



AGENDA

BLACK HAWK COUNTY BOARD OF ADJUSTMENT

Harold E. Getty Council Chambers - Waterloo City Hall

Tuesday, May 23, 2023, 6:00 p.m.

Meeting will also be conducted via Zoom

Please contact the Planning and Zoning Office to get information concerning the Zoom Link

General Rules for Public Participation

1. The presentation order for all new or old business agenda items shall be as follows: a) Staff report, b) Applicant's presentation, c) Opinions of interested citizens, d) Applicant's rebuttal, e) Commission discussion.
2. Interested citizens may address any item on the agenda by stepping to the podium. After recognition by the chair, the individuals state their name, address and group affiliation (if applicable) and speak clearly into the microphone.
3. Interested citizens may speak one (1) time per item. Please limit your comments to three (3) minutes.
4. Keep comments germane and refrain from personal, impertinent or slanderous remarks and repetitious information.
5. All comments and requests for information shall be directed towards the chair, and not towards individuals in the audience. All comments shall be in keeping with proper and courteous conduct.

The chair shall take whatever action is necessary to ensure that these rules are observed and the meeting proceeds in an orderly fashion.

I. Meeting called to order and roll call

II. Approval of the Amended Agenda

III. Approval of the minutes for the November 22, 2022 meeting.

IV. New Business

1. Selection of Chair and Vice Chair for 2023.

2. W of 6607 Hammond Road Special Permit to install a new gas collection and control system (GCCS).

Request by Black Hawk County Solid Waste Management for a special permit to install a new gas collection and control system (GCCS).

3. W of 10915 E Dunkerton Road

Request for a special permit by Flynn Company Inc., to allow for the placement of a temporary portable concrete batch plat in the "C-M" Commercial-Manufacturing District.

4. E of 8221 Hammond Avenue

Request for a special permit by Northern Natural Gas to construct a 25' X 102' (2,550 square feet) natural gas compression station.

BLACK HAWK COUNTY PLANNING AND ZONING COMMISSION

May 23, 2023 Agenda

5. South of 5708 W Cedar Wapsi Road.

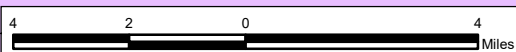
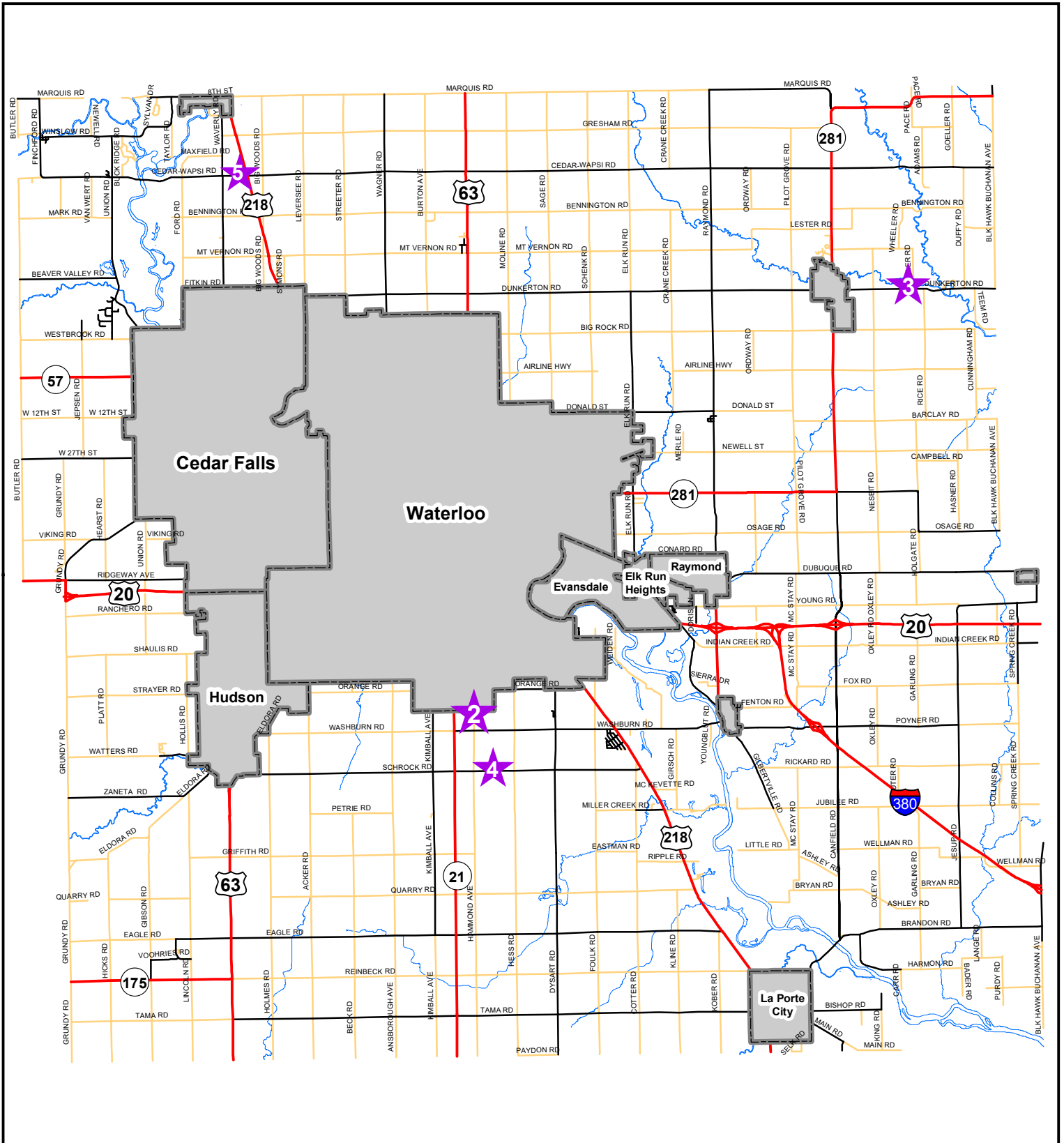
Request for a variance by ALF Properties LLC, to the public sewer requirement for an eight lot commercial/industrial subdivision.

V. Discussion Items

VI. Adjournment

Black Hawk County Board of Adjustment

May 23, 2023



Agenda Map

**MINUTES OF THE BLACK HAWK COUNTY BOARD OF ADJUSTMENT MEETING
HELD ON NOVEMBER 22, 2022, HAROLD E. GETTY COUNCIL CHAMBERS
WATERLOO CITY HALL AND VIA ZOOM**

Peter Beck called the regular monthly meeting of the Black Hawk County Board of Adjustment to order at 6:00 pm, Tuesday, November 22, 2022.

I. Call to order and roll call

Members present: Peter Beck, Dr. Laval Peloquin, Steve Rosauer, and Gail Mueller (in attendance)

Members absent: One Vacancy

Also present: Black Hawk County Planning Staff – Seth Hyberger and Lexi Blank, and 1 member of the public.

II. Approval of the Agenda

It was moved by Dr. Peloquin and seconded by Rosauer to approve the amended agenda. Motion carried unanimously.

III. Approval of Minutes of the October 25, 2022 meeting.

It was moved by Mueller and seconded by Dr. Peloquin to approve the minutes of the October 25, 2022 meeting. Motion carried unanimously.

VI. New Business

1. 11314 Barnes Ferry Road Even Front Yard Setback Accessory Structure Variance

Request for a variance to the front yard setback for an accessory structure to allow for a 10' front yard setback which is 40' less than the 50' required in the "A" Agricultural District.

Hyberger gave the staff report. Todd Even, 11314 Barnes Ferry Road, La Porte City, noted the dimensions of the garage was reduced to 36' X 40' (1,440 square feet) and was incorrectly stated as 36' X 48' (1,728 square feet) in the staff report. Even noted that he is setting the building at an angle in order to reduce the side yard setback to 10'. Beck asked Even if he ever considered placing the accessory structure north of his house. Even noted he thought about it, but he does not have a driveway there and his water well is located there as well. His neighbor also indicated that he would like Mr. Even to construct his garage to the south of his home as well. Dr. Peloquin visited the site and noted there is a steep drop off on the north side of the property. Rosauer indicated the small size of the lot and topography makes it difficult to place a detached garage there. Even noted the rear of the property has a twenty foot drop off towards the Cedar River.

Mueller noted, based on the aerial map, it shows that the east property line has a portion that extends out five feet. Rosauer asked if it would be feasible for Even to further reduce the size of the building, even though he has already reduced the size of garage from 40' X 48 to 36' X 40'. That reduced the size of the garage from 1,920 square feet to 1,440 square feet. Rosauer indicated that approving this request would unfortunately set a precedent for future setback variance requests. Even noted that he is doing what he can do to accommodate what is needed for the

variance request and had someone come out to find the property pins for the east side property line. Mueller noted that if the County does make changes to Barnes Ferry Road, the garage will be that much closer to the road. Hyberger noted that sometimes the assessors' office map can be off by a few feet.

Beck understands the hardships associated with the property, but he is concerned about setting a precedent. Mueller discussed a request in Denver where an applicant requested to have a five feet front yard setback variance. The applicant could have constructed a carport on the west side of the property, but didn't want to place it there. Rosauer indicated that due to the floodplain, the applicant only has a sliver of land to place a garage on this property. Muller noted these two variance requests are similar because the applicant could still place a garage on the north side of the property. Even noted that he is simply trying to get along with his neighbor and does not want him to place his garage there. Mueller noted the location of the septic lines on the revised site plan. Even noted that is where he plans on moving his septic lines to if the variance is approved, but the septic lines are now located just south of the home. Mueller made the suggestion that Even could install a filter system without a leach field. Even noted that type of system would cost \$20,000 and a representative of the Black Hawk County Health Department recommended not having that type of system unless it is his only option. Mueller asked Hyberger what is the distance from the north of the house to the property line. Hyberger noted it is approximately 75 feet. Mueller asked what the distance is from the home to the southern property line. Hyberger noted that it is approximately 62 feet. Hyberger indicated that Even's home is approximately 28 feet wide and the attached garage is 25 feet wide. Mueller asked Even if he could place his septic lines there. Even noted that is where he plans on placing his detached garage and the septic lines would be placed west of the garage. Rosauer asked where the water well is located. Even noted it is 20 feet from the northwest corner of the home. Beck noted he would like to hear an ironclad reason to approve the variance request. Even indicated his right-of-way is wider than most roads and indicated the distance of the property line to the road is 55 feet. Hyberger noted the road right-of-way is 106 feet wide when most county roads are only 65 feet wide. Rosauer indicated this variance request is a unique situation. Mueller stated that if the garage is placed to the north of the home, no variance would be required. Dr. Peloquin indicated the request is still a yes or no based on the information that has been provided.

Rosauer made a motion based upon usable property and width of the road to approve the request. Dr. Peloquin seconded the request. Mueller indicated that if the request is approved, there will need to be something in the minutes. Hyberger noted they should also indicate the location of the well and septic systems. Muller noted that the width of the road is 40 feet wider than most roads and this is unusual in the county when most roads are only 66 feet wide. Mueller asked the applicant if there is something unique buried in the right-of-way. Even indicated there is not anything unique buried in the right-of-way. Mueller suggested that Even should contact Black Hawk County Engineering to find out if they would be interested in vacating a portion of Barnes Ferry Road. Dr. Peloquin asked about holding a vote. Hyberger stated for the motion, that based upon the width of the road, which is 36 feet wider than a standard county road, and the amount of usable land on the property which is not located in the 100-year floodplain. In addition to the location of the water well and septic system, a variance to the front yard setback of 10' which is 40' less than the 50' required in the "A" Agricultural District is being requested. The motion to approve was denied with a 3 to 1 vote. A new motion was made.

It was moved by Dr. Peloquin and seconded by Mueller to deny the request for a variance to the front yard setback for an accessory structure to allow for a 10' front yard setback which is 40' less than the 50' required in the "A" Agricultural District. Motion to deny carried with a 3 to 1 vote.

V. Discussion Items

Discuss testimonials at a public hearing.

Dr. Peloquin noted he wanted to add this item to the agenda based upon what happened at the October 25, 2022 Black Hawk County Board of Adjustment meeting. Dr. Peloquin indicated that public testimony at future meetings should stick to the agenda item and not personal attacks and hearsay. Beck noted that at previous meetings, the discussion should be directed to the Board of Adjustment members and not to the audience. Beck noted we can stop those comments from taking place in the future. Rosauer indicated the same thing happened during the public hearing for the Dollar General in Washburn as well. Rosauer noted that some of those comments were way off topic. Dr. Peloquin and Beck indicated that they will do a better job at meetings in the future to make sure they stick to the facts and avoid the personal attacks. Mueller stated that we should make a comment to the chair to have the audience to stop the attacks and get back on topic. Mueller indicated that when he made a motion to deny last month's request at 6848 E Washburn Road, because previous trucking companies have been denied in the county in the past. We also must make sure applicants are aware of what they can do or can't do as well. Mueller noted that we should have stopped the rhetoric that was happening at last month's meeting. Dr. Peloquin noted we should have just stayed on topic and stopped the personal attacks. In addition Dr. Peloquin stated that that this board does a good job of educating the applicant and the audience.

VI. Adjournment

It was moved by Mueller and seconded by Dr. Peloquin to adjourn the meeting at 6:55 P.M. Motion carried unanimously.

Respectfully submitted,

Seth Hyberger,
Black Hawk County Zoning Administrator

REQUEST: Request by Black Hawk County Solid Waste Management Commission for a special permit in order to install a new gas collection and control system (GCCS) at W of 6607 Hammond Avenue.

APPLICANT: Black Hawk County Solid Waste Management Commission, 229 E Park Ave., Waterloo, IA 50704

LOCATION: The 3.0 acres in question is located at W of 6607 Hammond Avenue, which is 2,300 feet north of the E Washburn Road and Hammond Avenue Intersection.

ZONING

HISTORY: The one parcel containing the 3.0 acres for the proposed special permit area has been zoned “A” Agricultural District since the adoption of the Zoning Ordinance on November 18, 1982. The applicant as part of a separate application request is requesting to rezone the 3.0 acres from “A” Agricultural District to “C-M” Commercial Manufacturing District. The Planning and Zoning Commission unanimously recommended approval of the rezone request at their regular meeting on February 21, 2023. The rezone request was approved with a 5-0 vote by the Board of Supervisors at their regular meeting on March 21, 2023.

SURROUNDING

LAND USE: The surrounding area consists of the City of Waterloo and the Black Hawk County Solid Waste Facility, with some rural homes.

FUTURE LAND

USE MAP: The special permit area is designated as “Agricultural”. The surrounding area is designated as “Agricultural” to the south and west. Land to the east is designated as “A” Agricultural District and “A-L” Agricultural-Limited District. Land to the north is the City of Waterloo.

FLOOD PLAIN

INFORMATION: None of the special permit area is located in a special flood hazard area as designated by the Federal Emergency Management Agency’s FEMA 2011 Floodplain Map and the FEMA Preliminary Floodplain Map. The FIRM Panel number is 19013C0312F, adopted July 18, 2011.

LESA SCORE: The site has a Land Evaluation score of 94 and LESA Score of 200 (indicating moderate agricultural value) (see attached sheet).

OTHER

INFORMATION: The applicant is requesting a special permit in order to construct a gas collection and control system (GCCS). The system will collect landfill gas and clean it to meet the natural gas utilities pipeline specifications and then market the bio-gas. Pine Creek RNG was selected as a potential developer for the system. The parcel is large enough to accommodate one developable lot that will meet the lot and size requirements for the “C-M” Commercial-

Manufacturing District by being greater than 0.172 acres in size and wider than 50 feet.

Landfill gas is comprised of mainly methane, carbon dioxide with traces of nitrogen, oxygen, and other compounds. Methane as a compound is very similar to the natural gas that is used to heat your residence. In the landfill, this gas can potentially be the cause of odors, fires, and ground water contamination. The environmental impact of this project is the equivalent to the removal of 20,000 tons of waste from the landfill, 15,585,000 gallons of gasoline not consumed or 164,889 acres of trees planted.

A special permit is required for the “Manufacture, storage, refining, extraction, and pumping of chemicals, fertilizers, or petroleum products.” The collection and processing of natural gas falls under this type of special permit use. The property only has value as a landfill site due to the location of gas pipelines across the property as well. This project will reduce the Landfill’s green house gas impact on the community. In addition this 1.5 million dollar project will be funded through private investment and profits through the sale of the treated gas will benefit the Black Hawk County Solid Waste Management Commission.

The Planning and Zoning Commission recommended unanimous approval of the special permit request at their regular meeting on February 21, 2023.

AIRPORT
LAND USE
AND HEIGHT
OVERLAY

REVIEW: The proposed rezone area is not located within the Black Hawk County Waterloo Airport Land Use and Height Overlay Review area. Therefore all conditions are met.

TECHNICAL
REVIEW

COMMITTEE: The Technical Review Committee did not have any concerns regarding this request.

Black Hawk County Board of Adjustment

May 23, 2023



500 250 0 500
Feet



W of 6607 Hammond Ave.
Special Permit
Black Hawk County Solid
Waste Management Commission

Black Hawk County Board of Adjustment

May 23, 2023



500 250 0 500
Feet



W of 6607 Hammond Ave.
Special Permit
Black Hawk County Solid
Waste Management Commission
FEMA 2011 FP Map

Black Hawk County Board of Adjustment

May 23, 2023



500 250 0 500
Feet



W of 6607 Hammond Ave.
Special Permit
Black Hawk County Solid
Waste Management Commission
FEMA Preliminary FP Map

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

Applicant Information:		
	Name	Black Hawk County Solid Waste Management Comm.
	Street Address	229 E Park Ave.
	City/State/Zip	Waterloo, IA 50704
	Phone Number	319-234-8815
	Fax Number	
	Email Address	
	Parcel Identification Number	8813-22-426-007 and 8813-22-426-006
Person Performing Evaluation:		Seth Hyberger
Date of Evaluation:		1/31/2023

Land Value Category	LESA Score Range
Low Agricultural Value	0-196
Moderate Agricultural Value	197-241
High Agricultural Value	242-300

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

SITE ANALYSIS SUMMARY TABLE

PART ONE: LAND EVALUATION	POINTS	WEIGHT FACTOR	SCORE
1.0 Average Site Value	94	1	94
Subtotal			94
PART TWO: SITE ASSESSMENT	POINTS	WEIGHT FACTOR	SCORE
1.0 Land in Ag. Adjacent to Site	7	3	21
2.0 Percent of Area in Ag. within 1 Mile	3	3	9
3.0 Adjacent Zoning	9	3	27
4.0 Compatibility w/ Surround. & Plan	5	3	15
5.0 Environmental Factors	7	2	14
6.0 Distance to Urbanized Area	0	2	0
7.0 Size of Parent Parcel (Viability for Ag.)	10	1	10
8.0 Adjacent/Access Road Surface	0	1	0
9.0 Distance to Public Sewer	2	1	2
10.0 Distance to Fire/Rescue Services	8	1	8
Subtotal			106
PART ONE: LAND EVALUATION SCORE	(100 points possible)		94
PART TWO: SITE ASSESSMENT SCORE	(200 points possible)		106
TOTAL LESA SCORE	(300 points possible)		200



BLACK HAWK COUNTY
SOLID WASTE MANAGEMENT COMMISSION

January 30, 2023

Black Hawk County Zoning Department
715 Mulberry Street
Waterloo, IA 50703

Planning and Zoning Commissioners:

On behalf of the Black Hawk County Solid Waste Management Commission (BHCSWMC) I am providing this letter to you to provide details regarding its request to rezone 3.3 acres on BHCSWMC property north of E. Washburn Road and west of Hammond Road, just outside the Waterloo City Limits. We are requesting a portion of three parcels to be changed from Agricultural to Commercial – Manufacturing and a Special permit issued due to our partnership with Pine Creek RNG to install a gas cleaning facility.

Background

The BHCSWMC is an intergovernmental entity consisting of Black Hawk County and all municipalities located within the County to manage solid waste for the county. It owns approximately 600 acres in total; with 126 acres of closed landfill, 41 acres open landfill, 70 acres used for ancillary services (which are a portion of this request) and 190 for agricultural purposes. This request focuses on the Commission property west of Hammond Road.

In 2019, the Commission purchased approximately 41 acres from Lael Hoskins (parcel id 881322426006) and 8 acres from Larry Hoskins (parcel id 881322401003), for the sole purpose of storing 2.5 million cubic yards of soil from the Cell W-3 landfill expansion project. Another 2.0 million will be stockpiled on the same property in the future. This was in addition to the 20 acres purchased in 2013 (parcel id 881322426007). While this land is zoned agriculture, it is not being used as such since the majority of the topsoil has been stripped and stockpiles constructed. The property does not have value as a landfill due to the location of gas pipelines across the property; nor as agricultural as the top soils have all been disturbed.

Project Description

One environmental concern for the BHCSWMC is the generation of landfill gas; which is comprised of mainly of methane and carbon dioxide with traces of nitrogen, oxygen and other compounds. Methane is basically the same as natural gas used for heating homes. In the landfill, this gas can potentially be the cause of odors, fires and ground water contamination. There are vents in the landfill to allow some of the landfill gas to be released into the atmosphere to alleviate the issues noted. The facility is compliant with its Air Permit and is not required to control this gas.

While the facility is compliant, its commissioners decided it needed to take action to reduce the Landfill's green house gas impact on the community to support its members climate action plans. After this direction was provided and a search began, Pine Creek RNG was selected as a potential developer to the Commission to install a gas collection and control system (GCCS) to collect the landfill gas, clean it to meet the natural gas utilities pipeline specifications and then market the bio-gas.



BLACK HAWK COUNTY
SOLID WASTE MANAGEMENT COMMISSION

In January 2021, the BHCSWMC entered into a Gas Rights and Access Lease Agreement with Pine Creek RNG to do exactly what was mentioned above. While the GCCS will be on the landfill property, the plant will be on Commission owned property and leased to Pine Creek. Pine Creek will own and operate the Gas plant. Fortunately, the Commission owned property with close proximity to natural gas lines for the interconnection to the utility.

As part of the Agreement, Pine Creek RNG will install a GCCS at no cost to BHCSWMC, offsetting approximately \$1.5 million capital improvement cost, which will be required in the future to address environmental compliance. Pine Creek will be constructing the Gas Cleaning Facility adjacent to the landfill. This site will consist of approximately 3.3 acres where a steel building similar to the one below will be constructed.

Inside the building will be a series of prefabricated skids which will refine the gas removing the carbon dioxide, nitrogen, oxygen and other contaminate to produce clean bio-fuel which will be used to offset fossil fuels; such as gasoline and diesel fuels. The gas will be then injected into the pipeline and sold as a bio-fuel to offset diesel or gasoline usage.



The environmental impact of this property is the equivalent to the removal of 20,000 tons of waste from the landfill, 15,585,000 gallons of gasoline not consumed or 164,889 acres of trees planted. From the Black Hawk County Landfill alone.

This project is an example of public – private partnership which can bring value to all parties involved. The Black Hawk County Solid Waste Management Commission is requesting your support for this project by modifying the zoning on the parcel indicated in the Attached ALTA Survey and approve the special permit to meet the usage of the site.

