,722 sq. ft. four story building with 125 guest rooms, a banquet hall, meeting rooms, exterior patio, fitness center, indoor pool, lounge with dining area and bar. The Residence Inn hotel is marketed towards extended-stay guests and includes an 87,875 sq. ft. four story building with 118 guest rooms, fitness center, dining room, meeting room, lounge room, indoor pool, outdoor basketball court, and exterior patio. In addition, there is a proposed shared stormwater detention pond and existing wetland area on the site.

Changes to the July 7<sup>th</sup>, 2022 Workshop Staff report are in red.

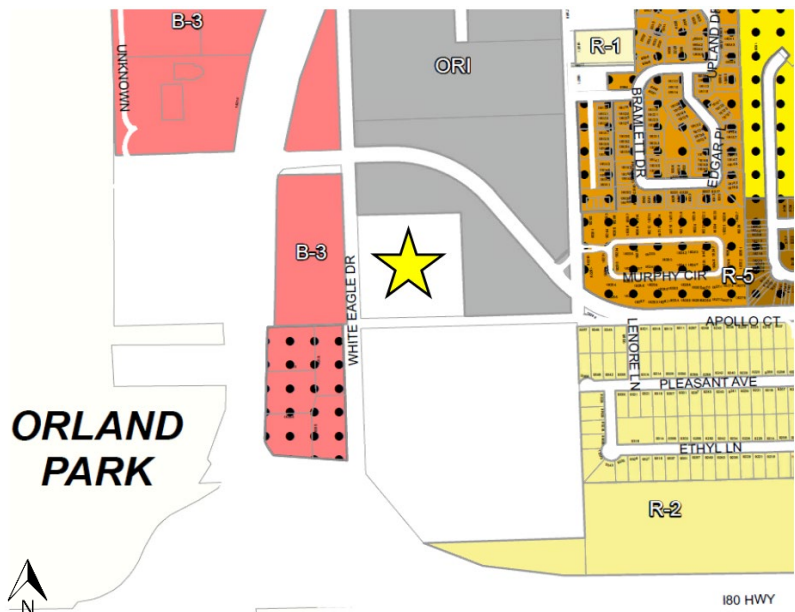


## EXISTING SITE & ZONING

The property consists of two vacant parcels totaling 8.7 acres in size. The property is located in unincorporated Cook County and zoned C-4, General Commercial (similar to the Village's B-3 zoning district). The land is undeveloped and has historically been used for farming purposes. There is a small portion of the southwest corner of the subject property encumbered with an existing wetland that is regulated by the U.S. Army Corps of Engineers. The annexation will include the adjacent unimproved IDOT right-of-way previously planned for the 183<sup>rd</sup> Street extension and will result in the annexation of a total of 9.15 acres.

South of the subject site is the WLS radio tower site that is also located in unincorporated Cook County (C-4 Zoning District). To the north and east of the property is a parcel zoned ORI (Office and Restricted Industrial); west is a vacant parcel zoned B-3 (General Business & Commercial). The property is nearby the I-80 LaGrange Road northbound exit. Currently existing to the southwest of the property is a Planned Unit Development (PUD) that includes two hotels (Hilton Garden Inn and Country Inn & Suites), two standalone restaurants (Texas Roadhouse and Jumbo Crab), and a third vacant pad that is planned for an additional standalone restaurant.

The site is located within the Urban Design Overlay District (UDOD), which promotes walkability, decreased front yard setbacks, and overall a more urbanized look.



## PROPOSED USE

The Petitioner plans to develop two Marriott brand hotels on the subject property: Courtyard and Residence Inn. The Courtyard hotel includes an 83,722 sq. ft. four story building with 125 guest rooms, a banquet hall, meeting rooms, exterior patio, fitness center, indoor pool, lounge with dining area and bar. The Residence Inn hotel is marketed towards extended-stay guests and includes an 87,875 sq. ft. four story building with 118 guest rooms, fitness center,



dining room, meeting room, lounge room, indoor pool, outdoor basketball court, and exterior patio. The amenities, including the dining and bars, are only open to hotel guests.

### Phasing

In the previous 2020 proposal, construction of the two sites had been anticipated to happen simultaneously. However, the current proposal requests a revised phasing plan. The Residence Inn (Extended Stay) hotel is proposed to be constructed prior to the Courtyard hotel. The Petitioner's narrative notes the phasing. The first phase (Residence Inn) is desired to begin October 2022, with a construction timeline of around 18 months. The second phase (Courtyard) is desired to begin May 2024.

The Petitioner has supplied a revised submittal which includes a phasing plan illustrating three phases. The Petitioner does not have a timeline yet for the third phase which is anticipated to be used as a restaurant, office, or other commercial use.

### SPECIAL USE PERMIT

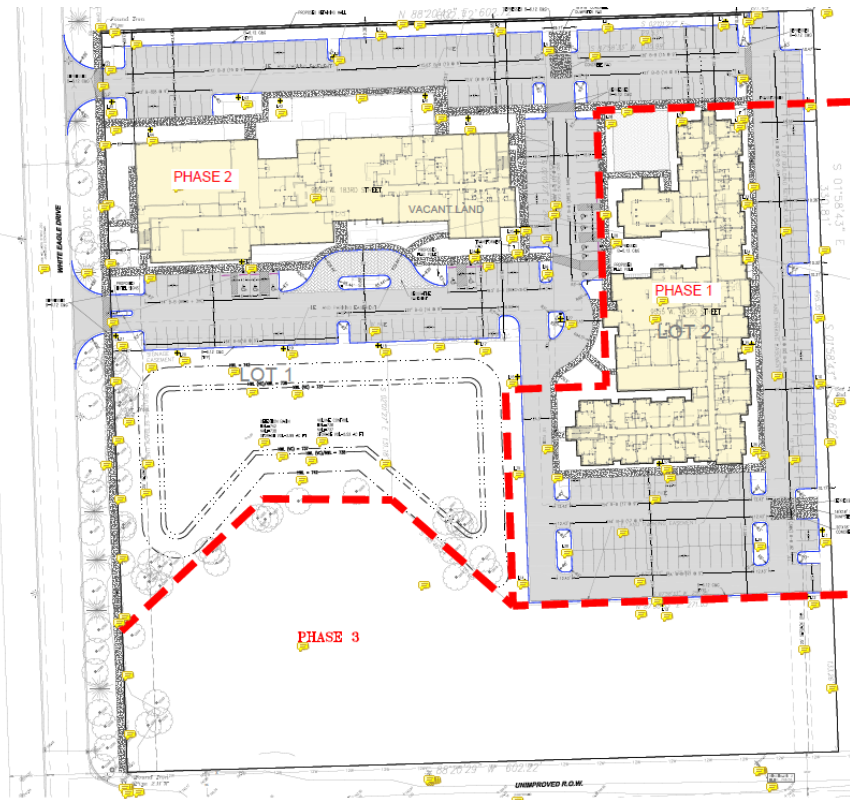
The proposed Residence Inn hotel is proposed to be an Extended Stay type of hotel. Extended Stays require a Special Use Permit per text amendment approval earlier in 2022 in all situations where hotels are currently allowed as a Permitted or Special Use.

The Zoning Ordinance defines Extended Stay as:

**HOTEL, EXTENDED STAY:** A Hotel containing guest rooms for lodging, offered to the public for compensation, which are advertised, designed, intended or routinely utilized for weekly or monthly occupancy, or in which at least 30% of all guest rooms have facilities for the refrigeration and preparation of food by guests, such as a refrigerator and a cooktop/stove (or a refrigerator, a microwave, and a dishwasher or kitchenette sink), a cook-top/stove or microwave, and a dishwasher or sink, and a self-serve laundry facility is available for guests use.

Extended Stays are a sub-market of hotels that focuses on guests who stay for longer periods (anywhere from 3 days to many months). The extended stay hotel market has grown substantially in recent years. An extended stay hotel can function very differently than traditional hotels in terms of its amenities, operations, and effects on the local economy. They can also bring challenges to areas that are not designed for them if they begin to function as a multi-family residential use rather than temporary lodging for visitors.

These longer stays may be for several reasons including temporary work locations, work training, temporary housing during disasters or home renovations, visiting relatives for extended periods, and many other reasons. While longer guest stays have always been a part of the hotel industry, hotels catering to this specific sub-market are more of a recent trend. Extended stay hotels typically offer fewer traditional hotel amenities (pools, fitness center, meeting rooms, bars/restaurants, etc.) and fewer or limited hotel services (breakfast, 24/7 front desk staffing, daily room cleaning, etc.) However, extended stays do offer a larger average room size and typically have small kitchen area with a stove, microwave cabinets, and a full-sized refrigerator. They come fully furnished typically with seating and work areas that allow for a more comfortable long-term stay. Extended stay hotels typically offer cheaper daily rates for





long-term guests than many traditional hotels. However, they also maintain allowances for daily and short-term stays for leisure guests that may prefer a larger room or a cheaper rate without typical hotel services.

In each situation an extended stay hotel use is reviewed based on the Standards for a Special Use (Section X.J.5. of the Zoning Ordinance) to ensure it is operated safely, functions appropriately as a hotel, and does not negatively affect neighboring properties or the Village's economy.

Concerns with extended stay hotels from a land use perspective include that they can begin to function less as a commercial hotel use for temporary visitors and more as a multi-family residential building. In this regard, their preferred locations, site design, parking needs, walkability, access to public services, effects on the local economy, and many other items differ greatly. Public safety concerns are noted as well since they typically do not run thorough background checks, require registering of vehicles, or may not have staff always present on site. Any potential negative effects of an extended stay hotel can be compounded when located near each other or have a large number of rooms in one community.

Currently the Village only has one Extended Stay property – Woodspring Suites at 18636 West Creek Drive.

Marriott's Residence Inn extended stay hotel is identified as a quality hotel product line with corporate management structure in place. Additionally, the Petitioner states Marriott does not allow for lengthy/permanent residence at its locations, and pursuant to Village goals, will require registration of all cars on the premises and include 24/7 staff.

***Open Item #1: Discuss the proposed Special Use Permit request for an Extended Stay.***

## VARIATIONS

Below is the list of Variations from the Zoning Code required based on the currently proposed plans. Each Variation is addressed separately as an open item in the applicable Staff Report sections below.

### Lot & Building

1. A Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres.
2. A Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55' 10" tall building (Residence Inn) and a four story 54' 9.5" tall building (Courtyard) instead of the permitted maximum of three stories and 35 feet.
3. A Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24' drive aisle instead of the permitted minimum of 26'.
4. A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize greater than 15% of a non-masonry material (fiber cement board and stucco) on the building exteriors.
5. A 46 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 175 parking spaces required.
6. A 19 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Residence Inn to have 124 parking spaces instead of the 143 parking spaces required.

### Urban Design Overlay District (UDOD)

7. A Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 40.45' to 274.92' instead of the permitted 20' maximum.
8. A Variation from Section V.D.2.D.(2) to permit the Courtyard (Lot 1) to have a front yard building setback of 25 feet instead of the permitted 20' maximum.
9. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).
10. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Courtyard (Lot 1).



11. A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.

#### Signage

12. A Variation from Section IX.M.2. to permit an off-site sign for Lot 2 to be located on Lot 1 with an approved signage easement
13. A Variation from Section IX.D.2.c. to permit a freestanding sign to be setback five feet from the property line instead of the required ten foot minimum.

## FINAL PLAT OF SUBDIVISION

The two existing lots are proposed to be resubdivided through approval of a Final Plat of Subdivision that alters the lot configuration to accommodate the two hotels. Appropriate easements are being recorded for cross-access, cross-parking, signage, and public utilities as part of the final plat approval.

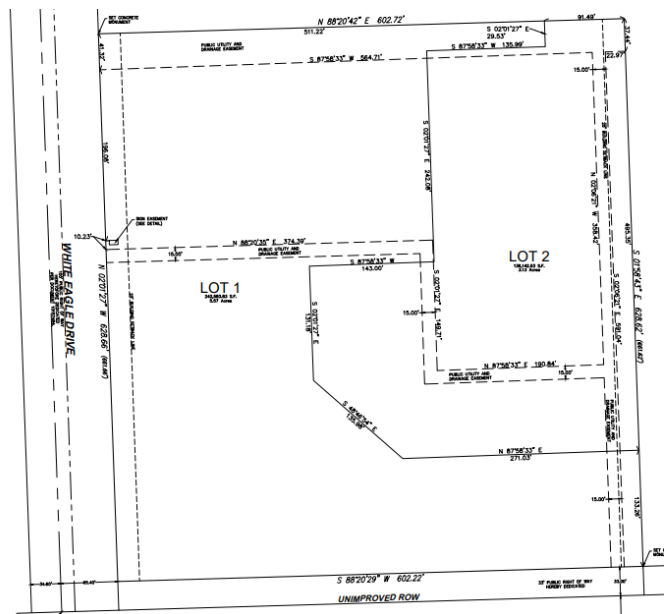
The design of the lots is unique because the Residence Inn/Lot 2 will not have direct access to the adjacent White Eagle Drive right-of-way and will have permanent access through a cross-access (ingress/egress) easement with the Courtyard/Lot 1. The Zoning Code specifically allows for properties with unique lot, land, or use circumstances to have a lot that does not abut the public right-of-way, subject to appropriate cross-access and utility easements. In this case, the lot and site design were chosen due to the existing wetland location, detention location/topography and the large building footprint required for a hotel.

Additionally, the desire to divide the detention pond location made it even more difficult to have a separate right-of-way frontage for the Residence Inn/Lot 2. The lot configuration was designed to roughly divide the parking lots and detention pond based on the supply needed for each site. The shared ownership of the pond ensures responsibility for maintenance by both owners since covenants or a property owner's association (POA) can be changed in the future.

The Final Plat of Subdivision includes cross-parking allowances, public utility and drainage easements, and a sign easement location and language.

The Petitioner notes they have now mitigated the wetlands to allow for an eventual third lot for anticipated use as a restaurant, office, or other commercial use. The third lot is not part of the current zoning entitlement request. The Petitioner will need additional zoning entitlement to request a resubdivision in the future to create a new lot for that use.

The Petitioner has confirmed the sign easement will be for the Residence Inn sign face on a single shared ground sign located in the area of the boulevard's entry median. Also, the sign easement will be 5 ft. feet setback





from the west property line, not 4 ft. The Petitioner is revising the Final Plat of Subdivision to indicate the correct location of the sign easement.

## ANNEXATION & REZONING

The Petitioner is requesting annexation into the Village. The Annexation Agreement is scheduled to be reviewed by the Community Development Committee; it will be scheduled for Village Board review at the same time as all zoning and entitlements requests. While the Plan Commission does not specifically review annexations in themselves, the appropriate zoning district and overall development proposal are reviewed. The annexation will include the adjacent unimproved IDOT right-of-way for a total annexation of 9.15 acres.

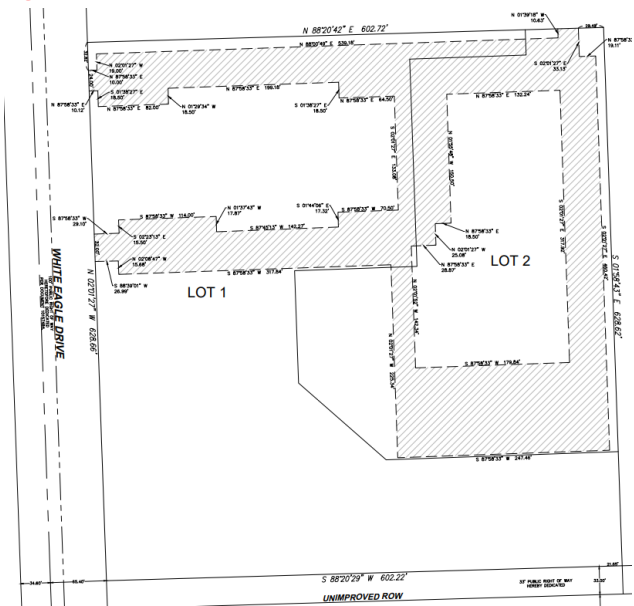
There are two possibilities for zoning this property based on the surrounding zoning and proposed land use; either the B-3 (General Business and Commercial) or the ORI (Office and Restricted Industrial) zoning districts can accommodate the proposed hotel use as a permitted use. While both districts will allow for hotel land uses the assignment of the B-3 zoning district will allow it to serve as an extension of the B-3 designation for the existing hotel properties and undeveloped property along the LaGrange Road corridor. The B-3 zoning district is generally described to “accommodate a wide range of specialized commercial uses, including highway-oriented services and commercial types of establishments to serve the needs of motorists.” Alternatively, the ORI zoning district is intended to provide land for “medium to large office buildings, research activities, and non-objectionable industrial activities which are attractively landscaped and designed to create a “park-like” setting”. The zoning of the subject parcel expands current and planned commercial land uses along this major corridor (Rt. 45) which enjoys has valuable commercial potential due to its adjacency to Interstate 80.

The Comprehensive Plan designates the parcel as *Office/Restricted Industrial* however the Comprehensive Plan was approved in 2000, prior to the realignment of 183<sup>rd</sup> Street and prior to the area’s initial development. The realignment of this 4-lane commercial corridor along with the realignment of LaGrange Rd/Rt. 45 created increased opportunities for commercial development with valuable commercial frontage. The corporate office market is currently struggling for growth; therefore the Village will need to continue to analyze the ORI zoning in this area.

**Lot Size** - The B-3 zoning district allows for hotels as a permitted use on lots over five acres in size. The five acre size limit was approved in 1997 to promote the development of larger, full-service hotels. This area limitation is not a recognized limitation in the marketplace; many full-service hotels can be developed on less than 5 acres. The Courtyard parcel (Lot 1) is 5.57 acres and therefore meets the size requirement. The Residence Inn (Lot 2) comprises 3.13 acres and therefore requires a Variation of the five acre requirement. Staff believes the development of both hotels meet the intent of the zoning requirement in providing large full-service hotels by a reputable hotel brand.

**Structure Size** - The B-3 zoning district limits structures to a maximum of three stories and 35 feet in height. The proposed hotels are both proposed at four stories; the proposed heights are 55’ 10” (Residence Inn) and 54’ 9.5” (Courtyard).

There are many properties that have been approved in the Village for Variations (or exceptions if part of a PUD) from the Zoning Code’s height limitations such as office buildings, hotels, condominiums, and apartments. Variation requests to allow for additional height have been reviewed in regards to the surrounding area’s development pattern



*Proposed Final Plat of Subdivision (two drawings; second drawing's hatching indicates Cross Access & Parking Easement)*



and neighboring uses. The property is nearby to two existing three-story hotels, a tall radio tower, and does not have any immediately adjacent single-family residential homes.

Urban Design Overlay District (UDOD) - The site is located within the UDOD, which was designed to promote walkability, lesser front yard setbacks, and overall a more urbanized look. The majority of the UDOD requirements are difficult to apply to the proposed development primarily due to the unique lot design and lack of a true front yard on the Residence Inn site. The unique lot design with shared access and frontage along White Eagle Drive was chosen due to the large building footprint, existing site topography, and the existing wetland encumbrance. However, staff has worked with the Petitioner to ensure that the spirit of the UDOD is met where possible. As a result, the Courtyard hotel is positioned near the White Eagle Drive frontage, an interconnected public and private sidewalk system is proposed, and future cross-access to the neighboring undeveloped properties is proposed.

The Site Plan does not indicate specific building setbacks for each façade to the lot lines. Previously, the Plan Commission did not express concern for the proposed Variations in height due, lot size, or UDOD requirements. In the 2020 review, as requested, staff confirmed the closest residential structure (Heritage Club Villas) to the hotels will be approximately 808 ft. from the Residence Inn building.

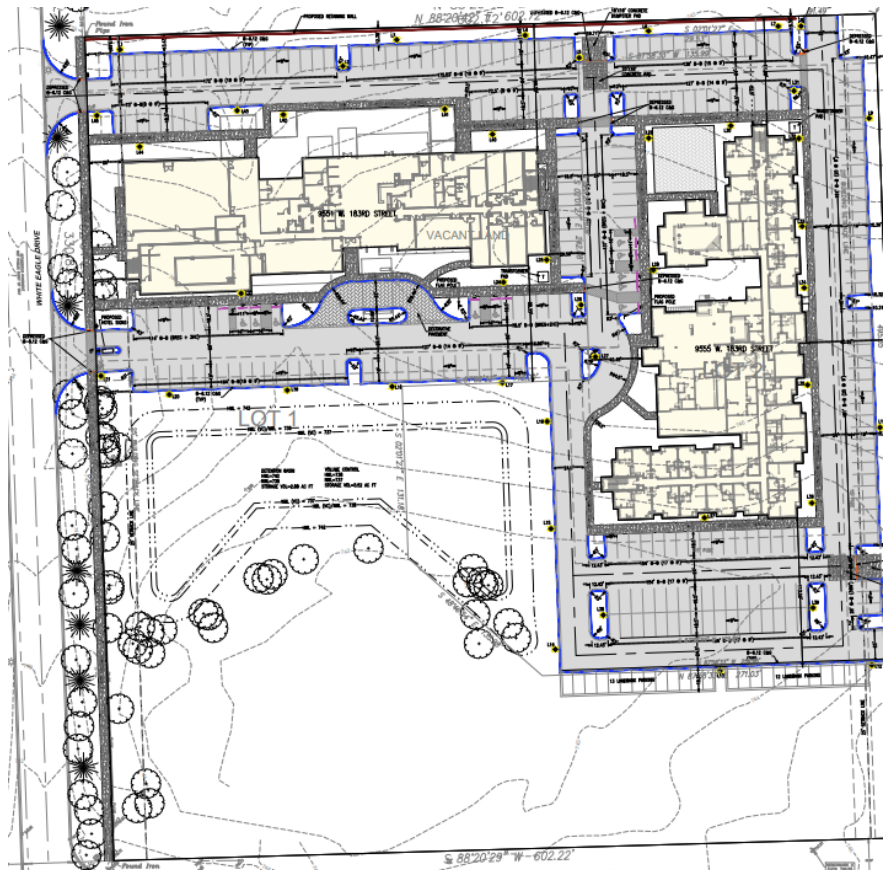
***Open Item #2: Revise plans to indicate all proposed structure setbacks.***

The Petitioner provided an updated Site Plan showing all property building setbacks, with the exception of the maximum front yard setback for the Residence Inn. The Petitioner is revising the Site Plan to include this.

## SITE PLAN

The site plan includes the two hotel buildings, drop off canopies, parking, walkways, landscaping, outdoor patios, and dumpster encloses. In addition, there is a shared stormwater detention pond. *The Petitioner has noted that the wetland at the southwest corner of the site has been mitigated. The Petitioner has provided an updated site plan (see image to right). The Petitioner is further revising the site plan to better show the proposed lot line separating Lots 1 and 2 and the maximum front yard setback for the Residence Inn.*

Lot Design and Cross-Access – The two hotels will be located on separate lots, but the overall project is being designed cohesively. While hotel amenities will be separate, the sites will share curb cut access and the overall parking field. Proper easements are proposed with the Plat of Resubdivision to ensure if the hotels are owned separately in the future, there are no issues with the parking or access allowances.



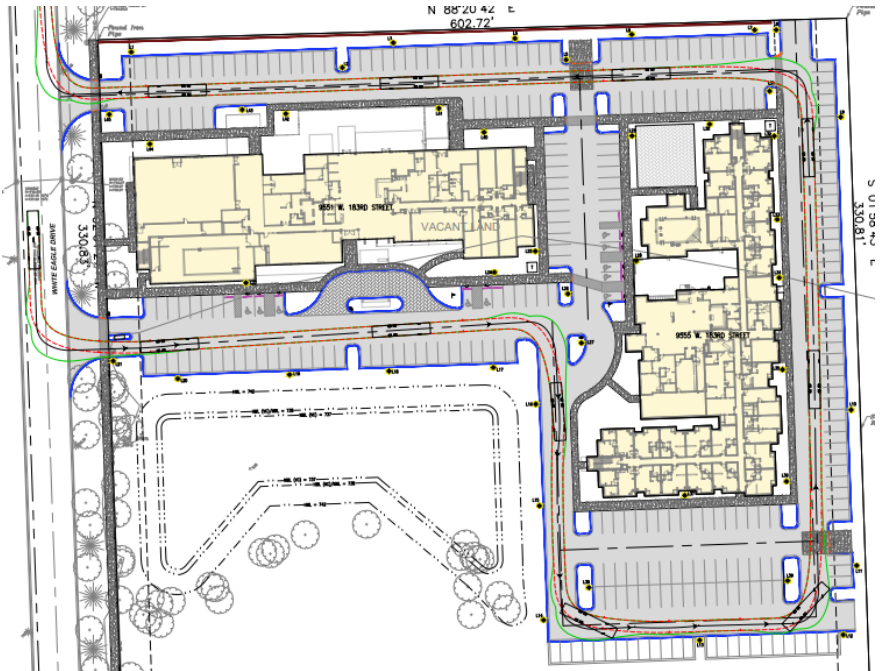
*Above: Updated Site Plan*



Future cross-access has also been established to the vacant lot that wraps around the subject property to the north and east. The cross-access points are proposed at the northeast and southeast corners. If cross-access is not established in the future, the drive aisle connections can be converted to parking stalls.

Site Access and Parking Lot Circulation – The hotel will have two driveways off of White Eagle Drive. Guests will primarily enter the site at the south entrance which leads to the front entrances of both hotels. Both hotel entrances will have a circular drop-off/check-in location. The Courtyard will have an overhead porte-cochere canopy while the Residence Inn entrance will be open. A separate building entrance on the north side of the Courtyard will allow banquet guests a separate entrance without needing to go through the hotel.

A boulevard entrance with a separate median (island) separating the drive aisles will draw attention to the driveway as the main entrance and increase the attractiveness of the site overall. A single shared monument sign will be located on the median (island).



Above: Updated Fire truck auto turn template

Traffic control signage and striping are shown on the preliminary engineering plans. The Petitioner will coordinate with Village Engineering to ensure the plans include stop bars and are overall in accordance with MUTCD requirements.

Drive Aisle Width - The current proposal shows all drive aisles as 24 feet in width instead of the minimum 26 feet requirement. The Petitioner has noted that it is difficult to pick up enough space for the 26 feet drive aisle width without eliminating landscape bufferyard, reducing parking stall lengths or needing to install a retaining wall on the detention pond. Staff is supportive of a reduction to a 24 feet drive aisle width. The Petitioner has provided an updated fire truck autoturn analysis.

**~~Open Item #3: Discuss staff's suggestion of a boulevard entrance at the main (south) driveway. Coordinate drawing submittal. Revise the primary entrance aisle to the hotels to be a minimum of 26 feet in width.~~**

**~~Open Item #4: Discuss the Variation request to reduce the minimum drive aisle width to 24 feet from a minimum of 26 feet.~~**

Sidewalks – The Petitioner has proposed installing a public sidewalk along the White Eagle Drive and private walkways throughout the development. The public sidewalk will be six feet in width and runs along the east side of White Eagle Drive for the full length of the lot. The private walkways encircle the two buildings and provide continuity within the site and with the public walkway system. Private sidewalks are five feet in width, with an additional two feet added to sidewalks that have parking stalls fronting them. The additional sidewalk width allows for bumper overhang, without blocking the walkway. Crosswalks have been utilized wherever sidewalks cross drive aisles.

Basketball Court / Putting Green

**~~Open Item #5: Discuss proposed outdoor basketball court location, appearance, and possible alternatives.~~**



The Petitioner previously proposed a basketball court or open games area of approximately 42 ft. x 50 ft. at the northwest corner of the Residence Inn as an on-site outdoor activity as required by the hotel brand. Staff noted concerns with the basketball court's location. Due to the design and proposed location, it is expected that balls will bounce out of the enclosure and have the potential to cause vehicle damage or injure other guests. Staff also had concerns about the appearance of the basketball enclosure in regards to the building's architectural design. The wall will cover some windows and architectural features potentially detracting from the building's architectural design. In the 2020 consideration, Staff had recommended that the Petitioner look at the feasibility of a different location, permitting the activity to be indoors, or utilizing a different type of activity that might have less of a negative visual impact such as a putting green, bocce ball, badminton, bags, etc. The Petitioner now proposes a putting green with a code compliant ornamental fence.

Dumpster Enclosures - Dumpster enclosures have been placed near the back of the two hotel lots and positioned for easy access to waste trucks. The enclosures are each constructed of brick matching the buildings.

Engineering – Overall site engineering is preliminary and will require revisions based upon final comments from the Village Engineer, MWRD, and U.S. Army Corps of Engineers.

The Petitioner is revising the engineering plans.

Site Plan and Plat approvals will need to be conditioned to be subject to engineering approvals from the Village Engineer, MWRD, and the U.S. Army Corps of Engineers.

## LANDSCAPE

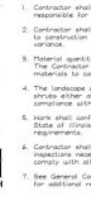
The Village Landscape Architect reviewed the landscape plans. The full landscaping analysis from the Village's consultant is shown below in Table A. The consultant expressed they have largely met the intent of the code and added landscaping where possible. The largest deficiency is in regards to parking lot landscaping. This requirement can be difficult to meet on smaller parking lots that don't have room for large rows of landscaping and trees.

Below are staff's suggestions for landscape revisions:

1. To meet the 5,151 sq. ft. interior landscaping deficit (from 15,515 sq. ft. required as 15% of the 103,435 sq. ft. parking lot area), additional landscaping could be added between the 'stockpile' fence /parking lot, or along the south side of the parking lot that is just north of the detention / wetland complex.
2. Add additional islands/bufferyard space at the two driveway entrances to comply with the 15 foot bufferyard requirement. This allows for more attractive entrances and additional space for the ground signs to be located. Meeting this requirement will result in a reduction of six proposed parking stalls.
3. There appears to be room for missing plantings to be accommodated on the east bufferyard. The south bufferyard is deficient, however, there is an existing wetland which will help provide buffering.
4. Add canopy trees to the two internal islands located between the hotel buildings.
5. Add shrubs around the proposed open games area.

The Petitioner is revising Landscape Plans per Village staff suggestions per the Plan Commission Workshop staff report. The Petitioner has confirmed the Landscaping Plans will comply with landscape code requirements.







**Table A**

Please review the landscape requirements noted on the previous page. Deficiencies must be addressed in a revised Landscape Plan. Please note the following abbreviations: CT = Canopy Tree, US = Understory Tree, SH = Shrub, T = Tree.

BUFFERYARD REQUIREMENTS							
Bufferyard Location	Required Width	Proposed Width	Length	Required Plantings	Proposed Plantings	Deficit	Comments
North ("C" Bufferyard)	10'	10'	575'	29 CT 12 US 115 SH	27 CT 12 US 119 SH	-2 CT - +4 SH	
East ("C" Bufferyard)	10'	10'	628'	32 CT 13 US 126 SH	21 CT 11 US 98 SH	-11 CT -2 US -28 SH	
South ("C" Bufferyard)	10'	10'	575'	29 CT 12 US 115 SH	13 CT 5 US 104 SH	-16 CT -7 US -11 SH	
West ("B" Bufferyard)	15'	15'	628'	18 CT 5 US 88 SH	15 CT 7 US 133 SH	0 +2 US +45 SH	

INTERIOR LOT LANDSCAPING REQUIREMENTS				
Location	Requirement	Proposed	Deficit	Comments
Foundation	Landscape coverage along 70% of building foundation that faces public right-of-way or major interior access lanes; 10' wide landscaped area	78%	-	
Interior	38 canopy trees (378,726 s.f. of lot area)	38	-	Credit given to 9 ornamental trees.

PARKWAY STANDARDS					
Location	Requirement	Required Trees	Proposed Trees	Deficit	Comments
Parkway	1 Tree per 25 Lineal Feet	21	21*	0	*Existing trees counted.



PARKING LOT LANDSCAPING STANDARDS				
Location	Requirement	Provided	Deficit	Comments
Parking Lot	15% of parking lot area to be landscaped or 15,515 square feet	10,364 square feet	<b>-5,151 square feet</b>	103,435 s.f. of parking lot shown on landscape plan. Credit was given to foundation plantings not facing public R.O.W.
Parking Lot	Screening of adjacent properties and streets.	All parking lots screened.	-	
Parking Lot Islands	1 CT and 1 SH per 200 square feet (21 CT and 21 SH required)	19 CT 152 SH	<b>-2 CT</b> <b>+131 SH</b>	

## ARCHITECTURE

The Petitioner has provided the 2022 updated architectural renderings for both the Courtyard and the Residence Inn:

### Courtyard:





Residence Inn:

**Materials** - The masonry code for structures exceeding 80,000 sq. ft. requires 25% of each façade to be face brick or decorative stone with the balance of the façade to be constructed of alternate masonry products of which 15% can use non-masonry products (EIFs, stucco, cement board, etc.) for architectural treatments. However, utilizing the new Architectural Design review standards, staff recommended a minimum of 50% face brick be utilized on the hotels based on the design and building material choices approved on recently approved hotels (Holiday Inn and Woodspring Suites). In addition, the nearby hotels (Country Inn & Suites and Hilton Garden Inn) have also utilized a large amount of face brick. Brick is a preferred material that creates a durable and high-quality building. The remaining exterior material is flexible to allow for some design creativity but must be considered masonry.



**Above: Examples of fiber cement panels proposed on the Courtyard.**

The Petitioner shall confirm the percentage of exterior building materials. Staff recommends a minimum of 50% face brick, but the remaining portion of the structure has proposed non-masonry materials exceeding the maximum 15% requirement. The alternative materials utilized are fiber cement board (was noted as 43% of the exterior in 2020) for the Residence Inn and stucco (noted as 41% of the exterior in 2020) for the Courtyard. Fiber cement board is an alternative to masonry previously supported due to its durability, quality, and modern appearance.








The Petitioner will be utilizing fiber cement board panels on the Courtyard hotel. The panels will be flush-mounted similar to the images on the right. The panels will be 18 inches in height and uniform in color. Fiber cement board requires a Variation from the masonry requirements but is considered a high-quality and durable substitute according to the Village's Building Manager.


**~~Open Item #6: Discuss Variation to permit non-masonry materials to be utilized on greater than 15% of the building. Discuss staff's suggestion to utilize fiber cement board or another high-quality and durable material to replace stucco on the Courtyard building.~~**

The Petitioner notes the architectural drawings do not currently include percentage of exterior building materials per façade, as required by code, but rather is a cumulative percentage of all facades per hotel. The Courtyard has a cumulative brick percentage of 61% and 39% Nichiha panels. Residence Inn has a cumulative brick percentage of 57% and Hardie plank siding of 42%.

LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH1	NICHIHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR : EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

*Courtyard Exterior Finishes*

EXTERIOR FINISH LEGEND				
MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
BR-01	GLEN-GERY BRICK	BLACK BEAUTY		57%
SD-01	HARDIE PLANK SIDING	PEARL GREY		18%
SD-02	HARDIE PLANK SIDING	BOOTHBAY BLUE		9%
SD-03	JAMES HARDIE-PLANK SIDING	SW-7666 FLEUR DE SEL		1%
SD-05	HARDIE PLANK SIDING	SW 7643 PUSSY WILLOW		14%

EXTERIOR FINISH LEGEND				
MARK	MATERIAL-BRAND	MATERIAL & FINISH	IMAGE	%
SH-06	SHINGLES	WEATHERED WOOD		1%

*Residence Inn Exterior Finishes*

**Architectural Design** - The overall designs of the buildings were chosen to meet with each brand's approved corporate design. The Residence Inn is modern in design and has a residential look that is purposeful in regards to their branding (extended-stay oriented). The Courtyard has a modern, box-style design. All roof-top mechanical equipment is proposed to be screened from view of neighboring properties and roadways by the building parapets.

The architecture includes many of the suggestions discussed by staff in 2020 and recommended by Plan Commission. The architectural changes from the original 2020 proposal include the following which shall be confirmed by the Petitioner:

- Wrapped the glass on the south front façade stair towers and added additional glazing above main roof line.
- Stair tower wall has been bumped out slightly to add depth and articulation to the façade.
- Added a tower of brick above entry and extends above main roof line. This breaks up the long front façade and adds an architectural element at the entry way.
- Brick was brought up one floor on the west elevation facing White Eagle Drive.
- Added a modern but more decorative cornice at top of all parapet walls
- Brick color was different (lighter) on the 3D rendering and has been adjusted in the renderings.

**~~Open Item #7: Discuss the overall architectural design of each hotel in regards to Architectural Design standards. Discuss staff's recommendation for changes in building material and additional articulation above the first floor of the Courtyard building.~~**





Courtyard - North, South, West, East Elevations





Residence Inn - West, North, East, South Elevations





Example: Courtyard Kansas City Olathe – Olathe, KS

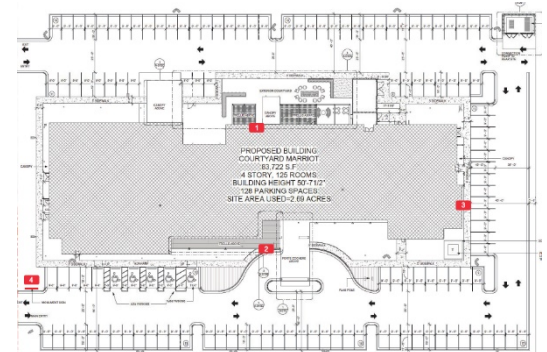


## SIGNAGE

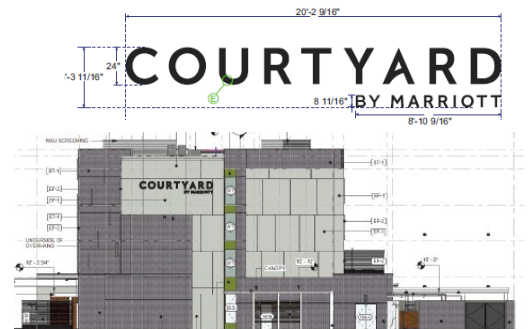
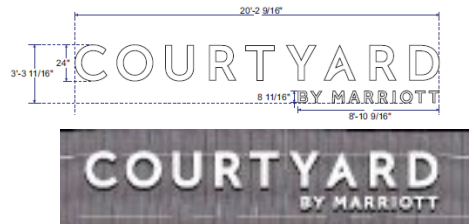
### Sign Plans:

The Petitioner has provided an updated sign plan and details for Courtyard.

Wall Signs – Wall Signs are proposed on the north, east, and south elevations. Wall signs are proposed on the east, south, and west elevations of the Residence Inn hotel. The wall signs will each be individually mounted aluminum channel letters.

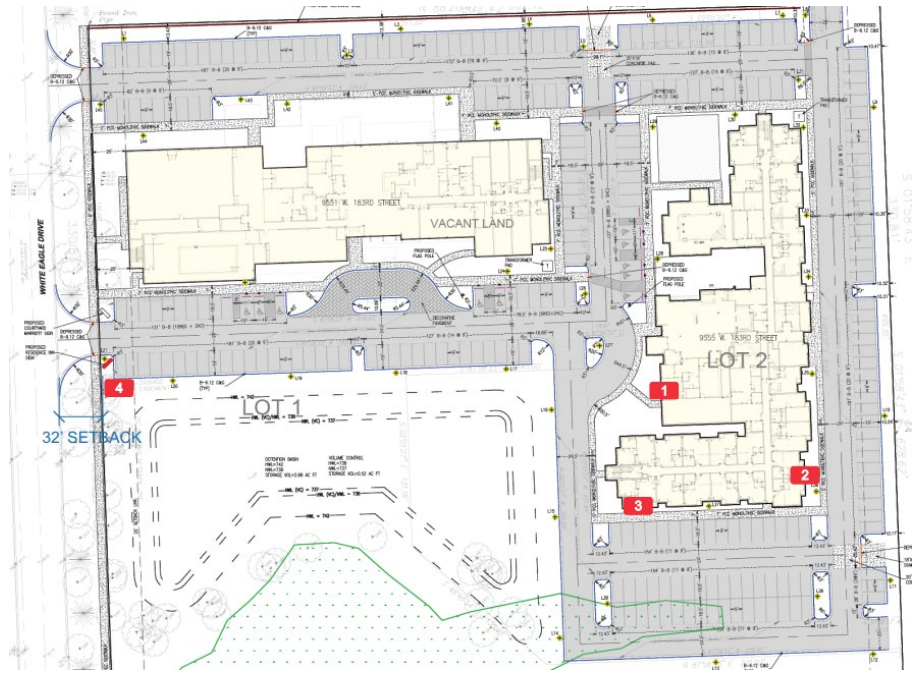


Updated Courtyard Sign Plan



Updated Courtyard Signage (Top) East. (Bottom): North and South.





Residence Inn Elevations with Signage



Ground/Freestanding Sign(s) – The Petitioner previously indicated drawings that showed two ground signs flanking the south drive entrance from White Eagle Drive, for each of the hotels with aluminum facing detailed for the Residence Inn ground sign, complying with size and height Zoning Code requirements. The Petitioner has requested a Variation for the Residence Inn's ground sign to be located off-site, on Lot 1 (Courtyard lot). The Plat of Subdivision indicates a sign easement, and is reflected on the Site Plan. The Petitioner now proposes a single shared monument (ground) sign on Lot 1 with two faces for Residence Inn and Courtyard to be located five feet from the property line setback. The Petitioner has confirmed that the size and height requirements will comply with the Zoning Code. Additionally, the sign will have a solid brick base matching the brick on each building.

The off-site sign face for the Residence Inn will require a Variation (which will also be permitted for in the Annexation Agreement). Off-site signage is typically prohibited primarily to prevent billboards and off-site advertising. However, the proposed development's layout is unique in regards to its shared access and frontage. The Lot 2 (Residence Inn) sign face will be located within an easement on Lot 1. The easement will ensure that Lot 2 has rights to a ground sign face on the shared monument (ground) sign. A condition could be included in the approval that clarifies that the location of the off-site sign face will substitute for the permitted on-site sign and that no additional ground sign is permitted.



The required setback for ground signs is ten feet from a property line. The ground sign will be located within the center of the boulevard entrance in the median (island). The entrance design creates a more attractive and eye-catching main entrance as well as avoid vehicle visibility concerns in regards to the ground signs. If the ten foot setback requirement cannot be met, the setback must maintain a minimum of five feet to avoid any visibility and safety concerns. Staff does not have concerns with the visibility.

**~~Open Item #8: Discuss the quantity, location, and setbacks of proposed ground signs and Variation for ground sign setbacks.~~**

**~~Open Item #9: Discuss the Variation for an off-site sign to allow the location of the Lot 2/Residence Inn ground sign to be placed on the Lot 1/Courtyard site near the shared main entrance.~~**

The Petitioner has stated that the ground signage will consist of a single, shared monument ground sign to be located at the center of the boulevard driveway entry to the development. In order to allow for the sign facing on the Residence Inn, the Petitioner will continue to request the off-site sign variation, five foot sign setback variation, and shall have the sign easement located in the correct location on the Plat of Subdivision.

## PARKING

The Zoning Code requires one parking space per hotel room plus one parking space for each employee that may be on-site at any time. There are 125 rooms at the Courtyard and 118 rooms at the Residence Inn. In 2020, the Petitioner indicated a maximum number of ten employees at the Courtyard and six employees at the Residence Inn. The updated 2022 narrative now notes that the Courtyard and Residence Inn will each separately have 25 employees.

Hotels do not typically operate at full-capacity on a day-to-day basis and it is expected that the parking provided (including the potential loss of up to four parking stalls) will be more than sufficient to accommodate guests and employees. Cross-parking allows for flexibility in demand between the sites and avoids any future issues if the two hotels are operated separately. It was also noted that the times when most employees are on-site is typically during the day to clean rooms, which is also when there are the least number of customers at the property.



The Petitioner indicated at that time that the majority of events they will have in the banquet room are corporate and held in the afternoon when the hotel has less parking demand. Additionally, the shared parking between the hotels allows for some additional flexibility in demand between the properties. The parking supply meets Marriott's corporate requirements and they do not believe additional parking will be required from what has been provided. However, to ensure there are no future parking issues, staff recommends a parking lot extension south of the Residence Inn to be designed as a "land bank". Staff recommends the parking Variation be conditioned that if parking issues are determined to be occurring, the parking expansion will need to be constructed at that time by the owner of the Courtyard property.

The Site Plan (sheet SP1) has a separating lot line which breaks down a proposed 129 parking spaces for Courtyard and 124 for Residence Inn. The Site Plan also now shows 25 landbank parking spaces. The Petitioner has also confirmed that the area of the Banquet Room at the code requirement of 1 per 200 sq. ft. will equate to requiring 25 parking spaces. The Banquet Room was looked at as a hotel amenity, but applies to additionally requiring its own parking per the Zoning Code.

Required Parking for Marriott Hotels		
“Motels, Hotels, and Inns”	One (1) space for each unit, and one (1) space for each employee, plus required parking spaces for bar, restaurant, or affiliated use.	
Banquet Use	One (1) space per 200 square feet (with shared parking opportunities)	
Proposed Parking for Marriott Hotels		
	Courtyard	Residence Inn
TOTAL REQUIRED	125 Rooms + 1 Space per Employees + 25 Banquet. Banquet and Employee count to be confirmed.	118 Rooms + 1 Space per Employee. Employee count to be confirmed.
TOTAL PROVIDED	125 Rooms, 25 Employees, and 25 Banquet parking spaces confirmed.	118 Rooms, and 25 Employees confirmed.
	129 parking spaces confirmed	124 parking spaces confirmed
	25 land bank parking spaces confirmed.	

**~~Open Item #10: Coordinate parking on all drawing submittals. Provide confirmed employee counts for Courtyard and Residence Inn properties. Confirm banquet use area and include in parking requirements. Discuss the request for a parking Variation. Consider a condition that if parking issues were to arise in the future, the land banked parking to the south of the Residence Inn shall be constructed at that time.~~**

Staff recommends a condition that if parking issues arise in the future, the land banked parking to the south of the Residence Inn shall be constructed at that time.

## LIGHTING

A photometric plan was submitted for parking lot, walkway, and building-mounted lighting. Off-site light spillage appears to be minimal. Parking lots, walkways, steps, entrances, and exits all appear to be adequately lit for safety and security purposes. Parking lot lights however are proposed to be mounted at a height of 30 feet. The Zoning Ordinance requires that parking lights be mounted at no higher than 25 feet. Foot candles at the property line also must not exceed 2.0 foot candles. Lighting proposed appears to exceed 2.0 foot candles at the northeast and



northwest of the property. The Petitioner will need to revise the photometrics to be in compliance with the Zoning Ordinance.