If you have any questions regarding this matter do not hesitate to contact me at (319) 210-8860 or jfoster@wastetrac.org.

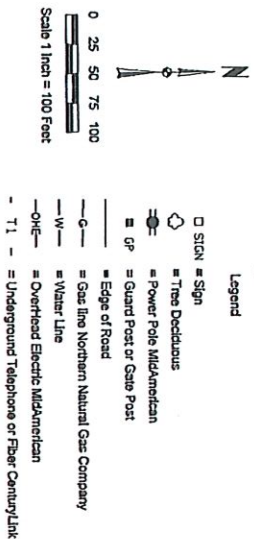
Sincerely,

A handwritten signature in blue ink, appearing to read "J. Foster", written over a horizontal line.

John A. Foster
Administrator

ALTA/NSPS Land Title Survey
for Lease Area in the Southeast 1/4
Section 22, Township 88 North, Range 13 West of the 5th P. M.
County of Black Hawk, Iowa

Table "A" Items 1, 3, 5, 8 and 11b



CENTURYLINK (Lumen)
Contact Name : SKADIE HULL
Contact Phone : 91835470147
Contact Email : skadie.hull@lumen.com

LA PORTE CITY TELEPHONE COMPANY (Did not respond)
Contact Name : David Powell
Contact Phone : 3192942689
Contact Email : dpowell@laportecity.net

MID AMERICAN-6S5
Contact Name : Joryn Weber
Contact Phone : 3192934728
Contact Email : jweber@miamerican.com

MEDIA.COM (Did not respond)
Contact Name : Brian Kasher
Contact Phone : 8855498555
Contact Email : bkaisher@media.com

MID AMERICA-EEC
Contact Name : Joryn Weber
Contact Phone : 3192934728
Contact Email : jweber@miamerican.com

WATERLOO WATER WORKS
Contact Name : David Conn
Contact Phone : 2242835031
Contact Email : DConn@waterworks.ca

MID AMERICAN-ELEC
Contact Name: Jordan Weber
Contact Phone: 319.393.4728
Contact Email: jweber@midamerican.com

MID AMERICAN-GAS
Contact Name: Jordan Weber
Contact Phone: 319.393.4728
Contact Email: jweber@midamerican.com

WATERLOO WATER WORKS
Contact Name: CHAD COON
Contact Phone: 225.622.85013
Contact Email: Chad.Coon@waterloowater.com

I hereby certify that this Land Surveying document was prepared by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Michael R. Finkle

MICHAEL R. FINKLE
Date

License number 8505

My license renewal date is December 31, 2022

Pages or Sheets covered by this seal:

Three Sheets

Bearing / Distance			Lease Area
1 To	2	5.00'04.14" E	528.38'
2 To	3	S.89°55.46' W	315.72'
3 To	4	S.29°12.06' E	228.32'
4 To	5	S.89°06.52" W	586.05'
5 To	6	N.06°44.36" W	247.14'
6 To	3	N.89°12.49" E	479.26'
1 To	7	5.00'04.14" E	2566.77'

Description of Lease Area:

A tract of land situated in part of Parcel "A" shown on a plat of survey that is recorded in document number 2013-00013815 in the Office of the Black Hawk County Recorder, and part of Parcel "D" shown on a plat of survey that is recorded in document number 2020-00001653 in the Office of the Black Hawk County Recorder, all in the Southeast 1/4 of Section 22, Township 68 North, Range 13 West of the 5th P.M., County of Black Hawk, State of Iowa, more particularly described as follows:

Commencing at the Northeast corner of the Southeast 1/4 of said Section 22, thence South 00°04'44" East (assumed bearing for the purpose of this description) along the East line of the Southeast 1/4 of said Section 22, a distance of 528.38 feet; thence South 89°59'45" West 315.72 feet to the Point of Beginning; thence South 29°12'06" East, 278.32 feet; thence South 89°06'52" West, 586.05 feet; thence North 06°44'36" West, 247.14 feet; thence North 89°12'49" East, 479.26 feet to the Point of Beginning.

Containing 3.0 Acres.

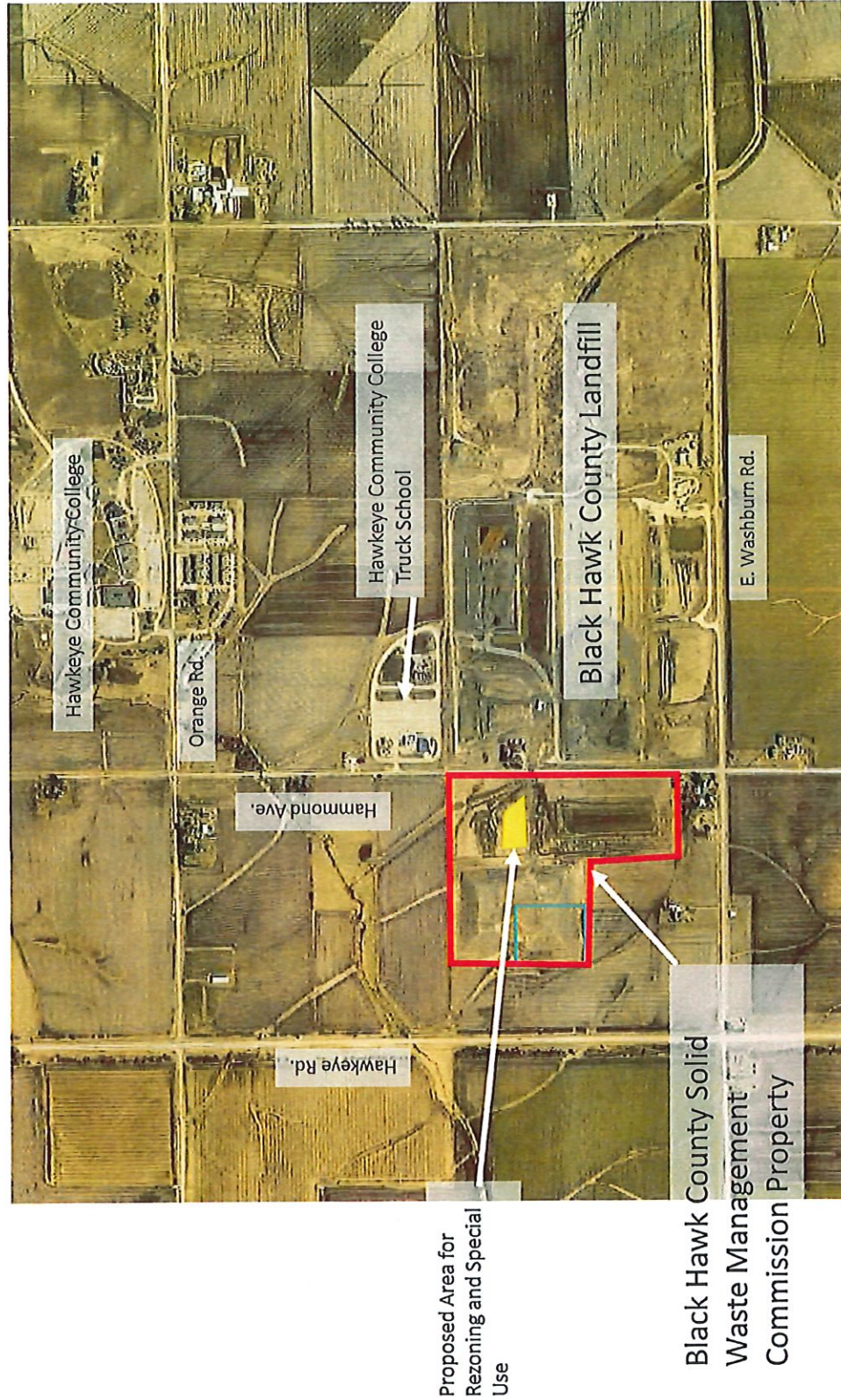
Owner of the Property is Black Hawk County Solid Waste Management Commission.

Containing 3.0 Acres:

Owner of the Property is Black Hawk County Solid Waste Management Commission.

AECOM

Overview location of Proposed Zoning Change for the Black Hawk County Solid Waste Management Commission



REQUEST: Request by Flynn Company Incorporated for a special permit to allow for the placement of a temporary portable concrete batch plat in the “C-M” Commercial-Manufacturing District at West of 10915 E Dunkerton Road.

APPLICANT: Flynn Company Inc., PO Box 327, Dubuque, IA 52003

LOCATION: The 9.24 acres in question is located at W of 10915 E Dunkerton Road, which is 3,300 feet east of the E Dunkerton Road and N Nesbit Road Intersection.

ZONING

HISTORY: The one parcel containing the 9.25 acres for the proposed special permit area has been zoned “C-M” Commercial Manufacturing District since August 25, 1995 when it was rezoned from “A” Agricultural District.

SURROUNDING

LAND USE: The surrounding area consists of the rural homes and farmland. The site is zoned “A” Agricultural District to the north, south, east, and west.

FUTURE LAND

USE MAP: The special permit area is designated as “Agricultural” on the future land use map. The surrounding area is designated as “Agricultural” to the south. Land to the north, east, and west is designated as “Agricultural” and “Parks and Open Space.”

FLOOD PLAIN

INFORMATION: The majority of the site is located within a special flood hazard area as designated by the Federal Emergency Management Agency’s FEMA 2011 Floodplain Map and the FEMA Preliminary Floodplain Map. However, there is an adequate amount of land on the southern edge of the parcel that is not located in the 100-year floodplain or located within the 500-year floodplain to allow for the placement of a temporary concrete batch plant. The 500-year floodplain is not regulated by FEMA or Black Hawk County. The FIRM Panel number is 19013C0209F, adopted July 18, 2011.

LESA SCORE: The site has a Land Evaluation score of 69 and LESA Score of 209 (indicating moderate agricultural value) (see attached sheet).

OTHER

INFORMATION: The applicant is requesting a special permit in order to temporarily place a concrete batch plant at west of 10915 E Dunkerton Road. Flynn Company Inc., were recently awarded a project in Buchanan County to complete work on V62. This very same property owned by Dunkerton CO-OP has previously utilized as temporary concrete batch plant in the past. Work at the plant will start in late April and begin paving early/mid May. The project will only take place for approximately two weeks. After the project is complete the site will be returned back to its preexisting condition. Flynn Company Incorporated will maintain all applicable IDNR permits including air emissions, storm

water discharge, non-recurring use of water, and erosion control measures as needed.

AIRPORT
LAND USE
AND HEIGHT
OVERLAY
REVIEW:

The proposed rezone area is not located within the Black Hawk County Waterloo Airport Land Use and Height Overlay Review area. Therefore all conditions are met.

TECHNICAL
REVIEW
COMMITTEE:

The Technical Review Committee questioned if there should be a time limit for how long the special permit is good for. Hyberger noted that the Planning and Zoning Commission could place a condition on the property that limits the special permit use until project completion or for a specified number of months.

Black Hawk County Planning and Zoning Commission

April 18, 2023



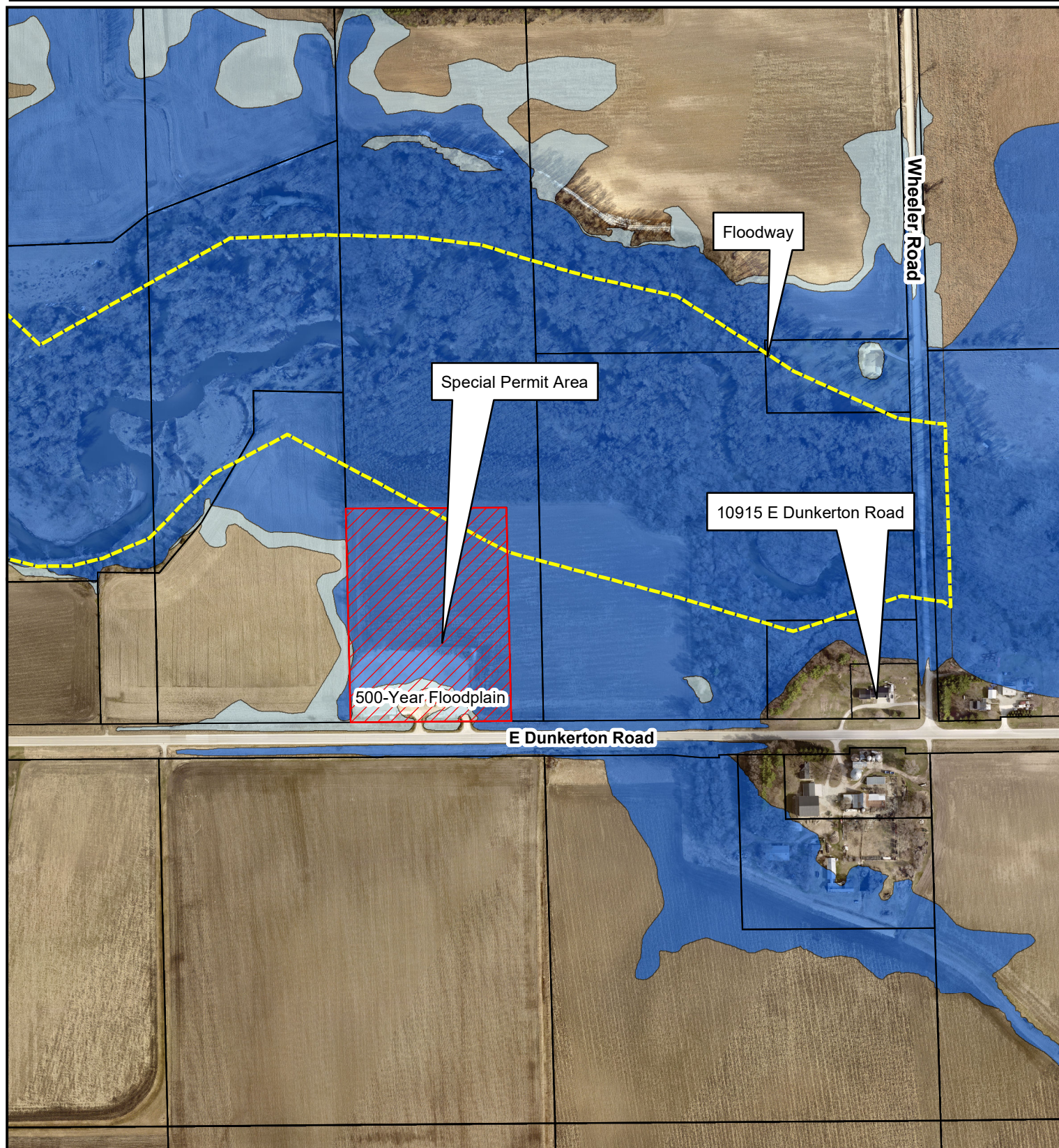
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W of 10915 E Dunkerton Road
Special Permit
Flynn Company Inc.

Black Hawk County Planning and Zoning Commission

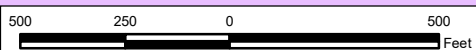
April 18, 2023



Zone AE (100-Year Floodplain)

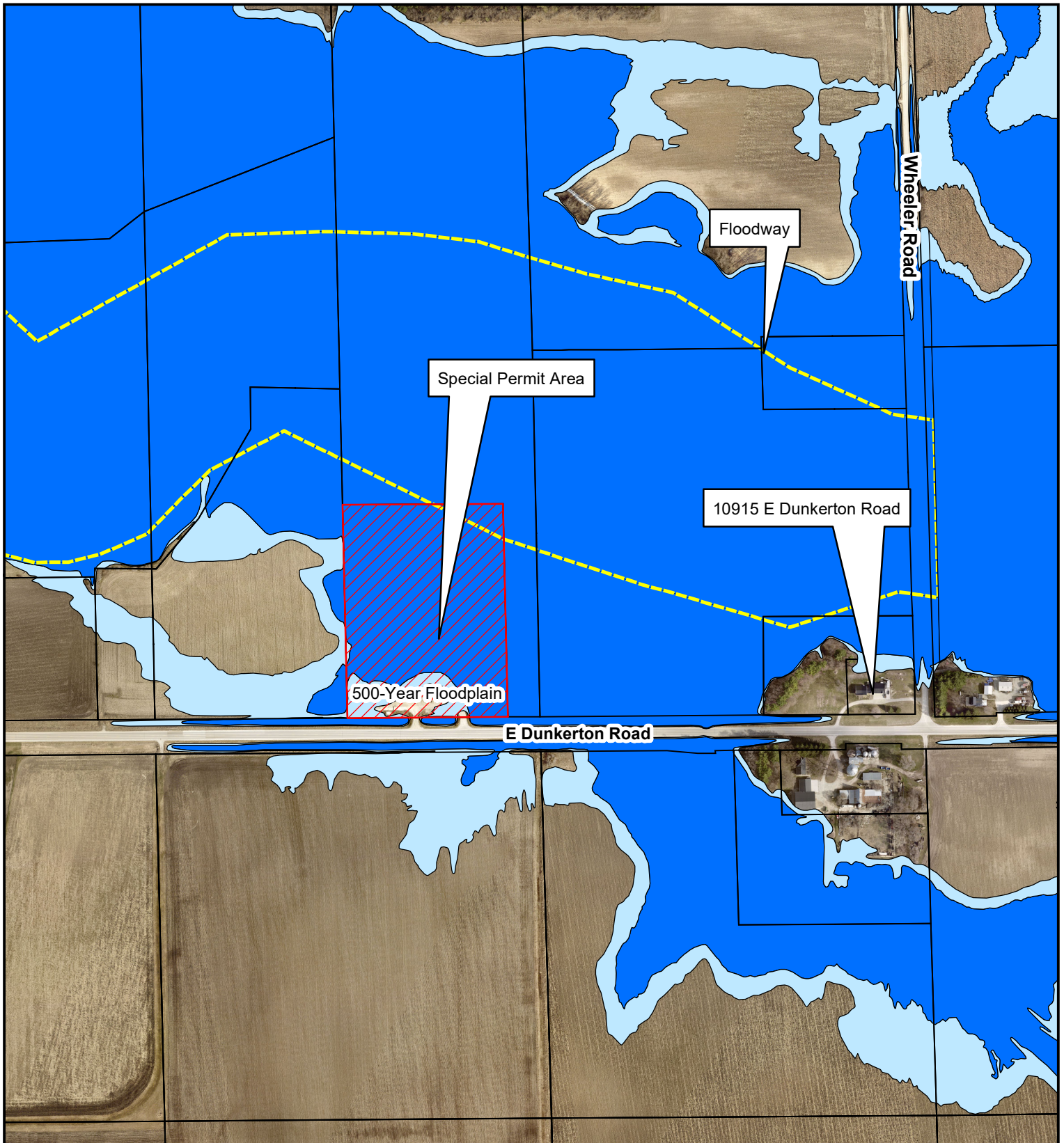


W of 10915 E Dunkerton Road
Special Permit
FEMA 2011 FP Map
Flynn Company Inc.



Black Hawk County Planning and Zoning Commission

April 18, 2023



Zone AE (100-Year Floodplain)



W of 10915 E Dunkerton Road
Special Permit
FEMA Preliminary FP Map
Flynn Company Inc.

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

Applicant Information:		
	Name	Flynn Company Incorporated
	Street Address	PO Box 327
	City/State/Zip	Dubuque, Iowa 52003
	Phone Number	319-504-6862
	Fax Number	
	Email Address	
	Parcel Identification Number	9011-27-401-005
Person Performing Evaluation:		Seth Hyberger
Date of Evaluation:		3/28/2023

Land Value Category	LESA Score Range
Low Agricultural Value	0-196
Moderate Agricultural Value	197-241
High Agricultural Value	242-300

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

SITE ANALYSIS SUMMARY TABLE

PART ONE: LAND EVALUATION	POINTS	WEIGHT FACTOR	SCORE
1.0 Average Site Value	69	1	69
Subtotal			69
PART TWO: SITE ASSESSMENT	POINTS	WEIGHT FACTOR	SCORE
1.0 Land in Ag. Adjacent to Site	10	3	30
2.0 Percent of Area in Ag. within 1 Mile	6	3	18
3.0 Adjacent Zoning	10	3	30
4.0 Compatibility w/ Surround. & Plan	5	3	15
5.0 Environmental Factors	7	2	14
6.0 Distance to Urbanized Area	7	2	14
7.0 Size of Parent Parcel (Viability for Ag.)	5	1	5
8.0 Adjacent/Access Road Surface	0	1	0
9.0 Distance to Public Sewer	10	1	10
10.0 Distance to Fire/Rescue Services	4	1	4
Subtotal			140
PART ONE: LAND EVALUATION SCORE	(100 points possible)		69
PART TWO: SITE ASSESSMENT SCORE	(200 points possible)		140
TOTAL LESA SCORE	(300 points possible)		209

Flynn Company Inc.

P.O. Box 327
Dubuque IA 52004

PH 563 556 5334
FX 563 556 5068

Black Hawk County
Planning and Zoning
715 Mulberry St
Waterloo, Ia 50703

22Mar23

Special Use Permit

The Flynn Company is submitting an application for a special use permit in Black Hawk County. We have been awarded a project in Buchanan County on V62. This road runs from Fairbank south 4.5 miles to the north side of Buck Creek. We are proposing to locate our portable concrete batch plant on a parcel of land owned by the Dunkerton Co-op (Parcel ID 901127401005). This property has previously had portable concrete batch plants located on it. Flynn Co would move our plant in in Late April and begin paving in early/mid May. The project will take approximately 2 weeks. After it is complete the plant will be removed and the site returned to its preexisting condition. Flynn Company will maintain all applicable IDNR permits including Air Emissions, Storm Water Discharge and Non Recurring Use of Water as well as erosion control measures as needed. Please contact me at your convenience if you have any questions

Sincerely



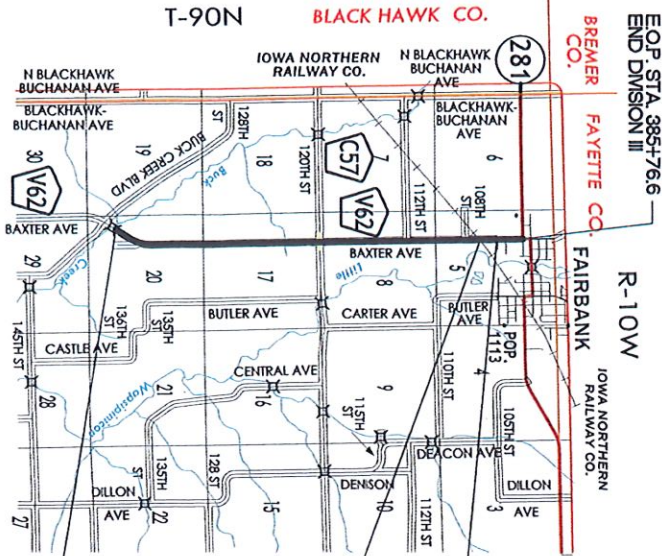
Mark Gorton

Flynn Company Inc

BUCHANAN COUNTY P.C.C. OVERLAY/P.C.C. PAVEMENT WIDENING

Project Number: FM-TSF-CO10(115)--5B-10

LETTING DATE FEB. 21, 2023



BOF STA. 197+115
BEGIN DIVISION I
BEGIN DIVISION II

STA. 372+48.4
END DIVISION I
END DIVISION II
Iowa Northern Railway
FRA Crossing No. 200856H

2017 AVERAGE ANNUAL DAILY TRAFFIC: 1500 VEHICLES PER DAY



P.C.C. OVERLAY/P.C.C. PAVEMENT WIDENING

Project Number: FM-TSF-CO10(115)--5B-10
On V62, from IA 281 S 3.5 miles to N. side Buck Creek Bridge

REFER TO SHEET C.03 FOR STANDARD ROAD PLAN LIST

REFER TO THE PROPOSAL FORM FOR LIST OF APPLICABLE SPECIFICATIONS



HIGHWAY DIVISION

PLANS OF PROPOSED IMPROVEMENT ON THE FARM TO MARKET SYSTEM BUCHANAN COUNTY

Project Number: FM-TSF-CO10(115)--5B-10

INDEX OF SHEETS

TOTAL SHEETS 18

No.	Description
A.01	TITLE SHEET
B.01 - B.02	EXISTING TYPICAL CROSS SECTIONS
B.03 - B.05	PROPOSED TYPICAL CROSS SECTIONS
C.01 - C.02	ESTIMATE OF QUANTITIES
C.03	GENERAL NOTES, STANDARD ROAD PLANS, MISC. TABULATIONS, & DETAILS
C.04	MISCELLANEOUS TABULATIONS & PIPE INSTALLATION PLAN VIEW
C.05	PAVEMENT MARKING TABULATIONS
C.06	MILLED EDGE LINE RUMBLE STRIP DETAILS
C.07	MILLED CENTERLINE RUMBLE STRIP DETAILS
L.01	MANHOLE JOINTING DETAILS
L.02	RAILROAD AND BRIDGE APPROACH JOINTING DETAILS
L.03	INTERSECTION GEOMETRIC LAYOUT AND JOINTING DETAILS
L.04	PAVED DRIVEWAY DETAILS
S.01	SIDEWALK DETAILS

MILEAGE SUMMARY		
Div.	Location	Ln. Ft. Miles
1 & 2	FROM STA. 197+11.5 TO STA. 372+48.4	17536.50 3.2313
3	FROM STA. 372+48.4 TO STA. 385+76.6	1328.20 0.2316
	TOTAL	18864.70 3.5729

I hereby certify that this engineering document was prepared by me under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Brian Kerleber 10/24/2022
BRIAN KERLEBER, P.E.
License number - 11142
My license renewal date is December 31, 2022.
Pages or sheets covered by this seal: _____
All sheets in set

Approved BUCHANAN County Board of Supervisors

Approved CITY OF FAIRBANK

Brian Kerleber
Brian Kerleber Mayor 10-24-22

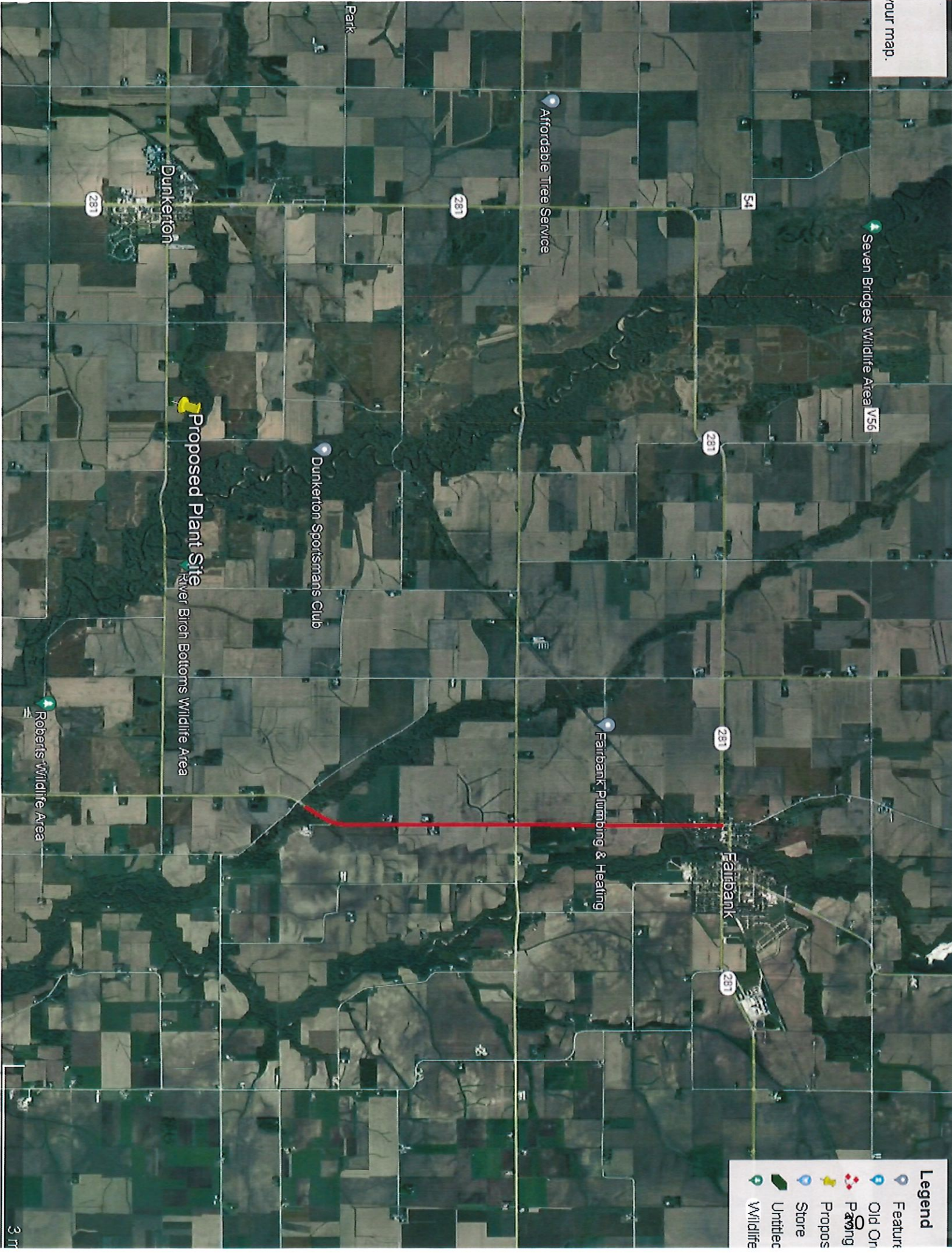
Project Number: FM-TSF-CO10(115)--5B

Sheet No. A.01





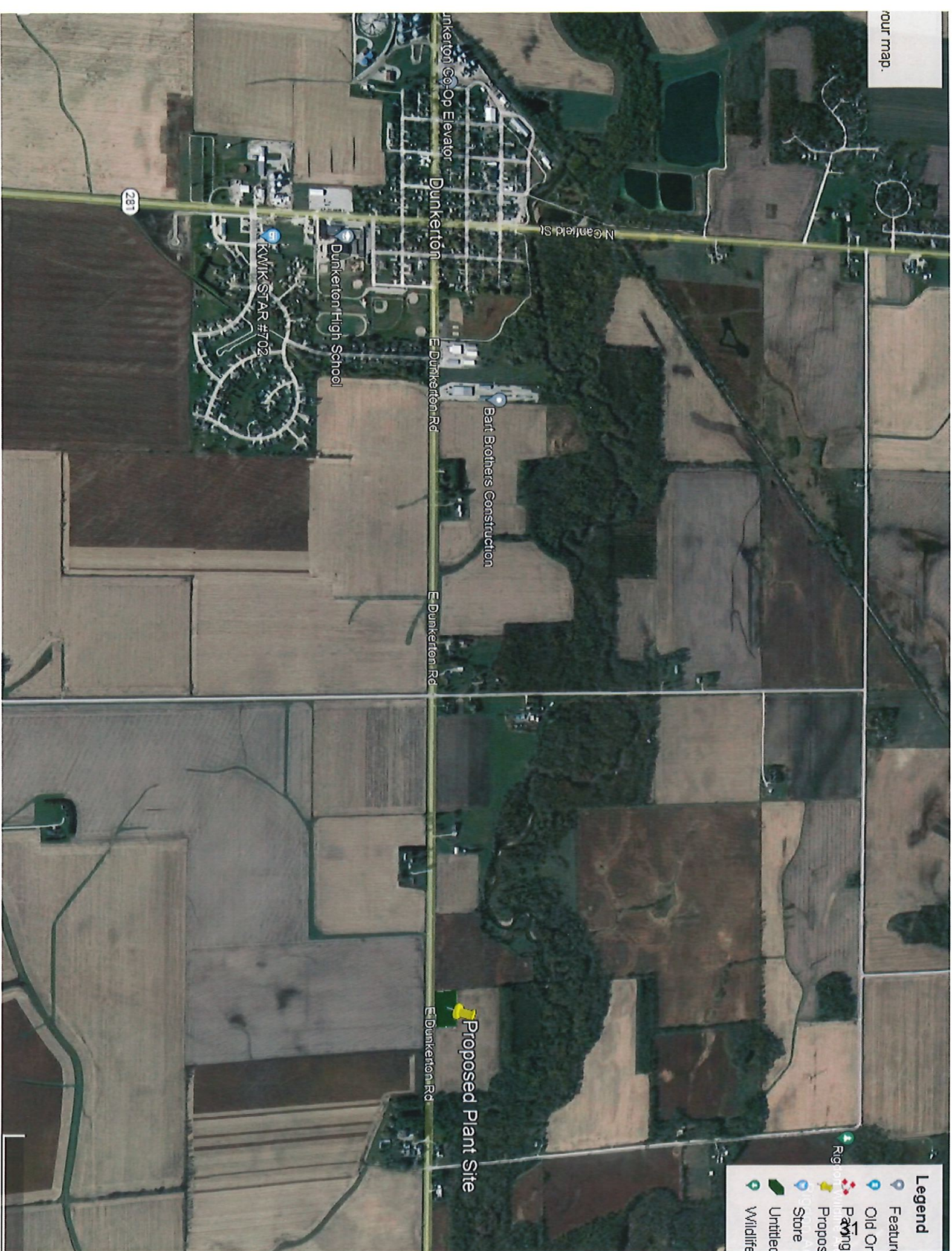
our map.



Legend

- Feature
- Old On
- Propos
- Store
- Untilec
- Wildlife

our map.



Proposed Plant Site

E Dunkerton Rd

Dunkerton

E Dintkenton Rd

E Dunkerton Rd

E Dunkerton Rd

Dunkerton High School

KWIK STAR #702

Bart Brothers Construction

N Canfield St

281

Legend

- Feature
- Old On
- Part
- Propos
- Store
- Unitlec
- Wildlife



BLACK HAWK COUNTY PLANNING AND ZONING COMMISSION
REQUEST FOR SPECIAL PERMIT

1. APPLICATION INFORMATION:

- a. Applicant's Name (please print): Flynn Co Inc
Address: P.O. Box 327 Phone: 563 556 5334
City: Dubuque State: Ia Zip: 52003
- b. Status of Applicant: (a) Owner ☐ (b) Other ☐ (CHECK ONE): If other explain: _____
- c. Property Owner's Name if different than above (please print): Dankerton Co-op
Address: 509 West Dankerton St Phone: 319 822 4291
City: Dankerton State: Ia Zip: 50626

2. REQUEST INFORMATION:

The Request is a (CHECK ONE)

- ☐ It is a request for a Special Permit for establishment of a Conditional Use (floodplain development) (requires engineering data submitted along with).
- ☒ It is a request for a Special Permit for establishment of a Use Exception.

2. PROPERTY INFORMATION:

- a. Legal Description of Area Involved in Request: Parcel ID # 901127401005
SE 1/2 Sec 27 T90 R11
- b. General Location of Property: 1.4 miles East of Dankerton
- c. Current Zoning District: C-M
- d. The land will be utilized for: To locate a Temporary Portable Concrete Batch Plant - to provide concrete for Buchanan County paving Project
- e. Reason for Request and Proposed Use of Property: Plant will provide concrete to pave US 62 in Buchanan County

Please Note: For properties with Zoning with conditions, the request **must** go through a Conditional Amendment process prior to issuance of a Special Permit.

The Request Fee of \$125 (payable to Black Hawk County) is required. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Black Hawk County Planning and Zoning Commission, Board of Supervisors and/or Board of Adjustment in making their decision. The undersigned authorize County Zoning Officials to enter the property in question in regards to the request.

[Signature] 23 Mar 23
Signature of Applicant Date

[Signature] 3/24/2023
Signature of Owner Date
General Manager

REQUEST: Request by Northern Natural Gas Company request for a special permit to construct a 25' X 102' (2,550 square feet) natural gas compression station in the "A" Agricultural District at East of 8221 Hammond Avenue.

APPLICANT: Northern Natural Gas Company, 4910 E Sheridan Avenue, Des Moines, IA 50317.

LOCATION: The 42.70 acres in question is located at East of 8221 Hammond Avenue, which is 2,700 feet east of the E Schrock Road and Hammond Avenue intersection.

ZONING HISTORY: The one parcel containing the 42.7 acres for the proposed special permit area has been zoned "A" Agricultural District since November 18, 1982 when Black Hawk County adopted its first Zoning Ordinance.

SURROUNDING LAND USE: The surrounding area consists of rural homes and farmland. The site is zoned "A" Agricultural District to the south and west. Land to the east is zoned "A" Agricultural District and "C-M" Commercial-Manufacturing District. Land to the north is zoned "A" Agricultural District and "A-L" Agricultural Limited District.

FUTURE LAND USE MAP: The special permit area is designated as "Agricultural" on the future land use map. The surrounding area is designated as "Agricultural" to the north, south, east, and west.

FLOOD PLAIN INFORMATION: The site plan amendment area is not located in a special flood hazard area per the Federal Emergency Management Agency's FEMA 2011 Floodplain Map or the FEMA Preliminary Floodplain Map. The FIRM Panel number is 19013C0315F, adopted July 18, 2011.

LESA SCORE: The site has a Land Evaluation score of 96 and LESA Score of 251 (indicating high agricultural value) (see attached sheet).

OTHER INFORMATION: The property (main parcel) has a LESA score of 251 out of 300, which is considered a high agricultural site. The Zoning Ordinance notes that land that is classified as having high agricultural value should be strongly discouraged for development in almost every case. It also states that in general, these sites are reserved for agricultural activities and protected from urban development or urban use encroachment. However, the Ordinance also states that only under very unique circumstances are these sites to be developed and only after compelling evidence is provided. The Zoning Ordinance does list several criteria that could be considered unique and compelling evidence. They are as follows:

1. Area has not been in active row crop production or conservation reserve program (CRP) for the previous 15 years.
2. Area is not conducive to production by reason of parcel size or shape.
3. Area is compatible with surrounding uses by reason of similar adjacent uses.

Meeting any one of these criteria should not constitute approval however, as each request will be reviewed and evaluated based on its individual circumstances.

The site where the 25' X 102' (2,550 square feet) natural gas compression station will be placed on is heavily industrialized and has not been farmed for several years. No land will be taken out of agricultural production.

The facility will also contain a mechanical room, control room, kitchen and bathroom. The natural gas compression station is needed to update existing services for Northern Natural Gas Company's customers.

The Planning and Zoning Commission recommended unanimous approval of the request at their regular meeting on April 18, 2023.

AIRPORT
LAND USE
AND HEIGHT
OVERLAY
REVIEW:

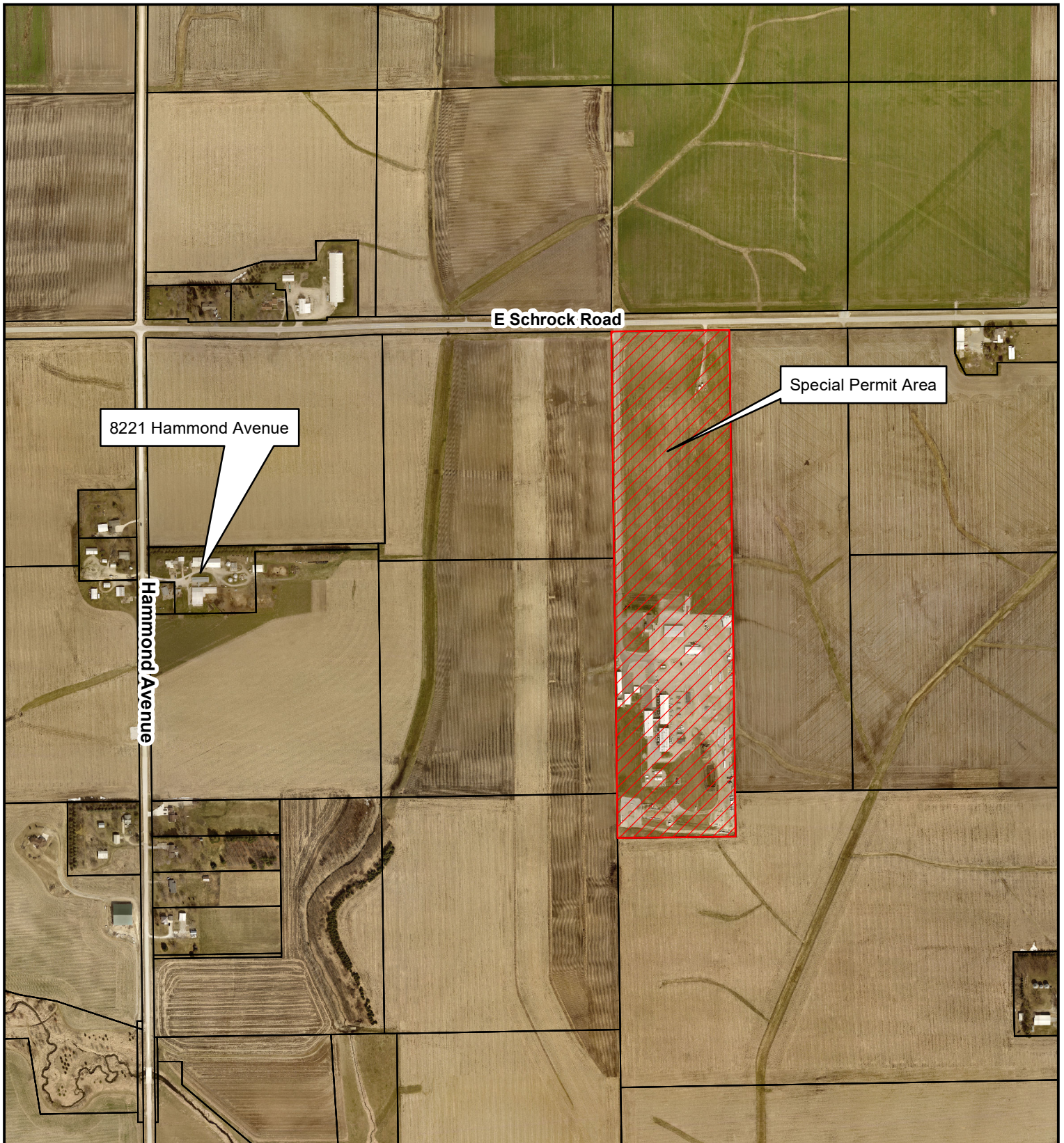
The proposed rezone area is not located within the Black Hawk County Waterloo Airport Land Use and Height Overlay Review area. Therefore all conditions are met.

TECHNICAL
REVIEW
COMMITTEE:

The Technical Review Committee did not have concerns regarding this request.

Black Hawk County Board of Adjustment

May 23, 2023



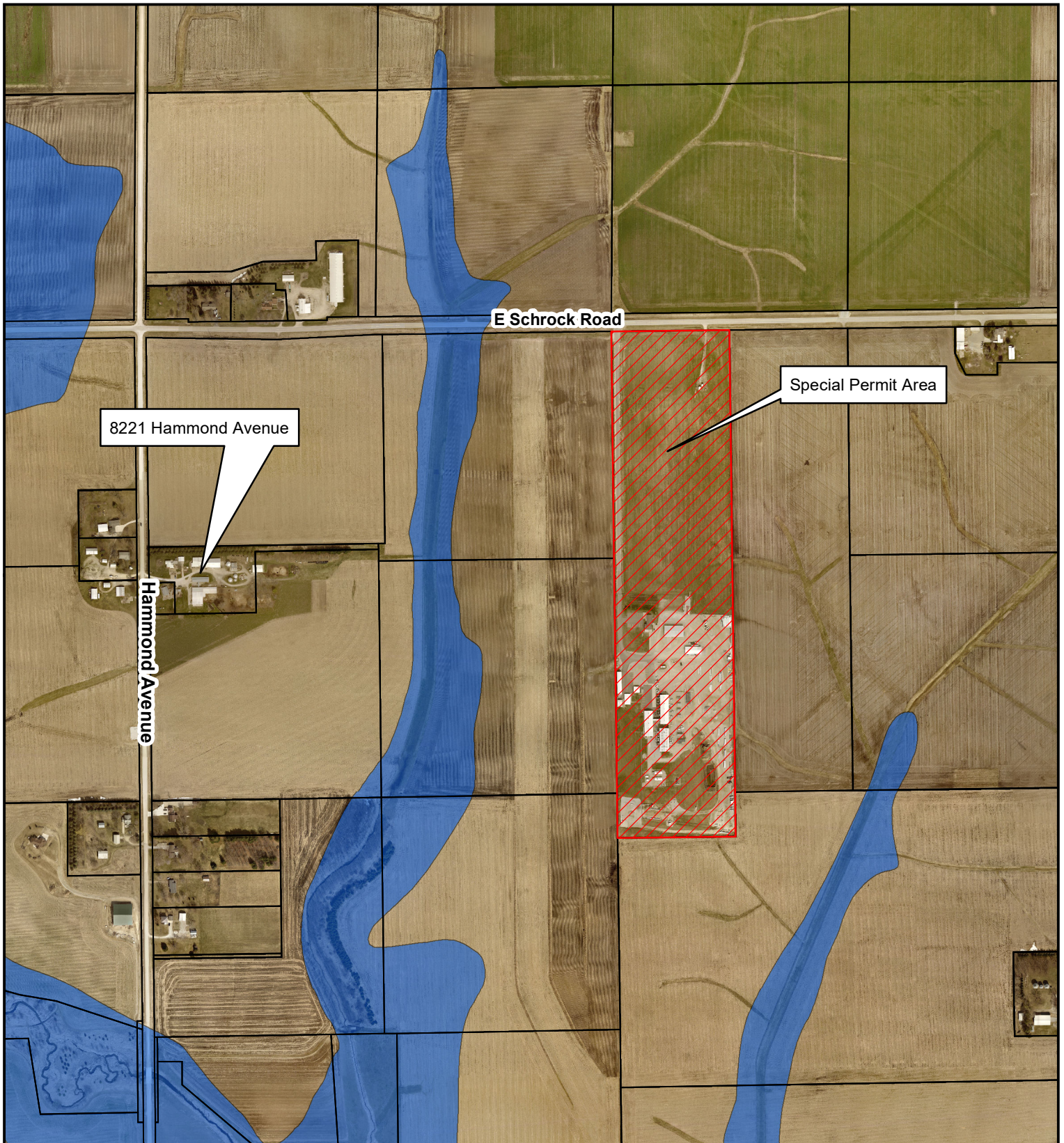
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Feet