The Petitioner is revising the Lighting/Photometric Plans to comply with lighting code requirements.

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## SUMMARY OF REMAINING OPEN ITEMS/DISCUSSION POINTS

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Staff identified the following open items that may require further input or discussion at the Public Hearing:

1. Discuss Variation to permit non-masonry materials to be utilized on greater than 15% of the building. Discuss staff's suggestion to utilize fiber cement board or another high-quality and durable material to replace stucco on the Courtyard building.
2. Discuss the overall architectural design of each hotel in regards to Architectural Design standards. Discuss staff's recommendation for changes in building material and additional articulation above the first floor of the courtyard building.
3. Discuss the request for a 31 parking stall Variation to permit the Courtyard to have 129 parking spaces instead of the 160 spaces required. The Variation would be conditioned that if parking issues were to occur in the future, the land banked parking to the south of the Residence Inn shall be constructed.



## STANDARDS FOR REZONING APPROVAL

The Zoning Code does not establish any specific criteria that must be met in order for the Village Board to approve a rezoning request. Likewise, Illinois Statutes does not provide any specific criteria. Historically, Illinois courts have used eight factors enunciated in two court cases. The following “LaSalle Standards” have been supplied for the Commission to consider. Staff has provided the following draft Findings for the Commission’s review. The Commission may adopt the Findings as provided or make modifications per testimony provided at the hearing.

- a. The existing uses and zoning of nearby property;
  - *The B-3 zoning district will allow the Subject Property to serve as an extension of the existing B-3 designation for the hotel properties and undeveloped property along the LaGrange Road corridor. The expansion of 183<sup>rd</sup> Street and realignment of LaGrange Rd/Rt. 45 created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit.*
- b. The extent to which property values are diminished by the particular zoning;
  - *The area along LaGrange Road are transitioning to commercial uses due to the proximity to I-80. The development will develop vacant farmland and increase the value of the subject property, and likely surrounding properties as well.*
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
  - *The project will contribute directly to the economic development of the community by providing lodging for visitors, providing additional jobs, and providing additional property and hotel/motel taxes where the existing vacant property is generating minimal tax revenue. The hotels will help to fill the needed hotel room demand with a well-known hotel brand.*
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
  - *Hardships of neighboring property owners have not been identified. Lighting, dumpster locations, landscaping, cross-access, and overall site layout were designed to avoid any issues with the neighboring properties. The project will contribute directly to the economic development of the community.*
- e. The suitability of the property for the zoned purpose;
  - *The proposed use as hotels is suitable for the subject property due to the availability of high traffic volumes and available access points. The use is a permitted use subject to the approval of a hotel lot size Variation.*
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
  - *The lot has remained vacant under Cook County’s C-4 (General Commercial) zoning and has never been developed. The existing floodplain makes the lot difficult to develop.*
- g. The public need for the proposed use; and
  - *There is a demand for additional hotel rooms in the area due to the location off of I-80 (east-west) expressway and near various entertainment options.*
- h. The thoroughness with which the municipality has planned and zoned its land use.
  - *The property is identified as Office and Restricted Industrial (ORI) in the 2000 comprehensive plan. Since that time, 183rd Street has been extended and LaGrange Rd/Rt. 45 has been expanded and realigned. These changes have created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit. The corporate office market is currently struggling for growth; therefore the Village will need to continue to analyze the ORI zoning in this area.*



## STANDARDS FOR A VARIATION

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff has prepared the following draft responses to the Findings of Fact for consideration. The Commission may adopt the Findings as provided or make modifications per testimony provided at the hearing. Due to the number of Variations (10) staff have aggregated the Findings where possible. The full list of Variations can be found in Motion 2 below.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
  - *The property is difficult to develop with the building footprints, natural drainage patterns, and an existing jurisdictional wetland located on the site. The lot configuration is unique in that there is shared driveway access and single road frontage that results in many of the Variations being requested. The Variations allow for a unique site and development that benefits the Village economically and are difficult to meet all requirements.*
2. The plight of the owner is due to unique circumstances.
  - *The property location, single road frontage, drainage topography, existing wetland, and building footprints offer a challenging situation for the development of the parcel. The exterior masonry Variation allows the petitioner to utilize unique and attractive design elements that meet Marriott's corporate design standards and remains visually appealing.*
3. The Variation, if granted, will not alter the essential character of the locality.
  - *The Variations allow for the development to create a unique and high-quality site design with two hotels. The development continues the uses and development trend started with the County Inn & Suites/Hilton Garden Inn development to the west. The Variations allow for a site layout similar to other development along LaGrange Road. The reduced drive aisle width is a standard width in many other municipalities and is not expected to be noticeable to the public.*
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
  - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
  - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
  - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
  - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
  - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
  - f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or



endanger the public safety, or substantially diminish or impair property values within the neighborhood.

## STANDARDS FOR A SPECIAL USE

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Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Findings of Fact have been drafted by staff and outlined below for Plan Commission consideration.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - ***The extended stay brand is identified as a quality hotel product line with corporate management structure in place. Marriott does not allow for lengthy/permanent residence. The property will require registration of all cars on the premises and include 24/7 staff. .***
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - ***The extended stay hotel is located in a neighborhood among other hotel developments and thus will not be injurious to the other properties nor substantially diminish and impair their values. .***
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - ***The extended stay is part of a two-hotel proposed development. The surrounding neighborhood consists of some undeveloped land as well as developments compatible to hotel use. Thus it will not impede the normal and orderly development.***
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - ***The extended stay will provide adequate utilities, access roads, drainage, and other necessary facilities.***
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
  - ***The site will be accessed via two entry points along White Eagle, and will be shared by the extended stay as well as the traditional Courtyard hotel within the development.***
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
  - ***The extended stay will comply with all other applicable Zoning regulations. .***
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.



- ***The extended stay will contribute directly and indirectly to the economic development of the community as a whole. The use will provide additional jobs for residents. Furthermore, employees and guests may patronize local businesses in the community.***

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

## STANDARDS FOR SITE PLAN AND ARCHITECTURAL APPROVAL

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Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval and Architectural Review approval. Specific findings are not required, however the proposed site plan and building design must meet these standards.

### Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.



- g. Roof: For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. Building Articulation: Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as “belly-bands” (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. Screen Mechanicals: All mechanical devices shall be screened from all public views.
- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

#### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.



## MOTIONS TO CONSIDER

If the Plan Commission wishes to take action on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative. By making a motion in the affirmative, it does not indicate a specific recommendation in support or against the plan.

### **Motion 1 (Map Amendment/Rezoning):**

*"...make a motion to recommend that the Village Board grant the Petitioner, Top Hospitality LLC, a Rezoning (Map Amendment) of the properties located at 9551 & 9555 183<sup>rd</sup> Street (off of White Eagle Drive, South of 183<sup>rd</sup> Street) upon annexation to the B-3 (General Business & Commercial) zoning district and adopt the Findings of Fact submitted by the applicant and as proposed by Village Staff in the Staff Report."*

### **Motion 2 (Variations):**

*"...make a motion to recommend that the Village Board grant the following Variations to the Petitioner, Top Hospitality LLC, at the properties located at 9551 & 9555 183<sup>rd</sup> Street (off of White Eagle Drive, South of 183<sup>rd</sup> Street) in the B-3 (General Business & Commercial) Zoning District, in accordance with the plans submitted and listed herein and adopt Findings of Fact as proposed by Village Staff in the Staff Report."*

1. *A 1.87 acre Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres (Residence Inn – Lot 2).*
2. *A height Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55 ft. 10 in. tall building (Residence Inn) and a four story 54 ft. 9.5 in. tall building (Courtyard) instead of the permitted maximum of three stories and 35 ft.*
3. *A two ft. Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24 ft. drive aisle instead of the permitted minimum of 26 ft.*
4. *A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize fiber cement board siding and panels to comply with the masonry requirements beyond face brick instead of the maximum of 15% of the building exteriors.*
5. *A 19 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Residence Inn to have 124 parking spaces instead of the 143 parking spaces required.*
6. *A 46 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 175 parking spaces required.*
7. *A front yard setback Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 42.5' to 274.92' instead of the permitted 20' maximum.*
8. *A front yard setback Variation from Section V.D.2.D.(2) to permit the Courtyard (Lot 1) to have a front yard setback of 25' instead of the permitted 20' maximum.*
9. *A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).*
10. *A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 1).*
11. *A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.*



12. *A Variation from Section IX.M.2. to permit an off-site sign for Lot 2 to be located on the single shared ground sign on Lot 1 with an approved signage easement*
13. *A Variation from Section IX.D.2.c. to permit a freestanding sign to be setback five feet from the property line instead of the required ten foot minimum.*

*Subject to the following Conditions:*

1. *The off-site sign for Lot 2 as part of the shared ground sign shall constitute the only ground sign permitted for that lot.*
2. *An area land banked for parking, as indicate in the plans, shall be constructed by the owner of the Lot 1 (Courtyard) if it is determined that the proposed parking is not sufficient to accommodate the hotel or banquet uses.*
3. *A minimum of 50% face brick shall be utilized on both hotel exteriors, as indicated in the architectural plans.*

**Motion 3 (Site Plan):**

*"...make a motion to grant the Petitioner, Top Hospitality LLC, Site Plan Approval to construct two hotels at 9551 & 9555 183<sup>rd</sup> Street in the B-3 (General Business & Commercial) Zoning District, in accordance with the plans submitted and listed herein and subject to the following conditions:*

1. *Directional signage and striping is required on the final plans at the hotel drop-off entrances.*
2. *The outdoor putting green shall utilize either no fencing or an open-style fence such as an aluminum wrought iron design. No chain-link fencing shall be utilized.*
3. *Site Plan Approval is subject to approval of the Rezoning and Variations by the Village Board.*
4. *The Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer, MWRD, and the U.S. Army Corp of Engineers.*

*[any conditions that the Commission would like to add]*

**Motion 4 (Final Plat):**

*"...make a motion to recommend that the Village Board grant approval to the Petitioner, Top Hospitality LLC, Final Plat of Subdivision for the New Horizon Subdivision in accordance with the Final Plat submitted and dated June 9, 2022, subject to the following conditions:*

1. *The Final Plat's sign easement location shall be revised to be five feet from west property line, and coordinated to be in the area of the boulevard entry's median.*
2. *The Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer, MWRD, and the U.S. Army Corp of Engineers."*

*[any conditions that the Commissioners would like to add]*



## LIST OF REVIEWED PLANS

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Submitted Sheet Name		Prepared By	Date On Sheet
	Application Information with Narrative	Narrative: Liston & Tsantilis	7/15/22
	Project New Horizon (presentation)	Petitioner	n/a
	Phasing Plan	Advantage	7/5/22
	Annexation Plat	JH Land Surveying and Advantage	6/9/22
	Subdivision Plat	JH Land Surveying and Advantage	6/9/22
	Survey	V3	4/20/18
	Site Plan	Advantage	1/22/20 Rec'd 7/15/22
	Zoning Analysis Table	Base4 Arch	3/19/20
	Landscape Drawings	Gary R. Weber Assoc.	11/1/19
	Lighting/Photometric Drawings	Neville Engineering	10/26/19
	Lighting/Photometric Drawings	Base4 Arch	3/19/20
	Preliminary Engineering and Improvements Drawings	Advantage	2/27/20
	Residence Inn Cover & Elevations (6 sheets)	Base4 Arch	2/4/20
	Residence Inn Signage	Cummings	6/3/22
	Courtyard Rendering & Elevations (3 sheets)	Base4 Arch	12/13/19
	Courtyard Signage	Cummings	6/23/22
	Ground Mounted Sign (rendering, 1 sheet)	Petitioner	n/a Recd 7/14/22
	Auto Turn – Fire Truck	Advantage	7/5/22
	Auto Turn – Box Truck	Advantage	7/5/22
	Previous 4/16/2020 Plan Commission Staff Report	Village Staff	4/16/20



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**THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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**ORDINANCE**  
**NO.2022-O-064**

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**AN ORDINANCE GRANTING A MAP AMENDMENT UPON  
ANNEXATION TO B-3 (GENERAL BUSINESS & COMMERCIAL) FOR  
CERTAIN PROPERTY LOCATED AT 9551 AND 9555 183RD STREET  
(TOP HOSPITALITY LLC / MARRIOTT HOTELS)**

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**MICHAEL W. GLOTZ, PRESIDENT**  
**NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY**  
**WILLIAM A. BRENNAN**  
**DIANE M. GALANTE**  
**DENNIS P. MAHONEY**  
**MICHAEL G. MUELLER**  
**COLLEEN M. SULLIVAN**  
**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-064****AN ORDINANCE GRANTING A MAP AMENDMENT UPON  
ANNEXATION TO B-3 (GENERAL BUSINESS & COMMERCIAL) FOR  
CERTAIN PROPERTY LOCATED AT 9551 AND 9555 183RD STREET  
(TOP HOSPITALITY LLC/ MARRIOTT HOTELS)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for granting a rezoning of certain real property to B-3 (General Business & Commercial) upon annexation of the land to the Village of Tinley Park located at 9551 and 9555 183<sup>rd</sup> Street, Tinley Park, Illinois 60477 ("Subject Property") to construct two Marriott-branded hotels has been filed by Top Hospitality LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Rezoning should be granted on July 21, 2022 at the Village Hall at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 6-0 and has filed its report of findings and recommendations that the proposed Rezoning be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Rezoning; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**



**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting a Rezoning as set forth below and the proposed granting of the Rezoning as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

- a. The existing uses and zoning of nearby property;
  - *The B-3 zoning district will allow the Subject Property to serve as an extension of the existing B-3 designation for the hotel properties and undeveloped property along the LaGrange Road corridor. The expansion of 183rd Street and realignment of LaGrange Rd/Rt. 45 created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit.*
- b. The extent to which property values are diminished by the particular zoning;
  - *The area along LaGrange Road are transitioning to commercial uses due to the proximity to I-80. The development will develop vacant farmland and increase the value of the subject property, and likely surrounding properties as well.*
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
  - *The project will contribute directly to the economic development of the community by providing lodging for visitors, providing additional jobs, and providing additional property and hotel/motel taxes where the existing vacant property is generating minimal tax revenue. The hotels will help to fill the needed hotel room demand with a well-known hotel brand.*
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
  - *Hardships of neighboring property owners have not been identified. Lighting, dumpster locations, landscaping, cross-access, and overall site layout were designed to avoid any issues with the neighboring properties. The project will contribute directly to the economic development of the community.*
- e. The suitability of the property for the zoned purpose;
  - *The proposed use as hotels is suitable for the subject property due to the availability of high traffic volumes and available access points. The use is a permitted use subject to the approval of a hotel lot size Variation.*
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;



- *The lot has remained vacant under Cook County's C-4 (General Commercial) zoning and has never been developed. The existing floodplain makes the lot difficult to develop.*
- g. The public need for the proposed use; and
  - *There is a demand for additional hotel rooms in the area due to the location off of I-80 (east-west) expressway and near various entertainment options.*
- h. The thoroughness with which the municipality has planned and zoned its land use.
  - *The property is identified as Office and Restricted Industrial (ORI) in the 2000 comprehensive plan. Since that time, 183rd Street has been extended and LaGrange Rd/Rt. 45 has been expanded and realigned. These changes have created increased opportunities for commercial development with valuable commercial frontage near the I-80 LaGrange Road exit. The corporate office market is currently struggling for growth; therefore the Village will need to continue to analyze the ORI zoning in this area.*

**SECTION 3:** The Rezoning as set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION**

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

**P.I.N.s:** 27-34-300-0013-0000 & 27-34-300-0014-0000

**COMMONLY KNOWN AS:** 9551 & 9555 183<sup>rd</sup> Street, Tinley Park, Illinois (formerly referred to as 18300 96<sup>th</sup> Avenue, now known as White Eagle Drive)

**SECTION 4:** That a Rezoning of the Subject Property to the B-3 (General Business & Commercial) zoning district upon annexation into the Village of Tinley Park to permit the construction of two Marriott-branded hotels is hereby granted to the Petitioner.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 16<sup>th</sup> day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-064, “AN ORDINANCE GRANTING A MAP AMENDMENT UPON ANNEXATION TO B-3 (GENERAL BUSINESS & COMMERCIAL) FOR CERTAIN PROPERTY LOCATED AT 9551 AND 9555 183RD STREET (TOP HOSPITALITY LLC/ MARRIOTT HOTELS),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August 2022.

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VILLAGE CLERK



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **RESOLUTION NO.2022-R-086**

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**A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF  
SUBDIVISION FOR THE NEW HORIZON SUBDIVISION FOR PROPERTY  
LOCATED AT 9551 & 9555 183<sup>RD</sup> STREET**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**RESOLUTION NO. 2022-R-086****A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF  
SUBDIVISION FOR THE NEW HORIZON SUBDIVISION FOR PROPERTY  
LOCATED AT 9551 & 9555 183<sup>RD</sup> STREET**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park (“Village”) has considered the Plat of Subdivision for the New Horizon Subdivision (“Plat”) pertaining to certain real property located at 9551 & 9555 183<sup>rd</sup> Street, Tinley Park, Illinois (“Subject Property”), a true and correct copy of which is attached hereto and made a part hereof as **Exhibit A**; and

**WHEREAS**, said Plat, was referred to the Plan Commission of the Village and has been processed in accordance with the Village of Tinley Park Zoning Ordinance; and

**WHEREAS**, the Plan Commission reviewed the proposed Plat on July 21, 2022, at public meetings at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, the Plan Commission voted 6-0 in favor to recommend that said Plat be approved; and

**WHEREAS**, the Plan Commission of this Village has filed its report of findings and recommendations that the proposed Plat be approved by this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Plat; and

**NOW, THEREFORE, BE IT ORDAINED** BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

**SECTION 1:** That the report and findings and recommendations of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely, as if fully recited herein at length.



**SECTION 2:** That the President and Board of Trustees of the Village of Tinley Park, hereby approve and accept said Plat, attached hereto as **Exhibit A**, dated July 27, 2022, and all necessary Village Officials and staff are hereby authorized to execute said Plat prior to final recording, subject to the following condition:

1. The Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer, MWRD, and the U.S. Army Corp of Engineers.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

**SECTION 4:** That this Resolution shall be in full force and effect from and after its adoption and approval.

**SECTION 5:** That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 16<sup>th</sup> day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O'CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-0806, "A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR THE NEW HORIZON SUBDIVISION FOR PROPERTY LOCATED AT 9551 & 9555 183<sup>RD</sup> STREET" which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

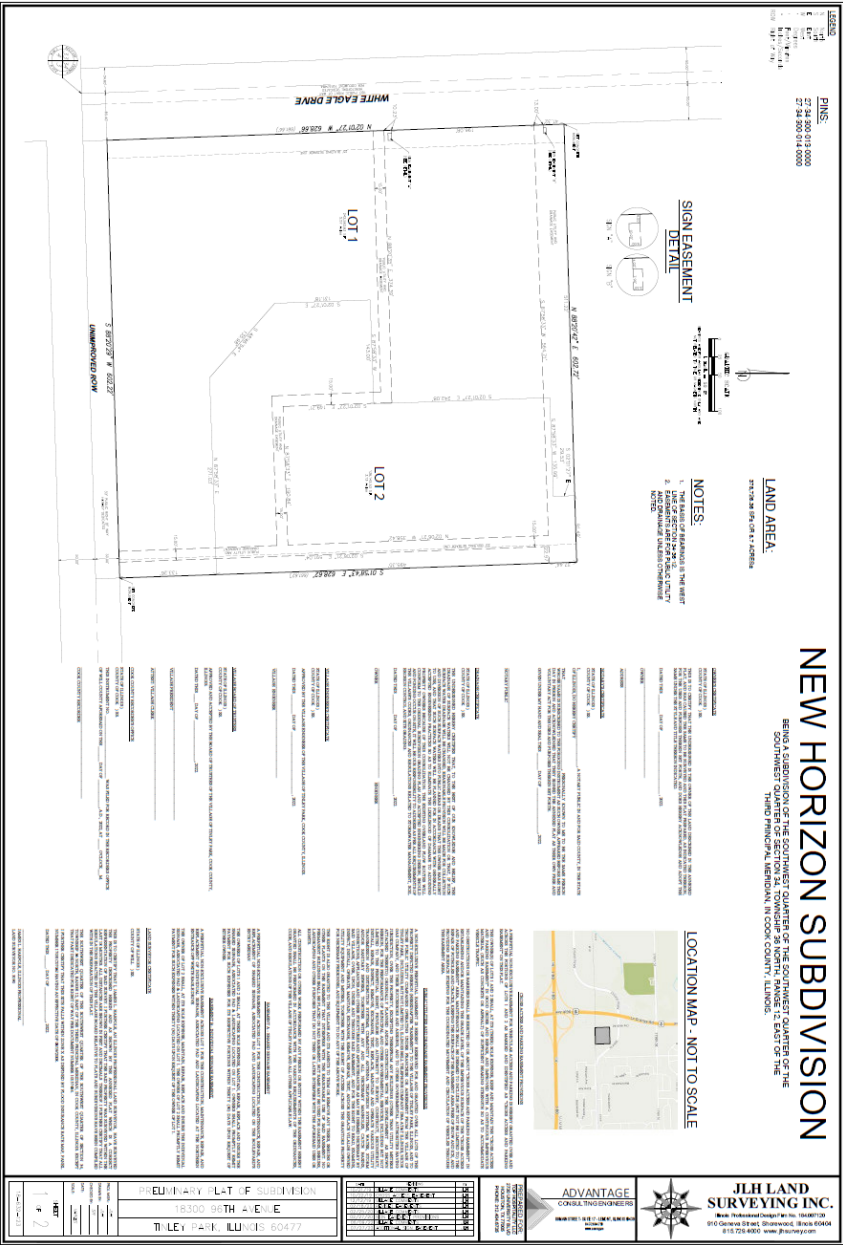
IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August 2022.

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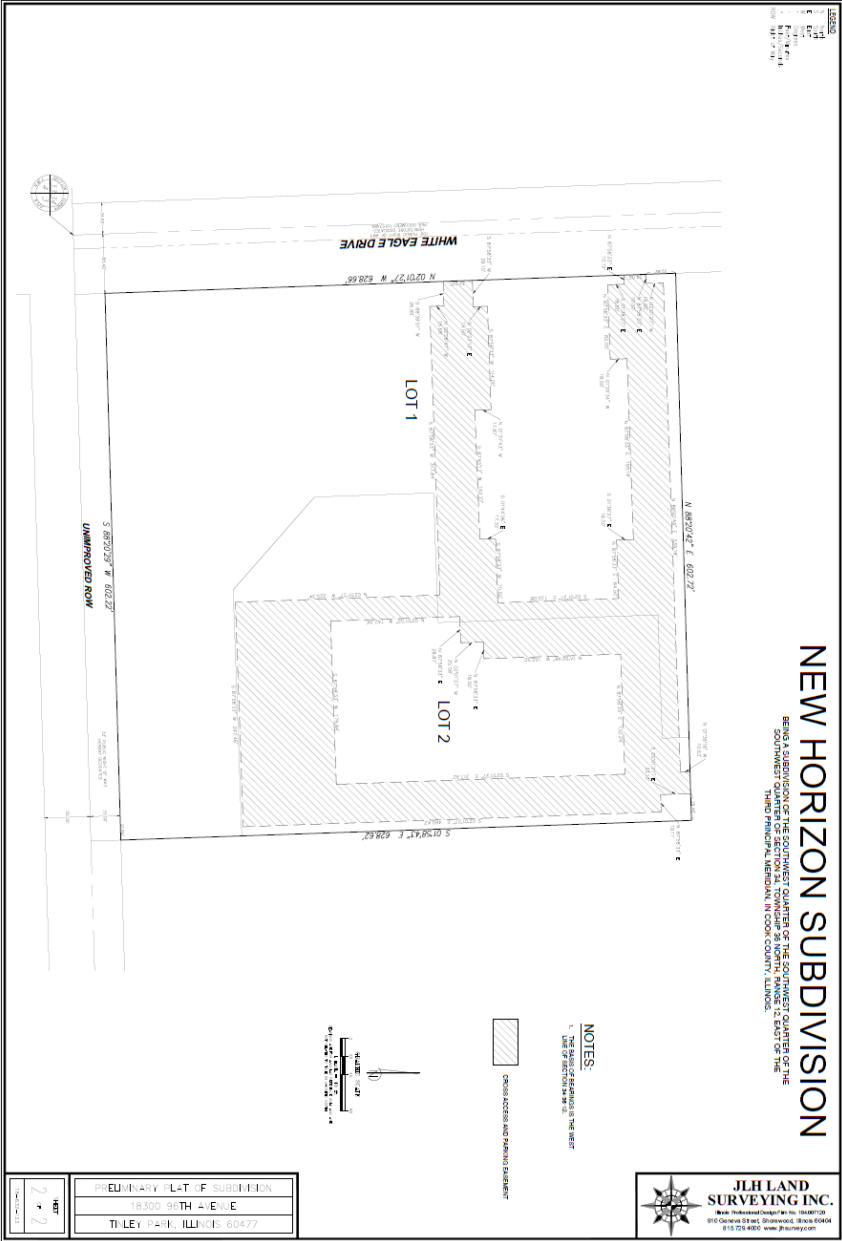
VILLAGE CLERK



Exhibit A – Plat of Subdivision (2 Pages)









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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO.2022-O-065**

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**AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR HOTELS  
LOCATED AT 9551 & 9555 183<sup>RD</sup> STREET  
(TOP HOSPITALITY LLC / MARRIOTT HOTELS)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-065****AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR HOTELS  
LOCATED AT 9551 & 9555 183<sup>RD</sup> STREET  
(TOP HOSPITALITY LLC / MARRIOTT HOTELS)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for granting certain bulk variations (“Variations”) to construct two Marriott-branded hotels at 9551 & 9555 183<sup>rd</sup> Street, Tinley Park, Illinois 60477 (“Subject Property”) has been filed by Top Hospitality LLC (“Petitioner”) with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Variations should be granted on July 21, 2022, at the Village Hall at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission vote 6-0 and has filed its report and findings and recommendations that the proposed Variations be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variations; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.



**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variations as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variations as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
  - *The property is difficult to develop with the building footprints, natural drainage patterns, and an existing jurisdictional wetland located on the site. The lot configuration is unique in that there is shared driveway access and single road frontage that results in many of the Variations being requested. The Variations allow for a unique site and development that benefits the Village economically and are difficult to meet all requirements.*
2. The plight of the owner is due to unique circumstances.
  - *The property location, single road frontage, drainage topography, existing wetland, and building footprints offer a challenging situation for the development of the parcel.*
3. The Variation, if granted, will not alter the essential character of the locality.
  - *The Variations allow for the development to create a unique and high-quality site design with two hotels. The development continues the uses and development trend started with the County Inn & Suites/Hilton Garden Inn development to the west. The Variations allow for a site layout similar to other development along LaGrange Road. The reduced drive aisle width is a standard width in many other municipalities and is not expected to be noticeable to the public.*
4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
  - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;



- b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
- d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
- e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

**SECTION 3:** That the Variations as set forth herein below shall be applicable to the following described property:

**LEGAL DESCRIPTION**

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

**P.I.N.s:** 27-34-300-0013-0000 & 27-34-300-0014-0000

**COMMONLY KNOWN AS:** 9551 & 9555 183<sup>rd</sup> Street, Tinley Park, Illinois (formerly referred to as 18300 96<sup>th</sup> Avenue, now known as White Eagle Drive)

**SECTION 4:** That the following Variations are hereby granted to the Petitioner in the B-3 (General Business & Commercial) Zoning District at the above-mentioned property to construct two hotels in accordance with the “List of Reviewed Plans” attached hereto as **Exhibit A**:

1. A 1.87-acre Variation from Section V.B. Schedule I (Schedule of Permitted Uses) to permit a hotel use on a 3.13 acre lot, instead of the required minimum of 5 acres (Residence Inn – Lot 2).
2. A height Variation from Section V.B. Schedule II (Schedule of District Requirements) to permit a four story and approximately 55 ft. 10 in. tall building (Residence Inn) and a four story 54 ft. 9.5 in. tall building (Courtyard) instead of the permitted maximum of three stories and 35 ft.



3. A two ft. Variation from Section VIII Table 2 (Parking Lot Dimension Guidelines) to permit a 24 ft. drive aisle instead of the permitted minimum of 26 ft.
4. A Variation from Section V.C.7.F. and Section V.C.7.G. to permit both hotel buildings to utilize fiber cement board siding and panels to comply with the masonry requirements beyond face brick instead of the maximum of 15% of the building exteriors.
5. A 19 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Residence Inn to have 124 parking spaces instead of the 143 parking spaces required.
6. A 46 space Variation from Section VIII.A.10. (Number of Parking Spaces Required) to permit the Courtyard to have 129 parking spaces instead of the 175 parking spaces required.
7. A front yard setback Variation from Section V.D.2.D.(2) to permit the Residence Inn (Lot 2) to have a front yard setback ranging from 42.5' to 274.92' instead of the permitted 20' maximum.
8. A front yard setback Variation from Section V.D.2.D.(2) to permit the Courtyard (Lot 1) to have a front yard setback of 25' instead of the permitted 20' maximum.
9. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 2).
10. A Variation from Section V.D.2.B.(2).a. to permit parking to be located in the front yard on the Residence Inn (Lot 1).
11. A Variation from Section V.D.2.C.(2).f. to permit two curb cuts on the Courtyard (Lot 1) instead of the permitted maximum of one.
12. A Variation from Section IX.M.2. to permit two off-site signs for Lot 2 to be located on the single shared ground sign on Lot 1 with an approved signage easement and at the north side of the northern drive aisle accessed by White Eagle Drive if the signs are separated in the future.
13. A Variation from Section IX.D.2.c. to permit all permitted freestanding signs to be setback five feet from the property line instead of the required ten foot minimum.

Subject to the following Conditions:

1. The off-site sign for Lot 2 as part of the shared ground sign shall constitute the only ground sign permitted for that lot if the easement is utilized (no second sign would be permitted on Lot 2).
2. An area land banked for parking, as indicate in the plans, shall be constructed by the owner of the Lot 1 (Courtyard) if it is determined that the proposed parking is not sufficient to accommodate the hotel or banquet uses in the future.
3. A minimum of 50% face brick shall be utilized on both hotel exteriors, as indicated in the architectural plans.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.



**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 16<sup>th</sup> day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-065, “AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR HOTELS LOCATED AT 9551 & 9555 183<sup>rd</sup> STREET (TOP HOSPITALITY LLC / MARRIOTT HOTELS),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August 2022.

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VILLAGE CLERK



**Exhibit A****LIST OF REVIEWED PLANS**

Submitted Sheet Name		Prepared By	Date On Sheet
	Application Information	Narrative: LT	7/15/22
	Project New Horizon (presentation)	Petitioner	n/a
	Phasing Plan	Advantage	7/13/22
	Annexation Plat	JHLS & Advantage	6/9/22
	Subdivision Plat	JHLS & Advantage	7/26/22
	Survey	V3	4/20/18
	Site Plan	Advantage	1/22/20, Rec'd 7/25/22: To be revised prior to permitting
	Zoning Analysis Table	Base4 Arch	3/19/20, To be revised prior to permitting
	Landscape Drawings	Weber	7/20/22, To be revised prior to permitting
	Lighting/Photometric Drawings	Neville	10/26/19, To be revised prior to permitting
	Lighting/Photometric Drawings	Base4 Arch	3/19/20, Rec'd 7/25/22, To be revised prior to permitting
	Preliminary Engineering & Improvements Drawings	Advantage	7/5/21 (Latest is Utility Plan 7/5/22) Rec'd 7/25/22 To be revised prior to permitting
	Residence Inn Cover & Elevations (6 sheets)	Base4 Arch	2/4/20, Rec'd 7/25/22, To be revised prior to permitting
	Residence Inn Signage	Cummings	7/21/22, Rec'd 7/25/22, To be revised prior to permitting
	Courtyard Rendering & Elevations (3 sheets)	Base4 Arch	5/25/20, Rec'd 7/25/22, To be revised prior to permitting
	Courtyard Signage	Cummings	7/21/22, Rec'd 7/25/22, To be revised prior to permitting
	Ground Mounted Sign (rendering, 1 sheet)	Petitioner	n/a Recd 7/14/22, To be revised prior to permitting
	Auto Turn Analysis	Advantage	7/5/22, To be revised prior to permitting
	Previous 4/16/2020 Plan Commission Staff Report	Village Staff	4/16/20

LT - Liston &amp; Tsantilis

JHLS – JH Land Surveying

Weber - Gary R. Weber Assoc.

Neville - Neville Engineering



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO.2022-O-066**

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**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR AN EXTENDED STAY  
HOTEL TO TOP HOSPITALITY LLC FOR A MARRIOTT RESIDENCE INN AT 9551  
183<sup>RD</sup> STREET**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2022-O-066****AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR AN EXTENDED STAY  
HOTEL TO TOP HOSPITALITY LLC FOR A MARRIOTT RESIDENCE INN AT 9551  
183RD STREET**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, a petition for the granting of a Special Use Permit to operate a Residence Inn extended stay hotel at 9551 183<sup>rd</sup> Street, Tinley Park, Illinois 60477 ("Subject Property") has been filed by Top Hospitality LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

**WHEREAS**, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on July 21, 2022, at the Village Hall at which time all persons were afforded an opportunity to be heard; and

**WHEREAS**, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

**WHEREAS**, the Plan Commission voted 6-0 and has filed its report and findings and recommendations that the proposed Special Use Permit be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special Use Permit; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**



**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

**SECTION 2:** That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Special Use Permit as set forth in Section X.J.5 of the Zoning Ordinance, and the proposed granting of the Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

**X.J.5. Standards:** No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

1. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
  - *The extended stay brand is identified as a quality hotel product line with corporate management structure in place. Marriott does not allow for lengthy/permanent residence. The property will require registration of all cars on the premises and include 24/7 staff.*
2. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
  - *The extended stay hotel is located in a neighborhood among other hotel developments and thus will not be injurious to the other properties nor substantially diminish and impair their values.*
3. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
  - *The extended stay is part of a two-hotel proposed development. The surrounding neighborhood consists of some undeveloped land as well as developments compatible to hotel use. Thus, it will not impede the normal and orderly development.*
4. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
  - *The extended stay will provide adequate utilities, access roads, drainage, and other necessary facilities.*
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
  - *The site will be accessed via two entry points along White Eagle Drive and will be shared by the extended stay as well as the traditional Courtyard hotel within the development.*



6. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
  - *The extended stay will comply with all other applicable Zoning regulations.*
7. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
  - *The extended stay will contribute directly and indirectly to the economic development of the community as a whole. The use will provide additional jobs for residents. Furthermore, employees and guests may patronize local businesses in the community.*

**SECTION 3:** The Special Use Permit set forth herein below shall be applicable to the following described property

**LEGAL DESCRIPTION**

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.

**P.I.N.s:** 27-34-300-0013-0000 & 27-34-300-0014-0000

**COMMONLY KNOWN AS:** 9551 183<sup>rd</sup> Street, Tinley Park, Illinois (formerly referred to as 18300 96<sup>th</sup> Avenue, now known as White Eagle Drive)

**SECTION 4:** That a Special Use Permit to allow for operation of the Marriott Residence Inn extended stay hotel at the Subject Property, is hereby granted to the Petitioner, in accordance with the “List of Reviewed Plans” attached hereto as **Exhibit A**.

**SECTION 5:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

**SECTION 6:** That this Ordinance shall be in full force and effect from and after its adoption and approval.

**SECTION 7:** That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 16<sup>th</sup> day of August 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August 2022.

ATTEST:

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VILLAGE PRESIDENT

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-066, “AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR AN EXTENDED STAY HOTEL TO TOP HOSPITALITY LLC FOR A MARRIOTT RESIDNECE INN AT 9551 183RD STREET,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August 2022.

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VILLAGE CLERK



**Exhibit A****LIST OF REVIEWED PLANS**

Submitted Sheet Name	Prepared By	Date On Sheet
Application Information	Narrative: LT	7/15/22
Project New Horizon (presentation)	Petitioner	n/a
Phasing Plan	Advantage	7/13/22
Annexation Plat	JHLS & Advantage	6/9/22
Subdivision Plat	JHLS & Advantage	7/26/22
Survey	V3	4/20/18
Site Plan	Advantage	1/22/20, Rec'd 7/25/22: To be revised prior to permitting
Zoning Analysis Table	Base4 Arch	3/19/20, To be revised prior to permitting
Landscape Drawings	Weber	7/20/22, To be revised prior to permitting
Lighting/Photometric Drawings	Neville	10/26/19, To be revised prior to permitting
Lighting/Photometric Drawings	Base4 Arch	3/19/20, Rec'd 7/25/22, To be revised prior to permitting
Preliminary Engineering & Improvements Drawings	Advantage	7/5/21 (Latest is Utility Plan 7/5/22) Rec'd 7/25/22 To be revised prior to permitting
Residence Inn Cover & Elevations (6 sheets)	Base4 Arch	2/4/20, Rec'd 7/25/22, To be revised prior to permitting
Residence Inn Signage	Cummings	7/21/22, Rec'd 7/25/22, To be revised prior to permitting
Ground Mounted Sign (rendering, 1 sheet)	Petitioner	n/a Recd 7/14/22, To be revised prior to permitting
Auto Turn Analysis	Advantage	7/5/22, To be revised prior to permitting
Previous 4/16/2020 Plan Commission Staff Report	Village Staff	4/16/20

LT - Liston &amp; Tsantilis

JHLS – JH Land Surveying

Weber - Gary R. Weber Assoc.

Neville - Neville Engineering



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **RESOLUTION NO.2022-R-087**

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**A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94<sup>TH</sup> AVENUE (formerly 18300 96th Avenue, now White Eagle Drive) (RESIDENCE INN OF MARRIOTT HOTEL)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLEEN M. SULLIVAN**

**Board of Trustees**

---

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**RESOLUTION NO. 2022-R-087****A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94<sup>TH</sup> AVENUE (formerly 18300 96th Avenue, now White Eagle Drive) - (RESIDENCE INN OF MARRIOTT HOTEL)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park (“Village”) desires to attract new commercial development, stimulate the expansion and retention of existing industry, and increase employment opportunities in the Village; and

**WHEREAS**, Cook County has instituted a program to encourage commercial development known as the Cook County Real Property Classification Ordinance (“Tax Incentive Ordinance”); and

**WHEREAS**, said Tax Incentive Ordinance provides a Class 7b incentive that is designed to encourage commercial development throughout Cook County by offering real estate tax incentives for the development of new commercial facilities, the rehabilitation of existing commercial structures, and the commercial reutilization of abandoned buildings; and

**WHEREAS**, Hardik Patel on behalf of Top Hospitality, LLC. (“Applicant”), desires to redevelop certain real property located at 9599 94<sup>th</sup> Avenue (formerly 18300 96th Avenue, now White Eagle Drive), Tinley Park, Illinois (“Subject Property”), legally described in the attached Exhibit 1, PIN: 27-34-300-002-0000, in reliance on the Class 7b incentives and to plans to construct a 118-room hotel approximately 85,000 square feet for a proposed Residence Inn of Marriott Hotel on a portion of the vacant 8.7-acres of land to said Subject Property; and

**WHEREAS**, The Applicant would find it difficult to construct at the Subject Property given the current tax liability on the Subject Property but for said Class 7b incentive, which provides a reduced assessment of ten percent (10%) of fair market value of the Property for the first ten years, fifteen percent (15%) for the eleventh year, and twenty percent (20%) for the twelfth



year. Without this incentive, commercial property would normally be assessed at twenty-five (25%) of its market value; and

**WHEREAS**, said Subject Property does not have a Class 7b incentive applied to the Subject Property and the Applicant seeks approval from the Village to consent and support said Class 7b incentive to be applied to the Subject Property; and

**WHEREAS**, the Village and Applicant have executed a Property Tax Assessment Classification Agreement ("Classification Agreement"), attached hereto as Exhibit 2 and incorporated herein, which imposes certain terms and conditions on the Village's support for Applicant's request for the Class 7b reclassification of the Subject Property; and

**WHEREAS**, the Village has determined that the Subject Property meets the requirements necessary for approving the request for certain tax incentives, and by allowing said reclassification will further promote the economic viability of the Subject Property which is aligned with the Village's desire to attract new commercial development, stimulate the expansion and retention of existing industry, and increase employment opportunities in the Village; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve the request submitted by Residence Inn of Marriott Hotel and consent and support the Class 7b reclassification of the Subject Property; and

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

**SECTION 2:** That the President and Board of Trustees of the Village of Tinley Park hereby approves the request submitted by the Applicant and supports and consents to the Class 7b reclassification, subject to the terms and conditions memorialized in the Classification Agreement, and has determined that the commercial use of the Subject Property by Residence Inn of Marriott Hotels for its new hotel location at the Subject Property is both necessary and beneficial to the Village.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

**SECTION 4:** That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 16<sup>th</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August, 2022.

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VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-087, “A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94<sup>th</sup> AVENUE- (formerly 18300 96th Avenue, now White Eagle Drive)- RESIDENCE INN OF MARRIOTT HOTEL),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August, 2022.

\_\_\_\_\_  
NANCY M. O’CONNOR, VILLAGE CLERK



EXHIBIT 1  
LEGAL DESCRIPTION

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE  
SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34,  
TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN  
COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY  
PER DOCUMENT NUMBER 10157484.





1430 Lee Street  
Des Plaines, IL 60018

Main: 847.298.8300

Fax: 847.298.8388

[www.elliottlaw.com](http://www.elliottlaw.com)

June 6, 2022

Village of Tinley Park  
Mayor Michael W. Glotz  
c/o Kimberly Clarke, Community Development Director  
16250 S. Oak Park Avenue  
Tinley Park, IL 60477

**CLASS 7B APPLICATION FOR RESIDENCE INN HOTEL**

Matter #: 42133-002

Property Address: 9599 94th Ave (proposed Residence Inn Hotel)  
Tinley Park

Township: Orland

PIN: 27-34-300-013-0000; 27-34-300-014-0000; & 27-34-300-002-0000

Dear Mayor Glotz and Village Board Members:

I am writing to request that you pass a Resolution supporting the Class 7b Property Tax Incentive for the property located at 9599 94th Ave on behalf of my client, Top Hospitality, LLC ("Applicant"). The above listed parcel is identified by Permanent Index Number 27-34-300-013-0000, 27-34-300-014-0000, & 27-34-300-002-0000, and the legal description for the property is attached hereto. Please note that PIN ending in -002 is the old PIN for the Property that became invalid in 2019 when the property was divided into two parcels. PIN -002 is listed in this application because it is relevant to establish that we meet one of the eligibility factors set forth by the Cook County Tax Ordinance. Therefore, in the event the Village votes in favor of supporting this Class 7b tax incentive, all three parcels should be listed in the Village Resolution.

Applicant intends to develop the property, however, the development of this property will likely not be feasible without the 7b Tax Incentive. As a result, Applicant is seeking a resolution from the Village supporting the granting of the 7b Tax Incentive

Currently the property is vacant land. Applicant intends to build two (2) hotels on the property. Since there will be two improvements on this property once construction has been completed, we are filing two separate Class 7b tax incentive applications (one for each hotel). The application attached hereto is for the proposed Residence Inn of Marriott Hotel. Applicant intends to build a 118-room hotel that measures approximately 87,875 square feet. This construction project will create approximately 200 construction jobs. Once the hotel is ready for operations, Applicant intends to hire 25 full time employees and 15 part time employees. The jobs that this project will create will be economically beneficial to the Village of Tinley Park.



As stated above, the development of this property will not be feasible without the 7b Tax Incentive. The proposed construction project is contingent upon Applicant's ability to obtain Village Resolution and Cook County Board Resolution. Therefore, we respectfully request that the Village of Tinley Park support the Applicant's 7b application and issue a resolution in support of the 7b application.

If a resolution supporting the granting of this tax incentive is approved, the construction of the Residence Inn of Marriott Hotel would commence in October 2022 and would be completed in April 2024. The Applicant hopes to open for business in April 2024. The total redevelopment, excluding the purchase of the land, is estimated to cost around \$18,000,000.

The five eligibility factors for the Class 7b tax incentive are as follows:

1. **Designation of Area:** Attached please find a copy of the Village of Tinley Park Ordinance No. 2019-O-009 finding that PIN 27-34-300-002-0000 is blighted and in a state of deterioration and in need of substantial rehab. Note that the -002 PIN has been divided into two (2) new PINs in 2019 and those two (2) new PINs are listed in the 7b application.
2. **Real Estate Tax Analysis:** From 2014 to 2020 the subject's real estate taxes and assessments have remained stagnant/declined for 3 out of the past 6 years. See the attached printouts for these years. Specifically, the subject's tax assessment has remained stagnant from 2014 to 2018 while the subject's taxes declined for 3 out of the past 6 years. The tax amounts were as follows:
  1. 2014: 2,250 AV / \$615.15
  2. 2015: 2,250 AV / \$233.03 (decreased taxes)
  3. 2016: 2,250 AV / \$224.12 (decreased taxes)
  4. 2017: 2,250 AV / \$196.40 (decreased taxes)
  5. 2018: 2,250 AV / \$205.18
  6. 2019: 114,415 AV / \$30,844.55 -- NEW PINS issued in 2019
  7. 2020: 133,484 AV / \$37,248.64

The tax assessment has remained stagnant because the subject property has been vacant land for years and is still vacant land as of today's date. The subject property has never been improved with a building, so the construction of a hotel on this property will increase the taxes. As stated above, the Applicant intends to develop the property by constructing a hotel on the property, but only if the Village issues a Resolution in support of Applicant's Class 7b application.

### 3. Viability and Timeliness

- a. **Development Plan:** Applicant intends to build a hotel on the property if the Village issues a Resolution in support of the Applicant's Class 7b application. The proposed hotel is the Residence Inn Hotel with 118-rooms that measures approximately 87,875 square feet. If a resolution supporting the granting of this tax incentive is approved, the construction of the Residence Inn Hotel would commence in October, 2022 and would be completed in April, 2024. The Applicant hopes to open for business in April 2024. The total redevelopment, excluding the purchase of the land, is estimated to cost around \$18,000,000. See the attached list of construction costs.