E of 8221 Hammond Avenue
Special Permit
Northern Natural Gas Company

Black Hawk County Board of Adjustment

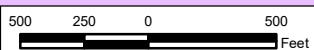
May 23, 2023



Zone A (100-Year Floodplain)

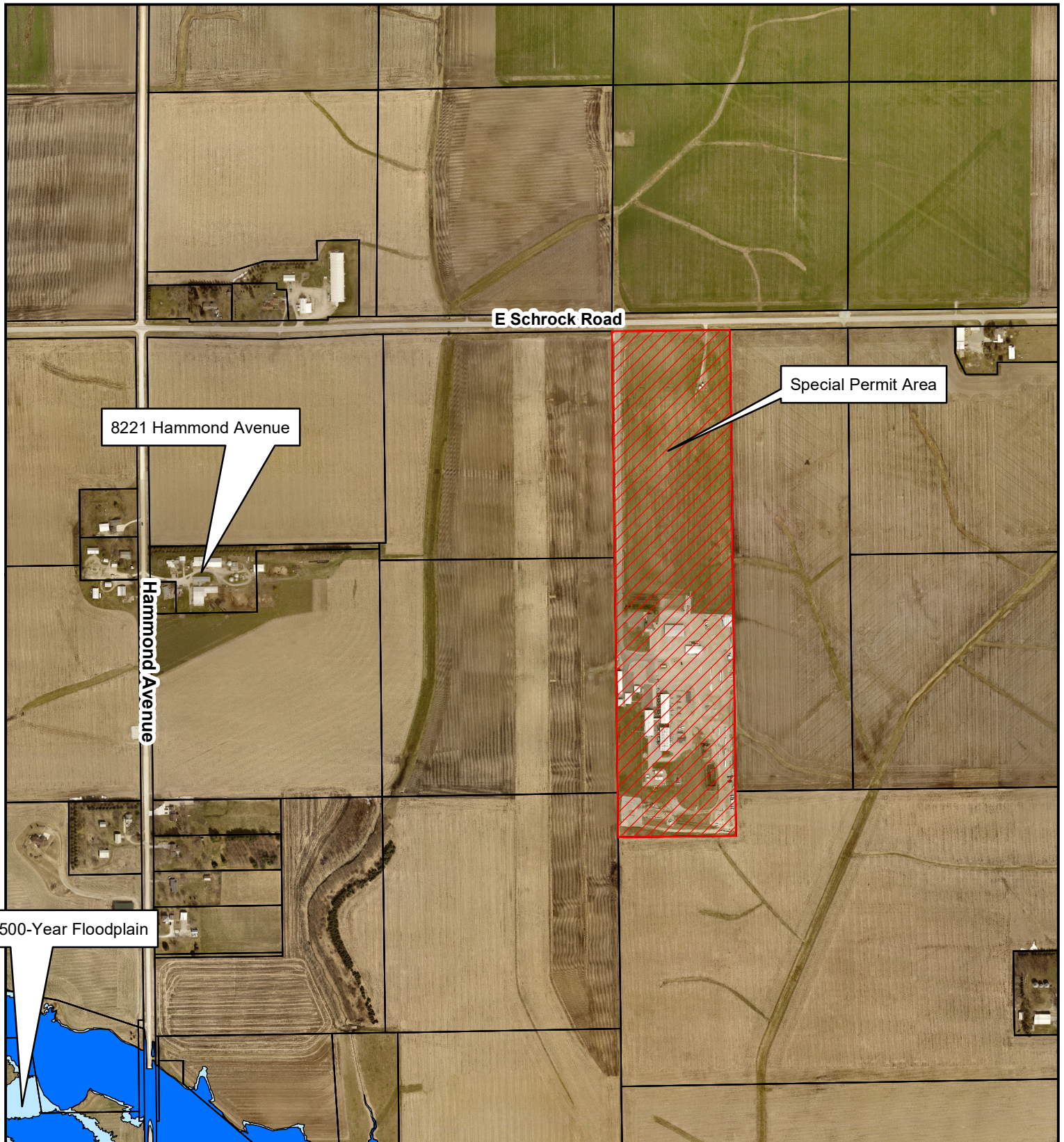


E of 8221 Hammond Avenue
Special Permit
FEMA 2011 FP Map
Northern Natural Gas Company



Black Hawk County Board of Adjustment

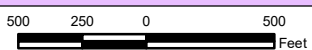
May 23, 2023



Zone A (100-Year Floodplain)



E of 8221 Hammond Avenue
Special Permit
FEMA Preliminary FP Map
Northern Natural Gas Company



INTERNAL INFORMATION

DISTRIBUTION/COPIES LIMITED TO PROJECT NEEDS

A	ISSUED FOR BID	ACA									
NO.		REVISION - DESCRIPTION	BY	DATE	CHKD	APPD					

BID

DO NOT USE FOR CONSTRUCTION

STATUS	BY	CHECKED	DATE	BY	APPROVED	DATE
PRELIM						
BID						
CONST.						

FAC CODE	N/A	REL W/O	N/A		
PL#	N/A	CONST YR	2023		
ST#	14-067	BY	PO#	N/A	DATE
DESIGN	ACA				2/23
DRAWN	ACA				2/23
ASBUILT					
FILE NO.					
SCALE AS NOTED					

WATERLOO COMPRESSOR STATION

WATERLOO MCC BUILDING REPLACEMENT

MCC BUILDING LAYOUT

S35, T88N, R13W

BLACK HAWK COUNTY, IOWA

Northern Natural Gas

WORK ORDER NO.

01084301

DWG. NO.

S5-6A

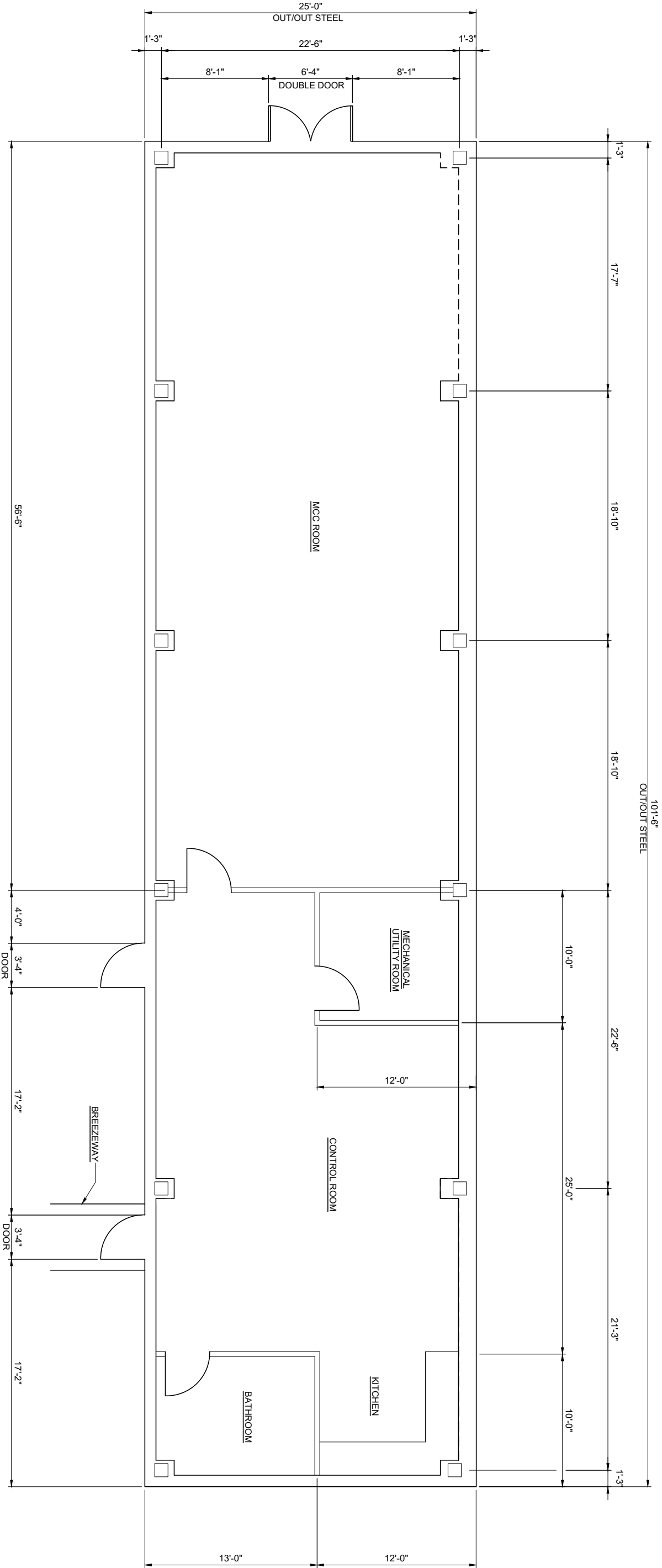
LEGEND

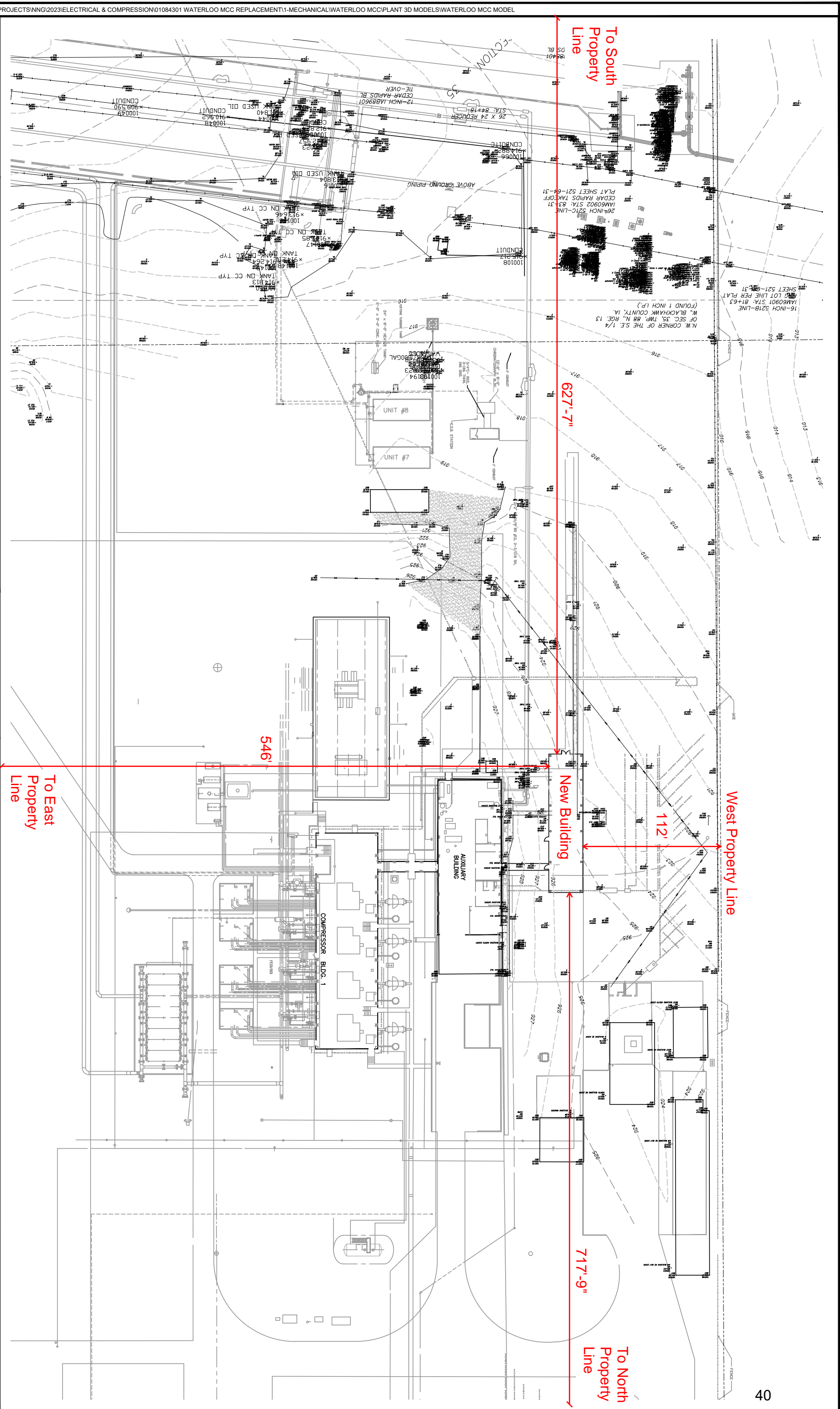
----- EXISTING FACILITIES

----- NEW CONSTRUCTION

- NOTES:**
1. ALL NEW CONSTRUCTION TO BE DONE BY CONTRACTOR.
 2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION.
 3. ALL REQUIRED MATERIAL FOR FOUNDATION TO BE FURNISHED BY CONTRACTOR.

- SCALE NOTES:**
1. IF PAPER SIZE IS 22" x 34", NOTED SCALE APPLIES
 2. IF PAPER SIZE IS 11" x 17" - SCALE WILL BE DOUBLED





INTERNAL INFORMATION

DISTRIBUTION/COPIES LIMITED TO

PROJECT NEEDS

NO.	REVISION - DESCRIPTION	BY	DATE	CHKD	APPD

PRELIMINARY

DRAWING

DO NOT USE FOR CONSTRUCTION

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BID						
CONST.						

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P#	CONST. YR
ST#	PO#
BY	DATE
DESIGN	
DRAWN	
ASBUILT	
FILE NO.	
SCALE	

WORK ORDER NO.

DWG. NO.

41

VENDOR AND FABRICATION DRAWINGS

[illegible]

INTERNAL INFORMATION	
DISTRIBUTION COPIES LIMITED TO PROJECT NEEDS	
NO.	ISSUED FOR BID
1	REVISION DESCRIPTION
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WATERLOO COMPRESSOR STATION	
CIVIL GENERAL NOTES	
SEC. 35, 178N, R3W	
BLACK HAWK COUNTY, IOWA	
DATE	NO.
01/04/2021	50-08
Northern Natural Gas	

STEEL REIN LAP SCHEDULE:	
CONCRETE LAP SCHEDULE (IN)	
BAR	10-3600 PSI
3	17
4	22
5	28
6	36
7	43
8	55
9	60
10	66
11	72
12	77
13	80
14	86
15	91
16	95
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81	478
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83	490
84	496
85	502
86	508
87	514
88	520
89	526
90	532
91	538
92	544
93	550
94	556
95	562
96	568
97	574
98	580
99	586
100	592

THIS FOUNDATION SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

THE ALLOWABLE SLUMP AT THE POINT OF DELIVERY SHALL BE WITHIN THE FOLLOWING RANGES:

TYPE OF CONSTRUCTION	MAXIMUM	MINIMUM
REINFORCED FOUNDATION, WALLS, AND FOOTINGS	5"	2"
SLABS, BEAMS, WALLS, AND COLUMNS	5"	3"
PAVEMENTS AND HEAVY MASS CONSTRUCTION	3"	2"

WHEN HIGH FREQUENCY VIBRATORS ARE USED, THE VALUES FOR ALLOWABLE SLUMP SHOULD BE REDUCED ONE THIRD.

ALL FORMS SHALL BE OF DRESSED LUMBER, STEEL, OR ROUGH LUMBER LINED WITH PLYWOOD DISPOSABLE. FIBER FORMS MAY BE USED FOR CIRCULAR VERTICAL MENBERS.

ANY EXCESS CONCRETE OR CHUTE CLEAN UP SHALL BE DEPOSITED AT A SITE DESIGNATED BY COMPANY REPRESENTATIVE.

COUNTRY ROADS OR BORROW DITCHES SHALL NOT BE USED FOR THIS PURPOSE.

EXPOSED EDGES OF CONCRETE SHALL HAVE A 1" VERTICAL CHAMFER TO 3" BELOW GRADE.

CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO HOLD THE ANCHOR BOLTS SECURELY IN THE CORRECT POSITION DURING PLACEMENT AND CURING OF CONCRETE.

ALL FOUNDATION MATERIAL & ANCHORS ARE TO BE FURNISHED BY THE CONTRACTOR.

GENERAL NOTES:

1.0 THE STEEL FRAMING AND ALL CONCRETE SHALL BE TEMPORARILY BRACED UNTIL ALL STEEL BRACING, AND CONCRETE HAVE BEEN INSTALLED AND ALL CONNECTIONS BETWEEN THESE ELEMENTS HAVE BEEN MADE.

1.1 THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF PENETRATIONS THROUGH THE STRUCTURE FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK.

2.0 FOUNDATION SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

2.1 FOOTING DEIGNS ARE BASED ON A NET SOIL BEARING CAPACITY OF 2000 PSF.

2.2 THE CONTRACTOR MUST READ THE SOIL REPORT AND BE THOROUGHLY FAMILIAR WITH SITE AND SUBGRADE INFORMATION GIVEN THEREIN.

2.3 ALL BUILDING FLOORS SHALL BE COATED WITH A LIQUID SEALANT.

2.4 STANDING PROTECTORS OF PROTECTORS FOR FOUNDATIONS AND EXCAVATIONS SHALL BE EMPLOYED FOR WINTER CONSTRUCTION. BACKFILLING SHALL BE DONE IN 6" LAYERS.

2.5 PROVIDE SAW CUT JOINTS AT 10' OF MAXIMUM SPACING UNLESS NOTED OTHERWISE ON THE CONTRACT DRAWINGS.

2.6 PROVIDE 2" x 4" x 4" LONG DIAGONALLY AT TOP AND BOTTOM OF SLAB AT REINFORCING CORNERS.

2.7 1" INDICATES SAW CUT LONGITUDINALLY IN SLAB ON GRADE. "CONST" 1" INDICATES DOWNED CONSTRUCTION JOINT IN SLAB ON GRADE.

2.8 FASER BARS IN FOOTINGS AND STEM WALLS SHALL BE CONTINUOUS. PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS AND REF CORNER BARS.

2.9 FOUNDATION WALLS SHALL HAVE TEMPORARY BRACING BEFORE BACKFILL IS PLACED AGAINST THEM. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL WALL IS PERMANENTLY BRACED.

2.10 FOUNDATION PENETRATIONS SHALL BE SUBJECT TO APPROVAL BY THE OWNERS REPRESENTATIVE. PENETRATIONS SHALL BE THROUGH FOUNDATION WALLS OR FLOORS.

2.11 ALL DISTURBED AREAS SHALL BE RE-ROCKED TO AS FOUND CONDITION.

2.12 CONCRETE AND REINFORCING STEEL SHALL BE FURNISHED BY THE CONTRACTOR.

3.0 MINIMUM COMPRESSIVE STRENGTH (PSI) AT THE END OF 28 DAYS SHALL BE AS FOLLOWS:

CONCRETE	MINIMUM
A. STRUCTURAL CAST-IN-PLACE CONCRETE	3000 PSI
B. CAST-IN-PLACE CONCRETE BUILDING SLABS AND FOOTINGS	3000 PSI
C. CAST-IN-PLACE EXPOSED CONCRETE SLABS	3500 PSI

FOR ALL OTHER CONCRETE PROPERTIES REFER TO SPECIFICATIONS.

3.1 REINFORCING STEEL SHALL MEET ASTM SPECIFICATION A601 FOR DETAILING PRACTICES AND FABRICATION, AND A615 FOR STANDARD PRACTICE FOR WORKING AND REFER TO A615 FOR CONCRETE COVER, A615 FOR DETAILING PRACTICES AND FABRICATION, AND A615 FOR STANDARD PRACTICE FOR WORKING AND FABRICATION.

3.2 LEAN CONCRETE, MIN 1/2" SLABS PORTLAND CEMENT PER CUBIC YARD.

3.3 COAT CONCRETE FLOORS WITH COMMERCIAL GRADE SEALER.

4.0 STRUCTURAL STEEL SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTH AND SPECIFICATIONS:

STEEL	YIELD	ASTM SPECIFICATION
A. WIDE FLANGE STEEL SHAPES	36 KSI	A 99
B. STRUCTURAL STEEL PIPE	42 KSI	A 500 GRADE B
C. STRUCTURAL STEEL TUBING	35 KSI	A 500 GRADE B
D. STRUCTURAL STEEL PLATE	36 KSI	A 500 GRADE B
E. BEARING TYPE, ALL BOLTS SHALL BE TIGHTENED TO 120 FT LBS.	36 KSI	A 308 TYPE 1 GRADE B
F. WELDING SHALL MEET AISC 360, PART 5, WELDING CODE. ELECTRODES SHALL BE TO 60K LOW HYDROGEN.	36 KSI	A 308 TYPE 1 GRADE B
G. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF CONNECTIONS THAT ARE NOT DESIGNED OR FULLY DETAILED ON THE CONTRACT DRAWINGS.	36 KSI	A 308 TYPE 1 GRADE B
H. PROVIDE DOUBLE BUTTS AND DOUBLE WASHERS FOR STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION.	36 KSI	A 308 TYPE 1 GRADE B
I. PROVIDE 1/2" INCH NON-SHRINK GROUT UNDER COLUMN BASE PLATES AFTER ERECTION EXCEPT USE 2" INCH NON-SHRINK GROUT WHEN COLUMN BOLTS ARE 1/2" INCH DIAMETER OR LARGER. NON-SHRINK GROUT, WHERE INDICATED ON PLANS, SHALL BE NON-SHRINK GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS UNDO.	36 KSI	A 308 TYPE 1 GRADE B
J. PROVIDE 1/2" INCH NON-SHRINK GROUT UNDER COLUMN BASE PLATES AFTER ERECTION EXCEPT USE 2" INCH NON-SHRINK GROUT WHEN COLUMN BOLTS ARE 1/2" INCH DIAMETER OR LARGER. NON-SHRINK GROUT, WHERE INDICATED ON PLANS, SHALL BE NON-SHRINK GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS UNDO.	36 KSI	A 308 TYPE 1 GRADE B
K. PROVIDE 1/2" INCH NON-SHRINK GROUT UNDER COLUMN BASE PLATES AFTER ERECTION EXCEPT USE 2" INCH NON-SHRINK GROUT WHEN COLUMN BOLTS ARE 1/2" INCH DIAMETER OR LARGER. NON-SHRINK GROUT, WHERE INDICATED ON PLANS, SHALL BE NON-SHRINK GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS UNDO.	36 KSI	A 308 TYPE 1 GRADE B

4.1 STRUCTURAL STEEL SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTH AND SPECIFICATIONS:

STEEL	YIELD	ASTM SPECIFICATION
A. WIDE FLANGE STEEL SHAPES	36 KSI	A 99
B. STRUCTURAL STEEL PIPE	42 KSI	A 500 GRADE B
C. STRUCTURAL STEEL TUBING	35 KSI	A 500 GRADE B
D. STRUCTURAL STEEL PLATE	36 KSI	A 500 GRADE B
E. BEARING TYPE, ALL BOLTS SHALL BE TIGHTENED TO 120 FT LBS.	36 KSI	A 308 TYPE 1 GRADE B
F. WELDING SHALL MEET AISC 360, PART 5, WELDING CODE. ELECTRODES SHALL BE TO 60K LOW HYDROGEN.	36 KSI	A 308 TYPE 1 GRADE B
G. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF CONNECTIONS THAT ARE NOT DESIGNED OR FULLY DETAILED ON THE CONTRACT DRAWINGS.	36 KSI	A 308 TYPE 1 GRADE B
H. PROVIDE DOUBLE BUTTS AND DOUBLE WASHERS FOR STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION.	36 KSI	A 308 TYPE 1 GRADE B
I. PROVIDE 1/2" INCH NON-SHRINK GROUT UNDER COLUMN BASE PLATES AFTER ERECTION EXCEPT USE 2" INCH NON-SHRINK GROUT WHEN COLUMN BOLTS ARE 1/2" INCH DIAMETER OR LARGER. NON-SHRINK GROUT, WHERE INDICATED ON PLANS, SHALL BE NON-SHRINK GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS UNDO.	36 KSI	A 308 TYPE 1 GRADE B
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4.2 THE TESTING AGENCY SHALL VERIFY THE SUBGRADE IS COMPACTED TO THE OPTIMUM MAXIMUM DRY DENSITY AS SPECIFIED IN THE PAD PREPARATION. A QUALIFIED REPRESENTATIVE OF THE TESTING AGENCY SHALL WITNESS PROOF ROLLING OF THE SUBGRADE TO IDENTIFY UNACCEPTABLE AREAS OF THE BUILDING PAD. THE CONTRACTOR SHALL REWORK OR REMOVE AND REPLACE SOFT AREAS AS DETERMINED TO BE UNACCEPTABLE BY THE TESTING AGENCY. THE TESTING AGENCY SHALL VERIFY THE AGENCY'S REPRESENTATIVE OF THE TESTING AGENCY SHALL WITNESS PROOF ROLLING OF THE SUBGRADE TO IDENTIFY UNACCEPTABLE AREAS OF THE BUILDING PAD. THE CONTRACTOR SHALL REWORK OR REMOVE AND REPLACE SOFT AREAS AS DETERMINED TO BE UNACCEPTABLE BY THE TESTING AGENCY. THE TESTING AGENCY SHALL VERIFY THE AGENCY'S REPRESENTATIVE OF THE TESTING AGENCY SHALL WITNESS PROOF ROLLING OF THE SUBGRADE TO IDENTIFY UNACCEPTABLE AREAS OF THE BUILDING PAD. THE CONTRACTOR SHALL REWORK OR REMOVE AND REPLACE SOFT AREAS AS DETERMINED TO BE UNACCEPTABLE BY THE TESTING AGENCY. 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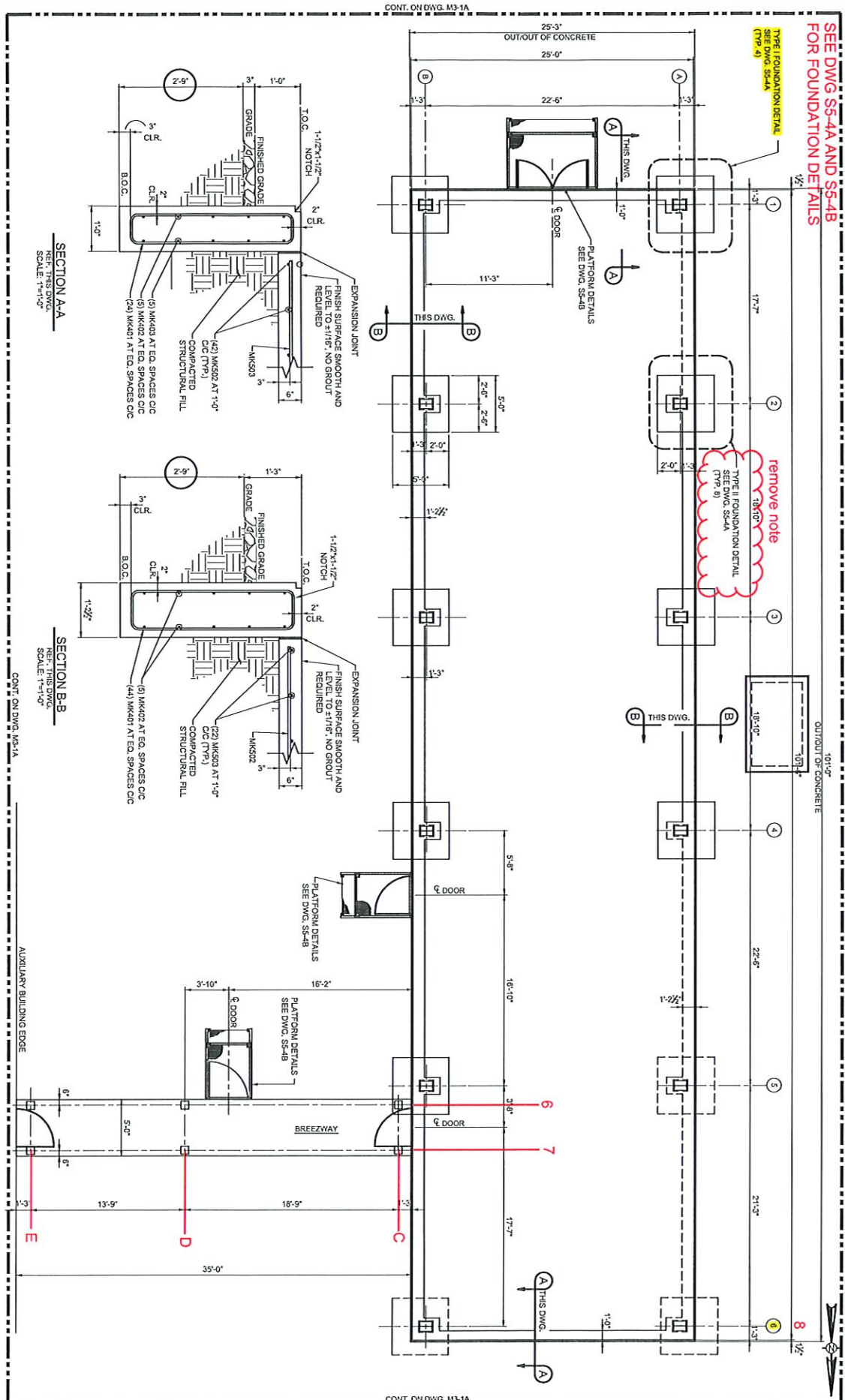
1. IF PAPER SIZE IS 22" x 34" - NOTED SCALE APPLIES
2. IF PAPER SIZE IS 11" x 17" - SCALE WILL BE DOUBLED

 Northern Natural Gas	WORK ORDER NO. 01084301	DWD. NO. S3-1A
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EXISTING FACILITIES
NEW CONSTRUCTION

100' 50' 0 100'-0" 200'-0"

SCALE: 1" = 100'-0"



INTERNAL INFORMATION
DISTRIBUTION COMPANIES LIMITED TO
PROJECT NEEDS

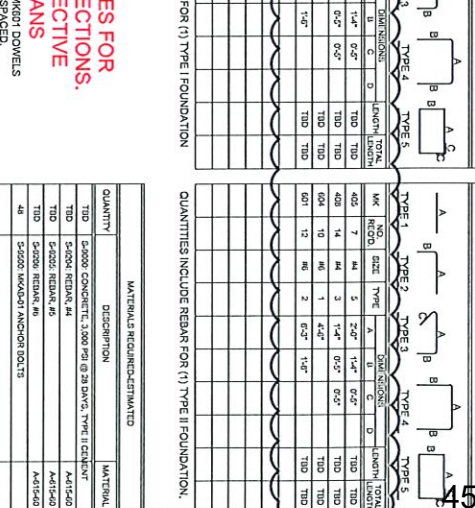
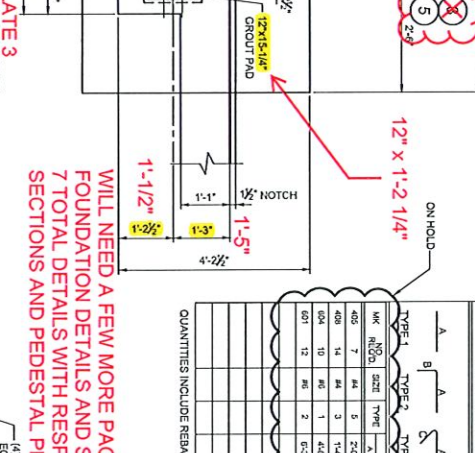
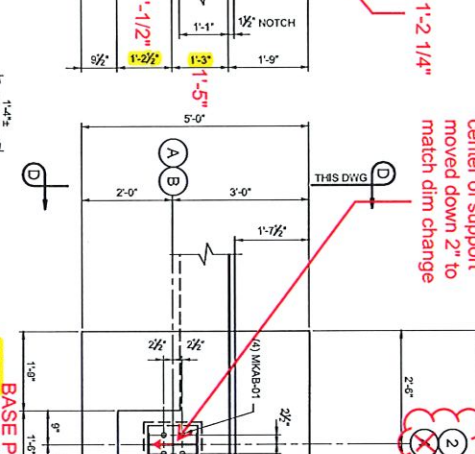
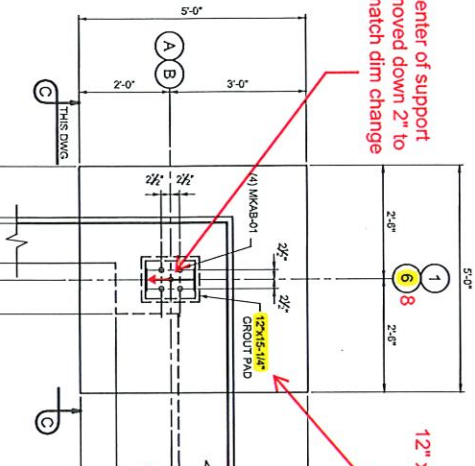
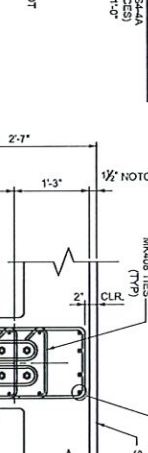
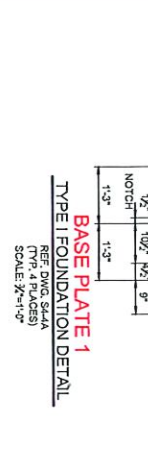
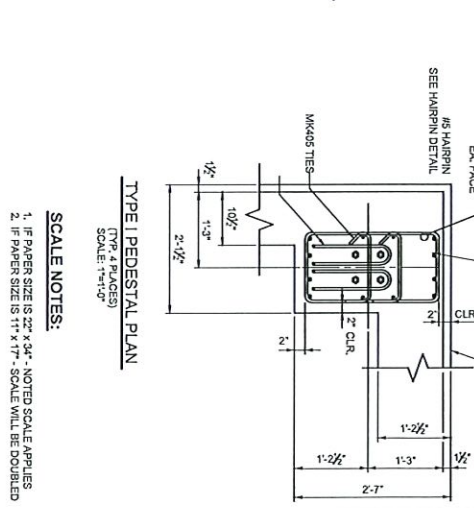
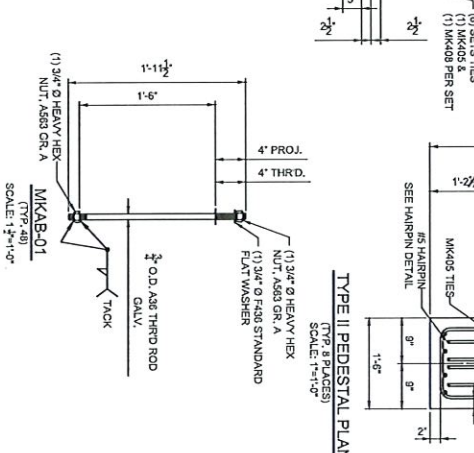
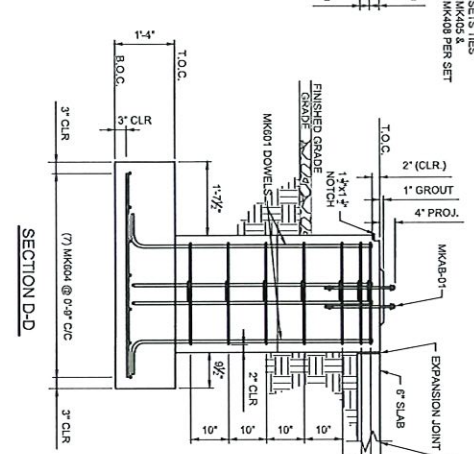
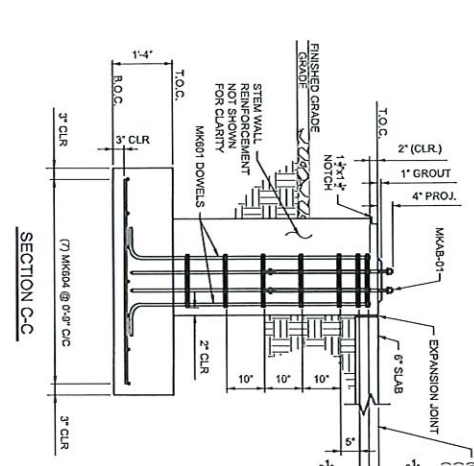
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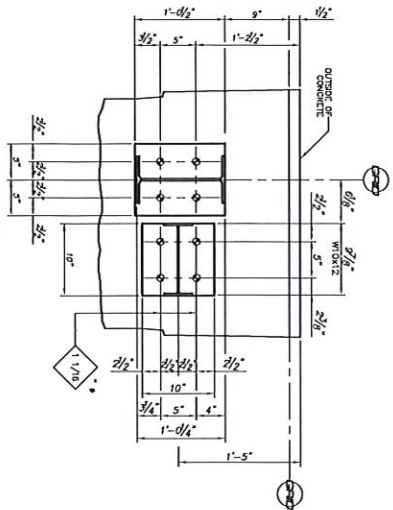
APPROVED
FOR
CONSTRUCTION

STATUS	BY	DATE	BY	DATE	APPROVED	DATE
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CONCT.						
SCALE: AS NOTED						

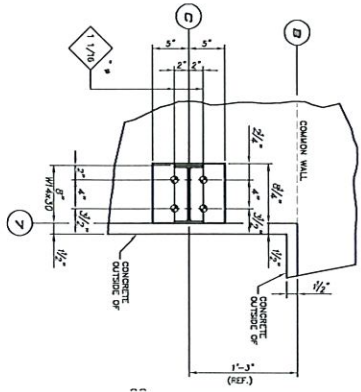
WATERLOO COMPRESSOR STATION
WATERLOO MCC REPLACEMENT
BUILDING FOUNDATION DETAILS
S35, T88N, R13W
BLACK HAWK COUNTY, IOWA

WORK SHEET NO.
01084301
DATE NO.
SS-4A



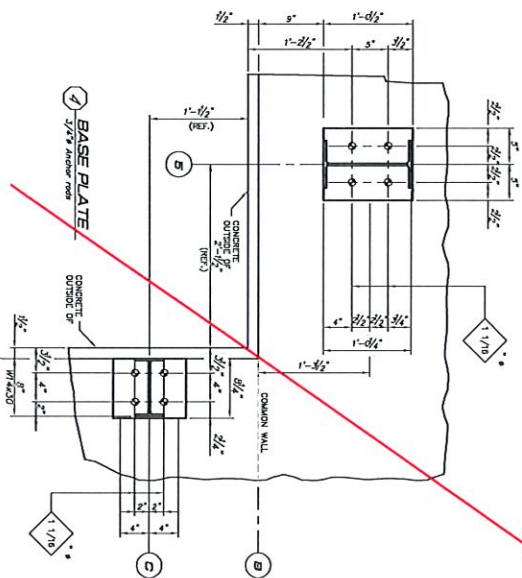


2 BASE PLATE
3/4" x 1/2" ANCHOR ROD

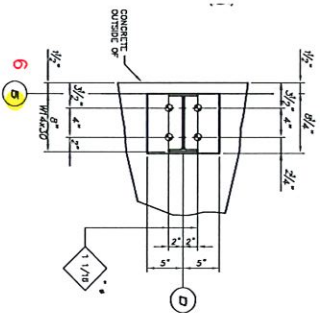


5 BASE PLATE
3/4" x 1/2" ANCHOR ROD

TYPE IV FOUNDATION DETAIL



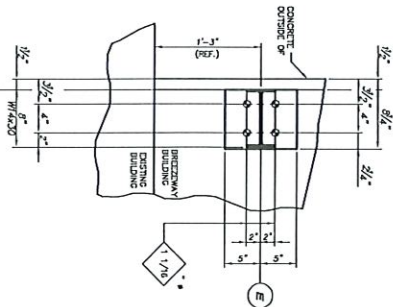
4 BASE PLATE
3/4" x 1/2" ANCHOR ROD



6 BASE PLATE
3/4" x 1/2" ANCHOR ROD

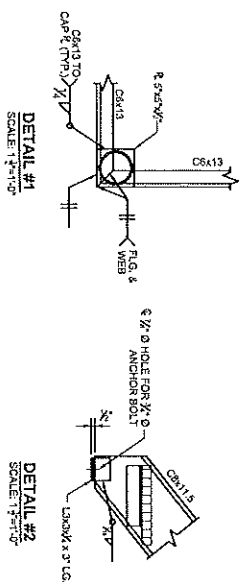
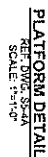
TYPE V FOUNDATION DETAIL

BASE PLATE 4 WILL BE SPLIT:
B-5 IS TYPE III FOUNDATION
C-6 IS TYPE VI FOUNDATION

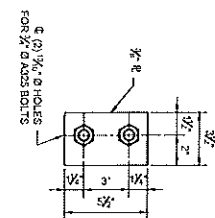
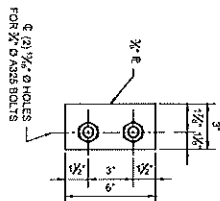
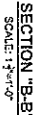
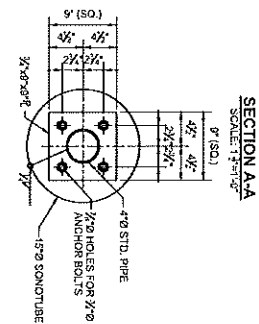
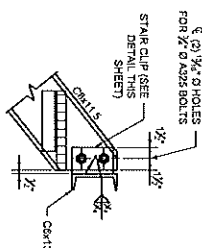
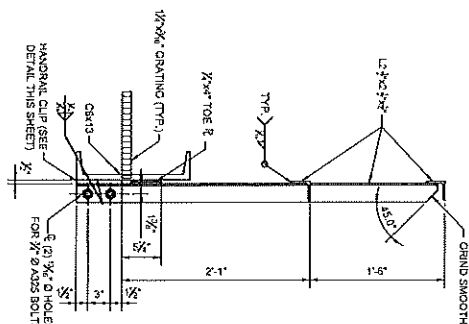


7 BASE PLATE
3/4" x 1/2" ANCHOR ROD

TYPE VI FOUNDATION DETAIL



NOTES:
ALL MATERIAL ON THIS DRAWING IS TO BE FURNISHED
BY THE CONTRACTOR.



SCALE NOTES:


1. IF PAPER SIZE IS 22" x 34" - NOTED SCALE APPLIES
2. IF PAPER SIZE IS 11" x 17" - SCALE WILL BE DOUBLED


[illegible]

BID
DRAWING
DO NOT USE FOR
CONSTRUCTION

[illegible]

WATERLOO COMPRESSOR STATION
WATERLOO MCC BUILDING REPLACEMENT
PLATFORM DETAILS
S35, T88N, R13W
BLACK HAWK COUNTY, IOWA

 Northern
Natural Gas
WORK OFFICE NO
01084331
STATE NO
SS-4B

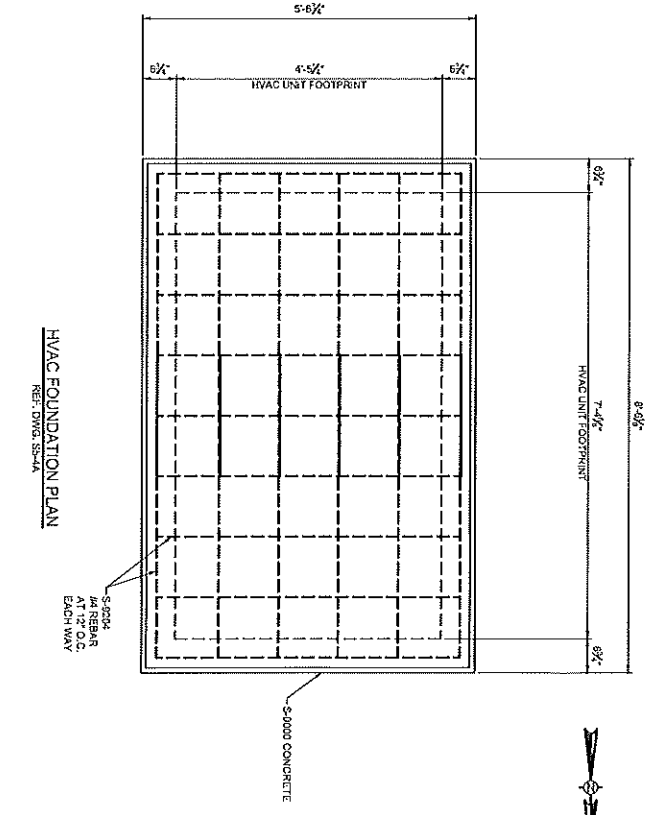


SCALE NOTES:

1. IF PAPER SIZE IS 22" x 34" - NOTED SCALE APPLIES
2. IF PAPER SIZE IS 11" x 17" - SCALE WILL BE DOUBLED

LEGEND

	EXISTING FACILITIES
	NEW CONSTRUCTION



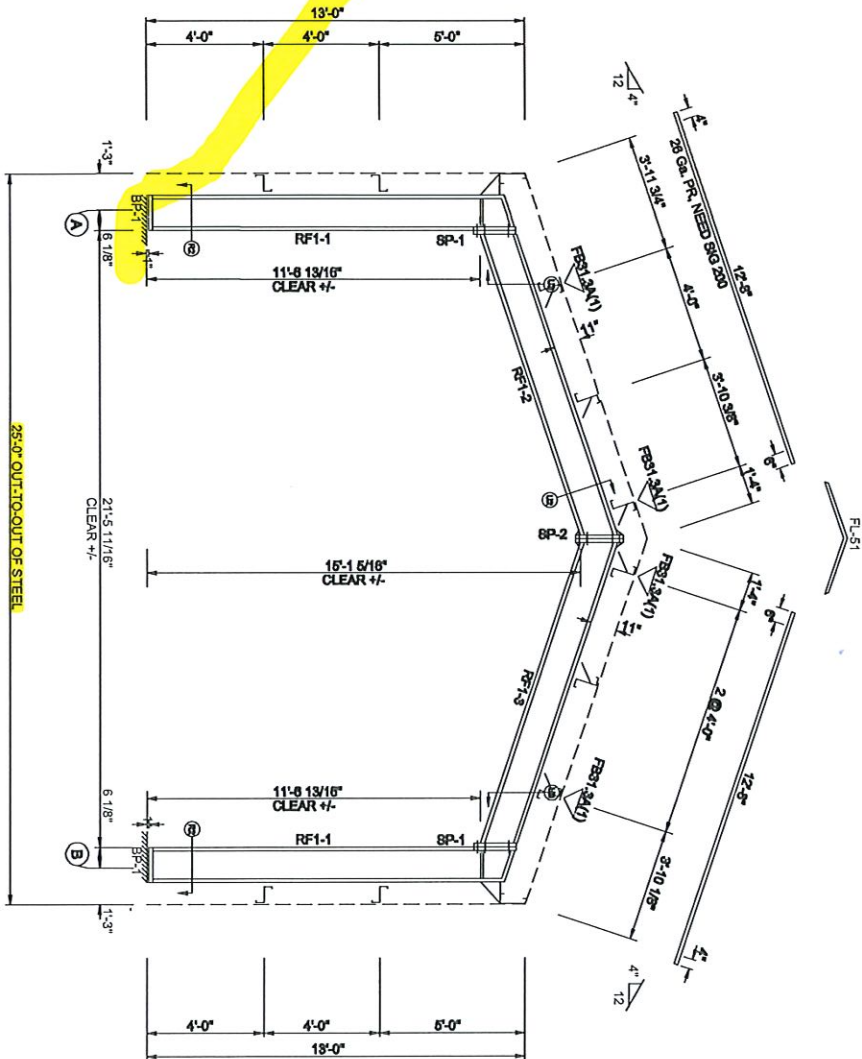


 BISCOCORP STRUCTURES			
PROJECT	WATERLOO MCC REPLACEMENT/ANCHOR ROD		
ID	22-3984-01		
PROJECT	AUXILIARY BUILDING		
ADDRESS	BLACK HAWK COUNTY, IA		
	DESIGN:	DRAFT:	CHECK:
	DATE: 1/12/23	SHEET	OF