- b. Economic Feasibility:** Applicant has significant experience in developing and operating new hotels. In the past 8 years, Applicant has developed, opened and operated 5 hotels throughout 2 states that are still in operation. This demonstrates the Applicant has a history of constructing, opening and operating hotels and should be able to do the same at the subject property.

In addition, attached please find a Pro-forma – With Incentive Financing Statement for the subject showing that Applicant will be able to be profitable in the first year of operations with the Class 7b incentive as well as another Pro-forma – Without Incentive Financing Statement showing a significantly lower profitability without the Class 7b incentive. Therefore, without the Class 7b incentive, the Applicant is concerned the margins would be far too thin to successfully operate at this site given the significant initial investment required to construct the hotel.

Additionally, the comparatively high taxes in Cook County are a competitive disadvantage for any owner of real estate in Cook County. The Applicant believes that the Class 7b incentive will allow it to not only help it absorb some of the significant construction costs, but allow it to successfully operate the subject property and stay competitive with nearby DuPage County and Will County where the taxes are far lower as well as with other facilities located in Cook County that already have incentives.

- c. Financing:** Applicant intends to construct a 118-room hotel on the subject property and the cost of construction is \$18,000,000. The Applicant will be funding the construction as follows: \$4.5 Million in Equity and \$13,500,000 in Bank Mortgage.
- d. Owners, Developers, Prime Tenants and other Interested Parties:** See the attached document titled “Class 7b Exhibit”.
- e. Development Schedule:** If a resolution supporting the granting of this tax incentive is approved, the construction of the Residence Inn Hotel would commence in October 2022 and would be completed in April 2024. The Applicant hopes to open for business in April 2024.
- 4. Assistance and Necessity:** The Applicant is eager to construct a hotel on the subject property and begin its hotel operations within the Village of Tinley Park, however, Applicant does not believe it will be able to successfully construct and operate the hotel without the Class 7b tax incentive. The cost of construction to build the Residence Inn Hotel is \$18,000,000. If the property is not re-classified as a Class 7b property, then the Cook County Taxes will make the yearly NOI of the project go down significantly and it won’t cover the construction costs of this project. If the Class 7b tax incentive is not supported by the Village, then the proposed construction project will not go forward as it would not be financially viable for Applicant to raise capital and go ahead with the development.
- 5. Increased Tax Revenue and Employment:** Applicant intends to build a hotel on the property if the Village issues a Resolution in support of the Applicant’s Class 7b application. The proposed hotel is the Residence Inn Hotel with 118-rooms that measures approximately 87,875 square feet.



**The proposed construction and occupancy of the subject property will result in a major increase in employment, property taxes and sales tax at this site.**

Due to high taxes in Cook County, subject property has been a vacant, empty lot for years. The high taxes in this area have discouraged development on the subject property as well as the surrounding area. To promote economic development in the area, we request that the Village support the Applicant's Class 7b application. In doing so, the Residence Inn Hotel will be a great addition to the Village of Tinley Park and it will also encourage other developers and businessmen to invest in the community.

For years, the property has been a vacant, unimproved lot, and as a result, the taxes on the property has been significantly lower than if the property was an improved lot. Therefore, the construction of the hotel will result in increases in tax revenue. Attached please find a schedule that shows the impact of what the taxes will be with and without a Class 7b incentive.

In addition, constructing a hotel on the subject property will increase the value of the property, and therefore, the property taxes.

The proposed improvements will also create approximately 200 construction jobs. Additionally, this project will create a significant increase in employment at the subject property. Once the hotel is ready for operations, Applicant intends to hire 25 full time employees and 15 part time employees. The jobs that this project will create will be economically beneficial to the Village of Tinley Park.

In addition, the Applicant expects that the hotel will generate a strong sales tax at the subject property. The Village of Tinley Park can also expect that the hotel employees will invest commercially back into the community by visiting local establishments such as gas stations, grocery stores and more. Additionally, the hotel development will attract business and various customers to the Village in the course of its operations due to travelers and guests coming from different parts of the world to stay in this hotel.

As discussed above, there will be an increase in employment, property taxes and sales tax should the Applicant move forward with the new construction project. The Applicant can only move forward with the new construction project if the Class 7b tax incentive is granted. Therefore, by granting the Class 7b tax incentive and the Applicant moving forward with this project, the Village of Tinley Park will see a significant benefit.

Based on the above information and documentation, there is a reasonable expectation that the Applicant will timely construct the proposed hotel and be able to successfully operate the hotel at the subject property if granted the Class 7b tax incentive, which will result in the economic enhancement of the subject property.

#### **Justification for the 7b Incentive**

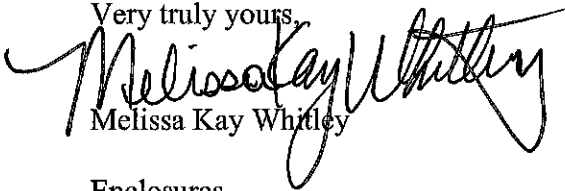
As you know, the 7b Incentive is one of the few economic tools available to the Village to encourage commercial development projects. To be eligible for the 7b incentive, the Applicant must meet eligibility factors set forth by the Ordinance, and thus, demonstrate that the area is "in need of commercial development."



We have attached a copy of the Class 7b Eligibility Application for the proposed Residence Inn of Marriott Hotel that will be submitted to the Cook County Assessor upon receipt of the Village Resolution. We have also attached an Economic Disclosure Statement, List of Interested Parties, and floorplans for the Residence Inn of Marriott Hotel.

We appreciate your careful consideration of this request and are happy to answer any further questions you might have regarding the Class 7b Incentive Application. Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read "Melissa Kay Whitley", written over the printed name.

Melissa Kay Whitley

Enclosures



# **DESIGNATION OF AREA**



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2019-O-009**

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**AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND  
LAGRANGE AS BLIGHTED**

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**JACOB C. VANDENBERG, PRESIDENT  
KRISTIN A. THIRION, VILLAGE CLERK**

**MICHAEL J. PANNITTO  
BRIAN H. YOUNKER  
CYNTHIA A. BERG  
MICHAEL W. GLOTZ  
WILLIAM P. BRADY  
JOHN A. CURRAN  
Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2019-O-009****AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND  
LAGRANGE AS BLIGHTED**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the President and Board of Trustees (the "Corporate Authorities") has evaluated whether a certain area delineated by Property Index Numbers 27-33-401-004, 27-33-401-012, 27-33-401-013, 27-33-401-014, 27-33-401-015, 27-33-401-017, 27-33-401-018, 27-34-300-002, 27-34-300-005, 27-34-300-011, and 27-34-300-012 Tinley Park Cook County, Illinois, and further described on Exhibit A, a copy of which is attached hereto [REDACTED] (the "Area"), constitute a blighted area as defined by the criteria set forth in the Illinois Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4-1 et seq.) (the "TIF Act").

**WHEREAS**, in order to find that an area qualified as blighted area under the TIF Act, five of the following thirteen factors listed must be present: (1) Dilapidation; (2) Obsolescence; (3) Deterioration; (4) Presence of structures below minimum code standards; (5) Illegal use of individual structures; (6) Excessive vacancies; (7) Lack of ventilation, light, or sanitary facilities; (8) Inadequate utilities; (9) Excessive land coverage and overcrowding of structures and community facilities; (10) Deleterious land-use or layout; (11) Environmental clean-up; (12) Lack of community planning; (13) Stagnant or declining EAV whereas total equalized assessed value of proposed redevelopment project area has declined three of the last five years.

**WHEREAS**, the Village has reviewed a December 2018 study analysis ("the Report") from the consulting firm Kane, McKenna & Associates, Inc. attached hereto and made a part hereof as Exhibit B. The Report was prepared specifically for the above referenced PINs in determining whether all or a portion of this area qualifies as blighted as set forth in the definitions of the Tax Increment Allocation Redevelopment Act.

**WHEREAS**, the Report concluded that said area, surpasses the "five of thirteen" eligibility factor threshold requirement by meeting the following six eligibility factors: (1) Excessive vacancies; (2) Obsolescence; (3) Stagnant or declining EAV; (4) Lack of community planning; (5) Deterioration and (6) Environmental Remediation.



**WHEREAS**, the Village finds the property within the Area is blighted and contains characteristics of deficiencies which limit the property's use and marketability; and find that the property is in a state of deterioration and that the property within the Area is in need of substantial rehabilitation.

**NOW, THEREFORE, BE IT ORDAINED**, by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois as follows:

SECTION 1: That the above recitals and legislative findings are found to be true and correct and are hereby incorporated herein and made part hereof, as if fully set forth in their entirety.

SECTION 2: The Village hereby finds and agrees that the said area has been appropriately declared as blighted by a qualified independent consultant.

SECTION 3: All property in the blighted area is expected to substantially benefit by redevelopment improvements.

SECTION 4: The sound growth of taxing districts applicable to the area, including the Village, has impaired by the factors found present in the area.

SECTION 5: That the area is therefore in need of redevelopment.

SECTION 6: That unless corrected, the blighted conditions outlined in the Report will persist and continue to delay any future economic development within the Area.

SECTION 7: The Mayor and Clerk as well as other appropriate Village officials are hereby authorized to sign any necessary documents to implement this Ordinance.

SECTION 8: This ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 5<sup>th</sup> day of February, 2019.

AYES: Younker, Pannitto, Berg, Brady, Glotz, Curran

NAYS: None

ABSENT: None

APPROVED THIS 5<sup>th</sup> day of February, 2019.

ATTEST:

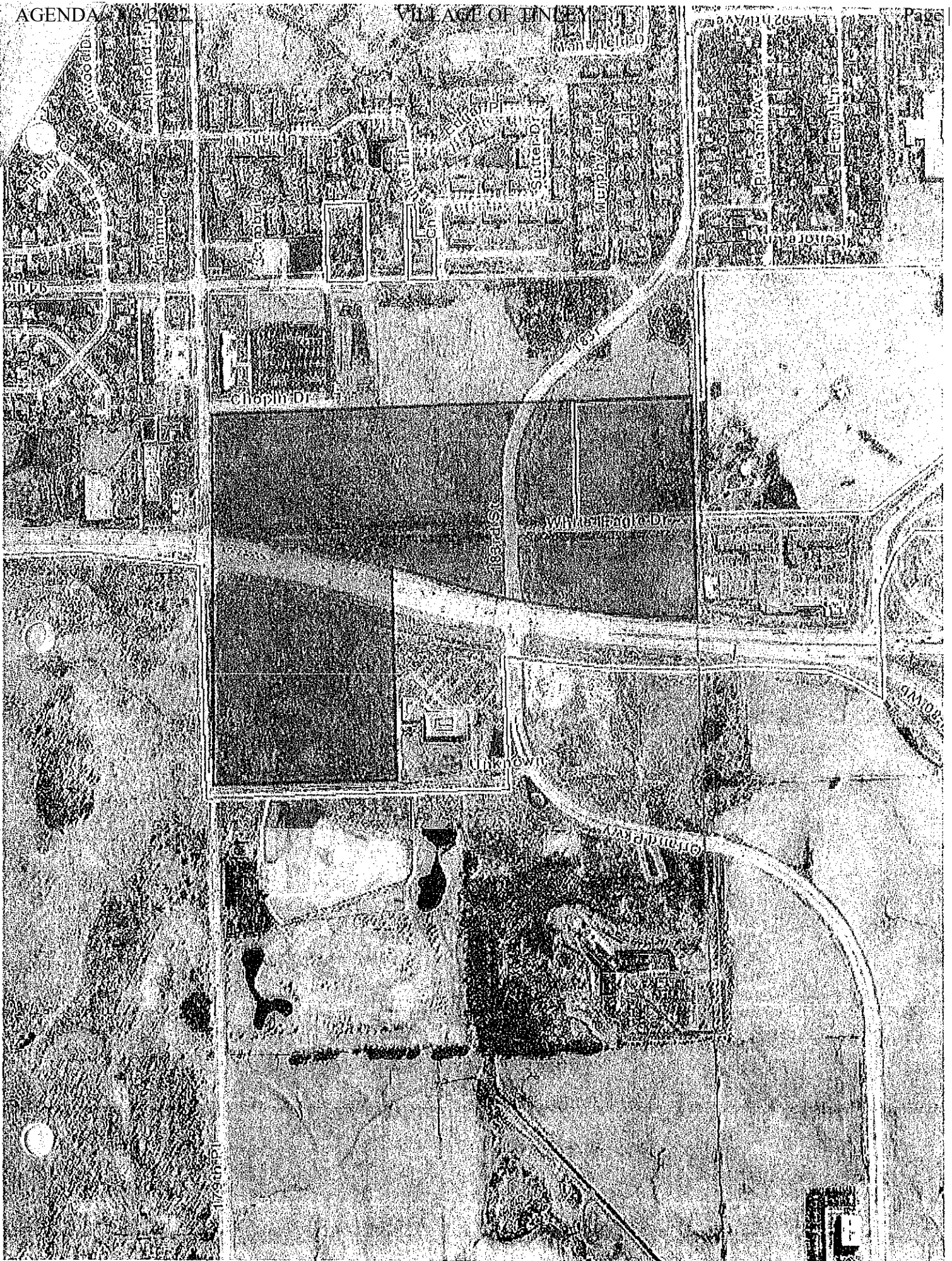
  
VILLAGE CLERK

  
VILLAGE PRESIDENT



## EXHIBIT A







# EXHIBIT A

## List of PINs corresponding to Exhibit A Map Orland Township

27-33-401-004	9601 179 <sup>th</sup> St
27-33-401-012	18100 96 <sup>th</sup> Ave
27-33-401-013	18200 96 <sup>th</sup> Ave
27-33-401-014	9651 179 <sup>th</sup> St
27-33-401-015	18040 LaGrange Rd
27-33-401-017	17900 LaGrange Rd
27-33-401-018	9659 179 <sup>th</sup> St
27-34-300-002	18300 96 <sup>th</sup> Ave
27-34-300-005	17901 96 <sup>th</sup> Ave
27-34-300-011	18050 94 <sup>th</sup> Ave
27-34-300-012	18120 94 <sup>th</sup> Ave



**EXHIBIT B**



**Draft December 27, 2018**

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**VILLAGE OF TINLEY PARK  
CONFIRMATION OF TAX INCREMENT FINANCE DISTRICT (TIF)  
ELIGIBILITY:  
179TH STREET/LAGRANGE ROAD**

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**A study to determine whether all or a portion of an area located in the Village of Tinley Park qualifies as a blighted vacant area as set forth in the definitions in the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1, et seq., as amended.**

**Prepared for:  
The Village of Tinley Park**

**Prepared by:  
Kane, McKenna and Associates, Inc.**

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**December, 2018**



**VILLAGE OF TINLEY PARK  
CONFIRMATION OF TAX INCREMENT FINANCE DISTRICT (TIF)  
ELIGIBILITY:  
179TH STREET/LAGRANGE ROAD**

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### EXECUTIVE SUMMARY

Kane, McKenna and Associates, Inc. ("KMA") has been retained by the Village of Tinley Park to conduct an analysis confirming the TIF eligibility (see below) of an area that is located along 179<sup>th</sup> Street and LaGrange Road. The area consists of eleven (11) tax parcels (the "Study Area").

The Village of Tinley Park (the "Village") has two principle aims in pursuing the redevelopment of the Study Area. The first goal is to promote redevelopment of an area that has experienced certain impediments such as obsolete platting and diversity of ownership. This designation would enable the Village to address impediments through the use of the Cook County Class 7(b) tax incentive.

Secondly, redevelopment action would address the limited opportunities the Village has to encourage new commercial growth and mixed uses within a "land-locked" community. Because the Village (a) is a mature community with limited opportunities for growth through annexation, (b) has few parcels of undeveloped land remaining within Village limits, and (c) has few groupings of properties served by major roadways, the targeted redevelopment area provides an opportunity to undertake major new reinvestment of a vacant structure and site improvements. By so doing, it would support the Village's strategy for the encouragement of growth through the reuse and redevelopment under-utilized properties.

Based upon the analysis completed to date, KMA has reached the following conclusions regarding the qualification of the Study Area as a "blighted vacant area."

- 1) *The Study Area qualifies as a "blighted vacant area"* under factors contained the Illinois Tax Increment Allocation Redevelopment Act (ILCS 5/11-74.4-1 et. seq., as amended; hereinafter referred to as the "TIF Act" or "Act"). This condition prevents, or threatens to prevent, the healthy economic and physical development of properties in a manner that the community deems essential to its overall economic health.
- 2) *Current conditions impede redevelopment* – The existence of certain conditions found at the Study Area present impediments to the area's successful redevelopment. This is because the factors negatively impact coordinated and substantial private sector investment. Without the use of Village planning and economic development resources including the use of the Cook County Class 7(b) tax incentive to mitigate such factors, potential redevelopment projections (along with other activities that require private sector investment) are not likely to be economically feasible.
- 3) *Viable redevelopment sites could produce additional revenue* – The Study Area potentially could be redeveloped or rehabilitated and thereby produce incremental property tax and sales tax revenue. Such revenue, used in combination with other Village resources for redevelopment incentives would likely stimulate private investment and reinvestment within the Study Area and also benefit adjoining properties.



- 4) *Blighted Vacant Area* – To mitigate redevelopment area conditions, promote private sector investment, and foster the economic viability, KMA recommends that the Village proceed with the formal confirmation of the Study Area as a “blighted vacant area”.



## **L. INTRODUCTION AND BACKGROUND**

Kane, McKenna and Associates, Inc. ("KMA") has evaluated certain tax parcels located along 179<sup>th</sup> Street and LaGrange Road to determine whether they qualify as a "blighted vacant area" as defined in the TIF Act. The Study Area consist of vacant parcels located north of the Interstate 80 and LaGrange Road interchange.

Because of the conditions observed within the Study Area and the required coordination for future land uses, the Village is favorably disposed toward supporting redevelopment efforts. The Village has determined that redevelopment should take place through the benefit and guidance of comprehensive economic planning by the Village. Through this coordinated effort, conditions within the Study Area are expected to improve and development barriers to be mitigated.

The Village has further determined that redevelopment is feasible only with public finance assistance including a Cook County Class 7(b) utilization.

The use of the Class 7(b) incentive relies upon induced private redevelopment to create higher real estate values that would otherwise decline without such investment. This would result in increased property taxes compared to the previous land use (or lack of use). In this way, the existing tax base for all tax districts would be protected.

The Study Area has a number of important assets:

- The Study Area is located adjacent to important local roads in terms of visibility;
- The Study Area is situated near other complimentary users; and
- The area would serve community residents with commercial and related retail services.

Despite its potential advantages, the Study Area exhibits a variety of economic development impediments as identified in the TIF Act, such as obsolete platting and diversity of ownership. Section V of this report identifies the impediments to redevelopment.

KMA formally began its analysis by conducting a series of meetings and discussions with Village staff, starting in November, 2018 and continuing periodically up to the date of this report's issuance. The purpose of the meetings was to gather data related to the qualification criteria for the Study Area. These meetings were complemented by a series of field surveys of the entire area to evaluate the condition of the TIF District. The field surveys and data collected have been utilized to test the likelihood that property would qualify for conservation area designation.

For the purpose of the study, the Study Area was examined in the context of the TIF Act governing unimproved areas. The qualification factors discussed in this report qualify the area as a blighted vacant area, as the term is defined under the TIF Act.

During the course of its work, KMA reported to key Village staff its findings regarding TIF qualification and redevelopment prospects for the area under study.



For additional information about KMA's data collection and evaluation methods, refer to Section IV of this report.



## II. QUALIFICATION CRITERIA USED

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Kane, McKenna and Associates, Inc. evaluated the Study Area to determine the presence or absence of qualifying factors listed in the TIF Act. The relevant sections of the TIF Act are found below.

The TIF Act sets out specific procedures which must be adhered to in designating a TIF District/Redevelopment Project Area. By definition, a Redevelopment Project Area (RPA) is:

“An area designated by the municipality, which is not less in the aggregate than 1 1/2 acres and in respect to which the municipality has made a finding that there exist conditions which cause the area to be classified as an industrial park conservation area or a blighted area or a conservation area, or a combination of both blighted areas and conservation areas.”

***TIF Qualification Factors for a “Blighted Vacant Area”.*** In accordance with the TIF Act, KMA assessed the following factors to determine TIF qualification for the RPA. Per the statute, such an area meets state standards provided that:

If vacant, the sound growth of the redevelopment project area is impaired by a combination of two (2) or more of the following factors, each of which is (i) present, with that presence documented, to a meaningful extent so that a municipality may reasonably find that the factor is clearly present within the intent of the Act and (ii) reasonably distributed throughout the vacant part of the redevelopment project area:

A) Obsolete Platting. Obsolete platting of vacant land that results in parcels of limited or narrow size or configurations of parcels of irregular size or shape that would be difficult to develop on a planned basis and in a manner compatible with contemporary standards and requirements or platting that failed to create rights-of-ways for streets or alleys or that created inadequate right-of-way widths for streets, alleys, or other public rights-of-way or that omitted easements for public utilities.

B) Diversity of Ownership. Diversity of ownership of parcels of vacant land sufficient in number to retard or impede the ability to assemble the land for development.

C) Delinquencies. Tax and special assessment delinquencies exist or the property has been the subject of tax sales under the Property Tax Code within the last five (5) years.

D) Adjacent Deterioration. Deterioration of structures or site improvements in neighboring areas adjacent to the vacant land.

E) Environmental Deficiencies. The area has incurred Illinois Environmental Protection Agency or United States Environmental Protection Agency remediation costs for – or a study conducted by an independent consultant recognized as having expertise in environmental remediation has determined a need for – the clean-up of hazardous waste,



hazardous substances or underground storage tanks required by State or federal law, provided that the remediation costs constitute a material impediment to the development or redevelopment of the redevelopment project area

F) Lagging or Declining EAV. The total equalized assessed value of the proposed redevelopment project area has declined for three (3) of the last five (5) calendar years prior to the year in which the redevelopment project area is designated or is increasing at an annual rate that is less than the balance of the municipality for three (3) of the last five (5) calendar years for which information is available or is increasing at an annual rate that is less than the Consumer Price Index for All Urban Consumers published by the United States Department of Labor or successor agency for three (3) of the last (5) calendar years prior to the year in which the redevelopment project area is designated.

Additionally, one (1) or more of the following factors may be present in the area under study:

- (A) The area consists of one or more unused quarries, mines, or strip mine ponds.
- (B) The area consists of unused rail yards, rail tracks, or railroad rights of way.
- (C) The area, prior to its designation, is subject to (i) chronic flooding that adversely impacts on real property in the area as certified by a registered professional engineer or appropriate regulatory agency or (ii) surface water that discharges from all or a part of the area and contributes to flooding within the same watershed, but only if the redevelopment project provides for facilities or improvements to contribute to the alleviation of all or part of the flooding.
- (D) The area consists of an unused or illegal disposal site containing earth, stone, building debris, or similar materials that were removed from construction, demolition, excavation, or dredge sites.
- (E) Prior to November 1, 1999, the area is not less than 50 nor more than 100 acres and 75% of which is vacant (notwithstanding that the area has been used for commercial agricultural purposes within 5 years prior to the designation of the redevelopment project area), and the area meets at least one of the factors itemized in paragraph (1) of this subsection, the area has been designated as a town or village center by ordinance or comprehensive plan adopted prior to January 1, 1982, and the area has not been developed for that designated purpose.
- (F) The area qualified as a "blighted area" immediately prior to becoming vacant, unless there has been substantial private investment in the immediately surrounding area.



### **III. THE BLIGHTED VACANT AREA**

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The Study Area contains eleven (11) tax parcels located north of Interstate 80, east and west along LaGrange Road and south of 179<sup>th</sup> Street. Please refer to Exhibit A which contains a map.

Despite impediments, the overall area has a number of assets as identified in Section I above. In addition to traffic volume desirable for retail, commercial and mixed uses, it has a number of other advantages that could be leveraged in the future, including visibility at a prominent intersection and proximity to other retail and commercial uses.



#### **IV. METHODOLOGY OF EVALUATION**

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In evaluating the Property for designation as a blighted vacant area, the following methodology was utilized:

- 1) Site surveys of the Study Area were undertaken by representatives from Kane, McKenna and Associates, Inc., supplemented with photographic analysis of the sites. Site surveys were completed for each parcel of land within the proposed Study Area.
- 2) KMA conducted evaluations of parcels associated with the area, noting such conditions as diversity of ownership. Additionally, KMA reviewed the following data: 2012-2017 tax information from Cook County, tax parcel maps, aerial photos, site data, local history (including discussions with Village staff), and an evaluation of area-wide factors that have affected the area's development (e.g., obsolete platting, etc.).
- 3) Existing site conditions were initially surveyed only in the context of checking, to the best and most reasonable extent available, TIF Act factors applicable to site conditions of the parcels.
- 4) The Study Area was examined to assess the applicability of the different factors required for qualification as a TIF district. Examination was made by reviewing the information and determining how each measured when evaluated against the relevant factors. The Study Area was evaluated to determine the applicability of the various factors, as defined under the TIF Act, which would qualify the area as a blighted vacant area.



## **VI. SUMMARY OF FINDINGS / GENERAL ASSESSMENT OF QUALIFICATION**

The following is a summary of relevant qualification findings as it relates to the Village's potential designation of the Study Area as a "blighted vacant area".

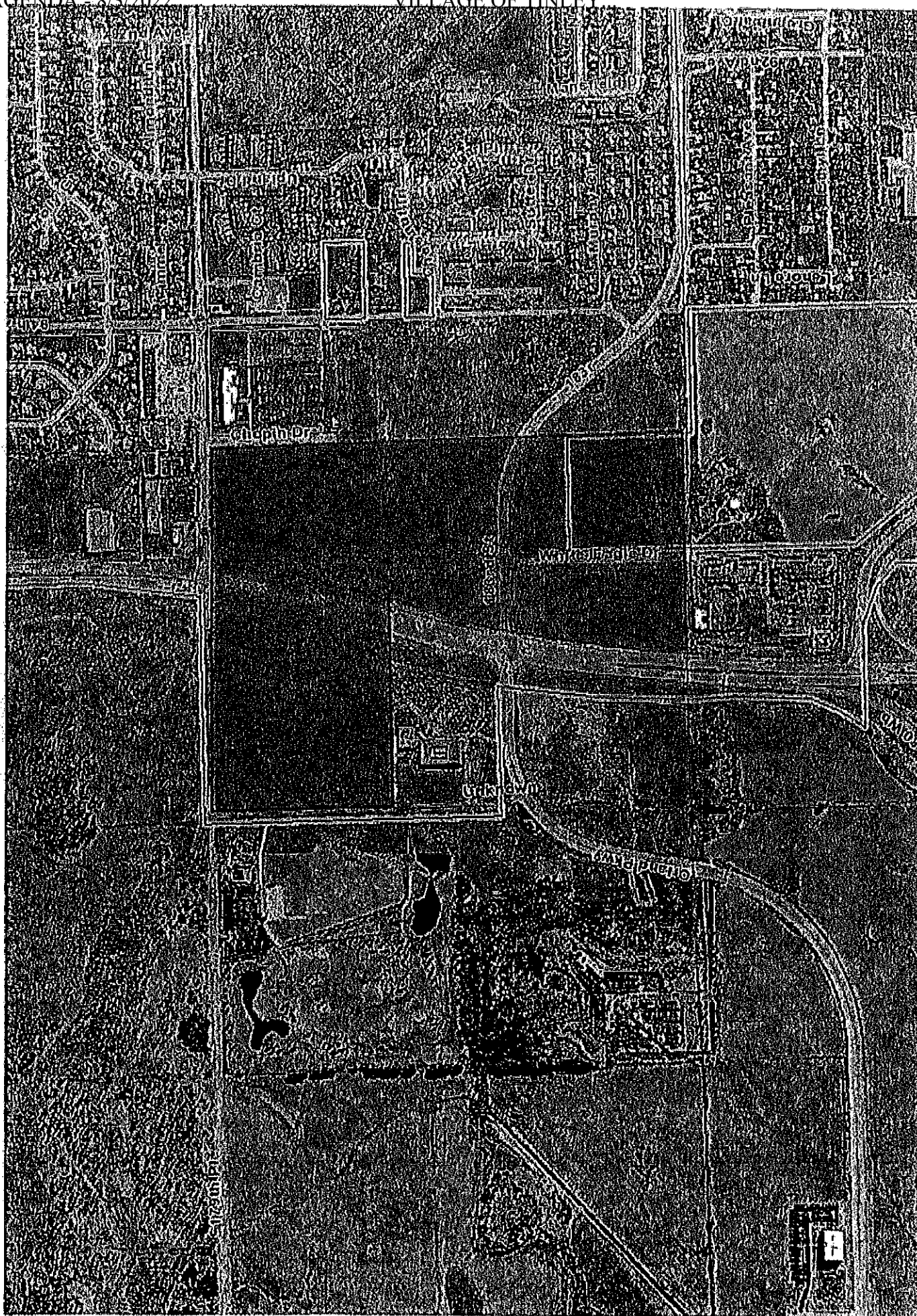
1. The area is contiguous and is greater than 1½ acres in size;
2. The Study Area will qualify as a blighted vacant area based upon review of the TIF Act. Further, the qualification factors found are present to a meaningful extent and are reasonably distributed throughout the area. A more detailed analysis of the qualification findings is outlined in Section V of this report;
3. All property in the area is expected to substantially benefit by the redevelopment project improvements;
4. The sound growth of taxing districts applicable to the area, including the Village, has been impaired by the factors found present in the area; and
5. The area would not be subject to redevelopment without the utilization of public assistance, including the Cook County Class 7b incentive.

In the judgment of KMA, these findings provide the Village with sufficient justification to consider designation of the Study Area as a "blighted vacant area".



**EXHIBIT A**  
**Boundary Map**







PIN	Tax code	Class	Final					
			EAV 2017	EAV 2018	EAV 2016	EAV 2014	EAV 2013	EAV 2012

[illegible]



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

## CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of ORDINANCE No. 2019-O-009, "AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND LAGRANGE AS BLIGHTED," which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 5, 2019.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 5<sup>th</sup> day of February, 2019.

A handwritten signature in black ink, appearing to read 'Kristin A. Thirion', written over a horizontal line.

KRISTIN A. THIRION, VILLAGE CLERK



# **REAL ESTATE TAX ANALYSIS**



Cook County Tax Portal -  
Assessment History

Billed Amounts & Tax History

Pay Online

Property Description

Tax Exemptions

Refund Search

Documents Deeds & Liens


Tax Appeals Dates & Deadlines

Tax Rates

Property Characteristics for PIN:

Search Again

27-34-300-002-0000



PROPERTY ADDRESS

18300 96TH AVE  
TINLEY PARK  
00000  
Township: ORLAND

MAILING ADDRESS

TOP HOSPITALITY LLC  
2730 UNIVERSITY BLVD  
HOUSTON, TX 77005  
[Update Name or Mailing Address](#)

PROPERTY CHARACTERISTICS


CURRENT INFORMATION

Tax Year 2019 Assessed Value:  
Most Recent Assessment Information: 2,250  
(2018 Board Final)  
Estimated Property Value: \$22,500  
Assessed Value History

Assessed Value History

2018	2,250
2017	2,250
2016	2,250
2015	2,250

[Taxing Districts' Financial Statements](#)  
[Tax Rate Information](#)

 See comparable properties and other information on  
**COOKVIEWER**



*Cook County Tax Portal -  
Real Estate Taxes*

**27-34-300-002-0000**



#### PROPERTY ADDRESS

18300 96TH AVE  
TINLEY PARK  
00000  
Township: ORLAND

#### MAILING ADDRESS

TOP HOSPITALITY LLC  
2730 UNIVERSITY BLVD  
HOUSTON, TX 77005

Update Name or Mailing Address

#### TAX BILLED AMOUNTS & TAX HISTORY

2019: \$0.00\* Divided PIN  
2018: \$205.18 Paid in Full  
2017: \$196.40 Payment History  
2016: \$224.12 Payment History  
2015: \$233.03 Payment History

#### EXEMPTIONS

2019: Not Available  
2018: 0 Exemptions Received  
2017: 0 Exemptions Received  
2016: 0 Exemptions Received  
2015: 0 Exemptions Received





PROPERTY ADDRESS	PROPERTY CHARACTERISTICS
9599 94TH AVE TINLEY PARK 00000 Township: ORLAND	<b>CURRENT INFORMATION</b> <b>Assessed Value:</b> (2021 Assessor First Pass) Assessment Information: 70,547 Estimated Property Value:
<b>MAILING ADDRESS</b> TOP HOSPITALITY LLC 502 PRATT AVENUE N SCHAUMBURG, IL 60193	Lot Size (SqFt): 201,564 Building (SqFt): Property Class: 1-00 Tax Rate : 0.000 Tax Code : 28022

TAX BILLED AMOUNTS  
& TAX HISTORY

EXEMPTIONS

APPEALS

2021: \$10,827.36 Pay Online: \$11,477.00  
2020: \$19,686.10 Pay Online: \$23,016.16  
(Originally due 10/1/2021)  
2019: \$16,301.52 Payment History  
2018: Not Available  
2017: Not Available

2021: Not Available  
2020: 0 Exemptions Received  
2019: 0 Exemptions Received  
2018: Not Available  
2017: Not Available

2021: Not Available  
2020: Not Available  
2019: Not Available  
2018: Not Available  
2017: Not Available

\*(1st Install Only)

REFUNDS AVAILABLE

TAX SALE (DELINQUENCIES)

DOCUMENTS, DEEDS & LIENS

No Refund Available

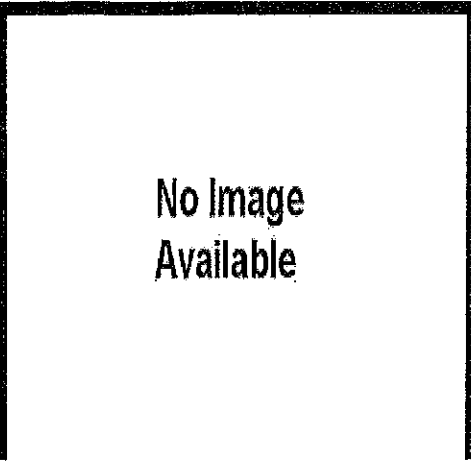
2021: Tax Sale Has Not Occurred  
2020: Tax Sale Has Not Occurred  
2019: No Tax Sale  
2018: Not Available  
2017: Not Available

No Documents Found

All years referenced herein denote the applicable tax year (i.e., the year for which taxes were assessed). Parcels may from time to time be consolidated or subdivided. If information regarding a particular PIN appears to be missing for one or more tax years, it is possible that the PIN has changed due to a consolidation or subdivision. Users may contact the Cook County Clerk's Office for information regarding PIN lineage. Users should also note that the information displayed on this site does not include special assessments (which are billed and collected by municipalities) or omitted taxes (which are assessed on an ad hoc basis by the Cook County Assessor's Office). Please direct inquiries regarding the status of special assessments to your municipality. Questions regarding omitted taxes should be directed to the Assessor's Office.

Note: This printout cannot be used as a tax bill.





PROPERTY ADDRESS	PROPERTY CHARACTERISTICS
9599 94TH AVE TINLEY PARK 00000 Township: ORLAND	<b>CURRENT INFORMATION</b> <b>Assessed Value:</b> (2021 Assessor First Pass) Assessment Information: 62,937 Estimated Property Value:  Lot Size (SqFt): 179,820 Building (SqFt): Property Class: 1-00 Tax Rate : 0.000 Tax Code : 28022
<b>MAILING ADDRESS</b>	
TOP HOSPITALITY LLC 502 PRATT AVENUE N SCHAUMBURG, IL 60193	

TAX BILLED AMOUNTS  
& TAX HISTORY

EXEMPTIONS

APPEALS

2021: \$9,659.40	Pay Online: \$10,238.96
2020: \$17,562.54	Pay Online: \$20,533.40 (Originally due 10/1/2021)
2019: \$14,543.03	Payment History
2018:	Not Available
2017:	Not Available

2021: Not Available
2020: 0 Exemptions Received
2019: 0 Exemptions Received
2018: Not Available
2017: Not Available

2021: Not Available
2020: Not Available
2019: Not Available
2018: Not Available
2017: Not Available

\*=(1st Install Only)

REFUNDS AVAILABLE

TAX SALE (DELINQUENCIES)

DOCUMENTS, DEEDS & LIENS

No Refund Available

2021: Tax Sale Has Not Occurred
2020: Tax Sale Has Not Occurred
2019: No Tax Sale
2018: Not Available
2017: Not Available

No Documents Found

All years referenced herein denote the applicable tax year (i.e., the year for which taxes were assessed). Parcels may from time to time be consolidated or subdivided. If information regarding a particular PIN appears to be missing for one or more tax years, it is possible that the PIN has changed due to a consolidation or subdivision. Users may contact the Cook County Clerk's Office for information regarding PIN lineage. Users should also note that the information displayed on this site does not include special assessments (which are billed and collected by municipalities) or omitted taxes (which are assessed on an ad hoc basis by the Cook County Assessor's Office). Please direct inquiries regarding the status of special assessments to your municipality. Questions regarding omitted taxes should be directed to the Assessor's Office.

Note: This printout cannot be used as a tax bill.



# **VIABILITY AND TIMELINESS**



**Budget****Residence Inn by Marriott - Tinley Park**

Item	Amount
Land	\$2,000,000
Marriott Franchise Fee	\$150,000
Architect and Interior Design	\$225,000
Construction Permits	\$200,000
IEPA Permit	\$125,000
Civil Engineer	\$50,000
Testing and Survey	\$20,000
Site Work	\$900,000
Hard Construction Cost	\$9,440,000
FF&E	\$1,750,000
Exterior Signage	\$125,000
Interior Signage	\$25,000
Door Locks	\$75,000
Landscapeing	\$75,000
OS&E	\$200,000
Laundry Equipment	\$75,000
Kitchen/Bar/ Patio Equipment	\$200,000
PMS	\$75,000
POS	\$35,000
Patio	\$50,000
IT - Wifi/phones/security	\$250,000
Tvs	\$150,000
TV provider	\$50,000
Interest	\$750,000
Contingency	\$250,000
Development Fee	\$500,000
Legal Fees	\$100,000
Loan Closing Fees	\$150,000
<b>Total</b>	<b>\$17,995,000</b>



**PRO FORMA without 7b incentive**  
**Residence Inn - Tinley Park**

	Year 1	Year 2	Year 3
Occupancy	73.60%	76.60%	78.60%
ADR	\$129.67	\$135.73	\$141.92
RevPAR	\$95.44	\$103.97	\$111.55
Number of rooms	118	118	118
Days in period	365	365	365
Available Rooms	43070	43070	43070
Occupied Rooms	31700	32992	33854
<b>Revenue</b>			
Rooms	\$4,110,539	\$4,478,004	\$4,804,560
F&B	\$0	\$0	\$0
Telecommunication	\$4,405	\$5,780	\$6,970
Other	\$12,278	\$14,567	\$15,679
<b>Total Revenue</b>	<b>\$4,127,222</b>	<b>\$4,498,351</b>	<b>\$4,827,209</b>
<b>Departmental Expenses</b>			
Rooms	\$822,108	\$895,601	\$960,912
F&B	\$4,500	\$5,000	\$7,000
Telecommunication	\$6,756	\$7,540	\$8,190
<b>Total Department Expenses</b>	<b>\$833,364</b>	<b>\$908,141</b>	<b>\$976,102</b>
<b>Gross Operating Profit</b>	<b>\$3,305,114</b>	<b>\$3,602,750</b>	<b>\$3,866,297</b>
<b>Undistributed Operating Expenses</b>			
Admin and General	\$205,527	\$223,900	\$240,228
Management Fees	\$123,817	\$134,951	\$144,816
Franchise Fees	\$453,994	\$494,819	\$530,993
sales and Marketing	\$123,316	\$134,340	\$144,137
Utility Costs	\$246,632	\$268,680	\$288,274
Property Operation and Maintane	\$123,316	\$134,340	\$144,137
<b>Total Unditributed Expenses</b>	<b>\$1,276,603</b>	<b>\$1,391,030</b>	<b>\$1,492,584</b>
<b>House Profit</b>	<b>\$2,028,511</b>	<b>\$2,211,720</b>	<b>\$2,373,712</b>
<b>Fixed Expenses</b>			
Insurance	\$50,980	\$51,980	\$52,980
Property Taxes Cook County	\$378,960	\$397,908	\$397,908
FF&E Replacement	\$165,089	\$179,934	\$193,088
Interest	\$840,000	\$840,000	\$840,000
<b>Total Fixed Charges</b>	<b>\$1,435,029</b>	<b>\$1,469,822</b>	<b>\$1,483,976</b>
<b>NOI</b>	<b>\$593,483</b>	<b>\$741,898</b>	<b>\$889,736</b>



**PRO FORMA with 7b tax incentive****Residence Inn - Tinley Park**

	<b>Year 1</b>	<b>Year 2</b>	<b>Year 3</b>
Occupancy	73.60%	76.60%	78.60%
ADR	\$129.67	\$135.73	\$141.92
RevPAR	\$95.44	\$103.97	\$111.55
Number of rooms	118	118	118
Days in period	365	365	365
Available Rooms	43070	43070	43070
Occupied Rooms	31700	32992	33854
<b>Revenue</b>			
Rooms	\$4,110,539	\$4,478,004	\$4,804,560
F&B	\$0	\$0	\$0
Telecommunication	\$4,405	\$5,780	\$6,970
Other	\$12,278	\$14,567	\$15,679
<b>Total Revenue</b>	<b>\$4,127,222</b>	<b>\$4,498,351</b>	<b>\$4,827,209</b>
<b>Departmental Expenses</b>			
Rooms	\$822,108	\$895,601	\$960,912
F&B	\$4,500	\$5,000	\$7,000
Telecommunication	\$6,756	\$7,540	\$8,190
<b>Total Department Expenses</b>	<b>\$833,364</b>	<b>\$908,141</b>	<b>\$976,102</b>
<b>Gross Operating Profit</b>	<b>\$3,305,114</b>	<b>\$3,602,750</b>	<b>\$3,866,297</b>
<b>Undistributed Operating Expenses</b>			
Admin and General	\$205,527	\$223,900	\$240,228
Management Fees	\$123,817	\$134,951	\$144,816
Franchise Fees	\$453,994	\$494,819	\$530,993
sales and Marketing	\$123,316	\$134,340	\$144,137
Utility Costs	\$246,632	\$268,680	\$288,274
Property Operation and Maintane	\$123,316	\$134,340	\$144,137
<b>Total Unditributed Expenses</b>	<b>\$1,276,603</b>	<b>\$1,391,030</b>	<b>\$1,492,584</b>
<b>House Profit</b>	<b>\$2,028,511</b>	<b>\$2,211,720</b>	<b>\$2,373,712</b>
<b>Fixed Expenses</b>			
Insurance	\$50,980	\$51,980	\$52,980
Property Taxes Cook County	\$151,584	\$159,163	\$159,163
FF&E Replacement	\$165,089	\$179,934	\$193,088
Interest	\$840,000	\$840,000	\$840,000
<b>Total Fixed Charges</b>	<b>\$1,207,653</b>	<b>\$1,231,077</b>	<b>\$1,245,231</b>
<b>NOI</b>	<b>\$820,859</b>	<b>\$980,643</b>	<b>\$1,128,481</b>



# **IMPACT ON PROPERTY TAXES**



## Residence Inn of Marriott Hotel, 9599 94th Avenue, Tinley Park, IL

Year	Estimated Market Value	Estimated Multiplier	Estimated Tax Rate	Estimated Tax without 7B	Estimated Tax p.s.f. without 7B	Estimated Tax with Class 7B	Estimated Tax p.s.f. with 7B	Estimated Bldg s.f.
2024	\$5,711,187	3.2234	8.657%	\$398,426	\$4.53	\$159,371	\$1.81	87,875
2025	\$5,711,187	3.2234	8.657%	\$398,426	\$4.53	\$159,371	\$1.81	87,875
2026 *	\$5,996,746	3.2234	8.657%	\$418,348	\$4.76	\$167,339	\$1.90	87,875
2027	\$5,996,746	3.2234	8.657%	\$418,348	\$4.76	\$167,339	\$1.90	87,875
2028	\$5,996,746	3.2234	8.657%	\$418,348	\$4.76	\$167,339	\$1.90	87,875
2029 *	\$6,296,583	3.2234	8.657%	\$439,265	\$5.00	\$175,706	\$2.00	87,875
2030	\$6,296,583	3.2234	8.657%	\$439,265	\$5.00	\$175,706	\$2.00	87,875
2031	\$6,296,583	3.2234	8.657%	\$439,265	\$5.00	\$175,706	\$2.00	87,875
2032 *	\$6,611,412	3.2234	8.657%	\$461,228	\$5.25	\$184,491	\$2.10	87,875
2033	\$6,611,412	3.2234	8.657%	\$461,228	\$5.25	\$184,491	\$2.10	87,875
2034	\$6,611,412	3.2234	8.657%	\$461,228	\$5.25	\$276,737	\$3.15	87,875
2035 *	\$6,941,983	3.2234	8.657%	\$484,290	\$5.51	\$387,432	\$4.41	87,875
Totals				\$5,237,665		\$2,381,027		

\* Denotes Reassessment Year

**Assumptions**

1. 2020 tax rate and 2020 multiplier.
2. Market value based income/expense analysis using the Applicant's PGI, 72% expenses and 17.67% loaded cap rate.
3. Market Value increased by 5% every reassessment year.



# **COOK COUNTY CLASS 7B APPLICATION**



# COOK COUNTY ASSESSOR

## FRITZ KAEGI



COOK COUNTY ASSESSOR'S OFFICE  
118 NORTH CLARK STREET, CHICAGO, IL 60602  
PHONE: 312.443.7550 FAX: 312.603.3616  
WWW.COOKCOUNTYASSESSOR.COM

### CLASS 7B ELIGIBILITY APPLICATION

CONTROL NUMBER

Carefully review the Class 7b Eligibility Bulletin before completing this Application. For assistance, please contact the Assessor's Office, Development Incentives Department (312) 603-7529. This application, a filing fee of \$500.00, and supporting documentation must be filed as follows:

This application must be filed PRIOR TO the commencement of New Construction or the commencement of Substantial Rehabilitation Activities or PRIOR TO the Reoccupation of Vacant/Abandoned Property.

#### Applicant Information

Name: Hardik Patel  
Company: Top Hospitality, LLC Telephone: (224) 875-0614  
Address: 550 E. Devon Avenue  
City: Itasca State: IL Zip Code: 60143  
Email Address: Chris.p@nexgenhotels.com

#### Contact Person (if different than the Applicant)

Name: Joanne P. Elliott  
Company: Elliott & Associates Telephone: (847) 298-8300  
Address: 1430 Lee Street  
City: Des Plaines State: IL Zip Code: 60018  
Email Address: joanne@elliottlaw.com

#### Property Description (per PIN)

If you are applying for more than three different PINs, please submit the additional PIN information in an attachment.

Street address: (1) 9599 94th Avenue  
Permanent Real Estate Index Number: 27-34-300-013-0000  
#1 + #2 will be resubdivided at a later date  
(2) 9599 94th Avenue  
Permanent Real Estate Index Number: 27-34-300-014-0000  
old PIN → (3) 9599 94th Avenue  
Permanent Real Estate Index Number: 27-34-300-002-0000  
(invalid in 2019 but relevant)  
City: Tinley Park ZIP: 60487  
Township: Orland Existing Class: 1-00



**Identification of Persons Having an Interest in the Property**

Attach a complete list of all owners, developers, occupants and other interested parties (including all beneficial owners of a land trust) identified by names and addresses, and the nature and extent of their interest.

**Property Use**

General Description of Proposed Property Usage

118-room hotel - Residence Inn

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Attach legal description, site dimensions and square footage and building dimensions and square footage.

Include copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

**Nature of Development**

Indicate nature of the proposed development by checking the appropriate space:



New Construction (Read and Complete Section A below)

☐

Substantial Rehabilitation (Read and complete Section A below)

☐

Occupation of Abandoned Property -- No Special Circumstances (Read and complete Section B)

☐

Occupation of Abandoned Property -- With Special Circumstances (Read and complete Section C)

A. If the proposed development consists of *new construction* or *substantial rehabilitation*, provide the following information:

Estimated date of construction

commencement (excluding demolition, if any):

October 2022

Estimated date of construction completion:

April 2024

Total redevelopment cost, excluding land:

\$

18,000,000

Attach copies of the following:

1. specific description of the proposed new construction or substantial rehabilitation
2. current plat of survey for subject property
3. 1<sup>st</sup> floor plan or schematic drawings
4. building permits, wrecking permits and occupancy permits (including date of issuance)
5. complete description of the cost and extent of substantial rehabilitation or new construction (including such items as contracts, itemized statements of all direct and indirect costs, contractor's affidavits, etc.)



B. If the proposed development consists of the re-occupancy of *abandoned property*, provide the following information:

1. Was the subject property vacant and unused for at least 24 continuous months prior to purchase for value or substantial rehabilitation?

☐ YES ☐ NO

When and by whom was the subject property last occupied and used?

\_\_\_\_\_

\_\_\_\_\_

Attach copies of the following documents:

- (a) sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment
- (b) records (such as statements of utility companies), indicating that the property has been vacant and unused and the duration of such vacancy

2. Application must be made to Assessor prior to reoccupation:

Estimated date of reoccupation: \_\_\_\_\_

Date of purchase: \_\_\_\_\_

Name of purchaser: \_\_\_\_\_

Name of seller: \_\_\_\_\_

Relationship of purchaser to seller: \_\_\_\_\_

Attach copies of the following documents:

- (a) sale contract
- (b) recorded deed
- (c) assignment of beneficial interest
- (d) real estate transfer declaration

C. If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the incentive where there was a purchase for value, but the period of *abandonment prior to purchase was less than 24 continuous months*, please complete section (1) below. If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the incentive where there was *no purchase for value*, but the period of abandonment prior to application was 24 continuous months or greater, please complete section (2) below.

1. How long was the period of abandonment prior to the purchase for value?

\_\_\_\_\_

When and by whom was the subject property last occupied prior to the purchase for value?

\_\_\_\_\_

\_\_\_\_\_



Attach copies of the following documents:

- (a) Sworn statements from person having personal knowledge attesting to the fact and duration of vacancy and abandonment.
- (b) Records (such as statements of utility companies) which demonstrate that the property was vacant and unused and indicated duration of such vacancy.
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution for the Board of Commissioners of Cook County stating its approval for the less than 24-month abandonment period.*

Application must be made to Assessor prior to commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: \_\_\_\_\_

Date of purchase: \_\_\_\_\_

Name of purchaser: \_\_\_\_\_

Name of seller: \_\_\_\_\_

Relationship of purchaser to seller: \_\_\_\_\_

Attach copies of the following documents:

- (a) Sale contract
- (b) Closing statement
- (c) Recorded deed
- (d) Assignment of beneficial interest
- (e) Real estate transfer declaration

2. Was the subject property vacant and unused for at least 24 continuous months prior to the filing of this application?

☐ YES      ☐ NO

*When and by whom was the subject property last occupied prior to filing this application?*

\_\_\_\_\_  
\_\_\_\_\_

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment.
- (b) Records (such as statements of utility companies) which demonstrate that the property was vacant and unused and indicate duration of such vacancy.
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution for the Board of Commissioners of Cook County stating its approval for lack of a purchase for value.*

Application must be made to Assessor prior to commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: \_\_\_\_\_



**Employment Opportunities**

How many construction jobs will be created as a result of this development? 200

How many permanent full-time and part-time employees do you now employ in Cook County?

Full-time: 0 Part-time: 0

How many new permanent full-time jobs will be created as a result of this proposed development?

25

How many new permanent part-time jobs will be created as a result of this proposed development? 15

**Local Approval**

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 7b Application and that it finds Class 7b necessary for development to occur on the subject property. This resolution must expressly state that the five eligibility factors, which must be present to demonstrate that the area is "in need of commercial development", are satisfied.

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

Signature

Print Name

Hardi K. Patel

Date

Title

June 6, 2022

Manager of Top Hospitality, LLC

*\*Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7b Eligibility Application must be signed by the beneficiary, officer and/or general partner.*

Revised 12/3/2018



Class 7b Exhibit  
9599 94<sup>th</sup> Avenue, Tinley Park, IL

**Description of the Property**

1. Legal Description

PIN: 27-34-300-013-0000

THE NORTH HALF OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

PIN: 27-34-300-014-0000

THE SOUTH HALF OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

PIN: 27-34-300-002-0000 (OLD PIN – VALID IN 2018 TAX YEAR & PRIOR TAX YEARS)

THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

**Persons Having Interest in the Property**

1. Top Hospitality, LLC (Applicant) is the owner of the property and the sole member of the LLC is:

Hardik Patel, Member of LLC (100%)  
550 E. Devon Avenue  
Itasca, IL 60143

2. The proposed hotel will be the occupant of the newly constructed building and the owners of the proposed hotel will be the same owner identified above, Hardik Patel.







# **ECONOMIC DISCLOSURE STATEMENT**




Orland  
42133-002**ECONOMIC DISCLOSURE AFFIDAVIT**

State of Illinois     )  
                                  )  
County of Cook     )

Affiant's Name ..... Hardik Patel  
 Affiant's Address..... 550 E. Devon Avenue  
 .....City, State, Zip..... Itasca, IL 60143  
 .....Phone Number ..... (224) 875-0614

The undersigned Affiant being first duly sworn on oath state and affirm that I have personal knowledge of the facts set forth in this Affidavit and that I am competent to testify to the following:

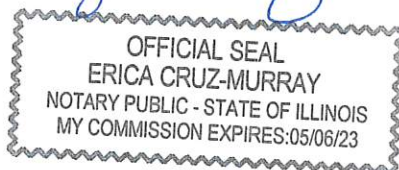
1. That I am the owner of the property commonly known as 9599 94th Ave., Tinley Park, Illinois (the "Property");
2. That the Property is identified by Permanent Tax Index Number (s) 27-34-300-014-0000 and 27-34-300-013-0000 for the 2019 tax year. Please note that the Property's Permanent Tax Index Number for the 2018 tax year and prior tax years was 27-34-300-002-0000.
3. That the ownership interests of the applicant, Top Hospitality LLC, and of the future hotel are as follows: Hardik Patel (100%).
4. The Property is currently vacant land. If the Class 7b tax incentive is granted, then Top Hospitality LLC will construct a 118-room hotel that measures approximately 87,875 square feet.
5. That the Applicant is not delinquent in the payment of any property taxes administered by Cook County or by a local municipality.
6. That the Property is the only property in Cook County that is owned by Top Hospitality LLC.

  
 \_\_\_\_\_  
 Signature of Affiant

Hardik Patel  
 \_\_\_\_\_  
 Print Affiant's Name

Subscribed and Sworn before me on 6th day of June, 2022.

Erica Cruz-Murray  
 \_\_\_\_\_  
 Notary Public



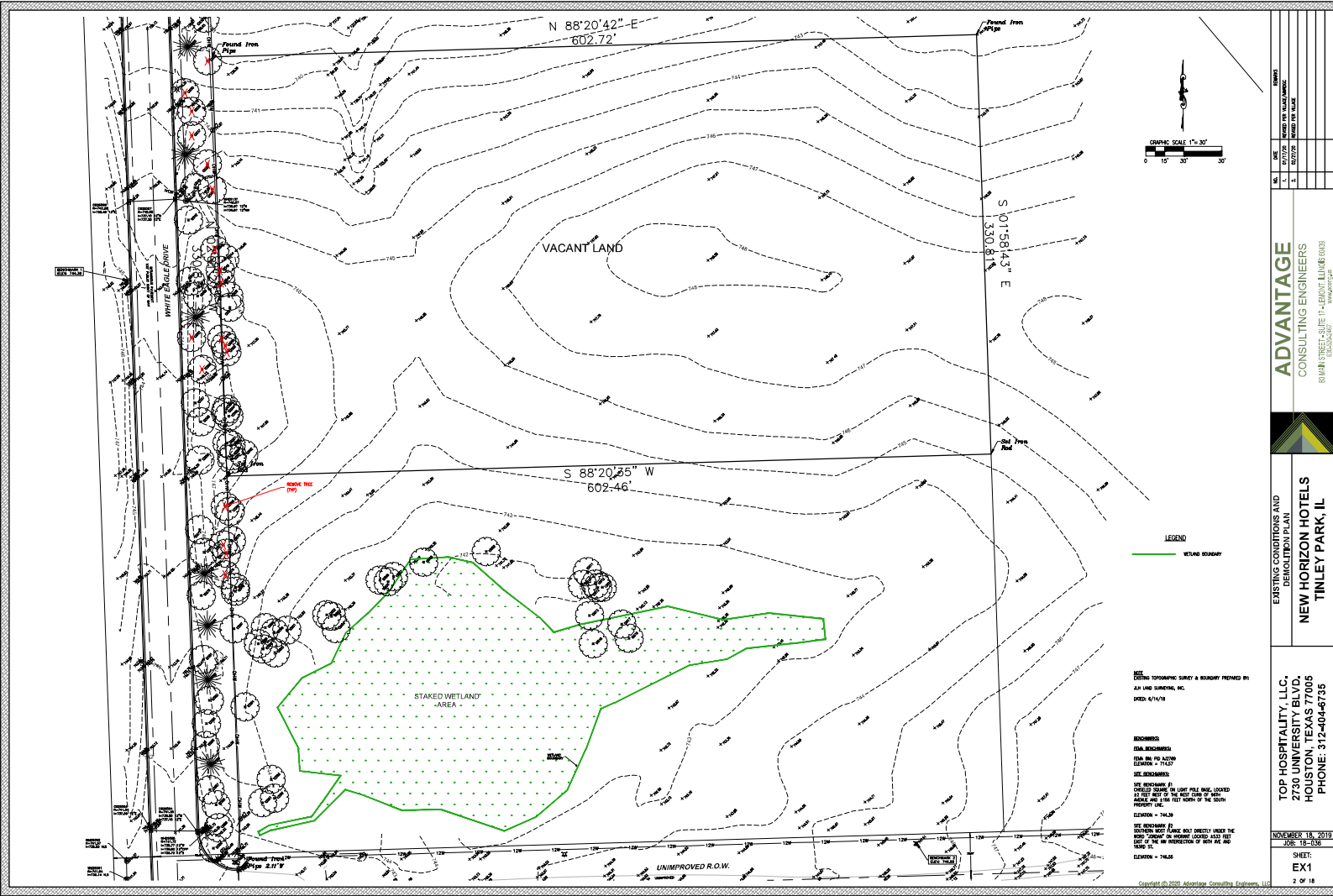


# FLOOR PLANS

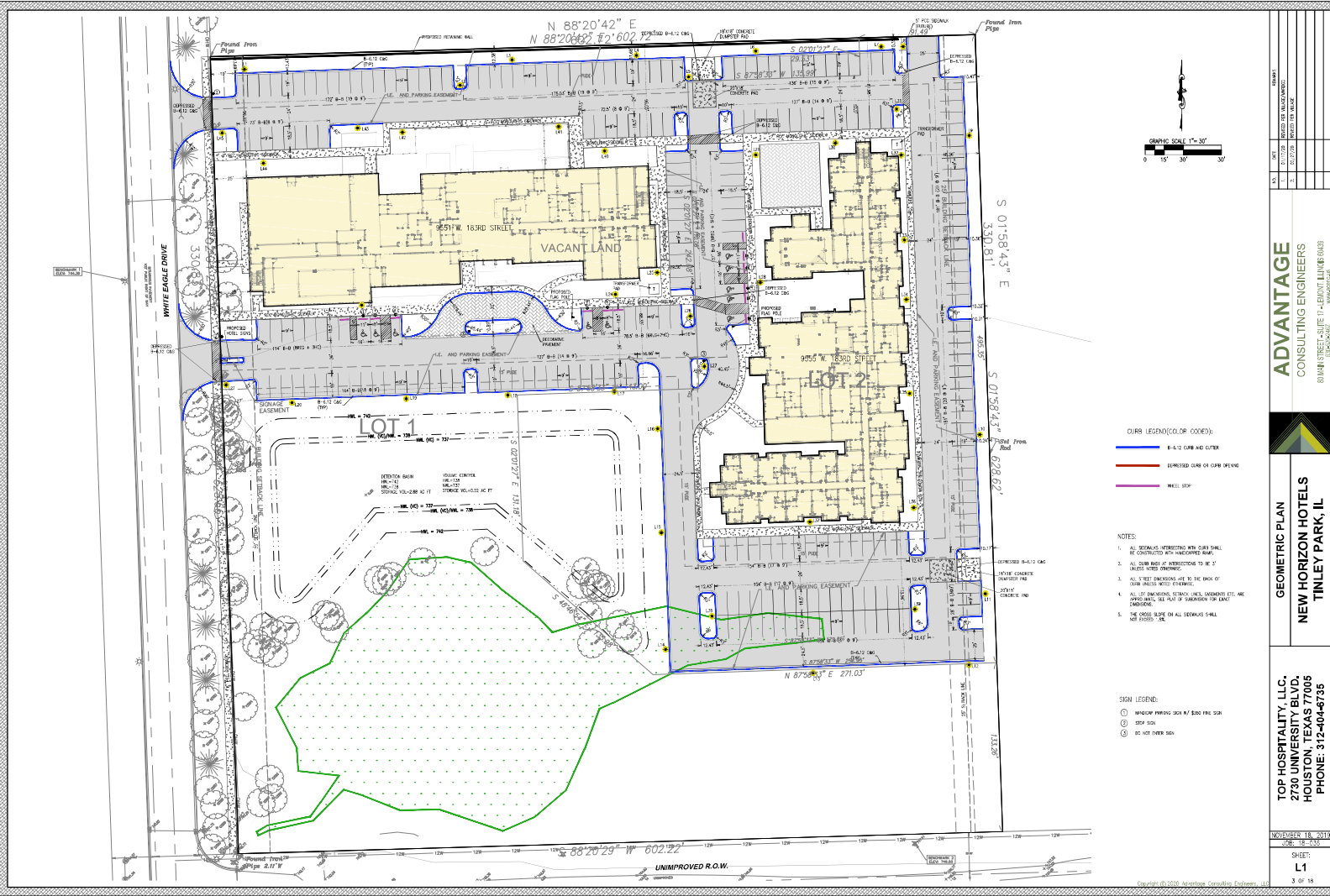


















# Residence INN

BY MARRIOTT


PROTOTYPE VERSION: DESIGN GUIDELINE DRAWINGS - GEN 9  
REVISION DATE: 29.04.2019

MARRIOTT PROJECT NO: 12605 RBM Tinley Park

## TINLEY PARK, ILLINOIS

PROJECT NO: B4-157-1901


MARRIOTT / NEW HORIZON HOTELS (COURTYARD  
AND RESIDENCE INN) - 9551 & 9555 183RD  
STREET



**BASE4**

BASE4  
2601 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
561.507.4558 [www.base4.com](http://www.base4.com)

RICARDO J. MARENGO, LLC  
5453 NW 10TH DR  
CORAL SPRINGS, FL 33076



DATE: 2020.02.04

**TOP**  
**Hospitality**

**Residence INN**  
BY MARRIOTT

1000 E 83RD STREET  
TINLEY PARK, ILLINOIS  
COURTESY: MARRIOTT / NEW HORIZON  
HOTELS (COURTYARD AND RESIDENCE INN)  
9551 & 9555 183RD STREET

DATE	BY	DESCRIPTION
2020.02.04	RICARDO J. MARENGO, LLC	ISSUED FOR PERMIT

ISSUED FOR PERMIT

DATE	BY	DESCRIPTION
2020.03.19	SD	ISSUED
	RBCH	REVISION
	B4-157-1901	PROJECT NO.

SHEET NAME

**TITLE SHEET**

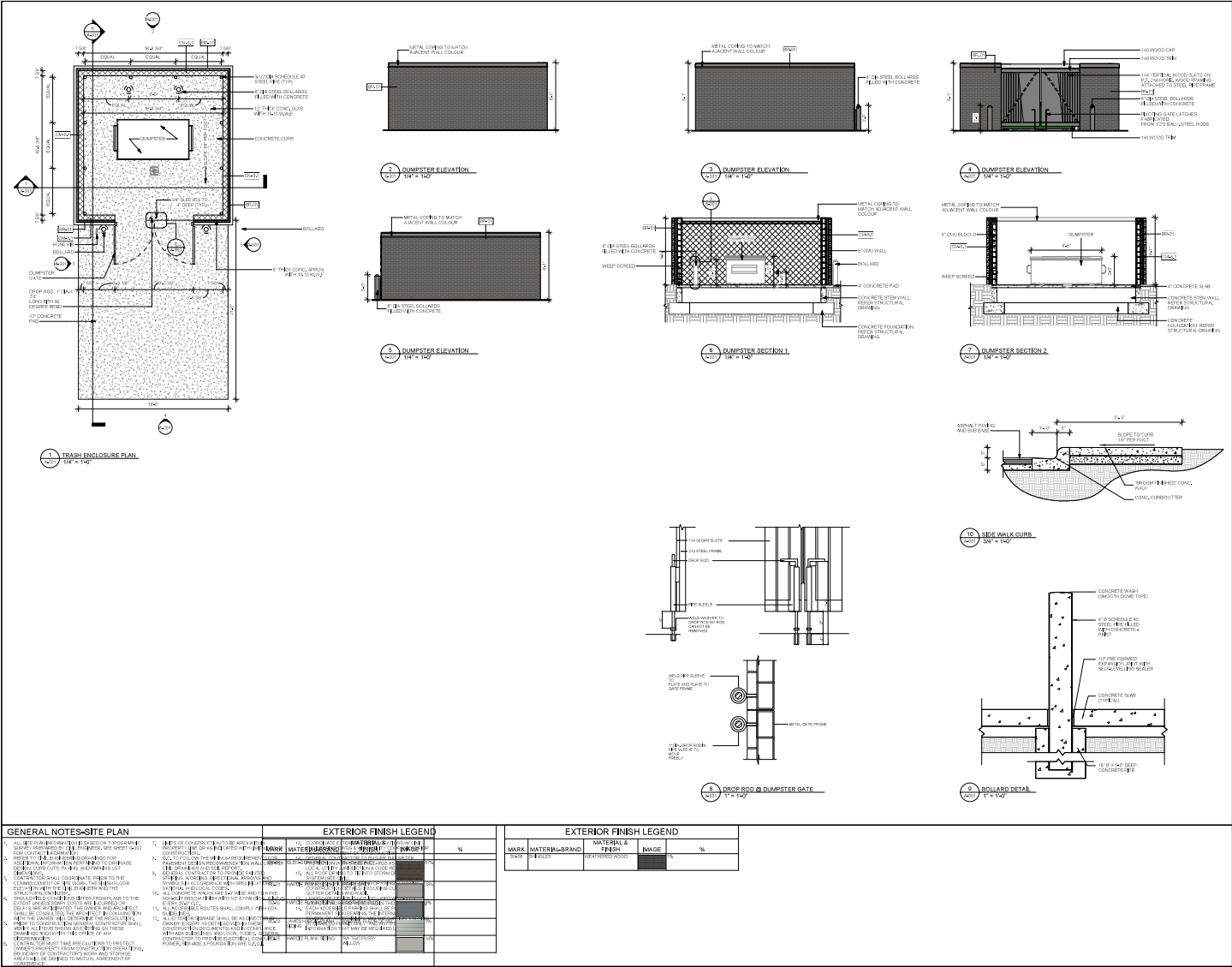
DRAWINGS NO.

**G-000**









**BASE4**  
2601 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
561.507.5558 www.base4.com

1634000 JIMMIE BOULEVARD, #A  
5453 NW 10TH ST  
CORAL SPRINGS, FL 33066

DATE: 2020.02.04  
**TOP**  
Hospitality  
143 WHEELING ROAD  
WHEELING, IL 60090  
312.646.4725

**Residence Inn**  
BY TRAVELER ST

1000 S.W. 10TH STREET  
MIAMI, FL 33135  
305.555.5555  
www.residenceinn.com

**ISSUED FOR PERMIT**

PROJECT NO. 2020.03.19

DESIGNER: BD

REVIEWER: RBCH

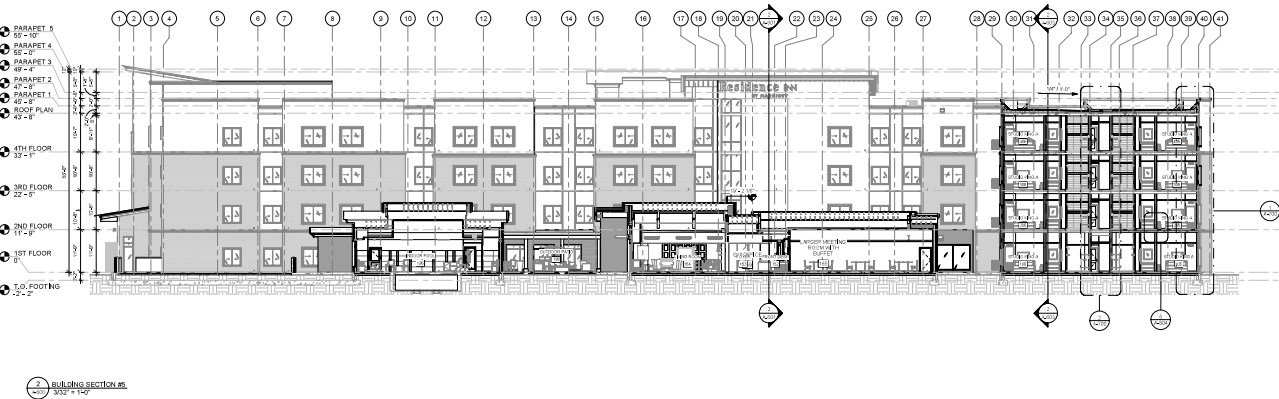
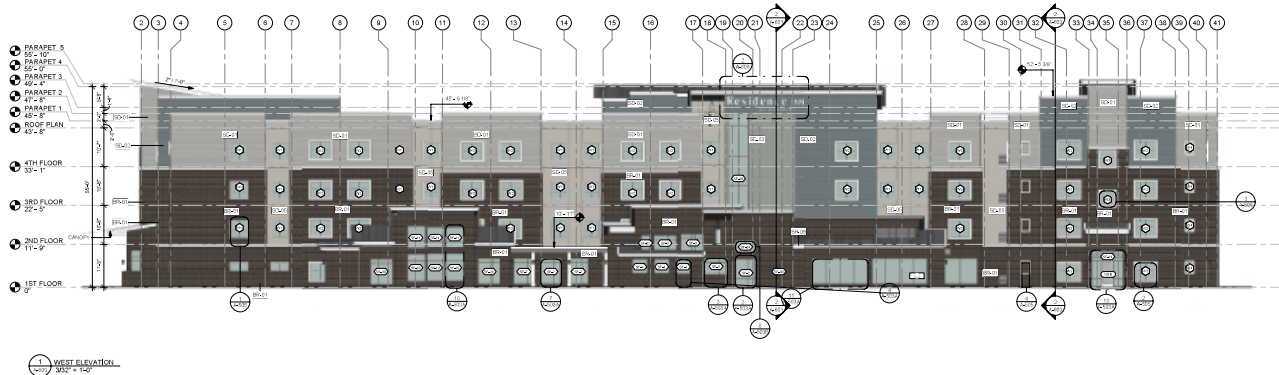
PROJECT NO. B-105-1901

SHEET NAME

**DUMPSTER/SITE DETAILS**

DRAWINGS NO. **A-001**

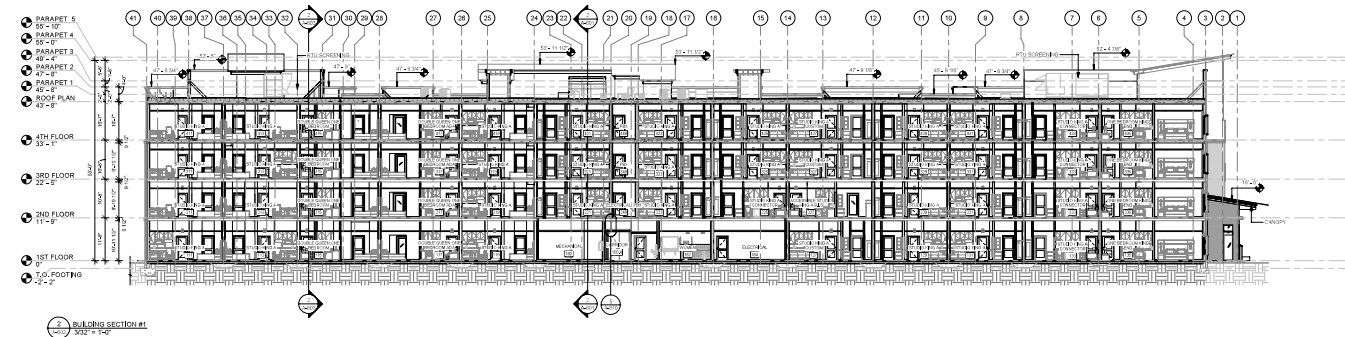
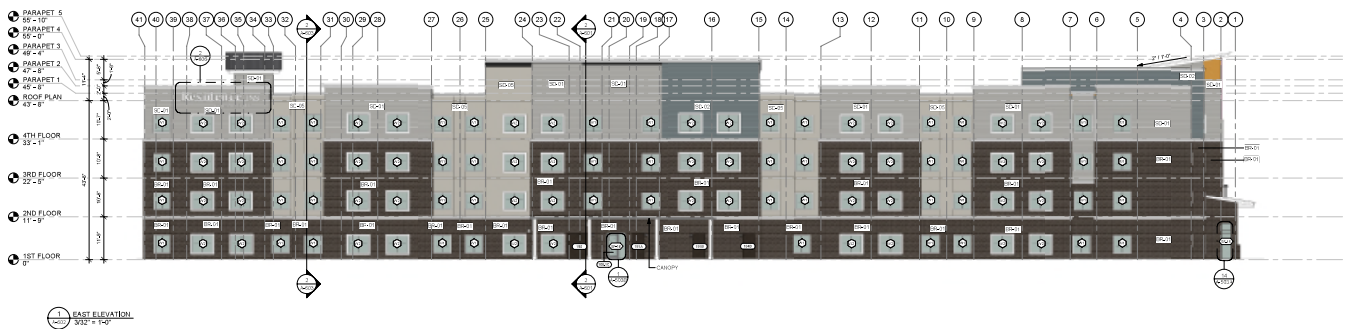


[illegible]







[illegible]





 <b>BASE4</b> 2001 CLIENT MOORE ROAD, #114 BOCA RATON, FLORIDA 33496 561.907.8000 www.base4.com	
RICARDO J MUND-GUILLET, AIA 5402 SW 10TH DR CORAL SPRINGS, FL 33076	
	
DATE: 2020.02.04	
<b>TOP</b> <b>Hospitality</b>	
143 VM-ELLING ROAD WHEATLEIGH BLVD#E 8000 312.404.8735	
<b>Residence IN</b> <small>BY ARCHITECT</small>	
4000 SOUTHERN AVENUE THUNDERBOLT, FLORIDA 407.296.1100 4000 SOUTHERN AVENUE THUNDERBOLT, FLORIDA	
PROJECT NO.	A-603
SHEET NO.	1 OF 1
DRAWING TITLE	EXTERIOR ELEVATION & BUILDING SECTION-4
<b>A-603</b>	







[illegible]



[illegible]



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **RESOLUTION NO.2022-R-088**

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**A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B  
APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT  
TO OCCUR AT 9599 94<sup>th</sup> AVENUE- (COURTYARD OF MARRIOTT HOTEL)**

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**MICHAEL W. GLOTZ, PRESIDENT  
NANCY M. O'CONNOR, VILLAGE CLERK**

**WILLIAM P. BRADY  
WILLIAM A. BRENNAN  
DIANE M. GALANTE  
DENNIS P. MAHONEY  
MICHAEL G. MUELLER  
COLLEEN M. SULLIVAN**

**Board of Trustees**

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Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**RESOLUTION NO. 2022-R-088****A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94<sup>th</sup> AVENUE- (COURTYARD OF MARRIOTT HOTEL)**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the Village of Tinley Park (“Village”) desires to attract new commercial development, stimulate the expansion and retention of existing industry, and increase employment opportunities in the Village; and

**WHEREAS**, Cook County has instituted a program to encourage commercial development known as the Cook County Real Property Classification Ordinance (“Tax Incentive Ordinance”); and

**WHEREAS**, said Tax Incentive Ordinance provides a Class 7b incentive that is designed to encourage commercial development throughout Cook County by offering real estate tax incentives for the development of new commercial facilities, the rehabilitation of existing commercial structures, and the commercial reutilization of abandoned buildings; and

**WHEREAS**, Hadrik Patel on behalf of Top Hospitality, LLC. (“Courtyard of Marriott Hotel”), desires to redevelop certain real property located at 9599 94<sup>th</sup> Avenue, Tinley Park, Illinois (“Subject Property”), legally described in the attached **Exhibit 1**, PIN: 27-34-300-013-0000; 27-34-300-014-0000; 27-34-300-002-0000, in reliance on the Class 7b incentives and to plans to construct a 125-room hotel approximately 83,722 square feet for a proposed Courtyard of Marriott Hotel on the vacant 8.7-acres of land to said Subject Property; and

**WHEREAS**, Courtyard of Marriott Hotel would find it difficult to construct at the Subject Property given the current tax liability on the Subject Property but for said Class 7b incentive, which provides a reduced assessment of ten percent (10%) of fair market value of the Property for the first ten years, fifteen percent (15%) for the eleventh year, and twenty percent (20%) for the twelfth year; Without this incentive, Commercial property would normally be assessed at twenty-five (25%) of its market value; and



**WHEREAS**, said Subject Property does not have a Class 7b incentive applied to the Subject Property and Courtyard of Marriott Hotel seeks approval from the Village to consent and support said Class 7b incentive to be applied to the Subject Property; and

**WHEREAS**, the Village has determined that the Subject Property meets the requirements necessary for approving the request for certain tax incentives, and by allowing said reclassification will further promote the economic viability of the Subject Property which is aligned with the Village's desire to attract new commercial development, stimulate the expansion and retention of existing industry, and increase employment opportunities in the Village; and

**WHEREAS**, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve the request submitted by Courtyard of Marriott Hotel and consent and support the Class 7b reclassification of the Subject Property; and

**NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:**

**SECTION 1:** The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

**SECTION 2:** That the President and Board of Trustees of the Village of Tinley Park hereby approves the request submitted by Courtyard of Marriott Hotel and supports and consents to the Class 7b reclassification and has determined that the commercial use of the Subject Property by Courtyard of Marriott Hotels for its new hotel location at the Subject Property is both necessary and beneficial to the Village.

**SECTION 3:** Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

**SECTION 4:** That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.



PASSED THIS 16<sup>th</sup> day of August, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 16<sup>th</sup> day of August, 2022.

---

VILLAGE PRESIDENT

ATTEST:

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VILLAGE CLERK



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-088, “A RESOLUTION SUPPORTING AND CONSENTING TO THE FILING OF A CLASS 7B APPLICATION AND FINDING THE CLASS 7B NECESSARY FOR DEVELOPMENT TO OCCUR AT 9599 94<sup>th</sup> AVENUE- (COURTYARD OF MARRIOTT HOTEL),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on August 16, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 16<sup>th</sup> day of August, 2022.

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VILLAGE CLERK



EXHIBIT 1  
LEGAL DESCRIPTION

THE NORTH AND SOUTH HALVES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DEDICATED FOR RIGHT OF WAY PER DOCUMENT NUMBER 10157484.





1430 Lee Street  
Des Plaines, IL 60018

Main: 847.298.8300

Fax: 847.298.8388

[www.elliottlaw.com](http://www.elliottlaw.com)

June 6, 2022

Village of Tinley Park  
Mayor Michael W. Glotz  
c/o Kimberly Clarke, Community Development Director  
16250 S. Oak Park Avenue  
Tinley Park, IL 60477

**CLASS 7B APPLICATION FOR COURTYARD OF MARRIOTT  
HOTEL**

Matter #: 42133-001

Property Address: 9599 94th Ave (proposed Courtyard of Marriott Hotel)  
Tinley Park

Township: Orland

PIN: 27-34-300-013-0000; 27-34-300-014-0000; & 27-34-300-002-0000

Dear Mayor Glotz and Village Board Members:

I am writing to request that you pass a Resolution supporting the Class 7b Property Tax Incentive for the property located at 9599 94th Ave on behalf of my client, Top Hospitality, LLC ("Applicant"). The above listed parcel is identified by Permanent Index Number 27-34-300-013-0000, 27-34-300-014-0000, & 27-34-300-002-0000, and the legal description for the property is attached hereto. Please note that PIN ending in -002 is the old PIN for the Property that became invalid in 2019 when the property was divided into two parcels. PIN -002 is listed in this application because it is relevant to establish that we meet one of the eligibility factors set forth by the Cook County Tax Ordinance. Therefore, in the event the Village votes in favor of supporting this Class 7b tax incentive, all three parcels should be listed in the Village Resolution.

Applicant intends to develop the property, however, the development of this property will likely not be feasible without the 7b Tax Incentive. As a result, Applicant is seeking a resolution from the Village supporting the granting of the 7b Tax Incentive

Currently the property is vacant land. Applicant intends to build two (2) hotels on the property. Since there will be two improvements on this property once construction has been completed, we are filing two separate Class 7b tax incentive applications (one for each hotel). The application attached hereto is for the proposed Courtyard of Marriott Hotel. Applicant intends to build a 125-room hotel that measures approximately 83,722 square feet. This construction project will create approximately 200 construction jobs. Once the hotel is ready for operations, Applicant intends to hire 36 full time employees and 15 part time employees. The jobs that this project will create will be economically beneficial to the Village of Tinley Park.



As stated above, the development of this property will not be feasible without the 7b Tax Incentive. The proposed construction project is contingent upon Applicant's ability to obtain Village Resolution and Cook County Board Resolution. Therefore, we respectfully request that the Village of Tinley Park support the Applicant's 7b application and issue a resolution in support of the 7b application.

If a resolution supporting the granting of this tax incentive is approved, the construction of the Courtyard of Marriott Hotel would commence in May 2024 and would be completed in November 2025. The Applicant hopes to open for business in November 2025. The total redevelopment, excluding the purchase of the land, is estimated to cost around \$18,000,000.

The five eligibility factors for the Class 7b tax incentive are as follows:

1. **Designation of Area:** Attached please find a copy of the Village of Tinley Park Ordinance No. 2019-O-009 finding that PIN 27-34-300-002-0000 is blighted and in a state of deterioration and in need of substantial rehab. Note that the -002 PIN has been divided into two (2) new PINs in 2019 and those two (2) new PINs are listed in the 7b application.
2. **Real Estate Tax Analysis:** From 2014 to 2020 the subject's real estate taxes and assessments have remained stagnant/declined for 3 out of the past 6 years. See the attached printouts for these years. Specifically, the subject's tax assessment has remained stagnant from 2014 to 2020 while the subject's taxes declined for 3 out of the past 6 years. The tax amounts were as follows:
  1. 2014: 2,250 AV / \$615.15
  2. 2015: 2,250 AV / \$233.03 (decreased taxes)
  3. 2016: 2,250 AV / \$224.12 (decreased taxes)
  4. 2017: 2,250 AV / \$196.40 (decreased taxes)
  5. 2018: 2,250 AV / \$205.18
  6. 2019: 114,415 AV / \$30,844.55 -- NEW PINS issued in 2019
  7. 2020: 133,484 AV / \$37,248.64

The tax assessment has remained stagnant because the subject property has been vacant land for years and is still vacant land as of today's date. The subject property has never been improved with a building, so the construction of a hotel on this property will increase the taxes. As stated above, the Applicant intends to develop the property by constructing a hotel on the property, but only if the Village issues a Resolution in support of Applicant's Class 7b application.

### 3. Viability and Timeliness

- a. **Development Plan:** Applicant intends to build a hotel on the property if the Village issues a Resolution in support of the Applicant's Class 7b application. The proposed hotel is the Courtyard of Marriott Hotel with 125-rooms that measures approximately 83,722 square feet. If a resolution supporting the granting of this tax incentive is approved, the construction of the Courtyard of Marriott Hotel would commence in May 2024 and would be completed in November 2025. The Applicant hopes to open for business in November 2025. The total redevelopment, excluding the purchase of the land, is estimated to cost around \$18,000,000. See attached list of construction costs.



- b. Economic Feasibility:** Applicant has significant experience in developing and operating new hotels. In the past 8 years, Applicant has developed, opened and operated 5 hotels throughout 2 states that are still in operation. This demonstrates the Applicant has a history of constructing, opening and operating hotels and should be able to do the same at the subject property.

In addition, attached please find a Pro-forma – With Incentive Financing Statement for the subject showing that Applicant will be able to be profitable in the first year of operations with the Class 7b incentive as well as another Pro-forma – Without Incentive Financing Statement showing a significantly lower profitability without the Class 7b incentive. Therefore, without the Class 7b incentive, the Applicant is concerned the margins would be far too thin to successfully operate at this site given the significant initial investment required to construct the hotel.

Additionally, the comparatively high taxes in Cook County are a competitive disadvantage for any owner of real estate in Cook County. The Applicant believes that the Class 7b incentive will allow it to not only help it absorb some of the significant construction costs, but allow it to successfully operate the subject property and stay competitive with nearby DuPage County and Will County where the taxes are far lower as well as with other facilities located in Cook County that already have incentives.

- c. Financing:** Applicant intends to construct a 125-room hotel on the subject property and the cost of construction is \$18,000,000. The Applicant will be funding the construction as follows: \$4.5 Million in Equity and \$13,500,000 in Bank Mortgage.
- d. Owners, Developers, Prime Tenants and other Interested Parties:** See the attached document titled “Class 7b Exhibit”.
- e. Development Schedule:** If a resolution supporting the granting of this tax incentive is approved, the construction of the Courtyard of Marriott Hotel would commence in May 2024 and would be completed in November 2025. The Applicant hopes to open for business in November 2025.
- 4. Assistance and Necessity:** The Applicant is eager to construct a hotel on the subject property and begin its hotel operations within the Village of Tinley Park, however, Applicant does not believe it will be able to successfully construct and operate the hotel without the Class 7b tax incentive. The cost of construction to build the Courtyard of Marriott Hotel is \$18,000,000. If the property is not re-classified as a Class 7b property, then the Cook County Taxes will make the yearly NOI of the project go down significantly and it won’t cover the construction costs of this project. If the Class 7b tax incentive is not supported by the Village, then the proposed construction project will not go forward as it would not be financially viable for Applicant to raise capital and go ahead with the development.
- 5. Increased Tax Revenue and Employment:** Applicant intends to build a hotel on the property if the Village issues a Resolution in support of the Applicant’s Class 7b application. The proposed hotel is the Courtyard of Marriott Hotel with 125-rooms that measures approximately 83,722 square feet.



**The proposed construction and occupancy of the subject property will result in a major increase in employment, property taxes and sales tax at this site.**

Due to high taxes in Cook County, subject property has been a vacant, empty lot for years. The high taxes in this area have discouraged development on the subject property as well as the surrounding area. To promote economic development in the area, we request that the Village support the Applicant's Class 7b application. In doing so, the Courtyard of Marriott Hotel will be a great addition to the Village of Tinley Park and it will also encourage other developers and businessmen to invest in the community.

For years, the property has been a vacant, unimproved lot, and as a result, the taxes on the property has been significantly lower than if the property was an improved lot. Therefore, the construction of the hotel will result in increases in tax revenue. Attached please find a schedule that shows the impact of what the taxes will be with and without a Class 7b incentive.

In addition, constructing a hotel on the subject property will increase the value of the property, and therefore, the property taxes.

The proposed improvements will also create approximately 200 construction jobs. Additionally, this project will create a significant increase in employment at the subject property. Once the hotel is ready for operations, Applicant intends to hire 36 full time employees and 15 part time employees. The jobs that this project will create will be economically beneficial to the Village of Tinley Park.

In addition, the Applicant expects that the hotel will generate a strong sales tax at the subject property. The Village of Tinley Park can also expect that the hotel employees will invest commercially back into the community by visiting local establishments such as gas stations, grocery stores and more. Additionally, the hotel development will attract business and various customers to the Village in the course of its operations due to travelers and guests coming from different parts of the world to stay in this hotel.

As discussed above, there will be an increase in employment, property taxes and sales tax should the Applicant move forward with the new construction project. The Applicant can only move forward with the new construction project if the Class 7b tax incentive is granted. Therefore, by granting the Class 7b tax incentive and the Applicant moving forward with this project, the Village of Tinley Park will see a significant benefit.

Based on the above information and documentation, there is a reasonable expectation that the Applicant will timely construct the proposed hotel and be able to successfully operate the hotel at the subject property if granted the Class 7b tax incentive, which will result in the economic enhancement of the subject property.



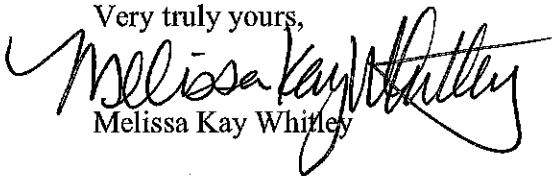
**Justification for the 7b Incentive**

As you know, the 7b Incentive is one of the few economic tools available to the Village to encourage commercial development projects. To be eligible for the 7b incentive, the Applicant must meet eligibility factors set forth by the Ordinance, and thus, demonstrate that the area is "in need of commercial development."

We have attached a copy of the Class 7b Eligibility Application for the proposed Courtyard of Marriott Hotel that will be submitted to the Cook County Assessor upon receipt of the Village Resolution. We have also attached an Economic Disclosure Statement, List of Interested Parties, and floorplans for the Courtyard of Marriott Hotel.

We appreciate your careful consideration of this request and are happy to answer any further questions you might have regarding the Class 7b Incentive Application. Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read "Melissa Kay Whitley", written over the typed name.

Melissa Kay Whitley

Enclosures



# **DESIGNATION OF AREA**



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## **THE VILLAGE OF TINLEY PARK**

**Cook County, Illinois**

**Will County, Illinois**

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### **ORDINANCE NO. 2019-O-009**

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**AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND  
LAGRANGE AS BLIGHTED**

---

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**JACOB C. VANDENBERG, PRESIDENT  
KRISTIN A. THIRION, VILLAGE CLERK**

**MICHAEL J. PANNITTO  
BRIAN H. YOUNKER  
CYNTHIA A. BERG  
MICHAEL W. GLOTZ  
WILLIAM P. BRADY  
JOHN A. CURRAN  
Board of Trustees**

---

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park  
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys  
200 W. Adams, Suite 2125 Chicago, IL 60606



**VILLAGE OF TINLEY PARK**

Cook County, Illinois

Will County, Illinois

**ORDINANCE NO. 2019-O-009****AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND  
LAGRANGE AS BLIGHTED**

**WHEREAS**, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

**WHEREAS**, the President and Board of Trustees (the "Corporate Authorities") has evaluated whether a certain area delineated by Property Index Numbers 27-33-401-004, 27-33-401-012, 27-33-401-013, 27-33-401-014, 27-33-401-015, 27-33-401-017, 27-33-401-018, 27-34-300-002, 27-34-300-005, 27-34-300-011, and 27-34-300-012 Tinley Park Cook County, Illinois, and further described on Exhibit A, a copy of which is attached hereto [REDACTED] (the "Area"), constitute a blighted area as defined by the criteria set forth in the Illinois Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4-1 et seq.) (the "TIF Act").

**WHEREAS**, in order to find that an area qualified as blighted area under the TIF Act, five of the following thirteen factors listed must be present: (1) Dilapidation; (2) Obsolescence; (3) Deterioration; (4) Presence of structures below minimum code standards; (5) Illegal use of individual structures; (6) Excessive vacancies; (7) Lack of ventilation, light, or sanitary facilities; (8) Inadequate utilities; (9) Excessive land coverage and overcrowding of structures and community facilities; (10) Deleterious land-use or layout; (11) Environmental clean-up; (12) Lack of community planning; (13) Stagnant or declining EAV whereas total equalized assessed value of proposed redevelopment project area has declined three of the last five years.

**WHEREAS**, the Village has reviewed a December 2018 study analysis ("the Report") from the consulting firm Kane, McKenna & Associates, Inc. attached hereto and made a part hereof as Exhibit B. The Report was prepared specifically for the above referenced PINs in determining whether all or a portion of this area qualifies as blighted as set forth in the definitions of the Tax Increment Allocation Redevelopment Act.

**WHEREAS**, the Report concluded that said area, surpasses the "five of thirteen" eligibility factor threshold requirement by meeting the following six eligibility factors: (1) Excessive vacancies; (2) Obsolescence; (3) Stagnant or declining EAV; (4) Lack of community planning; (5) Deterioration and (6) Environmental Remediation.



**WHEREAS**, the Village finds the property within the Area is blighted and contains characteristics of deficiencies which limit the property's use and marketability; and find that the property is in a state of deterioration and that the property within the Area is in need of substantial rehabilitation.

**NOW, THEREFORE, BE IT ORDAINED**, by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois as follows:

SECTION 1: That the above recitals and legislative findings are found to be true and correct and are hereby incorporated herein and made part hereof, as if fully set forth in their entirety.

SECTION 2: The Village hereby finds and agrees that the said area has been appropriately declared as blighted by a qualified independent consultant.

SECTION 3: All property in the blighted area is expected to substantially benefit by redevelopment improvements.

SECTION 4: The sound growth of taxing districts applicable to the area, including the Village, has impaired by the factors found present in the area.

SECTION 5: That the area is therefore in need of redevelopment.

SECTION 6: That unless corrected, the blighted conditions outlined in the Report will persist and continue to delay any future economic development within the Area.

SECTION 7: The Mayor and Clerk as well as other appropriate Village officials are hereby authorized to sign any necessary documents to implement this Ordinance.

SECTION 8: This ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 5<sup>th</sup> day of February, 2019.

AYES: Younker, Pannitto, Berg, Brady, Glotz, Curran

NAYS: None

ABSENT: None

APPROVED THIS 5<sup>th</sup> day of February, 2019.

ATTEST:

  
VILLAGE CLERK

  
VILLAGE PRESIDENT



## EXHIBIT A







# EXHIBIT A

## List of PINs corresponding to Exhibit A Map Orland Township

27-33-401-004	9601 179 <sup>th</sup> St
27-33-401-012	18100 96 <sup>th</sup> Ave
27-33-401-013	18200 96 <sup>th</sup> Ave
27-33-401-014	9651 179 <sup>th</sup> St
27-33-401-015	18040 LaGrange Rd
27-33-401-017	17900 LaGrange Rd
27-33-401-018	9659 179 <sup>th</sup> St
27-34-300-002	18300 96 <sup>th</sup> Ave
27-34-300-005	17901 96 <sup>th</sup> Ave
27-34-300-011	18050 94 <sup>th</sup> Ave
27-34-300-012	18120 94 <sup>th</sup> Ave



## **EXHIBIT B**



**Draft December 27, 2018**

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**VILLAGE OF TINLEY PARK  
CONFIRMATION OF TAX INCREMENT FINANCE DISTRICT (TIF)  
ELIGIBILITY:  
179TH STREET/LAGRANGE ROAD**

---

**A study to determine whether all or a portion of an area located in the Village of Tinley Park qualifies as a blighted vacant area as set forth in the definitions in the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1, et seq., as amended.**

**Prepared for:  
The Village of Tinley Park**

**Prepared by:  
Kane, McKenna and Associates, Inc.**

---

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**December, 2018**



**VILLAGE OF TINLEY PARK  
CONFIRMATION OF TAX INCREMENT FINANCE DISTRICT (TIF)  
ELIGIBILITY:  
179TH STREET/LAGRANGE ROAD**

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III.	The Study Area	6
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### EXECUTIVE SUMMARY

Kane, McKenna and Associates, Inc. ("KMA") has been retained by the Village of Tinley Park to conduct an analysis confirming the TIF eligibility (see below) of an area that is located along 179<sup>th</sup> Street and LaGrange Road. The area consists of eleven (11) tax parcels (the "Study Area").

The Village of Tinley Park (the "Village") has two principle aims in pursuing the redevelopment of the Study Area. The first goal is to promote redevelopment of an area that has experienced certain impediments such as obsolete platting and diversity of ownership. This designation would enable the Village to address impediments through the use of the Cook County Class 7(b) tax incentive.

Secondly, redevelopment action would address the limited opportunities the Village has to encourage new commercial growth and mixed uses within a "land-locked" community. Because the Village (a) is a mature community with limited opportunities for growth through annexation, (b) has few parcels of undeveloped land remaining within Village limits, and (c) has few groupings of properties served by major roadways, the targeted redevelopment area provides an opportunity to undertake major new reinvestment of a vacant structure and site improvements. By so doing, it would support the Village's strategy for the encouragement of growth through the reuse and redevelopment under-utilized properties.

Based upon the analysis completed to date, KMA has reached the following conclusions regarding the qualification of the Study Area as a "blighted vacant area."

- 1) *The Study Area qualifies as a "blighted vacant area"* under factors contained the Illinois Tax Increment Allocation Redevelopment Act (ILCS 5/11-74.4-1 et. seq., as amended; hereinafter referred to as the "TIF Act" or "Act"). This condition prevents, or threatens to prevent, the healthy economic and physical development of properties in a manner that the community deems essential to its overall economic health.
- 2) *Current conditions impede redevelopment* – The existence of certain conditions found at the Study Area present impediments to the area's successful redevelopment. This is because the factors negatively impact coordinated and substantial private sector investment. Without the use of Village planning and economic development resources including the use of the Cook County Class 7(b) tax incentive to mitigate such factors, potential redevelopment projections (along with other activities that require private sector investment) are not likely to be economically feasible.
- 3) *Viable redevelopment sites could produce additional revenue* – The Study Area potentially could be redeveloped or rehabilitated and thereby produce incremental property tax and sales tax revenue. Such revenue, used in combination with other Village resources for redevelopment incentives would likely stimulate private investment and reinvestment within the Study Area and also benefit adjoining properties.



- 4) *Blighted Vacant Area* – To mitigate redevelopment area conditions, promote private sector investment, and foster the economic viability, KMA recommends that the Village proceed with the formal confirmation of the Study Area as a “blighted vacant area”.



## **I. INTRODUCTION AND BACKGROUND**

Kane, McKenna and Associates, Inc. ("KMA") has evaluated certain tax parcels located along 179<sup>th</sup> Street and LaGrange Road to determine whether they qualify as a "blighted vacant area" as defined in the TIF Act. The Study Area consist of vacant parcels located north of the Interstate 80 and LaGrange Road interchange.

Because of the conditions observed within the Study Area and the required coordination for future land uses, the Village is favorably disposed toward supporting redevelopment efforts. The Village has determined that redevelopment should take place through the benefit and guidance of comprehensive economic planning by the Village. Through this coordinated effort, conditions within the Study Area are expected to improve and development barriers to be mitigated.

The Village has further determined that redevelopment is feasible only with public finance assistance including a Cook County Class 7(b) utilization.

The use of the Class 7(b) incentive relies upon induced private redevelopment to create higher real estate values that would otherwise decline without such investment. This would result in increased property taxes compared to the previous land use (or lack of use). In this way, the existing tax base for all tax districts would be protected.

The Study Area has a number of important assets:

- The Study Area is located adjacent to important local roads in terms of visibility;
- The Study Area is situated near other complimentary users; and
- The area would serve community residents with commercial and related retail services.

Despite its potential advantages, the Study Area exhibits a variety of economic development impediments as identified in the TIF Act, such as obsolete platting and diversity of ownership. Section V of this report identifies the impediments to redevelopment.

KMA formally began its analysis by conducting a series of meetings and discussions with Village staff, starting in November, 2018 and continuing periodically up to the date of this report's issuance. The purpose of the meetings was to gather data related to the qualification criteria for the Study Area. These meetings were complemented by a series of field surveys of the entire area to evaluate the condition of the TIF District. The field surveys and data collected have been utilized to test the likelihood that property would qualify for conservation area designation.

For the purpose of the study, the Study Area was examined in the context of the TIF Act governing unimproved areas. The qualification factors discussed in this report qualify the area as a blighted vacant area, as the term is defined under the TIF Act.

During the course of its work, KMA reported to key Village staff its findings regarding TIF qualification and redevelopment prospects for the area under study.



For additional information about KMA's data collection and evaluation methods, refer to Section IV of this report.



## II. QUALIFICATION CRITERIA USED

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Kane, McKenna and Associates, Inc. evaluated the Study Area to determine the presence or absence of qualifying factors listed in the TIF Act. The relevant sections of the TIF Act are found below.

The TIF Act sets out specific procedures which must be adhered to in designating a TIF District/Redevelopment Project Area. By definition, a Redevelopment Project Area (RPA) is:

“An area designated by the municipality, which is not less in the aggregate than 1 1/2 acres and in respect to which the municipality has made a finding that there exist conditions which cause the area to be classified as an industrial park conservation area or a blighted area or a conservation area, or a combination of both blighted areas and conservation areas.”

***TIF Qualification Factors for a “Blighted Vacant Area”.*** In accordance with the TIF Act, KMA assessed the following factors to determine TIF qualification for the RPA. Per the statute, such an area meets state standards provided that:

If vacant, the sound growth of the redevelopment project area is impaired by a combination of two (2) or more of the following factors, each of which is (i) present, with that presence documented, to a meaningful extent so that a municipality may reasonably find that the factor is clearly present within the intent of the Act and (ii) reasonably distributed throughout the vacant part of the redevelopment project area:

A) Obsolete Platting. Obsolete platting of vacant land that results in parcels of limited or narrow size or configurations of parcels of irregular size or shape that would be difficult to develop on a planned basis and in a manner compatible with contemporary standards and requirements or platting that failed to create rights-of-ways for streets or alleys or that created inadequate right-of-way widths for streets, alleys, or other public rights-of-way or that omitted easements for public utilities.

B) Diversity of Ownership. Diversity of ownership of parcels of vacant land sufficient in number to retard or impede the ability to assemble the land for development.

C) Delinquencies. Tax and special assessment delinquencies exist or the property has been the subject of tax sales under the Property Tax Code within the last five (5) years.

D) Adjacent Deterioration. Deterioration of structures or site improvements in neighboring areas adjacent to the vacant land.

E) Environmental Deficiencies. The area has incurred Illinois Environmental Protection Agency or United States Environmental Protection Agency remediation costs for – or a study conducted by an independent consultant recognized as having expertise in environmental remediation has determined a need for – the clean-up of hazardous waste,



hazardous substances or underground storage tanks required by State or federal law, provided that the remediation costs constitute a material impediment to the development or redevelopment of the redevelopment project area

F) Lagging or Declining EAV. The total equalized assessed value of the proposed redevelopment project area has declined for three (3) of the last five (5) calendar years prior to the year in which the redevelopment project area is designated or is increasing at an annual rate that is less than the balance of the municipality for three (3) of the last five (5) calendar years for which information is available or is increasing at an annual rate that is less than the Consumer Price Index for All Urban Consumers published by the United States Department of Labor or successor agency for three (3) of the last (5) calendar years prior to the year in which the redevelopment project area is designated.

Additionally, one (1) or more of the following factors may be present in the area under study:

- (A) The area consists of one or more unused quarries, mines, or strip mine ponds.
- (B) The area consists of unused rail yards, rail tracks, or railroad rights of way.
- (C) The area, prior to its designation, is subject to (i) chronic flooding that adversely impacts on real property in the area as certified by a registered professional engineer or appropriate regulatory agency or (ii) surface water that discharges from all or a part of the area and contributes to flooding within the same watershed, but only if the redevelopment project provides for facilities or improvements to contribute to the alleviation of all or part of the flooding.
- (D) The area consists of an unused or illegal disposal site containing earth, stone, building debris, or similar materials that were removed from construction, demolition, excavation, or dredge sites.
- (E) Prior to November 1, 1999, the area is not less than 50 nor more than 100 acres and 75% of which is vacant (notwithstanding that the area has been used for commercial agricultural purposes within 5 years prior to the designation of the redevelopment project area), and the area meets at least one of the factors itemized in paragraph (1) of this subsection, the area has been designated as a town or village center by ordinance or comprehensive plan adopted prior to January 1, 1982, and the area has not been developed for that designated purpose.
- (F) The area qualified as a "blighted area" immediately prior to becoming vacant, unless there has been substantial private investment in the immediately surrounding area.



### **III. THE BLIGHTED VACANT AREA**

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The Study Area contains eleven (11) tax parcels located north of Interstate 80, east and west along LaGrange Road and south of 179<sup>th</sup> Street. Please refer to Exhibit A which contains a map.

Despite impediments, the overall area has a number of assets as identified in Section I above. In addition to traffic volume desirable for retail, commercial and mixed uses, it has a number of other advantages that could be leveraged in the future, including visibility at a prominent intersection and proximity to other retail and commercial uses.



## V. QUALIFICATION FINDINGS

Based upon KMA's evaluation of parcels in the Study Area and analysis of each of the eligibility factors summarized in Section II, the following factors are present to support qualification of the TIF District as a blighted vacant area. These factors are found to be clearly present and reasonably distributed throughout the Study Area, as required under the TIF Act. The qualifying factors are summarized in the table below.

### *Qualification Factors – TIF District*

<i>TIF Designation</i>	<i>Maximum Possible Factors per Statute</i>	<i>Minimum Factors Needed to Qualify per Statute</i>	<i>Qualifying Factors Present</i>
Blighted Vacant Area	6	2	2 <ul style="list-style-type: none"> <li>• Obsolete Platting</li> <li>• Diversity of Ownership</li> </ul>

**Findings for a Blighted Vacant Area Designation.** The Study Area is found to qualify as a blighted vacant area under the statutory criteria set forth in the TIF Act.

- 1) **Obsolete Platting.** Obsolete platting can be defined as vacant land that has platting that fails to create right-of-ways for streets, alleys or other public right-of-ways or that omits easements for public utilities. The RPA is characterized by obsolete platting. There are a number of platting deficiencies including integration with existing uses. For example, the area lacks the appropriate right-of-ways for streets, alleys and public right-of-ways. New right-of-ways may need to be included as part of area traffic improvements to improve access/egress requirements and traffic circulation. Additionally, the area lacks easements for public utilities required for the proposed redevelopment. Infrastructure needs to be provided to accommodate future development.
- 2) **Diversity of Ownership:** Diversity of ownership of parcels of vacant land is present if sufficient to impede the ability to assemble or prepare the land for redevelopment. Requirements for traffic and roadway configuration, as well as the provision of coordinated utility services in the Study Area, may require coordination between different ownership interests. Coordination of owners for proposed redevelopment will be contingent on the use of private and public resources to fund new investments in order to redevelop property in the Study Area and coordinate such services.



## **VI. SUMMARY OF FINDINGS / GENERAL ASSESSMENT OF QUALIFICATION**

The following is a summary of relevant qualification findings as it relates to the Village's potential designation of the Study Area as a "blighted vacant area".

1. The area is contiguous and is greater than 1½ acres in size;
2. The Study Area will qualify as a blighted vacant area based upon review of the TIF Act. Further, the qualification factors found are present to a meaningful extent and are reasonably distributed throughout the area. A more detailed analysis of the qualification findings is outlined in Section V of this report;
3. All property in the area is expected to substantially benefit by the redevelopment project improvements;
4. The sound growth of taxing districts applicable to the area, including the Village, has been impaired by the factors found present in the area; and
5. The area would not be subject to redevelopment without the utilization of public assistance, including the Cook County Class 7b incentive.

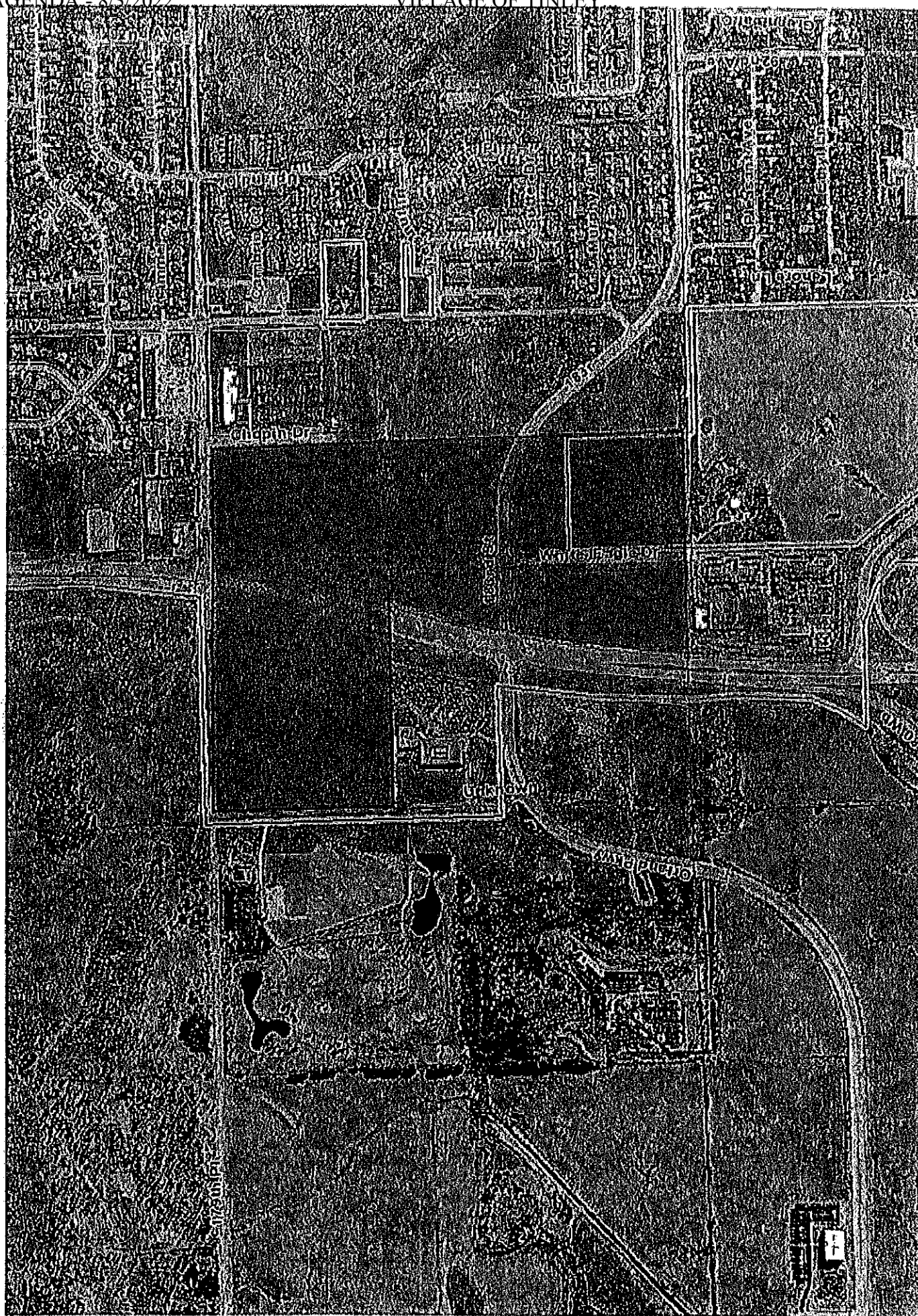
In the judgment of KMA, these findings provide the Village with sufficient justification to consider designation of the Study Area as a "blighted vacant area".



**EXHIBIT A**

**Boundary Map**







Tinley Park 179th St.-LaGrange Rd. EAV Matrix 12.11.18ld.xlsx



STATE OF ILLINOIS       )  
COUNTY OF COOK       )     SS  
COUNTY OF WILL       )

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of ORDINANCE No. 2019-O-009, "AN ORDINANCE DESIGNATING AN AREA IN THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, COMMONLY KNOWN AS 179<sup>TH</sup> AND LAGRANGE AS BLIGHTED," which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 5, 2019.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 5<sup>th</sup> day of February, 2019.

A handwritten signature in black ink, appearing to read 'Kristin A. Thirion', written over a horizontal line.

KRISTIN A. THIRION, VILLAGE CLERK



# **REAL ESTATE TAX ANALYSIS**



Cook County Tax Portal -  
Assessment History

Billed Amounts & Tax History

Pay Online

Property Description

Tax Exemptions

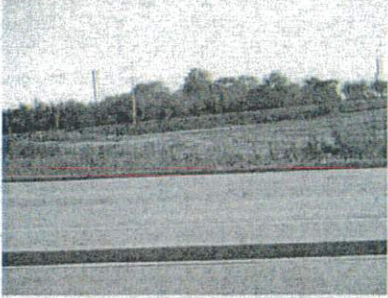
Refund Search

Documents Deeds & Liens

Tax Appeals Dates & Deadlines

Tax Rates

Property Characteristics for PIN:  
**27-34-300-002-0000**  



PROPERTY ADDRESS

18300 96TH AVE  
TINLEY PARK  
00000  
Township: ORLAND

MAILING ADDRESS

TOP HOSPITALITY LLC  
2730 UNIVERSITY BLVD  
HOUSTON, TX 77005

Update Name or Mailing Address

PROPERTY CHARACTERISTICS

CURRENT INFORMATION

Tax Year 2019 Assessed Value:  
Most Recent Assessment Information: 2,250  
(2018 Board Final)  
Estimated Property Value: \$22,500  
Assessed Value History

Assessed Value History

2018	2,250
2017	2,250
2016	2,250
2015	2,250

Taxing Districts' Financial Statements

Tax Rate Information

See comparable properties and other information on  
**COOKVIEWER**



*Cook County Tax Portal -  
Real Estate Taxes*

**27-34-300-002-0000**



#### PROPERTY ADDRESS

18300 96TH AVE  
TINLEY PARK  
00000  
Township: ORLAND

#### MAILING ADDRESS

TOP HOSPITALITY LLC  
2730 UNIVERSITY BLVD  
HOUSTON, TX 77005

Update Name or Mailing Address

#### TAX BILLED AMOUNTS & TAX HISTORY

2019: \$0.00\* Divided PIN  
2018: \$205.18 Paid in Full  
2017: \$196.40 Payment History  
2016: \$224.12 Payment History  
2015: \$233.03 Payment History

#### EXEMPTIONS

2019: Not Available  
2018: 0 Exemptions Received  
2017: 0 Exemptions Received  
2016: 0 Exemptions Received  
2015: 0 Exemptions Received



No Image  
Available

**PROPERTY ADDRESS**

9599 94TH AVE  
TINLEY PARK  
00000  
Township: ORLAND

**MAILING ADDRESS**

TOP HOSPITALITY LLC  
502 PRATT AVENUE N  
SCHAUMBURG, IL 60193

**PROPERTY CHARACTERISTICS****CURRENT INFORMATION****Assessed Value:**

(2021 Assessor First Pass)

Assessment Information: 70,547

Estimated Property Value:

Lot Size (SqFt): 201,564

Building (SqFt):

Property Class: 1-00

Tax Rate : 0.000

Tax Code : 28022

**TAX BILLED AMOUNTS  
& TAX HISTORY**

2021: \$10,827.36 Pay Online: \$11,477.00  
2020: \$19,686.10 Pay Online: \$23,016.16  
(Originally due 10/1/2021)  
2019: \$16,301.52 Payment History  
2018: Not Available  
2017: Not Available

\*=(1st Install Only)

**EXEMPTIONS**

2021: Not Available  
2020: 0 Exemptions Received  
2019: 0 Exemptions Received  
2018: Not Available  
2017: Not Available

**APPEALS**

2021: Not Available  
2020: Not Available  
2019: Not Available  
2018: Not Available  
2017: Not Available

**REFUNDS AVAILABLE**

No Refund Available

**TAX SALE (DELINQUENCIES)**

2021: Tax Sale Has Not Occurred  
2020: Tax Sale Has Not Occurred  
2019: No Tax Sale  
2018: Not Available  
2017: Not Available

**DOCUMENTS, DEEDS & LIENS**

No Documents Found

All years referenced herein denote the applicable tax year (i.e., the year for which taxes were assessed). Parcels may from time to time be consolidated or subdivided. If information regarding a particular PIN appears to be missing for one or more tax years, it is possible that the PIN has changed due to a consolidation or subdivision. Users may contact the Cook County Clerk's Office for information regarding PIN lineage. Users should also note that the information displayed on this site does not include special assessments (which are billed and collected by municipalities) or omitted taxes (which are assessed on an ad hoc basis by the Cook County Assessor's Office). Please direct inquiries regarding the status of special assessments to your municipality. Questions regarding omitted taxes should be directed to the Assessor's Office.

**Note: This printout cannot be used as a tax bill.**




**PROPERTY ADDRESS**

9599 94TH AVE

TINLEY PARK

00000

Township: ORLAND

**MAILING ADDRESS**

TOP HOSPITALITY LLC

502 PRATT AVENUE N

SCHAUMBURG, IL 60193

**PROPERTY CHARACTERISTICS****CURRENT INFORMATION****Assessed Value:**

(2021 Assessor First Pass)

Assessment Information: 62,937

Estimated Property Value:

Lot Size (SqFt): 179,820

Building (SqFt):

Property Class: 1-00

Tax Rate : 0.000

Tax Code : 28022

**TAX BILLED AMOUNTS  
& TAX HISTORY**

2021: \$9,659.40 Pay Online: \$10,238.96  
 2020: \$17,562.54 Pay Online: \$20,533.40  
 (Originally due 10/1/2021)  
 2019: \$14,543.03 Payment History  
 2018: Not Available  
 2017: Not Available

\*=(1st Install Only)

**EXEMPTIONS**

2021: Not Available  
 2020: 0 Exemptions Received  
 2019: 0 Exemptions Received  
 2018: Not Available  
 2017: Not Available

**APPEALS**

2021: Not Available  
 2020: Not Available  
 2019: Not Available  
 2018: Not Available  
 2017: Not Available

**REFUNDS AVAILABLE**

No Refund Available

**TAX SALE (DELINQUENCIES)**

2021: Tax Sale Has Not Occurred  
 2020: Tax Sale Has Not Occurred  
 2019: No Tax Sale  
 2018: Not Available  
 2017: Not Available

**DOCUMENTS, DEEDS & LIENS**

No Documents Found

All years referenced herein denote the applicable tax year (i.e., the year for which taxes were assessed). Parcels may from time to time be consolidated or subdivided. If information regarding a particular PIN appears to be missing for one or more tax years, it is possible that the PIN has changed due to a consolidation or subdivision. Users may contact the Cook County Clerk's Office for information regarding PIN lineage. Users should also note that the information displayed on this site does not include special assessments (which are billed and collected by municipalities) or omitted taxes (which are assessed on an ad hoc basis by the Cook County Assessor's Office). Please direct inquiries regarding the status of special assessments to your municipality. Questions regarding omitted taxes should be directed to the Assessor's Office.

**Note: This printout cannot be used as a tax bill.**



# **VIABILITY AND TIMELINESS**



**Budget****Courtyard of Marriott Hotel - Tinley Park**

<b>Item</b>	<b>Amount</b>
Land	\$2,000,000
Marriott Franchise Fee	\$150,000
Architect and Interior Design	\$225,000
Construction Permits	\$200,000
IEPA Permit	\$125,000
Civil Engineer	\$50,000
Testing and Survey	\$20,000
Site Work	\$600,000
Hard Constrcution Cost	\$9,800,000
FF&E	\$1,750,000
Exterior Signage	\$125,000
Interior Signage	\$25,000
Door Locks	\$75,000
Landsacping	\$75,000
OS&E	\$200,000
Laundry Equipment	\$75,000
Kitchen/Bar/ Patio Equipment	\$200,000
PMS	\$75,000
POS	\$35,000
Patio	\$50,000
IT - Wifi/phones/security	\$250,000
Tvs	\$150,000
TV provider	\$50,000
Interest	\$750,000
Contingency	\$250,000
Development Fee	\$500,000
Legal Fees	\$50,000
Loan Closing Fees	\$150,000
<b>Total</b>	<b>\$18,005,000</b>



**PRO FORMA- Without Incentive  
Courtyard - Tinley Park**

	<b>Year 1</b>	<b>Year 2</b>	<b>Year 3</b>
Occupancy	65.00%	67.00%	68.60%
ADR	\$109.67	\$119.73	\$123.92
RevPAR	\$71.29	\$80.22	\$85.01
Number of rooms	125	125	125
Days in period	365	365	365
Available Rooms	45625	45625	45625
Occupied Rooms	29657	30569	31299
<b>Revenue</b>			
Rooms	\$3,252,483	\$3,660,026	\$3,878,572
F&B	\$744,912	\$880,912	\$1,000,100
Telecommunication	\$5,405	\$6,780	\$8,970
Other	\$12,278	\$14,567	\$15,679
<b>Total Revenue</b>	<b>\$4,015,078</b>	<b>\$4,562,285</b>	<b>\$4,903,321</b>
<b>Departmental Expenses</b>			
Rooms	\$878,170	\$988,207	\$1,047,214
F&B	\$501,692	\$591,230	\$690,989
Telecommunication	\$6,756	\$7,540	\$8,190
<b>Total Department Expenses</b>	<b>\$1,386,618</b>	<b>\$1,586,977</b>	<b>\$1,746,393</b>
<b>Gross Operating Profit</b>	<b>\$3,136,908</b>	<b>\$3,574,078</b>	<b>\$3,856,107</b>
<b>Undistributed Operating Expenses</b>			
Admin and General	\$292,723	\$329,402	\$349,071
Management Fees	\$120,452	\$136,869	\$147,100
Franchise Fees	\$481,809	\$547,474	\$588,399
sales and Marketing	\$160,456	\$120,890	\$125,890
Utility Costs	\$260,199	\$292,802	\$310,286
Property Operation and Maintenance	\$195,149	\$219,602	\$232,714
<b>Total Undistributed Expenses</b>	<b>\$1,510,789</b>	<b>\$1,647,039</b>	<b>\$1,753,460</b>
<b>House Profit</b>	<b>\$1,626,119</b>	<b>\$1,927,039</b>	<b>\$2,102,647</b>
<b>Fixed Expenses</b>			
Insurance	\$53,980	\$53,980	\$55,980
Property Taxes	\$432,698	\$454,333	\$454,333
FF&E Replacement	\$160,603	\$182,491	\$196,133
Interest Payment	\$840,000	\$840,000	\$840,000
<b>Total Fixed Charges</b>	<b>\$1,487,281</b>	<b>\$1,530,804</b>	<b>\$1,546,446</b>
<b>Net Operating Income</b>	<b>\$138,838</b>	<b>\$396,235</b>	<b>\$556,201</b>



**PRO FORMA- With 7b Incentive**  
**Courtyard - Tinley Park**

	Year 1	Year 2	Year 3
Occupancy	65.00%	67.00%	68.60%
ADR	\$109.67	\$119.73	\$123.92
RevPAR	\$71.29	\$80.22	\$85.01
Number of rooms	125	125	125
Days in period	365	365	365
Available Rooms	45625	45625	45625
Occupied Rooms	29657	30569	31299
<b>Revenue</b>			
Rooms	\$3,252,483	\$3,660,026	\$3,878,572
F&B	\$744,912	\$880,912	\$1,000,100
Telecommunication	\$5,405	\$6,780	\$8,970
Other	\$12,278	\$14,567	\$15,679
<b>Total Revenue</b>	<b>\$4,015,078</b>	<b>\$4,562,285</b>	<b>\$4,903,321</b>
<b>Departmental Expenses</b>			
Rooms	\$878,170	\$988,207	\$1,047,214
F&B	\$501,692	\$591,230	\$690,989
Telecommunication	\$6,756	\$7,540	\$8,190
<b>Total Department Expenses</b>	<b>\$1,386,618</b>	<b>\$1,586,977</b>	<b>\$1,746,393</b>
<b>Gross Operating Profit</b>	<b>\$3,136,908</b>	<b>\$3,574,078</b>	<b>\$3,856,107</b>
<b>Undistributed Operating Expenses</b>			
Admin and General	\$292,723	\$329,402	\$349,071
Management Fees	\$120,452	\$136,869	\$147,100
Franchise Fees	\$481,809	\$547,474	\$588,399
sales and Marketing	\$160,456	\$120,890	\$125,890
Utility Costs	\$260,199	\$292,802	\$310,286
Property Operation and Maintenance	\$195,149	\$219,602	\$232,714
<b>Total Undistributed Expenses</b>	<b>\$1,510,789</b>	<b>\$1,647,039</b>	<b>\$1,753,460</b>
<b>House Profit</b>	<b>\$1,626,119</b>	<b>\$1,927,039</b>	<b>\$2,102,647</b>
<b>Fixed Expenses</b>			
Insurance	\$53,980	\$53,980	\$55,980
Property Taxes	\$173,079	\$181,733	\$181,733
FF&E Replacement	\$160,603	\$182,491	\$196,133
Interest Payment	\$840,000	\$840,000	\$840,000
<b>Total Fixed Charges</b>	<b>\$1,227,662</b>	<b>\$1,258,204</b>	<b>\$1,273,846</b>
<b>Net Operating Income</b>	<b>\$398,457</b>	<b>\$668,835</b>	<b>\$828,801</b>



# **IMPACT ON PROPERTY TAXES**



## Courtyard of Marriott Hotel, 9599 94th Avenue, Tinley Park, IL

Year	Estimated Market Value	Estimated Multiplier	Estimated Tax Rate	Estimated Tax without 7B	Estimated Tax p.s.f. without 7B	Estimated Tax with Class 7B	Estimated Tax p.s.f. with 7B	Estimated Bldg s.f.
2024	\$6,521,056	3.2234	8.657%	\$454,925	\$5.43	\$181,970	\$2.17	83,722
2025	\$6,521,056	3.2234	8.657%	\$454,925	\$5.43	\$181,970	\$2.17	83,722
2026 *	\$6,847,108	3.2234	8.657%	\$477,671	\$5.71	\$191,068	\$2.28	83,722
2027	\$6,847,108	3.2234	8.657%	\$477,671	\$5.71	\$191,068	\$2.28	83,722
2028	\$6,847,108	3.2234	8.657%	\$477,671	\$5.71	\$191,068	\$2.28	83,722
2029 *	\$7,189,464	3.2234	8.657%	\$501,555	\$5.99	\$200,622	\$2.40	83,722
2030	\$7,189,464	3.2234	8.657%	\$501,555	\$5.99	\$200,622	\$2.40	83,722
2031	\$7,189,464	3.2234	8.657%	\$501,555	\$5.99	\$200,622	\$2.40	83,722
2032 *	\$7,548,937	3.2234	8.657%	\$526,632	\$6.29	\$210,653	\$2.52	83,722
2033	\$7,548,937	3.2234	8.657%	\$526,632	\$6.29	\$210,653	\$2.52	83,722
2034	\$7,548,937	3.2234	8.657%	\$526,632	\$6.29	\$315,979	\$3.77	83,722
2035 *	\$7,926,384	3.2234	8.657%	\$552,964	\$6.60	\$442,371	\$5.28	83,722
Totals				\$5,980,386		\$2,718,667		

\* Denotes Reassessment Year

**Assumptions**

1. 2020 tax rate and 2020 multiplier.
2. Market value based income/expense analysis using the Applicant's PGI, 72% expenses and 17.67% loaded cap rate.
3. Market Value increased by 5% every reassessment year.



# **COOK COUNTY CLASS 7B APPLICATION**



# COOK COUNTY ASSESSOR

## FRITZ KAEGI



COOK COUNTY ASSESSOR'S OFFICE  
118 NORTH CLARK STREET, CHICAGO, IL 60602  
PHONE: 312.443.7550 FAX: 312.603.3616  
WWW.COOKCOUNTYASSESSOR.COM

### CLASS 7B

### ELIGIBILITY APPLICATION

CONTROL NUMBER

Carefully review the Class 7b Eligibility Bulletin before completing this Application. For assistance, please contact the Assessor's Office, Development Incentives Department (312) 603-7529. This application, a filing fee of \$500.00, and supporting documentation must be filed as follows:

This application must be filed PRIOR TO the commencement of New Construction or the commencement of Substantial Rehabilitation Activities or PRIOR TO the Reoccupation of Vacant/Abandoned Property.

#### Applicant Information

Name: Hardik Patel  
Company: Top Hospitality, LLC Telephone: (224) 875-0614  
Address: 550 E. Devon Avenue, Ste 110  
City: Itasca State: IL Zip Code: 60143  
Email Address: Chris.p@nexgenhotels.com

#### Contact Person (If different than the Applicant)

Name: Joanne P. Elliott  
Company: Elliott & Associates Telephone: (847) 298-8300  
Address: 1430 Lee Street  
City: Des Plaines State: IL Zip Code: 60018  
Email Address: joanne@elliottlaw.com

#### Property Description (per PIN)

If you are applying for more than three different PINs, please submit the additional PIN information in an attachment.

Street address: (1) 9599 94th Avenue

#1 + #2 will  
be resubdivided  
at a later date

Permanent Real Estate Index Number: 27-34-300-013-0000

(2) 9599 94th Avenue

Permanent Real Estate Index Number: 27-34-300-014-0000

(3) 9599 94th Avenue

Permanent Real Estate Index Number: 27-34-300-002-0000

Old PIN →  
(inserted in 2019  
but relevant)

City: Tinley Park ZIP: 60487

Township: Orland Existing Class: 1-00



**Identification of Persons Having an Interest in the Property**

Attach a complete list of all owners, developers, occupants and other interested parties (including all beneficial owners of a land trust) identified by names and addresses, and the nature and extent of their interest.

**Property Use**

General Description of Proposed Property Usage

125-room hotel - Courtyard of Marriott Hotel

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Attach legal description, site dimensions and square footage and building dimensions and square footage.

Include copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

**Nature of Development**

Indicate nature of the proposed development by checking the appropriate space:



New Construction (Read and Complete Section A below)

☐

Substantial Rehabilitation (Read and complete Section A below)

☐

Occupation of Abandoned Property -- No Special Circumstances (Read and complete Section B)

☐

Occupation of Abandoned Property -- With Special Circumstances (Read and complete Section C)

A. If the proposed development consists of *new construction* or *substantial rehabilitation*, provide the following information:

Estimated date of construction

commencement (excluding demolition, if any):

May 2024

Estimated date of construction completion:

November, 2025

Total redevelopment cost, excluding land:

\$

18,000,000

Attach copies of the following:

1. specific description of the proposed new construction or substantial rehabilitation
2. current plat of survey for subject property
3. 1<sup>st</sup> floor plan or schematic drawings
4. building permits, wrecking permits and occupancy permits (including date of issuance)
5. complete description of the cost and extent of substantial rehabilitation or new construction (including such items as contracts, itemized statements of all direct and indirect costs, contractor's affidavits, etc.)



B. If the proposed development consists of the re-occupancy of *abandoned property*, provide the following information:

1. Was the subject property vacant and unused for at least 24 continuous months prior to purchase for value or substantial rehabilitation?

☐ YES      ☐ NO

When and by whom was the subject property last occupied and used?

\_\_\_\_\_

\_\_\_\_\_

Attach copies of the following documents:

- (a) sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment
- (b) records (such as statements of utility companies), indicating that the property has been vacant and unused and the duration of such vacancy

2. Application must be made to Assessor prior to reoccupation:

Estimated date of reoccupation: \_\_\_\_\_

Date of purchase: \_\_\_\_\_

Name of purchaser: \_\_\_\_\_

Name of seller: \_\_\_\_\_

Relationship of purchaser to seller: \_\_\_\_\_

Attach copies of the following documents:

- (a) sale contract
- (b) recorded deed
- (c) assignment of beneficial interest
- (d) real estate transfer declaration

C. If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the incentive where there was a purchase for value, but the period of *abandonment prior to purchase was less than 24 continuous months*, please complete section (1) below. If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the incentive where there was *no purchase for value*, but the period of abandonment prior to application was 24 continuous months or greater, please complete section (2) below.

1. How long was the period of abandonment prior to the purchase for value?

\_\_\_\_\_

When and by whom was the subject property last occupied prior to the purchase for value?

\_\_\_\_\_

\_\_\_\_\_



Attach copies of the following documents:

- (a) Sworn statements from person having personal knowledge attesting to the fact and duration of vacancy and abandonment.
- (b) Records (such as statements of utility companies) which demonstrate that the property was vacant and unused and indicated duration of such vacancy.
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution for the Board of Commissioners of Cook County stating its approval for the less than 24-month abandonment period.*

Application must be made to Assessor prior to commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: \_\_\_\_\_

Date of purchase: \_\_\_\_\_

Name of purchaser: \_\_\_\_\_

Name of seller: \_\_\_\_\_

Relationship of purchaser to seller: \_\_\_\_\_

Attach copies of the following documents:

- (a) Sale contract
- (b) Closing statement
- (c) Recorded deed
- (d) Assignment of beneficial interest
- (e) Real estate transfer declaration

2. Was the subject property vacant and unused for at least 24 continuous months prior to the filing of this application?

☐ YES      ☐ NO

*When and by whom was the subject property last occupied prior to filing this application?*

\_\_\_\_\_  
\_\_\_\_\_

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment.
- (b) Records (such as statements of utility companies) which demonstrate that the property was vacant and unused and indicate duration of such vacancy.
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution for the Board of Commissioners of Cook County stating its approval for lack of a purchase for value.*

Application must be made to Assessor prior to commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: \_\_\_\_\_



**Employment Opportunities**

How many construction jobs will be created as a result of this development? 200

How many permanent full-time and part-time employees do you now employ in Cook County?

Full-time: 0 Part-time: 0

How many new permanent full-time jobs will be created as a result of this proposed development?

36

How many new permanent part-time jobs will be created as a result of this proposed development? 15

**Local Approval**

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 7b Application and that it finds Class 7b necessary for development to occur on the subject property. This resolution must expressly state that the five eligibility factors, which must be present to demonstrate that the area is "in need of commercial development", are satisfied.

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

Signature

Print Name

Harshik Patel

Date

Title

June 6, 2022

Manager of Top Hospitality, LLC

*\*Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7b Eligibility Application must be signed by the beneficiary, officer and/or general partner.*

Revised 12/3/2018



Class 7b Exhibit  
9599 94<sup>th</sup> Avenue, Tinley Park, IL

**Description of the Property**

1. Legal Description

PIN: 27-34-300-013-0000

THE NORTH HALF OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

PIN: 27-34-300-014-0000

THE SOUTH HALF OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

PIN: 27-34-300-002-0000 (OLD PIN – VALID IN 2018 TAX YEAR & PRIOR TAX YEARS)

THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 34, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

**Persons Having Interest in the Property**

1. Top Hospitality, LLC (Applicant) is the owner of the property and the sole member of the LLC is:

Hardik Patel, Member of LLC (100%)  
550 E. Devon Avenue  
Itasca, IL 60143

2. The proposed hotel will be the occupant of the newly constructed building and the owners of the proposed hotel will be the same owner identified above, Hardik Patel.



# ALTANSPS LAND TITLE SURVEY OF UNDEVELOPED LOT TINLEY PARK, ILLINOIS (PART OF PROPERTY KNOWN AS 18300 96TH AVE, TINLEY PARK, ILLINOIS)

**LEGAL DESCRIPTION**  
THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

## AREA

271.18 SQ. FT.  
0.071 ACRES

## PARKING STALLS

NONE

## VICINITY MAP

NOT TO SCALE

## FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ZONE AS ALIGNED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) NO. 17020T014A (NOT PRINTED).

## UTILITY ATLAS NOTES:

**JULIE DESIGN STAGE REQUEST**  
DIG NUMBER X305087 RECEIVED 1/10/17.  
CONTACTS PROVIDED BY JULIE & LISTED BELOW WHERE INFORMATION ON 1/10/17.

CONTACTS	RESPONSE
AT&T	RESPONDED TO AT&T CABLE
COMCAST	RESPONDED WITH ATLAS
CONQUEST	RESPONDED WITH ATLAS
INCO GAS	RESPONDED TO CONFLICT
USPS LOCATING SERVICES	NO RESPONSE

## GENERAL NOTES

- COMPARE THIS PLAT, LEGAL DESCRIPTION, AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCY TO SURVEYOR.
- DO NOT SCALE DIMENSIONS FROM THIS PLAT.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT FOR THE PARCEL, WHICH IS DEEMED TO BE A TRUE AND CORRECT REPRESENTATION OF THE PARCEL, AND THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER INTERESTS IN THE PARCEL.
- MANHOLE, METERS, AND OTHER UTILITY MARKS OR GATES, SUCH AS THOSE FROM FIELD LOCATIONS OF SUCH AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE TO THE SURVEYOR. THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER UTILITY IMPROVEMENTS, SUCH AS "STAMPED" MARKINGS OF THE RIM, NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED ON FIELD LOCATED STRUCTURES IN THE VICINITY OF THE PROPERTY LINES, AND ARE NOT GUARANTEED TO BE EXACTLY LOCATED. THE DESIGN STAGE PROCESS SEE "UTILITY ATLAS NOTED" HEREON FOR SPECIFICS.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPE, OR IF THEY ARE NOT VISIBLE TO THE SURVEYOR. THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER UTILITY IMPROVEMENTS, SUCH AS "STAMPED" MARKINGS OF THE RIM, NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
- CALL JULIE AT 1-800-888-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER UTILITY IMPROVEMENTS, SUCH AS "STAMPED" MARKINGS OF THE RIM, NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES HAVE NOT BEEN SHOWN. THIS PROPERTY IS SUBJECT TO SETBACKS AS ESTABLISHED PURSUANT TO THE TITLE COMMITMENT. THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES. THE SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION.
- THIS PROPERTY IS ZONED C4 (GENERAL COMMERCIAL) PER COOK COUNTY ILLINOIS DEPARTMENT OF PLANNING AND ZONING. THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES.
- THERE ARE NO REVENUE OF ANY CHARGES THAT THE SURVEYOR IS AWARE OF.
- AN OUTDATED CHURCH TITLE INSURANCE COMMITMENT ORDER NO. 140 000000 OF WITH INFORMATION OF THIS SURVEY, THEREFORE ADDITIONAL EASEMENT AND / OR SETBACK LINES MAY EXIST THAT THE SURVEYOR IS NOT AWARE AND MAY NOT BE SHOWN HEREON.



Engineers  
Scientists  
Surveyors

PREPARED FOR  
**BUKEMA LAW GROUP, LLC**  
15 SALT CREEK LANE, SUITE 103  
HINSDALE, IL 60521  
630-344-5500

NO.	DATE	DESCRIPTION	REVISIONS	NO.	DATE	DESCRIPTION
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Project No. 17288  
Group No. VP01.2  
SHEET NO. 1 of 1

ALTANSPS LAND TITLE SURVEY  
UNDEVELOPED LOT, TINLEY PARK, ILLINOIS  
DRAWN BY: SKK  
CHECKED BY: AJS  
SCALE: 1" = 50'  
FIELD WORK COMPLETED: 04/03/18

DATE: 04/03/18

PROJECT MANAGER: AJS

DATE: 04/03/18

DATE: 04/03/18

DATE: 04/03/18

DATE: 04/03/18

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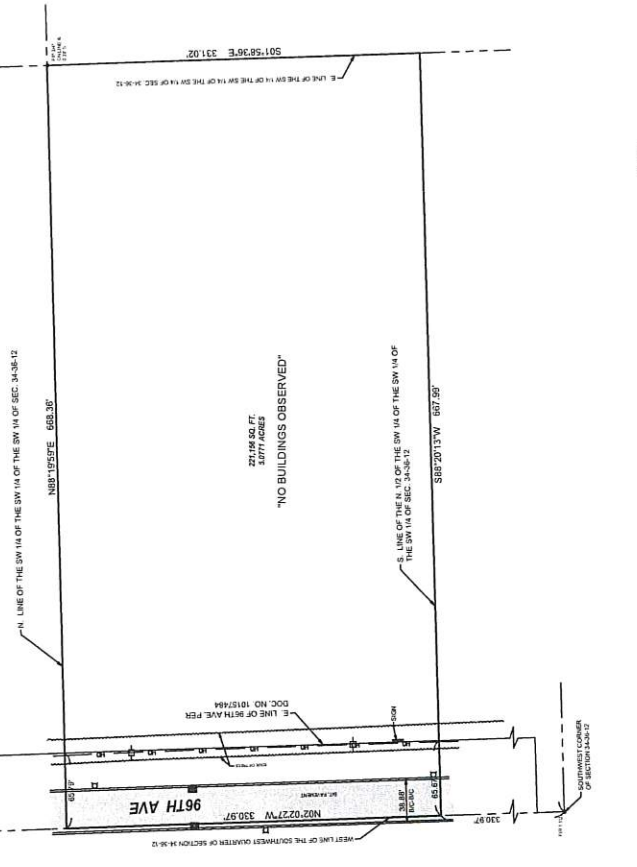
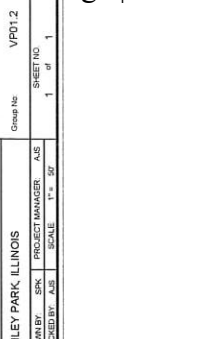
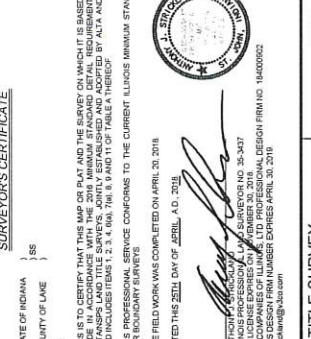
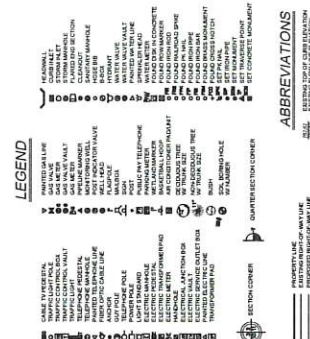
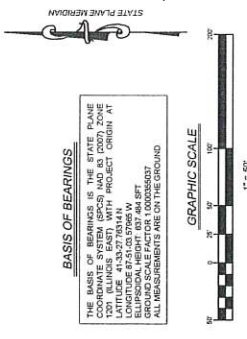
DATE: 04/03/18

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NO.	DATE	DESCRIPTION	REVISIONS	NO.	DATE	DESCRIPTION
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**ZONING INFORMATION**  
ZONING INFORMATION IS A GENERAL CODE OF ORDINANCES WHICH THE COUNTY BOARD HAS ADOPTED. FOR DETAILS SEE THE MUNICIPALITY'S ZONING ORDINANCE.

FOR DETAILS SEE THE MUNICIPALITY'S ZONING ORDINANCE.

FOR DETAILS SEE THE MUNICIPALITY'S ZONING ORDINANCE.

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FOR DETAILS SEE THE MUNICIPALITY'S ZONING ORDINANCE.



# **ECONOMIC DISCLOSURE STATEMENT**



Orland  
42133-001**ECONOMIC DISCLOSURE AFFIDAVIT**

State of Illinois )

County of Cook )

Affiant's Name ..... Hardik Patel

Affiant's Address..... 550 E. Devon Avenue

.....City, State, Zip..... Itasca, IL 60143

.....Phone Number ..... (224) 875-0614

The undersigned Affiant being first duly sworn on oath state and affirm that I have personal knowledge of the facts set forth in this Affidavit and that I am competent to testify to the following:

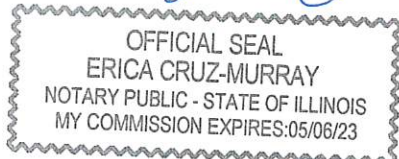
1. That I am the owner of the property commonly known as 9599 94th Ave, Tinley Park, Illinois (the "Property");
2. That the Property is identified by Permanent Tax Index Number (s) 27-34-300-014-0000 and 27-34-300-013-0000 for the 2019 tax year. Please note that the Property's Permanent Tax Index Number for the 2018 tax year and prior tax years was 27-34-300-002-0000.
3. That the ownership interests of the applicant, Top Hospitality LLC, and of the future hotel are as follows: Hardik Patel (100%).
4. The Property is currently vacant land. If the Class 7b tax incentive is granted, then Top Hospitality LLC will construct a 125-room hotel that measures approximately 83,722 square feet.
5. That the Applicant is not delinquent in the payment of any property taxes administered by Cook County or by a local municipality.
6. That the Property is the only property in Cook County that is owned by Top Hospitality LLC.



Signature of Affiant

Hardik Patel

Print Affiant's Name

Subscribed and Sworn before me on June day ofJune, 2022.
  
 Notary Public




# FLOOR PLANS



ISSUED FOR CONSTRUCTION

FINAL SITE IMPROVEMENT PLANS

FOR

NEW HORIZON HOTELS

9551 & 9555 183RD STREET

TINLEY PARK, ILLINOIS

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATER WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE SYSTEM WILL BE CHANGED, ADDITIONAL REVISIONS WILL BE MADE FOR THE COLLECTION AND DRAINAGE OF THE SURFACE WATER. IN THE EVENT OF ANY CHANGES, THE ENGINEER WILL BE NOTIFIED AND THE PLANS WILL BE REVISED TO REFLECT THE CHANGES. THE ENGINEER WILL BE NOTIFIED AND THE PLANS WILL BE REVISED TO REFLECT THE CHANGES. THE ENGINEER WILL BE NOTIFIED AND THE PLANS WILL BE REVISED TO REFLECT THE CHANGES.

CALL JULIE, 1-800-892-0123

WITH THE FOLLOWING:

COUNTY: COOK

CITY: TINLEY PARK/LAND

SEC. & SEC. NO.: SEC 34, T36N, R12E

48 HOURS BEFORE YOU DIG, EXCLUDING SAT., SUN. & HOLIDAYS

DEVELOPER

TOP HOSPITALITY, LLC

2370 UNIVERSITY BOULEVARD

HOUSTON, TX 77005

P: (312) 404-6735

ADVANTAGE NOTE

ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST 10 DAYS PRIOR TO CONSTRUCTION STARTING. ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST 10 DAYS PRIOR TO CONSTRUCTION STARTING. ADVANTAGE CONSULTING ENGINEERS IS TO BE NOTIFIED AT LEAST 10 DAYS PRIOR TO CONSTRUCTION STARTING.

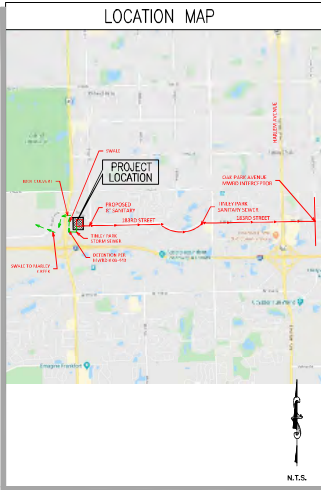
THESE PLANS ARE COLOR CODED. CONTRACTOR/REVIEWER WILL NEED TO PRINT IN COLOR OR USE A PLOT.

BENCHMARK

BLVD/STATION: SEE SHEET EX1 FOR BENCHMARK INFORMATION

EXISTING TOTAL SITE AREA: 8.69 ACRES

PROPOSED DEVELOPED AREA: 8.69 ACRES



INDEX

SHEET #	SHEET L.C.	SHEET DESCRIPTION
1	CS	COVER SHEET
2	EXT	EXISTING CONDITIONS AND DEMOLITION PLAN
3	L1	GEOMETRIC PLAN
4	G1	GRADING PLAN
5-6	U1-U2	UTILITY PLAN
7-8	PP1-PP2	PLAN AND PROFILE
9-10	SE1-SE2	STORM WATER POLLUTION PREVENTION PLAN
11	SE3	SOIL EROSION AND SEDIMENT CONTROL PLAN
12	S1	SPECIFICATIONS
13-15	D1-D3	DETAILS
16	DR1	DRAINAGE AREA EXHIBIT
17	DR2	SCHEDULE R EXHIBIT
18	DR3	INLET AREA MAP

REVISIONS

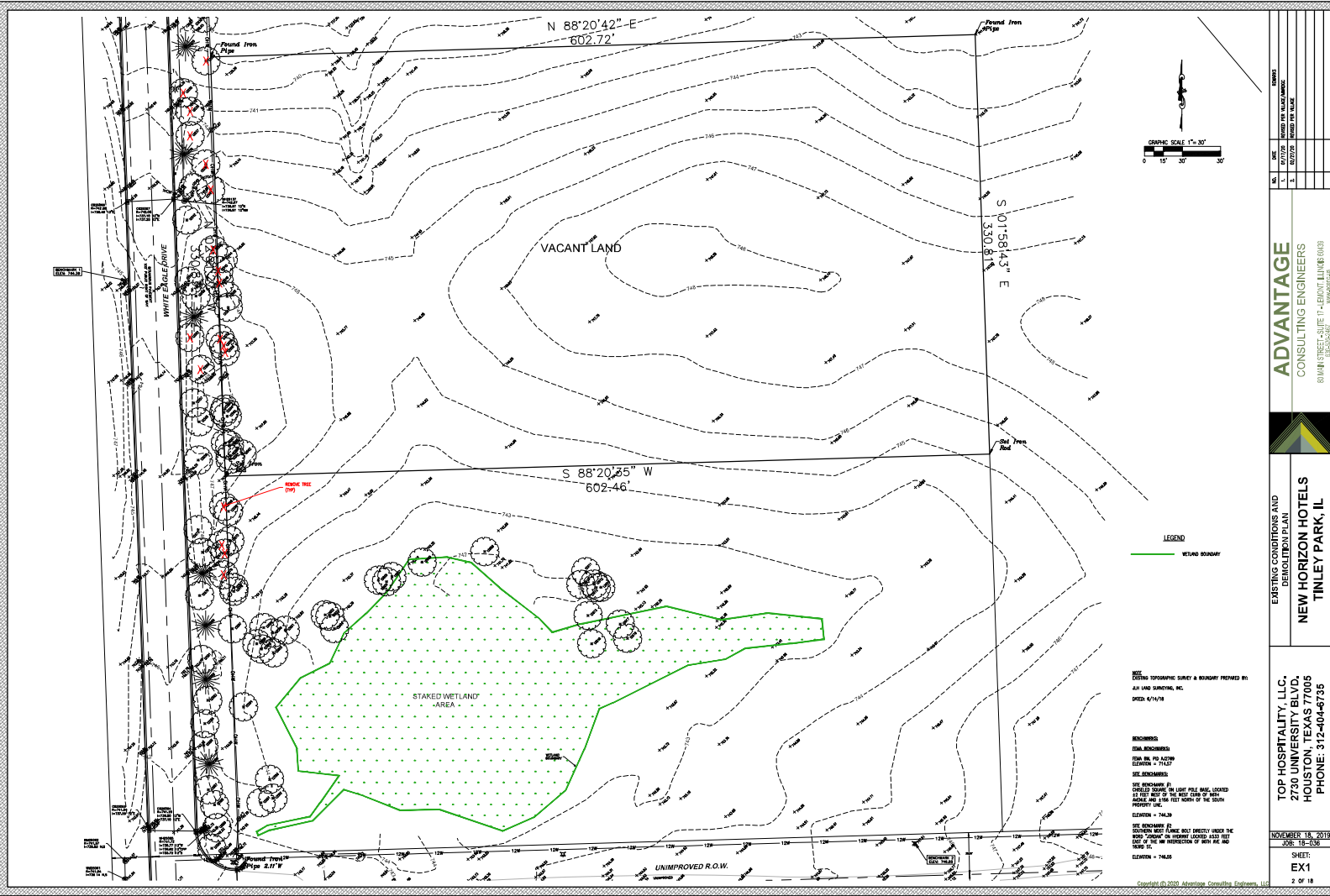
ORIGINAL PLAN DATE: NOVEMBER 18, 2019		
#	SHEET #	REMARKS
1	ALL	REVISED PER VILLAGE/MWRDCC
2	ALL	REVISED PER VILLAGE/MWRDCC
3	5,16	REVISED PER MWRDCC
4	15,16	REVISED PER MWRDCC

Signature

DATE: 03/30/2021

REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS





DATE		DRAWN BY		CHECKED BY	
DATE		DRAWN BY		CHECKED BY	
12/17/22		12/17/22		12/17/22	
12/17/22		12/17/22		12/17/22	
12/17/22		12/17/22		12/17/22	
12/17/22		12/17/22		12/17/22	

**ADVANTAGE**  
CONSULTING ENGINEERS  
8500 STREET-SUITE 100-BOUNTY LANE 60408  
BLOOMINGTON, ILLINOIS 60010  
www.advantage-engineers.com

**EXISTING CONDITIONS AND  
DEMOLITION PLAN**

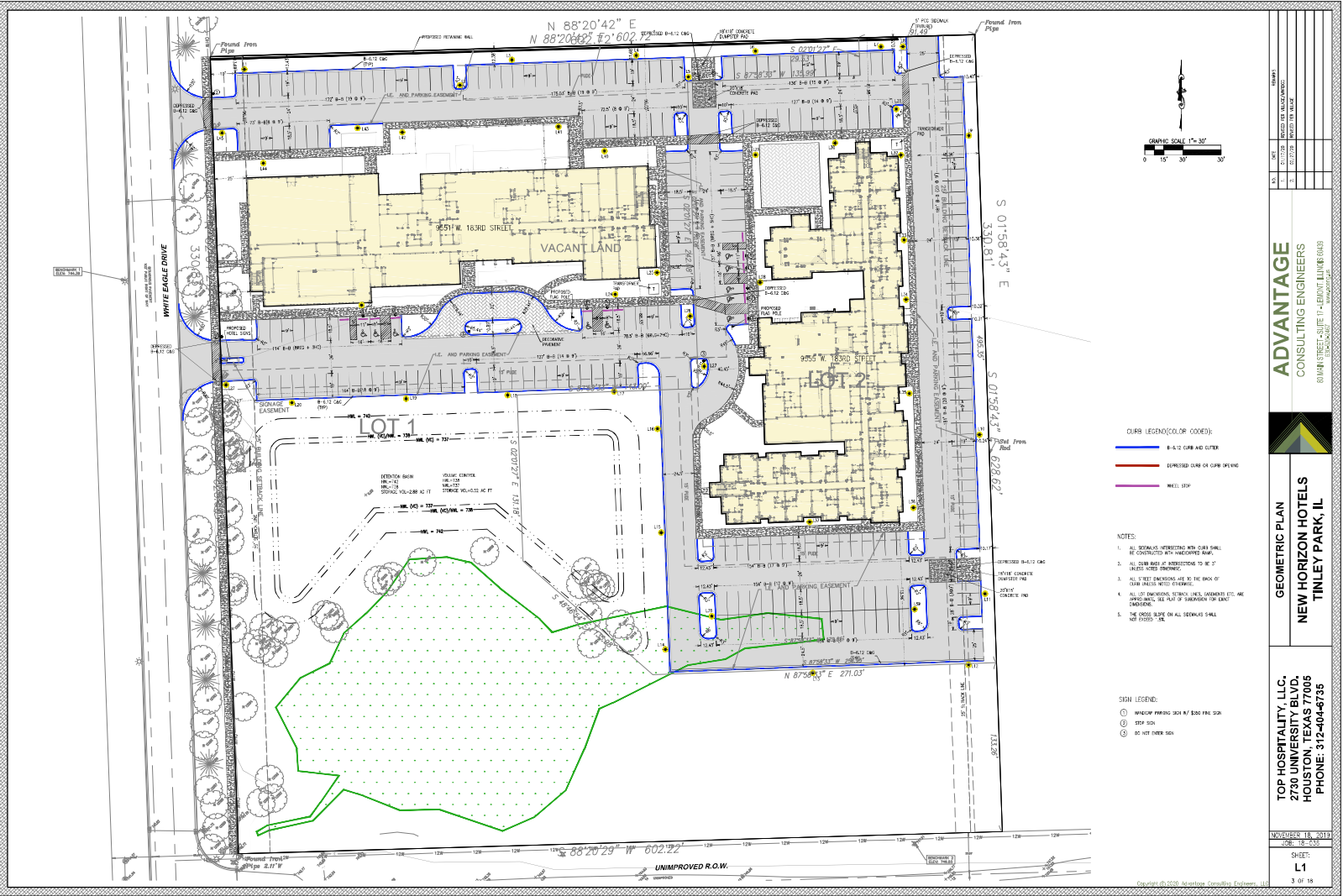
**NEW HORIZON HOTELS  
TINLEY PARK, IL**

**TOP HOSPITALITY, LLC.,  
2730 UNIVERSITY BLVD.,  
HOUSTON, TEXAS 77005  
PHONE: 312-404-6735**

**NOVEMBER 18, 2019  
JOB: 18-036**

**SHEET:  
EX1  
2 OF 18**









Contractors shall send all bidding questions and RFIs to the general contractor. The GC shall then forward inquiries to the appointed Base4 Construction Administration Project Manager, who will be introduced at the beginning of bidding and construction phase. Please reference the project number and project title in your email subject line to ensure that your request is forwarded to the proper team.

**OWNER:**  
Kris Patel/ Krishna Gandhi (HOS Management)  
kris.patel@hosmanagement.com/  
krishnag@hosmanagement.com  
1000 Towne Center Blvd. Suite 503, Pooler, GA 31322  
T: 912.604.7824 / F: 912.344.4705

**ARCHITECT CONTACT:**  
BASE4  
Rick Muniz  
+1 954.812.6650  
rickm@base-4.com

**STRUCTURAL CONTACT:**  
BASE4  
Adam J Ginsburg, PE, SSECB  
(561) 206-4469  
adamg@base-4.com

**MEP CONTACT:**  
BASE4  
Garry Vermaas, PhD, PE  
(615) 613-3605  
garryv@base-4.com

**CIVIL ENGINEER CONTACT:**  
Kevin M Berry, PE, LEED AP  
(843) 881-0525  
(843) 224-2250  
berryk@earthsourceeng.com

**INTERIOR DESIGN CONTACT:**  
BASE4  
Luci and Lindsey  
lucil@base-4.com  
lindseyb@base-4.com  
1.888.901.8008  
Savannah, Georgia, USA

**REPI/GC CONTACT:**  
Wilkes Evans (Piedmont Construction Group)  
478.405.8907 - O | 478.951.2881 - C |  
478.314.3434 - D  
107 Gateway Dr., Ste. B | Macon, GA 31210  
wevans@piedmontconstructiongroup.com

# COURTYARD

## BY MARRIOTT

MARRIOT PROJECT NO: 10837  
COURTYARD MARRIOTT, TINLEY PARK, IL  
BASE4 PROJECT NO : B4-157-1801  
DECOR PACKAGE : Gen 6.0 CYenergy design schemes  
MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND  
RESIDENCE INN) - 9551 & 9555 183<sup>rd</sup> STREET



## BASE4

BASE4  
2901 CLINT MOORE ROAD, #114  
BOCA RATON, FLORIDA 33496  
+1-888-901-8008BASE4 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA  
5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

**TOP  
Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

## COURTYARD

BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018-08-24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

**ISSUED FOR 100%  
FRANCHISE REVIEW**

CURRENT ISSUE DATE  
2020.05.25

DRAWN BY  
RC

CHECKED BY  
RB/DDP

PROJECT NO.  
B4-157-1801

SHEET NAME

TITLE SHEET

DRAWINGS NO.

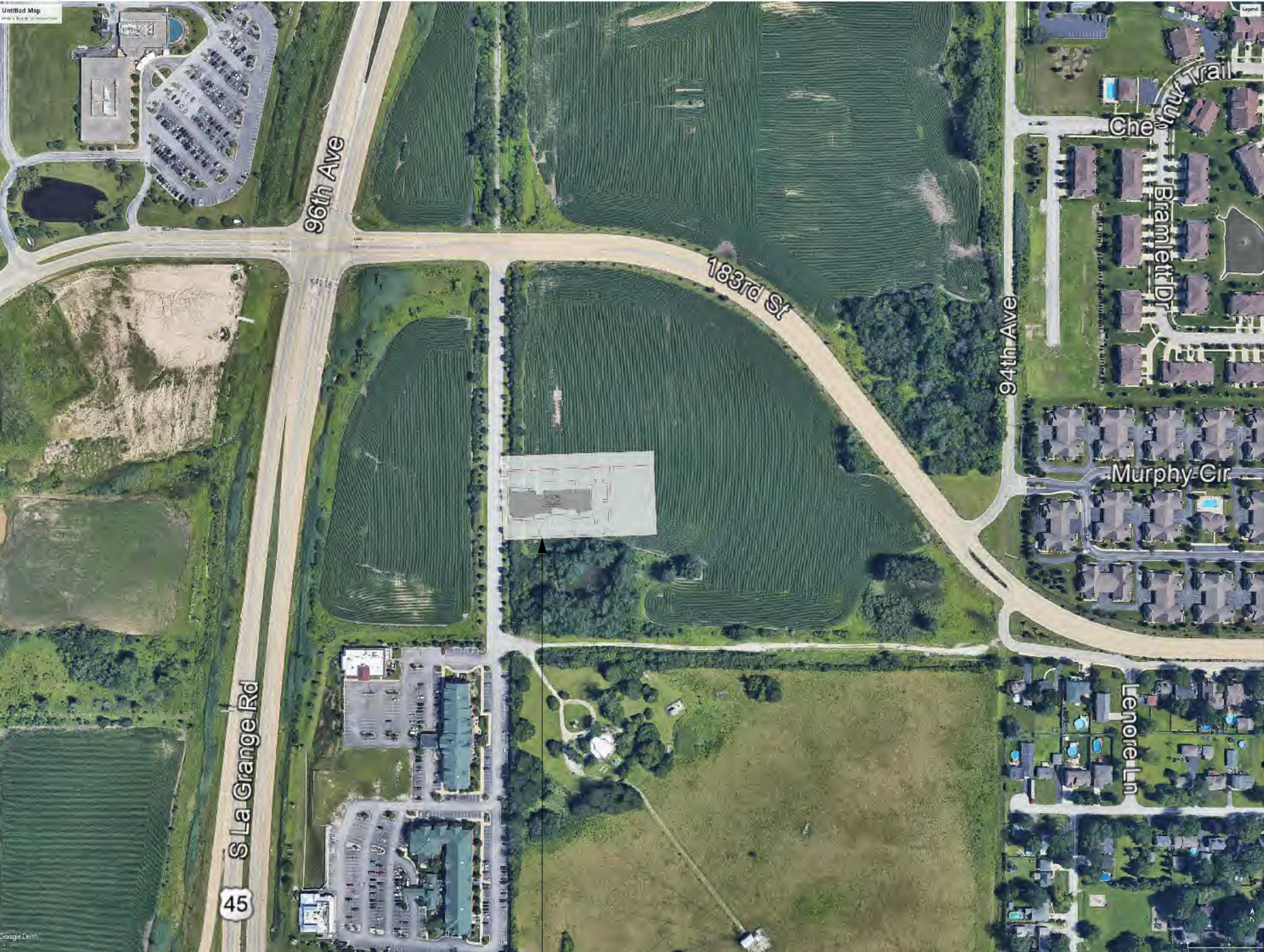
# G-000



COURTYARD MARRIOT

LOCATION

MARRIOTT / NEW HORIZON HOTELS (COURTYARD AND RESIDENCE INN) - 9551 & 9555 183<sup>RD</sup> STREET



— SITE

BUILDING STORIES

4 STORIES

BUILDING HEIGHT LIMITATIONS

75'-0"

SITE ACERAGE

2,69 ACRES

SHEET INDEX ARCH			
SHEET NUMBER	SHEET NAME	DATE	Current Revision Description
General: 15			
G-002	SYMBOLS, LEGENDS AND NOTES	2019.12.13	ISSUED FOR PERMIT
G-003	ABBREVIATIONS	2019.12.13	ISSUED FOR PERMIT
G-100	CODE SUMMARY	2019.12.13	ISSUED FOR PERMIT
G-101	1ST FLOOR LIFE SAFETY PLAN	2019.12.13	ISSUED FOR PERMIT
G-102	2ND FLOOR LIFE SAFETY PLAN	2019.12.13	ISSUED FOR PERMIT
G-103	3RD FLOOR LIFE SAFETY PLAN	2019.12.13	ISSUED FOR PERMIT
G-104	4TH FLOOR LIFE SAFETY PLAN	2019.12.13	ISSUED FOR PERMIT
G-106	LIFE SAFETY DETAILS	2019.12.13	ISSUED FOR PERMIT
G-200	FIRE RATED WALL DETAILS-1	2019.12.13	ISSUED FOR PERMIT
G-201	FIRE RATED WALL DETAIL-2	2019.12.13	ISSUED FOR PERMIT
G-301	ACCESSIBILITY DETAILS-1	2019.12.13	ISSUED FOR PERMIT
G-302	ACCESSIBILITY DETAILS-2	2019.12.13	ISSUED FOR PERMIT
G-303	ACCESSIBILITY DETAILS-3	2019.12.13	ISSUED FOR PERMIT
G-304	ACCESSIBILITY DETAILS-4	2019.12.13	ISSUED FOR PERMIT
G-305	ACCESSIBILITY DETAILS-5	2019.12.13	ISSUED FOR PERMIT
General: 15			
Architectural: 117			
A-000	ARCHITECTURAL SITE PLAN	2019.12.13	ISSUED FOR PERMIT
A-001	DUMPSTER/SITE DETAILS	2019.12.13	ISSUED FOR PERMIT
A-002	MONUMENT SIGN DETAIL	2019.12.13	ISSUED FOR PERMIT
A-010	PORTE COCHERE DETAILS	2019.12.13	ISSUED FOR PERMIT
A-012A	OUTDOOR PATIO FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-012B	OUTDOOR PATIO ELEVATIONS AND FIRE PIT DETAILS	2019.12.13	ISSUED FOR PERMIT
A-012C	EXTERIOR COURTYARD LOGGIA/ TRELLIS	2019.12.13	ISSUED FOR PERMIT
A-013A	BUILDING CANOPIES	2019.12.13	ISSUED FOR PERMIT
A-013B	BUILDING CANOPY ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-013C	CANOPY PLAN AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-020	POOL PLANS	2019.12.13	ISSUED FOR PERMIT
A-021	POOL PLAN AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-022	POOL/VESTIBULE DETAILS AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-101	1ST FLOOR PLAN	2019.12.13	ISSUED FOR PERMIT
A-102	2ND FLOOR PLAN	2019.12.13	ISSUED FOR PERMIT
A-103	3RD FLOOR PLAN	2019.12.13	ISSUED FOR PERMIT
A-104	4TH FLOOR PLAN	2019.12.13	ISSUED FOR PERMIT
A-105	ROOF LEVEL PLAN	2019.12.13	ISSUED FOR PERMIT
A-110	FIRST FLOOR REFLECTED CEILING PLAN	2019.12.13	ISSUED FOR PERMIT
A-111	SECOND FLOOR REFLECTED CEILING PLAN	2019.12.13	ISSUED FOR PERMIT
A-112	THIRD FLOOR REFLECTED CEILING PLAN	2019.12.13	ISSUED FOR PERMIT
A-113	FOURTH FLOOR REFLECTED CEILING PLAN	2019.12.13	ISSUED FOR PERMIT
A-200	EXTERIOR ELEVATIONS-1	2019.12.13	ISSUED FOR PERMIT
A-201	EXTERIOR ELEVATIONS-2	2019.12.13	ISSUED FOR PERMIT
A-300	BUILDING SECTIONS-1	2019.12.13	ISSUED FOR PERMIT
A-301	BUILDING SECTIONS-2	2019.12.13	ISSUED FOR PERMIT
A-310	WALL SECTIONS	2019.12.13	ISSUED FOR PERMIT
A-311	WALL SECTIONS	2019.12.13	ISSUED FOR PERMIT
A-400A	INTERIOR FINISH LEGENDS	2019.12.13	ISSUED FOR PERMIT
A-400B	INTERIOR FINISH LEGENDS	2019.12.13	ISSUED FOR PERMIT
A-400C	PUBLIC FINISH SCHEDULE	2019.12.13	ISSUED FOR PERMIT
A-400D	PUBLIC FINISH SCHEDULE	2019.12.13	ISSUED FOR PERMIT
A-401A	ENLARGED LOBBY CONSTRUCTION PLAN	2019.12.13	ISSUED FOR PERMIT
A-401B	ENLARGED LOBBY RCP PLAN	2019.12.13	ISSUED FOR PERMIT
A-401C	ENLARGED LOBBY FURNITURE PLAN	2019.12.13	ISSUED FOR PERMIT
A-401D	ENLARGED LOBBY FINISH PLAN	2019.12.13	ISSUED FOR PERMIT
A-401E	ENLARGED LOBBY ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-402	ENLARGED BUSINESS LIBRARY PLAN AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-403	ENLARGED MEETING ROOM PLANS	2019.12.13	ISSUED FOR PERMIT
A-404	ENLARGED ELEC/OUTDOOR STORAGE PLANS	2019.12.13	ISSUED FOR PERMIT
A-405A	ENLARGED ENG. OFFICE/MECH. PLANS	2019.12.13	ISSUED FOR PERMIT
A-405B	ENLARGED ENG. OFFICE/MECH. ELEVATION	2019.12.13	ISSUED FOR PERMIT
A-406	ENLARGED MECHANICAL PLANS AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-407A	ENLARGED PUBLIC RESTROOM AND STORE PLANS	2019.12.13	ISSUED FOR PERMIT
A-407B	ENLARGED PUBLIC RESTROOM AND STORE ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-408A	ENLARGED FOOD PREP. PLANS	2019.12.13	ISSUED FOR PERMIT
A-408B	ENLARGED FOOD PREP. ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-409	ENLARGED EMPLOYEE BREAK ROOM PLANS AND ELEVATION	2019.12.13	ISSUED FOR PERMIT
A-410	ENLARGED LAUNDRY PLANS AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-411	ENLARGED GUEST LAUNDRY PLANS & ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-412A	ENLARGED FITNESS PLANS	2019.12.13	ISSUED FOR PERMIT
A-412B	ENLARGED FITNESS PLANS AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-413A	ENLARGED BANQUET HALL CONSTRUCTION PLAN	2019.12.13	ISSUED FOR PERMIT
A-413B	ENLARGED BANQUET HALL RCP PLAN	2019.12.13	ISSUED FOR PERMIT
A-413C	ENLARGED BANQUET HALL FURNITURE PLAN	2019.12.13	ISSUED FOR PERMIT
A-413D	ENLARGED BANQUET HALL FINISH PLAN	2019.12.13	ISSUED FOR PERMIT
A-413E	ENLARGED BANQUET HALL ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-413F	ENLARGED BANQUET HALL RESTROOM ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-414	ENLARGED OFFICE AREA PLANS AND ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-415	ENLARGED LINEN STORAGE/ ELEC. PLANS & ELEVATION	2019.12.13	ISSUED FOR PERMIT
A-416	ENLARGED ICE/ STORE PLANS & ELEVATION	2019.12.13	ISSUED FOR PERMIT
A-417A	ENLARGED FIRST FLOOR CORRIDOR FINISH PLANS	2019.12.13	ISSUED FOR PERMIT
A-417B	ENLARGED FIRST FLOOR CORRIDOR REFLECTED CEILING PLANS	2019.12.13	ISSUED FOR PERMIT
A-417C	ENLARGED FIRST FLOOR CORRIDOR ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-418A	ENLARGED TYPICAL FLOOR CORRIDOR FINISH PLANS	2019.12.13	ISSUED FOR PERMIT
A-418B	ENLARGED TYPICAL FLOOR CORR. REFLECTED CEILING PLANS	2019.12.13	ISSUED FOR PERMIT
A-418C	ENLARGED TYPICAL FLOOR CORRIDOR ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-420	GUESTROOM ACC. KING W/IRIS FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-421	GUESTROOM ACC. QUEEN QUEEN RIS FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-422	GUESTROOM ACC. QUEEN INLINE FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-423	GUEST ROOM-STD.KING ROOM FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-424	GUESTROOM- STD.KING MOD FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-425A	GUESTROOM-KING SUITE FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-425B	GUEST ROOM-KING SUITE ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-426	GUESTROOM-STD QUEEN/QUEEN FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-427	GUESTROOM- QQ INLINE SUITE CONNECTING FLOOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-450	KING/ QUEEN - ADA ROLL IN SHOWER	2019.12.13	ISSUED FOR PERMIT
A-451	RESTROOM SHOWER	2019.12.13	ISSUED FOR PERMIT
A-452	RESTROOM TUB	2019.12.13	ISSUED FOR PERMIT
A-501	CONSTRUCTION DETAILS @ EXT WALLS	2019.12.13	ISSUED FOR PERMIT
A-502	CONSTRUCTION DETAIL @ EIFS	2019.12.13	ISSUED FOR PERMIT
A-503	CONSTRUCTION DETAILS @ ROOF	2019.12.13	ISSUED FOR PERMIT
A-504	CONSTRUCTION DETAILS @ ROOF	2019.12.13	ISSUED FOR PERMIT
A-505	CONSTRUCTION DETAILS @ WINDOWS	2019.12.13	ISSUED FOR PERMIT
A-506	CONSTRUCTION DETAILS @ CURTAIN GLAZING	2019.12.13	ISSUED FOR PERMIT
A-507	CONSTRUCTION DETAILS @ INT WALLS	2019.12.13	ISSUED FOR PERMIT
A-508	CONSTRUCTION DETAILS @ INT WALLS	2019.12.13	ISSUED FOR PERMIT
A-509	CONSTRUCTION DETAILS @ VESTIBULE	2019.12.13	ISSUED FOR PERMIT
A-510	CONSTRUCTION DETAILS @ SHAFT	2019.12.13	ISSUED FOR PERMIT
A-511	CONSTRUCTION DETAILS @ CEILING	2019.12.13	ISSUED FOR PERMIT
A-512	CONSTRUCTION DETAILS @ CEILING	2019.12.13	ISSUED FOR PERMIT
A-513	CONSTRUCTION DETAILS @ COLUMN WRAPPING	2019.12.13	ISSUED FOR PERMIT
A-600	PARTITION TYPES	2019.12.13	ISSUED FOR PERMIT
A-610	DOOR SCHEDULE	2019.12.13	ISSUED FOR PERMIT
A-611	DOOR HARDWARE	2019.12.13	ISSUED FOR PERMIT
A-620	WINDOW SCHEDULE	2019.12.13	ISSUED FOR PERMIT
A-621	STOREFRONT SCHEDULE	2019.12.13	ISSUED FOR PERMIT
A-701	STAIRWAY-PLANS & SECTION @ STAIRCASE 1	2019.12.13	ISSUED FOR PERMIT
A-702	STAIRWAY-PLANS AND SECTIONS@ STAIRCASE 2	2019.12.13	ISSUED FOR PERMIT

SHEET INDEX ARCH			
SHEET NUMBER	SHEET NAME	DATE	Current Revision Description
A-700	STAIRWAY DETAILS	2019.12.13	ISSUED FOR PERMIT
A-710	ELEVATOR PLANS	2019.12.13	ISSUED FOR PERMIT
A-711	ELEVATOR SECTION	2019.12.13	ISSUED FOR PERMIT
A-712	ELEVATOR DETAILS	2019.12.13	ISSUED FOR PERMIT
A-713	LINEN CHUTE - PLAN AND SECTIONS	2019.12.13	ISSUED FOR PERMIT
A-714	LINEN CHUTE DETAIL	2019.12.13	ISSUED FOR PERMIT
A-800	MILLWORK OF RECEPTION	2019.12.13	ISSUED FOR PERMIT
A-801	MILLWORK OF QUICK PRINT/ COMMUNITY TABLE	2019.12.13	ISSUED FOR PERMIT
A-802	MILLWORK OF TV DISPLAY/ LOBBY AREAS DETAILS	2019.12.13	ISSUED FOR PERMIT
A-803	MILLWORK OF LOBBY AREAS - CEILING DETAILS	2019.12.13	ISSUED FOR PERMIT
A-804	MILLWORK OF BAR/BISTRO ELEVATIONS	2019.12.13	ISSUED FOR PERMIT
A-805	MILLWORK OF BAR/ BISTRO DETAILS	2019.12.13	ISSUED FOR PERMIT
A-806	MILLWORK OF FITNESS CENTER DETAILS	2019.12.13	ISSUED FOR PERMIT
A-807	MILLWORK OF THE MARKET DETAILS	2019.12.13	ISSUED FOR PERMIT
A-808	MILLWORK OF GUESTROOM AND CLOSET DETAILS	2019.12.13	ISSUED FOR PERMIT
A-809	MILLWORK OF GUEST BATH DETAILS	2019.12.13	ISSUED FOR PERMIT
A-920A	STANDARD MOUNTING DETAILS	2019.12.13	ISSUED FOR PERMIT
A-920B	STANDARD MOUNTING DETAILS	2019.12.13	ISSUED FOR PERMIT

SHEET INDEX STRUCTURE	
SHEET NUMBER	SHEET NAME
S-101	INDEX AND STRUCTURAL NOTES
S-102	STRUCTURAL NOTES (CONT.)
S-103	SCHEDULE
S-104	SCHEDULE
S-105	SCHEDULE
S-201.1	FOUNDATION PLAN
S-201.2	1ST FLOOR WALL & COLUMN PLAN
S-202.1	2ND FLOOR STEEL FRAMING PLAN
S-202.2	2ND FLOOR FRAMING PLAN
S-202.3	2ND FLOOR WALL & COLUMN PLAN
S-203.1	3RD FLOOR FRAMING PLAN
S-203.2	3RD FLOOR WALL & COLUMN PLAN
S-204.1	4TH FLOOR FRAMING PLAN
S-204.2	4TH FLOOR WALL & COLUMN PLAN
S-205.1	ROOF FRAMING PLAN
S-205.2	ROOF PARAPET PLAN
S-206	ROOF COMPONENT & CLADDING PLAN
S-301	WINDOW & DOOR WIND PRESSURES
S-302	WINDOW & DOOR WIND PRESSURES (CONT.)
S-401	BUILDING SECTIONS
S-402	BUILDING SECTIONS
S-501	WALL SECTIONS
S-502	TRELLIS AND CANOPY PLAN
S-601	TYPICAL DETAILS
S-602	TYPICAL DETAILS
S-603	TYPICAL DETAILS
S-604	TYPICAL DETAILS

SHEET INDEX MECHANICAL	
SHEET NUMBER	SHEET NAME
M-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
M-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
M-101	DETAILS-1
M-101	DETAILS-1
M-102	DETAILS-2
M-102	DETAILS-2
M-201	1ST FLOOR MECHANICAL PLAN
M-201	1ST FLOOR MECHANICAL PLAN
M-202	2ND FLOOR MECHANICAL PLAN
M-202	2ND FLOOR MECHANICAL PLAN
M-203	3RD FLOOR MECHANICAL PLAN
M-203	3RD FLOOR MECHANICAL PLAN
M-204	4TH FLOOR MECHANICAL PLAN
M-204	4TH FLOOR MECHANICAL PLAN
M-205	ROOF MECHANICAL PLAN
M-205	ROOF MECHANICAL PLAN
M-301	SCHEDULES
M-301	SCHEDULES
M-401	OA VENTILATION AND AIR BALANCE SCHEDULE
M-401	OA VENTILATION AND AIR BALANCE SCHEDULE

SHEET INDEX ELECTRICAL	
SHEET NUMBER	SHEET NAME
E-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
E-101	ELECTRICAL DETAILS-1
E-102	ELECTRICAL DETAILS-2
E-103	ELECTRICAL DETAILS-3
E-104	ELECTRICAL DETAILS-4
E-105	POOL GROUNDING DETAILS
E-106	GROUNDING RISER DIAGRAM
E-200	SITE POWER PLAN
E-201	1ST FLOOR POWER PLAN
E-202	2ND FLOOR POWER PLAN
E-203	3RD FLOOR POWER PLAN
E-204	4TH FLOOR POWER PLAN
E-205	ROOF ELECTRICAL PLAN
E-206	ENLARGED FLOOR POWER PLAN-1
E-207	ENLARGED FLOOR POWER PLAN-2
E-208	TYPICAL UNIT ELECTRICAL PLAN-1
E-209	TYPICAL UNIT ELECTRICAL PLAN-2
E-210	TYPICAL UNIT ELECTRICAL PLAN-3
E-301	PANEL SCHEDULE-I
E-302	PANEL SCHEDULE-II
E-303	PANEL SCHEDULE-III
E-304	PANEL SCHEDULE-IV
E-305	PANEL SCHEDULE-V
E-306	PANEL SCHEDULE-VI
E-307	PANEL SCHEDULE-VII
E-308	PANEL SCHEDULE-VIII
E-309	ELECTRICAL RISER DIAGRAM
E-310	TELEPHONE, DATA AND TV RISER DIAGRAM

SHEET INDEX LIGHTING	
SHEET NUMBER	SHEET NAME
LT-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
LT-002A	LIGHTING FIXTURE SCHEDULE-1
LT-002B	LIGHTING FIXTURE SCHEDULE-2
LT-101	LIGHTING DETAILS-1
LT-102	LIGHTING DETAILS-2
LT-200A	SITE LIGHTING PLAN
LT-200B	SITE PHOTOMETRIC PLAN
LT-201	1ST FLOOR LIGHTING PLAN
LT-202	2ND FLOOR LIGHTING PLAN
LT-203	3RD FLOOR LIGHTING PLAN
LT-204	4TH FLOOR LIGHTING PLAN
LT-205	BUILDING EXTERIOR ELEVATION-1
LT-206	BUILDING EXTERIOR ELEVATION-2
LT-207	TYPICAL UNIT LIGHTING PLAN-1
LT-208	TYPICAL UNIT LIGHTING PLAN-2
LT-209	DIMMER RISER DIAGRAM

SHEET INDEX PLUMBING	
SHEET NUMBER	SHEET NAME
P-001	GENERAL NOTES AND LEGENDS
P-002	PEX GENERAL NOTES (A)
P-003	PEX GENERAL NOTES (B)
P-101	DETAILS-1
P-102	DETAILS-2
P-103	DETAILS-3
P-201	1ST FLOOR WATER & GAS SUPPLY PLAN
P-202	1ST FLOOR SANITARY & VENT PLAN
P-203	2ND FLOOR WATER & GAS SUPPLY PLAN
P-204	2ND FLOOR SANITARY & VENT PLAN
P-205	3RD FLOOR WATER & GAS SUPPLY PLAN
P-206	3RD FLOOR SANITARY & VENT PLAN
P-207	4TH FLOOR WATER & GAS SUPPLY PLAN
P-208	4TH FLOOR SANITARY & VENT PLAN
P-209	ROOF PLUMBING PLAN
P-301 A	UNIT WATER SUPPLY PLAN (A)
P-301 B	UNIT WATER SUPPLY PLAN (B)
P-301 C	UNIT WATER SUPPLY PLAN (C)
P-302 A	UNIT SANITARY & VENT PLAN (A)
P-302 B	UNIT SANITARY & VENT PLAN (B)
P-303 A	UNIT WATER SUPPLY RISER DIAGRAM (A)
P-303 B	UNIT WATER SUPPLY RISER DIAGRAM (B)
P-303 C	UNIT WATER SUPPLY RISER DIAGRAM (C)
P-304 A	UNIT SANITARY & VENT RISER DIAGRAM (A)
P-304 B	UNIT SANITARY & VENT RISER DIAGRAM (B)
P-305	WATER SUPPLY RISER DIAGRAM
P-306	SANITARY & VENT RISER DIAGRAM
P-307	STORM WATER RISER DIAGRAM
P-308	GAS SUPPLY RISER DIAGRAM
P-401	SCHEDULES

SHEET INDEX FIRE PROTECTION	
SHEET NUMBER	SHEET NAME
FP-001	GENERAL NOTES AND LEGENDS
FP-101	1ST FLOOR FIRE SPECIFICATION PLAN
FP-102	2ND FLOOR FIRE SPECIFICATION PLAN
FP-103	3RD FLOOR FIRE SPECIFICATION PLAN
FP-104	4TH FLOOR FIRE SPECIFICATION PLAN

SHEET INDEX FIRE ALARM	
SHEET NUMBER	SHEET NAME
FA-001	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
FA-101	FIRE ALARM DETAIL-1
FA-102	FIRE ALARM DETAIL-2
FA-201	1ST FLOOR FIRE ALARM PLAN
FA-202	2ND FLOOR FIRE ALARM PLAN
FA-203	3RD FLOOR FIRE ALARM PLAN
FA-204	4TH FLOOR FIRE ALARM PLAN
FA-205	ROOF FIRE ALARM PLAN
FA-301	TYPICAL FIRE ALARM RISER DIAGRAM



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CORAL SPRINGS, FL 33076

Seal: 

Owner: **TOP Hospitality**  
143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN.6,  
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE



## PROJECT GENERAL INFORMATION

[illegible]

## SYMBOL KEY

[illegible][illegible]

\*  
 " X 42"  
 X 54"  
 " X 42"  
 " X 48"

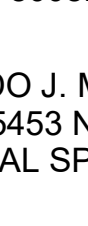
CLEAR FLOOR SPACE

REQUIREMENTS)

TOTAL NUMBER OF UNITS PROVIDED	MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITHOUT ROLL-IN- SHOWERS	MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITH ROLL-IN- SHOWERS	TOTAL NUMBER OF REQUIRED ACCESSIBLE UNITS
1 to 25	1	0	1
26 to 50	2	0	2
51 to 75	3	1	4
76 to 100	4	1	5
101 to 150	5	2	7
151 to 200	6	2	8
201 to 300	7	3	10
301 to 400	8	4	12
401 to 500	9	4	9
501 to 1000	2% of Total rooms	1% of Total	3% of Total rooms
OVER 1,000	20, Plus 1 for each 100, or fraction thereof, over 1,000	20, Plus 1 for each 100, or fraction thereof, over 1,000	30 Plus 2 for each 100, or fraction thereof, over 1,000

TOTAL NUMBER OF GUEST ROOMS PROVIDED	MINIMUM NUMBER OF REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES
2 TO 25	2
26 TO 50	4
50 TO 75	7
76 TO 100	9
101 TO 150	12
151 TO 200	14
201 TO 300	17
301 TO 400	20
401 TO 500	22
501 TO 1000	5 PERCENT OF TOTAL
1001 AND OVER	50, PLUS 3 FOR EACH 100 OVER 1000

TOTAL NUMBER OF UNITS PROVIDED	MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITHOUT ROLL-IN- SHOWERS	MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITH ROLL-IN- SHOWERS	TOTAL NUMBER OF REQUIRED ACCESSIBLE UNITS
1 to 25	1	0	1
26 to 50	2	0	2
51 to 75	3	1	4
76 to 100	4	1	5
101 to 150	5	2	7
151 to 200	6	2	8
201 to 300	7	3	10
301 to 400	8	4	12
401 to 1000	9	4	9
OVER 1,000	2% of Total rooms 20. Plus 1 for each 100, or fraction thereof, over 1,000	1% of Total 20. Plus 1 for each 100, or fraction thereof, over 1,000	3% of Total rooms 30. Plus 2 for each 100, or fraction thereof, over 1,000

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Seal: <div></div>		
Owner: <b>TOP Hospitality</b> 143 Wheeling Road Wheeling IL 60090 312 404 6735		
<b>COURTYARD</b> BY MARRIOTT  TINLEY PARK, IL  PROTOTYPE VERSION: GEN 6, REVISION DATE: 2018.08.24		
ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT
CURRENT ISSUE <b>ISSUED FOR 100% FRANCHISE REVIEW</b>		
CURRENT ISSUE DATE 2020.05.25		
DRAWN BY RC		
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PROJECT NO. B4-157-1801		
SHEET NAME <b>SYMBOLS, LEGENDS AND NOTES</b>		
DRAWINGS NO. <b>G-002</b>		



ABBREVIATIONS			
A		E	EAST
A/C	AIR CONDITIONING	EA	EACH
A/E	ARCHITECT / ENGINEER	EIFS	EXTERIOR INSULATION FINISH SYSTEM
ACT	ACOUSTICAL CEILING TILE	EJ	EXPANSION JOINT
ADA	AMERICANS WITH DISABILITIES ACT	EL	ELEVATION
ADD'L	ADDITIONAL	ELEC	ELECTRICAL
ADD	ADDENDUM	ELEV	ELEVATOR
ADJ	ADJUSTABLE / ADJACENT	EMERR	EMERGENCY
AF	ABOVE FINISHED FLOOR	ENCL	ENCLOSURE
AFG	ABOVE FINISHED GRADE	ENGR	ENGINEER
AHU	AIR HANDLING UNIT	E.O.D.	EDGE OF DECK
ALT	ALTERNATE	EP	ELECTRICAL PANEL
ALUM	ALUMINUM	EPDM	ETHYLENE - PROPYLENE -DIENE -...
ANOD	ANODIZED	EQ	EQUAL
AP	ACCESS PANEL	EQUIP	EQUIPMENT
APPROX	APPROXIMATE(LY)	EW/EF	EACH WAY / EACH FACE
ARCH	ARCHITECTURAL / ARCHITECT	EW	ELECTRIC WATER COOLER
AUTO	AUTOMATIC	EWG	END WALL GUARD
A/V	AUDIO / VISUAL	EXIST	EXISTING
		EXP	EXPANSION / EXPOSED
		EXT	EXTERIOR
B			
B.C.	BOTTOM OF CURB		
BD	BOARD	F	
BIT	BITUMINOUS	FA	FIRE ALARM
BLDG	BUILDING	FD	FLOOR DRAIN
BLKG	BLOCKING	FDC	FIRE EXTINGUISHER CABINET
BM	BEAM	FE	FIRE EXTINGUISHER
B.O.D.	BOTTOM OF DECK	FEC	FIRE DEPARTMENT CONNECTION
BTM	BOTTOM	FF	FACTORY FINISH
BRG	BEARING	FH	FIRE HYDRANT
B.U.R.	BUILT-UP ROOFING	FHC	FIRE HOSE CABINET
		FIN	FINISH
C		FL	FLOOR
CAB	CABINET	FLUOR	FLOURESCENT
CAT	CATEGORY	F.O.C.	FACE OF CONCRETE
CATV	CABLE TELEVISION	F.O.F.	FACE OF FINISH
CB	CATCH BASIN	F.O.S.	FACE OF STUD
C.C.	CENTER TO CENTER	FP	FIREPROOFING / FIRE PROTECTION
CCTV	CLOSED CIRCUIT TELEVISION	FR	FRAME
CEM	CEMENT	FRP	FIBERGLASS REINFORCED PLASTIC
C.F.C.I.	CONTRACTOR-FURNISHED / CONTRACTOR...	FRT	FIRE-RETARDANT TREATED
C.F.O.I.	CONTRACTOR-FURNISHED / OWNER INSTALLED	FT	FOOT / FEET
CG	CORNER GUARD	FTG	FOOTING
CI	CAST IRON	FUR	FURRING
CIP	CAST-IN-PLACE	FURN	FURNITURE / FURNISHED
CJ	CONTROL JOINT / CONSTRUCTION JOINT	FUT	FUTURE
CL	CENTERLINE	FVC	FIRE VALVE CABINET
CLG	CEILING		
CLOS	CLOSET	G	
CMU	CONCRETE MASONRY UNIT	GA	GAUGE
C.O.	CLEANOUT	GALV	GALVANIZED
COL	COLUMN	G.C.	GENERAL CONTRACTOR
COMM	COMMUNICATION(S)	GEN'L	GENERAL
CONC	CONCRETE	GL	GLASS / GLAZING
CONST	CONSTRUCTION	GLAM	GLUE-LAMINATED
CONT	CONTINUOUS	GYP	GYPSPUM
COORD	COORDINATE	GYP....	GYPSPUM BOARD
CORR	CORRIDOR		
CPT	CARPET	H	
CT	CERAMIC TILE	HB	HOSE BIBB
CTR	CENTER	HC	HOLLOW CORE / HANDICAPPED
CU	CUBIC	HD	HEAVY DUTY
CW	COLD WATER / CURTIAN WALL	HDWR	HARDWARE
C/W	CURTAINWALL	HM	HOLLOW METAL
		HORIZ	HORIZONTAL
D		H.P.	HIGHT POINT / HIGH-PRESSURE
DBL	DOUBLE	HR	HOUR
DEMO	DEMOLISH / DEMOLITION	H.S.	HEAT-STRENGTHENED
DEPT	DEPARTMENT	HT	HEIGHT
DH	DOUBLE HUNG	HVAC	HEATING, VENTILATING & AIR...
DIA	DIAMETER	HW	HOT WATER
DIAG	DIAGONAL		
DIM	DIMENSION	I	
DISP	DISPENSER	I.D.	INSIDE DIAMETER
DN	DOWN	IN	INCH
DP	DAMP-PROOFING	INCL	INCLUDED / INCLUDING
DS	DOWNSPOUT	INFO	INFORMATION
DR	DOOR	INSUL	INSULATION
DTL	DETAIL	INT	INTERIOR
DWG	DRAWING		
		J	
		JAN	JANITOR
		JB	JUNCTION BOX
		JC	JANITOR'S CLOSET
		JST	JOIST
		JT	JOINT
		K	
		K.O.	KNOCK OUT
		L	
		LAB	LABORATORY
		LAM	LAMINATE
		LAV	LAVATORY
		LB	POUND
		LF	LINEAR FOOT
		LH	LEFT HAND
		LL	LIVE LOAD
		L.P.	LOW-POINT / LOW-PRESSURE
		LT	LIGHT
		LVR	LOUVER
		M	
		MACH	MACHINE / MACHINERY
		MAINT	MAINTENANCE
		MAT'L	MATERIAL
		MAX	MAXIMUM
		MECH	MECHANICAL
		MED	MEDIUM
		MEMB	MEMBRANE
		MEP	MECHANICAL/ELECTRICAL/PLUMBING
		MFR	MANUFACTURER
		MH	MAN HOLE
		MIN	MINIMUM
		MISC	MISCELLANEAOUS
		M	METER
		MM	MILLIMETER
		M.O.	MASONRY OPENING
		MT	METAL THRESHOLD
		MTD	MOUNTED
		MTL	METAL / METALLIC
		MUL	MULLION
		N	
		N	NORTH
		NA	NOT APPLICABLE
		NIC	NOT IN CONTRACT
		NO	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
		O	
		OA	OVERALL / OUTSIDE AIR
		O.C.	ON CENTER
		OD	OUTSIDE DIAMETER
		OFF	OFFICE
		O.F.C.I.	OWNER-FURNISHED / CONTRACTOR...
		O.F.O.I.	OWNER-FURNISHED / OWNER INSTALLED
		O.H.	OVERHEAD
		OPG	OPENING
		OPS	OPPOSITE
		ORD	OVERFLOW ROOF DRAIN
		P	
		P/PNT	PAINT
		PC	PRECAST
		PERF	PERFORATED
		PERIM	PERIMETER
		PERP	PERPENDICULAR
		PL	PLATE / PROPERTY LINE
		PLAM	PLASTIC LAMINATE
		PLAS	PLASTER
		PLBG	PLUMBING
		PLF	POUNDS PER LINEAL FOOT
		PNL	PANEL
		POL	POLISHED
		PR	PAIR / PROPOSAL REQUEST
		PREFAB	PREFABRICATED
		PRELIM	PRELIMINARY
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		P.T.	PRESSURE-TREATED/ PAPER TOWEL
		PT	POINT
		PTD	PAINTED
		PTN	PARTITION
		PVC	POLYVINYL CHLORIDE
		PVMT	PAVEMENT
		PWD	PLYWOOD
		Q	
		QT	QUARRY TILE
		QTR	QUARTER
		R	
		R	RADIUS / RISER
		RB	RUBBER BASE
		RCP	REINFORCED CONCRETE PIPE / REFLECTED...
		RD	ROOF DRAIN
		RECEP	RECEPTACLE
		REC'P	RECEPTION
		REF	REFRIGERATOR
		REINF	REINFORCE / REINFORCED
		REQ'D	REQUIRED
		REV	REVISION
		REV'D	REVISED
		RFI	REQUEST FOR INFORMATION
		RH	RIGHT HAND
		RWL	RAINWATER LEADER
		RM	ROOM
		R.O.	ROUGH OPENING
		RT	RESILIENT TILE
		RTU	ROOFTOP UNIT
		S	
		S	SOUTH
		SC	SOLID CORE
		SCHED	SCHEDULE
		SECT	SECTION
		SF	SQUARE FOOT / SQUARE FEET
		SHELV	SHELVING
		SHT	SHEET
		S.I.	SUPPLEMENTAL INSTRUCTIONS
		SIM	SIMILAR
		SJ	STEEL JOIST
		S.O.G.	SLAB ON GRADE
		SP	SATIN POLYUREATHANE
		SPEC	SPECIFICATION(S)
		SQ	SQUARE
		SQ/IN	SQUARE INCH
		SQ/YD	SQUARE YARD
		S.S.	STAINLESS STEEL / STANDING SEAM
		STA	STATION
		STD	STANDARD
		STL	STEEL
		STOR	STORAGE
		STRUC	STRUCTURAL
		SUSP	SUSPENDED
		SV	SATIN VARNISH
		SYM	SYMMETRICAL
		SYS	SYSTEM
		T	
		T	THERMOSTAT / TREAD
		T&B	TOP AND BOTTOM
		T&G	TONGUE AND GROOVE
		T.C.	TOP OF CURB
		TEL	TELEPHONE
		TEMP	TEMPORARY
		TMP'D	TERRAZZO
		T.O.C.	TOP OF CONCRETE
		T.O.S.	TOP OF STEEL
		T.O.W.	TOP OF WALL
		TPH	TOILET PAPER HOLDER
		TV	TELEVISION
		TYP	TYPICAL
		U	
		UC	UNDERCUT / UNDERCOUNTER
		UL	UNDERWRITERS LABORATORIES, INC.
		UNO	UNLESS NOTED OTHERWISE
		UR	URINAL
		V	
		VB	VINYL BASE
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VEST	VESTIBULE
		V.I.F.	VERIFY IN FIELD
		VOL	VOLUME
		VTR	VENT THROUGH ROOF
		VVC	VINYL WALLCOVERING
		W	
		W	WEST
		W/	WITH
		W/O	WITHOUT
		WB	WALL BUMPER
		WB/H	WALL BUMPER WITH HANDRAIL
		WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WH	WATER HEATER
		W.P.	WATERPROOFING / WORK POINT
		WT	WEIGHT
		WWF	WELDED WIRE FABRIC



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CORAL SPRINGS, FL 33076

Seal:



Owner:

TOP  
Hospitality

143 Wheeling Road  
Wheeling IL 80090  
312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN.6,  
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

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FRANCHISE REVIEW

CURRENT ISSUE DATE

2020.05.25

DRAWN BY

RC

CHECKED BY

RB/DDP

PROJECT NO.

B4-157-1801

SHEET NAME

ABBREVIATIONS

DRAWINGS NO.

G-003



CODE SUMMARY- 2012 (ILLINOIS) BUILDING CODE

<b>PROJECT INFO</b>	
<b>PROJECT ADDRESS:</b> COURTYARD MARRIOTT TINLEY PARK, ILLINOIS 60477	
<b>CONSTRUCTION SUMMARY:</b> NEW CONSTRUCTION OF A FULLY SPRINKLERED 4 STORY PLANK + METAL STUD FRAMED HOTEL.	

<b>CODE DATA</b>	
<b>APPLICABLE CODES</b>	
BUILDING CODE:	IBC 2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY CODE:	2017 ICC A117.1, 2017 ACCESSIBILITY CODE
ELECTRIC CODE:	2011 NATIONAL ELECTRICAL CODE
PLUMBING CODE:	ILLINOIS STATE PLUMBING CODE 2014
MECHANICAL CODE:	2012 MECHANICAL CODE
FIRE CODE:	INTERNATIONAL FIRE CODE 2012, INCLUDING APPENDIX B AND D
FUEL GAS CODE:	INTERNATIONAL FUEL CODE 2012, INCLUDING APPENDIX A.
ENERGY CONSERVATION CODE:	IECC 2012

<b>CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION</b>	
<b>MAIN OCCUPANCY: R-1</b>	
GROUP R-1:	RESIDENTIAL HOTEL ROOMS
<b>ACCESSORY OCCUPANCIES</b>	
GROUP A-2:	ASSEMBLY LOBBY/LOUNGE/BREAKROOM
GROUP A-3:	FITNESS FITNESS ROOM
GROUP B:	BUSINESS OFFICE AREAS
GROUP S-2:	STORAGE STORAGE

<b>CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY</b>	
SECTION 420 GROUPS I-1, R-1, R-2, R-3	
420.1 General. Occupancies in Groups I-1, R-1, R-2 and R-3 shall comply with the provisions of Sections 420.1 through 420.5 and other applicable provisions of this code.	
420.2 Separation walls. Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.	
420.3 Horizontal separation. Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with Section 711.	
[F] 420.4 Automatic sprinkler system. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8. Group I-1 occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.6. Quick-response or residential automatic sprinklers shall be installed in accordance with Section 903.3.2.	
[F] 420.5 Smoke detection and fire alarm systems. Fire alarm systems and smoke alarms shall be provided in Group I-1, R-1 and R-2 occupancies in accordance with Sections 907.2.6, 907.2.8 and 907.2.9, respectively. Single-or multiple-station smoke alarms shall be in accordance with Section 907.2.11.	

<b>CHAPTER 6: TYPES OF CONSTRUCTION</b>	
<b>CONSTRUCTION TYPE: IIIB</b>	
<b>TABLE 601: FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)</b>	
ELEMENT	RATING
STRUCTURAL FRAME	0
BEARING WALLS EXTERIOR	2
BEARING WALLS INTERIOR	0
NON-BEARING WALLS & PARTITIONS EXTERIOR	1
NON-BEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0
SECTION 601 EXCEPTION A STATES THAT APPROVED AUTOMATIC SPRINKLER SYSTEM CANNOT BE USED FOR A REDUCTION IN RATING IF IT HAS ALREADY BEEN USED FOR AN AREA INCREASE OR AN ALLOWABLE HEIGHT INCREASE. IT ALSO STATES THAT IT CANNOT BE USED FOR A REDUCTION IN BEARING WALLS	

<b>CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS</b>	
<b>NO. OF STORIES: 4</b>	
<b>BUILDING HEIGHT: 45'-1 1/2" TO ROOF DECK</b>	
ACTUAL BUILDING HEIGHT BUILDING HEIGHT= 45'-1 1/2" TALLEST PARAPET = 5'-6" 50'-7 1/2" TOTAL BUILDING HEIGHT	
<b>TABLE 503: ALLOWABLE BUILDING HEIGHT</b>	
<b>TYPE (IIIB) CONSTRUCTION</b>	
GROUP R-1:	HEIGHT (4) STORIES, 50'-7 1/2" FT. ; + 1 STORY AND 20'-0" OF BUILDING HEIGHT FOR SPRINKLER =75'-0" TOTAL ALLOWABLE

<b>TABLE 503: ALLOWABLE BUILDING AREA</b>															
<b>GROSS BUILDING AREA:</b>															
<table><tr><th colspan="2">GROSS AREA</th></tr><tr><th>Level</th><th>Area</th></tr><tr><td>1ST FLOOR</td><td>26,767 SF</td></tr><tr><td>2ND FLOOR</td><td>18,826 SF</td></tr><tr><td>3RD FLOOR</td><td>19,064 SF</td></tr><tr><td>4TH FLOOR</td><td>19,064 SF</td></tr><tr><td>Grand total: 4</td><td>83,722 SF</td></tr></table>		GROSS AREA		Level	Area	1ST FLOOR	26,767 SF	2ND FLOOR	18,826 SF	3RD FLOOR	19,064 SF	4TH FLOOR	19,064 SF	Grand total: 4	83,722 SF
GROSS AREA															
Level	Area														
1ST FLOOR	26,767 SF														
2ND FLOOR	18,826 SF														
3RD FLOOR	19,064 SF														
4TH FLOOR	19,064 SF														
Grand total: 4	83,722 SF														
<b>TYPE (IIB) CONSTRUCTION</b>															
GROUP R-1:	AREA 16,000 SQ FT + 200% FOR SPRINKLER = 48,000 SQ FT														

<b>SECTION 506: BUILDING AREA MODIFICATIONS</b>	
<b>506.1 General.</b> The areas limited by Table 503 shall be permitted to be increased due to frontage (f) and automatic sprinkler system protection (s) in accordance with the following:	
Aa = [At + [At x f] + [At x s ]]	
If=[F(P-0.25)]W/30	
Is = 3	

<b>CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES</b>	
713.4 Fire-resistance rating. Shaft enclosures shall have a fire-resistance rating of not less than 2 hours where connecting four stories or more, and not less than 1 hour where connecting less than four stories. The number of stories connected by the shaft enclosure shall include any basements but not any mezzanines. Shaft enclosures shall have a fire-resistance rating not less than the floor assembly penetrated, but need not exceed 2 hours. Shaft enclosures shall meet the requirements of Section 703.2.1.	
718.3 Draftstopping in floors. In combustible construction, Draftstopping shall be installed to subdivide floor/ceiling assemblies in the locations prescribed in Sections 718.3.2 through 718.3.3.	
Exceptions: 1. Draftstopping is not required in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.	

<b>CHAPTER 9: FIRE PROTECTION SYSTEMS</b>	
<b>AN APPROVED AUTOMATIC SPRINKLERED SYSTEM IS SPECIFIED FOR THIS PROJECT</b>	
<b>STANDPIPES WILL BE USED</b>	
<b>SECTION 903: AUTOMATIC SPRINKLER SYSTEMS</b>	
AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 903	
903.2.11.4 DUCTS CONVEYING HAZARDOUS EXHAUSTS WHERE REQUIRED BY THE INTERNATIONAL MECHANICAL CODE, AUTOMATIC SPRINKLERS SHALL BE PROVIDED IN DUCTS CONVEYING HAZARDOUS EXHAUST OR FLAMMABLE OR COMBUSTIBLE MATERIALS. <b>EXCEPTION:</b> DUCTS IN WHICH THE LARGEST CROSS-SECTIONAL DIAMETER OF THE DUCT IS LESS THAN 10 INCHES.	
<b>SECTION 906 PORTABLE FIRE EXTINGUISHERS</b>	
906.1 Where required. Portable fire extinguishers shall be installed in the following locations. 1. In Group A, B, E, F, H, I, M, R-1, R-2, R-4 and S occupancies.	
906.1 GENERAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE.	
906.4 Cooking grease fires. Fire extinguishers provided for the protection of cooking grease fires shall be of an approved type compatible with the automatic fire-extinguishing system agent and in accordance with Section 904.11.5 of the International Fire Code.	
<b>SECTION 907 FIRE ALARM AND DETECTION SYSTEMS</b>	
907.2.8 Group R-1. Fire alarm systems and smoke alarms shall be installed in Group R-1 occupancies as required in Sections 907.2.8.1 through 907.2.8.3.	

<b>CHAPTER 10: MEANS OF EGRESS</b>	
<b>SECTION 1004: OCCUPANT LOAD</b>	
<b>MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</b>	
GROUP R-1: RESIDENTIAL(HOTEL)	200 SF GROSS
GROUP A: ASSEMBLY UNCONCENTRATED	15 SF NET
POOL	50 SF GROSS
KITCHEN	100 SF GROSS
BUSINESS	100 SF GROSS
GROUP S-2: STORAGE	300 SF GROSS
<b>SECTION 1005: EGRESS WIDTH</b>	
<b>1005.3.1 Stairways</b> The capacity, in inches (mm), of means of egress stairways shall be calculated by multiplying the occupant load served by such stairway by a means of egress capacity factor of 0.3 inch (7.6 mm) per occupant. Where stairways serve more than one story, only the occupant load of each story considered individually shall be used in calculating the required capacity of the stairways serving that story.	

OCCUPANT LOAD-1ST FLOOR				
AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	EGRESS WIDTH	EGRESS WIDTH REQUIRED
ASSEMBLY				
6053 SF	15	404	0.2	81
BUSINESS				
8458 SF	100	85	0.2	17
FITNESS				
1486 SF	50	30	0.2	6
INDUSTRIAL				
724 SF	100	7	0.2	1
KITCHEN				
1346 SF	200	7	0.2	1
R-1				
2758 SF	200	14	0.2	3
STORAGE				
3000 SF	300	10	0.2	2
23825 SF		556		111
EGRESS WIDTH REQUIRED: = 616 X 0.2 = 123"				
EGRESS WIDTH PROVIDED: = 36" X 1+ 72" X 4 EXITS = 324"				

OCCUPANT LOAD-TYPICAL UPPER FLOOR				
AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	EGRESS WIDTH	EGRESS WIDTH REQUIRED
BUSINESS				
3096 SF	100	31	0.3	9
R-1				
15029 SF	200	75	0.3	23
STORAGE				
814 SF	300	3	0.3	1
18939 SF		109		33
EGRESS WIDTH REQUIRED: = 109 X 0.3 = 33"				
EGRESS WIDTH PROVIDED: = 36" X 2 EXITS = 72"				

OCCUPANT LOAD-POOL				
AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	EGRESS WIDTH	EGRESS WIDTH REQUIRED
POOL				
968 SF	50	19	0.2	4
POOL DECK				
1828 SF	15	122	0.2	24
2796 SF		141		28
EGRESS WIDTH REQUIRED: = 117 X 0.2 = 23"				
EGRESS WIDTH PROVIDED: = 36" X 1 EXITS = 36"				

PROVIDE EGRESS ILLUMINATION PER SECTION 1006	
<b>SECTION 1011: EXIT SIGNS</b>	
PROVIDE EXIT SIGNS PER SECTION 1011	
<b>SECTION 1016: EXIT ACCESS TRAVEL DISTANCE</b>	
<b>TABLE 1016.1: EXIT ACCESS TRAVEL DISTANCE</b>	
OCCUPANCY	WITH SPRINKLER SYSTEM
R-1	250 FT

CHAPTER 10: MEANS OF EGRESS

SECTION 1021: NUMBER OF EXITS AND CONTINUITY

TABLE 1021.1: MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD

TOTAL OCCUPANTS: 501 - 1,000

TOTAL EXITS REQUIRED:

1ST FLOOR

4

2ND - 4TH FLOOR

2

TOTAL EXITS PROVIDED:

6

2

CHAPTER 11 - ACCESSIBILITY

REFERENCED ACCESSIBILITY CODE:

ICC A1171

CHAPTER 29 - PLUMBING FIXTURES

CHAPTER 29 - PLUMBING SYSTEMS

TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

CLASSIFICATION	OCCUPANCY	WATER CLOSET	LAVATORIES	DRINKING FOUNTAINS	OTHER
ASSEMBLY (A-2)	A	1 PER 75	1 PER 200	1 PER 500	1 SERVICE SINK
BUSINESS (B)	B	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1 PER 100	1 SERVICE SINK
RESIDENTIAL (R-1)	R	1 per sleeping unit	1 per sleeping unit		1 SERVICE SINK

CALCULATIONS

<b>ASSEMBLY</b> <b>475 OCCUPANTS - (237 MALE / 237 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 3.04 REQUIRED FEMALE : 3.04 REQUIRED <b>LAVATORIES</b> MALE : 1.14 REQUIRED FEMALE : 1.14 REQUIRED <b>DRINKING FOUNTAINS</b> 1 REQUIRED <b>SERVICE SINK</b> 1 REQUIRED <b>STORAGE/MECH</b> <b>12 OCCUPANTS- (6 MALE/ 6 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 0.06 REQ'D FEMALE : 0.06 REQ'D <b>LAVATORIES</b> MALE : 0.06 REQ'D FEMALE : 0.06 REQ'D <b>DRINKING FOUNTAINS</b> 1 REQ'D <b>SERVICE SINK</b> 1 REQ'D <b>POOL DECK</b> <b>98 OCCUPANTS- (49 MALE/ 49 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 0.39 REQ'D FEMALE : 1.22 REQ'D <b>LAVATORIES</b> MALE : 0.24 REQ'D FEMALE : 0.32 REQ'D <b>DRINKING FOUNTAINS</b> 1 REQ'D <b>SERVICE SINK</b> 1 REQ'D <b>RESIDENTIAL</b> <b>1 PER GUESTROOM</b> <b>TOTALS REQUIRED</b> <b>WATER CLOSETS</b> MALE : 5.27 REQ'D = 6 PROVIDED FEMALE : 6.40 REQ'D = 8 PROVIDED <b>LAVATORIES</b> MALE : 2.52 REQ'D = 4 PROVIDED FEMALE : 2.63 REQ'D = 6 PROVIDED <b>DRINKING FOUNTAINS</b> 1 REQ'D = 1 PROVIDED <b>SERVICE SINK</b> 1 REQ'D = 1 PROVIDED	<b>BUSINESS</b> <b>72 OCCUPANTS - (36 MALE / 36 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 1.44 REQUIRED FEMALE : 1.44 REQUIRED <b>LAVATORIES</b> MALE : 0.9 REQUIRED FEMALE : 0.9 REQUIRED <b>DRINKING FOUNTAINS</b> 1 REQUIRED <b>SERVICE SINK</b> 1 REQUIRED <b>FITNESS</b> <b>30 OCCUPANTS- (15 MALE/ 15 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 0.12 REQ'D FEMALE : 0.20 REQ'D <b>LAVATORIES</b> MALE : 0.075 REQ'D FEMALE : 0.075 REQ'D <b>DRINKING FOUNTAINS</b> 1 REQ'D <b>SERVICE SINK</b> 1 REQ'D <b>POOL SURFACE AREA</b> <b>19 OCCUPANTS- (8 MALE/ 8 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 0.07 REQ'D FEMALE : 0.23 REQ'D <b>LAVATORIES</b> MALE : 0.04 REQ'D FEMALE : 0.06 REQ'D <b>DRINKING FOUNTAINS</b> 1 REQ'D <b>SERVICE SINK</b> 1 REQ'D <b>KITCHEN</b> <b>6 OCCUPANTS- (3 MALE/ 3 FEMALE)</b> <b>WATER CLOSETS</b> MALE : 0.02 REQ'D FEMALE : 0.07 REQ'D <b>LAVATORIES</b> MALE : 0.01 REQ'D FEMALE : 0.02 REQ'D <b>DRINKING FOUNTAINS</b> 1 REQ'D <b>SERVICE SINK</b> 1 REQ'D
--	--

ENERGY CODE INFORMATION	
REFERENCED ENERGY CODE: IECC 2012	
<b>CHAPTER 3</b> 301.1 CLIMATE ZONE ZONES COOK COUNTY	
<b>CHAPTER 5</b> COMMERCIAL ENERGY EFFICIENCY CLIMATE ZONE 5 SECTION 502.1	
ROOF INSULATION ENTIRELY ABOVE DECK	R-25ci
METAL FRAMED WALLS	R-13 + R-7.5ci
MASS WALLS	R-13 3ci
SLAB ON GRADE	R-10 FOR 24"
OPAQUE DOORS	U-0.37
ENTRY DOORS	U-0.77 N-U-0.77 SEW
STOREFRONT GLAZING	U-0.38 N-U-0.38 SEW
GLAZING	U-0.45 N-U-0.45 SEW
SHGC	U-0.40
<b>IECC TABLE C402.1.3</b>	
<b>ROOFS</b> ROOF INSULATION ENTIRELY ABOVE DECK	
<b>METAL BUILDINGS</b> ATTIC AND OTHER	
<b>WALL ABOVE GRADE</b> MASS	
METAL BUILDING	
METAL FRAMED WALL	
WOOD FRAMED AND OTHER	
<b>WALLS BELOW GRADE</b> BELOW- GRADE WALL	
<b>FLOOR</b> MASS	
JOIST FRAMING	
<b>SLAB-ON-GRADE FLOORS</b> UNHEALED SLABS	
HEALTH SLABS	
<b>OPAQUE DOORS</b> NONSWINGING.	
<b>TABLE C402.4</b>	
<b>VERTICAL FENESTRATION</b>	
<b>U-FACTOR</b> FIXED FENESTRATION	
OPERABLE FENESTRATION	
ENTRANCE DOOR	
<b>SHGC</b> PF<0.2	
0.2>or=PF>0.5	
PF>or=0.6	
skylights	
U-FACTOR SHGC	



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**COURTYARD**  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN.6,  
REVISION DATE: 2018-08-24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

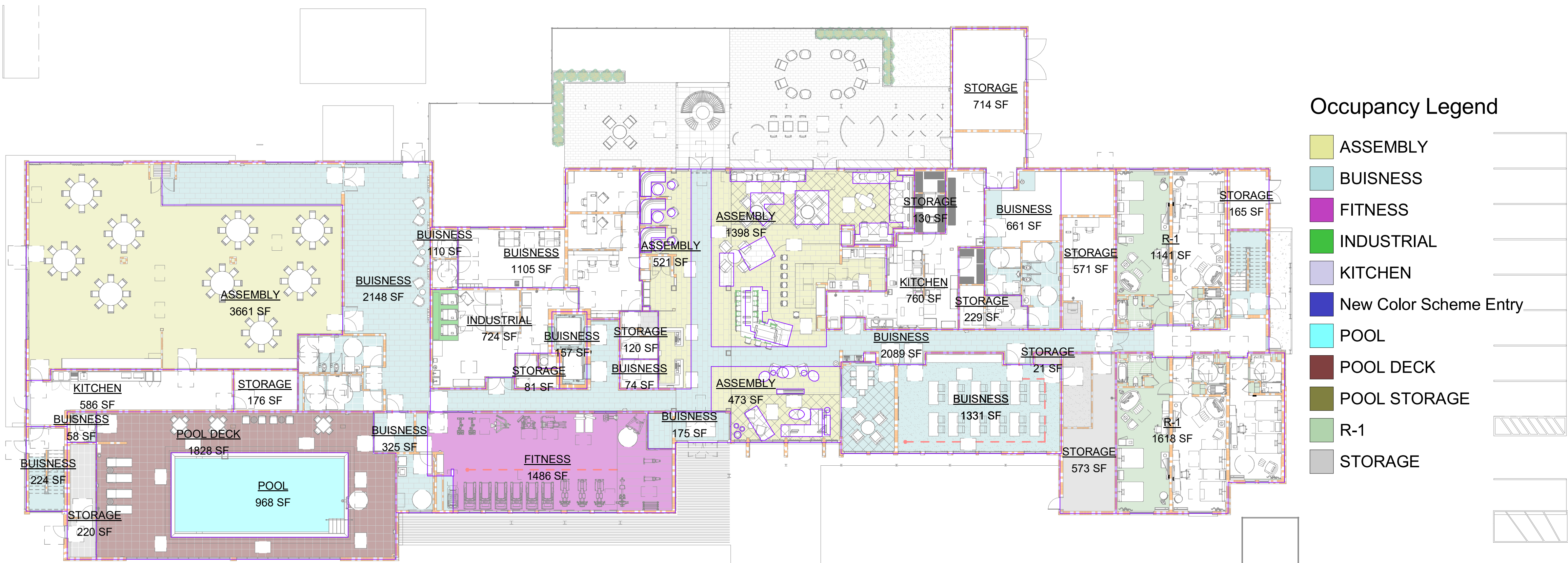
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CODE SUMMARY

DRAWINGS NO.

G-100





2 1ST FLOOR OCCUPANCY PLAN  
1/16" = 1'-0"

### Occupancy Legend

- ASSEMBLY
- BUISNESS
- FITNESS
- INDUSTRIAL
- KITCHEN
- New Color Scheme Entry
- POOL
- POOL DECK
- POOL STORAGE
- R-1
- STORAGE

IBC 2015

**EXIT SIGNS**

**SECTION 1013**

**1013.1 Where Required**

Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor or exit passageway is more than 100 feet (30 480 mm) or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign.

Exceptions:

- Exit signs are not required in rooms or areas that require only one exit or exit access.
- Main exterior exit doors or gates that are obviously and clearly identifiable as exits need not have exit signs where approved by the building official.
- Exit signs are not required in occupancies in Group U and individual sleeping units or dwelling units in Group R-1, R-2 or R-3.
- Exit signs are not required in dayrooms, sleeping rooms or dormitories in occupancies in Group I-3.
- In occupancies in Groups A-4 and A-5, exit signs are not required on the seating side of vomitories or openings into seating areas where exit signs are provided in the concourse that are readily apparent from the vomitories. Egress lighting is provided to identify each vomitory or opening within the seating area in an emergency.

**1013.2 Floor-Level Exit Signs in Group R-1**

Where exit signs are required in Group R-1 occupancies by Section 1013.1, additional low-level exit signs shall be provided in all areas serving guest rooms in Group R-1 occupancies and shall comply with Section 1013.5.

The bottom of the sign shall be not less than 10 inches (254 mm) nor more than 12 inches (305 mm) above the floor level. The sign shall be flush mounted to the door or wall. Where mounted on the wall, the edge of the sign shall be within 4 inches (102 mm) of the door frame on the latch side.

**SYMBOL KEY**

- 1-HOUR RATED WALL
- 2-HOUR RATED WALL
- 2-HOUR FIRE SEPARATION WALL
- 2-HOUR RATED SHAFT
- EGRESS PATH/ DIRECTION
- DOOR EGRESS WIDTH
- NUMBER OF OCCUPANTS EXITING THROUGH THIS DOOR
- PORTABLE FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- FIRE EXIT SIGN
- ROOM WITH COMMUNICATION FEATURES
- ACCESSIBLE ROOM
- EXIT LIGHT



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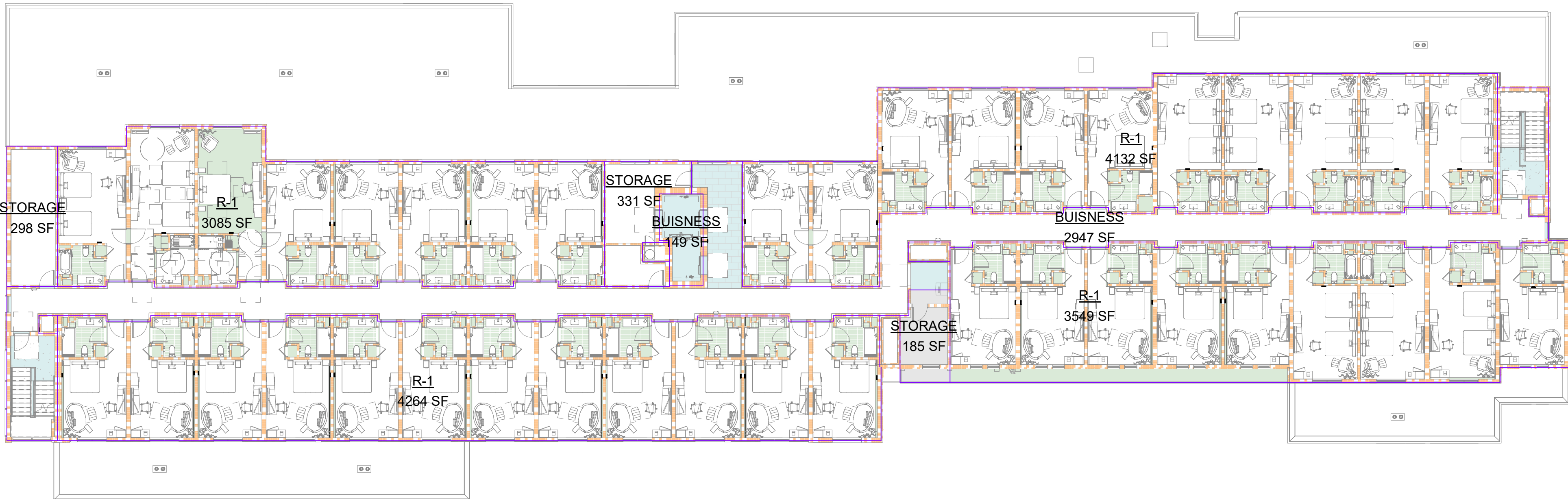
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**1ST FLOOR LIFE SAFETY PLAN**

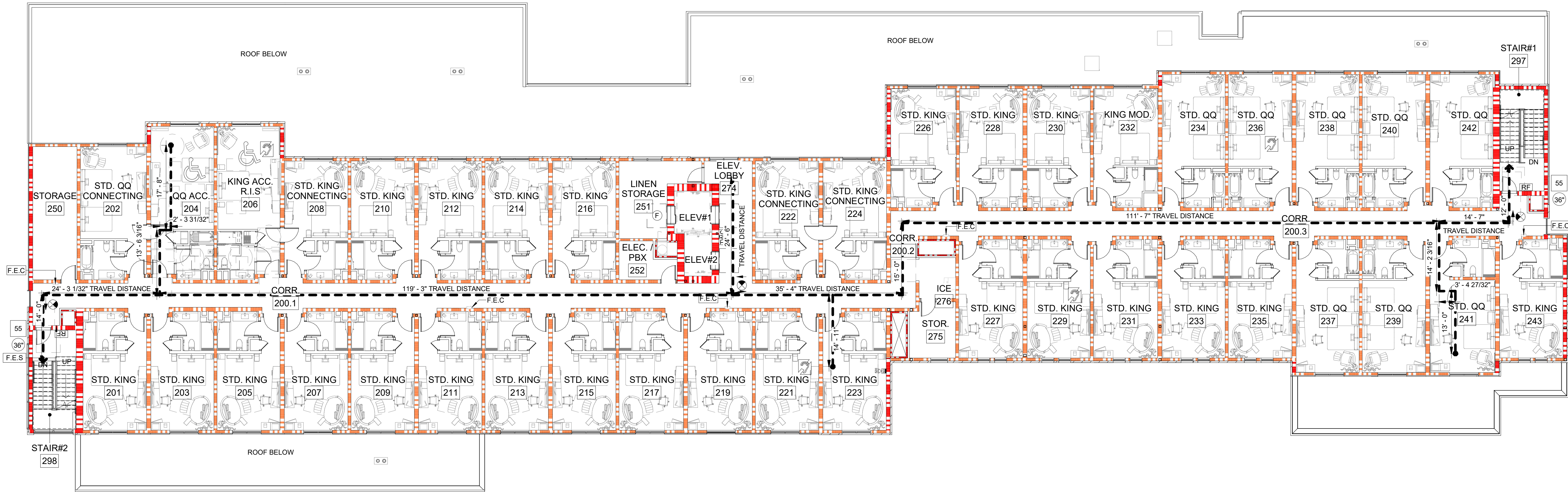
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**G-101**





2 2ND FLOOR OCCUPANCY PLAN  
G-102 1/16" = 1'-0"



1 2ND FLOOR LIFE SAFETY PLAN  
G-102 3/32" = 1'-0"

Occupancy Legend

- ASSEMBLY
- BUISNESS
- FITNESS
- INDUSTRIAL
- KITCHEN
- New Color Scheme Entry
- POOL
- POOL DECK
- POOL STORAGE
- R-1
- STORAGE


IBC 2015

EXIT SIGNS

**SECTION 1013**  
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SYMBOL KEY

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- 2-HOUR RATED WALL
- 2-HOUR FIRE SEPARATION WALL
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- NUMBER OF OCCUPANTS EXITING THROUGH THIS DOOR
- PORTABLE FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- FIRE EXIT SIGN
- ROOM WITH COMMUNICATION FEATURES
- ACCESSIBLE ROOM
- EXIT LIGHT



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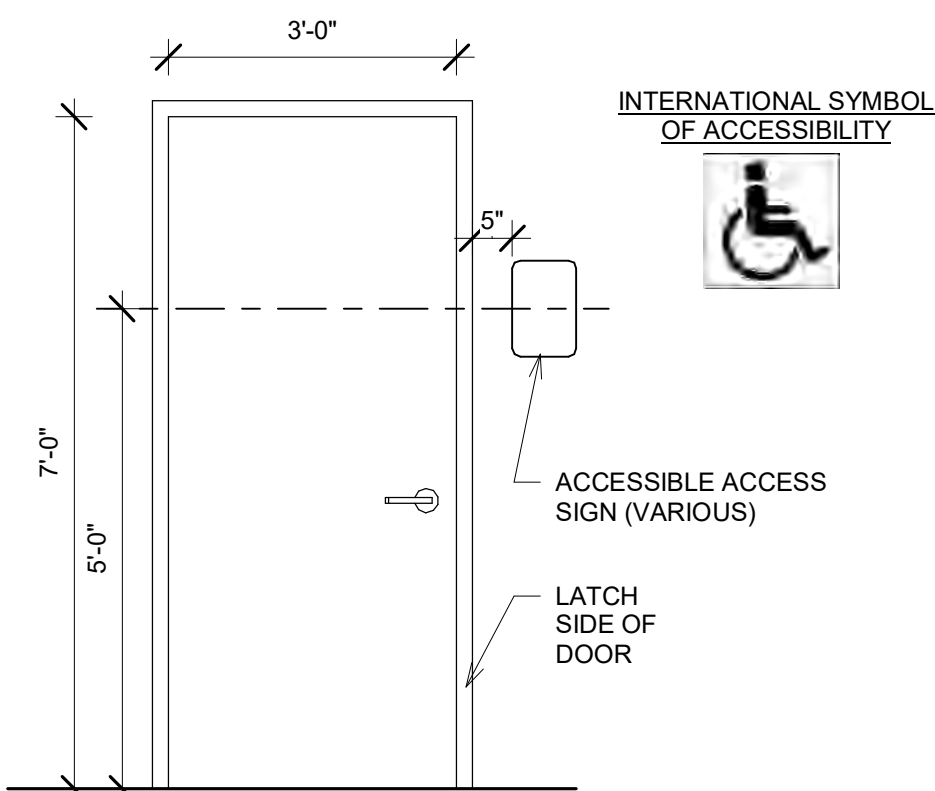
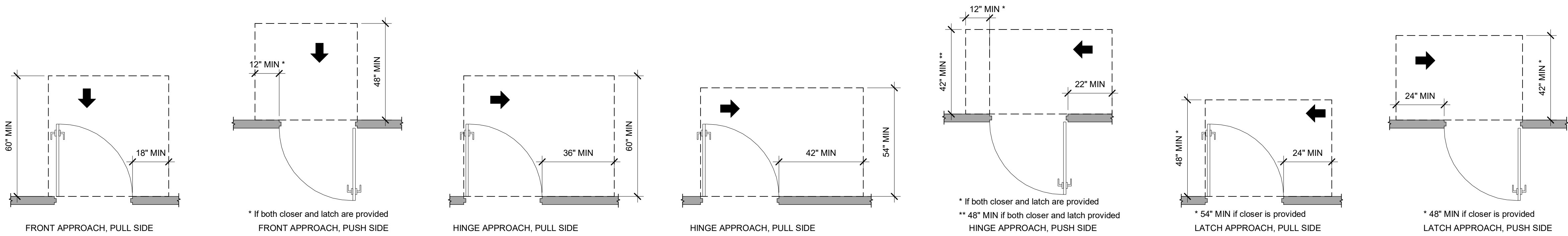
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SHEET NAME  
**2ND FLOOR LIFE SAFETY PLAN**

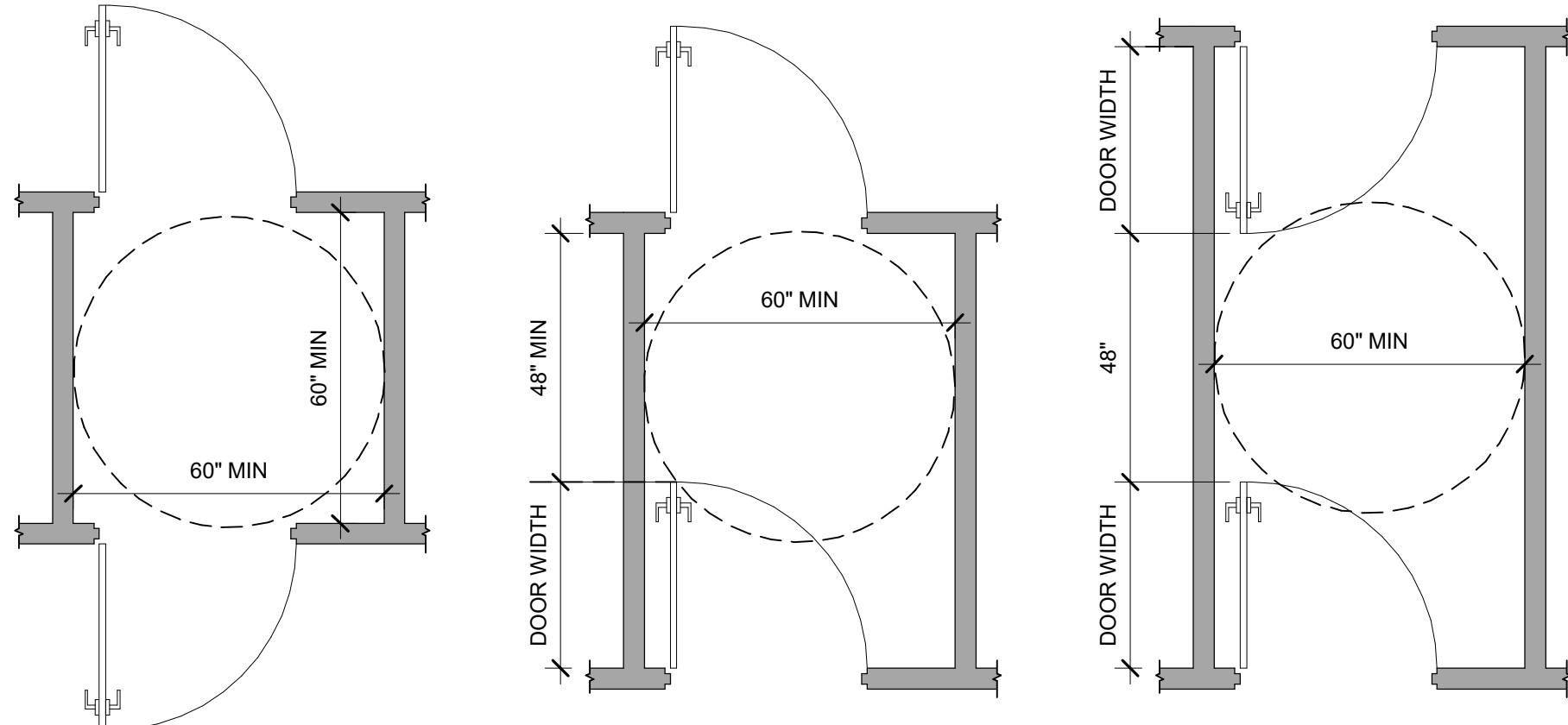
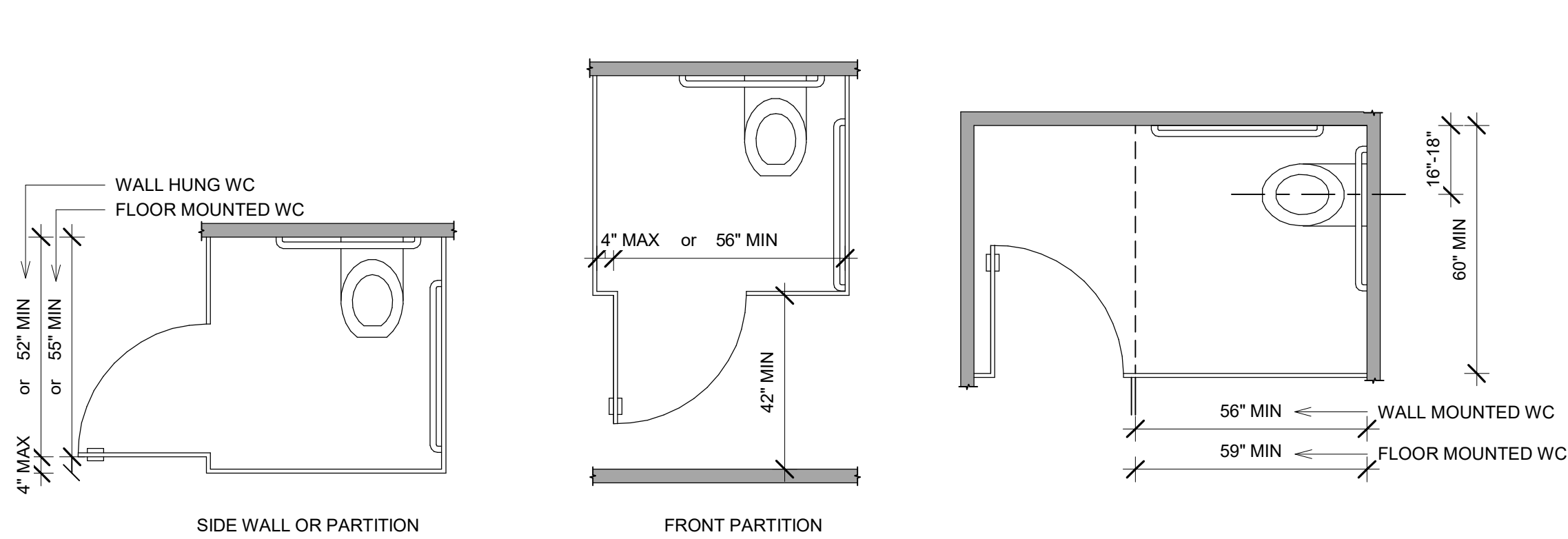
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**G-102**





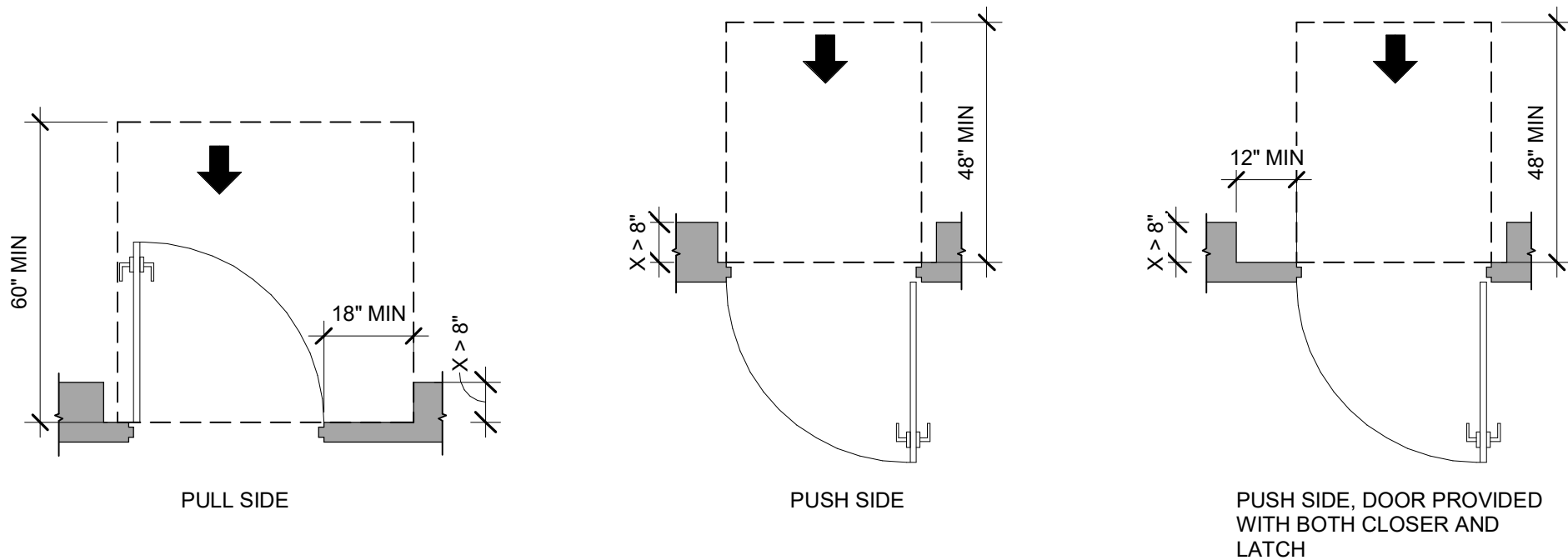
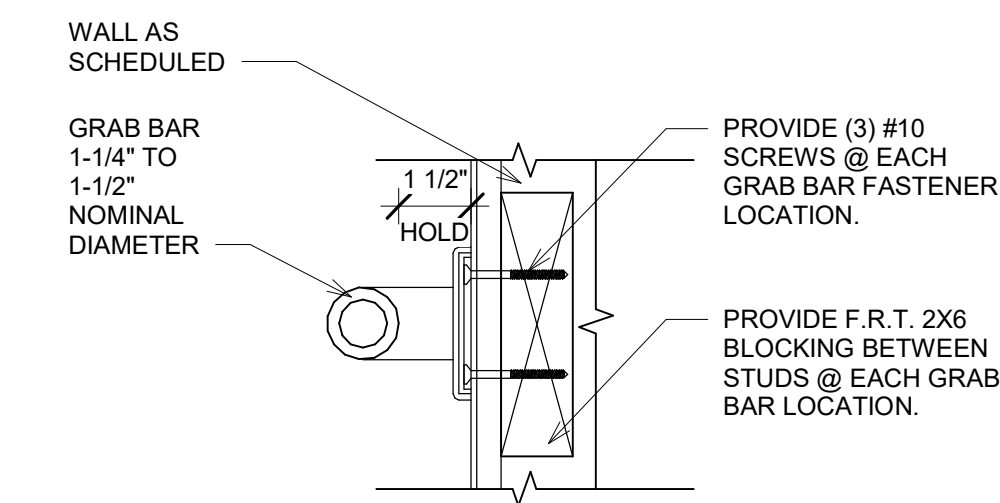
1 ACCESSIBLE-MANUEVERING CLEARANCE AT MANUAL SWINING DOORS  
3/8" = 1'-0"

2 SIGNAGE - MOUNTING SCHEMATIC  
1/2" = 1'-0"



3 WHEELCHAIR ACCESSIBLE COMPARTMENT DOOR OPENINGS  
3/8" = 1'-0"

4 ACCESSIBLE- TWO DOORS IN SEQUENCE  
3/8" = 1'-0"



5 GRAB BARS - MOUNTING  
3" = 1'-0"

6 ACCESSIBLE-MANUEVERING CLEARANCE AT RECESSED DOORS  
3/8" = 1'-0"



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5453 NW 106TH DR  
CORAL SPRINGS, FL 33076

Seal:



Owner:

TOP  
Hospitality

143 Wheeling Road  
Wheeling IL 60090  
312 404 6735

COURTYARD  
BY MARRIOTT

TINLEY PARK, IL

PROTOTYPE VERSION: GEN 6,  
REVISION DATE: 2018.08.24

ID	ISSUED	DESCRIPTION
A0	2019.12.13	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR 100%  
FRANCHISE REVIEW

CURRENT ISSUE DATE

2020.05.25

DRAWN BY

RC

CHECKED BY

RB/DDP

PROJECT NO.

B4-157-1801

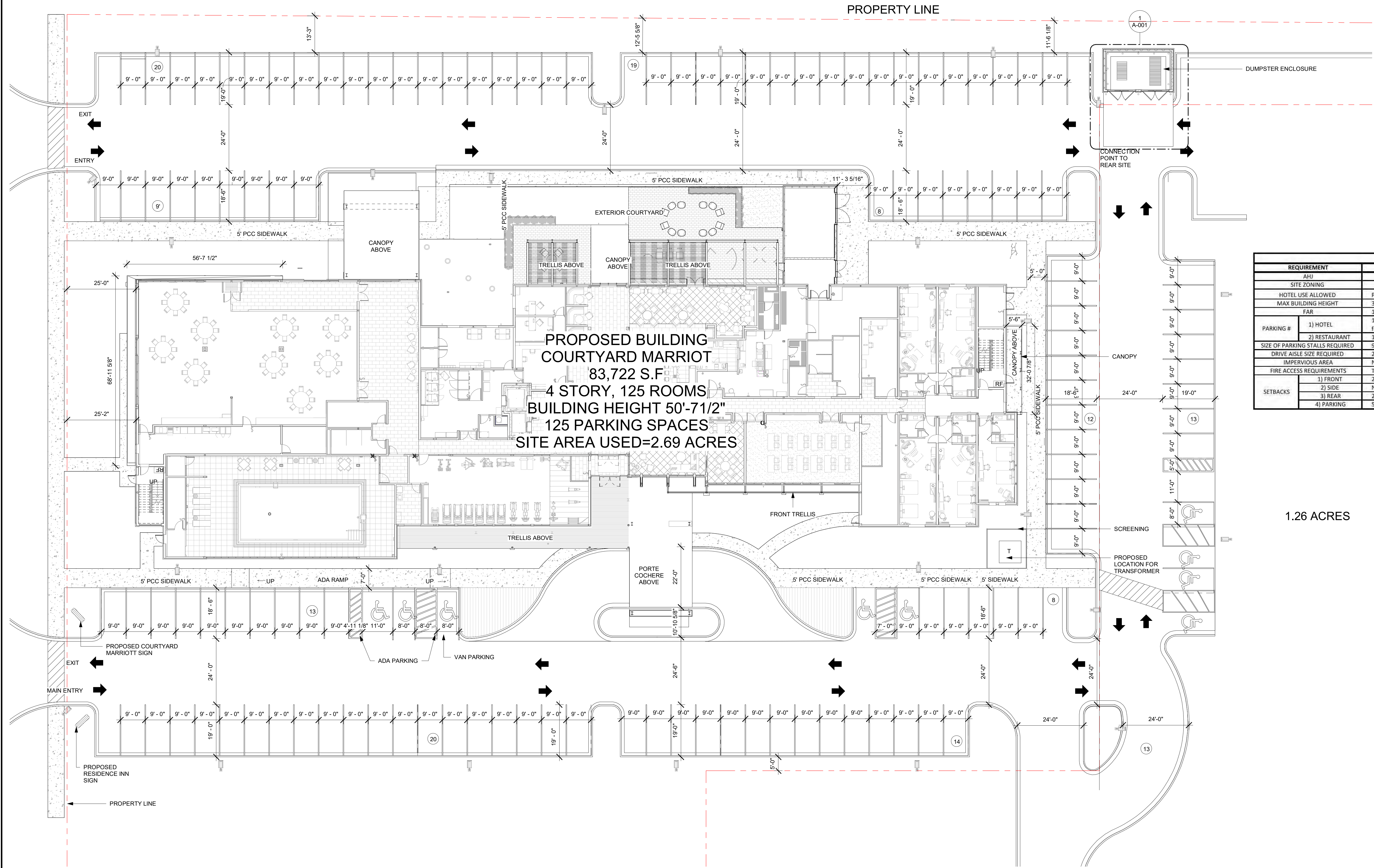
SHEET NAME

ACCESSIBILITY  
DETAILS-5

DRAWINGS NO.

G-305





GENERAL NOTES-SITE PLAN

- GENERAL NOTES:
- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE COVER SHEET FOR CONTACT INFORMATION.
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
  - CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
  - SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
  - PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
  - CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
  - LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
  - G.C. TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
  - GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
  - ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOK FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
  - ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
  - ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER, SIGNAGE & FOUNDATION ARE O.F.O.I.
  - COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
  - ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADII.
  - LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
  - EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

ZONING ANALYSIS		
Tinley Park, IL		
REQUIREMENT	ZONING	COMPLIANCE
AHJ	B-3 - General Business and Commercial District	
SITE ZONING	Permitted by right; Hotel is to be on a lot no less than five (5) acres in area	Y
HOTEL USE ALLOWED	3 stories; 35'	NO*
MAX BUILDING HEIGHT	1.0	Y
FAR	1) HOTEL	1 space for each unit, and 1 space for each employee, + required parking spaces for bar, restaurant, or affiliated use
PARKING #	2) RESTAURANT	1 space for each 3 seats, plus 1 space for each employee.
SIZE OF PARKING STALLS REQUIRED	DRIVE AISLE SIZE REQUIRED	26'
IMPERVIOUS AREA	No requirements found;	
FIRE ACCESS REQUIREMENTS	1) FRONT	25'
SETBACKS	2) SIDE	No side yard shall be required
	3) REAR	25'
	4) PARKING	5'

PARKING MATRIX	
PARKING TYPE	# OF SPACES
ACCESSIBLE PARKING SPACE	4
VAN PARKING SPACE	1
STANDARD PARKING SPACE	123
TOTAL	128

GROSS AREA	
Level	Area
1ST FLOOR	26,767 SF
2ND FLOOR	18,826 SF
3RD FLOOR	19,064 SF
4TH FLOOR	19,064 SF
Grand total: 4	83,722 SF

GUESTROOM MATRIX	
ROOM NAME	ROOM COUNT
1ST FLOOR	
QQ ACC. R.I.S	1
QQ INLINE ACC.	2
QQ INLINE SUITE CONNECTING	2
1ST FLOOR: 5	5
2ND FLOOR	
KING ACC. R.I.S	1
KING MOD.	1
QQ ACC.	1
STD. KING	25
STD. KING CONNECTING	3
STD. QQ	8
STD. QQ CONNECTING	1
2ND FLOOR: 40	40
3RD FLOOR	
KING ACC.	1
KING MOD.	1
KING SUITE	1
QQ CUSTOM	1
STD. KING	20
STD. KING CONNECTING	3
STD. QQ	12
STD. QQ CONNECTING	1
3RD FLOOR: 40	40
4TH FLOOR	
KING ACC.	1
KING MOD.	1
KING SUITE	1
QQ CUSTOM	1
STD. KING	19
STD. KING CONNECTING	3
STD. QQ	13
STD. QQ CONNECTING	1
4TH FLOOR: 40	40
TOTAL	125



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CORAL SPRINGS, FL 33076



Owner: **TOP Hospitality**  
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312 404 6735

**COURTYARD**  
BY MARRIOTT  
TINLEY PARK, IL

PROTOTYPE VERSION: GEN. 6,  
REVISION DATE: 2018.08.24

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A0	2019.12.13	ISSUED FOR PERMIT

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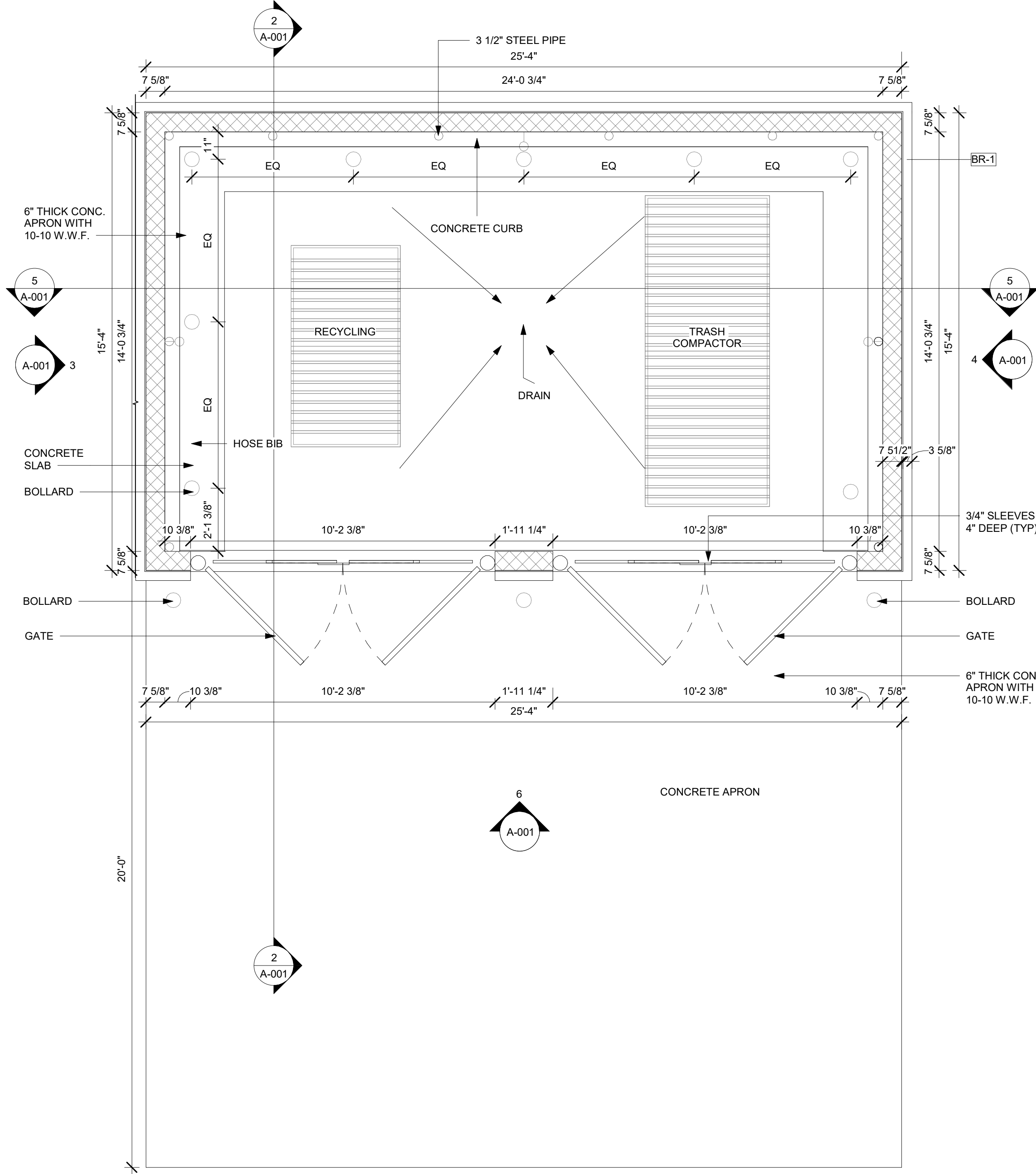
**ARCHITECTURAL SITE PLAN**

DRAWINGS NO.

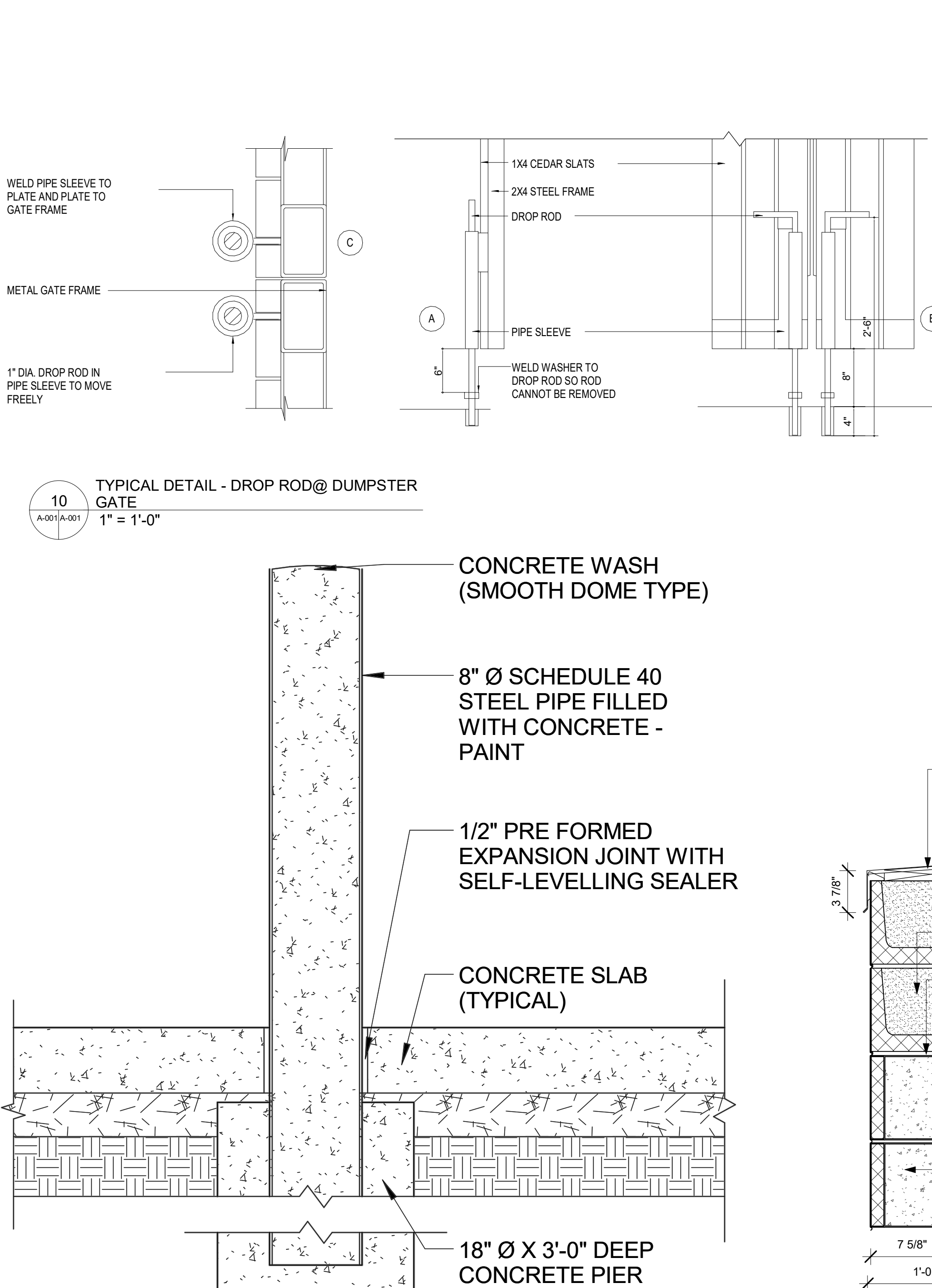
**A-000**

1  
A-000  
ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"





1 DUMPSTER PLAN  
3/8" = 1'-0"



9 BOLLARD DETAIL  
1 1/2" = 1'-0"

LEGEND - EXTERIOR FINISHES				
MARK	MATERIAL-BRAND	COLOR	MATERIAL-IMAGE	%
NH-1	NICHHA	SW-7666 FLEUR DE SEL		39%
SC-2	STUCCO	SW 6719 GECKO		1%
BR-1	GLEN-GREY BRICK	VINTAGEWOOD IN BARK COLOR		61%
MT-1	METAL	COLOR ; EGGSHELL PATTERN		00%
WD-1	WOODEN	WOODEN PLANK		00%

## GENERAL NOTES-SITE PLAN

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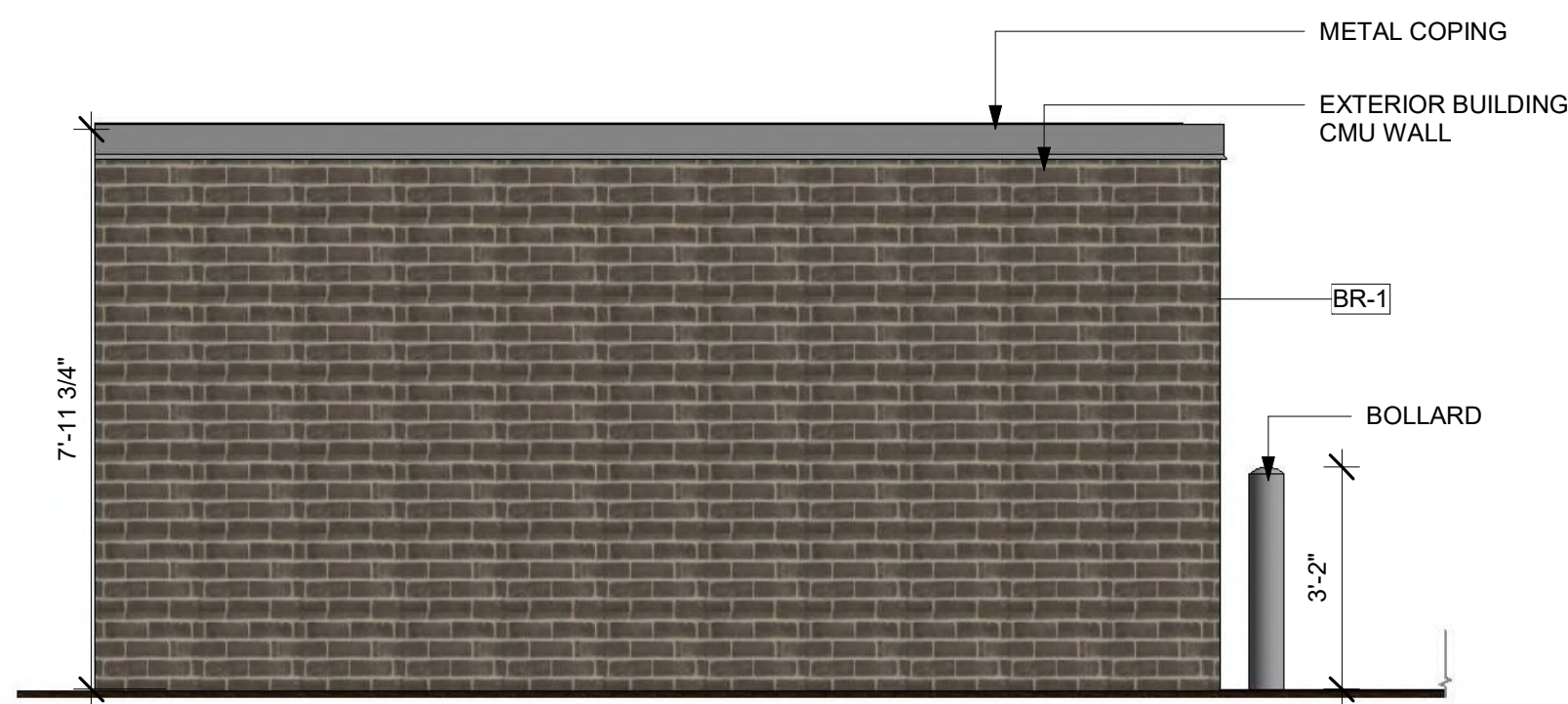
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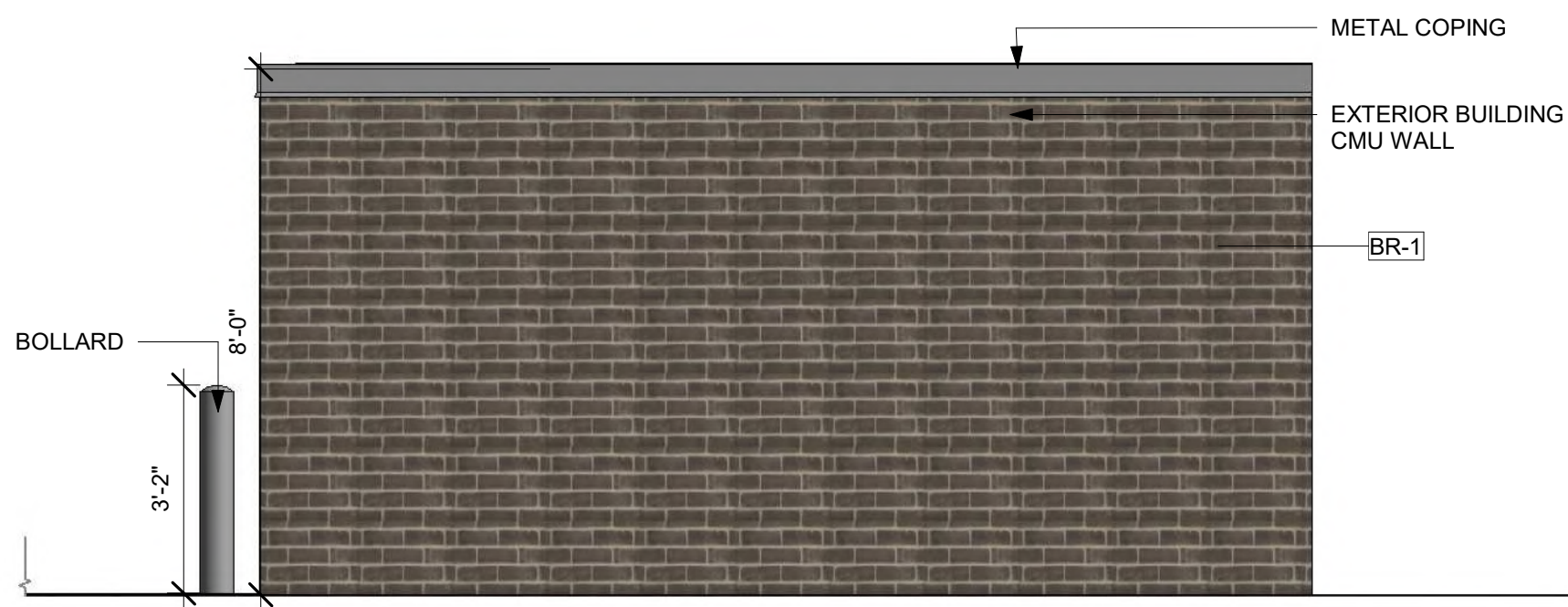
TINLEY PARK, IL

PROTOTYPE VERSION: GEN.6  
REVISION DATE: 2018.08.24

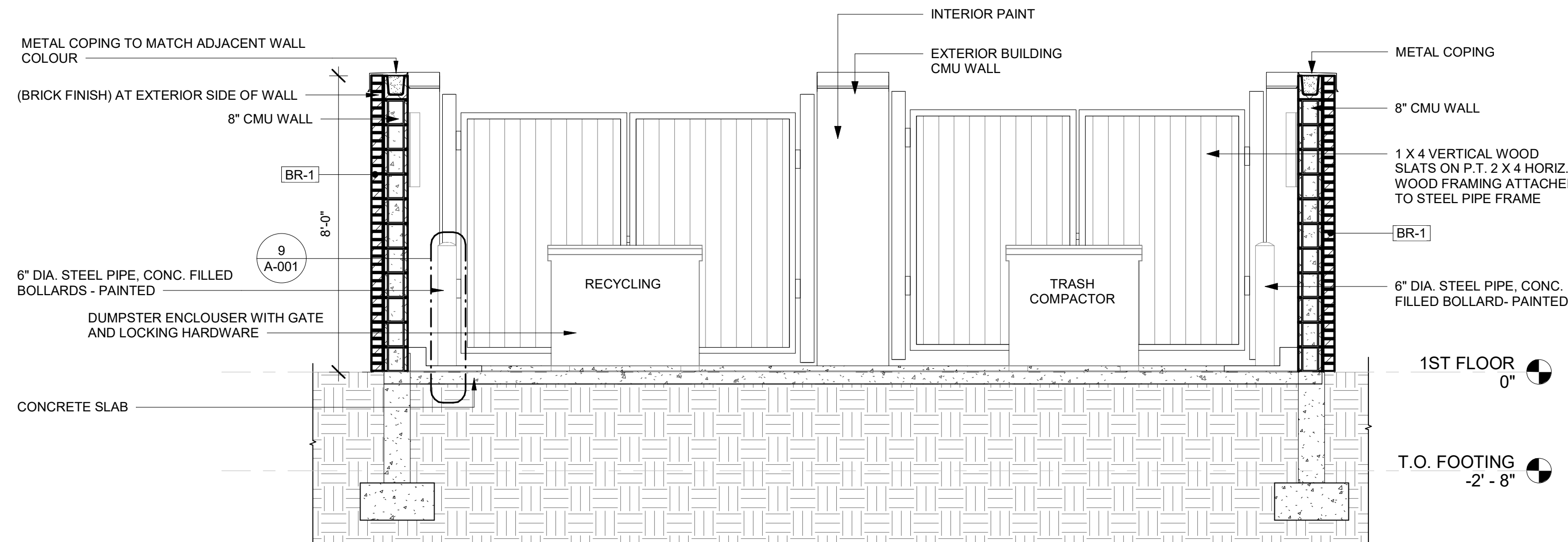
ID	ISSUED	DESCRIPTION
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3 DUMPSTER ELEVATION 1  
3/8" = 1'-0"



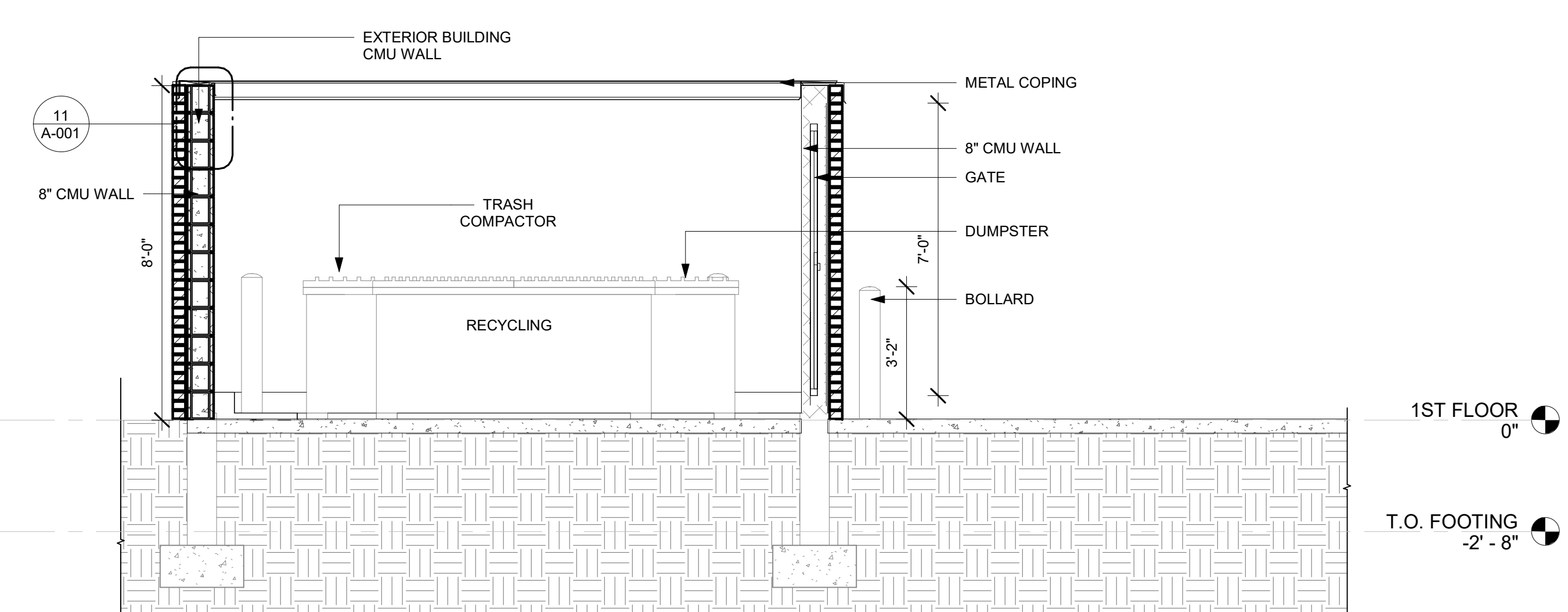
4 DUMPSTER ELEVATION 3  
3/8" = 1'-0"



5 DUMPSTER SECTION 1  
3/8" = 1'-0"



6 DUMPSTER ELEVATION 2  
3/8" = 1'-0"



2 DUMPSTER SECTION 2  
3/8" = 1'-0"

CURRENT ISSUE  
**ISSUED FOR 100% FRANCHISE REVIEW**

CURRENT ISSUE DATE  
2020.05.25

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RB/DDP

PROJECT NO.  
B4-157-1801

SHEET NAME

**DUMPSTER/SITE DETAILS**

DRAWINGS NO.

**A-001**





# Interoffice

# Memo

**Date:** August 3, 2022

**To:** Pat Carr, Village Manager  
Hannah Lipman, Assistant Village Manager

**From:** Terry Lusby, Jr., Facilities & Fleet Superintendent

**Subject:** Police Department Shooting Range Renovation Project

Presented at the Committee of the Whole and Village Board meetings for consideration and possible action.

Description:

This work shall include the following: Demolition of existing wood fiber panels, installation of new ballistic and acoustical wall and ceiling panels and new epoxy floor in the existing Police Department firing range. Scope includes demolition, firing range equipment, flooring and any incidental work required to complete the project.

Background:

This construction contract was advertised in accordance with state bidding laws and three (3) Bids were received and read publicly on Wednesday, June 29<sup>th</sup>, 2022, at 10:01AM by the Deputy Clerk with the Facilities Superintendent and FGM Architects present and received as follows:

<u>Contractor:</u>	<u>As Read &amp; Calculated Bid:</u>
Integral Construction, Romeoville, IL	\$ 249,200
Czervik Construction, Mokena, IL	\$ 308,000
Construction Inc., Lombard, IL	\$ 328,000

Budget / Finance:

Funding is available in the approved FY23 Capital Projects Budget.

Budget Available	\$ 218,000
Lowest Responsible Bidder	<u>\$ 249,200</u>
Difference (Over Budget)	\$ 31,200

Collected bids came in higher than expected due to surges in material pricing because of the COVID-19 ramifications. Public Works met with the Police Department management team on 6/30/22 and we both recommend the approved FY23 Paint Sally Port/Prisoner Cell Floors Project (\$45,000) be deferred so we can utilize these funds towards the Police Department Shooting Range Renovation Project shortage.

Staff Direction Request:

1. Approve service contract with Integral Construction, of Romeoville, IL for the Police Department Shooting Range Renovation Project as estimated in the following amount: \$249,200.
2. Direct staff as necessary.

Attachment:





1. FGM Architects concurring letter of recommendation.
2. Tabulation of bids spreadsheet.



**Interoffice****Memo**

---

**Date:** August 3, 2022  
**To:** Pat Carr – Village Manager  
**From:** John Urbanski – Public Works Director  
**Subject:** Purchase Request – PD Simulcast Radio Upgrade Phase #3 (Final)

---

Presented for the Committee of the Whole/Village Board Meeting consideration and possible action.

Description: As a main operational function of the Police Department's activities, the radio system receives annual maintenance checks. In response to an increase of "issues" compared to our standard of reliability for a system our size (over 90,000 transmissions per year at 98% reliability), staff requested an updated review and recommendation.

In response to findings, research to better improve the system coverage and operation for improved inbuilding coverage throughout the Village led staff to engineer a multi-site (simulcast) system operation. In conjunction with the findings of the system analysis along with improvements in technology, it was this recommendation that would assist with increased coverage and reduce some of the issues previously experienced within the Village. Currently, the radio system transmits to dispatch from a single site when field operations occur. This limits the potential of the system and signal. A simulcast system allows multiple transmitters at multiple locations, therefore creating a larger coverage footprint. This upgrade allows for a (3) site simulcast system that will allow migration to P25 VHF operation (digital) and upgrade and (8) receiver sites in (10) existing locations and (1) new location (Post #1).

Finishing the phased approach of improvements with this final purchase, staff recommends purchasing the remaining equipment for Phase #3 of the system.

This phase includes installation of purchased equipment from Phase #2 Village Board approval, August 2021. Equipment consists of network gear, multiplex equipment, multicoupler equipment, UPS and labor for installation of entire system as proposed in previous phases. It is the recommendation of staff that the Village Board approve project coordination for the remaining equipment and installation by Municipal Services Consulting (MSC) to our simulcast upgrade as reflected in the attached proposal of \$193,000.

Staff Direction Request:

1. Approve Purchase Order for Phase #3 equipment installation and project coordination with Municipal Services Consulting, in the amount of \$193,000 for simulcast equipment at a total of eleven (11) sites as requested and approved in the FY22 budget.
2. Direct Staff as necessary.

Attachment:

1. Municipal Services Consulting Proposal
2. MSC Description and Justification Letter



**Interoffice****Memo**

---

**Date:** July 27, 2022

**To:** Pat Carr – Village Manager  
Hannah Lipman – Asst. Village Manager  
John Urbanski, Public Works Director

**From:** Colby C. Zemaitis, PE, CFM – Assistant Public Works Director

**Subject:** ComEd - Overhead Power line Removal Agreement

---

Prepared for the Committee of the Whole and Village Board Meeting for consideration and possible action.

Description: The Village is coordinating the placement of the overhead power lines along 183<sup>rd</sup> Street in the north parkway in front of the Helipad/Fire Training Tower Facility and the Police Department. These are ComEd poles which appear to also be utilized by AT&T, Comcast and Verizon. The preliminary work has been coordinated with the utility companies with discussions as to where the proposed infrastructure will be placed. This will include preferential alignments and above grade equipment placement locations for items such as transformers, switch boxes, splice pits, structures and pedestals. The various utility companies will require engineering deposits from the Village prior to starting their design.

The Village has been provided a Customer Work Agreement from ComEd to proceed with the design plans for the burial of the overhead dry utilities from the utility poles for this project. The Customer Work Agreement is in the amount of \$33,873 which is required to be paid in full prior to ComEd proceeding with the design plans.

The burial of the overhead power lines is the initial stage of the Rebuild Illinois Grant - Helipad Aircraft Improvement Project.

The Public Works Staff has reviewed the Work Agreement, discussed the phasing of the project with Christopher B. Burke Engineering and the Village Managers and find the scope of work defined in the agreement to be satisfactory.

Budget / Finance: Funding is budgeted with TIF dollars in the FY23 Capital Fund Budget (20-00-000-75814).

Staff Direction Request:

1. Approve Customer Service Agreement with ComEd in the amount of \$33,873.
2. Direct Staff as necessary.

Attachment:

1. ComEd Customer Work Agreement.



# STAFF COMMENT



# **BOARD COMMENT**



# **PUBLIC COMMENT**



# **EXECUTIVE SESSION**

## **ADJOURN TO EXECUTIVE SESSION TO DISCUSS:**

- A. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.**