SPICE PLATE & BOLT TABLE									
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick
SP-1	2	4	4	0	A325	10.00	2.50	8"	5/8"
SP-2	4	4	0	0	A325	0.825	1.75	8"	5/8"

BASE PLATE TABLE			
Col	Plate Size	Width	Length
BP-1	1/2"	1'-0"	1/2"

FLANGE BRACES: Both Sides(U.N.)
FBox4(1): xxlength(m)
A-1.22x1/8

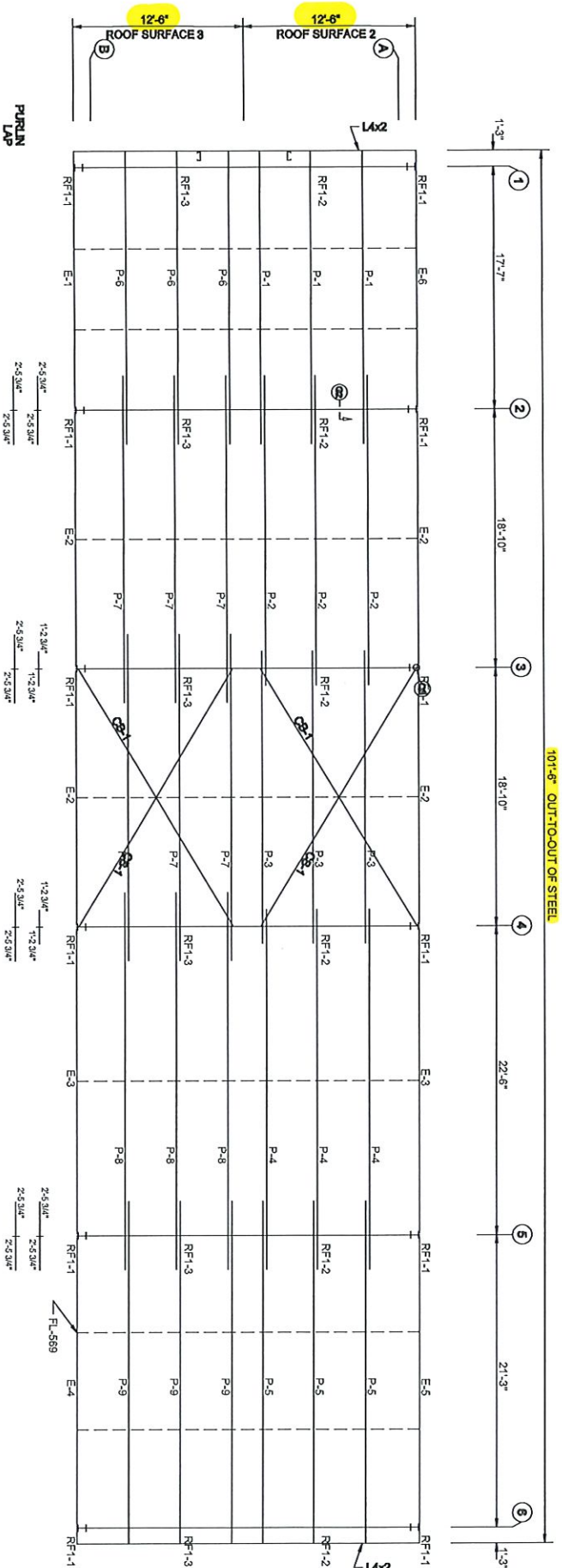


RIGID FRAME ELEVATION: FRAME LINE 1 2 3 4 5 6

remove your marks

PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT RIGID FRAME ELEVATION	DESIGN:	CHECK:
ID	22-8884-01	DRAFT:	
PROJECT	AUXILIARY BUILDING	DATE: 1/12/23	SHEET
ADDRESS	BLACK HAWK COUNTY, IA		OF





PROJECT				WATERLOO MCC REPLACEMENT ROOF FRAMING			
ID				22-3884-01			
PROJECT				AUXILIARY BUILDING			
ADDRESS				BLACK HAWK COUNTY, IA			
DATE				1/12/23			
SHEET				OF			

WALL INSULATION TABLE			
PARTITION 1			
ROLL	MARK	WIDTH	LENGTH
1	Pl-1	4'-0"	29'-4"
2	Pl-2	6'-0"	51'-0"



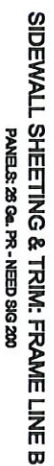
remove your marks

			
PROJECT	WATERLOO MCC REPLACEMENT/PARTITION FRAMING		
ID	22-9884-01	DESIGN:	DRAFT:
PROJECT	AUXILIARY BUILDING	DATE:	1/12/23
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF

TRIM TABLE		
FRAME LINE B	LENGTH	DETAIL
1	14'-0"	TRIM 25
2	20'-2"	TRIM 2
3	10'-2"	
4	6'	
5	1'-18A	
6	1'-18M	
7	10'-2"	TRIM 30
8	F-23X	TRIM 31
9	7'-4"	
10	3'-6"	
11	F-85D	



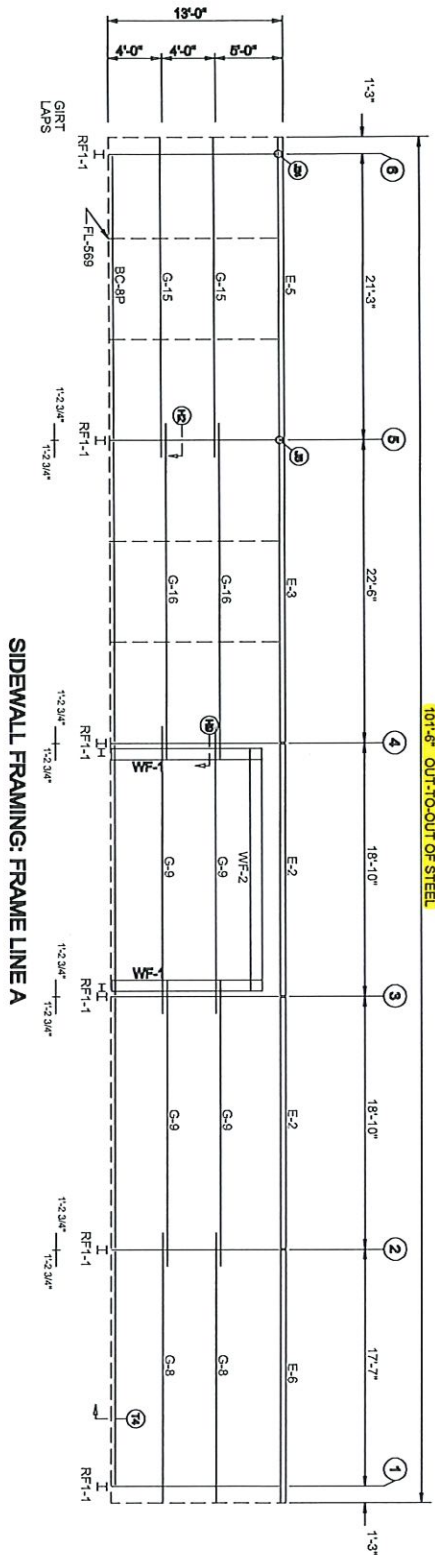
(Gutter with 6 downspouts)



			
PROJECT	WATERLOO MCC REPLACEMENT SIDEWALL FRAMING		
ID	22-9884-01	DESIGN:	DRAFT:
PROJECT	AUXILIARY BUILDING	DATE:	1/12/23
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF

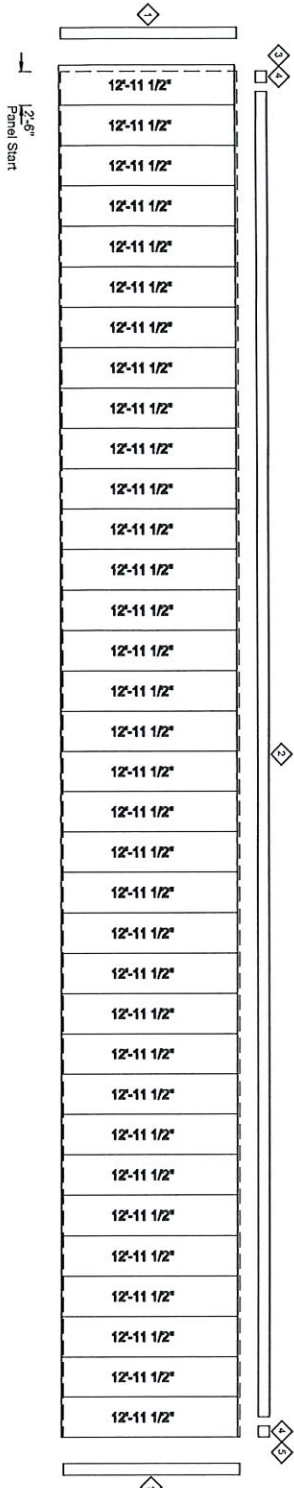
BOLT TABLE			
FRAME LINE A			
LOCATION	QUAN	TYPE	DIA
WF-1 - WF-2	8	A325	5/8"
WF-1 - RF-1-1	2	A325	5/8"

TRIM TABLE			
FRAME LINE A			
ITEM	PART	LENGTH	DETAIL
1	FL-832	14'-0"	TRIM_25
2	FL-188	20'-2"	TRIM_2
3	FL-18 M	10'-2"	
4	FL-18 M	10'-2"	



SIDEWALL FRAMING: FRAME LINE A

(Gutter with 8 downspouts)



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 25 Gd. PR - NEED SIG 200

remove your marks

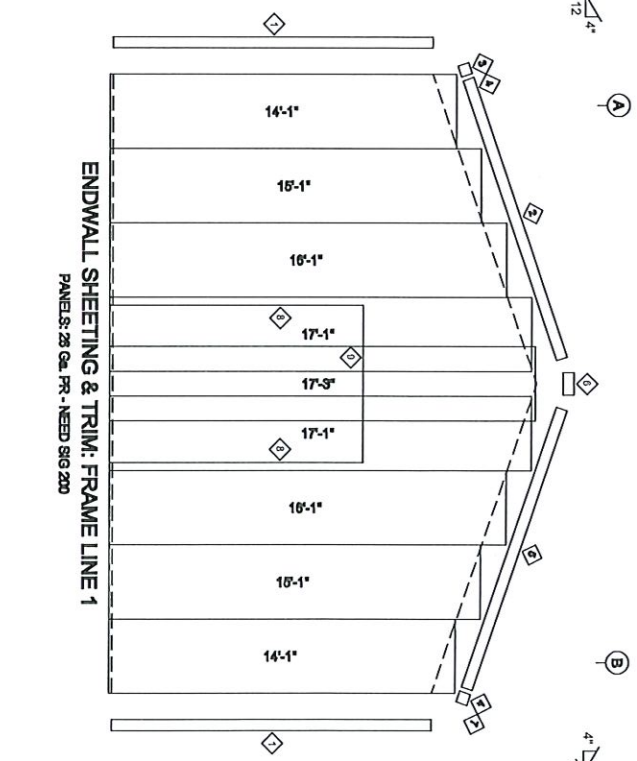
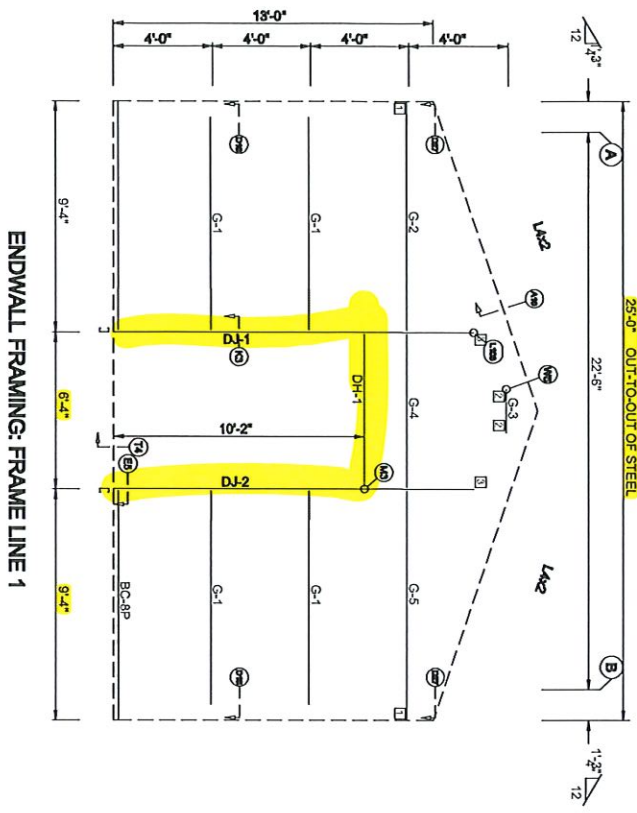
PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT SIDEWALL FRAMING		
ID	22-9894-01	DESIGN:	DRAFT:
PROJECT	AUXILIARY BUILDING	DATE:	1/12/23
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF



BOLT TABLE			
FRAME LINE 1	LOCATION	QUAN	TYPE DIA LENGTH
		4	A325 5/8" 1 3/4"

TRIM TABLE			
FRAME LINE 1	OLD PART	LENGTH	DETAIL
	1 FL-832	14'-0"	TRIM 29
	2 XFL-16	19'-3"	TRIM 23
	3 FL-16A	10'-2"	TRIM 150
	4 FL-16A	10'-2"	TRIM 23
	5 FL-16A	10'-2"	TRIM 106
	6 SCRAP	14'-4"	TRIM 30
	7 FL-16A	10'-2"	TRIM 31
	8 FL-23X	10'-4"	
	9 FL-851	7'-1"	

CONNECTION PLATES			
FRAME LINE 1	OLD MARK/PART	1	2
		41	41
		2	11

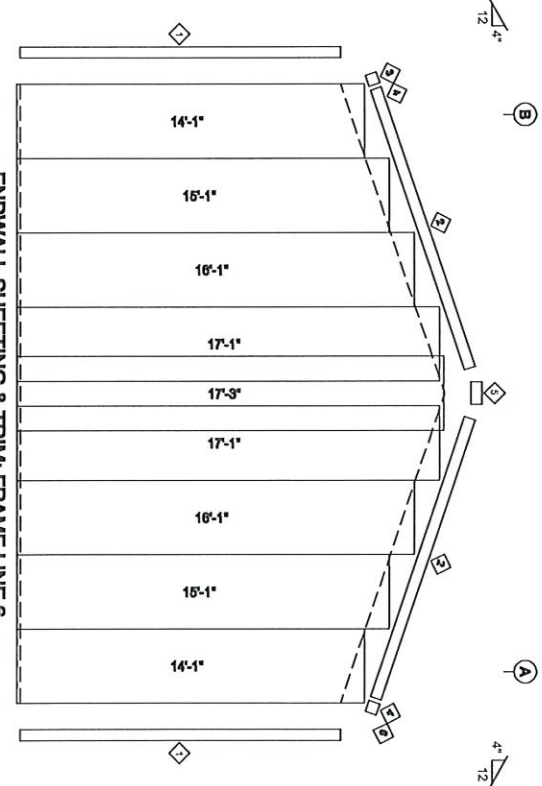
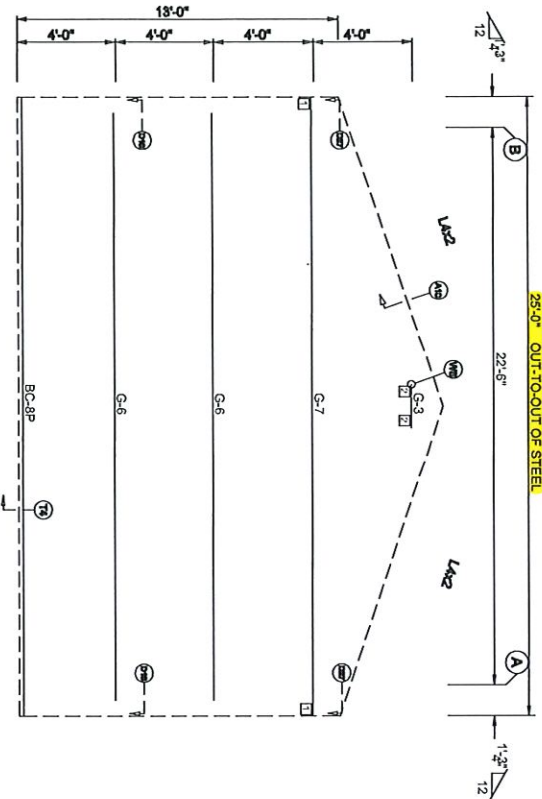


remove your marks

PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT ENDWALL FRAMING	DESIGN	DRAFT
ID	22-9884-01	DATE	1/12/23
PROJECT	AUXILIARY BUILDING	CHECK	
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF

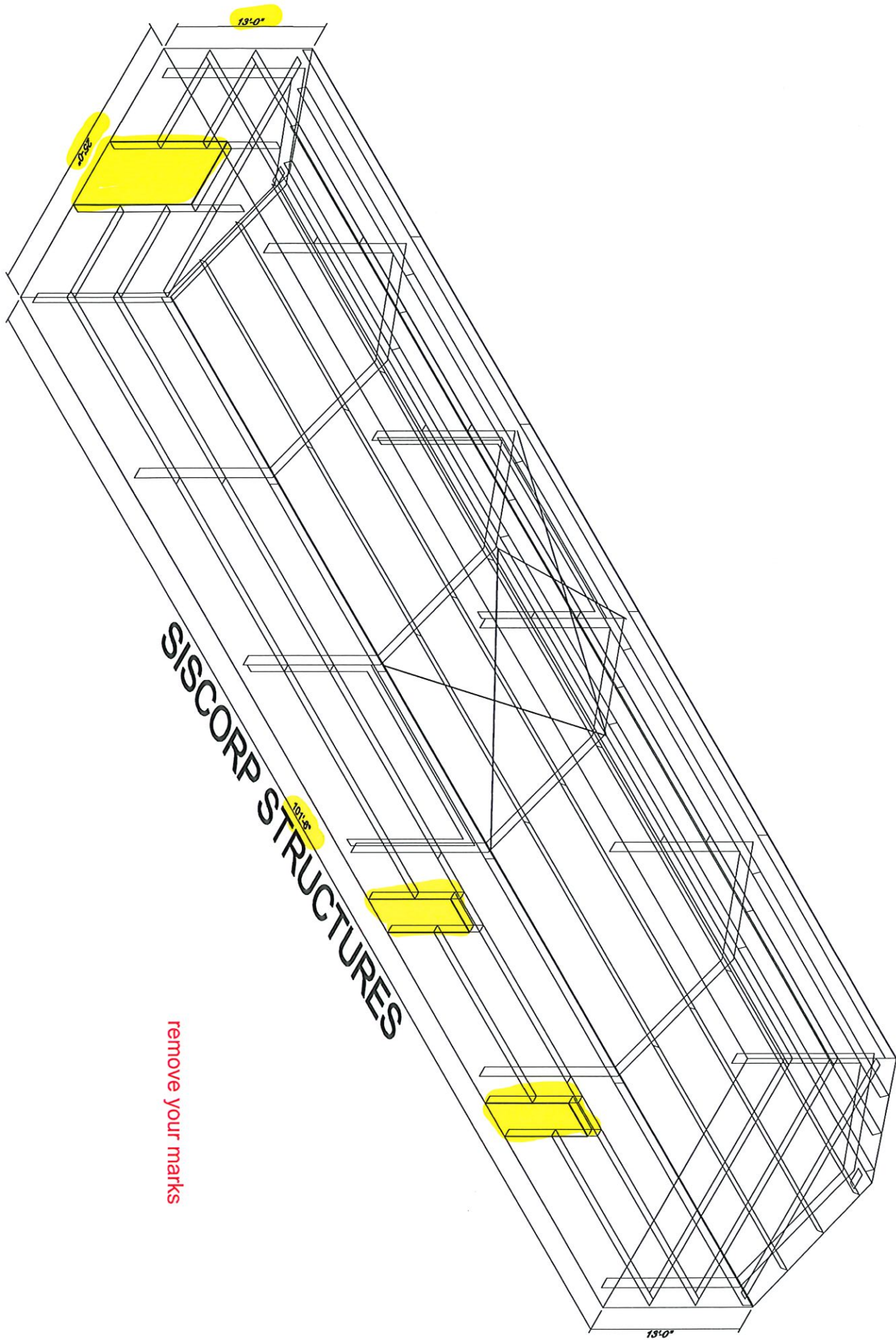
TRIM TABLE			
FRAME LINE 6			
ID	PART	LENGTH	DETAIL
1	FL-832	14'-0"	TRIM_25
2	XL-16	SCRAP	TRIM_23
3	FL-16M	0'-2"	TRIM_150
4	FL-16M	6'-0"	TRIM_106
5	FL-16M	1'-4"	
6	FL-16M	10'-2"	

CONNECTION PLATES	
ID	MARK/PART
1	45
2	41



remove your marks


PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT ENDWALL FRAMING		
ID	22-9884-01	DESIGN	DRAFT
PROJECT	AUXILIARY BUILDING	DATE	1/12/23
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF



SISCORP STRUCTURES

remove your marks



			
PROJECT	WATERLOO MCC REPLACEMENT ANCHOR ROD		
ID	22-9884-02		
PROJECT	BREEZEWAY		
ADDRESS	BLACK HAWK COUNTY, IA		

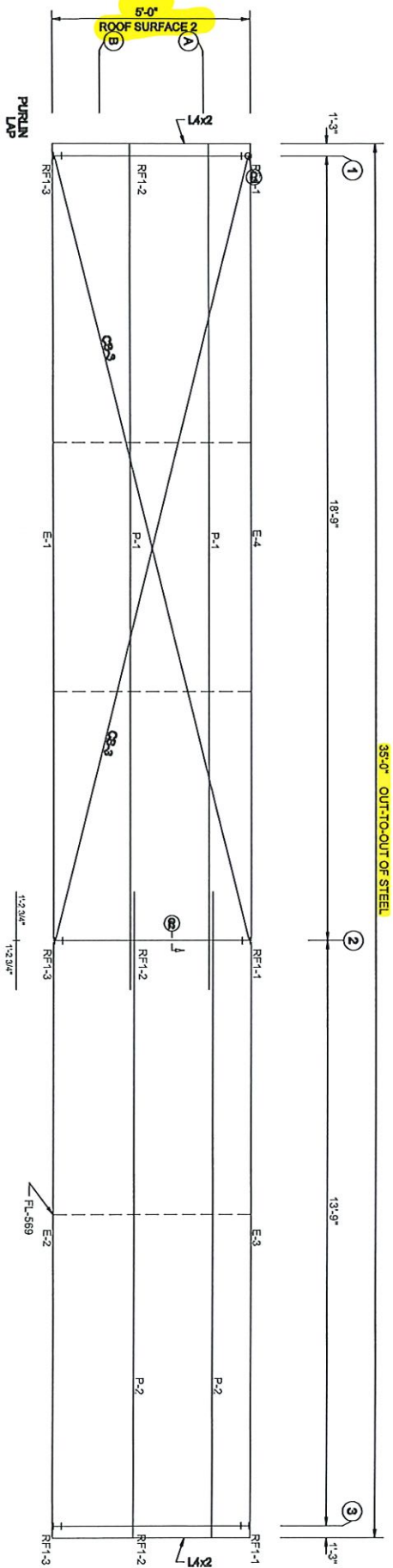
BASE PLATE TABLE		
Col Mark	Plate Size Width	Length
BP-1	8"	1 1/2" 8 1/2"

A - L2x2x1/8



remove your marks

 BIRCCORP STRUCTURES			
PROJECT	WATERLOO MOC REPLACEMENT RIGID FRAME ELEVATION		
ID	22-9884-02		
PROJECT	BREEZEWAY		
ADDRESS	BLACK HAWK COUNTY, IA		
	DESIGN:	DRAW:	CHECK:
	DATE: 1/1/23	SHEET	OF



ROOF FRAMING PLAN

remove your marks

PROJECT		WATERLOO MCC REPLACEMENT ROOF FRAMING	
ID	22-9884-02	DESIGN:	DRAFT:
PROJECT	BREEZEWAY	DATE: 1/12/23	CHECK:
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF

CONNECTION PLATES FRAME LINE B	
<input type="checkbox"/> IID	MARK/PART
1	SC-5

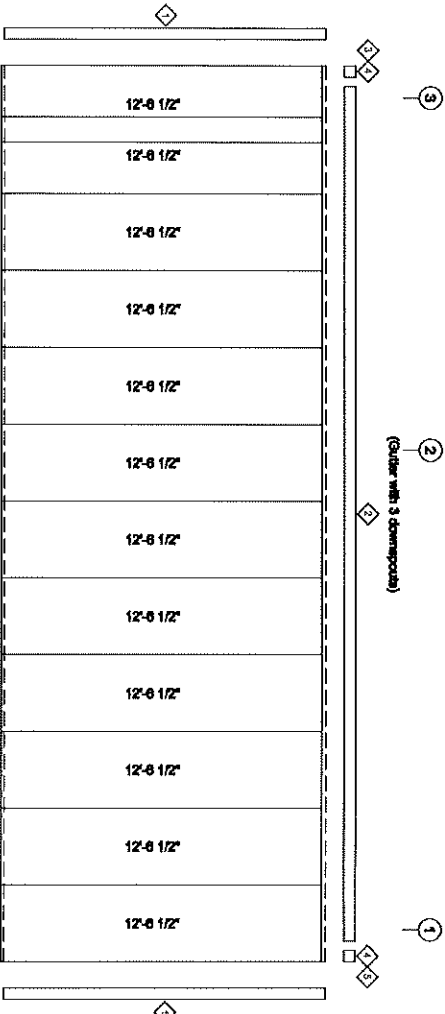
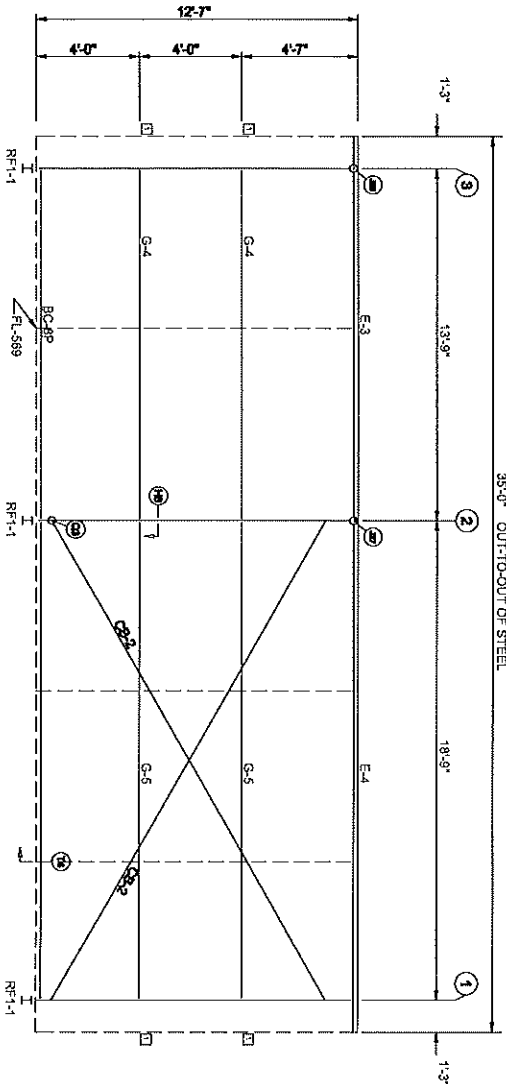


PANEL 8: 28 Gd. PR - NEED 8/G 200

remove your marks

 BIGCOMP CONSTRUCTION			
PROJECT	WATERLOO MCC REPLACEMENTSIDEWALL FRAMING		
ID	22-9894-02	DESIGN:	DRAFT:
PROJECT	BREEZEWAY	DATE: 1/12/23	CHECK: SHEET OF
ADDRESS	BLACK HAWK COUNTY, IA		

35'-0" OUT-TO-OUT OF STEEL

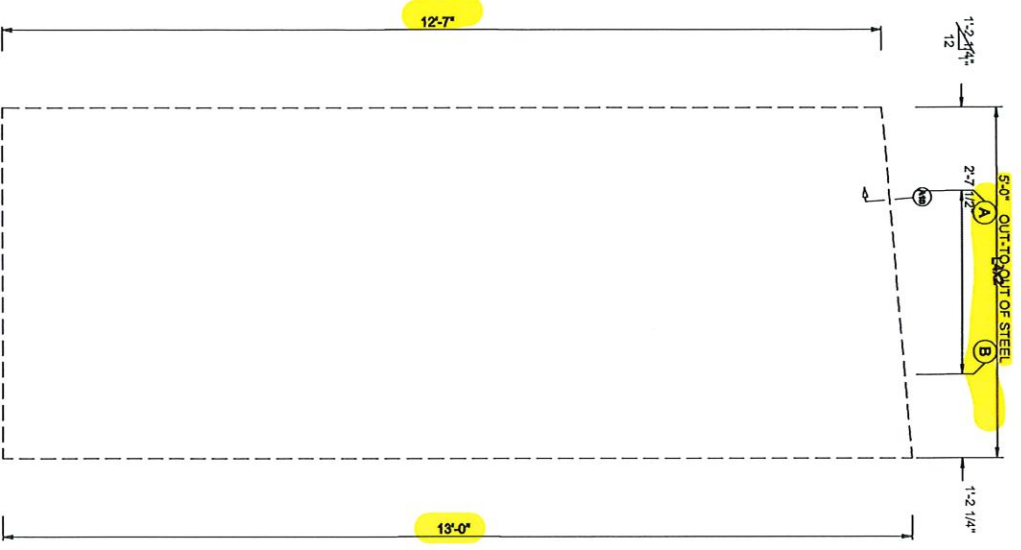


FRAMING TABLE			
FRAME LINE A			
OLD PART	LENGTH	DETAIL	
1 FL-23C	14'-2"		
2 FL-18B	20'-2"	TRIM, 2	
3 FL-18M	10'-2"		
4 FL-18A	10'-2"		
5 FL-18M	10'-2"		

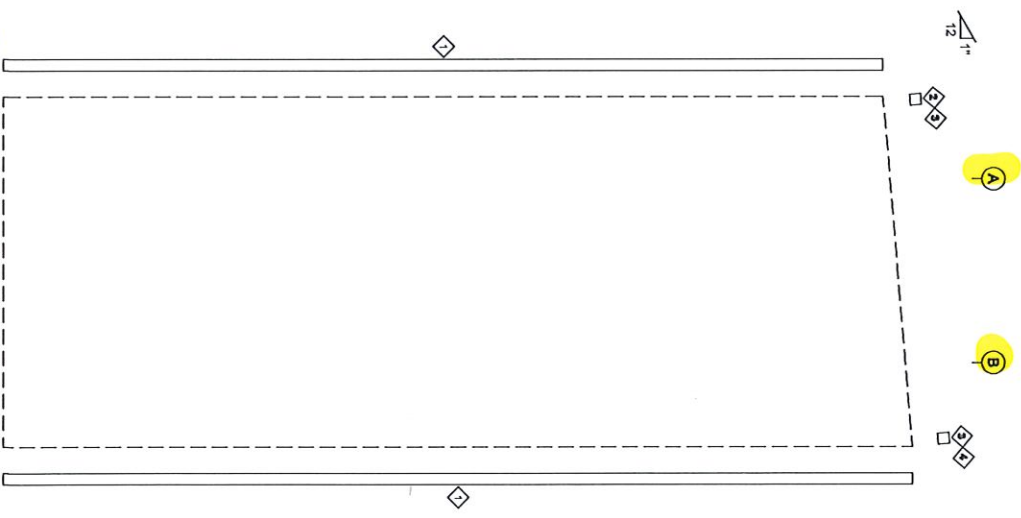
CONNECTION PLATES	
FRAME LINE A	
ID	MARK/PART
1	SC-5

PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT SIDEWALL FRAMING	CHECK:	
ID	22-9894-02	DRAFT:	
PROJECT	BREEZEWAY	SHEET	OF
ADDRESS	BLACK HAWK COUNTY, IA		

TRIM TABLE			
FRAME LINE 1			
ID	PART	LENGTH	DETAIL
1	F-23C	14'-2"	
2	F-16M	10'-2"	
3	F-16A	6"	
4	F-16M	10'-2"	TRIM, 150



ENDWALL FRAMING: FRAME LINE 1

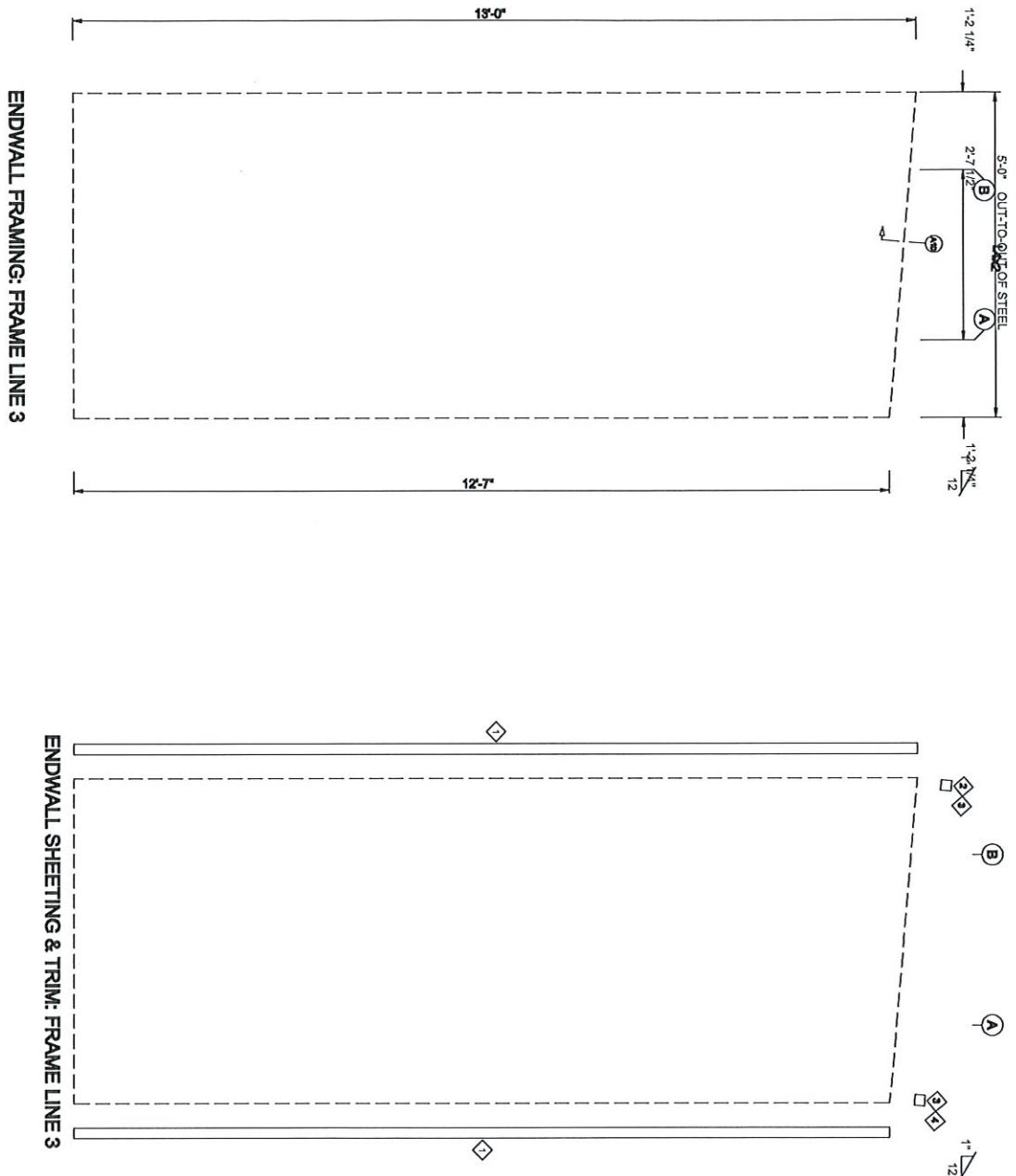


ENDWALL SHEETING & TRIM: FRAME LINE 1

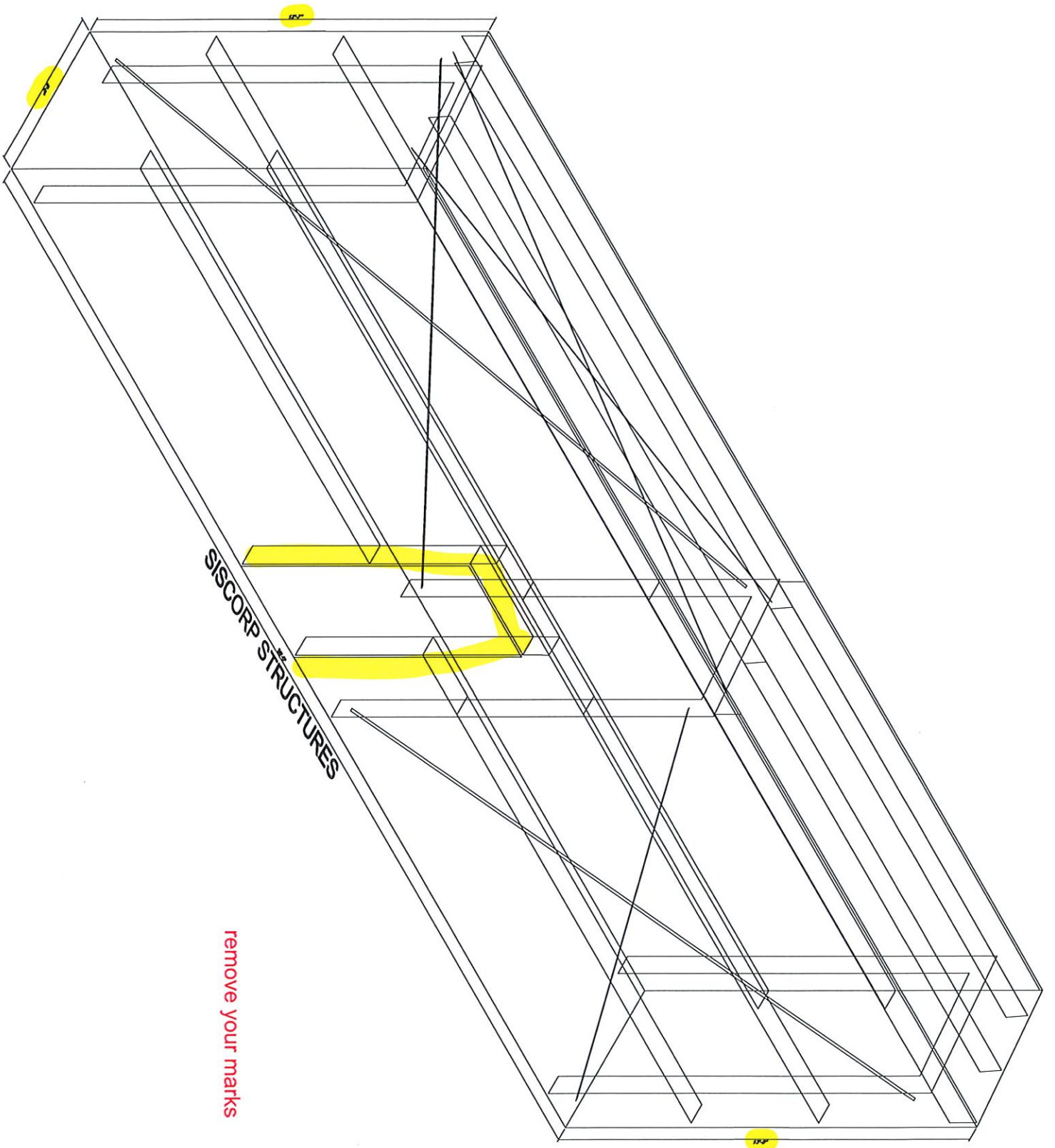
remove your marks

PROJECT			
WATERLOO MCC REPLACEMENT ENDWALL FRAMING			
ID			
22-9884-02			
PROJECT			
BREEZEWAY			
DATE:			
1/1/23			
ADDRESS			
BLACK HAWK COUNTY, IA			
SHEET			
OF			

TRIM TABLE			
FRAME LINE 3			
ID	PART	LENGTH	DETAIL
1	FL-23C	14'-2"	
2	FL-16M	10'-2"	
3	FL-16A	6"	
4	FL-16M	10'-2"	TRIM_150



PROJECT INFORMATION			
PROJECT	WATERLOO MCC REPLACEMENT ENDWALL FRAMING		
ID	22-9884-02	DESIGN:	DRAFT:
PROJECT	BREEZEWAY	DATE:	1/12/23
ADDRESS	BLACK HAWK COUNTY, IA	SHEET	OF



remove your marks

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

Applicant Information:		
	Name	Northern Natural Gas Company
	Street Address	4910 E Sheridan Ave.
	City/State/Zip	Des Moines, IA 50317
	Phone Number	515-321-4402
	Fax Number	
	Email Address	
	Parcel Identification Number	
Person Performing Evaluation:		Seth Hyberger
Date of Evaluation:		3/29/2023

Land Value Category	LESA Score Range
Low Agricultural Value	0-196
Moderate Agricultural Value	197-241
High Agricultural Value	242-300

**LAND EVALUATION AND SITE ASSESSMENT (LESA) SYSTEM
BLACK HAWK COUNTY, IOWA**

SITE ANALYSIS SUMMARY TABLE

PART ONE: LAND EVALUATION	POINTS	WEIGHT FACTOR	SCORE
1.0 Average Site Value	96	1	96
Subtotal			96
PART TWO: SITE ASSESSMENT	POINTS	WEIGHT FACTOR	SCORE
1.0 Land in Ag. Adjacent to Site	10	3	30
2.0 Percent of Area in Ag. within 1 Mile	6	3	18
3.0 Adjacent Zoning	10	3	30
4.0 Compatibility w/ Surround. & Plan	5	3	15
5.0 Environmental Factors	7	2	14
6.0 Distance to Urbanized Area	9	2	18
7.0 Size of Parent Parcel (Viability for Ag.)	10	1	10
8.0 Adjacent/Access Road Surface	0	1	0
9.0 Distance to Public Sewer	10	1	10
10.0 Distance to Fire/Rescue Services	10	1	10
Subtotal			155
PART ONE: LAND EVALUATION SCORE	(100 points possible)		96
PART TWO: SITE ASSESSMENT SCORE	(200 points possible)		155
TOTAL LESA SCORE	(300 points possible)		251

BLACK HAWK COUNTY PLANNING AND ZONING COMMISSION
REQUEST FOR SPECIAL PERMIT

1. APPLICATION INFORMATION:

- a. Applicant's Name (please print): Northern Natural Gas Company
Address: 4910 E. Sheridan Ave Phone: 515-321-4402
City: Des Moines State: IA Zip: 50317
- b. Status of Applicant: (a) Owner ☒ (b) Other ☐ (CHECK ONE): If other explain: _____
- c. Property Owner's Name if different than above (please print): N/A
Address: _____ Phone: _____
City: _____ State: _____ Zip: _____

2. REQUEST INFORMATION:

The Request is a (CHECK ONE)

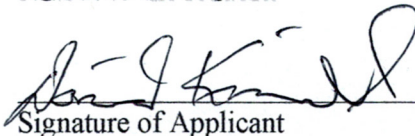
- ☒ It is a request for a Special Permit for establishment of a Conditional Use (floodplain development) (requires engineering data submitted along with).
☐ It is a request for a Special Permit for establishment of a Use Exception.

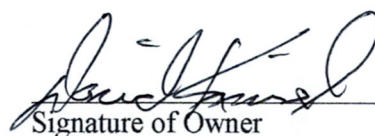
2. PROPERTY INFORMATION:

- a. Legal Description of Area Involved in Request: That part of the NE 1/4, Section 35 T88 R13 B2 at the NW cor of the NE 1/4, said pt being on the centerline of Schrock Rd th E
- b. General Location of Property: 1508 E. Schrock Rd, Waterloo, IA 50701
- c. Current Zoning District: _____
- d. The land will be utilized for: New NNG building in compressor station.
- e. Reason for Request and Proposed Use of Property: New building

Please Note: For properties with Zoning with conditions, the request **must** go through a Conditional Amendment process prior to issuance of a Special Permit.

The Request Fee of **\$125** (payable to Black Hawk County) is required. **This fee is non-refundable.** The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Black Hawk County Planning and Zoning Commission, Board of Supervisors and/or Board of Adjustment in making their decision. The undersigned authorize County Zoning Officials to enter the property in question in regards to the request.

 3-22-23
Signature of Applicant Date

 3-22-23
Signature of Owner Date

REQUEST:	Request for a variance to the public sewer requirement to allow for an eight lot commercial/industrial subdivision in the “C-M” Commercial-Manufacturing District at South of 5708 Cedar-Wapsi Road.
GENERAL LOCATION:	The project location is South of 5708 Cedar-Wapsi Road, approximately 1,200 feet east of the Waverly Road and Cedar-Wapsi Road Intersection.
IMPACT ON AREA:	The request would not appear to cause a negative impact on the area. The eight proposed lots will be 2.5 to 4.0 acres in size. The area is already served by public water.
TRAFFIC CONDITIONS:	The request would not appear to have a negative impact on traffic. The area is served by HWY 218 and West Cedar-Waspi Road.
ZONING CLASS:	The property has been zoned “C-M” Commercial-Manufacturing District since it was rezoned from “A” Agricultural District on March 14, 2017 with the passage of Ordinance 77-182 by the Board of Supervisors.
SURROUNDING LAND USE:	<p>The surrounding area consists of commercial businesses farmland, and US Highway 218. Surrounding uses and zoning:</p> <p>North – Commercial businesses and farmland, Zoned “C-M” Commercial-Manufacturing District and “A” Agricultural District.</p> <p>South, East, and West – Farmland, Zoned “A” Agricultural District.</p>
FUTURE LAND USE:	The property is designated as “Commercial” on the Future Land Use Map. Land to the North and East is designated as “Commercial.” Land to the East and South is designated as “Agricultural”
FLOOD PLAIN INFORMATION:	Approximately 20% of the land is located within the 100-year flood plain as designated by FEMA’s 2011 FP Map and FEMA’s Preliminary FP Map. The FEMA Panel ID is 19013C0155F, dated 7/18/2011.

STAFF
COMMENTS:

The applicant is requesting a variance in order to have an 8 lot major commercial subdivision without a public sewer system. If the variance is approved the 8 lot major commercial subdivision would have commercial grade septic systems that meet Black Hawk County Health Department Requirements. The applicant could request to have a minor commercial subdivision with only two lots that would not require a public sewer system. It should be noted that the subdivision does have public/rural water.

The eight lot major commercial subdivision will have 8 lots that range in size from 2.8 acres to 4 acres for a total of 26.3 acres. It will also contain 4 lots for storm water storage that range in size from .3 acres to 2.3 acres for a total of 5.4 acres. It should be noted that there is no public sewer in the immediate vicinity. The applicant's goal is to develop the property into multiple large lots, each with its own septic system.

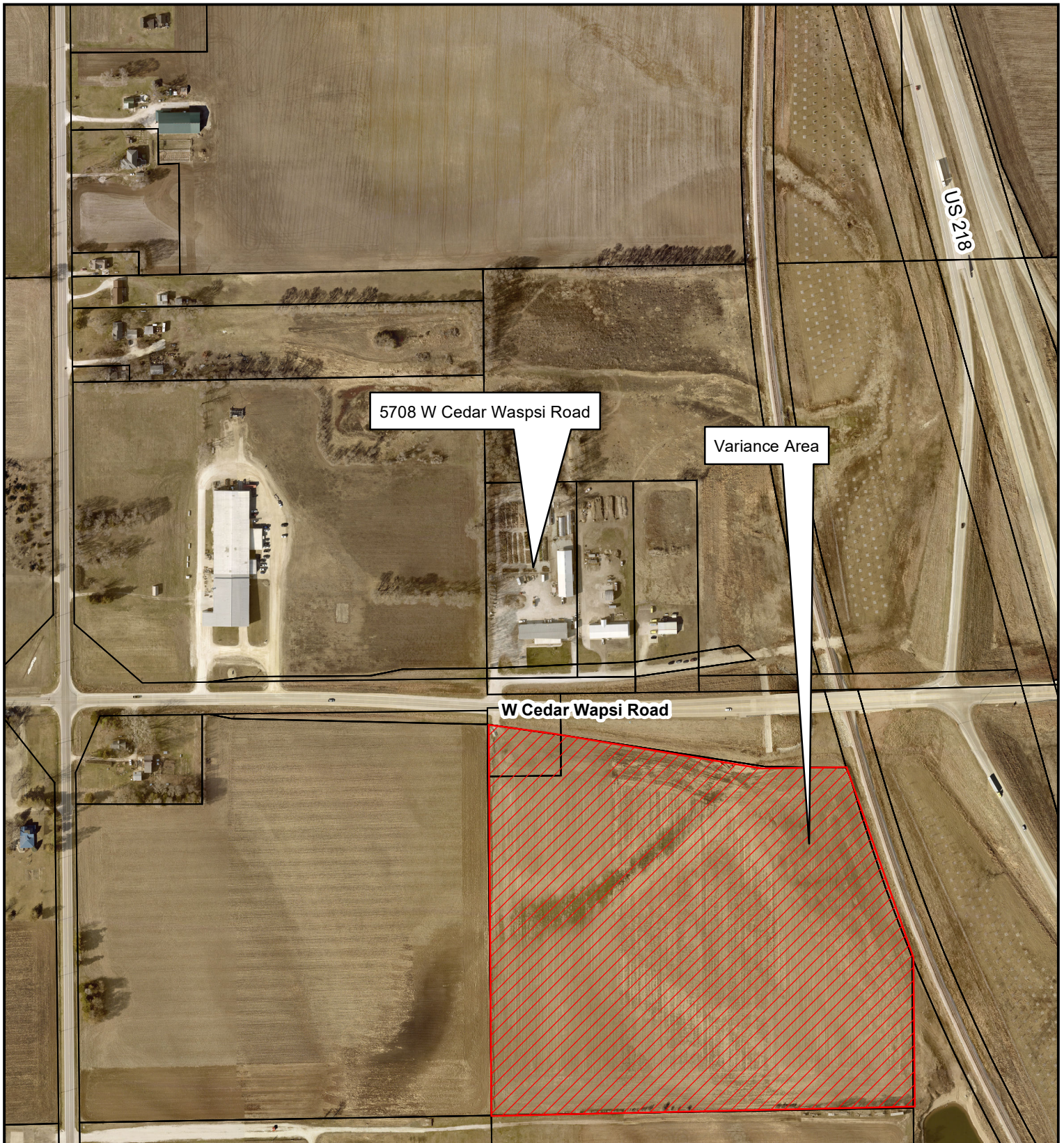
The zoning ordinance was amended by the Board of Supervisors to limit minor residential subdivisions to three lots and minor commercial subdivisions to only two lots. Minor subdivisions are allowed to have well and septic systems. This change was made after Dewar and Washburn were updated to a public sewer system. Black Hawk County wanted to make sure that future development did not have sites that were overloaded with septic systems. The Board of Supervisors made this change to the zoning ordinance to make sure that all residential and commercial major subdivisions had both public water and sewer.

Criteria:

1. The variance will not be contrary to the public interest, will be in harmony with the general purpose and intent of the Ordinance and substantial justice will be done – Approving this request could set a precedent for future commercial development. The applicant could still request to have a 2 lot minor subdivision that would not require public sewer.
2. Where owing to special conditions, a literal enforcement of the provisions of the Ordinance will result in unnecessary hardship – Approving this request could set a precedent for future commercial development. The applicant could still request to have a 2 lot minor subdivision that would not require public sewer.
3. The variance is the minimum variance that will make possible the reasonable use of the land, building, or structure – Approving this request could set a precedent for future commercial development. The applicant could still request to have a 2 lot minor subdivision that would not require public sewer.
4. The variance will not be injurious to the surrounding landowners, or otherwise detrimental to the public welfare – Approving this request could set a precedent for future commercial development. The applicant could still request to have a 2 lot minor subdivision that would not require public sewer.

Black Hawk County Board of Adjustment

May 23, 2023



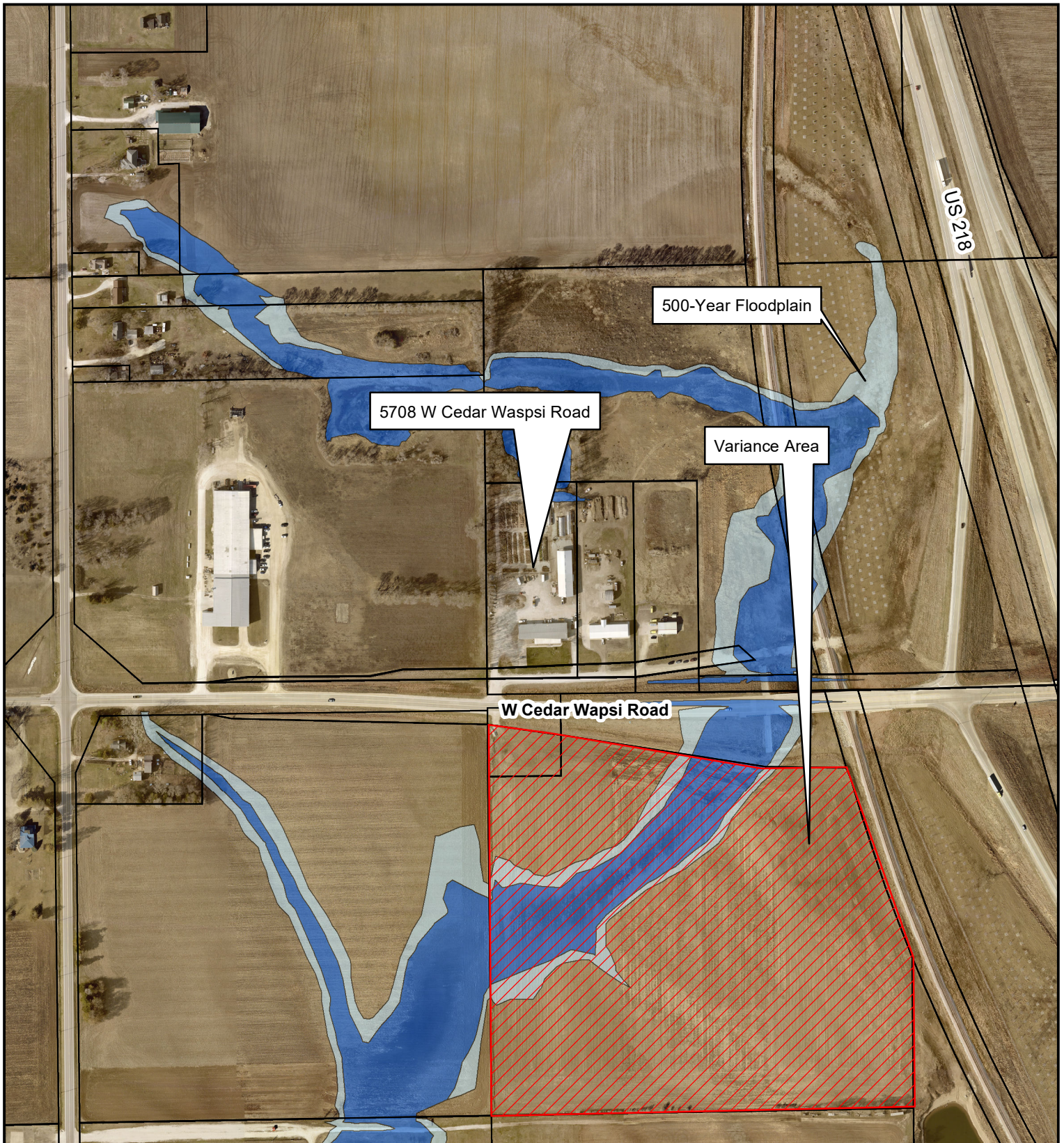
500 250 0 500 Feet



South of 5708 W Cedar Wapsi Road
Variance for Septic Systems
ALF Properties LLC

Black Hawk County Board of Adjustment

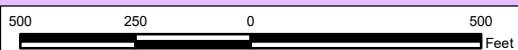
May 23, 2023



Zone AE (100-Year Floodplain)

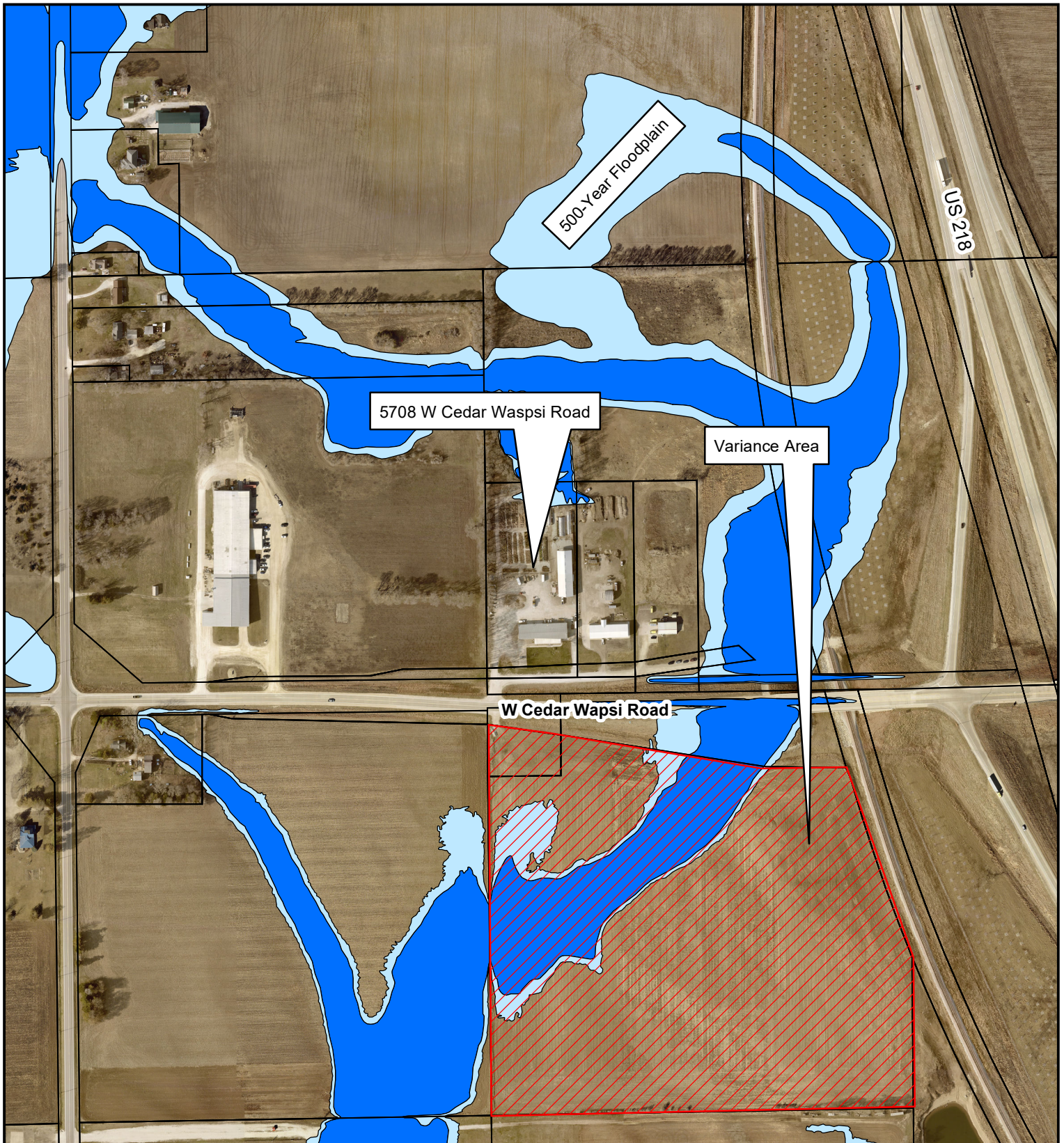


South of 5708 W Cedar Wapsi Road
Variance for Septic Systems
FEMA 2011 FP Map
ALF Properties LLC



Black Hawk County Board of Adjustment

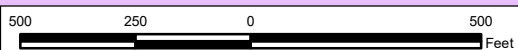
May 23, 2023



Zone AE (100-Year Floodplain)



South of 5708 W Cedar Wapsi Road
Variance for Septic Systems
FEMA Preliminary FP Map
ALF Properties LLC





W. CEDAR WAPSI RD.

HIGHWAY 218 SB

HIGHWAY 218 NB

NOTE:

OUTLOTS SHALL BE SOLD IN CONJUNCTION WITH ADJACENT LOTS. NO DEVELOPMENT SHALL BE ALLOWED WITHIN BOUNDARIES OF OUTLOTS.

LOT =
3.3± ACRES

LOT =
3.2± ACRES

LOT =
4.0± ACRES

LOT =
2.8± ACRES

LOT =
3.3± ACRES

LOT =
3.1± ACRES

OUT LOT =
1.3± ACRES

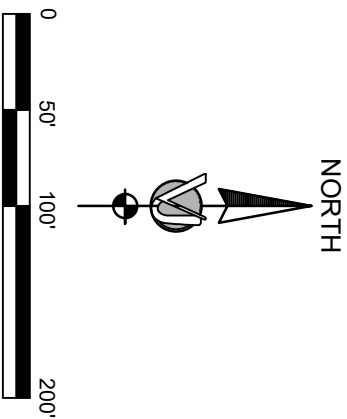
OUT LOT =
0.3± ACRES

OUT LOT =
2.3± ACRES

LOT =
3.0± ACRES

OUT LOT =
1.5± ACRES

LOT =
3.6± ACRES



PRELIMINARY LOT LAYOUTS
ALF PROPERTIES LLC
W. CEDAR WAPSI ROAD, BLACK HAWK COUNTY, IA

LOT LAYOUT EXHIBIT C



VJ Engineering
1501 Technology Parkway
Cedar Falls, Iowa - 319-266-5829

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1. A variance to allow the subject property to be developed into commercial property will be in harmony with the surrounding area because many of the properties in the surrounding area are currently for commercial use, the property is properly zoned as commercial and it is immediately the recently constructed access to the Avenue of the Saints. The use is also in line with the Black Hawk County Future Use Plan. The goal is to develop the property into multiple large commercial lots, each with its own septic system. It seems that the goal of the ordinance disallowing new developments with septic systems was intended to avoid developments with smaller lots not conducive to long term functioning septic systems, as has occurred in the past. The proposed lots would be large enough to accommodate technologically up to date commercial septic systems and allow for room on the properties to replace said system if required in the long term. There is not a feasible connection to any established municipal sanitary system to the north (Janesville) or to the south (Cedar Falls).
2. The commercial properties in the area are all using septic systems. Some are on lots smaller than the lots being proposed. A literal enforcement of the ordinance would limit the commercial use for which the property is zoned to a maximum of 2 very large lots (approximately 16 acres if split evenly), limiting the usefulness to the owner as well as to the County's long term plan to expand commercial use in this area. The property is unique because it is zoned commercial, neighbors existing commercial properties and is earmarked for commercial usage in the County future use map but in the vicinity of an existing sanitary sewer system.
3. The property in question cannot be used for its intended (zoned and planned) commercial purposes unless it can split in such a way that reasonably sized commercial lots can be created. Any lots created will need to be sized and oriented in such a way to avoid issues with the flood plain and be saleable and usable for typical commercial uses. Very large lots, such as the result if simply split into two lots, would be more conducive to industrial type uses.
4. The surrounding landowners are either commercial or agricultural uses with the highway and rail line to the east. To the applicant's knowledge, there was no opposition noted when the property was rezoned to commercial use.
5. The applicant intends to use at least one lot for personal commercial use and plans to include beautifying landscaping and stormwater best management practices to create a high end commercial park feel for the area. The applicant has been working with the county planners, the DNR and professionals to determine the best layout for the area to ensure there will be no detriments to the environment and that the property would be attractive to high-end commercial users. The limitations on subdivision of property due to sanitary sewer availability is the biggest hurdle to using the space as zoned. If granted a variance, the applicant would continue to work with the county planners, engineers and the DNR to ensure that end result will result in a positive development for both Black Hawk County and the applicant. The Black Hawk County Public Health would also be consulted on the design, maintenance and monitoring program for any proposed septic systems.

BLACK HAWK COUNTY BOARD OF ADJUSTMENT
REQUEST FOR APPEAL

1. APPLICATION INFORMATION:

- a. Applicant's Name (please print): Danny Moulds - ALF Properties LLC
Address: 5708 W Cedar Wapsi Rd. Phone: 319-961-7479
City: Cedar Falls State: IA Zip: 50613
- b. Status of Applicant: (a) Owner ☒ (b) Other ☐ (CHECK ONE): If other explain: _____
- c. Property Owner's Name if different than above (please print): _____
Address: _____ Phone: _____
City: _____ State: _____ Zip: _____

2. REQUEST INFORMATION:


- a. The Request is a (CHECK ONE)
☐ It is an Appeal for an Interpretation of the Ordinance or Map.
- b. It is a request for a variance relating to the (CHECK ONE):
☒ Use ☐ Area ☐ Frontage ☐ Yard/Setback (or) _____
- b. Reference to the Section(s) of the Ordinance Requested for Variance: Section XIV
- c. Remarks (Description of Variance): Request that a commercial subdivision move forward using private commercial grade septic systems due to lack of accessible public systems.

3. PROPERTY INFORMATION:

- a. Legal Description of Area Involved in this Appeal: NE NW EXC N 50 FT EXC N 255 FT W 228 FT SEC 13 T 90 R 14 ALSO EXC BEG AT N COR OF SEC 13 TH S 89 DEG 13 MIN 43 SEC W 1088.70 FT TH S 129.07 FT TH S 81 DEG 13 MIN 17 SEC E 642.60 FT TH S 89 DEG 24 MIN 35 SEC E 251.34 FT TH S 19 DEG 26 MIN 43 SEC E 42. 24
- b. General Location of Property: South Side of Cedar Wapsi Road, just west of 218 interchange.
- c. Current Zoning District: C
- d. The land will be utilized for: Large Commercial Lots - See Proposed Conceptual Layout

The Request Fee of \$125 (payable to Black Hawk County) is required. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Black Hawk County Board of Adjustment in making their decision. The undersigned agree that if this request is granted, actual construction will proceed in accordance with the purposes herein stated and authorize County Zoning Officials to enter the property in question in regards to the request.

Please Note: Any request approved by the Board of Adjustment can be reviewed by the Board of Supervisors or appealed to District Court. Any construction proceeded with is at the risk of the applicant.


Signature of Applicant

4/15/23
Date


Signature of Owner

4/15/23
Date

BLACK HAWK COUNTY BOARD OF ADJUSTMENT
REQUEST FOR APPEAL

APPLICANT'S STATEMENT

The requests meets the standards for a variance because:

1. The variance will not be contrary to the public interest and will be in harmony with the general purpose and intent of the Ordinance for the following reasons: **Applicant's Statement Attached**

2. Where owing to special conditions, a literal enforcement of the provisions of the Ordinance will result in unnecessary hardship (where strict application would prohibit the use of the property in a manner reasonably similar to that of other property in the district) (special conditions must be unique to the property and not created by the current or previous property owner) for the following reasons:

3. The variance is the minimum variance that will make possible the reasonable use of the land, building, or structure, and the property in question cannot be put to a reasonable use without issuance of the variance for the following reasons:

4. That the variance will not be injurious to the surrounding landowners, or otherwise detrimental to the public welfare for the following reasons:

5. Other Comments:
