



Agenda

Planning, Programming & Zoning Commission

Regular Meeting – March 14, 2023 – 4:00 P.M.

Harold E. Getty Council Chambers, City Hall, and via Zoom

General Rules for Public Participation

1. The presentation order for all new or old business agenda items shall be as follows: a) Staff report, b) Applicant’s presentation, c) Opinions of interested citizens, d) Applicant’s rebuttal, e) Commission discussion.
2. Interested citizens may address any item on the agenda by stepping to the podium. After recognition by the chair, the individuals state their name, address and group affiliation (if applicable) and speak clearly into the microphone.
3. Interested citizens may speak one (1) time per item. Please limit your comments to approximately five (5) minutes. Although generally discouraged, at the discretion of the Chair, interested citizens may be allowed to speak more than once per item.
4. The “Oral Presentations” section of the agenda is an opportunity to address items not on the agenda. An individual may speak to one (1) non-agenda issue per meeting for a maximum of approximately ten (10) minutes. Official action cannot be taken by the Commission at that time; however the topic may be placed on a future agenda or referred to the appropriate department.
5. Keep comments germane and refrain from personal, impertinent or slanderous remarks and repetitious information.
6. All comments and requests for information shall be directed towards the chair, and not towards individuals in the audience. All comments shall be in keeping with proper and courteous conduct.
7. If handouts are to be provided, you are encouraged to deliver them to the Planning and Zoning Department at least 24 hours prior to the meeting to be distributed to Commission members. If not possible to be pre-delivered, you are encouraged to bring ten (10) sets of all handouts for Commission and staff. A minimum of **one (1)** copy of **any** handout (including original pictures) must be retained by staff for the official record of the request.

The chair shall take whatever action is necessary to ensure that these rules are observed and the meeting proceeds in an orderly fashion.

- I. Election of a temporary Chairperson for the March 14, 2023 meeting.
- II. Approval of the March 14, 2023 Agenda
- III. Approval of the Minutes of the Regular Meeting on February 14, 2023
- IV. Financial Report: January 2022
- V. Oral Presentations
- VI. New Business
 - A. Hearings – Site Plan Amendments
 1. Request by Magnum Trucking for a Site Plan Amendment to construct a new 14,000 square-foot industrial building along with a 14,000 square foot expansion in the “M-2,P” Planned Industrial District located northeast of 2510 Leversee Road on Warp Drive. **(Pages 10 – 25)**
 2. Request by Tony Fischels for a Site Plan Amendment to construct a new 50,400 square foot office/warehouse building in the “M-2,P” Planned Industrial District located at the southeast corner of Leversee Road and Hyper Drive. **(Pages 26 – 37)**
 3. Request by Levi Architecture (on behalf of Starbucks) for a Site Plan Amendment to construct approximately 2200 square foot coffee shop in the “S-1” Shopping Center District located north of 115 East Ridgeway Avenue. **(Pages 38 – 54)**
 4. Request by Parks Property Management, LLC (on behalf of Pella Windows & Doors) for a Site Plan Amendment to construct a new 23,755 square foot commercial building in the “B-P” Business Park District located south of 4041 Hurst Drive. **(Pages 55 – 69)**

*** Next regular meeting of the Planning, Programming & Zoning Commission will be held on April 11, 2023*

B. Plats

1. Request by Hurst Holdings, Inc. for the Preliminary Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south of 4041 Hurst Drive. **(Pages 70 – 78)**
2. Request by Hurst Holdings, Inc. for the Final Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south of 4041 Hurst Drive. **(Pages 79 – 89)**
3. Request by City of Waterloo for the Final Plat of North Crossing 3rd Addition, a 3-lot commercial and residential subdivision in the “R-4, R-P” Planned Residence District located north of 501 Lakeside Street. **(Pages 90 – 113)**
4. Request by CJ’s Construction on behalf of Hope M. Anderson for the Final Plat of Paradise Estates 1st Addition, a 64-lot residential subdivision in the “R-1” One and Two Family Residence District located adjacent to 5643 Kimball Avenue. **(Pages 114 – 136)**

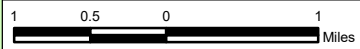
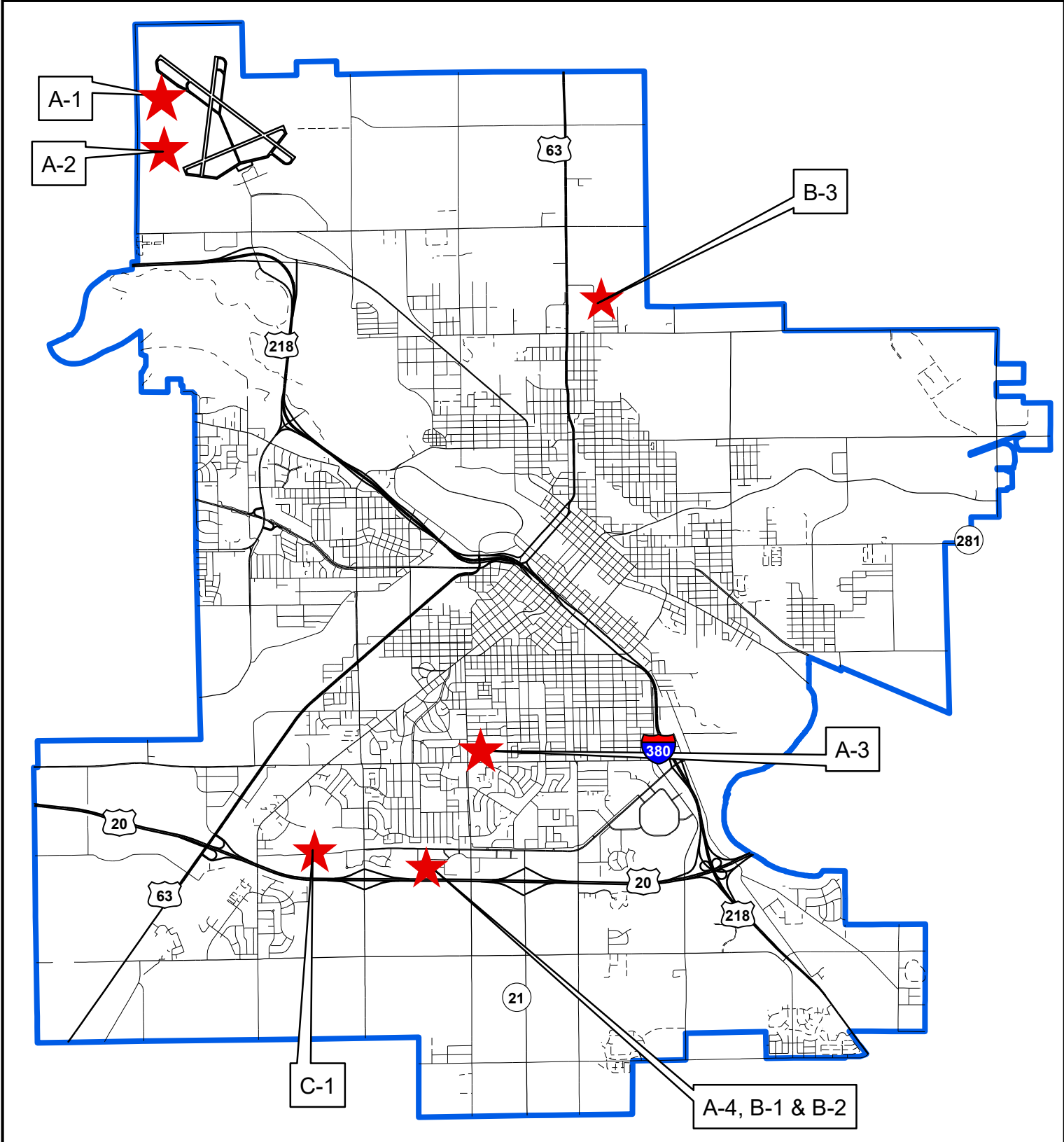
C. Street Naming

1. Request by the City of Waterloo to rename West San Marnan Drive from West 4th Street to Ansborough Avenue to Van Miller Way. **(Pages 137 – 143)**

VII. Discussion

VIII. Adjournment

Planning, Programming and Zoning Commission March 14, 2023



Agenda Map

MINUTES
CITY OF WATERLOO, IOWA
PLANNING, PROGRAMMING, AND ZONING COMMISSION
REGULAR MEETING - 4:00 P.M. FEBRUARY 14, 2023

The regular meeting of the Waterloo Planning, Programming, and Zoning Commission was called to order by Chairperson Wilber at 4:00 p.m. via zoom and in person in the Harold E. Getty Council Chambers at Waterloo City Hall.

Members present were: Virginia Wilber, Cody Leistikow, Brandon Schoborg, Ali Parrish, and Phillip Shirk.

Members present electronically were: Steve Trost and Janelle Ewing.

Members absent were: Patrisha Serfling. Note-Representative from Human Rights is currently a vacate position.

Others present were: Adrienne Miller, Lexi Blank, John Dornoff, and Seth Hyberger – Planning Department; Wayne Castle – City Engineer; and 3 citizens.

Others present electronically: Dave Boesen and Rob Nichols – City Council Liaisons and 2 citizens.

I. Approval of the Agenda

It was moved by Trost and seconded by Schoborg to approve the amended agenda combining items A-2 and B-1. Motion carried unanimously.

II. Approval of the Minutes from the regular meeting on January 10, 2023.

It was moved by Schoborg and seconded by Parrish to approve the minutes of the January 10, 2023 meeting. Motion carried unanimously.

III. Financial Report December 2022.

Dornoff reviewed the financial report.

It was moved by Parrish and seconded by Schoborg to receive and place the financial report on file. Motion carried unanimously.

IV. Oral Presentations

There were oral presentations.

V. New Business

A. Hearings – Site Plan Amendments

1. Request by South Hills Senior Living for a Site Plan Amendment to allow for the construction of a 23-stall parking garage in the “R-4, R-P” Planned Residence District located at 1117 Maxhelen Drive.

Ewing joined the meeting via Zoom at 4:03pm

It was moved by Schoborg and seconded by Leistikow to receive and place on file the statement of verification at 4:03 p.m. Motion carried unanimously, and Wilber declared the hearing open.

Hyberger read the staff report recommending approval of the request subject to the following condition: that the final site plan meets all applicable city codes, regulations, etc., including, but, not limited to, parking, landscaping, screening, drainage, etc.

Dave Larson, the owner of South Hills, stated that when they held an open house at the complex, the biggest question was if they had covered parking which, at the present time, they do not.

Parrish stated that were not many doors and access points, to which Larson pointed out there was doors at each end of the building and one in the middle, and the building will meet all codes for ventilation and access.

It was moved by Schoborg, seconded by Leistikow, to close the public hearing. Motion carried (6-0-1 Trost abstained). The hearing was closed at 4:13 p.m.

It was moved by Schoborg, seconded by Shirk, to recommend approval of the request by South Hills Senior Living for a Site Plan Amendment to allow for the construction of a 23-stall parking garage in the “R-4, R-P” Planned Residence District located at 1117 Maxhelen Drive subject to the following condition: that the final site plan meets all applicable city codes, regulations, etc., including, but, not limited to, parking, landscaping, screening, drainage, etc. Motion carried (6-0-1 Trost abstained).

2. Request by Weatherfield Realty Group, LLC for a Site Plan Amendment to construct a fiber communication shelter in the “M-2, P” Planned Industrial District located north of 2365 Northeast Drive.

It was moved by Parrish and seconded by Schoborg to receive and place on file the statement of verification at 4:16 p.m. Motion carried unanimously, and Wilber declared the hearing open.

Blank read the staff report recommending approval of the request subject to the following conditions: 1) that the final site plan meets all applicable city codes, regulations, etc. including, but, not limited to, parking, landscaping, screening, drainage, etc. and 2) that the site plan be updated to show a 30’ drainage and utility easement along the south property line, and to show the existing 20’ utility easement along the north property line.

Leistikow asked if there would be drainage requirements on the remaining portion of the property that is being split, to which Shirk responded there would be, and it would depend on what’s built there.

Tim Coefield, Weatherfield Realty Group LLC, stated they are happy to be part of the City of Waterloo Commercial landscape. Coefield noted that the shelter image is just an example of what the building will look like, and there will be no tower like there is in that photo.

Parrish asked what was going to be in the shelter, to which Coefield responded that it would look like an IT facility with lots of electronic switchers and routers and that the building would be unmanned and be maintained about every 6 weeks. There would also be a diesel generator on site that will be tested about every six weeks, and that is the only time it would operate unless there is a power outage.

It was moved by Leistikow, seconded by Schoborg, to close the public hearing. Motion carried unanimously. The hearing was closed at 4:29 p.m.

It was moved by Parrish, seconded by Shirk, to recommend approval of the request by Weatherfield Realty Group, LLC for a Site Plan Amendment to construct a fiber communication shelter in the “M-2, P” Planned Industrial District located north of 2365 Northeast Drive with the following conditions:

1) that the final site plan meets all applicable city codes, regulations, etc. including, but, not limited to, parking, landscaping, screening, drainage, etc. and 2) that the site plan be updated to show a 30' drainage and utility easement along the south property line, and to show the existing 20' utility easement along the north property line Motion carried unanimously.

B. Plats

1. Request by the City of Waterloo for the replat of a portion of Lot 2 of Northeast Industrial Park Plat no. 1, a one-lot Commercial Subdivision in the "M-2, P" Planned Industrial District located north of 2365 Northeast Drive.

Blank read the staff report recommending approval of the request with the following condition: that the plat is updated to be a Plat of Survey and show the existing utility easement along the north property line.

This item was discussed with item A-2.

It was moved by Parrish and seconded by Shirk to recommend approval the request by the City of Waterloo for the replat of a portion of Lot 2 of Northeast Industrial Park Plat no. 1, a one-lot Commercial Subdivision in the "M-2, P" Planned Industrial District located north of 2365 Northeast Drive with the following condition: that the plat is updated to be a Plat of Survey and show the existing utility easement along the north property line. Motion carried unanimously.

2. Request by Mike Cook for the Minor Plat of Cook Subdivision a replat of a portion of Lot 47 of Behm Addition, a three-lot residential subdivision in the "R-2" One and Two Family Residence District located at 1001, 1021, and 1129 Archer Avenue.

Dornoff read the staff report recommending approval of the request.

Leistikow asked if all these homes are currently all on one big lot to which Dornoff responded yes.

It was moved by Leistikow and seconded by Schoborg to recommend approval the request by Mike Cook for the Minor Plat of Cook Subdivision a replat of a portion of Lot 47 of Behm Addition, a three-lot residential subdivision in the "R-2" One and Two Family Residence District located at 1001, 1021, and 1129 Archer Avenue. Motion carried unanimously.

VI. Discussion

The next meeting of the Planning, Programming and Zoning Commission will be on March 14, 2023.

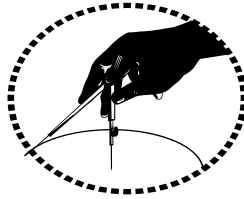
VII. Adjournment

Chairperson Wilber declared the meeting adjourned at 4:38 p.m.

Respectfully submitted,



John Dornoff,
Planner II



TECH NOTES
CITY OF WATERLOO TECHNICAL REVIEW COMMITTEE
MARCH 7, 2023

The meeting of the City of Waterloo Technical Review Committee was called to order at 1:30 p.m. via Zoom.

The following attended the meeting electronically: Aric Schroeder, Lexi Blank, Seth Hyberger and John Dornoff– Planning; Brock Weliver – Fire Department; James Bolger – Waterloo Leisure Services, Greg Alhelm – Building Department; Jaime Knutson – Engineering Department; Isaiah Corbin - INRCOG, Wendell Lupkes – CGA Engineering, Cor Hodapp, Lisa Burch – YTT Design Solutions, and Paul Arch.

A. Hearings – Rezones

1. **Request by Magnum Trucking for a Site Plan Amendment to construct a new 14,000 square foot industrial building along with a 14,000 square foot expansion in the “M-2, P” Planned Industrial District located northeast of 2510 Leverage Road on Warp Drive.**

Dornoff read the staff report recommending approval of the request with the following condition: that the final site plan meets all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, screening, drainage, etc.

Knutson questioned if there was going to be a development agreement and if detention would be included.

Weliver stated it would most likely need sprinkler, alarm, and gate access and possibly additional hydrants.

Alhelm stated they would need to have stamped plans.

2. **Request by Levi Architecture (on behalf of Starbucks) for a Site Plan Amendment to construct a coffee shop in the “S-1” Shopping Center District located north of 115 East Ridgeway Avenue.**

Dornoff read the staff report recommending approval of the request.

Knutson stated that they have made the necessary changes to connect to Kwik Star.

3. **Request by Tony Fischels for a Site Plan Amendment to construct a new 50,400 square foot office/warehouse building in the “M-2,P” Planned Industrial District located at the southeast corner of Leverage Road and Hyper Drive.**

Dornoff read the staff report recommending approval of the request with the following condition: that the final site plan meets all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, screening, drainage, etc.

Knutson stated drainage would need to go east or west not to the south, with new site plan that will create a new lot to the south.

Weliver stated it would probably need sprinkler, alarm, roof vents, additional hydrants, aerial access, and more exits.

- 4. Request by Parks Property Management, LLC for a Site Plan Amendment to construct a new 23,755 square foot commercial building in the “B-P” Business Park District located south of 4041 Hurst Drive.**

Blank read the staff report recommending approval of the request with the following condition: that the final site plan meets all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, screening, drainage, etc.

Weliver stated it would need a sprinkler system and additional hydrants.

Discussion on a development agreement with the civil engineer.

Schroeder noted that the site plan needs to show the required trail on the south side of Fisher Drive.

B. Plats

- 1. Request by Hurst Holdings, Inc. for the Preliminary Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south and east of 4041 Hurst Drive.**

Blank read the staff report recommending approval of the request with the following condition: that the plat has all accurate required information prior to the Preliminary Plat being sent to the City Council.

Lupkes states that they do have the Deed of the Dedication and will get it sent in.

- 2. Request by Hurst Holdings, Inc. for the Final Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south and east of 4041 Hurst Drive.**

Blank read the staff report recommending approval of the request with the following conditions: that the plat has all accurate required information prior to the Preliminary Plat being sent to the City Council and that sidewalk be installed on the south side of Tower Park Drive and a trail on the south side of Fisher Drive.

Discussed under item B-1.

- 3. Request by the City of Waterloo for the Final Plat of North Crossing 3rd Addition, a 3-lot commercial and residential subdivision in the “R-4, R-P” Planned Residence District located north of 501 Lakeside Street.**

Hyberger read the staff report recommending approval of the request.

Knutson stated that they had sent questions about the Deed of Dedication but have not seen anything come back.

Schroeder stated we would need the Deed of Dedication by tomorrow morning if it will be on the March 20th City Council meeting.

- 4. Request by CJ’s Construction on behalf of Hope M. Anderson for the Final Plat of Paradise Estates 1st Addition, a 64-lot residential subdivision in the “R-1” One and Two Family Residence District located adjacent to 5643 Kimball Avenue.**

Hyberger read the staff report recommending approval of the request with the following condition: that the plat has all accurate required information prior to the Final Plat being sent to the City Council.

Schroeder stated they would need to make it clear if the Sanitary Sewer easement needs to be dedicated. Hodapp noted that it would when Phase 2 is done, which would depend on the market for the sale of the lots in Phase 1, but estimated 2 years.

Brock asked when the second access would be permanently put in, to which Burch stated it would go in when it is needed. Burch is not sure when the permanent second access will go in.

Discussion on the sewer and when where the 2nd phase would go in.

Knutson is hoping to work on sanitary sewer and will go in this spring.

Bolger asked if the homeowners association would take care of the roundabout and island on Paradise Boulevard, to which Schroeder stated it would be in the Deed of Dedication.

C. Street Naming

1. **Request by the City of Waterloo to rename West San Marnan Drive from West 4th Street to Ansborough Avenue to Van Miller Way.**

Hyberger read the staff report recommending approval of the request.

Schroeder asked if the new street south of San Marnan was built, would it be called West San Marnan Drive or something else to which Knutson stated he did not know at this point.



John Dornoff,
Planner II

REQUEST: Request by Magnum Trucking for a Site Plan Amendment to construct a new 14,000 square foot industrial building along with a 14,000 square foot expansion in the “M-2,P” Planned Industrial District located northeast of 2510 Lerversee Road on Warp Drive.

APPLICANT(S): Magnum Trucking, 3000 7th Avenue North, Fargo, ND 58102

GENERAL DESCRIPTION: The applicant is requesting to construct a new 14,000 square foot building for a trucking company in the Waterloo Air and Rail Park, with a proposed future expansion.

SURROUNDING LAND USES AND IMPACT ON NEIGHBORHOOD: The request to construct the trucking facility would not appear to have a negative impact upon the surrounding area as it would appear to be compatible with other proposed industrial development in the area.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The proposed site plan amendment would not appear to have a negative impact upon vehicular or pedestrian traffic conditions in the area. The site is served by Warp Drive which is classified as a Local street and Lerversee Road, which is classified as a Collector.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: There are no trails or sidewalks in the immediate project area.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: The area in question has been zoned “M-2,P” Planned Industrial District since June 7, 2010, when the land was rezoned from “A-1” Agricultural District. Surrounding land uses and their zoning designations are as follows:
North – Vacant Land and Waterloo Regional Airport, zoned “M-2,P” Planned Industrial District.
South – Vacant Land, zoned “M-2,P” Planned Industrial District.
East – Vacant Land and Waterloo Regional Airport, zoned “M-2,P” Planned Industrial District.
West – New Industrial Development, Residential and vacant land in the City of Cedar Falls

BUFFERS/ SCREENING/ LANDSCAPING REQUIRED: No screening is required in relation to this request.

DRAINAGE: It will be necessary that a SWPPP storm water detention plan is submitted to the Engineering Department for review and approval. The proposed request would not appear to have a negative impact upon drainage in the area if proper storm

water detention techniques are put in place for the two proposed drainage ponds.

DEVELOPMENT HISTORY:

The surrounding area is vacant land to the north, south and east. The homes to the west in the City of Cedar Falls were built between the 1930's and 1980's.

FLOODPLAIN:

None of the property is located in the 100-year flood plain as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 0166F, dated July 18, 2011.

PUBLIC /OPEN SPACES/ SCHOOLS:

No schools are located within the vicinity of the site. Big Woods Lake recreation area is located 1/2 mile to the west of the site.

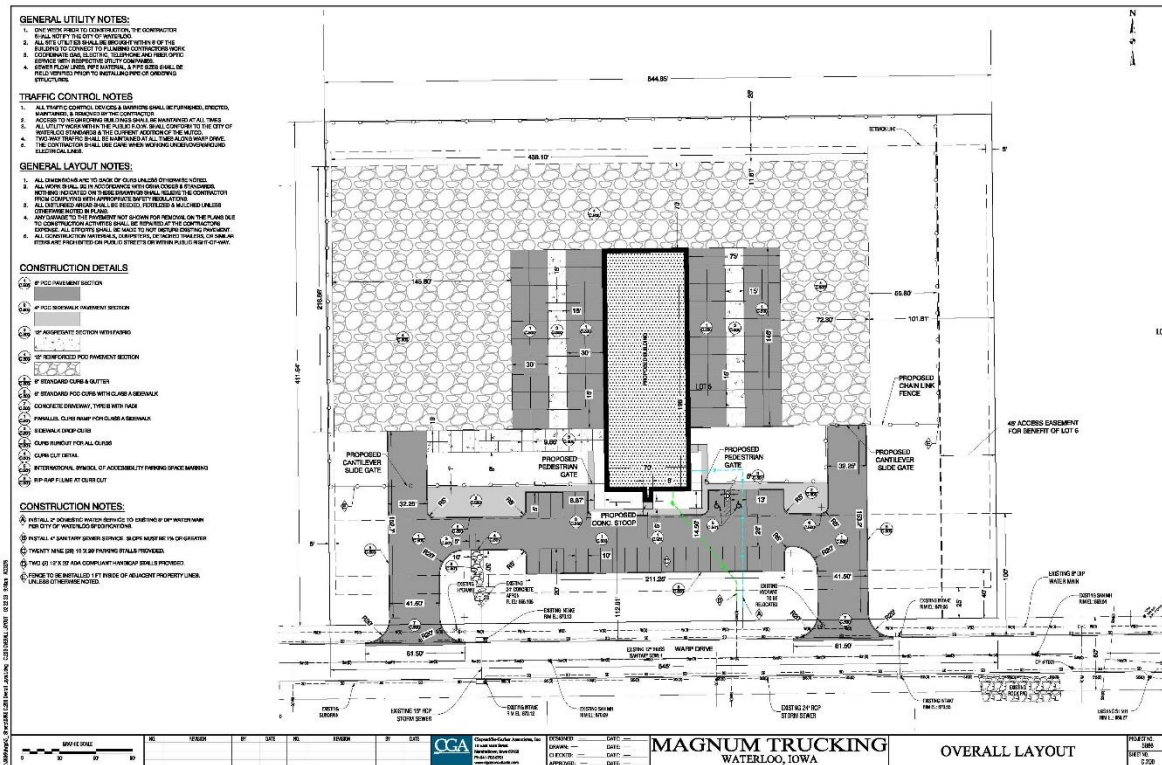
There are no parks in the immediate vicinity.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC.

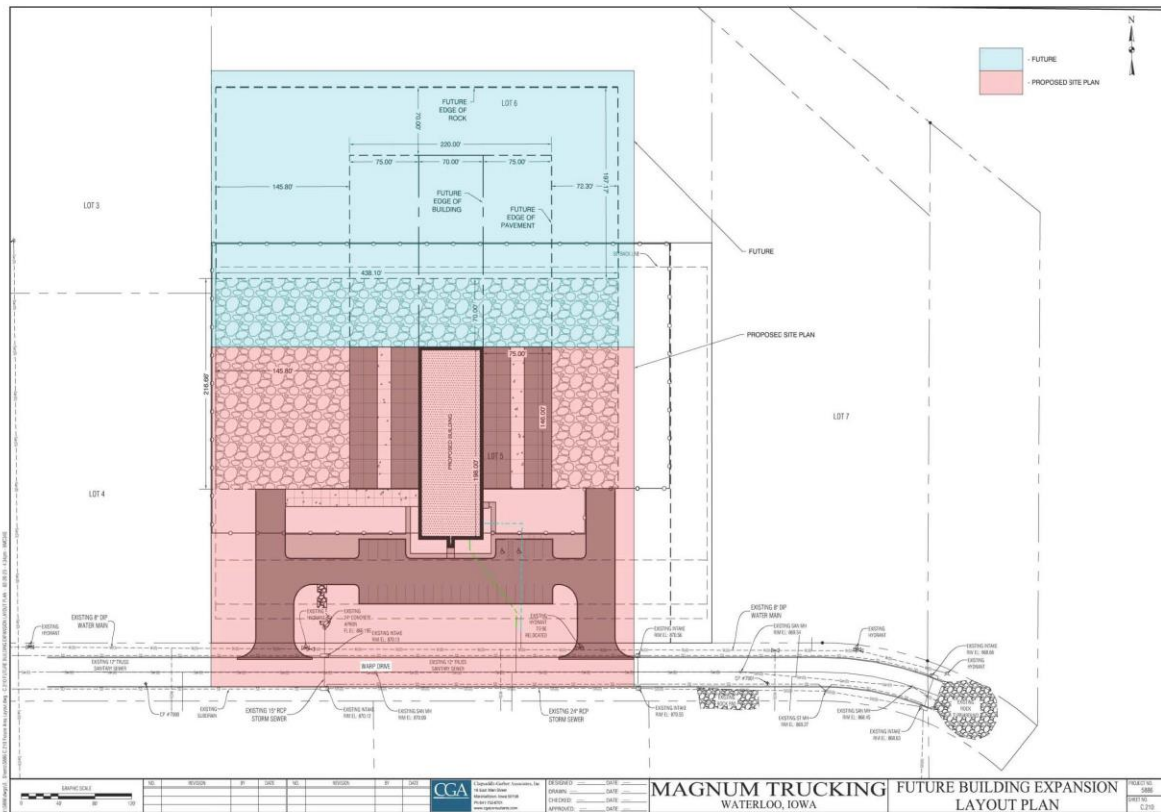
There is a 12" water line located along the east side of Leverage Road and an 8" water line along the north side of Warp Drive, a 12" Sanitary Sewer line located underneath Warp Drive and on the east side of Leverage Road, and a 24" Storm Sewer along the south side of Warp Drive.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

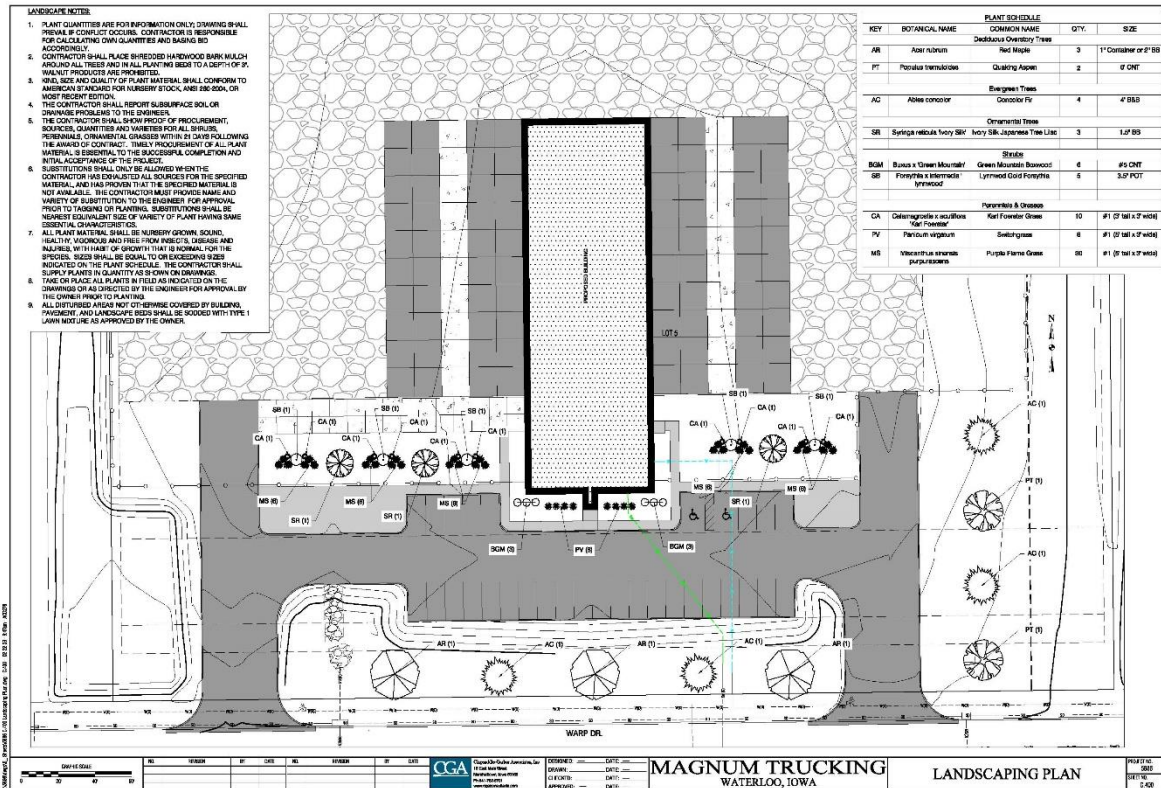
The Future Land Use Map designates this area as *Industrial*. The proposed site plan amendment would be in conformance with the Comprehensive Plan and Future Land Use Map for this area.



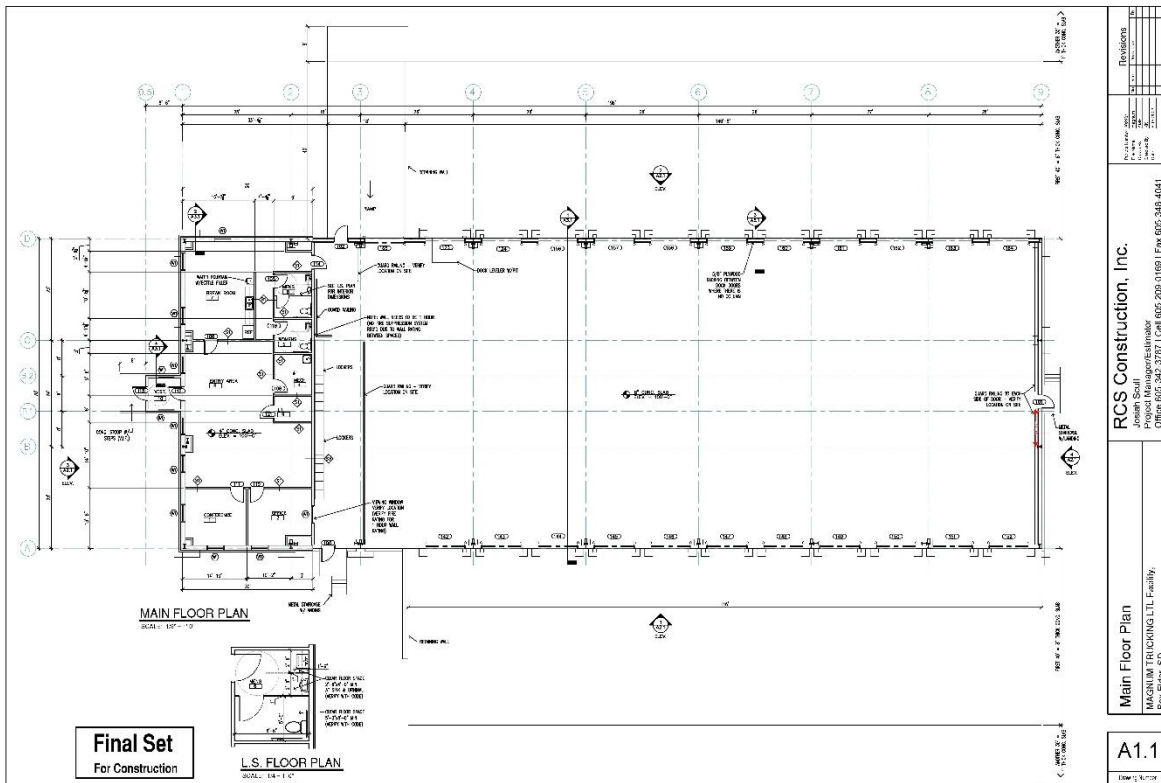
Plan 1 – Phase 1 project plan.



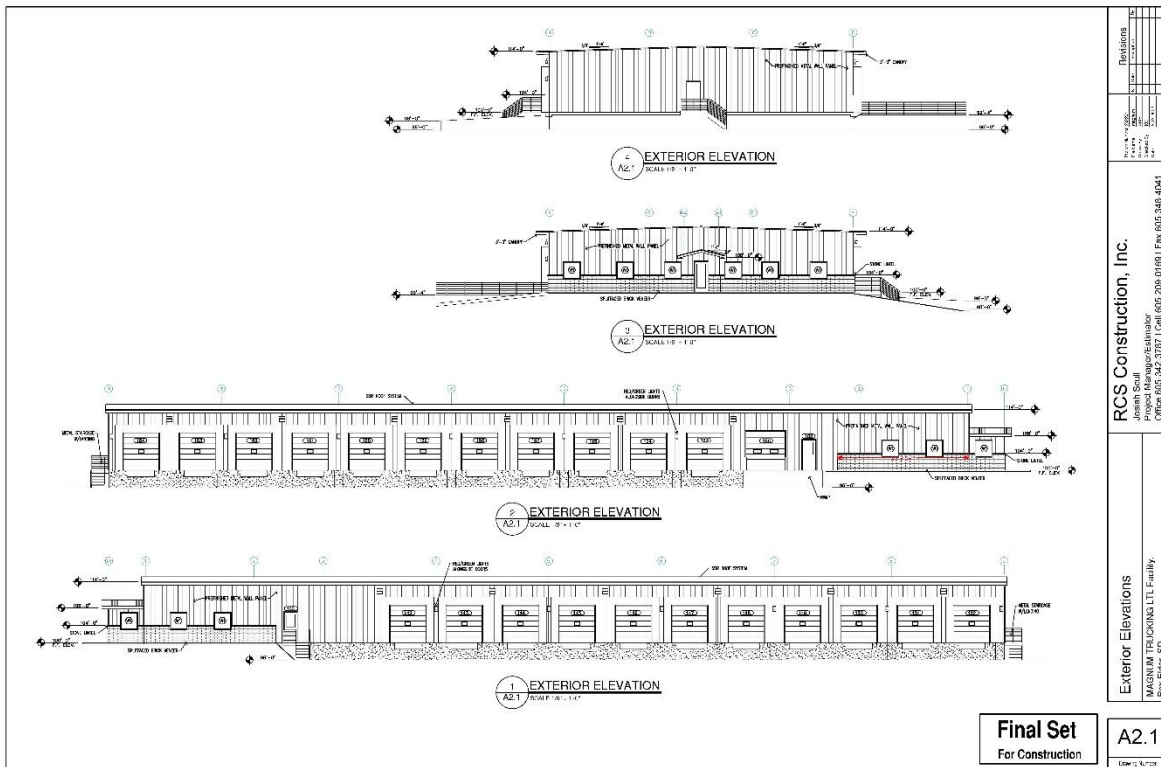
Plan 2 – Phase 2 addition.



Plan 3 – Landscaping plan.



Plan 4 – Interior Layout.



Plan 5 – Side Elevations.

STAFF ANALYSIS –
ZONING
ORDINANCE:

The applicant is requesting to construct a 14,000 square foot facility for a trucking company, with a 14,000 square foot future expansion.

The area in question is zoned “M-2,P” Planned Industrial District, and this zoning is designed to permit the establishment of industrial parks and to provide for the orderly planned growth of industries on large tracts of land, and allowing greater flexibility and diversification of land uses and building locations. It is also intended that such industrial parks be developed to maximize the potentials of industrial areas and at the same time minimize any adverse effect upon adjacent properties in other zoning districts.

The Zoning Ordinance requires 1 space for every 250 SF of office floor area and 1 space for every two persons employed on maximum shift. The submitted site plan shows 31 parking spaces and it will need to be determined during the building permit process whether it is sufficient for the use.

The building elevations show a rectangular building with an office facing Warp Drive. Most of the building will have metal siding with split-faced brick veneer along the lower portion of the building in the area where the office will be. The front of the building has one standard door and 6 windows.

The west side has 12 overhead doors, one regular door, and 3 windows at the front of the building where the office will be located. The east side will have 11 overhead doors along with one regular door and 3 windows in the office area.

The site plan also shows a 14,000 expansion on the north side of the building.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

The applicants are not planning to subdivide the property.

TECHNICAL REVIEW
COMMITTEE

The Fire Department noted that the building would most likely need sprinklers, fire alarms, and gate access for the Fire Department and could possibly need additional fire hydrants.

The building department noted that they would need stamped drawings.

The detention plan needs to be worked out.



Picture 1: Magnum Location from Warp Drive.



Picture 2: Looking west toward Leverage Road with the Magnum site on the right.



Picture 3: Looking northwest from the corner of Warp Drive and Leverage Road.



Picture 4: Looking at the corner of Leverage Road and Warp Drive.

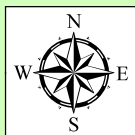
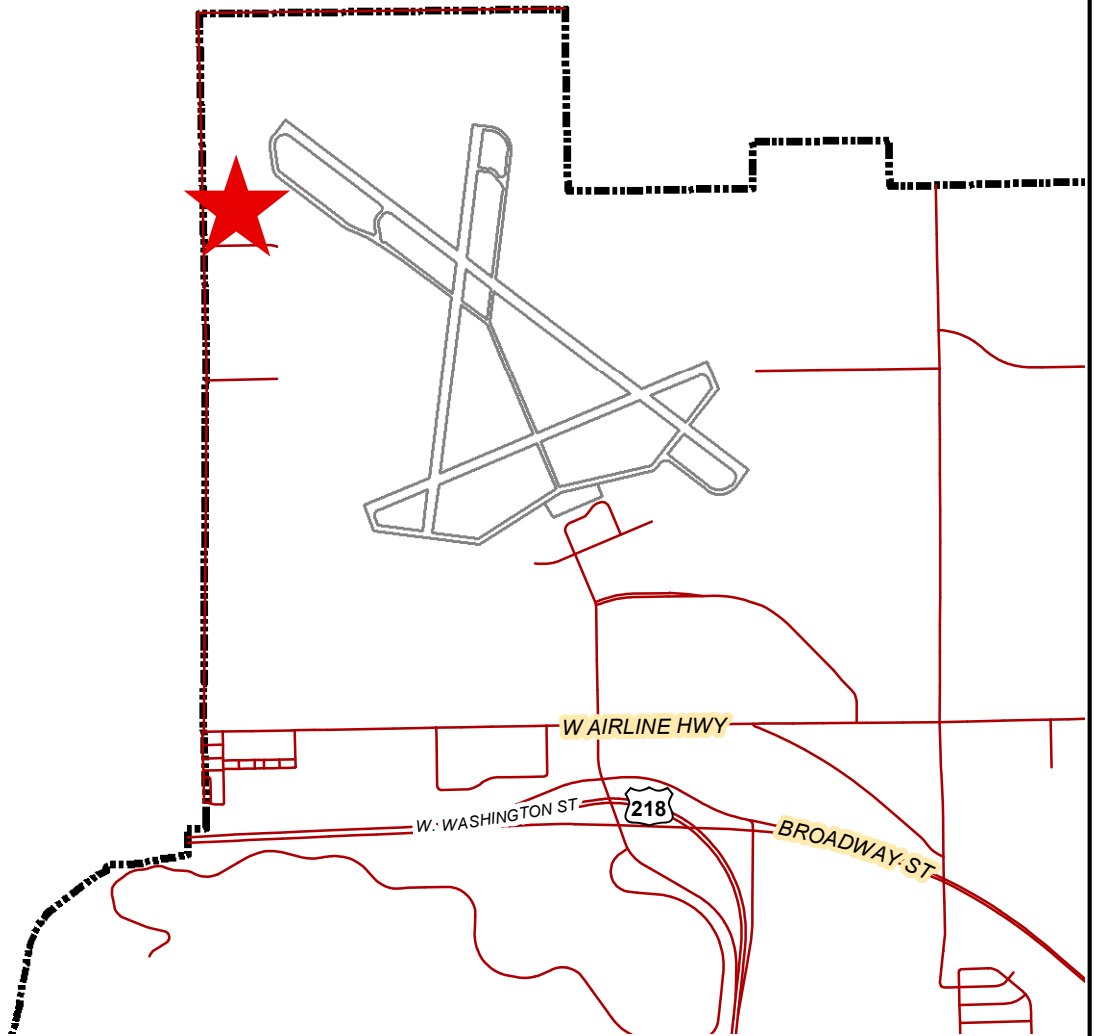
STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Magnum Trucking for a Site Plan Amendment to construct a new 14,000 square foot industrial building in addition to a 14,000 square foot expansion in the “M-2, P” Planned Industrial District located northeast of 2510 Leverage Road on Warp Drive, be approved for the following reasons:

1. The request is in conformance with the Comprehensive Plan and Future Land Use Map for this area.
2. The request would appear not appear to have a negative impact on traffic conditions in the area, as this will be another addition to the industrial park.
3. The request would not have a negative impact upon the surrounding area.

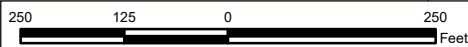
And with the following conditions(s):

1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, screening, drainage, setbacks, etc.



**Northeast of 2510 Leverage Road
pm Warp Drive
Site Plan Amendment to "M-2,P"
Magnum Trucking**

City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023



**NE of 2510 Leverssee Road
on Warp Drive
Site Plan Amendment to "M-2,P"
Magnum Trucking**

GENERAL UTILITY NOTES:

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF WATERLOO.
- ALL SITE UTILITIES SHALL BE BROUGHT WITHIN 5' OF THE BUILDING TO CONNECT TO PLUMBING CONTRACTORS WORK
- COORDINATE GAS, ELECTRIC, TELEPHONE AND FIBER OPTIC SERVICE WITH RESPECTIVE UTILITY COMPANIES.
- SEWER FLOW LINES, PIPE MATERIAL, & PIPE SIZES SHALL BE FIELD VERIFIED PRIOR TO INSTALLING PIPE OR ORDERING STRUCTURES.

TRAFFIC CONTROL NOTES

- ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR.
- ACCESS TO NEIGHBORING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
- ALL UTILITY WORK WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE CITY OF WATERLOO STANDARDS & THE CURRENT ADDITION OF THE MUTCD.
- TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ALONG WARP DRIVE.
- THE CONTRACTOR SHALL USE CARE WHEN WORKING UNDER/OVER/AROUND ELECTRICAL LINES.

GENERAL LAYOUT NOTES:

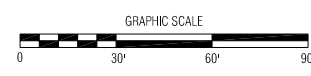
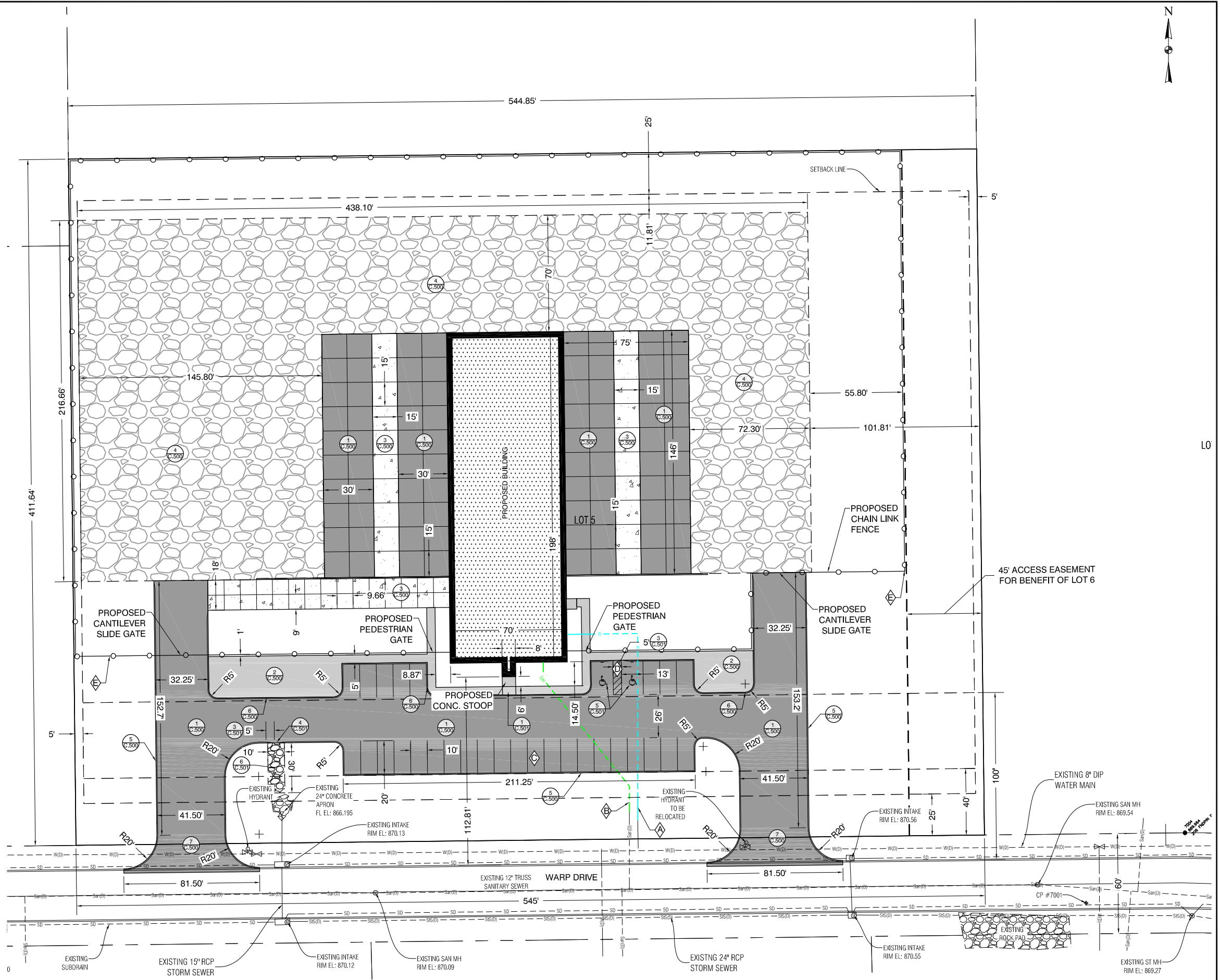
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS.
- ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

CONSTRUCTION DETAILS

- 1. 6" PCC PAVEMENT SECTION
- 2. 4" PCC SIDEWALK PAVEMENT SECTION
- 3. 12" AGGREGATE SECTION WITH FABRIC
- 4. 12" REINFORCED PCC PAVEMENT SECTION
- 5. 6" STANDARD CURB & GUTTER
- 6. 6" STANDARD PCC CURB WITH CLASS A SIDEWALK
- 7. CONCRETE DRIVEWAY, TYPE B WITH RADII
- 8. PARALLEL CURB RAMP FOR CLASS A SIDEWALK
- 9. SIDEWALK DROP CURB
- 10. CURB RUNOUT FOR ALL CURBS
- 11. CURB CUT DETAIL
- 12. INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING
- 13. RIP-RAP FLUME AT CURB CUT

CONSTRUCTION NOTES:

- 1. INSTALL 2" DOMESTIC WATER SERVICE TO EXISTING 8" DIP WATER MAIN PER CITY OF WATERLOO SPECIFICATIONS.
- 2. INSTALL 4" SANITARY SEWER SERVICE. SLOPE MUST BE 1% OR GREATER
- 3. TWENTY NINE (29) 10' X 20' PARKING STALLS PROVIDED.
- 4. TWO (2) 13' X 20' ADA COMPLIANT HANDICAP STALLS PROVIDED.
- 5. FENCE TO BE INSTALLED 1 FT INSIDE OF ADJACENT PROPERTY LINES, UNLESS OTHERWISE NOTED.



| NO. | REVISION | BY | DATE | NO. | REVISION | BY | DATE |
|-----|----------|----|------|-----|----------|----|------|
| | | | | | | | |

CGA Clapsaddle-Garber Associates, Inc.
16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
www.cgaconsultants.com

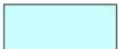
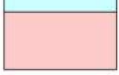
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DRAWN: _____ DATE: _____
CHECKED: _____ DATE: _____
APPROVED: _____ DATE: _____

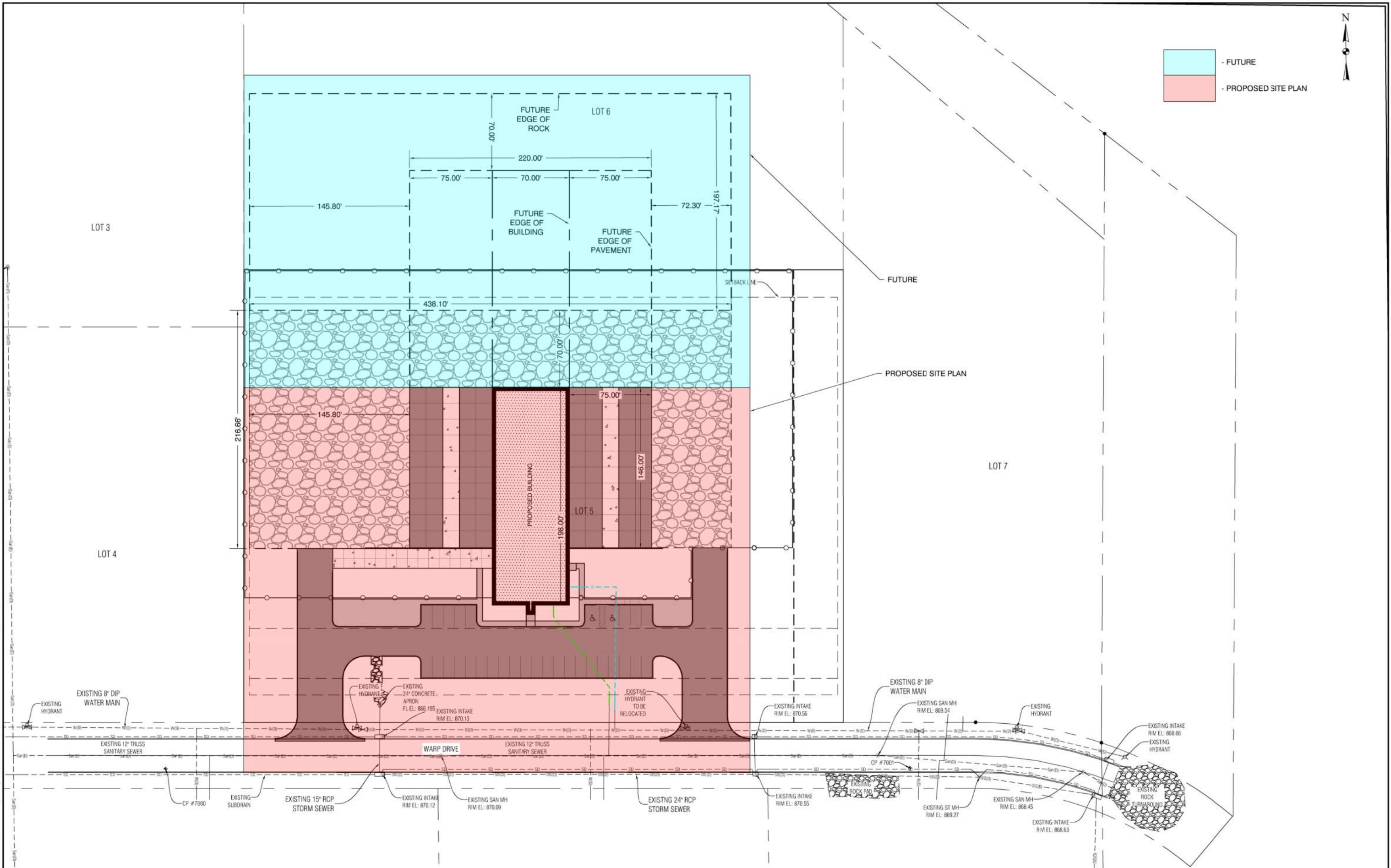
MAGNUM TRUCKING
WATERLOO, IOWA

OVERALL LAYOUT

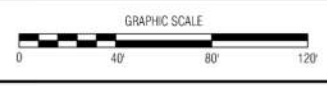
PROJECT NO. 5886
SHEET NO. 20
C.200



 - FUTURE
 - PROPOSED SITE PLAN



J:\5886\Map5\Sheet5886 C 210 Future Area Layout.dwg - C:210 FUTURE BUILDING EXPANSION LAYOUT PLAN - 02.20.23 - 4:34pm - BMC:HS



| NO. | REVISION | BY | DATE | NO. | REVISION | BY | DATE |
|-----|----------|----|------|-----|----------|----|------|
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Clapsdill-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
 PH: 641-752-6701
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

MAGNUM TRUCKING
 WATERLOO, IOWA

FUTURE BUILDING EXPANSION LAYOUT PLAN

PROJECT NO. 5886
 SHEET NO. **21** C.210

GENERAL GRADING NOTES

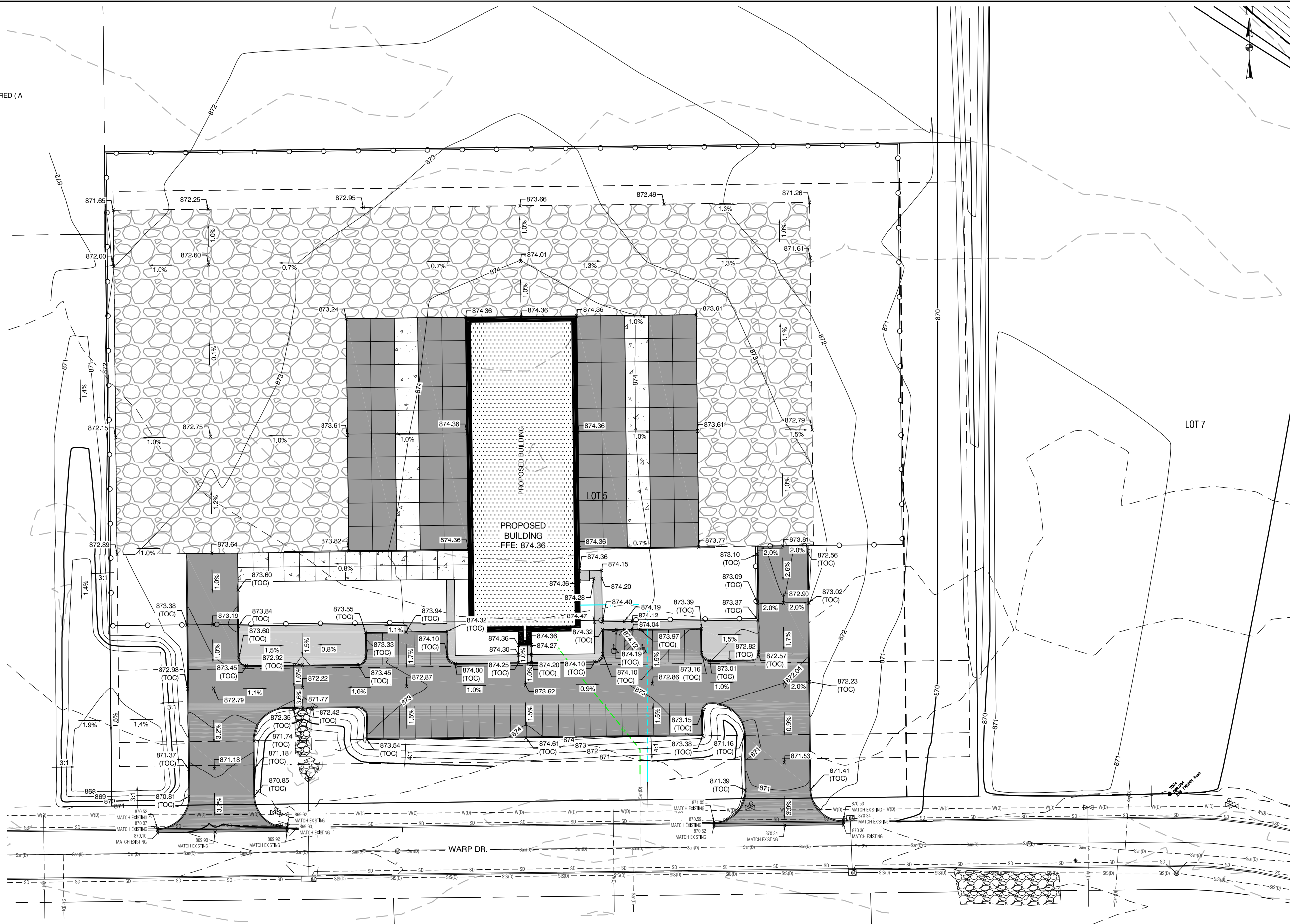
1. SLOPES SHALL NOT BE GREATER THAN 3:1
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS.
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%. CONTRACTOR SHALL TARGET 1.5% CROSS SLOPE.
4. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED (A MINIMUM OF 8") & STOCKPILE AS PER PLAN. RESPREAD TOPSOIL AT LEAST 8" DEEP AS PER SPECIFICATIONS.

LEGEND

- TOC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- T/W TOP OF WALL
- B/W BOTTOM OF WALL
- 2.0% PROPOSED SLOPE
- PROPOSED DRAINAGE PATTERN

FINISHED FLOOR ELEVATIONS

FINISHED FLOOR = 974.36



J:\5886\mgps\S_Sheras\5886 C-300 Overall Grading.dwg - C-300 OVERALL GRADING - 02-22-23 - 9:46am - AC0276



| NO. | REVISION | BY | DATE | NO. | REVISION | BY | DATE |
|-----|----------|----|------|-----|----------|----|------|
| | | | | | | | |

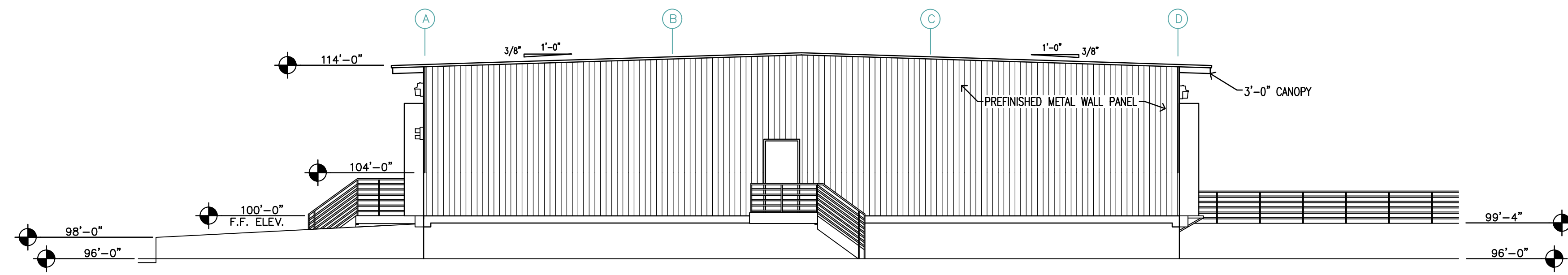
CGA Clapsaddle-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-752-6701
 www.cgaconsulants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

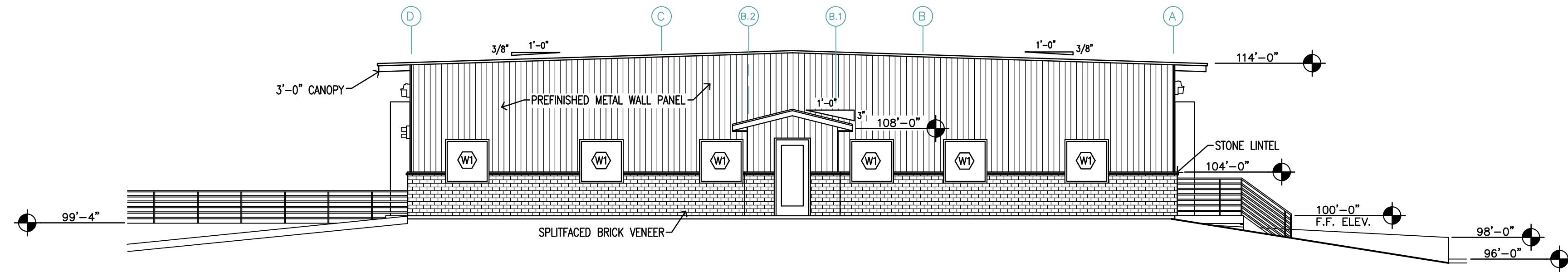
MAGNUM TRUCKING
 WATERLOO, IOWA

OVERALL GRADING

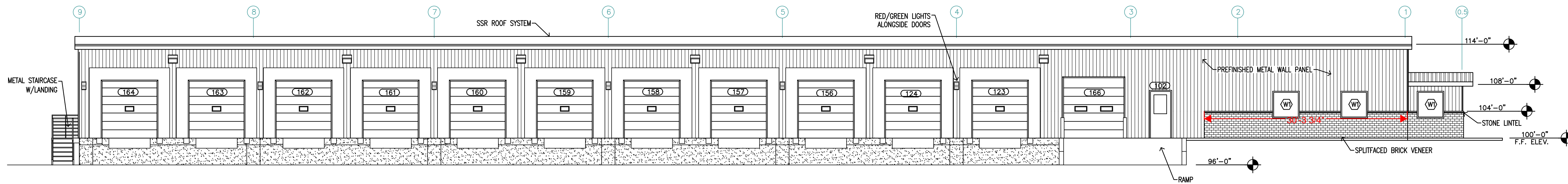
PROJECT NO. 5886
 SHEET NO. 22
 OF 300



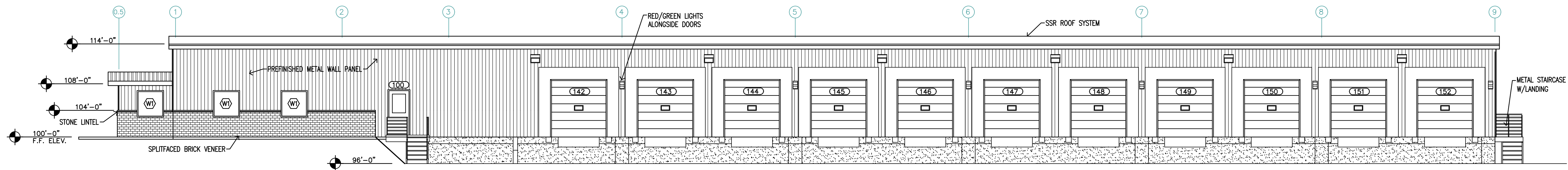
4 EXTERIOR ELEVATION
A2.1 SCALE 1/8" = 1'-0"



3 EXTERIOR ELEVATION
A2.1 SCALE 1/8" = 1'-0"



2 EXTERIOR ELEVATION
A2.1 SCALE 1/8" = 1'-0"



1 EXTERIOR ELEVATION
A2.1 SCALE 1/8" = 1'-0"

| Revisions | |
|-----------|-------------|
| No. | Description |
| | |
| | |
| | |
| | |
| | |

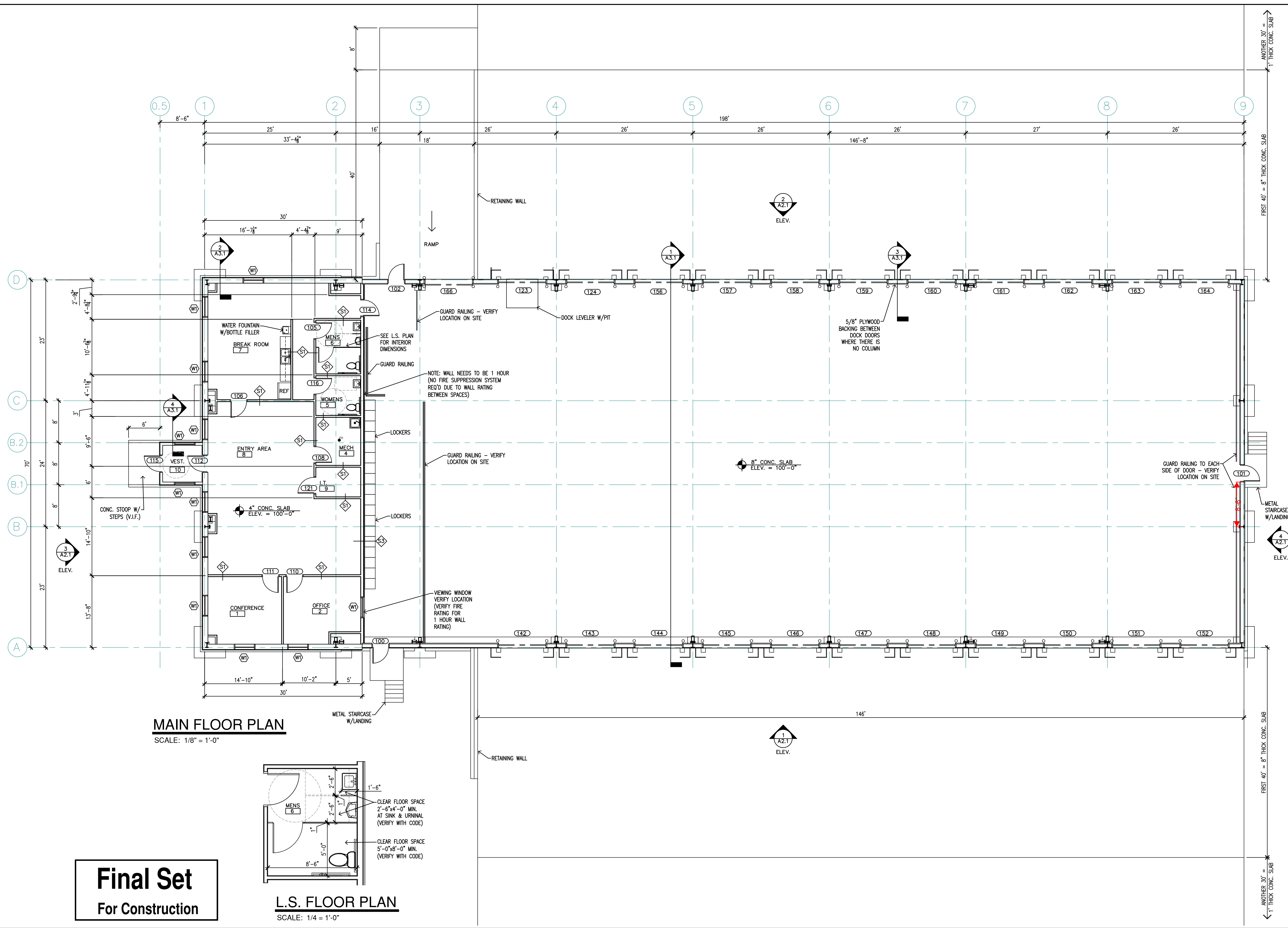
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|----------------|-----------|
| Project Number | 202201 |
| File Name | magnum |
| Drawn By | AMP |
| Checked By | KK |
| Date | 6-16-2022 |

RCS Construction, Inc.
Josiah Scull
Project Manager/Estimator
Office 605-342-3787 | Cell 605-209-0169 | Fax 605-348-4041

Exterior Elevations
MAGNUM TRUCKING LTL Facility,
Box Elder, SD

Final Set
For Construction

A2.1
Drawing Number



Final Set
For Construction

| Revisions | |
|-----------|------|
| No. | Date |
| | |
| | |
| | |
| | |
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|----------------|-----------|
| Project Number | 202201 |
| File Name | magnum |
| Drawn By | AMP |
| Checked By | KK |
| Date | 6-16-2022 |

RCS Construction, Inc.
Josiah Scull
Project Manager/Estimator
Office 605-342-3787 | Cell 605-209-0169 | Fax 605-348-4041

Main Floor Plan
MAGNUM TRUCKING LTL Facility,
Box Elder, SD

A1.1
Drawing Number

| | |
|--|---|
| REQUEST: | Request by Tony Fischels for a Site Plan Amendment to construct a new 50,400 square foot office/warehouse building in the “M-2,P” Planned Industrial District located at the southeast corner of Lerversee Road and Hyper Drive. |
| APPLICANT(S): | Tony Fischels, PO Box 203, Waterloo, Iowa 50704 |
| GENERAL DESCRIPTION: | The applicant is requesting to construct a new 50,400 square foot warehouse building in the Waterloo Air and Rail Park. |
| SURROUNDING LAND USES AND IMPACT ON NEIGHBORHOOD: | The request to construct a warehouse facility would not appear to have a negative impact upon the surrounding area as it would appear to be compatible with other proposed industrial development in the area. |
| VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: | The proposed site plan amendment would not appear to have a negative impact upon vehicular or pedestrian traffic conditions in the area. The site is served by Warp Drive which is classified as a Local street and Lerversee Road, which is classified as a Collector. |
| RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: | There are no trails or sidewalks in the immediate project area. |
| ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: | <p>The area in question has been zoned “M-2,P” Planned Industrial District since June 7, 2010, when the land was rezoned from “A-1” Agricultural District. Surrounding land uses and their zoning designations are as follows:</p> <p>North – New industrial development, vacant land and Waterloo Regional Airport, zoned “M-2,P” Planned Industrial District.</p> <p>South – Vacant Land, zoned “M-2,P” Planned Industrial District.</p> <p>East – Vacant Land and Waterloo Regional Airport, zoned “M-2,P” Planned Industrial District.</p> <p>West – Residential and vacant land in the City of Cedar Falls</p> |
| BUFFERS/ SCREENING/ LANDSCAPING REQUIRED: | No screening is required in relation to this request. |
| DRAINAGE: | It will be necessary that a SWPPP plan storm water detention plan is submitted to the Engineering Department for review and approval. The proposed request would not appear to have a negative impact upon drainage in the area if proper storm water detention techniques are put in place. |



Picture 1: Looking southeast from the corner of Leverage Road and Hyper Drive toward the site in question.



Picture 2: Current construction on the north side of Hyper Drive.



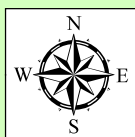
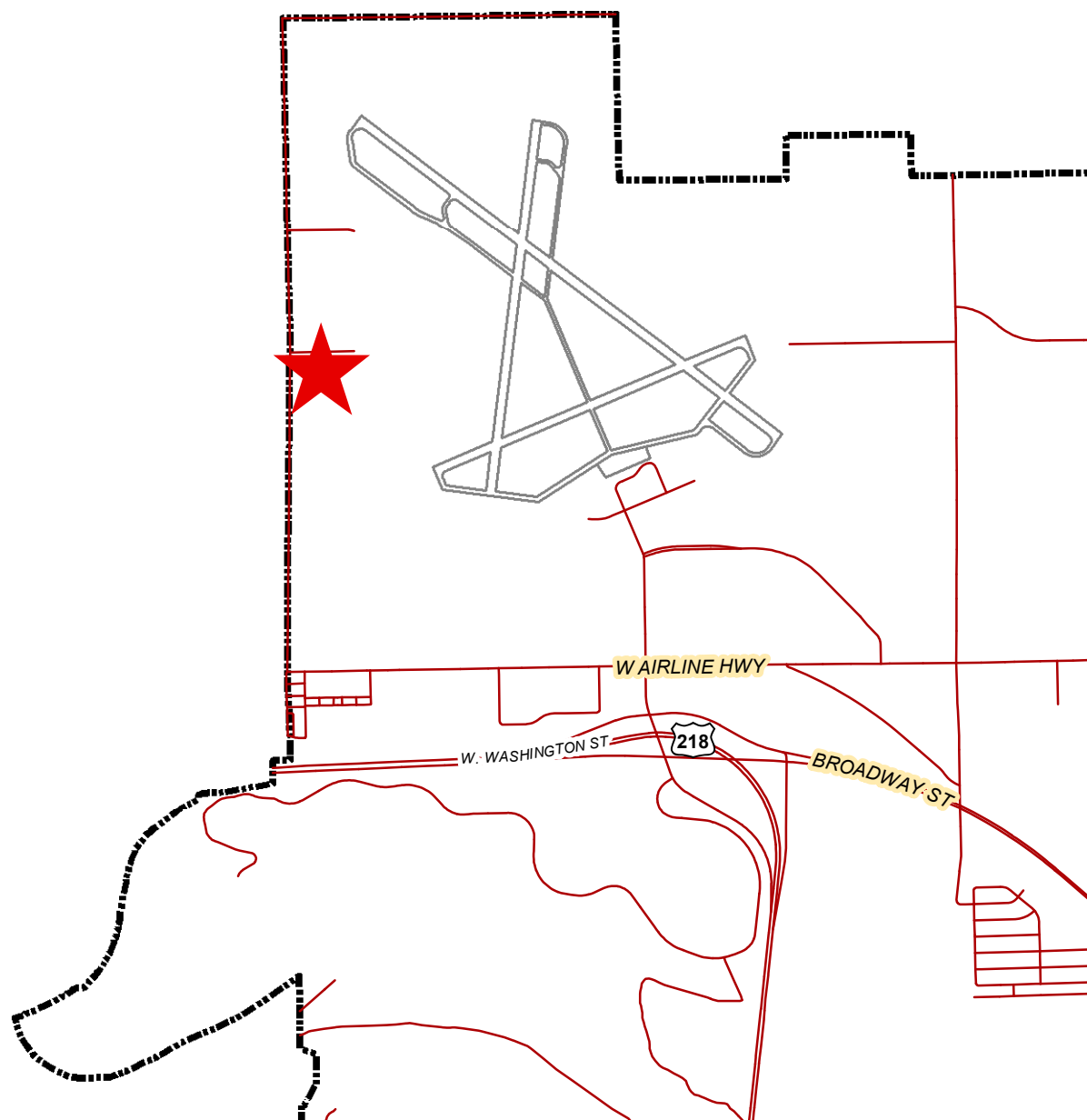
Picture 3: Looking southwest from Hyper Drive toward Leverage Road.



Picture 4: Looking east from Leverage road to the site in question and the Waterloo Regional Airport.

| | |
|---|---|
| DEVELOPMENT HISTORY: | The surrounding area currently has several industrial projects being constructed otherwise is vacant land to the north, south and east adjacent to the Waterloo Regional Airport. The homes to the west in the City of Cedar Falls were built between the 1930's and 1980's. |
| FLOODPLAIN: | None of the property is located in the 100-year flood plain as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 0166F, dated July 18, 2011. |
| PUBLIC /OPEN SPACES/ SCHOOLS: | No schools are located within the vicinity of the site. Big Woods Lake recreation area is located ½ mile to the west of the site. There are no parks in the immediate vicinity. |
| UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC. | There is a 12" water line located along the east side of Leverage Road, a 12" Sanitary Sewer line located underneath the east side of Leverage Road. There is an Sanitary Sewer located in Hyper Drive. |
| RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN: | The Future Land Use Map designates this area as <i>Industrial</i> . The proposed site plan amendment would be in conformance with the Comprehensive Plan and Future Land Use Map for this area. |
| STAFF ANALYSIS – ZONING ORDINANCE: | The applicant is requesting to construct a 50,400 square foot office/warehouse building at the southeast corner of Leverage Road and Hyper Drive. The building will have metal siding on all four sides and will have two driveways. The north side of the building will have two vehicular doors and six loading dock doors. They are also proposing a gravel storage lot behind the building. Parking requirements are one space for every two persons regularly employed on the premises and will need to meet the requirement at the time of building permit review. They have stated there will be two full-time employees and are showing 9 parking spaces, so they do meet the parking requirements. |
| STAFF ANALYSIS – SUBDIVISION ORDINANCE: | The applicants are not planning to subdivide the property. |
| TECHNICAL REVIEW COMMITTEE | <i>During Tech Review it was noted that due to the change in their site plan that will create a new lot to the south, Engineering will need to see a drainage plan that sends water to either the east or west.</i> <i>The fire department also noted that they would probably need sprinkler, alarm, roof vents, additional hydrants, aerial access, and more exits.</i> |

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**

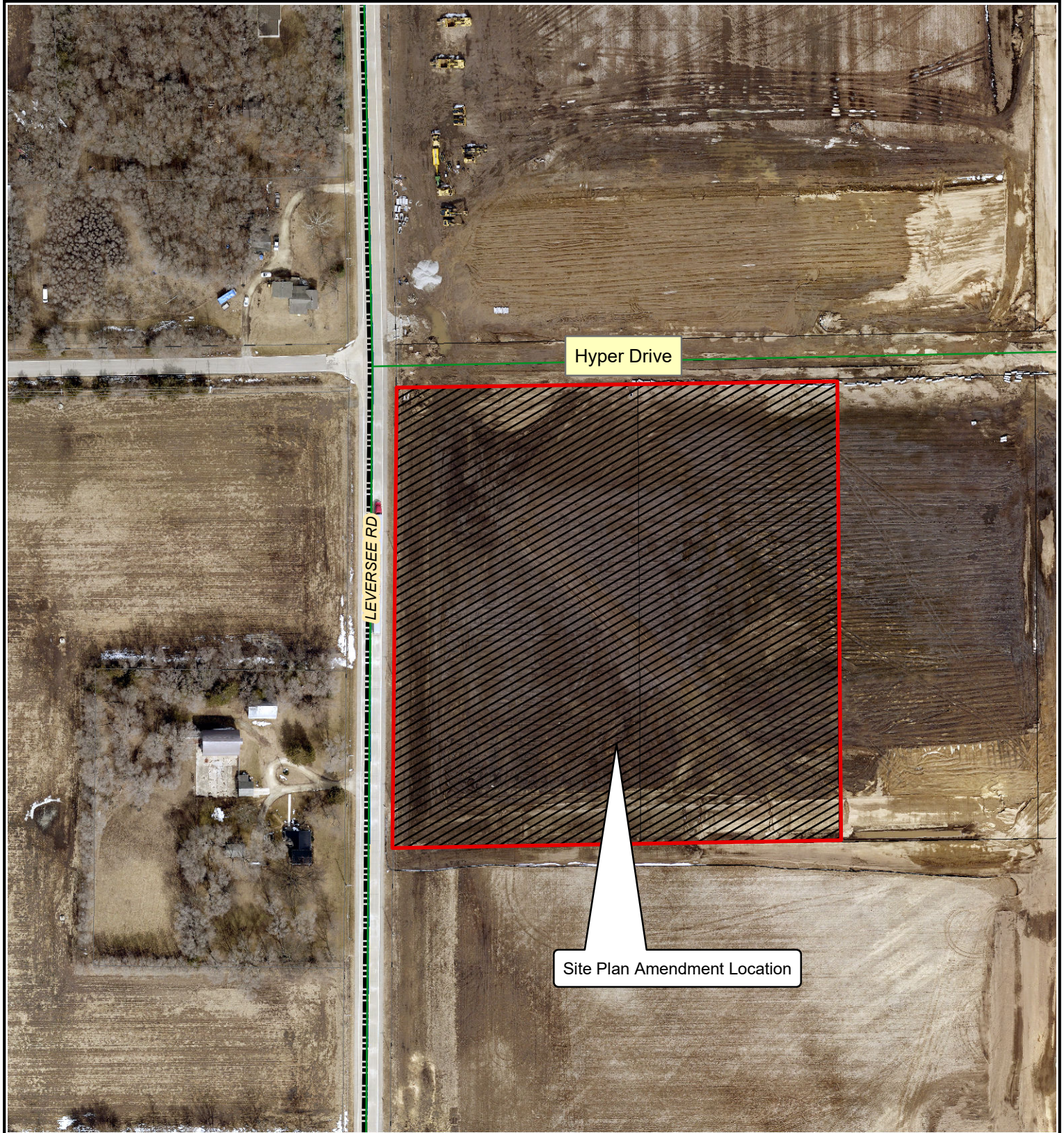


1,000 500 0 1,000
Feet



**Southeast Corner of Leverage Road
and Hyper Drive.
Site Plan Amendment to "M-2,P"
Tony Fischels**

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**



**Southeast Corner of Leverage Road
and Hyper Drive
Site Plan Amendment to "M-2,P"
Tony Fischels**



TRAFFIC CONTROL NOTES

1. ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR. PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER BEFORE CHANGES ARE MADE.
2. ACCESS TO NEIGHBORING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
3. ALL UTILITY WORK WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE CITY OF WATERLOO STANDARDS & THE CURRENT ADDITION OF THE MUTCD.
4. TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ALONG HYPER DRIVE. THE CONTRACTOR SHALL USE CARE WHEN WORKING UNDER/OVER/AROUND ELECTRICAL LINES.
5. FLASHING OR STEADY BURN WARNING LIGHTS ARE REQUIRED ON TYPE II BARRICADES FOR OVERNIGHT CLOSURES.
6. WORK AREA MUST BE ENCLOSED WITH BARRICADES, FENCING, OR A COMBINATION OF THE TWO.

GENERAL LAYOUT NOTES:

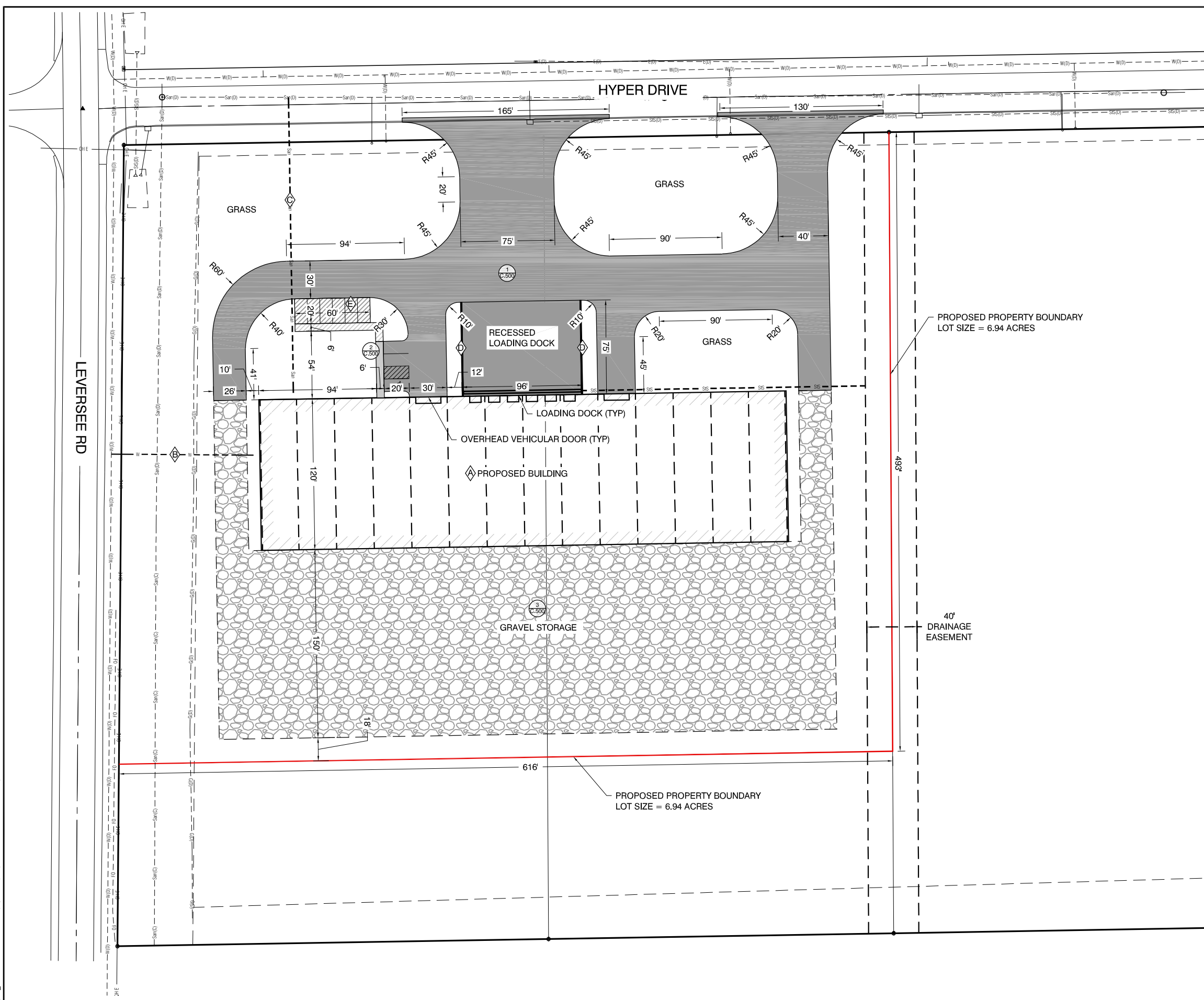
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
3. SIGHT LIGHTING SHALL BE DETERMINED BY THE OWNER.
4. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS. REFER TO LANDSCAPING PLAN.
5. ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
6. COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES.
7. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

CONSTRUCTION DETAILS

- 1. INSTALL 1" PCC PAVEMENT SECTION, (5,533 SY)
- 2. INSTALL 4" PCC SIDEWALK PAVEMENT SECTION (30 SY)
- 3. INSTALL GRAVEL SECTION (8,893 SY)

CONSTRUCTION NOTES:

- ◆ INSTALL PROPOSED BUILDING (BY OTHERS)
- ◆ LIVE TAP 4" WATER SERVICE TO EXISTING 8" WATER MAIN PER CITY OF WATERLOO SPECIFICATIONS.
- ◆ INSTALL 6" SANITARY SEWER SERVICE. SLOPE MUST BE 1% OR GREATER
- ◆ INSTALL RETAINING WALL (BY OTHERS)
- ◆ ADDITIONAL PAVED PARKING AS NEEDED



J:\23-DS-005\Drawings\3-8-23-DS-0051 - C.200 (Layout Plan).dwg - C.200 - 03-08-23 - 9:47am - haggeman



| NO. | REVISION | BY | DATE | NO. | REVISION | BY | DATE |
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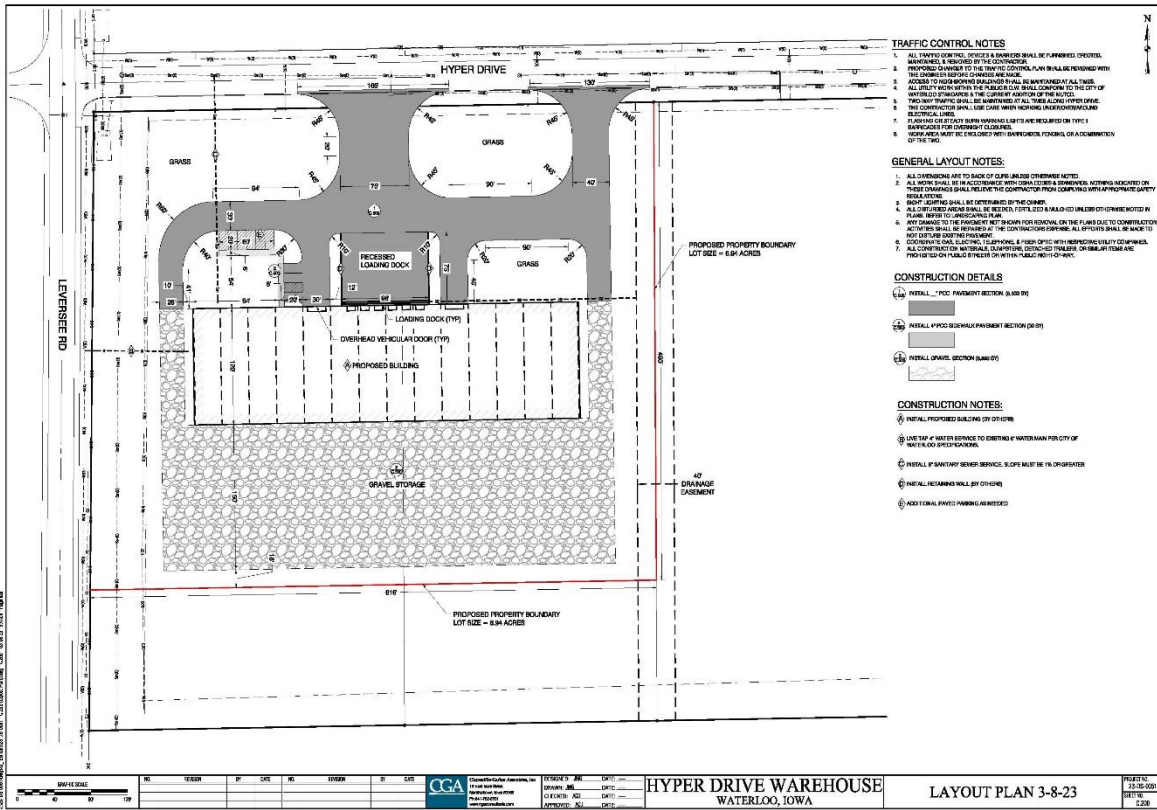
CGA Clapsaddle-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-752-6701
 www.cgaconsultants.com

DESIGNED: JMG DATE: ---
 DRAWN: JMG DATE: ---
 CHECKED: ACD DATE: ---
 APPROVED: ACD DATE: ---

HYPER DRIVE WAREHOUSE
 WATERLOO, IOWA

LAYOUT PLAN 3-8-23

PROJECT NO. 23-DS-0051
 SHEET NO. 32 OF 32
 C.200

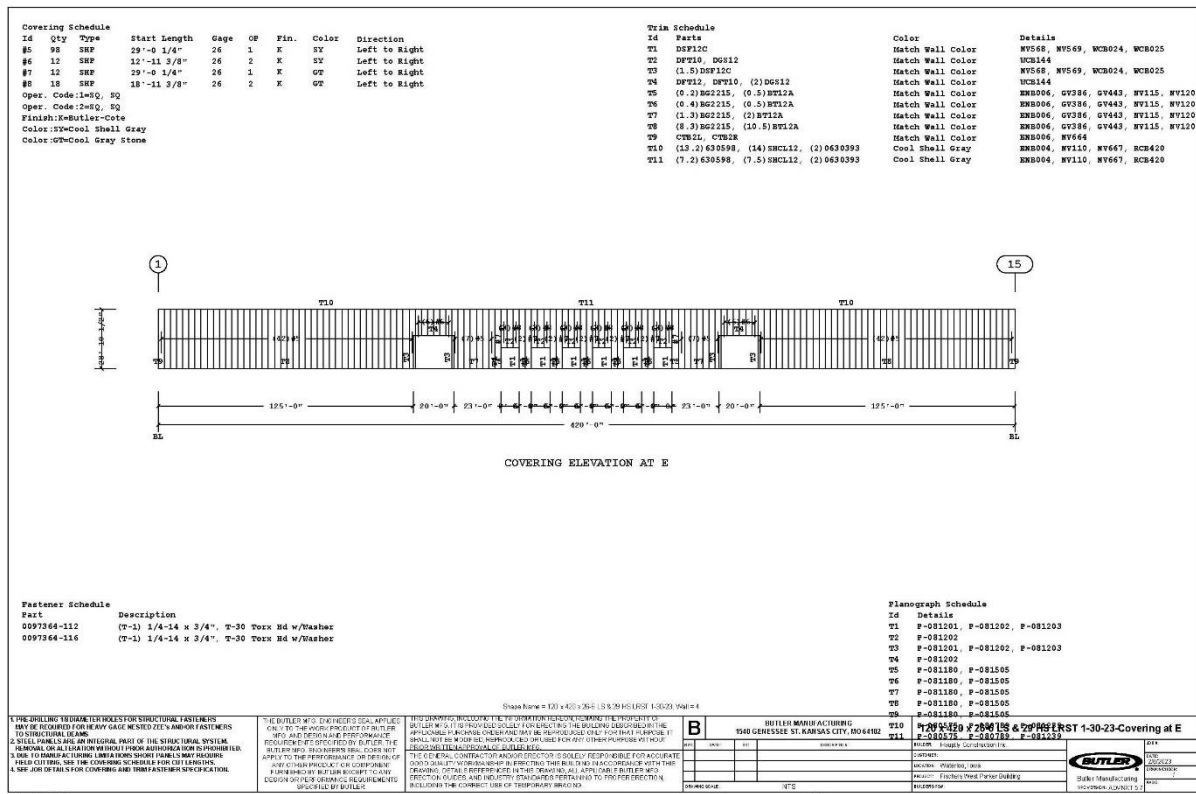


| DRAWING INDEX | | DRAWING RELEASE HISTORY | | | GENERAL NOTES | |
|--------------------------|-------|-------------------------|------|-------------|--------------------|------------------|
| DRAWING TITLE | PAGES | TYPE | DATE | DESCRIPTION | MATERIALS | ASTM DESIGNATION |
| COVER SHEET | | | | | STEEL SHEET PILING | A36 |
| COVERS AND LOADS | | | | | STEEL CHANNEL | A36 |
| NOTES | | | | | STEEL I-BEAM | A36 |
| ANCHOR ROD PLAN | | | | | STEEL PLATE | A36 |
| PRIMARY STRUCTURAL | | | | | STEEL TUBING | A36 |
| SECONDARY STRUCTURAL | | | | | STEEL WIRE ROPE | A308 |
| COVERINGS | | | | | STEEL WIRE ROPE | A308 |
| SPECIAL DRAWINGS | | | | | STEEL WIRE ROPE | A308 |
| STANDARD SECTION DETAILS | | | | | STEEL WIRE ROPE | A308 |
| PLUMBING DETAILS | | | | | STEEL WIRE ROPE | A308 |

INSPECTION AND TESTING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOR REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOR REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOR REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.

| | |
|---|---|
| <p>COVER SHEET</p> <p>DATE: 03/14/23</p> <p>PROJECT: HYPER DRIVE WAREHOUSE</p> <p>LOCATION: WATERLOO, IOWA</p> | <p>BUTLER MANUFACTURING</p> <p>1540 GIBBS STREET, KANSAS CITY, MO 64102</p> <p>PH: 816.234.2000</p> <p>WWW.BUTLERMANUFACTURING.COM</p> |
|---|---|



STAFF RECOMMENDATION:

Therefore, staff recommends that the request by Tony Fischels for a Site Plan Amendment to construct a new 50,400 square foot office/warehouse building in the “M-2,P” Planned Industrial District located at the southeast corner of Leverssee Road and Hyper Drive be approved for the following reasons:

1. The request is in conformance with the Comprehensive Plan and Future Land Use Map for this area.
2. The request would appear not appear to have a negative impact on traffic conditions in the area, as this will be another addition to the industrial park.
3. The request would not appear to have a negative impact upon the surrounding area.

And with the following conditions(s):

1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, screening, drainage, setbacks, etc.

Covering Schedule

| Id | Qty | Type | Start Length | Gage | OP | Fin. | Color | Direction |
|----|-----|------|--------------|------|----|------|-------|---------------|
| #5 | 98 | SHP | 29'-0 1/4" | 26 | 1 | K | SY | Left to Right |
| #6 | 12 | SHP | 12'-11 3/8" | 26 | 2 | K | SY | Left to Right |
| #7 | 12 | SHP | 29'-0 1/4" | 26 | 1 | K | GT | Left to Right |
| #8 | 18 | SHP | 18'-11 3/8" | 26 | 2 | K | GT | Left to Right |

Oper. Code:1=SQ, SQ
 Oper. Code:2=SQ, SQ
 Finish:K=Butler-Cote
 Color:SY=Cool Shell Gray
 Color:GT=Cool Gray Stone

Trim Schedule

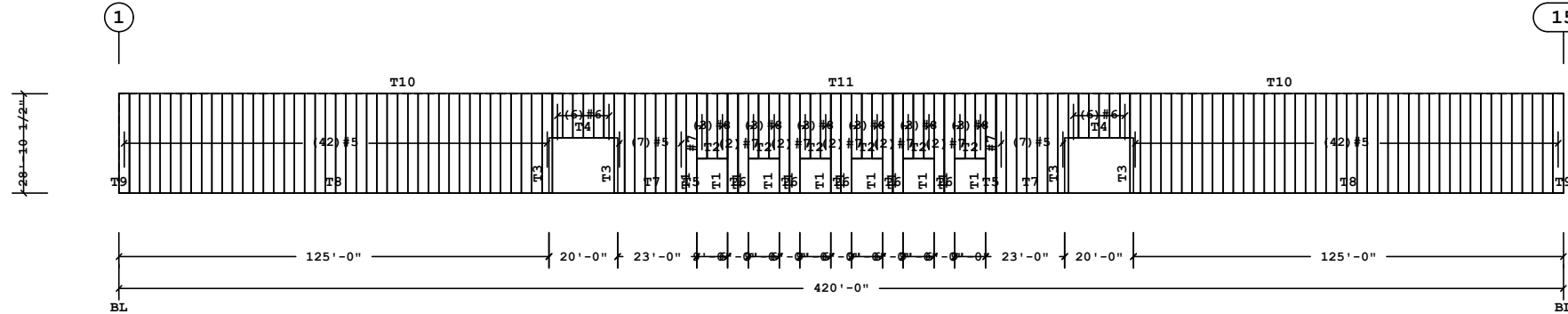
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|-----|--------------------------------------|
| T1 | DSF12C |
| T2 | DFT10, DGS12 |
| T3 | (1.5)DSF12C |
| T4 | DFT12, DFT10, (2)DGS12 |
| T5 | (0.2)BG2215, (0.5)BT12A |
| T6 | (0.4)BG2215, (0.5)BT12A |
| T7 | (1.3)BG2215, (2)BT12A |
| T8 | (8.3)BG2215, (10.5)BT12A |
| T9 | CTB2L, CTB2R |
| T10 | (13.2)630598, (14)SHCL12, (2)0630393 |
| T11 | (7.2)630598, (7.5)SHCL12, (2)0630393 |

| Color |
|------------------|
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Cool Shell Gray |
| Cool Shell Gray |

Details

| |
|------------------------------------|
| NV568, NV569, WCB024, WCB025 |
| WCB144 |
| NV568, NV569, WCB024, WCB025 |
| WCB144 |
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, NV664 |
| ENB004, NV110, NV667, RCB420 |
| ENB004, NV110, NV667, RCB420 |

NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065
 NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065
 NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065
 NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065



COVERING ELEVATION AT E

Fastener Schedule

| Part | Description |
|-------------|--|
| 0097364-112 | (T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer |
| 0097364-116 | (T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer |

Planograph Schedule

| Id | Details |
|----|------------------------------|
| T1 | P-081201, P-081202, P-081203 |
| T2 | P-081202 |
| T3 | P-081201, P-081202, P-081203 |
| T4 | P-081202 |
| T5 | P-081180, P-081505 |
| T6 | P-081180, P-081505 |
| T7 | P-081180, P-081505 |
| T8 | P-081180, P-081505 |
| T9 | P-081180, P-081505 |

Shape Name = 120 x 420 x 26-6 LS & 29 HS LRST 1-30-23, Wall = 4

- PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS
- STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.
- DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.
- SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

| | | | | | | | | | |
|--------------------|------|--|-------------|--------------------------|-------------------------------|---|--|---|--|
| B | | BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102 | | T10 T11 | | P-080575, P-080789, P-081239 | | 120 x 420 x 26-6 LS & 29 HS LRST 1-30-23-Covering at E | |
| REV | DATE | BY | DESCRIPTION | BUILDER | Hauply Construction Inc. | | | | |
| | | | | CUSTOMER | | | | | |
| | | | | LOCATION | Waterloo, Iowa | | | | |
| | | | | PROJECT | Fischels West Parker Building | | | | |
| | | | | BUILDER'S POK | | | | | |
| DRAWING SCALE: NTS | | | | DATE: 2/6/2023 | | DRAWN/CHECKED: / | | PAGE: | |
| 2/6/2023 | | | | 18-18-13 | | BUTLER | | BUTLER Manufacturing | |
| | | | | VFC VERSION: ADVNXT 5.7 | | a division of BlueScope Buildings North America, Inc. | | | |

Covering Schedule

| Id | Qty | Type | Start Length | Gage | OP | Fin. | Color | Direction |
|----|-----|------|--------------|------|----|------|-------|---------------|
| #2 | 110 | SHP | 26'-6 1/4" | 26 | 1 | K | SY | Left to Right |
| #3 | 30 | SHP | 26'-6 1/4" | 26 | 1 | K | GT | Left to Right |

Oper. Code:1=SQ, SQ
 Finish:K=Butler-Cote
 Color:SY=Cool Shell Gray
 Color:GT=Cool Gray Stone

Trim Schedule

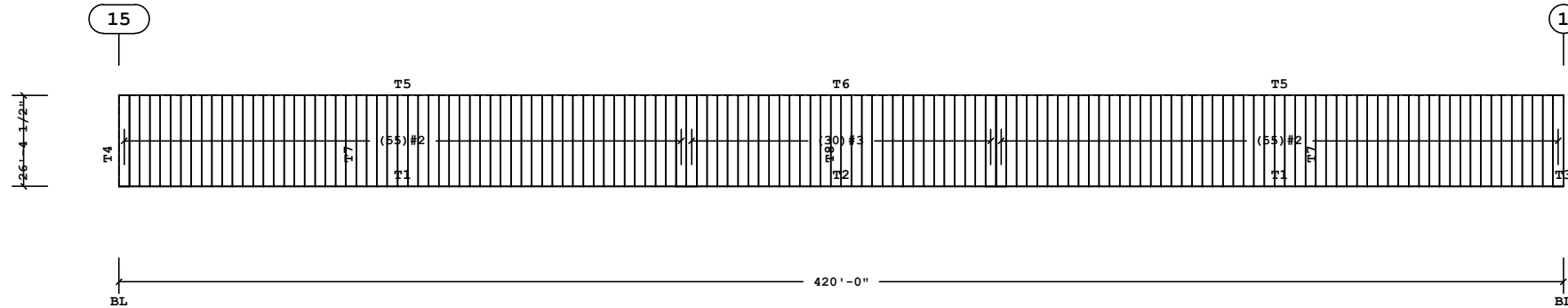
| Id | Parts |
|----|------------------------------------|
| T1 | (11)BG2215, (14)BT12A |
| T2 | (6)BG2215, (7.5)BT12A |
| T3 | CTB2L, CTB2R |
| T4 | (4)0620163, (3)SHOCT12 |
| T5 | (14)CLE12C, (14)SHCL12, (7)WGTR25 |
| T6 | (8)CLE12C, (7.5)SHCL12, (4)WGTR25 |
| T7 | 0008738, (2)4CE45, 4CE75, (3)CP410 |
| T8 | 0008738, (2)4CE45, 4CE75, (3)CP410 |

| Color |
|------------------|
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Match Wall Color |
| Cool Shell Gray |
| Cool Shell Gray |
| Match Wall Color |
| Match Wall Color |

Details

| |
|------------------------------------|
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, GV386, GV443, NV115, NV120 |
| ENB006, NV664 |
| NV118, NV119, NV133, NV134 |
| MV274, NV110, NV116, NV131 |
| MV274, NV110, NV116, NV131 |
| KV846 |
| KV846 |

NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065
 NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB085, WCB086, WSR065



COVERING ELEVATION AT A

Fastener Schedule

| Part | Description |
|-------------|--|
| 0097364-112 | (T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer |
| 0097364-116 | (T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer |

Planograph Schedule

| Id | Details |
|----|--|
| T1 | P-081180, P-081505 |
| T2 | P-081180, P-081505 |
| T3 | P-081180, P-081505 |
| T4 | P-081180, P-081185 |
| T5 | P-080082, P-080089, P-081241, P-105017 |
| T6 | P-080082, P-080089, P-081241, P-105017 |
| T7 | P-105224, P-105225, P-105228 |
| T8 | P-105224, P-105225, P-105228 |

Shape Name = 120 x 420 x 26-6 LS & 29 HS LRST 1-30-23, Wall = 2

- PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS
- STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.
- DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.
- SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

| | | | | | |
|--------------------|------|--|---|---|-------------------------------|
| B | | BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102 | | 120 x 420 x 26-6 LS & 29 HS LRST 1-30-23-Covering at A | |
| REV | DATE | BY | DESCRIPTION | BUILDER | Hauptly Construction Inc. |
| | | | | CUSTOMER | |
| | | | | LOCATION | Waterloo, Iowa |
| | | | | PROJECT | Fischels West Parker Building |
| | | | | BUILDER'S P.O.# | |
| DRAWING SCALE: NTS | | | DATE: 2/6/2023 | | |
| | | | DRAWN/CHECKED: / | | |
| | | | PAGE: / | | |
| | | | BUTLER Butler Manufacturing VPC VERSION: ADVNXT 5.7 | | |

**APPLICATION SITE PLAN AMENDMENT TO A “R-P”,
“M-P”, “C-P”, “B-P”, “S-1” OR “C-Z” DISTRICT
CITY OF WATERLOO PLANNING, PROGRAMMING, AND
ZONING COMMISSION, WATERLOO, IOWA
319.291.4366**

New or Overall Amendment _____

Individual Building X

Minor change _____ (check one) (Minor Change must be approved by staff)

1. APPLICATION INFORMATION:

- a. Applicant's name – Business Name if Applicable (please print): Tony Fischels
Address: PO Box 203 Phone: 319-415-8870 Fax: n/a
City: Waterloo State: IA Zip: 50704
Email: tony.fischels@gmail.com
- b. Status of applicant: (a) Owner X (b) Other _____ (CHECK ONE): If other explain: _____
- c. Property owner's name if different than above (please print): _____
Address: _____ Phone: _____ Fax: _____
City: _____ State: _____ Zip: _____
Email: _____

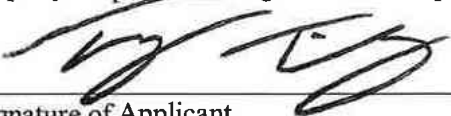
2. PROPERTY INFORMATION:

- a. General location of site plan to be amended: South of Hyper Drive, East of Leverage Rd
- b. Legal description of property or portion to be amended: _____
Lots 1-3, Waterloo Air & Rail Park 2nd Addition
- c. Dimensions of proposed site plan amendment: 884.5' x 638.15'
- d. Area of proposed site plan amendment: 13.02 acres
- e. Current zoning: M-2, P
- f. Reason(s) for site plan amendment and proposed use(s) of property: New building site for warehouse
- g. Conditions (if any) agreed to (does not affect existing conditions unless specified): _____

- h. Other pertinent information (use reverse side if necessary): _____

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it must go through a platting process (separate from site plan amendment request).

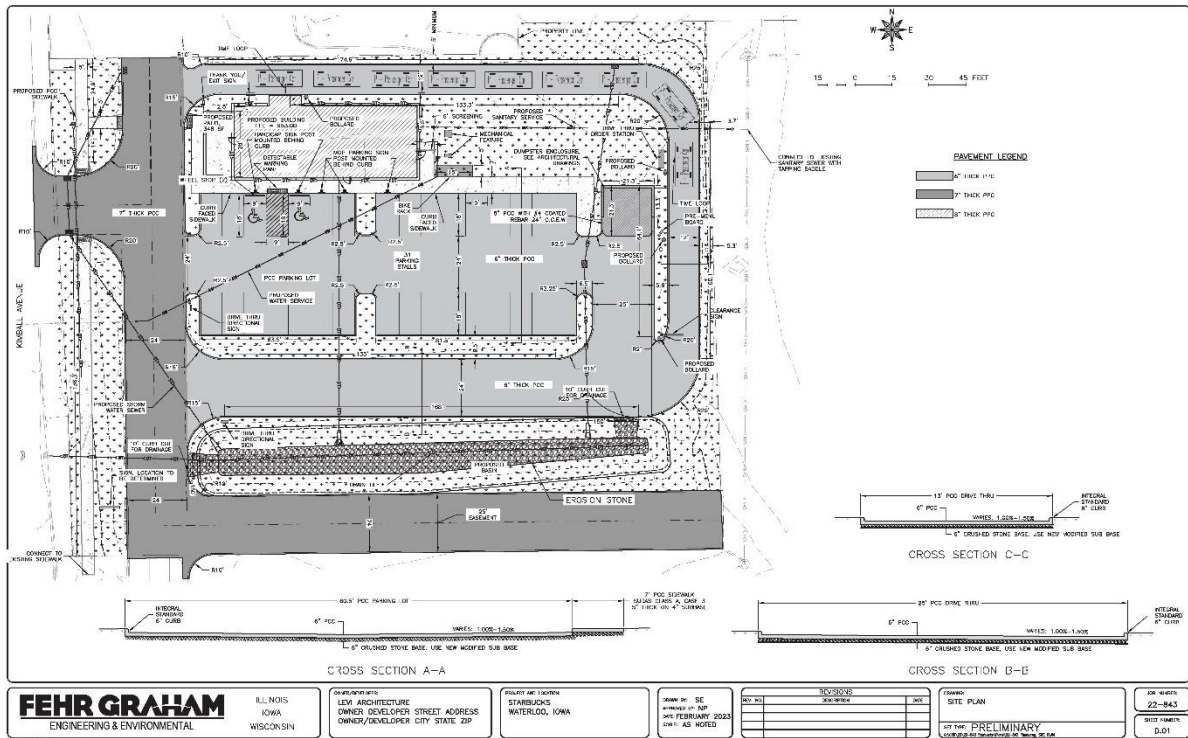
The filing fee of **\$200** (for new or overall amendment), \$100 (for individual Building), or \$0 (for minor change) (payable to the City of Waterloo) is required. **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. If the request is denied no new petition covering the same or portion of the same property shall be filed with or considered by the Planning, Programming, and Zoning Commission until four (4) months have elapsed from the date of denial by the Waterloo City Council. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo City Council in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.

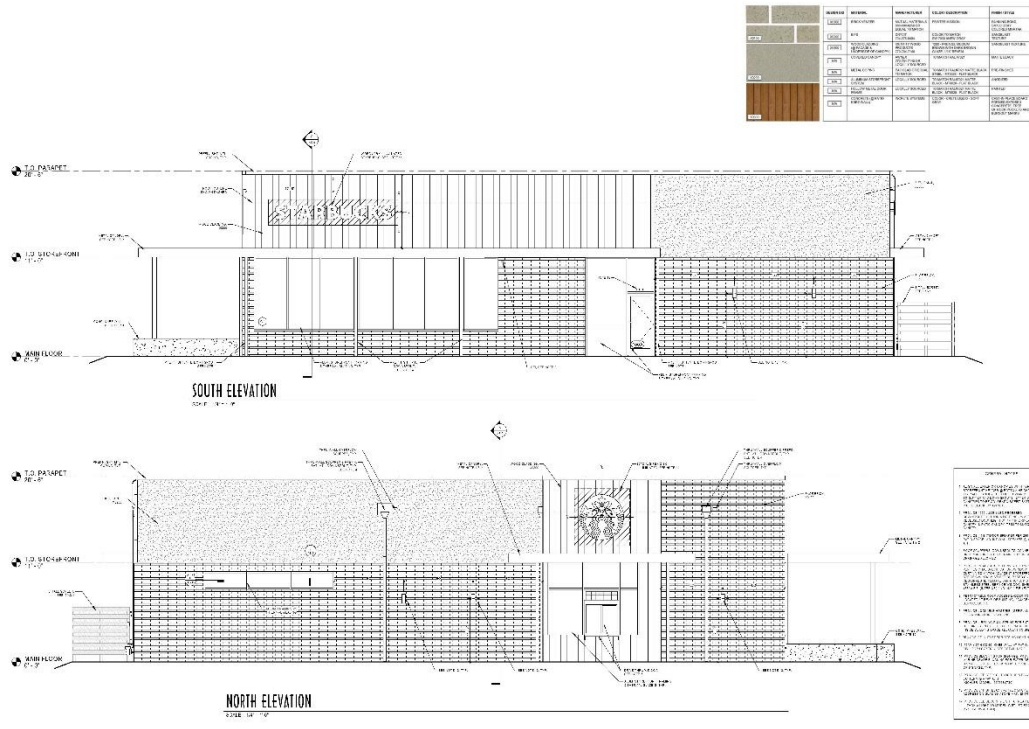
 2/23/22
Signature of Applicant Date

Signature of Owner **37**
Date

| | |
|--|--|
| REQUEST: | Request by Levi Architecture (on behalf of Starbucks) for a Site Plan Amendment to construct a coffee shop in the “S-1” Shopping Center District located north of 115 East Ridgeway Avenue. |
| APPLICANT(S): | Levi Architecture, 1009 Technology Parkway, Cedar Falls, Iowa 50613. |
| GENERAL DESCRIPTION: | The applicant is requesting a Site Plan Amendment to construct a coffee shop. The past Site Plan Approval showed a commercial building on the site with a different layout. |
| SURROUNDING LAND USES AND IMPACT ON NEIGHBORHOOD: | The request would not appear to have a negative impact upon the surrounding area. The former Schoitz Hospital building was recently demolished to create 3 commercial lots and one residential lot on the northeast corner. |
| VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: | The proposal would not appear to have a negative impact upon vehicular or pedestrian traffic conditions in the area. The site plan contains access connections within the easements for shared access from the platting. The access point on Kimball Avenue is at an approved location as determined in the previous platting and site plan approval. |
| RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: | There is a trail on the west side of Kimball Avenue south of Ridgeway Avenue. There is sidewalk along East Ridgeway Avenue and Kimball Avenue. A new sidewalk will be built along Kimball Avenue as part of this project. |
| ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: | <p>The area in question has been zoned “S-1” Shopping Center District since the adoption of Zoning Ordinance No. 5613 on August 16, 2021, when it was rezoned from “R-3” Multiple Residence District. Surrounding land uses and their zoning designations are as follows:</p> <p>North – Mercy One Medical and parking zoned “R-3” Multiple Residence District.</p> <p>South – Scooter’s Coffee, East Ridgeway Avenue, professional office and commercial development zoned “S-1” Shopping District.</p> <p>East – Vacant land (future Kwik Star Development) and West High School zoned “S-1” Shopping Center District and “R-3” Multiple Residence District.</p> <p>West – Kimball Avenue, Kimball Ridge Strip Mall and commercial zoned “S-1” Shopping Center District.</p> |
| BUFFERS/ SCREENING/ LANDSCAPING REQUIRED: | No buffers would be required as a part of this request. |

- DRAINAGE:** The proposed request would not appear to have a negative impact upon drainage in the area, as a storm water basin is shown on the south side of the lot as part of the project.
- DEVELOPMENT HISTORY:** Commercial buildings built between 1971 and 2022.
- FLOODPLAIN:** No portion of property located within a floodplain as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 0301F, dated July 18, 2011.
- PUBLIC /OPEN SPACES/ SCHOOLS:** Lou Henry Elementary is located 0.57 miles to the southwest, Hoover Middle School is located 0.48 miles to the southwest and West High School is located 375 feet east of the site. Bontrager Park is located 0.532 miles to the southwest.
- UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC.** A 15" storm sewer and 4" drain tile is located in Kimball Avenue. A sanitary sewer will be constructed in an easement on the east side of the building.
- RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:** The Future Land Use Map designates this area as *Mixed Residential: Low, Medium, High Density Residential; Professional Offices*. While proposed site plan amendment is not in conformance with the Comprehensive Plan and Future Land Use Map for this area at the time the 2003 plan was created, Schoitz Hospital was still located on the site and it has now been demolished and rezoned to Shopping Center District. The proposed use is a permitted use within said district.





LEVI ARCHITECTURE

2123 Kimball Avenue
Waterloo, Iowa

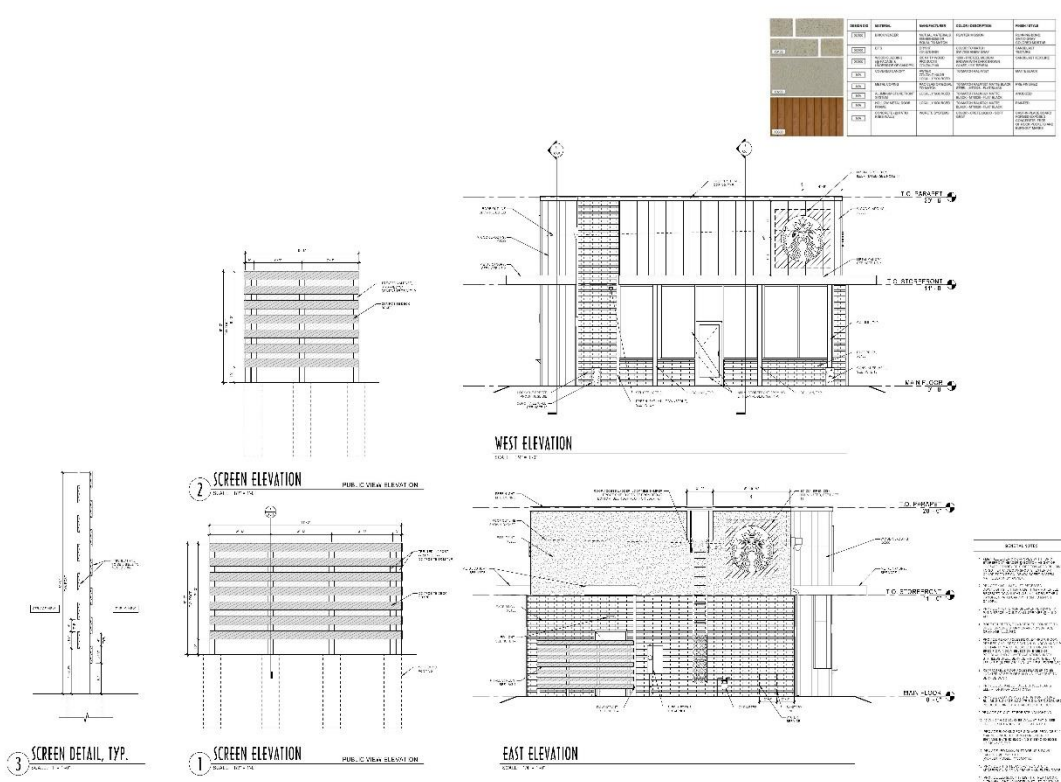
KELLEY CONTRACTING LLC

Starbucks
2123 Kimball Avenue
Waterloo, Iowa

Exterior Elevations

A3.0

Date: Feb. 2, 2023



LEVI ARCHITECTURE

2123 Kimball Avenue
Waterloo, Iowa

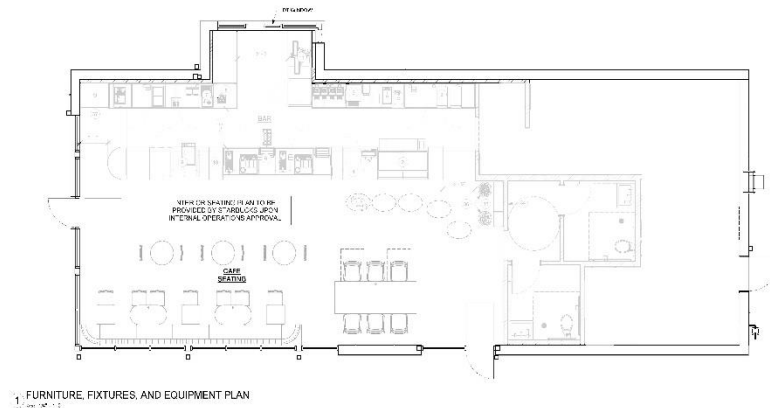
KELLEY CONTRACTING LLC

Starbucks
2123 Kimball Avenue
Waterloo, Iowa

Exterior Elevations

A3.1

Date: Feb. 2, 2023



FURNITURE, FIXTURES, AND EQUIPMENT PLAN

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

FF & E PLAN

STB - A.1



NOT FOR CONSTRUCTION

VERSION 10/17/22

SITE AND BUILDING PLAN CRITERIA

PROTOTYPICAL DRAWINGS 07

**STAFF ANALYSIS –
ZONING
ORDINANCE:**

The applicant is requesting a new coffee shop with a drive-through lane.

The parking requirement is one parking space for every two and a half seats with a minimum of at least ten spaces. The applicant is proposing 31 parking spaces which is way beyond the 8 required.

The property is also responsible for providing an access easement to Lot 3 of the development, and it is shown on their site plan on the property’s south side.

The exterior of the building will be primarily brick, with wood accents located above the window line. Their plan also shows a queue line that can handle seven vehicles from the ordering microphone to the pickup window. There is also a patio located on the west side of the building.

The approved site plan for the site showed a square building with parking on the north and west sides of the building. The site plan showed 25 parking spaces and no drive-through lane.

The drive-through lane on the east side of the property is only showing being 3.7 feet from the property line, 1.3 less than the 5 feet required however, this can be approved as part of the site plan approval process, and it should be noted that there will be a 20-foot sanitary sewer easement to the east.



Picture 1: Looking south toward the Scooter's Coffee.



Picture 2: Looking north toward Mercy One.



Picture 3: Looking east toward Kwik Stop location.



Picture 4: Looking northwest from the southeast portion of the property.



Picture 5: Looking west from the east side of the property.



Picture 6: Looking northwest from the southern property line.

TECH REVIEW AND
UPDATES

Engineering noted that they have worked out the required easement to the future Kwik Star location.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

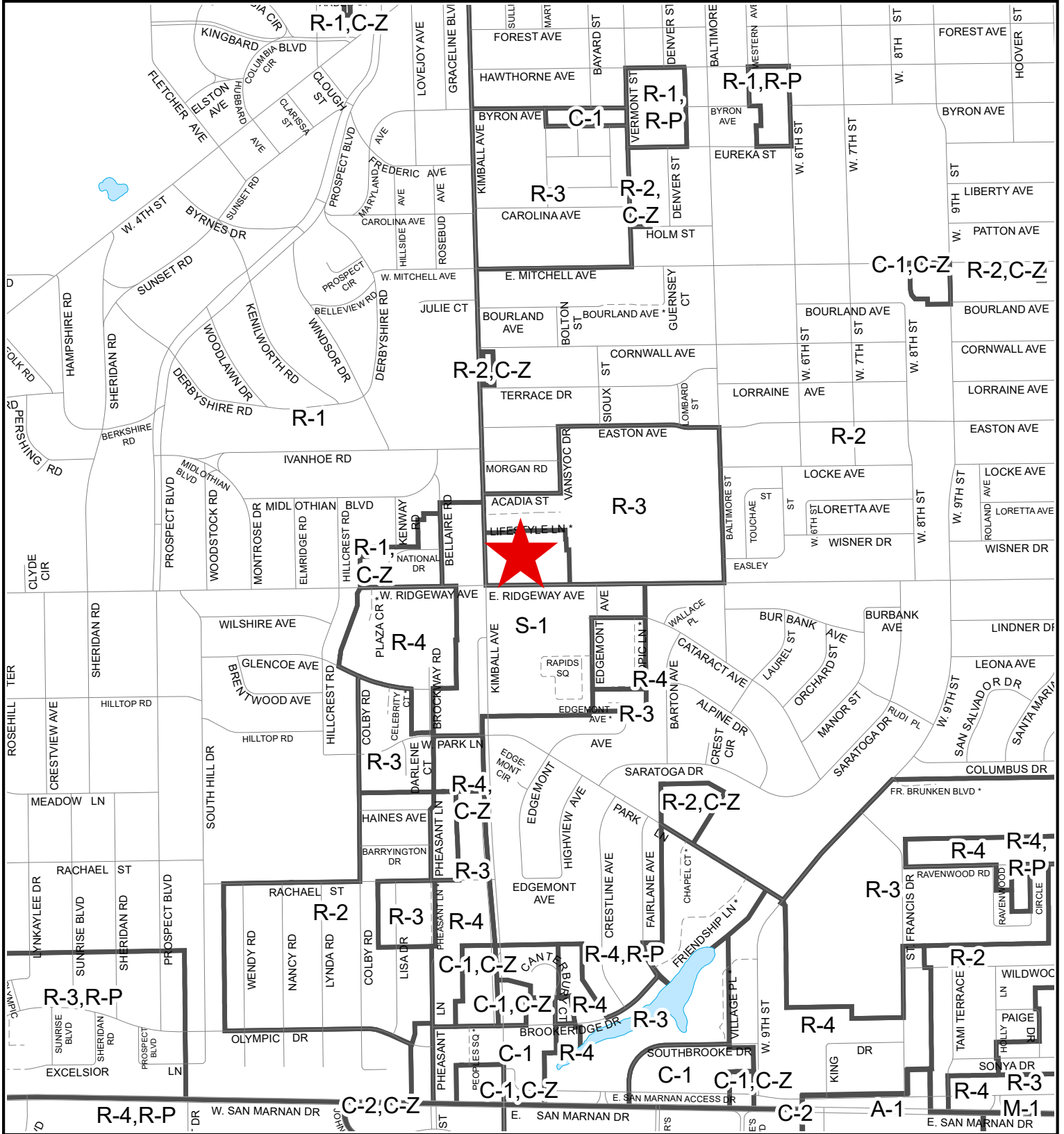
The applicant is not proposing to subdivide the property.

STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Levi Architecture (oh behalf of Starbucks) for a Site Plan Amendment to construct a coffee shop in the “S-1” Shopping Center District located north of 115 East Ridgeway Avenue, be approved for the following reasons:

1. The request would not appear to have a negative impact on traffic conditions in the area as it has proper cross-easement connections and is utilizing approved Kimball Avenue.
2. The request would not appear to have a negative impact upon the surrounding area and would be compatible with surrounding development. The demolition of the Schoitz Hospital has created lots for additional residential infill as well as services and businesses to serve this area of the community.
3. The Site Plan Amendment meets all applicable “S-1” Shopping District regulations of layout, parking, design, and access points.

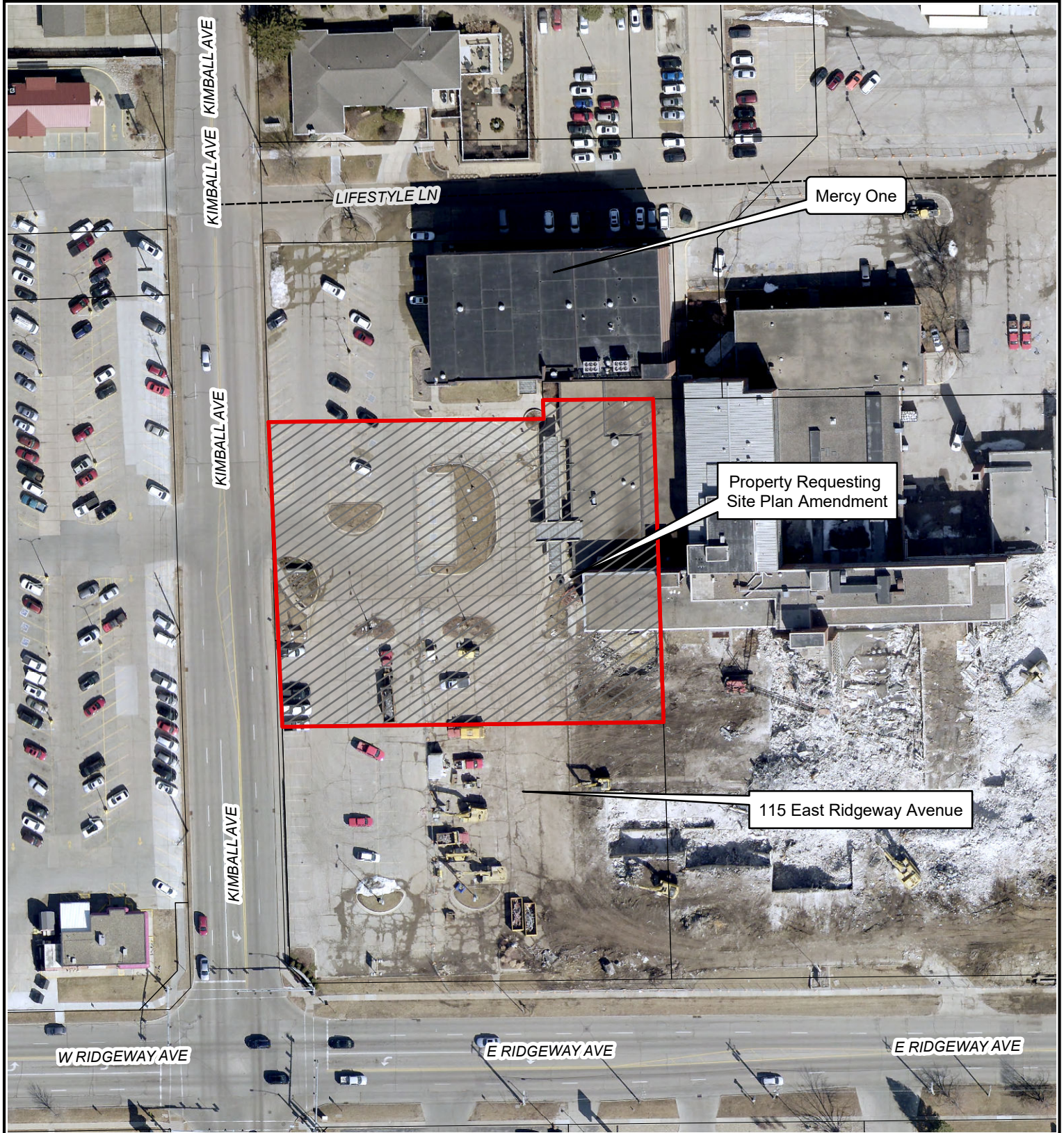
City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023



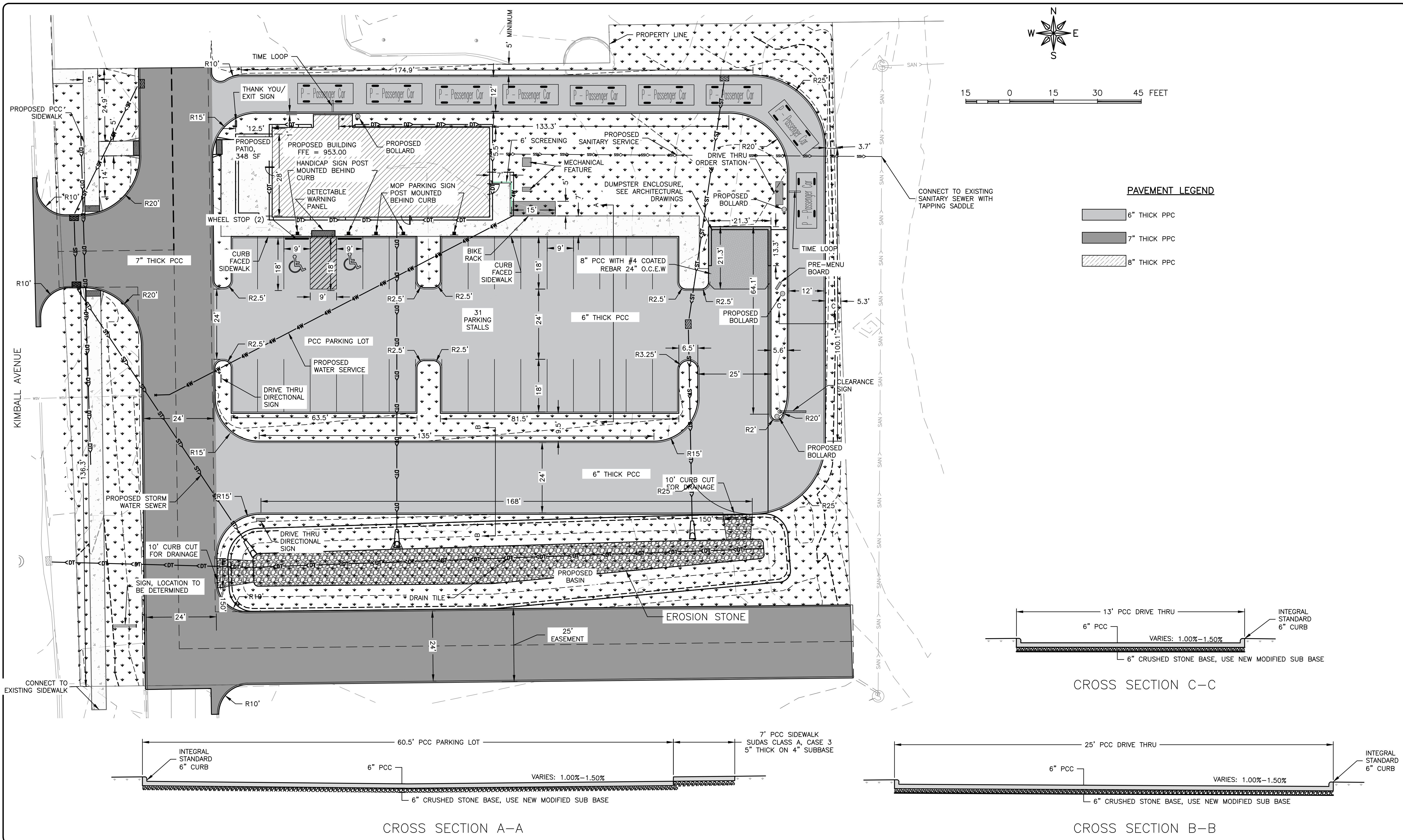
North of 115 Ridgeway Avenue
Site Plan Amendment
Levi Architecture

46

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**



**North of 115 East Ridgeway Avenue
Site Plan Amendment
Levi Architecture**



FEHR GRAHAM
ENGINEERING & ENVIRONMENTAL

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:
LEVI ARCHITECTURE
OWNER/DEVELOPER STREET ADDRESS
OWNER/DEVELOPER CITY STATE ZIP

PROJECT AND LOCATION:
STARBUCKS
WATERLOO, IOWA

DRAWN BY: SE
APPROVED BY: NP
DATE: FEBRUARY 2023
SCALE: AS NOTED

| REVISIONS | | |
|-----------|-------------|------|
| REV. NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |

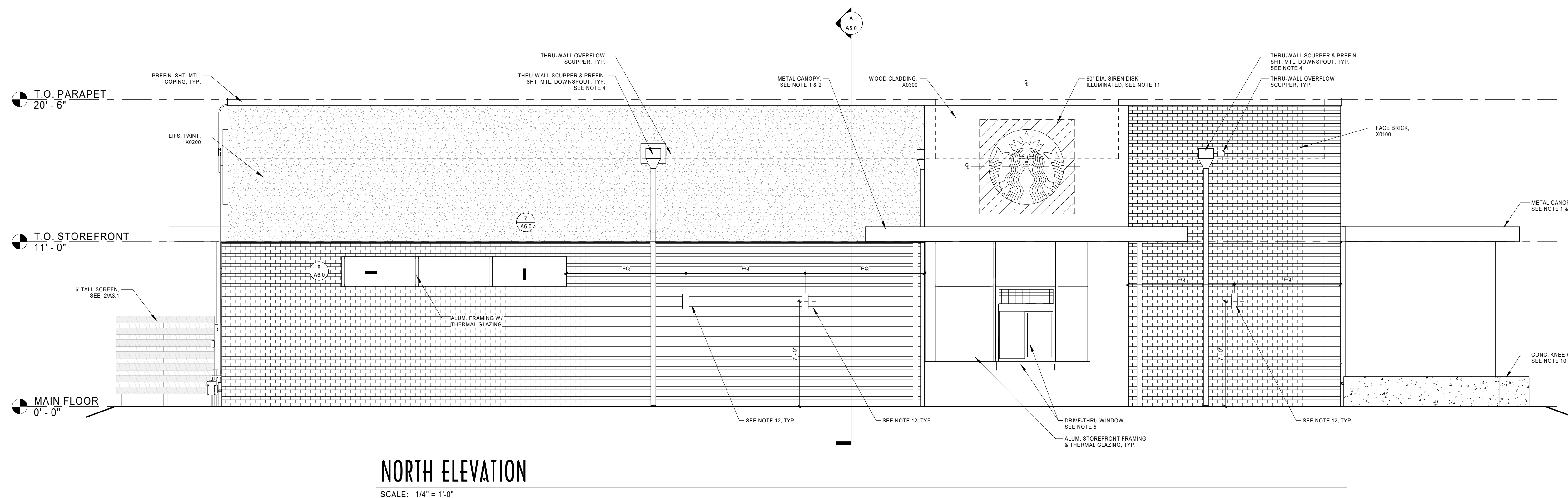
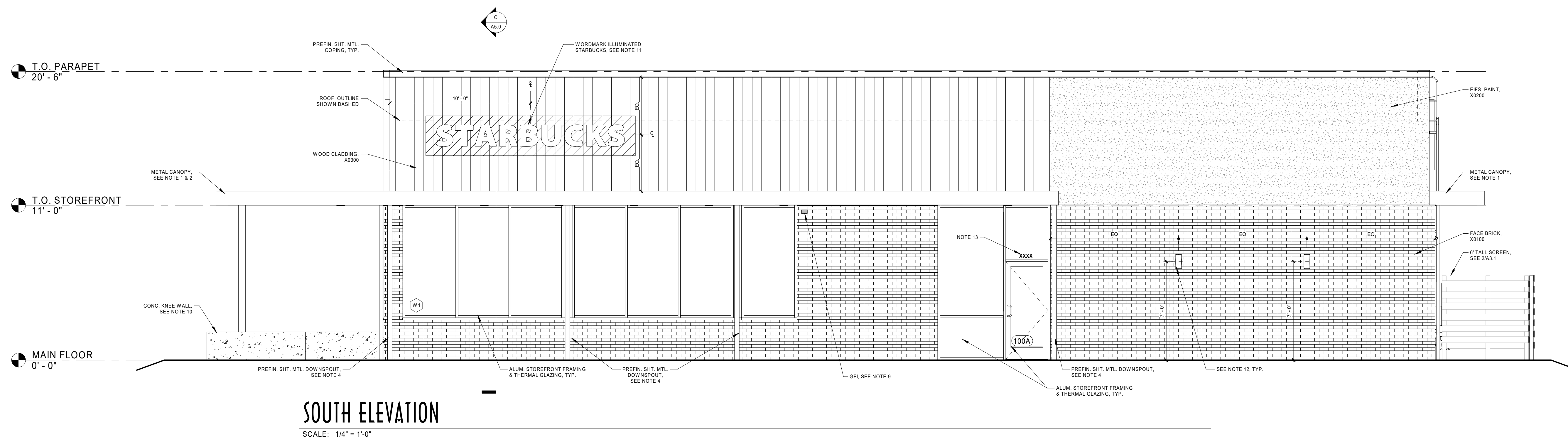
DRAWING:
SITE PLAN

SET TYPE: PRELIMINARY
G:\C30\22-843 Starbucks\Plans\22-843 Plans.dwg, SITE PLAN

JOB NUMBER:
22-843

SHEET NUMBER:
D.01

| DESIGN ID | MATERIAL | MANUFACTURER | COLOR / DESCRIPTION | FINISH / STYLE |
|-----------|--|---|---|---|
| X0100 | BRICK VENEER | MUTUAL MATERIALS 888-888-8200 OR EQUAL TO MATCH | PEWTER MISSION | RUNNING BOND, SW/100 GRAY COLORED MORTAR |
| X0200 | EFS | DRYVIT 73427604M | COLOR TO MATCH SW 7030 ANEW GRAY | SANDBLAST TEXTURE |
| X0300 | WOOD CLADDING (@ FACADE & UNDERSIDE OF CANOPY) | IDENTITY WOOD PRODUCTS 770-704-7140 | 1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 1/16" REVEAL | SANDBLAST TEXTURE |
| N/A | COVERED CANOPY | AWNEX 770-704-7140 OR LOCALLY SOURCED | TO MATCH RAL#7021 | MATTE BLACK |
| N/A | METAL COPING | PAC CLAD OR EQUAL TO MATCH | TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK | PRE-FINISHED |
| N/A | ALUMINUM STOREFRONT SYSTEM | LOCALLY SOURCED | TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK | ANODIZED |
| N/A | HOLLOW METAL DOOR FRAME | LOCALLY SOURCED | TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK | PAINTED |
| N/A | CONCRETE (@ PATIO KNEE WALL) | INCRETE SYSTEMS | COLOR - GRETE LIQUID - SOFT GRAY | CAST-IN-PLACE BOARD FORMED EXPOSED CONCRETE. FREE OF ROCK POCKETS AND BURNOUT MARKS |



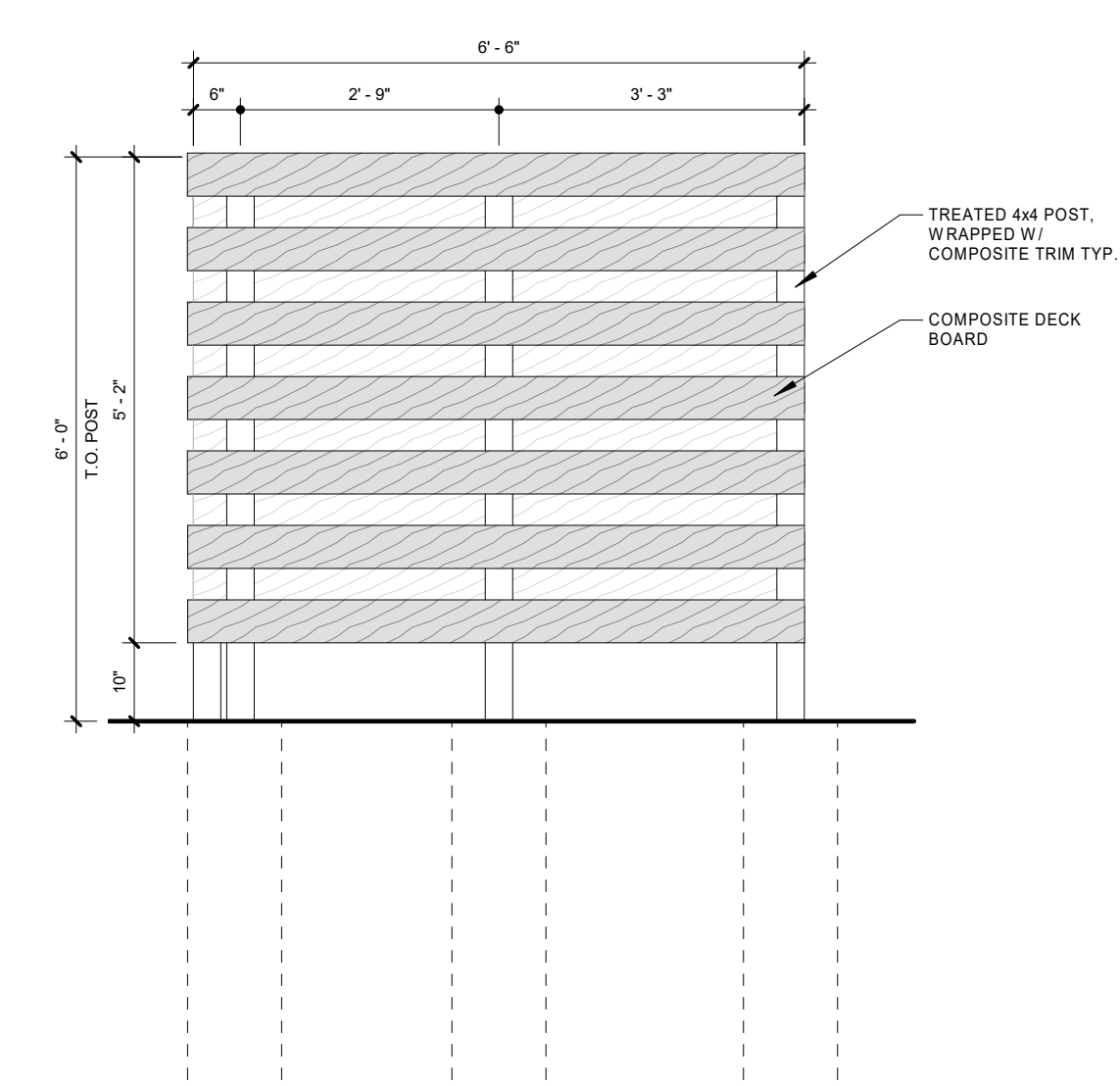
- GENERAL NOTES**
- ALIGN ALL EXTERIOR CANOPIES WITH TOP OF STOREFRONT HEADER @ BOTTOM HEIGHT OF 11'-0" AFF. CANOPY TO SLOPE TOWARDS BUILDING TO GUTTER AND DOWNSPOUTS. EXTERIOR CANOPIES TO BE COLORADO SOFFIT SYSTEM, MATTE BLACK, BY AWNEX.
 - PROVIDE 1000 LUMEN LED RECESSED DOWNLIGHTS (LITHONIA LIGHTING - WAFER LED RECESSED DOWNLIGHT #FF4747) IN DRIVE-THRU CANOPY, & PATIO CANOPY. TRIM TO MATCH CANOPY.
 - PROVIDE (1) EXTERIOR SPEAKER PER 250 SF OF PATIO SPACE. MOUNT WALL SPEAKER @ 110'-0" AFF.
 - ROOF SCUPPERS, DOWNSPOUTS: CONNECT TO UNDERGROUND STORM DRAIN. NO SURFACE DRAINAGE ALLOWED.
 - PROVIDE READY ACCESS DRIVE-THRU WINDOW PER REGIONAL SPECIFICATION. WINDOW AND AIR CURTAIN TO MATCH ADJACENT STOREFRONT. SPECIFIC WINDOW SELECTION BASED ON REGIONAL AND CLIMATE VARIATIONS. INSTALL STAINLESS STEEL SERVICE WINDOW SHELF @ 36" A.F.F. (INTERIOR) AND 42" A.F.F. (EXTERIOR).
 - RETRACTABLE ROOF ACCESS LADDER TO BE LOCATED AT REAR OF BUILDING, ADJACENT TO SERVICE DOOR.
 - PROVIDE LOCKABLE HOSE BIB. (SEE PLAN & ELEVATIONS FOR LOCATIONS).
 - PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. LOCATE SIGNAGE DISCONNECT INSIDE BUILDING SPACE ADJACENT TO SIGN.
 - PROVIDE GFI OUTLET FOR STRING LIGHTING.
 - 12" W x 24" H CONC. KNEE WALL AT PATIO. SEE CIVIL FOR LOCATION. SEE DETAIL, IAD.0.
 - PROVIDE BLOCKING FOR SIGNAGE. PROVIDE 3/4" MARINE GRADE BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" BEYOND EDGE OF SIGNAGE, TYP.
 - PROVIDE LED 3000K OUTDOOR UP & DOWN LANTERN @ 7'-0" A.F.F. (RICHLER, MODEL: 11251BK130)
 - PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
 - PROVIDE LED SECURITY LIGHT AT REAR DOOR. (LITHONIA LIGHTING MODEL: WST LED-P2-30K-VF-WVOLT-5BK-85XD)

Starbucks
2123 Kimball Avenue
Waterloo, Iowa
Exterior Elevations

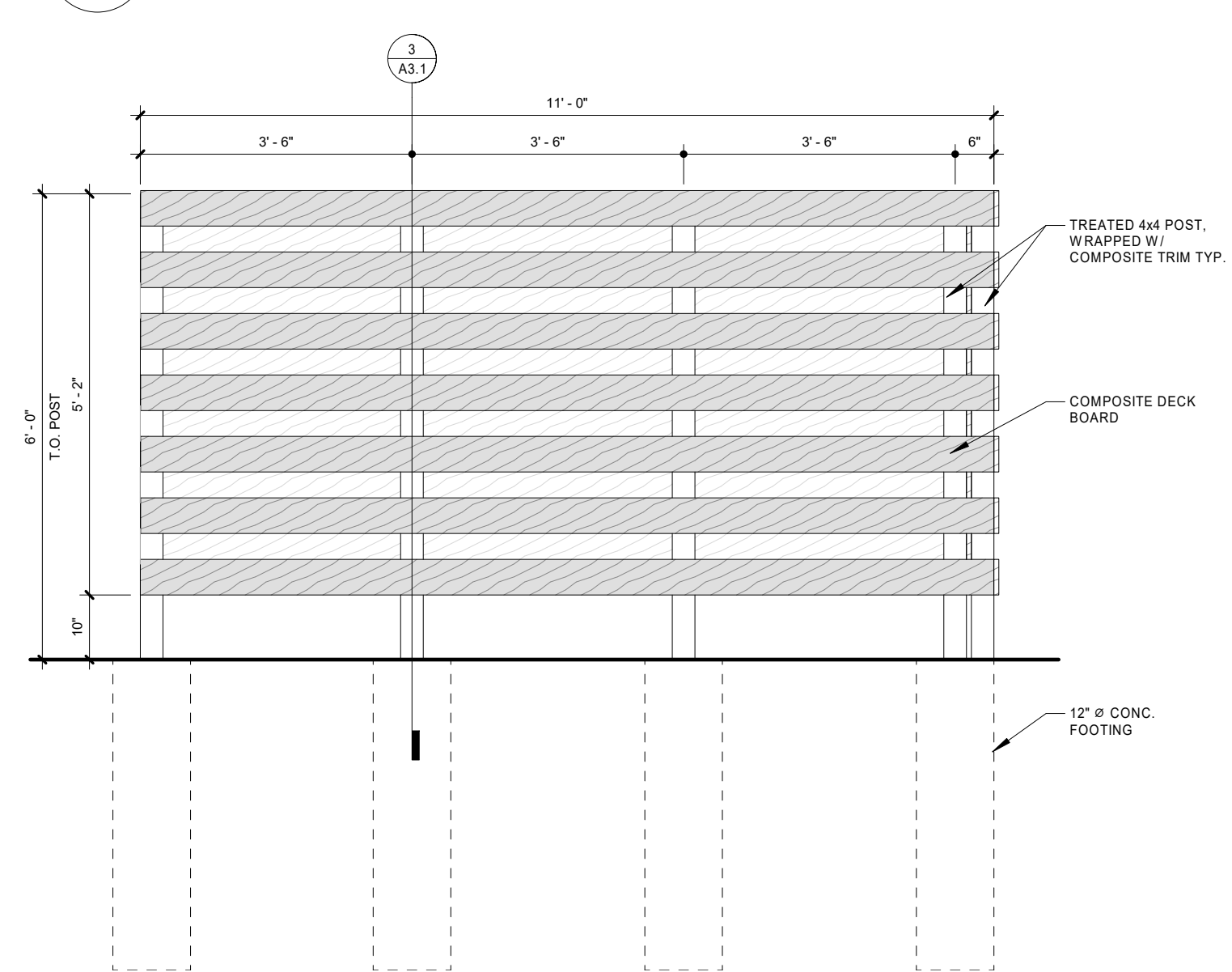
A3.0

Date:
Feb. 2, 2023

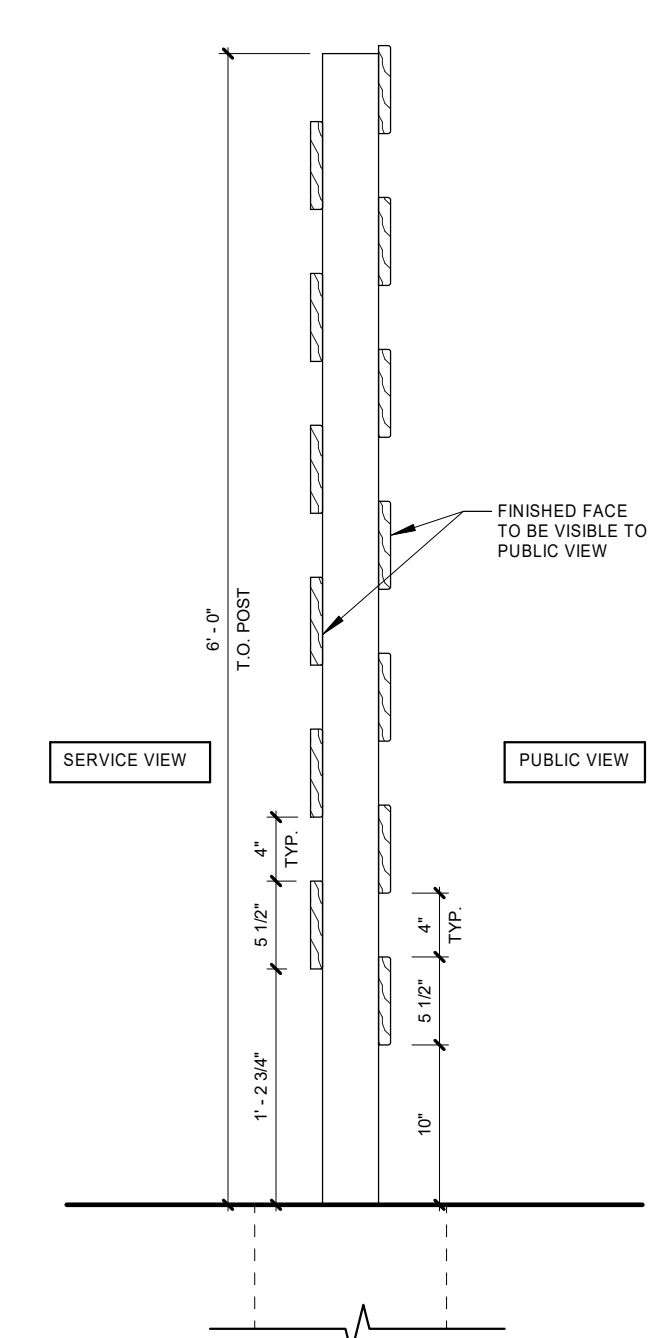
| DESIGN ID | MATERIAL | MANUFACTURER | COLOR / DESCRIPTION | FINISH / STYLE |
|-----------|--|---|---|---|
| X0100 | BRICK VENEER | MUTUAL MATERIALS 888-888-8200 OR EQUAL TO MATCH | PEWTER MISSION | RUNNING BOND, S1100 GRAY COLORED MORTAR |
| X0200 | EIFS | DRYVIT 734-276-0404 | COLOR TO MATCH SW 7030 ANEW GRAY | SANDBLAST TEXTURE |
| X0300 | WOOD CLADDING (@ FACADE & UNDERSIDE OF CANOPY) | IDENTITY WOOD PRODUCTS 770-704-7140 | 1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 1/16" REVEAL | SANDBLAST TEXTURE |
| N/A | COVERED CANOPY | AWNEX 770-704-7140 OR LOCALLY SOURCED | TO MATCH RAL#7021 | MATTE BLACK |
| N/A | METAL COPING | PAC CLAD OR EQUAL TO MATCH | TO MATCH RAL#7021 MATTE BLACK STEEL - MT0028 - FLAT BLACK | PRE-FINISHED |
| N/A | ALUMINUM STOREFRONT SYSTEM | LOCALLY SOURCED | TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK | ANODIZED |
| N/A | HOLLOW METAL DOOR FRAME | LOCALLY SOURCED | TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK | PAINTED |
| N/A | CONCRETE (@ PATIO KNEE WALL) | INCRETE SYSTEMS | COLOR - CRETE LIQUID - SOFT GRAY | CAST-IN-PLACE BOARD FORMED EXPOSED CONCRETE, FREE OF ROCK POCKETS AND BURNOUT MARKS |



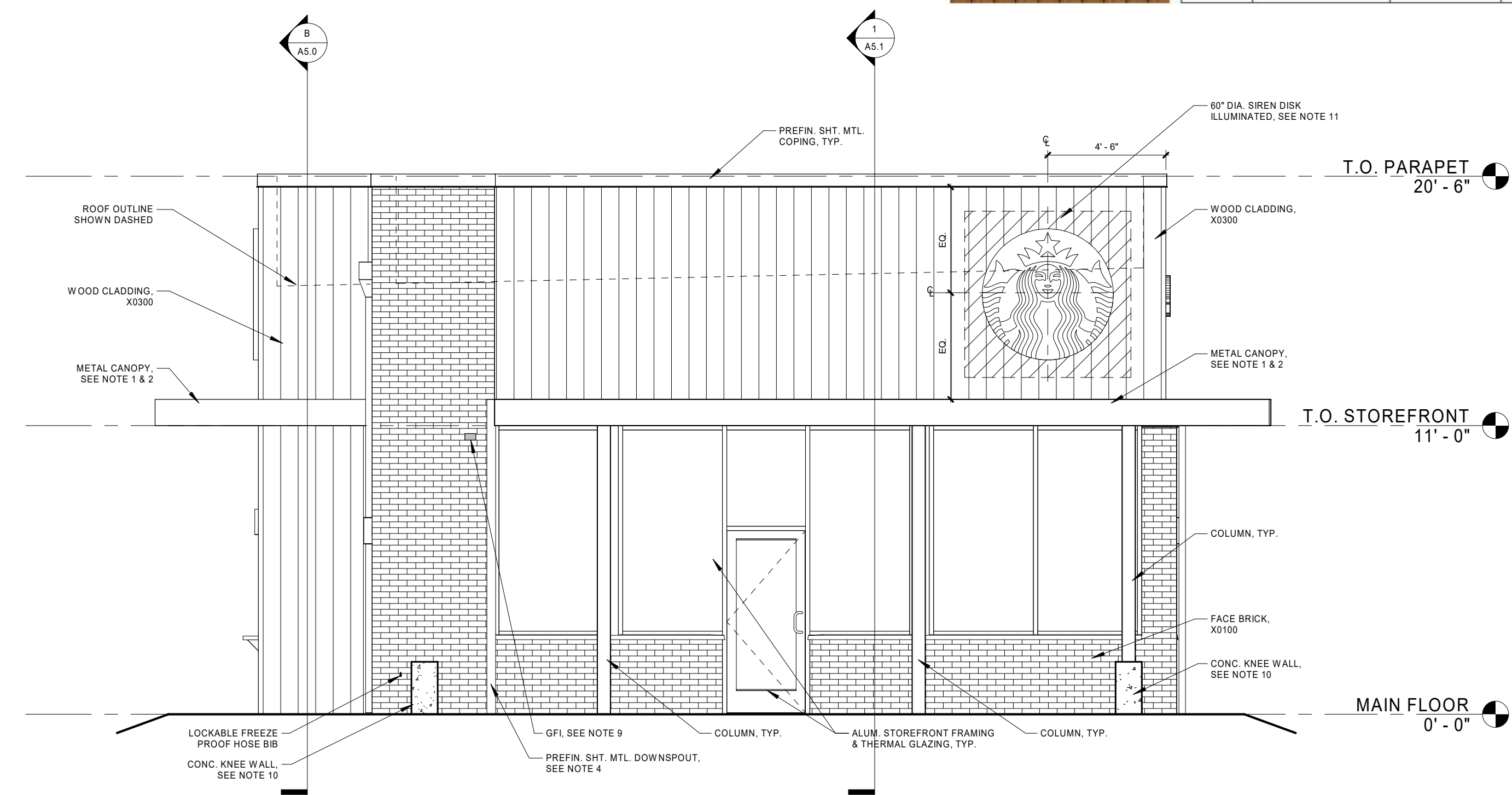
2 SCREEN ELEVATION
PUBLIC VIEW ELEVATION
SCALE: 1/2" = 1'-0"



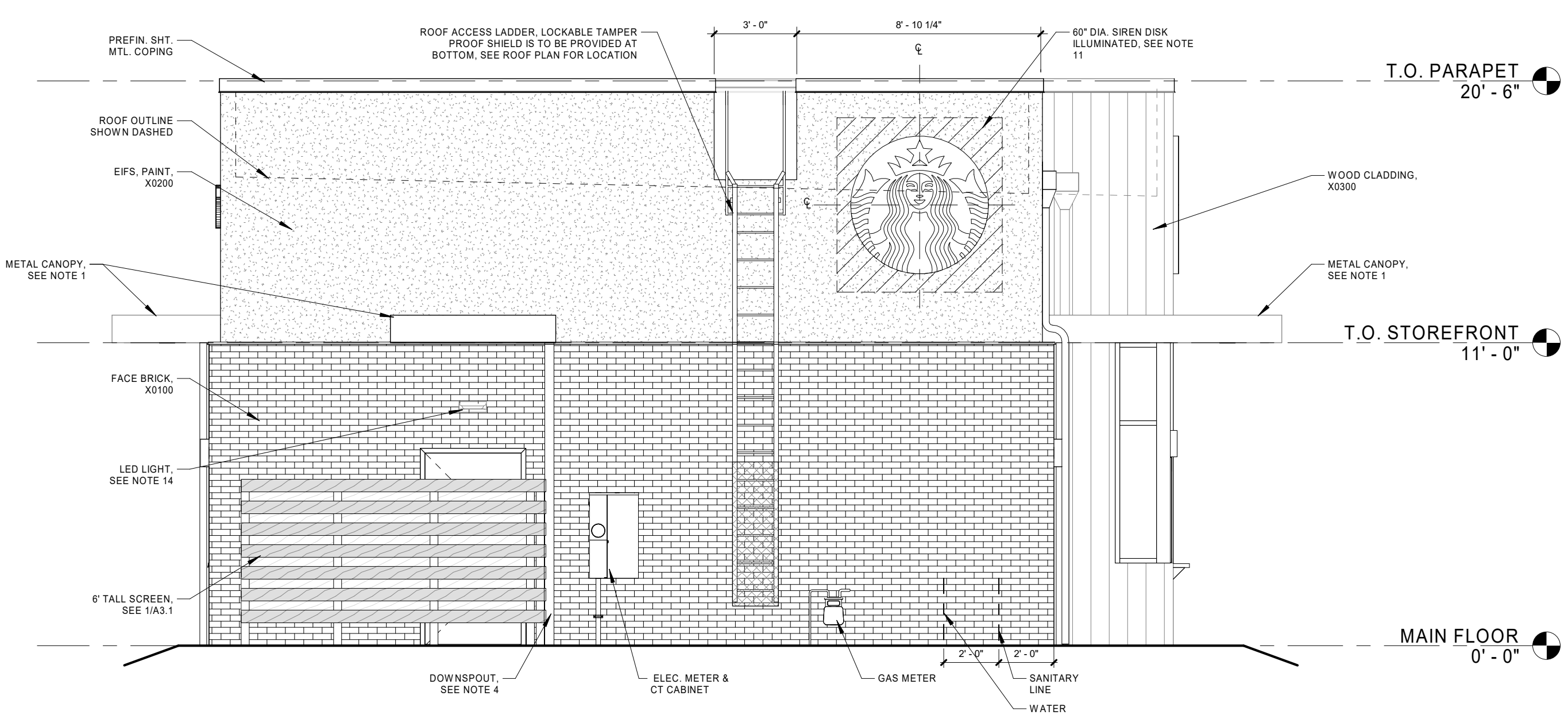
1 SCREEN ELEVATION
PUBLIC VIEW ELEVATION
SCALE: 1/2" = 1'-0"



3 SCREEN DETAIL, TYP.
SCALE: 1" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

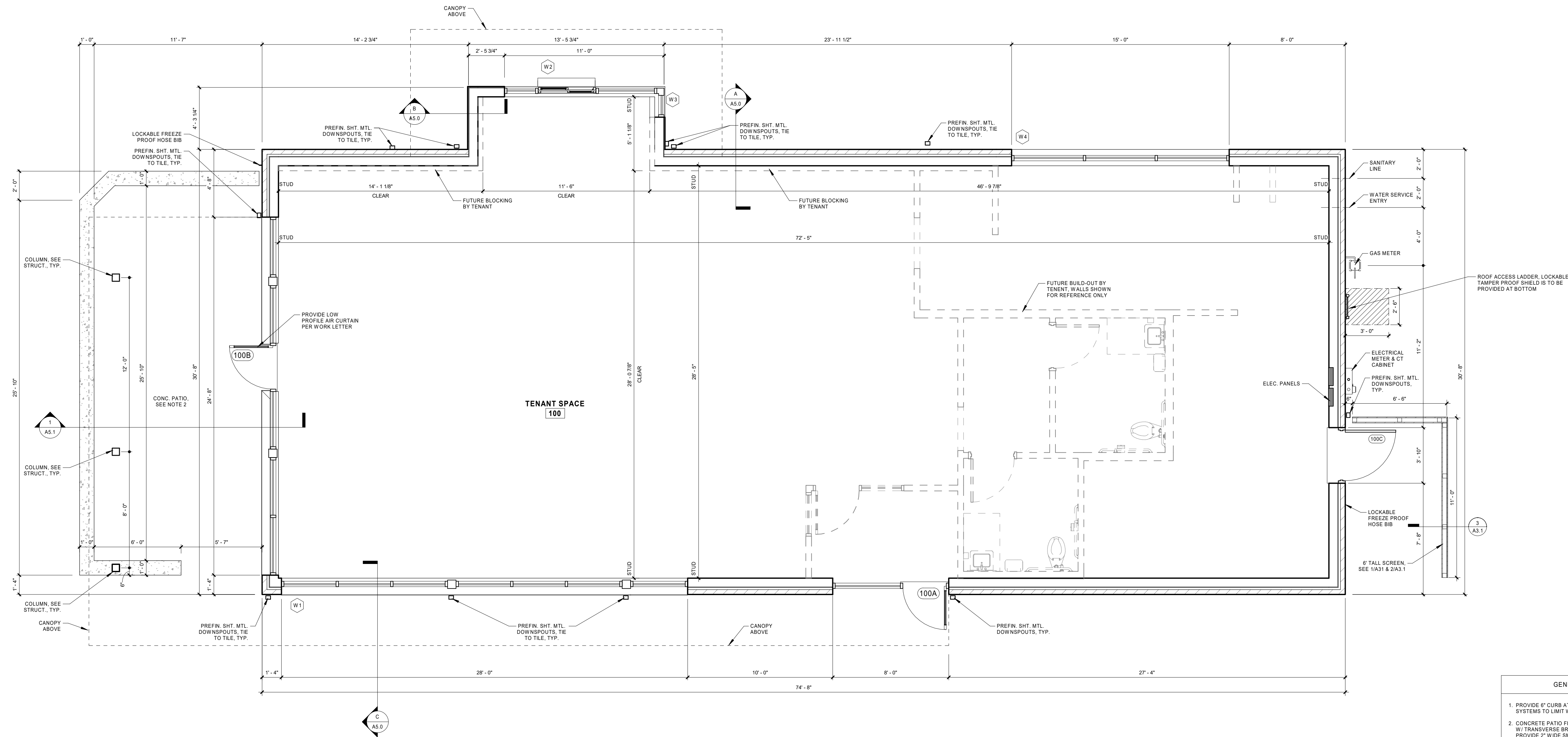


EAST ELEVATION
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- ALIGN ALL EXTERIOR CANOPIES WITH TOP OF STOREFRONT HEADER @ BOTTOM HEIGHT OF 11'-0" AFF. CANOPY TO SLOPE TOWARDS BUILDING TO GUTTER AND DOWNSPOUTS. EXTERIOR CANOPIES TO BE COLORADO SOFFIT SYSTEM, MATTE BLACK, BY AWNEX.
 - PROVIDE 1000 LUMEN LED RECESSED DOWNLIGHTS (LITHONIA LIGHTING - WAFER LED RECESSED DOWNLIGHT W/471N DRIVE-THRU CANOPY & PATIO CANOPY, TRIM TO MATCH CANOPY).
 - PROVIDE (1) EXTERIOR SPEAKER PER 250 SF OF PATIO SPACE. MOUNT WALL SPEAKER @ 11'-0" AFF.
 - ROOF SCUPPERS, DOWNSPOUTS: CONNECT TO UNDERGROUND STORM DRAIN. NO SURFACE DRAINAGE ALLOWED.
 - PROVIDE READY ACCESS DRIVE-THRU WINDOW PER REGIONAL SPECIFICATION. WINDOW AND AIR CURTAIN TO MATCH ADJACENT STOREFRONT. SPECIFIC WINDOW SELECTION BASED ON REGIONAL AND CLIMATE VARIATIONS. INSTALL STAINLESS STEEL SERVICE WINDOW SHELF @ +50" A.F.F. (INTERIOR) AND +42" A.F.F. (EXTERIOR).
 - RETRACTABLE ROOF ACCESS LADDER TO BE LOCATED AT REAR OF BUILDING, ADJACENT TO SERVICE DOOR.
 - PROVIDE LOCKABLE HOSE BIB. (SEE PLAN & ELEVATIONS FOR LOCATIONS).
 - PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. LOCATE SIGNAGE DISCONNECT INSIDE BUILDING SPACE ADJACENT TO SIGN.
 - PROVIDE GFI OUTLET FOR STRING LIGHTING.
 - 12"W x 24"H CONC. KNEE WALL AT PATIO. SEE CIVIL FOR LOCATION. SEE DETAIL 1A2.0.
 - PROVIDE BLOCKING FOR SIGNAGE. PROVIDE 3/4" MARINE GRADE BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" BEYOND EDGE OF SIGNAGE, TYP.
 - PROVIDE LED 3000K OUTDOOR UP & DOWN LANTERN @ +7'-0" A.F.F. (PICKLER, MODEL: 11551BK130)
 - PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
 - PROVIDE LED SECURITY LIGHT AT REAR DOOR. (LITHONIA LIGHTING MODEL: WST LED-P2-30K-VF-MVOL1-BBW-80LX)

Starbucks
2123 Kimball Avenue
Waterloo, Iowa
Exterior Elevations

A3.1
Date:
Feb. 2, 2023



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

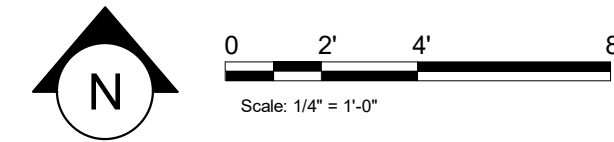
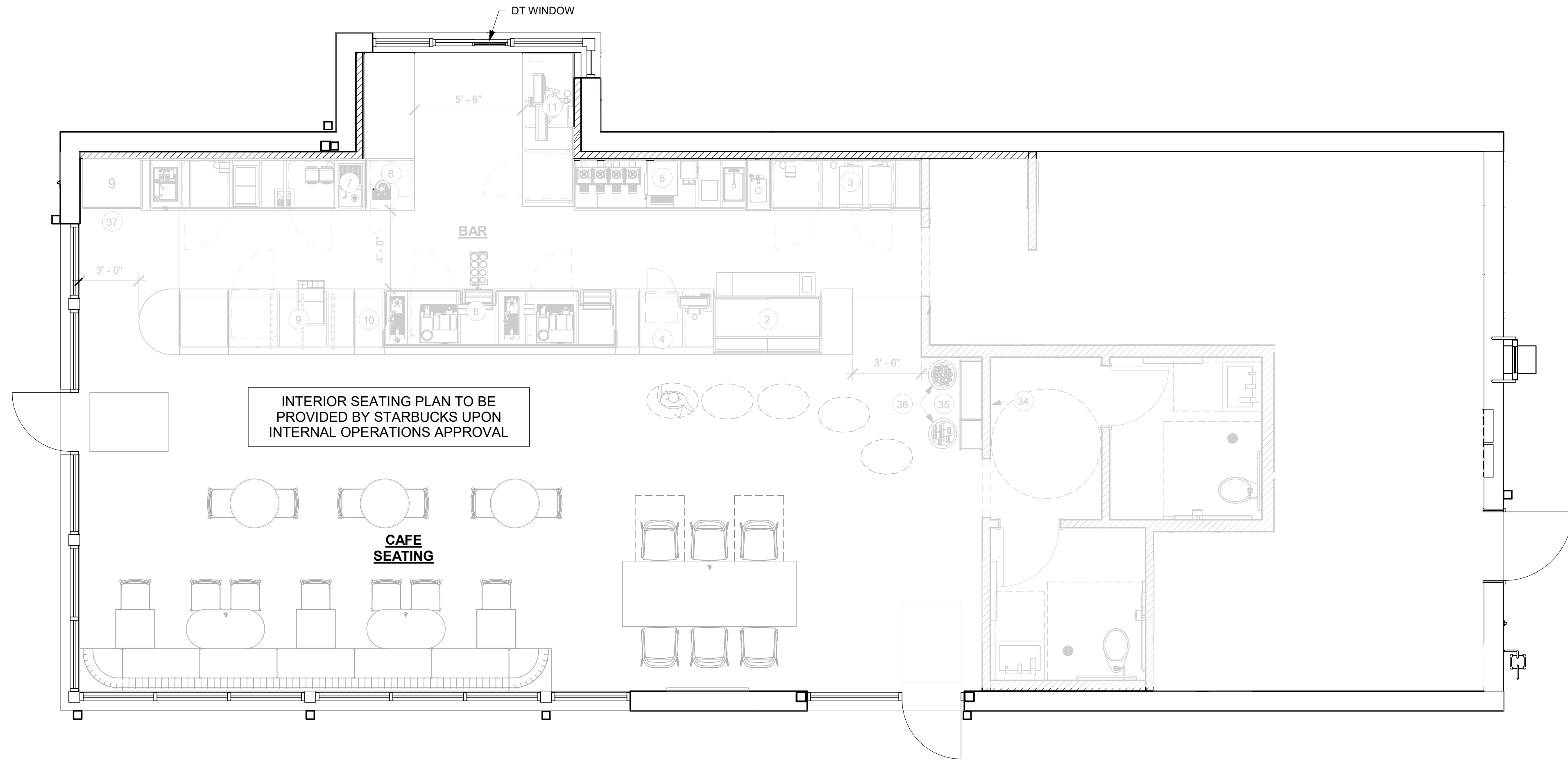
- GENERAL NOTES**
1. PROVIDE 6" CURB AT BASE OF STOREFRONT SYSTEMS TO LIMIT WATER ENTRY.
 2. CONCRETE PATIO FINISH TO BE FLAT TROWELED W/ TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2" WIDE SMOOTH TROWELED DETAIL AT CONTROL JOINT. MOISTURE CURE CONC. FOR MIN. SEVEN (7) DAYS AND APPLY TWO (2) COATS PENETRATING SEALER TO FINISH.

Starbucks
2123 Kimball Avenue
Waterloo, Iowa
Main Floor Plan

A2.0

Date:
Feb. 2, 2023

1 FURNITURE, FIXTURES, AND EQUIPMENT PLAN
 Scale: 1/4" = 1'-0"



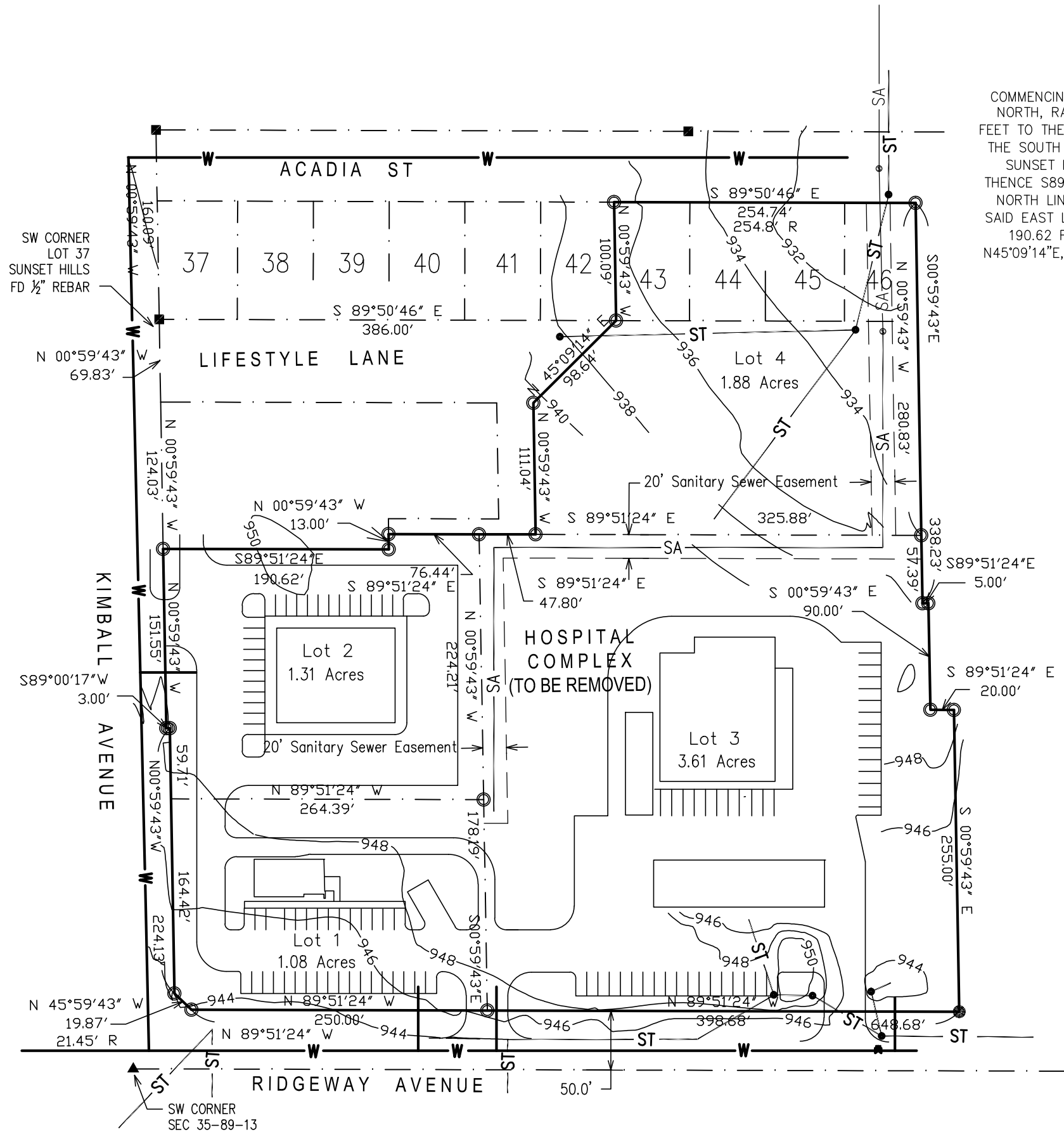
DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

FF & E PLAN

STB - A.1

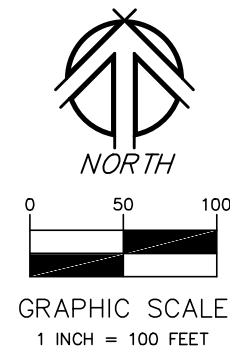
KIMBALL RIDGE CENTER PLAT 1

WATERLOO, IOWA PRELIMINARY PLAT



LEGAL DESCRIPTION:

COMMENCING AT THE SW CORNER OF LOT 37 OF SUNSET HILLS ADDITION IN THE SW ¼ OF THE SW ¼ OF SECTION 35, TOWNSHIP 89 NORTH, RANGE 13 WEST OF THE 5TH P.M., IN THE CITY OF WATERLOO, BLACK HAWK COUNTY IOWA; THENCE S89°50'46"E, 386.00 FEET TO THE SW CORNER OF LOT 43 OF SUNSET HILLS ADDITION AND THE POINT OF BEGINNING; THENCE N00°59'43"W, 100.07 FEET TO THE SOUTH LINE OF ACADIA STREET; THENCE ALONG SAID SOUTH LINE S89°50'46"E, 254.74 FEET TO THE NE CORNER OF LOT 46 OF SUNSET HILLS ADDITION; THENCE S00°59'43"E, 338.23 FEET; THENCE S89°51'24"E, 5.00 FEET; THENCE S00°59'43"E, 90.00 FEET; THENCE S89°51'24"E, 20.00 FEET; THENCE S00°59'43"E, 255.00 FEET TO THE NORTH LINE OF RIDGEWAY AVENUE; THENCE ALONG SAID NORTH LINE N89°51'24"W, 648.68 FEET; THENCE N45°59'43"W, 19.87 FEET TO THE EAST LINE OF KIMBALL AVENUE; THENCE ALONG SAID EAST LINE N00°59'43"W, 224.13 FEET; THENCE S89°00'17"W, 3.00 FEET; THENCE N00°59'43"W, 151.55 FEET; THENCE S89°51'24"E, 190.62 FEET; THENCE N00°59'43"W, 13.00 FEET; THENCE S89°51'24"E, 124.23 FEET; THENCE N00°59'43"W 111.04 FEET; THENCE N45°09'14"E, 98.64 FEET TO THE POINT OF BEGINNING. DESCRIBED LAND CONTAINS 7.88 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



Notes:

1. Proposed Zoning for Lots 1, 2, 3 is S-1. Proposed Zoning for Lot 4 is R-3.
2. Setbacks are as follows
 - 2.1. R-3 - Front 30', Side 10', Rear 30'
 - 2.2. S-1 = C-2 - Front 20', Side 10', Rear 35'
3. Detailed Site Development Plans are required submittals for the proposed improvements shown on Lot 1 and Lot 3.

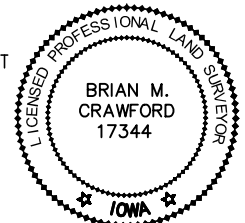
PREPARED BY:

Crawford Engineering & Surveying Inc.
 205 2nd Avenue NE
 Independence, Iowa 50644
 Contact: Brian M. Crawford
 Ph: (319) 334-7077

OWNER/DEVELOPER:

C10 Investments L.L.C.
 3759 Ranchero Road
 Cedar Falls, Ia 50613
 Contact: Jeff Stickfort
 Ph: (319) 290-4357

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
 LICENSE RENEWAL DATE: 12-31-2022 LICENSE NO. 17344



 BRIAN M. CRAWFORD, P.L.S.

 DATE

| Legend | |
|-----------|--------------------------|
| — SA — | SANITARY SEWER |
| — W — | WATER MAIN |
| — ST — | STORM SEWER |
| — . . . — | PROPERTY LINE / LOT LINE |
| — - - - - | EASEMENT |
| — — — — — | SUBDIVISION BOUNDARY |

PRELIMINARY PLAT
 KIMBALL RIDGE CENTER PROJECT
 WATERLOO, IOWA

| | |
|---------|-------|
| DRAWN | BMC |
| CHECKED | DTC |
| PRJ NO | 21302 |
| SHEET | PP-01 |

CRAWFORD ENGINEERING & SURVEYING, INC.
 205 2nd Ave NE Independence, Iowa 50644

REQUEST: Request by Parks Property Management, LLC (on behalf of Pella Windows and Doors) for a Site Plan Amendment to construct a new 31,165 square foot commercial building in the “B-P” Business Park District located south of 4041 Hurst Drive.

APPLICANT: Parks Property Management, LLC 3130 W Shaulis Rd, Waterloo, IA 50701

GENERAL DESCRIPTION: The applicant is requesting to construct a 31,165 square foot building for the sale and distribution of windows, south of 4041 Hurst Drive.

SURROUNDING LAND USES AND IMPACT ON NEIGHBORHOOD: The request would not have a negative impact on the surrounding area, as the area is composed of similar commercial uses.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The request would not appear to have a negative impact on vehicular or pedestrian traffic movements in the area. The area is served by Hurst Drive and Fisher Drive which are classified as Local Streets.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: There are no trails in the nearby vicinity. There will be a sidewalk along the west side of Hurst Drive and a trail along the south side of Fisher Drive.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: The site in question is zoned “B-P” Business Park District and has been zoned as such since it was rezoned from “A-1” Agricultural District on February 25, 2004. The surrounding properties zoning and uses are as follows:

North: Kimball and Beecher Dentistry and Den Herder Veterinary Hospital zoned “R-4,R-P” Planned Residence District and vacant land zoned “B-P” Business Park District and “C-P” Planned Commercial District.

East: Professional Office zoned “R-4” Multiple Residence District.

South: Highway 20 and Vacant Land zoned “B-P” Business Park District.

West: Vacant land zoned “B-P” Business Park District.

BUFFERS/ SCREENING/ LANDSCAPING REQUIRED: There is no outdoor storage proposed for this site therefore, no buffers would be required as a part of this request.

DRAINAGE: The proposed request requires storm water management and shows two locations for Storm Water Management Areas on the site plan.

DEVELOPMENT HISTORY:

Commercial development has been taking place in the surrounding area for over the past 20 years.

FLOODPLAIN:

No portion of the property is located within a floodplain as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 0304F, dated July 18, 2011.

PUBLIC /OPEN SPACES/ SCHOOLS:

Lou Henry Elementary School is located 0.58 miles to the northeast, Hoover Middle School is located 0.64 miles to the northeast, and West High School is located 1.30 miles to the northeast.

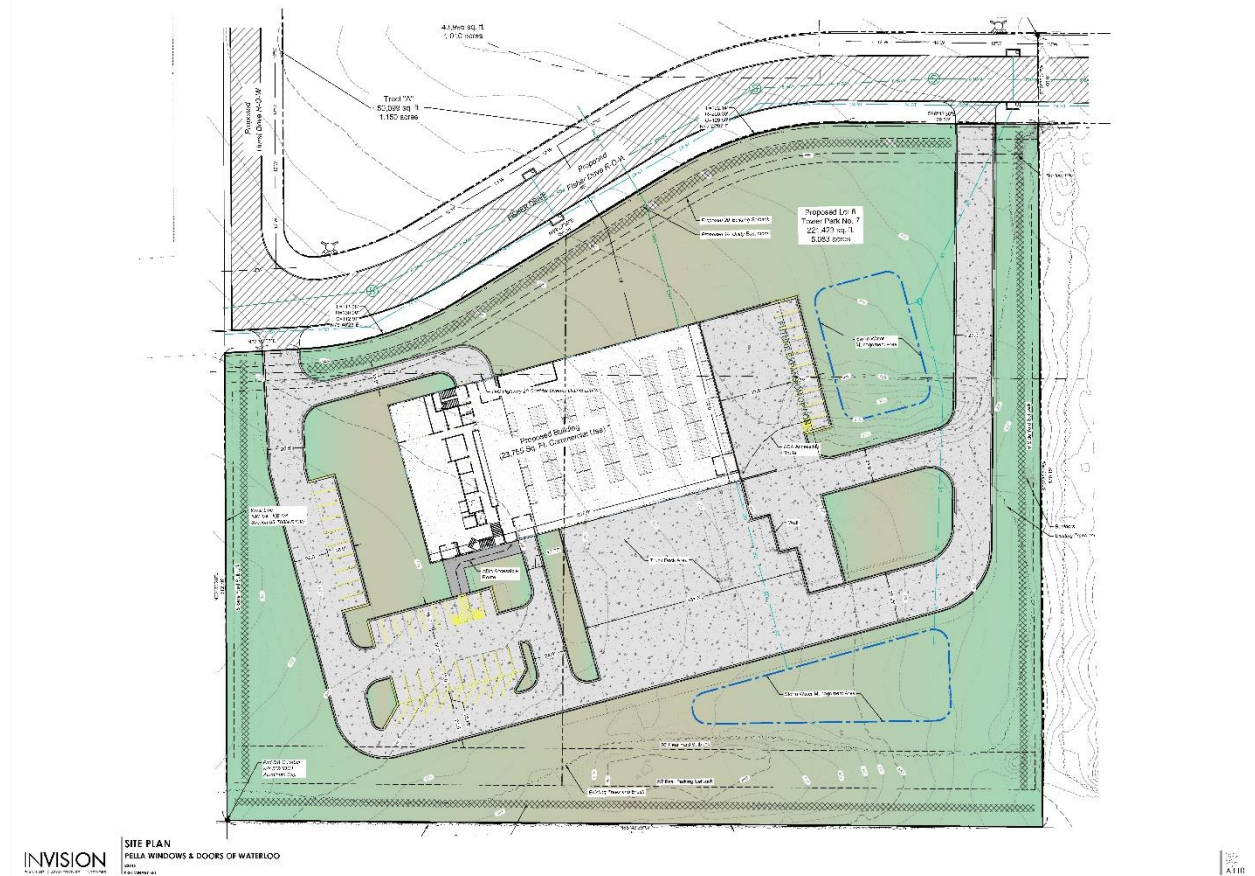
Paulson Park is located 0.61 miles to the north.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC.

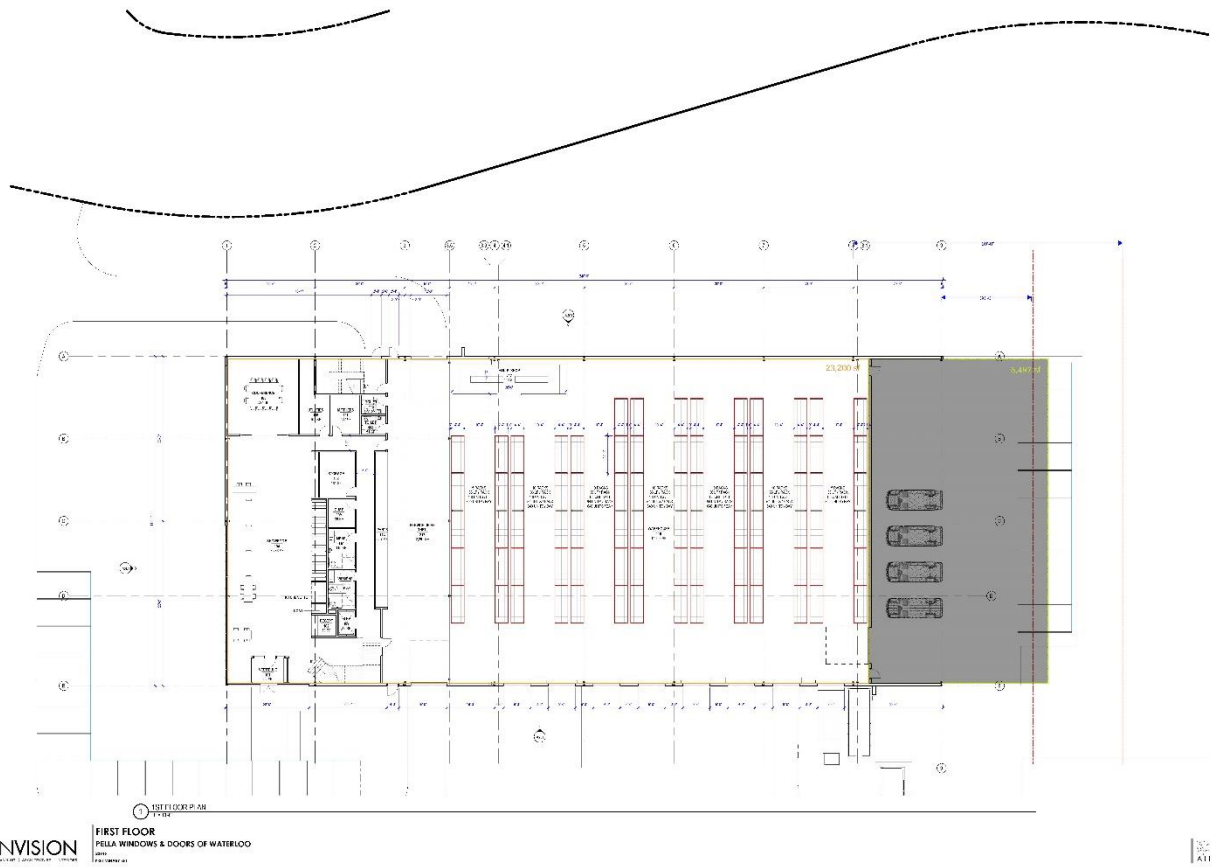
There are currently no utilities in the plat area; however utilities are going to be extended to serve the development.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

The Future Land Use Map designates this area as *Business Park: Professional Offices; Commercial; Compatible Light Industrial*. The proposed plat conforms to the Future Land Use Map and Comprehensive Plan.







**STAFF ANALYSIS –
ZONING
ORDINANCE:**

The applicants are requesting a site plan amendment in order to construct a new 31,165 square foot facility for the sale and distribution of windows in the “B-P” Business Park District.

The proposed building will be a two story white and grey building with windows located along the second floor. The façade design of the building will be compatible with the surrounding industrial uses.

The site is located within the Highway 20 Corridor District. The applicant does meet the Highway 20 regulations. The building is set back more than 50’ from the property line abutting Highway 20 and parking is setback more than 25’ from the property line. The applicant has submitted a landscaping plan that meets the Highway 20 Corridor District regulations.

The Zoning Ordinance requires one parking space for each 250 square feet of office floor area and one space for each two persons employed on the maximum shift. The building has approximately 8,250 square feet of office space and will have 32 employees for a parking requirement of 49 stalls. The site plan meets this requirement by showing 49 stalls.



Picture 1: Looking south from Tower Park Drive toward US Highway and site in question.



Picture 2: Looking west toward property in question.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

The area is being platted as part of a separate request.

TECH REVIEW AND
UPDATES

At the Tech Review meeting, Weliver noted sprinklers may be required depending on the height of the building. Weliver also noted additional hydrants may be needed. It was noted that the trail needs to be added along the south side of the road on the site plan.

STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Parks Property Management, LLC (on behalf of Pella Windows and Doors) for a Site Plan Amendment to construct a new 31,165 square foot commercial building in the “B-P” Business Park District located south of 4041 Hurst Drive be approved for the following reasons:

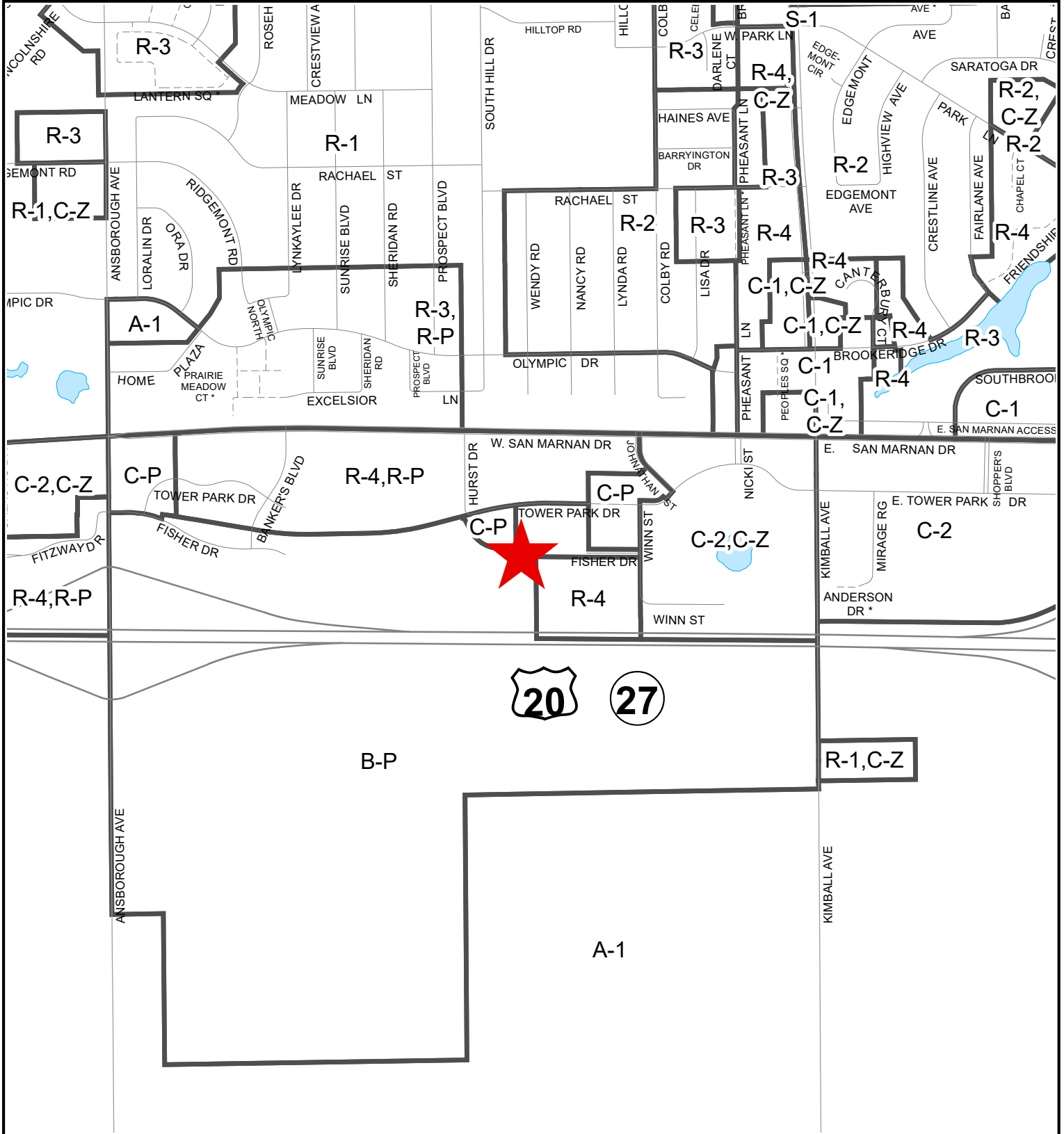
1. The request is in conformance with the Comprehensive Plan and Future Land Use Map for this area.
2. The request would not appear to have a negative impact on traffic conditions in the area.
3. The request would not appear to have a negative impact upon the surrounding area and would be compatible with surrounding development.

And subject to the following conditions(s):

1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, screening, drainage, etc.

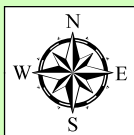
City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023

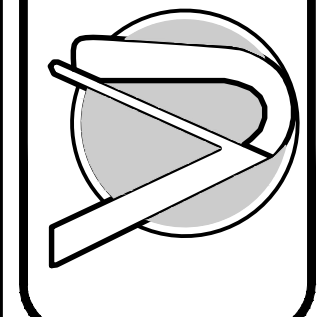


**South of 4041 Hurst Drive
Site Plan Amendment
Parks Property Management, LLC**

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**



**South of 4041 Hurst Drive
Site Plan Amendment
Parks Property Management, LLC**



GENERAL LANDSCAPING NOTES:

- ADJUSTMENTS TO LOCATIONS OF PLANTINGS MAY BE NECESSARY DUE TO SITE CONDITIONS. ANY ADJUSTMENTS MUST BE APPROVED BY OWNER'S REPRESENTATIVE.
- COORDINATE PLANT INSTALLATION WITH IRRIGATION CONTRACTOR.
- DIAMETERS OF PLANTINGS SHOWN REFLECT PLANTS CLOSER TO MATURITY (RATHER THAN AT INITIAL PLANTING)
- THIS PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR (IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND LIST THE LARGER NUMBER SHALL BE APPLY)
- SHRUBS OCCURRING IN IN CONTINUOUS ROW SHALL HAVE UNIFORM HEIGHT AND SPREAD. AREA TO BE FILLED WITH QUANTITY OF SPECIFIED PLANTS, EVENLY SPACED.
- A MINIMUM 8" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL NEW BED AREAS PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART COMPOST TO THREE PARTS TOPSOIL.
- MULCH TREES AND SHRUBS WITH A MINIMUM DEPTH OF 4" OF SHREDDED HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS.
- ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGNED WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MINIMUM OF 1/2 INCH BELOW ADJACENT PAVED SURFACES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL NEW PLANTS, LAWN AREAS, AND PLANT BEDS FOR A MINIMUM OF 30 DAY S AFTER ACCEPTANCE OF THE WORK BY PROJECT ARCHITECTS REPRESENTATIVE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO REGULAR WATERING, WEEDING, AND MOWING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. PRIOR TO END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED OR SOD ALL LAWN DISTURBED AREAS AS NOTED ON CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT ARCHITECTS REPRESENTATIVE.

LANDSCAPING REQUIREMENTS:
 MINIMUM REQUIRED LANDSCAPE AREA SHALL BE 25% OF TOTAL LOT AREA. THE LANDSCAPE AREA SHALL BE PLANTED WITH A COMBINATION OF TREES AND SHRUBS TO ACHIEVE A MINIMUM OF 0.04 POINTS PER SQUARE FOOT OF TOTAL LOT AREA.
 221,423 SQ. FT. X 0.04 PTS./SQ. FT. = 8,857 PTS.

VEHICULAR AREAS LARGER THAN 4 SPACES SHALL REQUIRE 5% OF THE TOTAL VEHICLE AREA TO BE LANDSCAPED. 0.04 POINTS PER SQ. FT. OF VEHICLE USE AREA SHALL BE REQUIRED.
 9,853 SQ. FT. X 0.04 PTS./SQ. FT. = 395 PTS.

STREET TREE PLAINING REQUIRES A MINIMUM OF 1.5 PTS. PER LINEAR FOOT OF STREET FRONTAGE.
 582 LF X 1.5 PTS./LF = 873 PTS.

TOTAL POINTS REQUIRED = 10,125 POINTS

TABLE 2: PLANTING SCHEDULE

| QTY | ID | DESCRIPTION | SIZE | ROOT | SPACING | NOTES |
|-------------------------------|----|--|-----------|------|----------|---|
| SHRUBS | | | | | | |
| 42 | SJ | Double Play Candy Corn Spirea SPIRAEA JAPONICA 'NCSX1' | 5 GAL | CONT | SEE PLAN | 36" MIN. HEIGHT. NURSERY MATCHED QUALITY SPECIMEN. |
| EVERGREEN TREES | | | | | | |
| 80 | TO | Arborvitae (White Cedar) THUJA OCCIDENTALIS | 6" Height | BB | SEE PLAN | NURSERY MATCHED, QUALITY SPECIMEN |
| OVERSTORY STREET TREES | | | | | | |
| 11 | HL | Honey Locust (thornless) GLEDTISIA TRIACANTHOS INERMIS | 4" CAL | BB | SEE PLAN | 50' MATURE HEIGHT. NURSERY MATCHED QUALITY SPECIMEN |
| 12 | SG | Sweetgum (Godozum) (Moraine) (Syraciflua) LIQUIDAMBAR STYRACIFLUA | 4" CAL | BB | SEE PLAN | 50' MATURE HEIGHT. NURSERY MATCHED QUALITY SPECIMEN |
| 11 | KT | Katsura Tree (Red Fox) CERCIDIPHYLLUM JAPONICUM | 4" CAL | BB | SEE PLAN | 50' MATURE HEIGHT. NURSERY MATCHED QUALITY SPECIMEN |
| UNDERSTORY TREES | | | | | | |
| 4 | AH | American Hornbeam CARPINUS CAROLINANA | 2" CAL | BB | SEE PLAN | 30' MATURE HEIGHT. NURSERY MATCHED QUALITY SPECIMEN |

LANDSCAPING LEGEND

- PROPOSED SHADE/ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE OR SHRUB

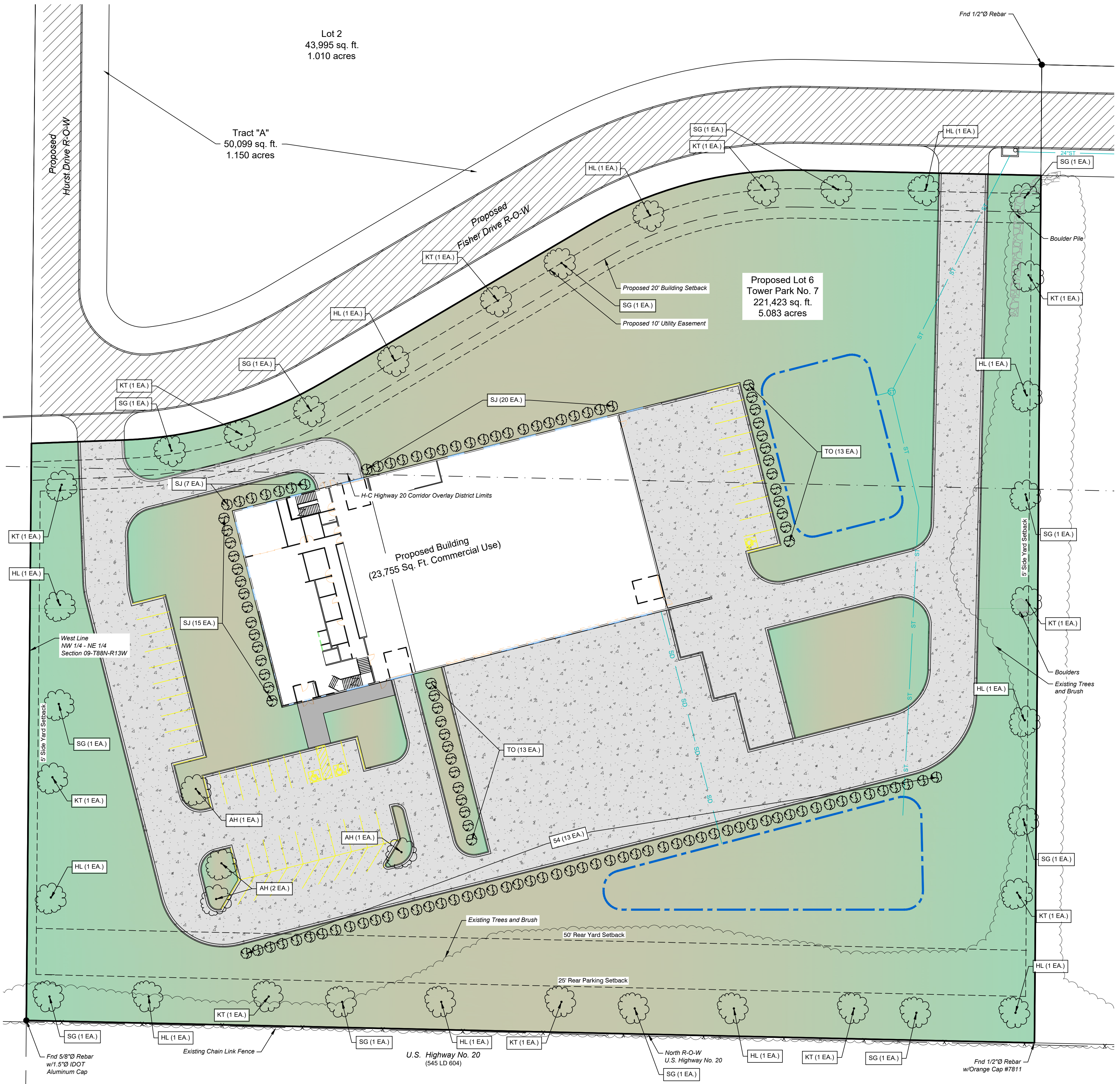
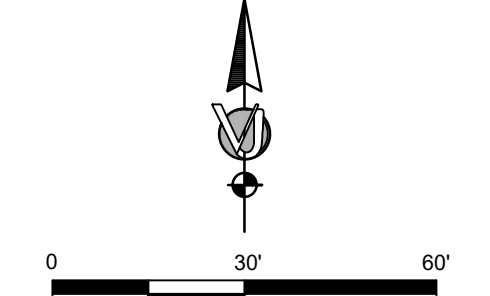
LEGEND

| Existing | Proposed | DESCRIPTION |
|----------|----------|-----------------------|
| --- | --- | BOUNDARY LINE |
| --- | --- | EASEMENT LINE |
| --- | --- | PROPERTY LINE |
| --- | --- | SECTION/R.O.W. LINE |
| --- | --- | SETBACK LINE |
| --- | --- | CONTOUR LINE |
| --- | --- | ELECTRIC LINE |
| --- | --- | FENCE LINE |
| --- | --- | FIBER LINE |
| --- | --- | GAS LINE |
| --- | --- | OVERHEAD UTILITY LINE |
| --- | --- | SANITARY SEWER LINE |
| --- | --- | SILT FENCE LINE |
| --- | --- | STORM SEWER LINE |
| --- | --- | TELEPHONE LINE |
| --- | --- | TELEVISION LINE |
| --- | --- | WATER LINE |
| --- | --- | PROPERTY CORNER |
| --- | --- | BENCH MARK |
| --- | --- | CONIFEROUS TREE |
| --- | --- | DECIDUOUS TREE |
| --- | --- | GAS MANHOLE |
| --- | --- | GAS VALVE |
| --- | --- | SANITARY MANHOLE |
| --- | --- | SIGN |
| --- | --- | STORM INTAKE |
| --- | --- | STORM MANHOLE |
| --- | --- | TELEPHONE PEDESTAL |
| --- | --- | UTILITY POLE |
| --- | --- | WATER HYDRANT |
| --- | --- | WATER SHUT OFF |
| --- | --- | WATER VALVE |

HATCH LEGEND

- 6" PCC PAVEMENT/ CURB AND GUTTER
- EROSION STONE
- EXISTING PCC ROADWAY
- SEED AND MULCH (OR CITY APPROVED EQUAL)

NORTH



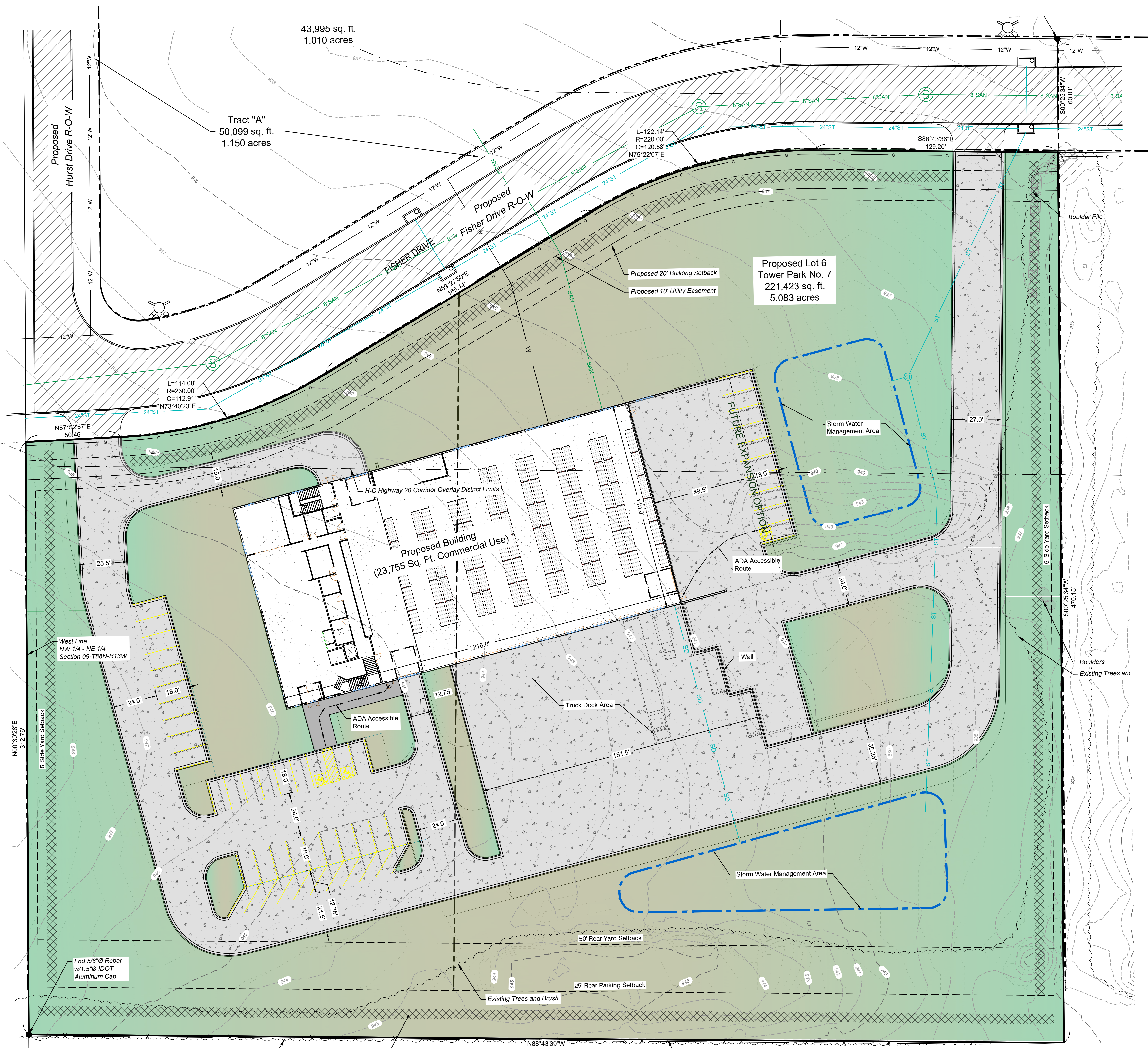
Find 1/2"Ø Rebar

Boulder Pile

Boulders Existing Trees and Brush

Find 1/2"Ø Rebar w/Orange Cap #7811

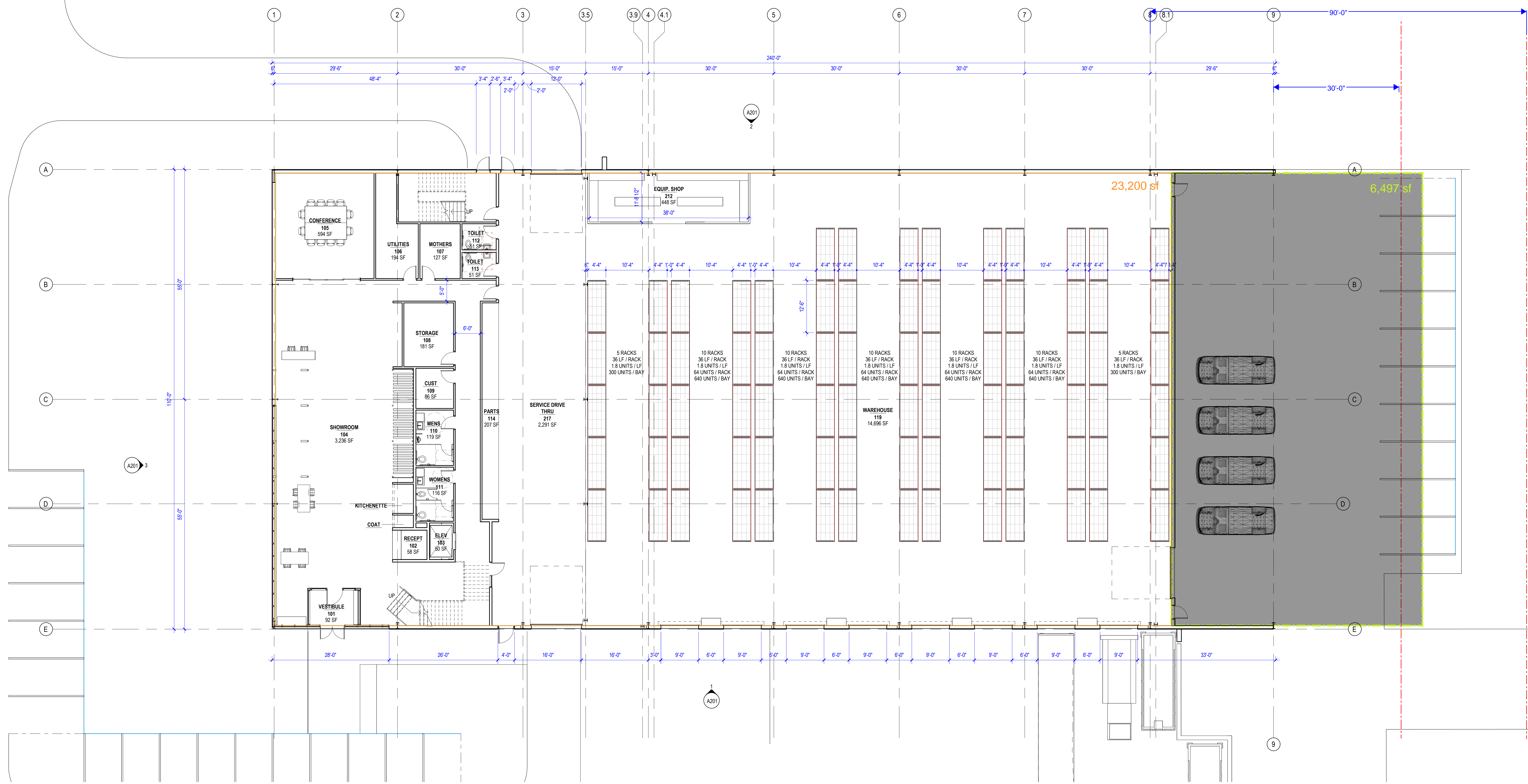
Find 5/8"Ø Rebar w/1.5"Ø IDOT Aluminum Cap



SITE PLAN
PELLA WINDOWS & DOORS OF WATERLOO
 22146
 PRELIMINARY SET

1 1ST FLOOR PLAN
1" = 10'-0"

FIRST FLOOR
PELLA WINDOWS & DOORS OF WATERLOO
22146
PRELIMINARY SET

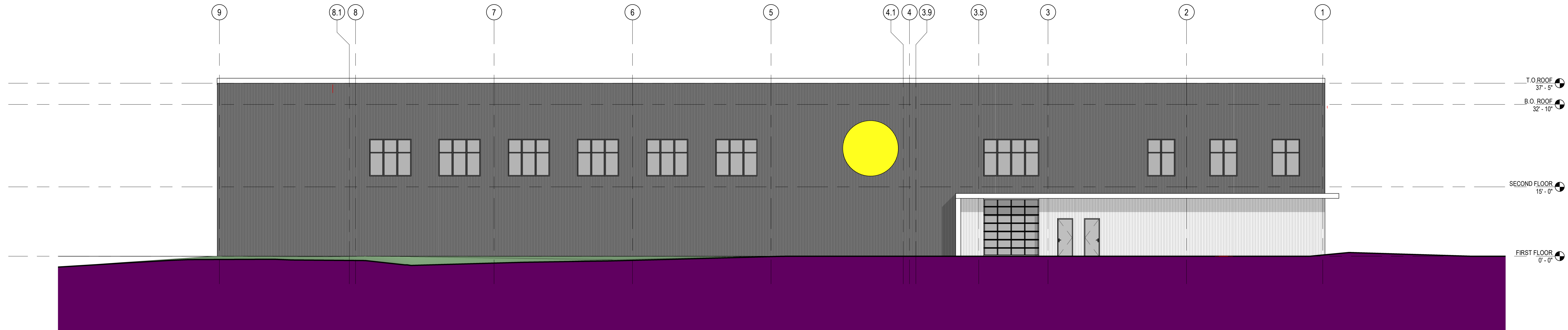




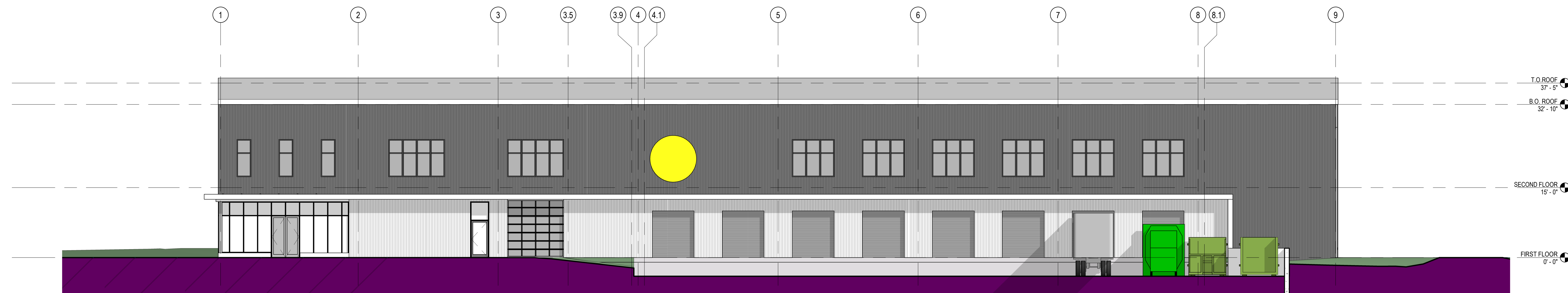
3 WEST ELEVATION
3/32" = 1'-0"



4 EAST ELEVATION
3/32" = 1'-0"



2 NORTH ELEVATION
3/32" = 1'-0"



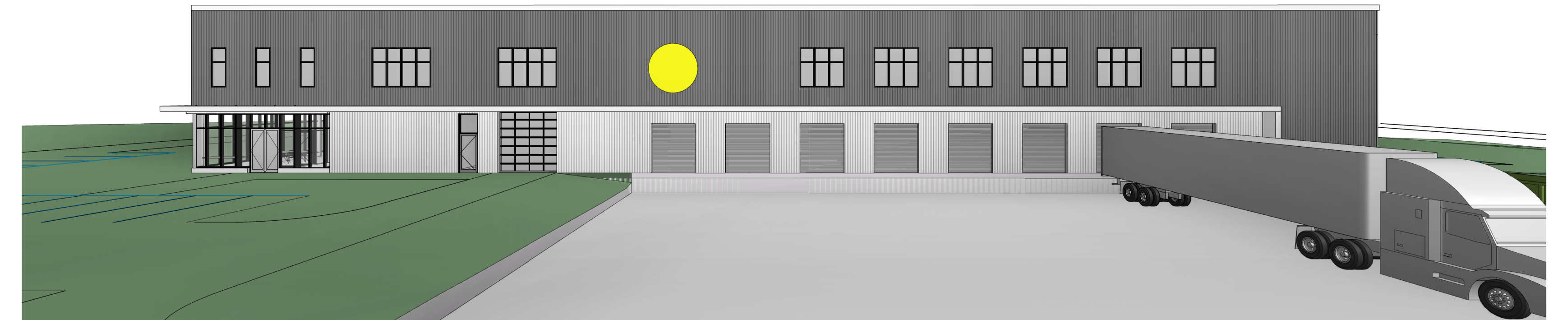
1 SOUTH ELEVATION
3/32" = 1'-0"



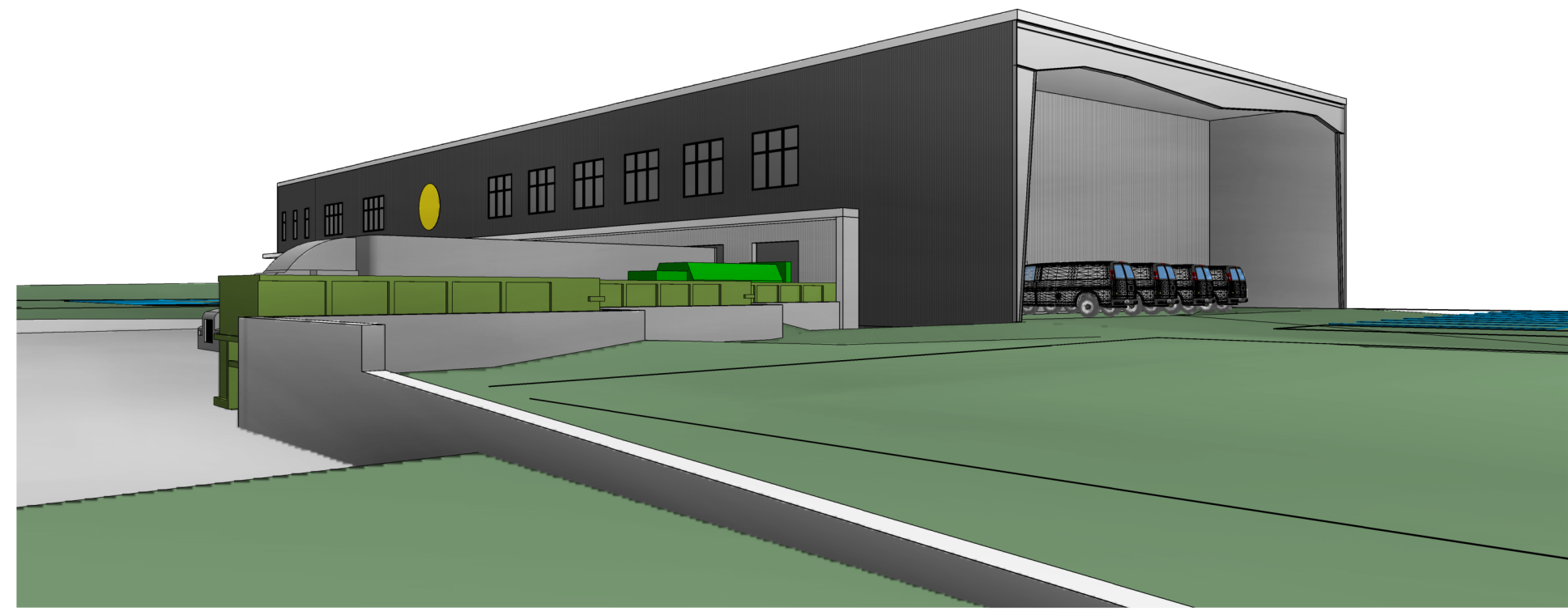
1 X_NW ENTRY VIEW



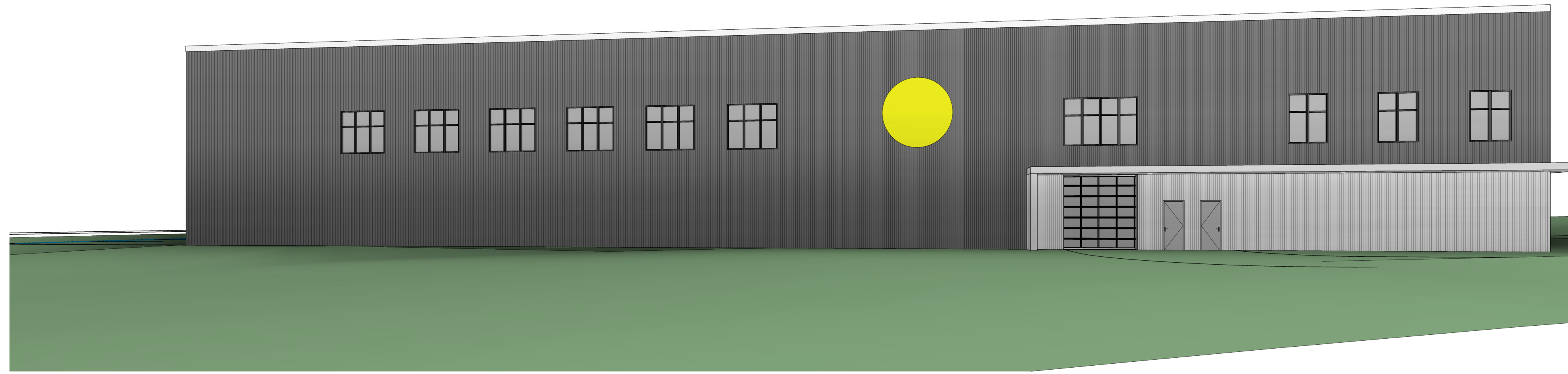
2 X_SW ENTRY VIEW



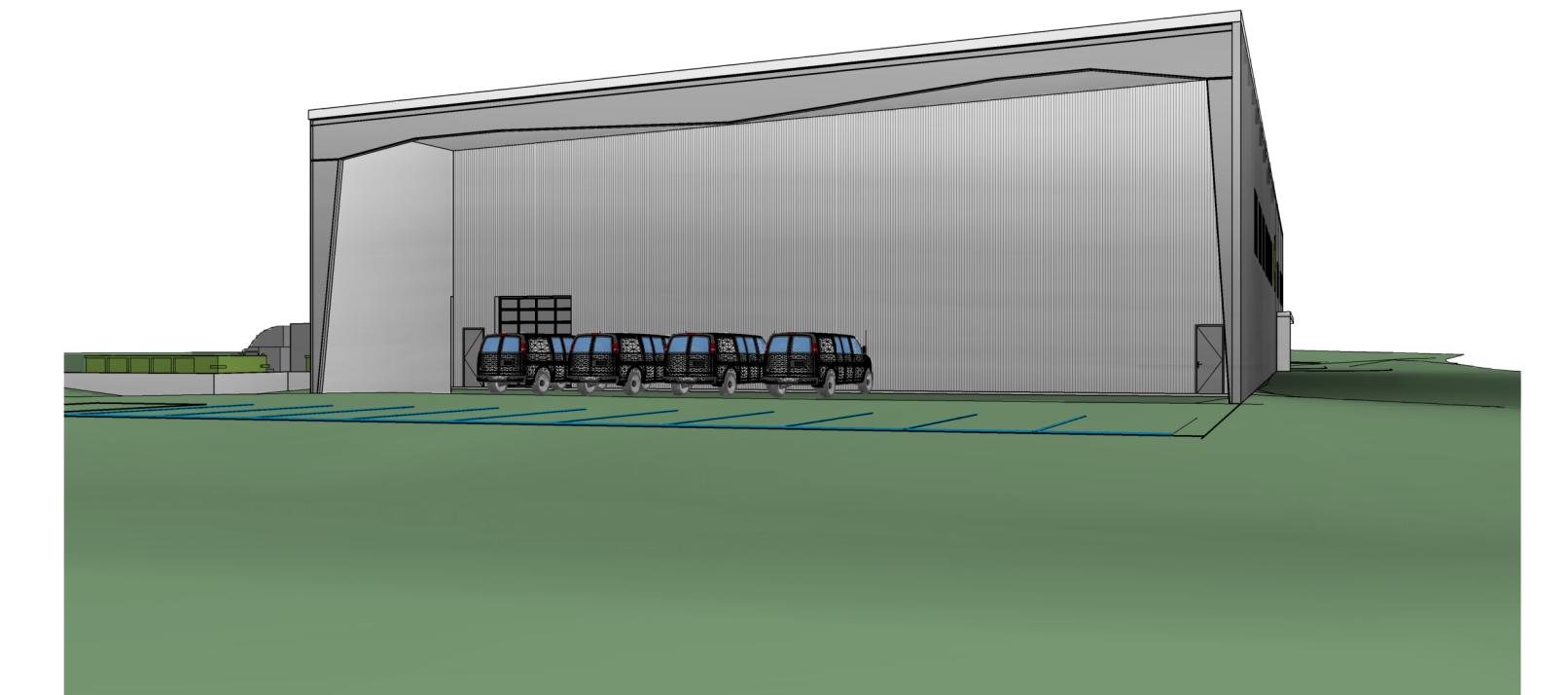
3 X_SOUTH ELEVATION PERSPECTIVE



4 X_SE SERVICE VIEW



5 X_NORTH ELEVATION PERSPECTIVE



6 X_NE SERVICE VIEW



**APPLICATION SITE PLAN AMENDMENT TO A "R-P",
"M-P", "C-P", "B-P", "S-1" OR "C-Z" DISTRICT
CITY OF WATERLOO PLANNING, PROGRAMMING, AND
ZONING COMMISSION, WATERLOO, IOWA
319.291.4366**

New or Overall Amendment
 Individual Building
 Minor change (check one) (Minor Change must be approved by staff)

1. APPLICATION INFORMATION:

- a. Applicant's name (please print): Parks Property Management, LLC
 Address: 3130 W Shaulis Road Phone: 319-231-8908 Fax: _____
 City: Waterloo State: IA Zip: 50701
 Email: pparks@wtpella.com
- b. Status of applicant: (a) Owner (b) Other (SELECT ONE): If other explain: _____
Purchaser of soon-to-be-created lot in Tower Park
- c. Property owner's name if different than above (please print): Hurst Holding Company, Inc.
 Address: 245 Fletcher Ave Phone: 319-415-4355 Fax: _____
 City: Waterloo State: IA Zip: 50701
 Email: pinehurst60@gmail.com

2. PROPERTY INFORMATION:

- a. General location of site plan to be amended: Tower Park, West of GMAC, south of Fisher Drive
- b. Legal description of property or portion to be amended: _____
Lot 6; Tower Park No. 7 (platting in process)
- c. Dimensions of proposed site plan amendment: 470 feet x 546.5 feet
- d. Area of proposed site plan amendment: 5.083 acres
- e. Current zoning: B-P, Business Park
- f. Reason(s) for site plan amendment and proposed use(s) of property: Construction of a new facility for the sale and distribution of windows
- g. Conditions (if any) agreed to (does not affect existing conditions unless specified): _____
- h. Other pertinent information (use reverse side if necessary): _____

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it must go through a platting process (separate from site plan amendment request).

The filing fee of \$200 (for new or overall amendment), \$100 (for individual Building), or \$0 (for minor change) (payable to the City of Waterloo) is required. **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. If the request is denied no new petition covering the same or portion of the same property shall be filed with or considered by the Planning, Programming, and Zoning Commission until four (4) months have elapsed from the date of denial by the Waterloo City Council. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo City Council in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.

[Signature]
 Signature of Applicant
2.20.23
 Date

 Signature of Owner
 Date **69**

REQUEST: Request by Hurst Holdings, Inc. for the Preliminary Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south of 4041 Hurst Drive.

APPLICANT: Hurst Holding Co. Inc., 245 Fletcher Ave, Waterloo, IA 50701

SURVEYOR: Matthew A. Kofta, P.L.S., VJ Engineering

GENERAL DESCRIPTION: The applicant is requesting to plat the property in question for the purposes of creating a 6-lot commercial subdivision, located south of 4041 Hurst Drive.

IMPACT ON NEIGHBORHOOD & SURROUNDING LAND USE: The request would not appear to have a negative impact on the surrounding neighborhood or land use as the area being platted is located south and west of an existing Business Park, and east of a proposed Business Park.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The request would not appear to have a negative impact on vehicular or pedestrian traffic movements in the area. The area is served by Tower Park Drive, Hurst Drive, and Fisher Drive which are classified as Local Streets.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: There are no trails in the nearby vicinity. There will be a sidewalk along the west side of Hurst Drive. The plat will need to be updated by the applicant to show the required sidewalks on the south side of Tower Park Drive and a trail on the south side of Fisher Drive, which will connect with a proposed trail on the south side of Fisher Drive in the proposed Business Park to the west.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: The area of the proposed plat is zoned “C-P” Planned Commercial District and “B-P” Business Park District. Surrounding land uses and their zoning are as follows:

North – Kimball and Beecher Dentistry and Den Herder Veterinary Hospital zoned “R-4,R-P” Planned Residence District.

South – Highway 20 and Vacant Land zoned “B-P” Business Park District.

East – Green Acres Storage zoned “C-P” Planned Commercial District and professional office zoned “R-4” Multiple Residence District

West –Vacant land zoned “B-P” Business Park District.

DEVELOPMENT HISTORY: The area is surrounded by commercial buildings built between 1999 and 2020.

BUFFERS/ SCREENING REQUIRED: No buffers would be required as a part of this plat request.

DRAINAGE: A drainage plan will need to be submitted to Engineering when buildings are constructed.

FLOODPLAIN: No portion of the property is located within a Special Flood Hazard

Area as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 and Panel Numbers 0166F, 0158F and 0167F dated July 18, 2011.

PUBLIC /OPEN SPACES/ SCHOOLS:

Lou Henry Elementary School is located 0.58 miles to the northeast, Hoover Middle School is located 0.64 miles to the northeast, and West High School is located 1.30 miles to the northeast.

Paulson Park is located 0.61 miles to the north.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC:

There are currently no utilities in the plat area; however utilities are going to be extended to serve the development.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

The Future Land Use Map designates this area as *Business Park: Professional Offices; Commercial; Compatible Light Industrial*. The proposed plat conforms to the Future Land Use Map and Comprehensive Plan.



Picture 1: 4041 Hurst Drive



Picture 2: Looking north from the corner of Hurst Drive and Tower Park Drive.



Picture 3: Looking northwest toward Tower Park Drive from Fisher Drive.

STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Hurst Holdings, Inc. for the Preliminary Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south and east of 4041 Hurst Drive., be approved for the following reasons:

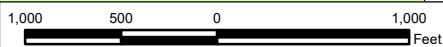
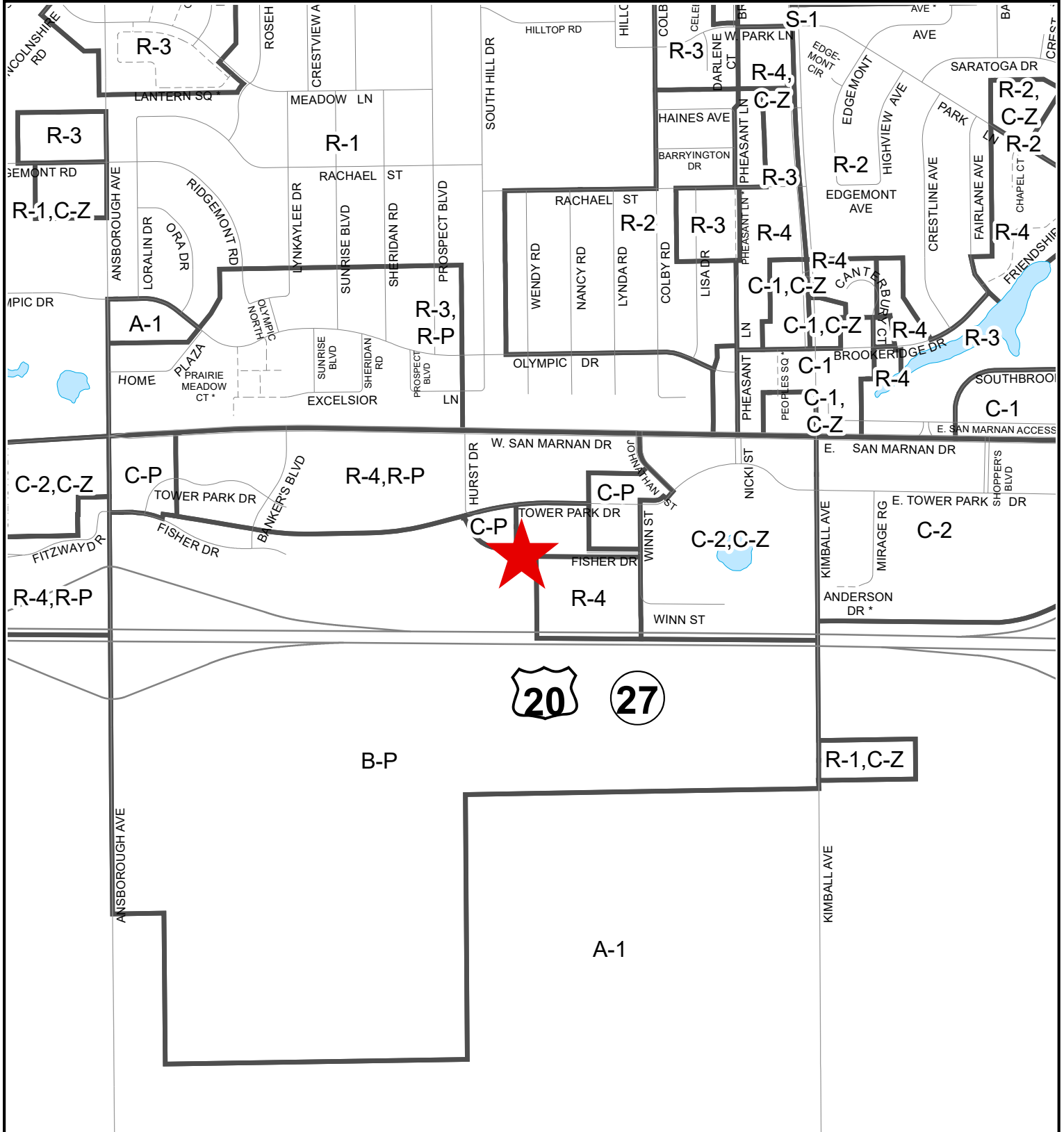
1. The plat would not appear to have a negative impact on the surrounding area.
2. The plat would not appear to have a negative impact on traffic conditions in the area.
3. The plat will create an additional infill development site in the Primary Growth Area.

And with the following condition(s):

1. That the plat has all accurate required information prior to the Preliminary Plat being sent to the City Council.

City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023



**North of 4041 Hurst Drive
Preliminary Plat
Hurst Holdings, INC**

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**



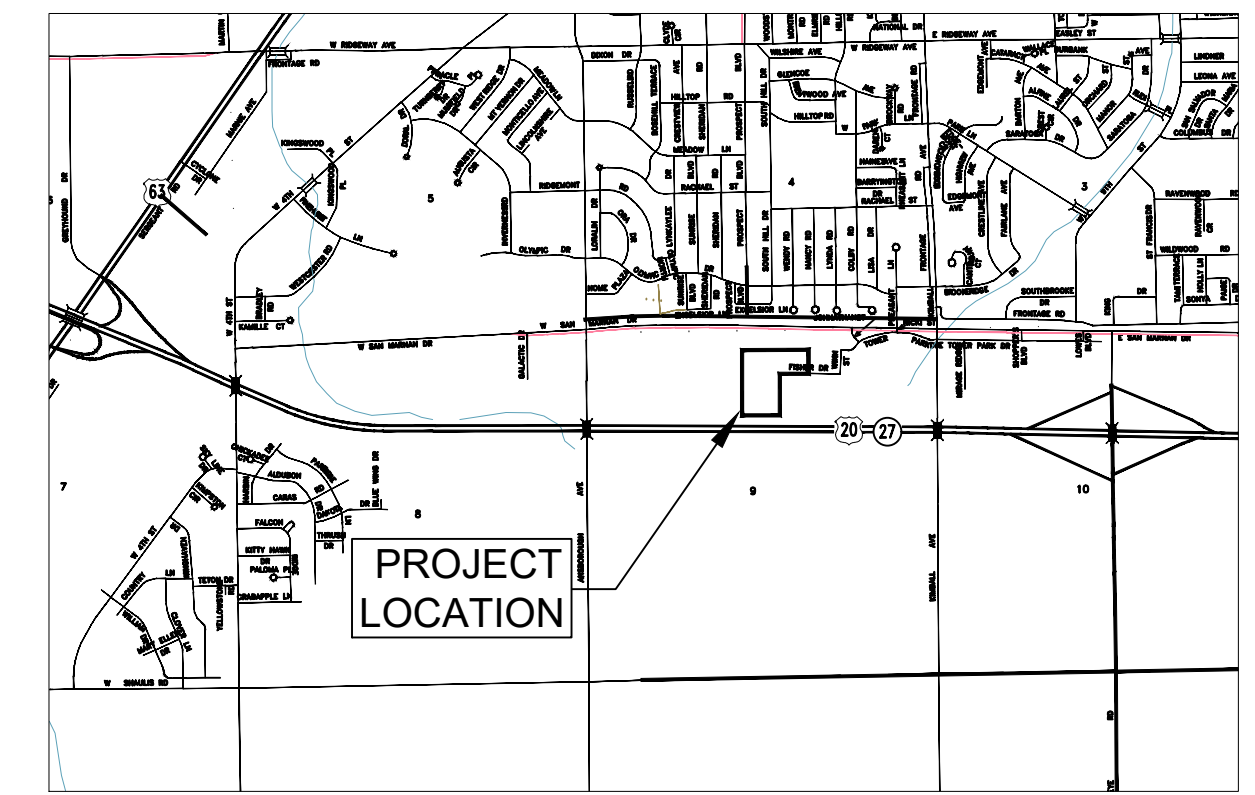
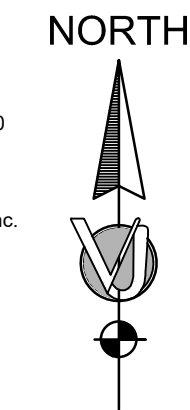
**North of 4041 Hurst Drive
Preliminary Plat Request
Hurst Holdings, INC**

Preliminary Plat
Tower Park No. 7
 Waterloo, Black Hawk County, Iowa

Legal Description:
 That part of the Northeast Quarter (NE 1/4) of Section 9, Township 88 North, Range 13 West of the 5th P.M., Black Hawk County, Iowa described as follows:

Commencing at the North Quarter Corner of said Section 9; thence S00°30'28"W 573.71 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section to the Point of Beginning; thence S89°25'22"E 55.25 feet along the South right-of-way of Tower Park Drive; thence N76°05'15"E 85.16 feet along the said South right-of-way; thence along said South right-of-way Easterly 545.96 feet along a 2000.00 foot radius curve, concave Southerly, said curve having a long chord of 544.27 feet that bears N83°58'38"E; thence S88°12'25"E 197.17 feet along said South right-of-way to the Northwest Corner of Parcel "N"; thence S00°23'32"W 310.46 feet along the West line of said Parcel N to the North right-of-way of Fisher Drive; thence N88°43'35"W 330.52 feet along said North right-of-way; thence S00°25'34"W 530.15 feet along the West line and the Northerly extension of Lot 1, Tower Technology Park Plat No. 1 to the Southwest Corner of said Lot 1 and the North right-of-way of U.S. Highway No. 20; thence N88°43'39"W 546.52 feet along said North right-of-way to the West line of the Northwest Quarter of the Northeast Quarter of said Section; thence N00°30'28"E 750.28 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section, to the Point of Beginning, containing 12.378 acres.

Index Legend
 Description: NE 1/4, Section 09-T88N-R13W
 Surveyor: Matthew Kofka, PLS 22561
 Company: VJ Engineering
 1501 Technology Parkway, Suite 100
 Cedar Falls, IA 50613
 319-266-5829
 Proprietor: Hurst Holding Company, Inc.
 Survey Requested by: Hurst Holding Company, Inc.



Owner / Developer
 Hurst Holding Co. Inc.
 245 Fletcher Avenue
 Waterloo, IA 50701

Surveyor / Engineer
 VJ Engineering
 1501 Technology Parkway, Suite 100
 Cedar Falls, IA 50613

Existing Utility Service Providers:
 Communications:
 Mediacom
 Centurylink
 Windstream

Electric and Natural Gas:
 MidAmerican

Sewer:
 City of Waterloo

Water:
 Waterloo Water Works

Zoning Classification:
 Lot 1, 2 & 3
 B-P, (Business Park) &
 C-P, (Planned Commercial)

Lot 4 & 5
 B-P, (Business Park)

Lot 6
 B-P, (Business Park) &
 H-C, (Highway 20 Corridor Overlay)

No changes to zoning proposed.

Flood Zone Classification:
 This preliminary plat is located within
 Zone "X" unshaded, per Flood
 Insurance Rate Map #19013C0303F,
 effective date July 18, 2011.

General Notes:

- Minimal topographic changes will occur for the construction of the streets and will be defined during the development of the construction plans.
- Tract "A" to be dedicated to the City of Waterloo as public right-of-way for roadway and utilities.
 Proposed Fisher Drive to be a 60' wide public right-of-way with a 31' wide concrete road with 6" standard curb.
 Proposed Hurst Drive to be a 60' wide public right-of-way, 40' to be dedicated with this plat, with a 31' wide concrete road with 6" standard curb.
- Proposed Sanitary Sewer to be 8"Ø.
 Proposed Water Main to be 12"Ø.
 Proposed Storm Sewer to be 15"Ø, 21"Ø & 24"Ø.

Area Summary
 Section 09-T88N-R13W

| Lot No. | NW 1/4 - NE 1/4 | SW 1/4 - NE 1/4 | Total |
|-------------------------|---------------------|--------------------|---------------------|
| 1 | 0.947 acres | N/A | 0.947 acres |
| 2 | 1.010 acres | N/A | 1.010 acres |
| 3 | 1.602 acres | N/A | 1.602 acres |
| 4 | 1.292 acres | N/A | 1.292 acres |
| 5 | 1.294 acres | N/A | 1.294 acres |
| 6 | 4.994 acres | 0.089 acres | 5.083 acres |
| Tract "A" | 1.150 acres | N/A | 1.150 acres |
| Tower Park No. 7 | 12.289 acres | 0.089 acres | 12.378 acres |

Curve Table

| Curve # | Length | Radius | Chord | Bearing | Δ |
|---------|---------|----------|---------|-------------|-----------|
| C1 | 545.96' | 2000.00' | 544.27' | N83°58'38"E | 15°38'27" |
| C2 | 164.70' | 2000.00' | 164.65' | N89°26'19"E | 4°43'06" |
| C3 | 233.93' | 2000.00' | 233.79' | N83°43'43"E | 6°42'05" |
| C4 | 147.34' | 2000.00' | 147.30' | N78°16'03"E | 4°13'15" |
| C5 | 26.62' | 20.00' | 24.70' | N38°38'16"E | 76°15'09" |
| C6 | 34.11' | 20.00' | 30.12' | S48°20'51"E | 97°42'36" |
| C7 | 69.23' | 170.00' | 68.75' | S71°07'51"W | 23°20'01" |
| C8 | 14.25' | 280.00' | 14.25' | S60°55'20"W | 2°54'59" |
| C9 | 141.20' | 280.00' | 139.71' | S76°49'37"W | 28°53'36" |
| C10 | 122.14' | 220.00' | 120.58' | N75°22'07"E | 31°48'34" |
| C11 | 114.08' | 230.00' | 112.91' | N73°40'23"E | 28°25'07" |

LEGEND

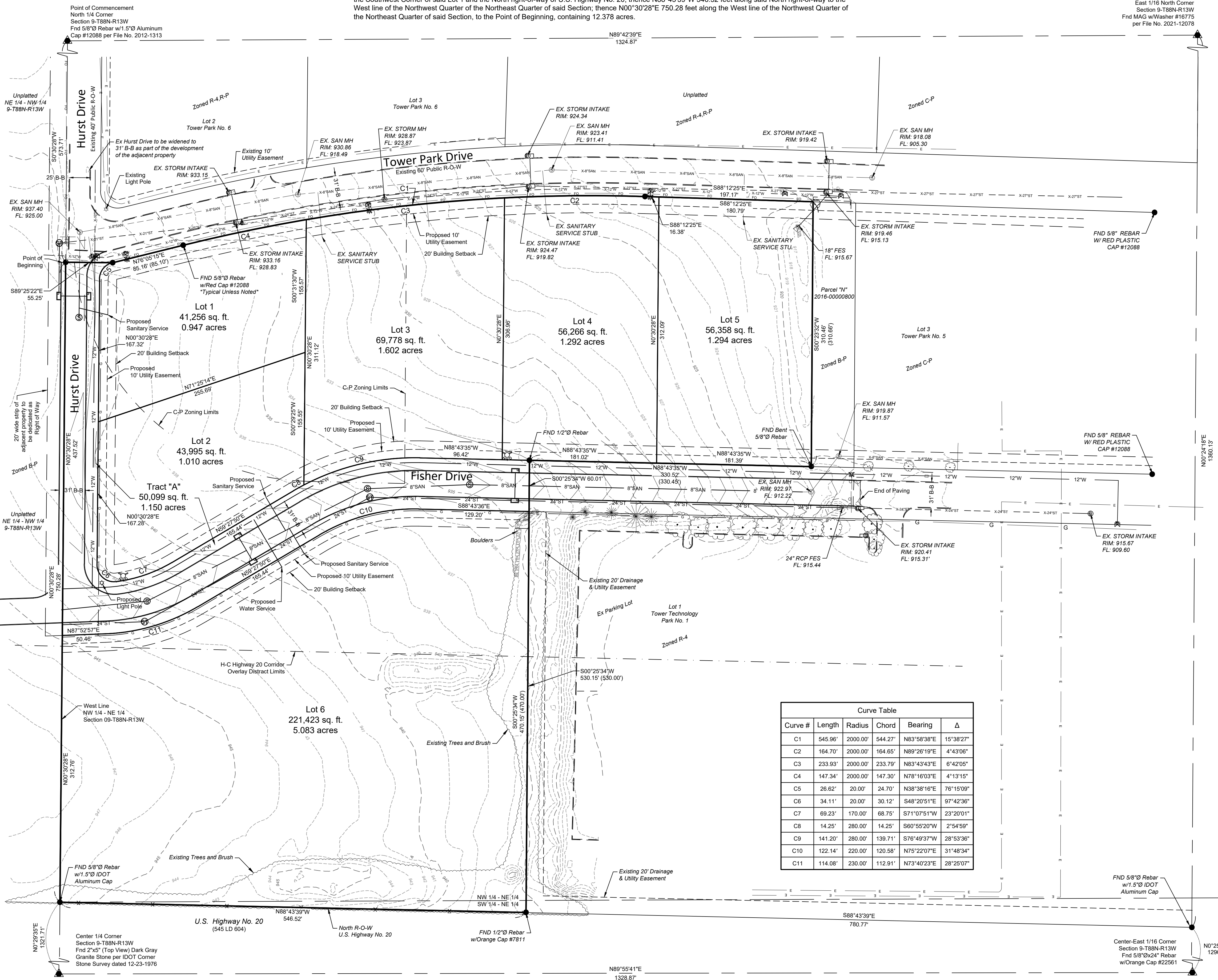
| | |
|-----------|------------------------|
| --- | BOUNDARY LINE |
| - - - - | EASEMENT LINE |
| - · - · - | PROPERTY LINE |
| - · - · - | SECTION/R.O.W. LINE |
| - · - · - | SETBACK LINE |
| - · - · - | CONTOUR LINE |
| - · - · - | ELECTRIC LINE |
| - · - · - | FENCE LINE |
| - · - · - | FIBER LINE |
| - · - · - | GAS LINE |
| - · - · - | OVERHEAD UTILITY LINE |
| - · - · - | SANITARY SEWER LINE |
| - · - · - | SILT FENCE LINE |
| - · - · - | STORM SEWER LINE |
| - · - · - | TELEPHONE LINE |
| - · - · - | TELEVISION LINE |
| - · - · - | WATER LINE |
| ○ | PROPERTY CORNER |
| ● | BENCH MARK |
| ⊛ | CONIFEROUS TREE |
| ⊙ | DECIDUOUS TREE |
| ⊗ | GAS MANHOLE |
| ⊗ | GAS VALVE |
| ⊗ | SANITARY MANHOLE |
| ⊗ | SIGN |
| ⊗ | STORM INTAKE |
| ⊗ | STORM MANHOLE |
| ⊗ | STORM MANHOLE PEDESTAL |
| ⊗ | UTILITY POLE |
| ⊗ | WATER HYDRANT |
| ⊗ | WATER SHUT OFF |
| ⊗ | WATER VALVE |

Survey Notes:

- The North Line of the NE 1/4 of Section 9, Township 88 North, Range 13 West of the 5th P.M. was assumed to bear N89°42'38"E, utilizing the Iowa Regional Coordinate System Zone 5, NAD 83 2011.
- All dimensions are in US Survey feet and decimals thereof.
- The error of closure is better than 1:10,000.
- Proprietor: Hurst Holding Co. Inc.
- Survey Requested by: Hurst Holding Co. Inc.
- Field work was completed: 2-8-2023

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Matthew A. Kofka, P.L.S.
 License number: 22561
 My license renewal date is December 31, 2024
 Date: _____
 Pages or sheets covered by this seal: _____



600827

VJ Engineering
 1501 Technology Parkway
 Cedar Falls, Iowa - 319-266-5829

TOWER PARK NO. 7
 HURST DR. AND TOWER PARK DR.
 WATERLOO, BLACK HAWK COUNTY, IOWA
 PRELIMINARY PLAT

1 OF 1

Scale
 1"=60'

Drawn
 SJL

Reviewed
 MAK

Date
 2023.02.20

Revisions

238009

REQUEST: Request by Hurst Holdings, Inc. for the Final Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south and east of 4041 Hurst Drive.

APPLICANT: Hurst Holding Co. Inc., 245 Fletcher Ave, Waterloo, IA 50701

SURVEYOR: Matthew A. Kofta, P.L.S., VJ Engineering

GENERAL DESCRIPTION: The applicant is requesting to plat the property in question for the purposes of creating a 6-lot commercial subdivision, located south of 4041 Hurst Drive.

IMPACT ON NEIGHBORHOOD & SURROUNDING LAND USE: The request would not appear to have a negative impact on the surrounding neighborhood or land use as the area being platted is located south and west of an existing Business Park, and east of a proposed Business Park.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The request would not appear to have a negative impact on vehicular or pedestrian traffic movements in the area. The area is served by Tower Park Drive, Hurst Drive, and Fisher Drive which are classified as Local Streets.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: There are no trails in the nearby vicinity. There will be a sidewalk along the west side of Hurst Drive. The plat will need to be updated by the applicant to show the required sidewalks on the south side of Tower Park Drive and a trail on the south side of Fisher Drive, which will connect with a proposed trail on the south side of Fisher Drive in the proposed Business Park to the west.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: The area of the proposed plat is zoned “C-P” Planned Commercial District and “B-P” Business Park District. Surrounding land uses and their zoning are as follows:

North – Kimball and Beecher Dentistry and Den Herder Veterinary Hospital zoned “R-4,R-P” Planned Residence District.

South – Highway 20 and Vacant Land zoned “B-P” Business Park District.

East – Green Acres Storage zoned “C-P” Planned Commercial District and professional office zoned “R-4” Multiple Residence District

West –Vacant land zoned “B-P” Business Park District.

DEVELOPMENT HISTORY: The area is surrounded by commercial buildings built between 1999 and 2020.

BUFFERS/ SCREENING REQUIRED: No buffers would be required as a part of this plat request.

DRAINAGE: A drainage plan will need to be submitted to Engineering when buildings are constructed.

FLOODPLAIN: No portion of the property is located within a Special Flood Hazard Area as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 and Panel Numbers 0166F, 0158F and 0167F dated July 18, 2011.

PUBLIC /OPEN SPACES/ SCHOOLS: Lou Henry Elementary School is located 0.58 miles to the northeast, Hoover Middle School is located 0.64 miles to the northeast, and West High School is located 1.30 miles to the northeast.

Paulson Park is located 0.61 miles to the north.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC: There are currently no utilities in the plat area; however utilities are going to be extended to serve the development.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN: The Future Land Use Map designates this area as *Business Park: Professional Offices; Commercial; Compatible Light Industrial*. The proposed plat conforms to the Future Land Use Map and Comprehensive Plan.



Picture 1: Looking east from eastern edge of the plat toward existing development.



Picture 2: Looking south from Tower Park Drive.



Picture 3: Looking southwest from Tower Park Drive.

STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Hurst Holdings, Inc. for the Final Plat of Tower Park No. 7, a six-lot commercial subdivision located in the “B-P” Business Park District and “C-P” Planned Commercial District located south and east of 4041 Hurst Drive., be approved for the following reasons:

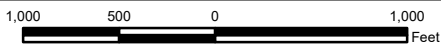
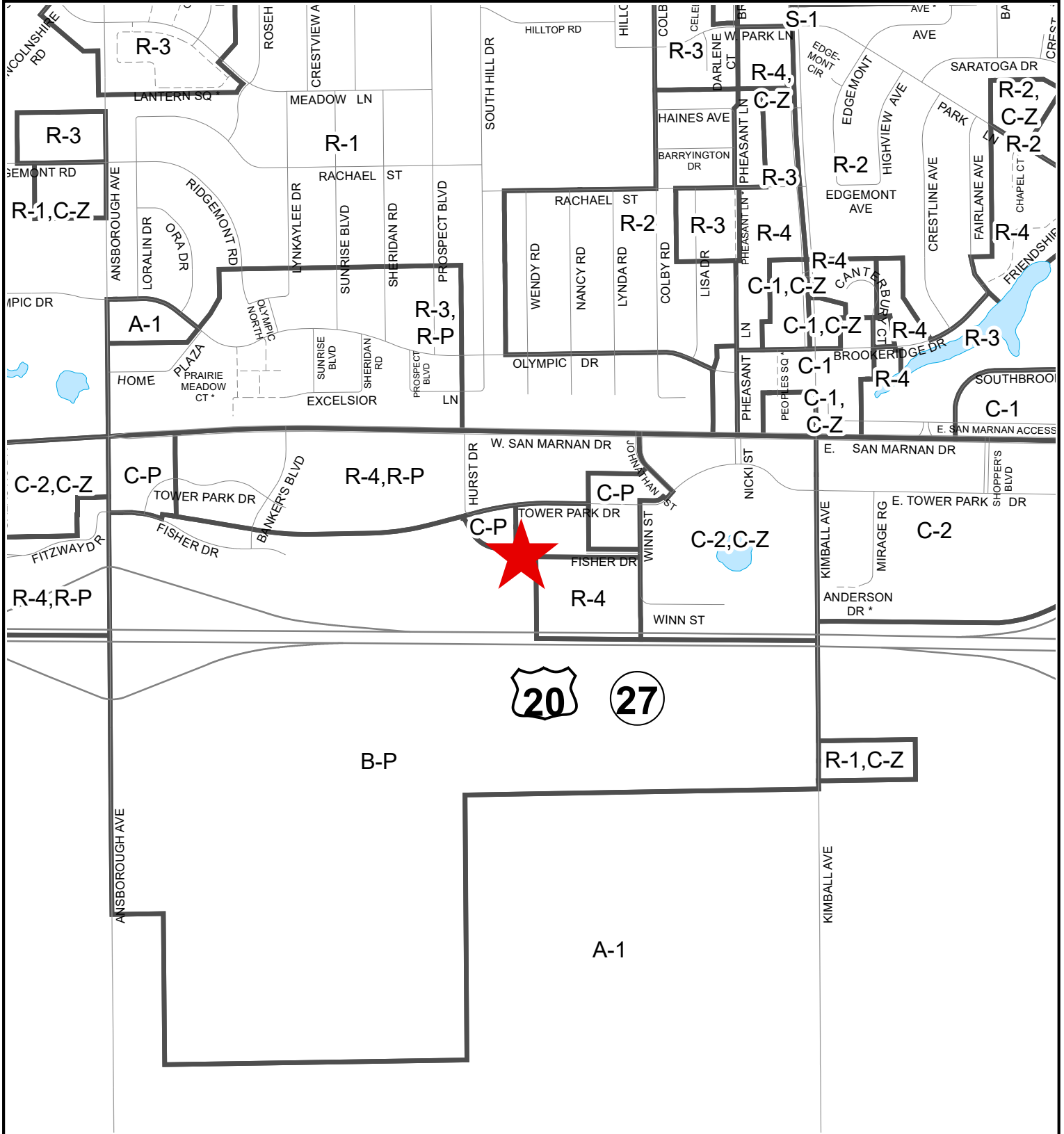
1. The plat would not appear to have a negative impact on the surrounding area.
2. The plat would not appear to have a negative impact on traffic conditions in the area.
3. The plat will create an additional infill development site in the Primary Growth Area.

And with the following condition(s):

1. That the plat has all accurate required information prior to the Final Plat being sent to the City Council.
2. That sidewalk be installed on the south side of Tower Park Drive and a trail on the south side of Fisher Drive.

City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023



**North of 4041 Hurst Drive
Final Plat
Hurst Holdings, INC**

**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**

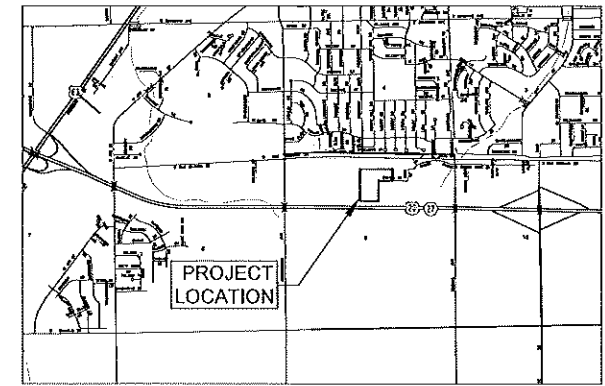
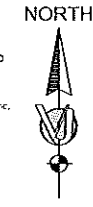


**North of 4041 Hurst Drive
Final Plat Request
Hurst Holdings, INC**

Final Plat
Tower Park No. 7
 Waterloo, Black Hawk County, Iowa

Legal Description:
 That part of the Northeast Quarter (NE 1/4) of Section 9, Township 88 North, Range 13 West of the 5th P.M., Black Hawk County, Iowa described as follows:
 Commencing at the North Quarter Corner of said Section 9; thence S00°30'28"W 573.71 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section to the Point of Beginning; thence S89°25'22"E 55.25 feet along the South right-of-way of Tower Park Drive; thence N76°05'15"E 85.16 feet along the said South right-of-way; thence along said South right-of-way Easterly 545.96 feet along a 2000.00 foot radius curve, concave Southerly, said curve having a long chord of 544.27 feet that bears N83°58'38"E; thence S88°12'25"E 197.17 feet along said South right-of-way to the Northwest Corner of Parcel "N"; thence S00°23'32"W 310.46 feet along the West line of said Parcel N to the North right-of-way of Fisher Drive; thence N88°43'35"W 330.52 feet along said North right-of-way; thence S00°25'34"W 530.15 feet along the West line and the Northernly extension of Lot 1, Tower Technology Park Plat No. 1 to the Southwest Corner of said Lot 1 and the North right-of-way of U.S. Highway No. 20; thence N88°43'39"W 546.52 feet along said North right-of-way to the West line of the Northeast Quarter of said Section; thence N00°30'28"E 750.28 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section, to the Point of Beginning, containing 12,378 acres.

Index Legend
 Description: NE 1/4, Section 09-T88N-R13W
 Surveyor: Matthew A. Koita, P.L.S. #22561
 Company: VJ Engineering
 1501 Technology Parkway, Suite 100
 Cedar Falls, IA 50613
 319-266-5829
 Proprietor: Hurst Holding Company, Inc.
 Survey Requested by: Hurst Holding Company, Inc.



Owner / Developer:
 Hurst Holding Co. Inc.
 245 Fletcher Avenue
 Waterloo, IA 50701

Surveyor / Engineer:
 VJ Engineering
 1501 Technology Parkway, Suite 100
 Cedar Falls, IA 50613

Zoning Classification:
 Lot 1, 2 & 3
 B-P, (Business Park) &
 C-P, (Planned Commercial)

Lot 4 & 5
 B-P, (Business Park)

Lot 6
 B-P, (Business Park) &
 H-C, (Highway 20 Corridor Overlay)

No changes to zoning proposed.

Flood Zone Classification:
 This preliminary plat is located within Zone "X" unshaded, per Flood Insurance Rate Map #19013C0303F, effective date July 18, 2011.

Notes:

- 1.) Tract "A" (Hurst Drive & Fisher Drive) to be dedicated to the City of Waterloo as public right-of-way for roadway and utility purposes.
- 2.) 10' Utility Easement along the road frontage.
- 3.) 20' Building Setback along the road frontage.

Area Summary

| Lot No. | NW 1/4 - NE 1/4 | SW 1/4 - NE 1/4 | Total |
|-------------------------|---------------------|--------------------|---------------------|
| 1 | 0.947 acres | N/A | 0.947 acres |
| 2 | 1.010 acres | N/A | 1.010 acres |
| 3 | 1.602 acres | N/A | 1.602 acres |
| 4 | 1.292 acres | N/A | 1.292 acres |
| 5 | 1.294 acres | N/A | 1.294 acres |
| 6 | 4.994 acres | 0.089 acres | 5.083 acres |
| Tract "A" | 1.150 acres | N/A | 1.150 acres |
| Tower Park No. 7 | 12.289 acres | 0.089 acres | 12.378 acres |

Curve Table

| Curve # | Length | Radius | Chord | Bearing | Δ |
|---------|---------|----------|---------|-------------|-----------|
| C1 | 545.96' | 2000.00' | 544.27' | N83°58'38"E | 15°38'27" |
| C2 | 164.70' | 2000.00' | 164.65' | N89°26'19"E | 4°43'06" |
| C3 | 233.93' | 2000.00' | 233.79' | N83°43'43"E | 6°42'05" |
| C4 | 147.34' | 2000.00' | 147.30' | N78°16'03"E | 4°13'15" |
| C5 | 26.62' | 20.00' | 24.70' | N39°38'16"E | 76°15'09" |
| C6 | 34.11' | 20.00' | 30.12' | S43°20'51"E | 97°42'38" |
| C7 | 69.23' | 170.00' | 68.75' | S71°07'51"W | 23°20'01" |
| C8 | 14.25' | 260.00' | 14.25' | S60°55'20"W | 2°54'59" |
| C9 | 141.20' | 260.00' | 139.71' | S76°49'37"W | 28°53'39" |
| C10 | 122.14' | 220.00' | 120.58' | N75°22'07"E | 31°48'34" |
| C11 | 114.08' | 230.00' | 112.91' | N73°40'23"E | 28°25'07" |

Feature Legend

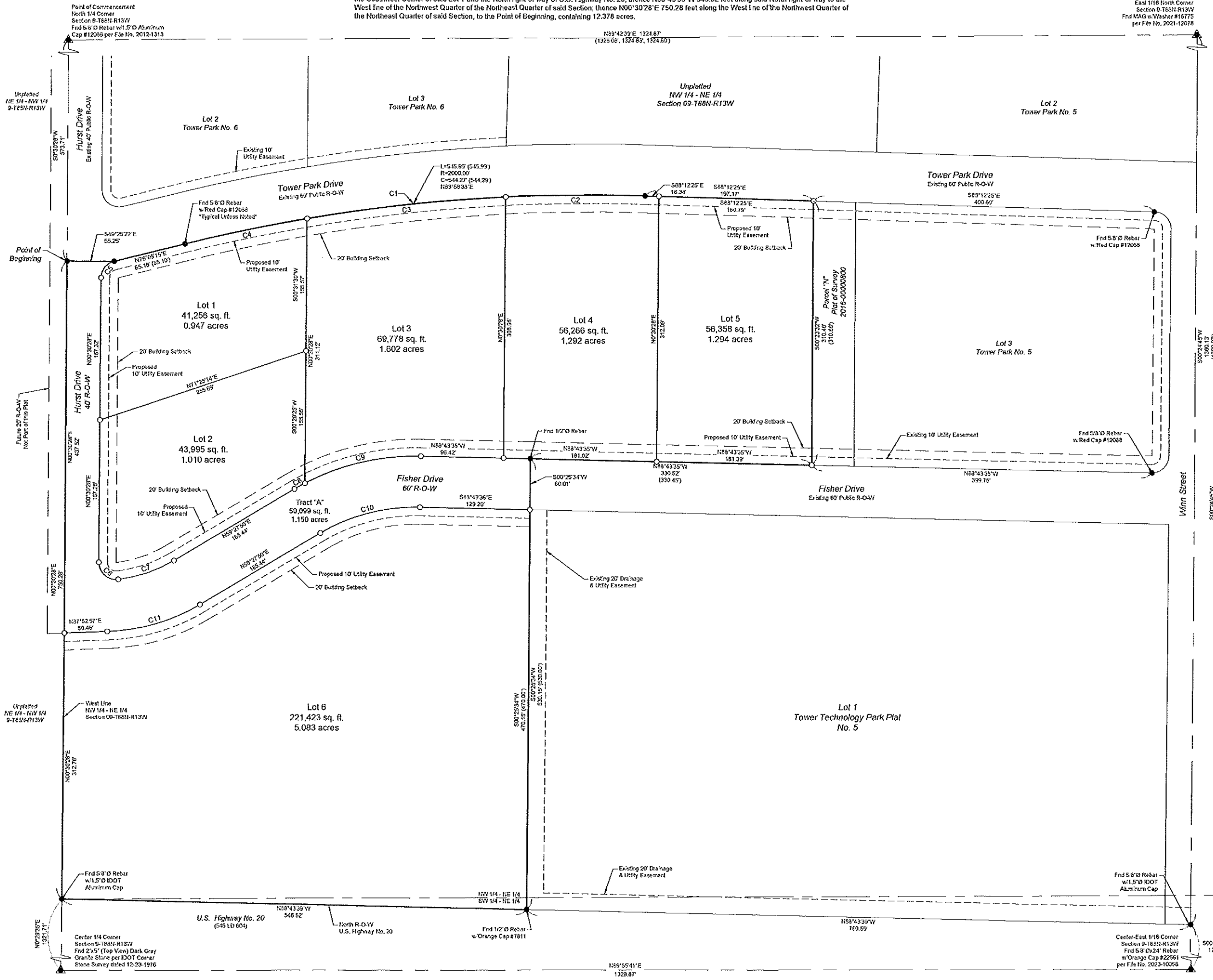
- Set 5/8" x 24" Rebar w/ Orange Cap L.S. #22561
- Found Corner Monument
- ▲ Set Section Corner
- ▲ Found Section Corner
- 100.00' Dimension of Survey (100.00' Dimension of Record)

Survey Notes:

- 1.) The North line of the NW 1/4 - NE 1/4 of Section 9, Township 88 North, Range 13 West of the 5th P.M. was assumed to bear N89°42'38"E, utilizing the Iowa Regional Coordinate System Zone 5, NAD 83 2011.
- 2.) All dimensions are in US Survey feet and decimals thereof.
- 3.) The error of closure is better than 1:10,000
- 4.) Proprietor: Hurst Holding Co. Inc.
- 5.) Survey Requested by: Hurst Holding Co. Inc.
- 6.) Field work was completed: 2-8-2023

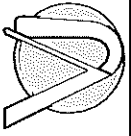


Matthew A. Koita, P.L.S.
 Surveyor No. 22561
 My Commission Expires December 31, 2024
 Paper or E-filed copy may be used.



600827

VJ Engineering
 1501 Technology Parkway
 Cedar Falls, Iowa - 319-266-5829



TOWER PARK NO. 7
 NE 1/4 - SECTION 09-T88N-R13W
 WATERLOO, BLACK HAWK COUNTY, IOWA

1 OF 1
 Scale
 1"=60'
 Drawn
 SJL
 Reviewed
 MAK
 Date
 2023.02.21
 Revisions

238009

Surveyor's Certificate

Tower Park No. 7
Waterloo, Iowa

I certify that during the month of February, 2023, at the direction of Hurst Holding Company, Inc. a survey was made, under my supervision, of the tract of land to be known as "**Tower Park No. 7, Waterloo, Iowa**", as shown on the attached plat, and the boundary of which is more particularly described as follows:

That part of the Northeast Quarter (NE 1/4) of Section 9, Township 88 North, Range 13 West of the 5th P.M., Black Hawk County, Iowa described as follows:

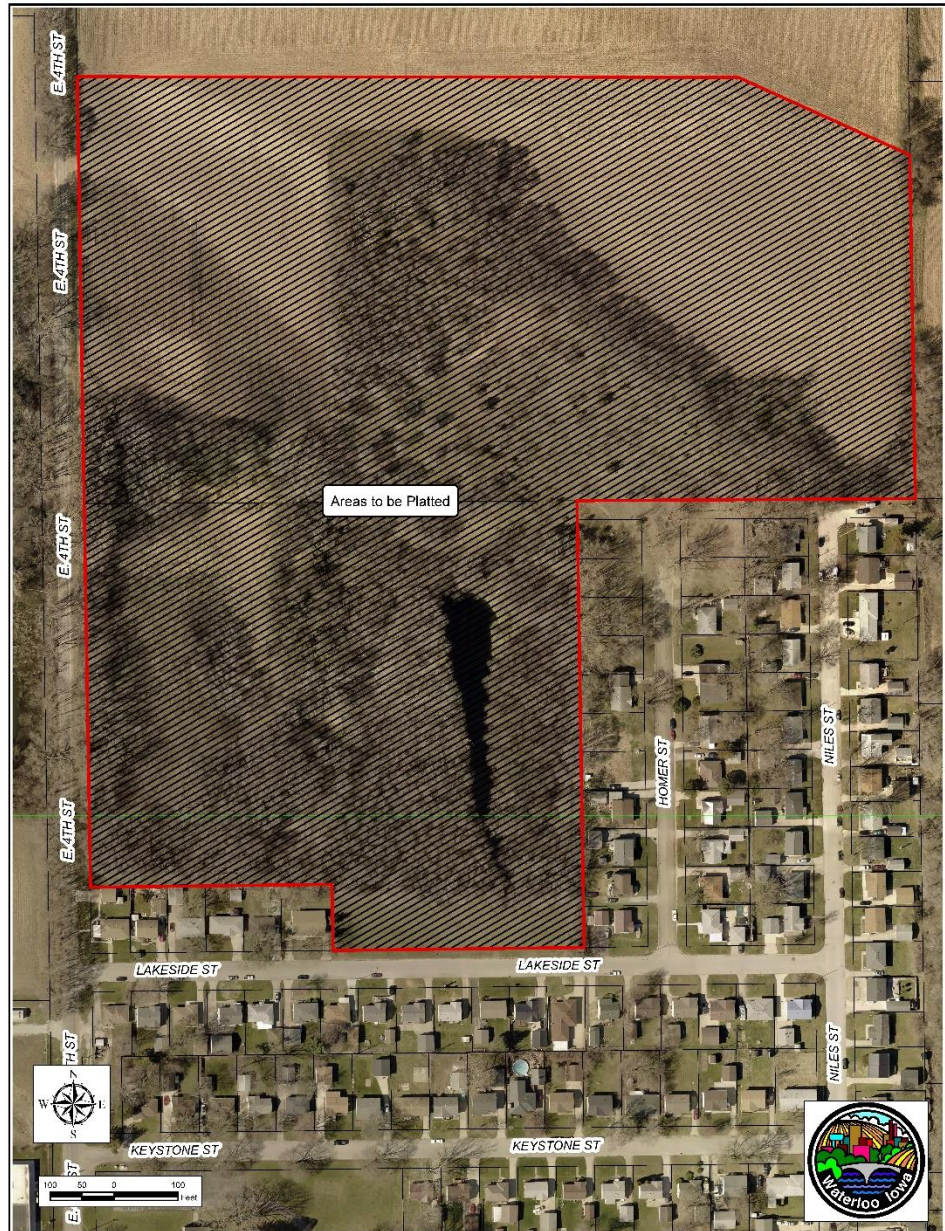
Commencing at the North Quarter Corner of said Section 9; thence $S00^{\circ}30'28''W$ 573.71 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section to the Point of Beginning; thence $S89^{\circ}25'22''E$ 55.25 feet along the South right-of-way of Tower Park Drive; thence $N76^{\circ}05'15''E$ 85.16 feet along the said South right-of-way; thence along said South right-of-way Easterly 545.96 feet along a 2000.00 foot radius curve, concave Southerly, said curve having a long chord of 544.27 feet that bears $N83^{\circ}58'38''E$; thence $S88^{\circ}12'25''E$ 197.17 feet along said South right-of-way to the Northwest Corner of Parcel "N"; thence $S00^{\circ}23'32''W$ 310.46 feet along the West line of said Parcel N to the North right-of-way of Fisher Drive; thence $N88^{\circ}43'35''W$ 330.52 feet along said North right-of-way; thence $S00^{\circ}25'34''W$ 530.15 feet along the West line and the Northerly extension of Lot 1, Tower Technology Park Plat No. 1 to the Southwest Corner of said Lot 1 and the North right-of-way of U.S. Highway No. 20; thence $N88^{\circ}43'39''W$ 546.52 feet along said North right-of-way to the West line of the Northwest Quarter of the Northeast Quarter of said Section; thence $N00^{\circ}30'28''E$ 750.28 feet along the West line of the Northwest Quarter of the Northeast Quarter of said Section, to the Point of Beginning, containing 12.378 acres.

I further certify that the Plat as shown is a correct representation of the survey and all corners will be monumented as indicated.

Matthew A. Kofta, P.L.S.
Iowa License No. 22561

Date

Staff Person: Seth Hyberger
 Date: March 14, 2023
 Subject: Final Plat – North Crossing 3rd Addition
 REQUEST: Request by the City of Waterloo for the Final Plat of North Crossing 3rd Addition a 3-lot residential/commercial subdivision located in the “R-4, R-P” Planned Residence District, located north of 501 Lakeside Street.
 APPLICANT: City of Waterloo, 715 Mulberry Street, Waterloo, Iowa 50701
 GENERAL DESCRIPTION: The applicant is requesting to plat the property located north of 501 Lakeside Street.



IMPACT ON NEIGHBORHOOD & SURROUNDING LAND

The request would not appear to have a negative impact on the surrounding neighborhood or land use.

USE:

VEHICULAR &
PEDESTRIAN
TRAFFIC
CONDITIONS:

The request would not appear to have an impact on vehicular or pedestrian traffic movements in the area. The area is served by East 4th Street, which is classified as a local street.

RELATIONSHIP TO
RECREATIONAL
TRAIL PLAN AND
COMPLETE STREETS
POLICY:

There are no sidewalks in the area. The Donald Street Trail is located approximately 400 feet to the south of the plat area. Sidewalks will be required as new roads are developed.

ZONING HISTORY
FOR SITE AND
IMMEDIATE
VICINITY:

The proposed final plat area is zoned “R-4, R-P” Planned Residence District which was rezoned from “R-2” One and Two Family Residence District on August 16, 2021 with the passage of Ordinance 5610. Surrounding land uses and their zoning are as follows:

North – Vacant ground, zoned “A-1” Agricultural District.

South – Residential, zoned “R-2” One and Two Family Residence District.

East – Vacant land and residential, zoned “A-1” Agricultural District and “R-2” One and Two Family Residence District

West – Commercial and vacant land, zoned “C-2” Commercial District, “C-P” Planned Commercial District, and “R-2” One and Two Family Residence District.

DEVELOPMENT
HISTORY:

The land is vacant, but buildings in the immediate area were developed between 1961 and 2020.

BUFFERS/
SCREENING
REQUIRED:

No buffers would be required as a part of this platting request.

DRAINAGE:

Drainage plans will need to meet the requirements of the engineering department.

FLOODPLAIN:

No portion of the property in question is located in a special flood hazard area as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 and Panel Numbers 0187F & 0189F, dated July 18, 2011.

PUBLIC /OPEN
SPACES/ SCHOOLS:

George Washington Carver Academy is located a half a mile to the southwest of the plat area. There are no other schools within one mile of the plat area.

UTILITIES: WATER,
SANITARY SEWER,
STORM SEWER, ETC:

There is a 10” sanitary sewer line located underneath Ralston Road, 10” sanitary sewer line located underneath Logan Avenue, 12” Sanitary Sewer underneath 4th Avenue, and 12” storm sewer underneath East 4th Avenue.



Picture 1: Corner of East 4th Street and Ralston Road.



Picture 2: Looking south east from East 4th Street toward the area to be platted.



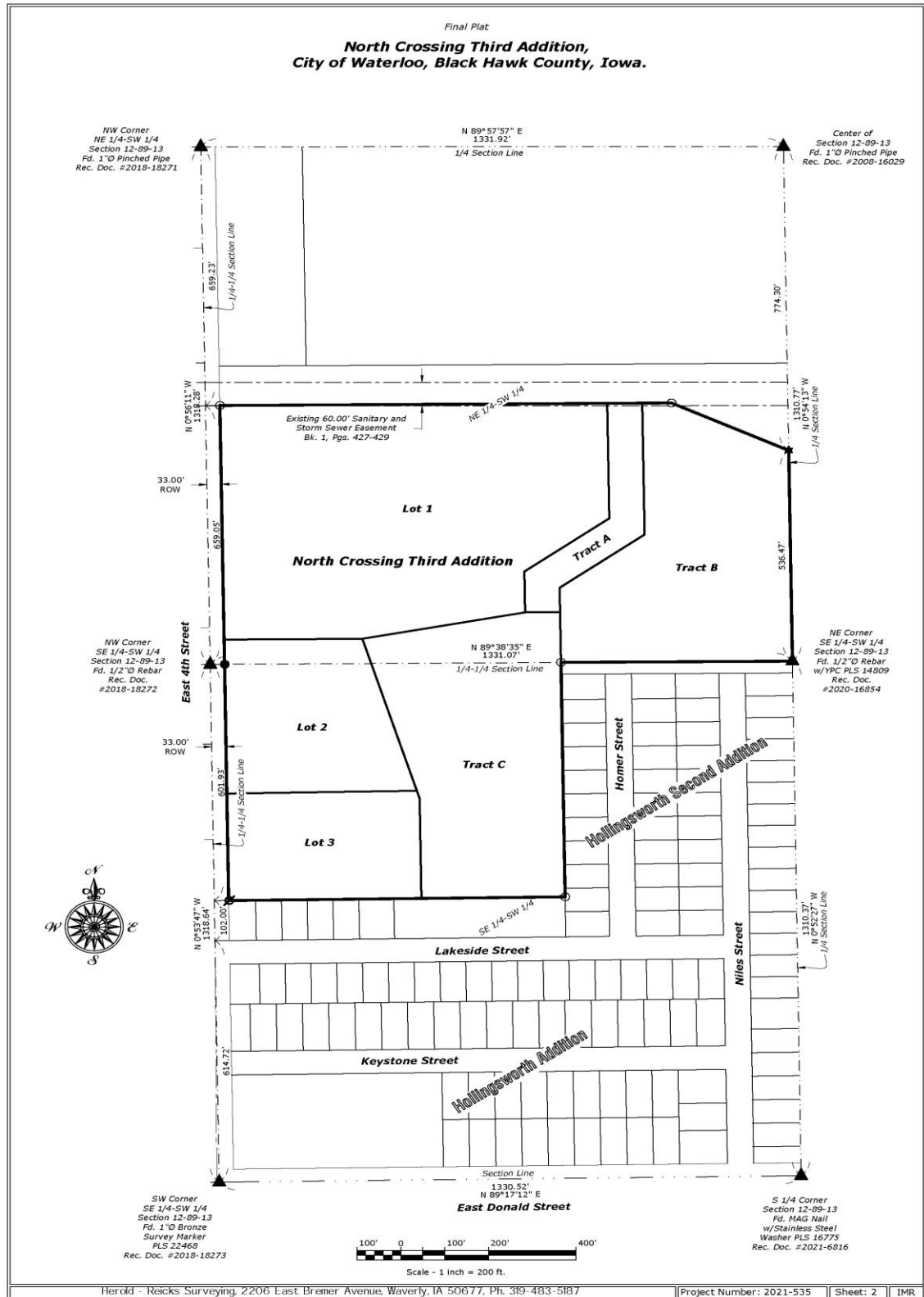
Picture 3: Looking at the area to be platted.



Picture 4: Looking south toward the homes south of the area to be platted.

RELATIONSHIP TO
COMPREHENSIVE
LAND USE PLAN:

The Future Land Use Map designates this area as *Low Density Residential*. The plat would be in conformance with the Comprehensive Plan and Future Land Use Map for this Area.



STAFF ANALYSIS –
ZONING ORDINANCE:

The final plat consists of 3 lots and 3 tracks of land, containing a total of 29.85 acres of land. The site plan for the area was approved as part of the rezone process. The plat does not include building setback lines which will be determined through plan review.

There are 3 lots shown on the plat: Lot 1 is 10.78 acres, Lot 2 is 3.36 acres, and Lot 3 is 2.76 acres. Track A is 1.16 acres, Track B is 6.19 acres, and Track C is 5.96 acres.

Tract A is being set aside for storm water conveyance. Track B is being set aside for future development, and Track C is being set aside for storm water detention.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

The final plat shows:

- 1) legal description
- 2) property lines: dimensions
- 3) adjoining subdivisions
- 4) right-of-way widths
- 5) easements
- 6) proper lot sequence
- 7) deed of dedication
- 8) engineer's certificate of survey

Building lines are not included on the final plat but will be addressed during the issuance of a building permit. This plat was reviewed and recommended for approval by the Planning, Programming, and Zoning Commission at their regular meeting on 12/28/21, but has not yet been submitted to the City Council. The applicant updated missing information and is ready for the request to go to the City Council, but because the Planning and Zoning recommendation was more than a year ago, the recommendation is no longer valid, so the item is coming back to the Commission for a recommendation.

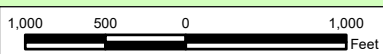
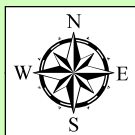
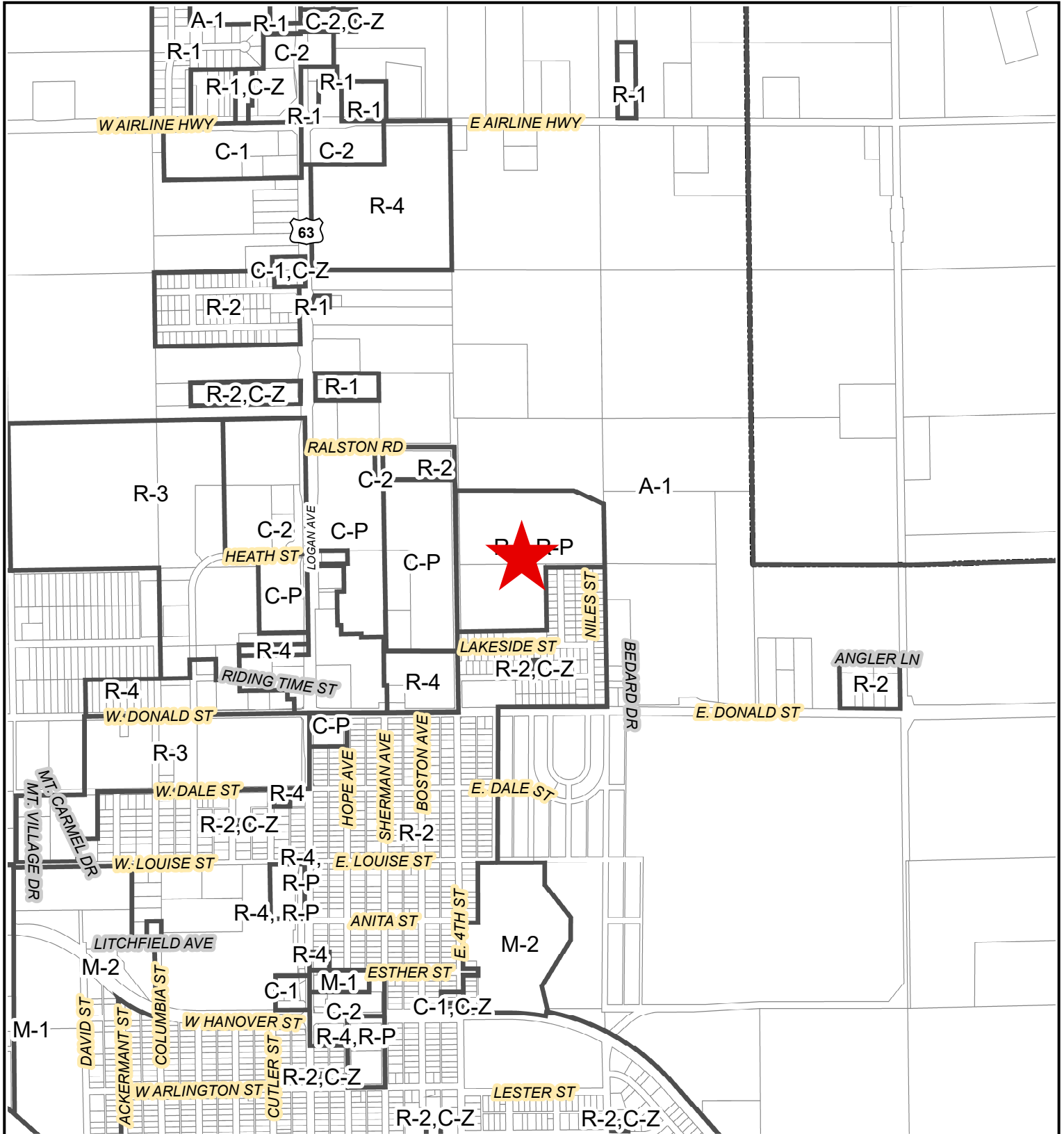
STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by the City of Waterloo for the Final Plat of North Crossing 3rd Addition a 3-lot residential/commercial subdivision located in the "R-4, R-P" Planned Residence District, located north of 501 Lakeside Street be approved for the following reasons:

1. The request would not appear to have a negative impact on the surrounding area.
2. The request would not appear to have a negative impact on traffic or pedestrian conditions in the area.
3. The request would create additional developable properties.

City of Waterloo Planning, Programming and Zoning Commission

December 14, 2021



**North of 501 Lakeside Street
Final Plat
North Crossing 3rd Addition**

City of Waterloo Planning, Programming and Zoning Commission December 14, 2021



10050 0 100
Feet



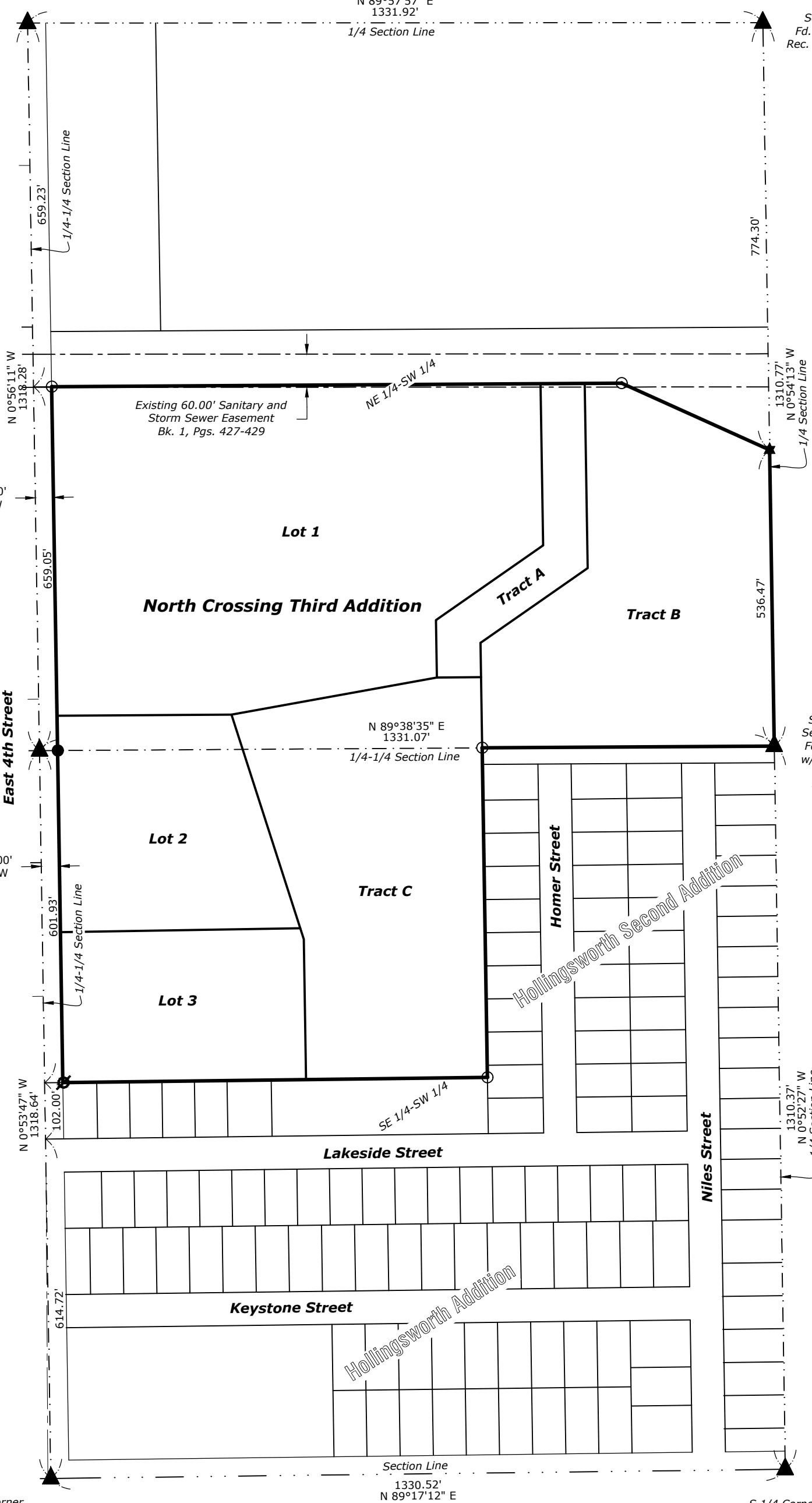
**North of 501 Lakeside Street
Final Plat
North Crossing 3rd Addition**

Final Plat
**North Crossing Third Addition,
 City of Waterloo, Black Hawk County, Iowa.**

NW Corner
 NE 1/4-SW 1/4
 Section 12-89-13
 Fd. 1"Ø Pinched Pipe
 Rec. Doc. #2018-18271

N 89°57'57" E
 1331.92'
 1/4 Section Line

Center of
 Section 12-89-13
 Fd. 1"Ø Pinched Pipe
 Rec. Doc. #2008-16029



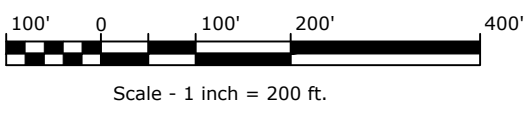
NW Corner
 SE 1/4-SW 1/4
 Section 12-89-13
 Fd. 1/2"Ø Rebar
 Rec. Doc. #2018-18272

NE Corner
 SE 1/4-SW 1/4
 Section 12-89-13
 Fd. 1/2"Ø Rebar
 w/YPC PLS 14809
 Rec. Doc. #2020-16854



SW Corner
 SE 1/4-SW 1/4
 Section 12-89-13
 Fd. 1"Ø Bronze
 Survey Marker
 PLS 22468
 Rec. Doc. #2018-18273

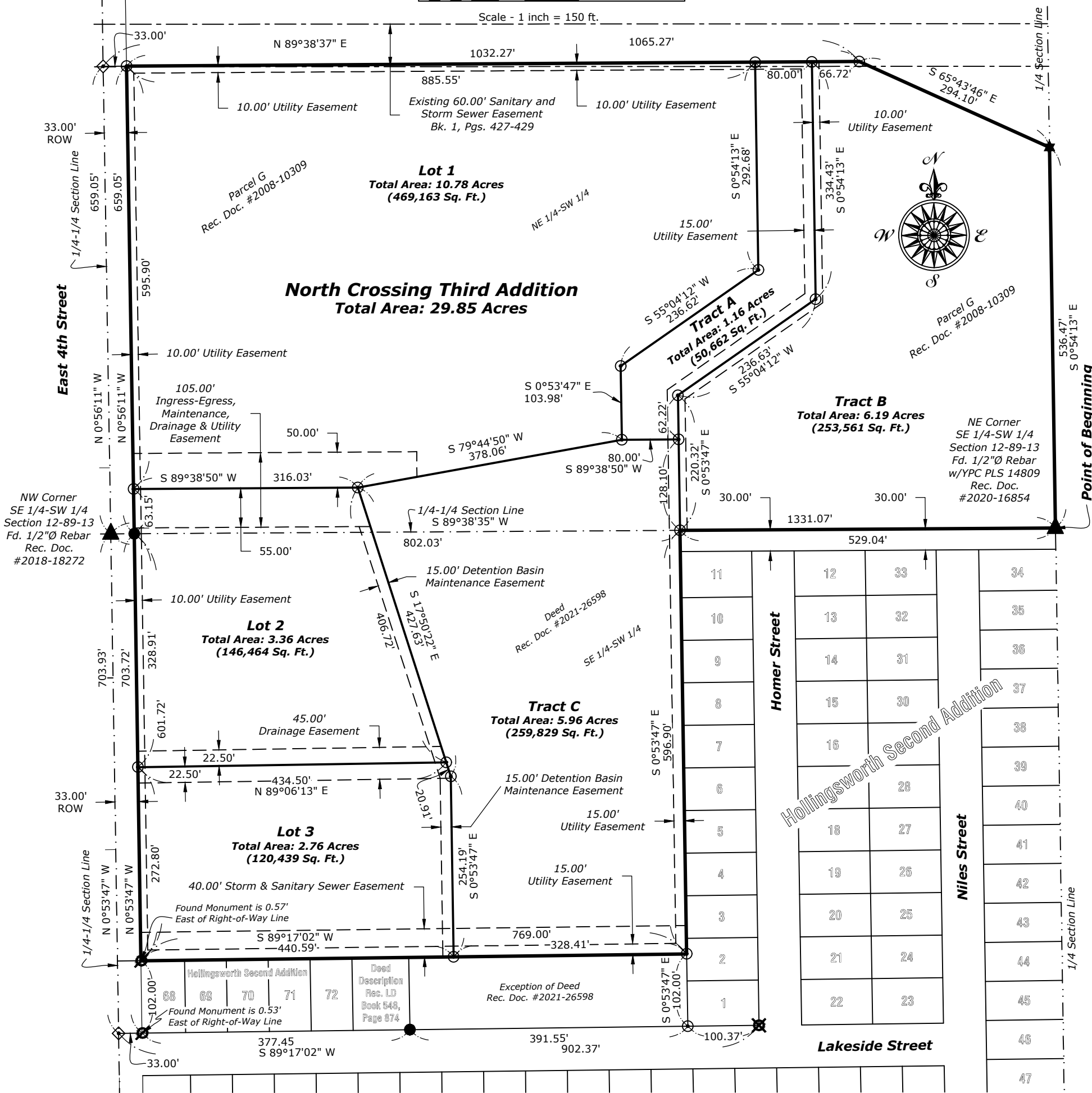
S 1/4 Corner
 Section 12-89-13
 Fd. MAG Nail
 w/Stainless Steel
 Washer PLS 16775
 Rec. Doc. #2021-6816



**North Crossing Third Addition,
City of Waterloo, Black Hawk County, Iowa.**



Scale - 1 inch = 150 ft.



Legal Description:

North Crossing Third Addition, located in the East Half of the Southwest Quarter of Section 12, Township 89 North, Range 13 West of the 5th P.M., City of Waterloo, Black Hawk County, Iowa, and more particularly described as follows:

Beginning at the Northeast Corner of the Southeast Quarter of the Southwest Quarter of said Section;

Thence **South 89°38'35" West, 529.03 feet** along the South Line of said Quarter-Quarter Section to the Northerly Extension of the West Line of Hollingsworth Second Addition;

Thence **South 00°53'47" East, 596.90 feet** along said Extension and the West Line of said Addition to the Easterly Extension of the North Line of said Addition;

Thence **South 89°17'02" West, 769.00 feet** along said Easterly Extension and North Line thereof, to the East Right-of-Way Line of East 4th Street;

Thence **North 00°53'47" West, 601.72 feet** along said East Right-of-Way Line;

Thence **North 00°56'11" West, 659.05 feet** along said East Right-of-Way Line to the Northwest Corner of Parcel G, as recorded in Document #2008-10309, on file in the Black Hawk County Recorder's Office, Waterloo Iowa;

Thence **North 89°38'37" East, 1032.27 feet** along the North Line of said Parcel G to a Corner thereof;

Thence **South 65°43'46" East, 294.10 feet** along the North Line of said Parcel G to the Northeast Corner thereof;

Thence **South 00°54'13" East, 536.47 feet** along the East Line of the Northeast Quarter of the Southwest Quarter of said Section to the Point of Beginning.

Containing **29.85 Acre(s)**, subject to any easements recorded or unrecorded.

**OWNER’S STATEMENT AND DEED OF DEDICATION
FOR
NORTH CROSSING THIRD ADDITION,
CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA**

KNOW ALL MEN BY THESE PRESENTS:

That North Crossing, LLC., (hereinafter “Developer”), and City of Waterloo, Iowa (“City”) being desirous of setting and platting into lots the land described in the **attached Certificate of Survey** by Isaiah M. Reicks, Licensed Land Surveyor, dated the ____ day of _____, 2023, does by these presents designate and set apart the aforesaid premises as a subdivision of the City of Waterloo, Iowa, the same to be known as

**NORTH CROSSING THIRD ADDITION,
CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA**

hereinafter “Development”, all of which is with the free consent and desire of Developer and City.

I. EASEMENTS.

Developer and City do hereby grant and convey to the City, its successors and assigns, and Developer and City hereby grant and convey to any private corporation, firm, or person furnishing utilities for the transmission and/or distribution of water, drainage, sanitary sewer, storm sewer, natural gas, electricity, communication service, or cable television, perpetual easements for the erection, laying, building, and maintenance of said services over, across, on and/or under Development as shown on the attached plat

II. OWNERSHIP

Upon filing of the Final Plat for this Addition, the Lots and Tracts shall be owned as follows:

1. Lot 1 and Tract B shall be owned by City.
2. Lots 2 and 3 shall be owned by Developer.
3. Tracts A & C shall be conveyed to the North Crossing Owners’ Association.

III. COVENANTS, CONDITIONS, AND RESTRICTIONS.

Developer and City do also covenant and agree for themselves, their successors and assigns, that each and all of Lots in Development shall be and the same are hereby made subject to the following Covenants, Conditions, and Restrictions upon their use and occupancy as fully and effectively, to all intents and purposes, as if the same were set forth and contained in each deed of conveyance or mortgage that Developer, or its successors in interest, may hereafter make for any of the Lots and that such restrictions shall run with the land and with each Lot for the length of time and in the particulars hereafter stated, to wit:

A. PURPOSE. The overall goal of the Covenants, Conditions, and Restrictions for Development is to produce a high quality and aesthetically pleasing development. The Covenants, Conditions, and Restrictions should help to preserve and enhance an environment in the completed center that is pleasing to occupants, visitors, and neighbors.

B. DEFINITIONS. For the purpose of this instrument, the following terms shall have the following definitions:

1. Development - shall mean and refer to the real property described above.
2. Developer - shall mean North Crossing, LLC, and its successors and assigns.
3. Lot - shall mean and refer to any individual parcel of land located within Development which is platted as a separate parcel to be sold or developed.
4. Owner - shall mean and refer to the record owner, whether one or more persons or entities, of the legal or equitable title to any Lot. In the event an Owner of any Lot consists of more than one person or entity, such persons shall within thirty (30) days after the date of their acquisition of said Lot, execute and deliver to Developer a written instrument, including a power of attorney appointing and authorizing one individual or entity as their agent to receive all notices and demands required to be given pursuant to the terms and provisions of these Covenants, Conditions, and Restrictions, execute any and all documents, consents, and instruments required under the terms and provisions of these Covenants, Conditions, and Restrictions and to cast all votes and to take any and all action required or permitted to be taken by them under the terms and provisions of these Covenants, Conditions, and Restrictions. Owner may change its designated agent by written notice to Developer, but such change shall be effective only after actual receipt of the notice to Developer.

C. PERMITTED AND PROHIBITED USES.

1. **PERMITTED USES.** Lots within Development may be used only for office, medical services, apartments and multi-family housing, senior services, day care, retail sales and retail services, and they shall be consistent with the requirements of the applicable Zoning District of the City of Waterloo, as approved by Developer and not in

conflict with any exclusive rights granted to other Owners or tenants within Development. Further, upon written approval of Developer, Lots within Development may be used for other commercial uses compatible with and ancillary to the aforementioned uses (including, but not limited to, financial institutions, and restaurants, etc.).

- a. Tract A shall be used for stormwater drainage and retention.
- b. Tract B shall be reserved for future development.
- c. Tract C shall be used for regional water detention to serve all Lots, including those in previous and future phases of the North Crossing Development

2. **PROHIBITED USES.**

- a. Any use which is offensive by reason of odor, fumes, dust, smoke, noise or pollution, or which constitutes a nuisance or is hazardous by reason of fire or explosion, injurious to the reputation of any Lot in Development.
- b. Any use which is in violation of the laws of the United States, the State of Iowa, any other governmental authority having jurisdiction over Development.
- c. Overnight parking of campers, semi-trucks, mobile homes, boats, or motor homes, except that such parking is permitted in covered or enclosed areas.
- d. Uses not otherwise permitted in Section III(C)(1) above.
- e. Owner shall not sell items outside, unless approved in writing by all Owners in Development.
- f. Any use not consistent with the requirements of the applicable Zoning District of the City of Waterloo

D. GENERAL SITE STANDARDS.

1. **BUILDING DESIGN.** It is Developer's intent to produce an orderly and aesthetically pleasing environment that is compatible with the natural aspects of Development. The aesthetic appearance of the exterior of the buildings and other structures is of paramount concern to Developer.

- a. All construction shall conform to the requirements of the City of Waterloo, Black Hawk County, and the State of Iowa Building Code, current editions.
- b. Construction on all Lots shall be diligently pursued and be completed within twelve (12) months of purchase and closing from Developer. In the event construction is not completed in one (1) year, Developer may at its option repurchase the Lot at the previous sale price. No excavation shall be made except in conjunction with construction of an improvement. When such an improvement is completed, all exposed excavations shall be back-filled, graded, and returned, as nearly as possible, to its natural state or to the approved landscape plan for the site.

2. LANDSCAPING. It is the intent to provide a landscape image of continuity and diversity by providing color and textural variety. It is also the intent of these regulations to reduce adverse effects upon a Lot and adjacent and nearby property; to screen unsightly and undesirable views, and to provide for shade, protection from elements, and the comfort and convenience of Development tenants and visitors. Landscape plans and any irrigation plans shall be submitted to and approved by Developer. All ground cover shall be seeded or sodded and be suitable for the Black Hawk County climate.

3. SCREENING. All mechanical equipment (on the ground or roof), transformers, trash containers, or like equipment in the open shall be screened from view in a manner approved by Developer. Said screen shall be in height at least equal to that of the materials or equipment being stored but in any event shall fully shield said materials and equipment from public view and view from adjacent buildings.

4. SITE GRADING AND DRAINAGE. No water shall be drained or discharged from any Lot, except in accordance with grading plans approved by the City and Developer. Further, no Owner shall interfere with the drainage established by the grading plan for the remainder of Development or any other property adjacent to said Lot. Stormwater shall be collected on-site, and detained and provide water quality per City of Waterloo Stormwater Management Requirements, and discharged in accordance with all federal, state, and local permits.

5. SIGNAGE. All signs shall be approved by Developer prior to construction. The design, format, and material of all signs shall be consistent with building architecture and Lot design.

6. PARKING, DRIVES, LOADING, AND OUTDOOR STORAGE.

- a. No Owner shall permit parking on any public street.
- b. Sufficient off-street parking should be developed at each Lot.
- c. No Lot shall have more than two curb cuts. All curb cuts are subject to Developer's approval and City of Waterloo requirements.

7. EXTERIOR LIGHTING. Exterior lighting shall be provided to meet the following guidelines:

- a. All wiring for exterior lighting, including but not limited to driveway, walkway, area, parking, and decorative lighting, shall be underground.
- b. All light fixtures shall be oriented such that glare directed onto adjacent properties, including streets and neighboring tenant lots, is minimized.
- c. Light standards shall be restricted to a maximum height of 20'. Poles should be a neutral, color and compliment the center.
- d. Each tenant shall maintain all light fixtures in proper operating condition.
- e. Parking and driveway lights shall be of a style and color consistent with established Center standards and harmonize with the architecture of the proposed building on the Lot.

8. LOCATION OF UTILITY LINES. All utility lines shall be located underground. Whenever possible, utility lines shall be located adjacent to streets to minimize disruption of landscaping during installation and maintenance of the lines. No utility meter or apparatus shall be located on any pole attached to the outside of any building wall which is exposed to view from any public street. All transformers shall be placed on or below the surface.

9. SUBDIVISION OF LOTS. No Lot in Development shall be split, divided, or subdivided, except:

- a. For the purpose of providing land in addition to an entire platted Lot for use in connection with a building; or
- b. Upon the written consent of Developer.

10. SIDEWALKS. The Owner of each Lot will install a 5-foot-wide portland cement concrete sidewalk with a minimum thickness of four inches, except that sidewalk thickness through driveways shall be a minimum thickness of six inches or match the thickness of the driveway if greater than six inches, across the full length of all street frontages of the Lots as defined above, and extend to match the end of existing sidewalk(s) on adjoining Lots where sidewalk exists. Said sidewalk shall also be required to be constructed across all street frontages of two (2) or more adjoining Lots, or portions thereof, when any Owner has acquired said two (2) or more adjoining Lots, or portions thereof, upon construction upon one (1) or more Lots, or portions thereof, all as required by the City of Waterloo, Iowa. The sidewalk shall be constructed during or immediately after the construction on a Lot, or portions of Lots as previously described, in the Development, but before issuance of an Occupancy Permit from the City of Waterloo, Iowa, or only sidewalk construction for any vacant Lots remaining for five (5) years after the date of final approval of the plat, as soon as the construction season permits. Construction of handicap access ramps at the intersections shall be the responsibility of the adjacent property Owner, and as required by the City of Waterloo, Iowa.

E. APPROVAL REQUIREMENTS. As set forth herein, all plans, specifications, requests for authority to remodel or alter, or otherwise change the property must be submitted to Developer for approval. No building, sign, landscaping, lighting, or other exterior improvements shall be placed or erected on any Lot without prior written approval from Developer. Approvals shall be based upon, among other things, conformity and harmony of external designs with neighboring structures, effect of location and use of improvements on neighboring sites; orientation of main elevation with respect to nearby streets; and conformity of plans and specifications to the intent of these Covenants, Conditions, and Restrictions. Developer shall not arbitrarily or unreasonably withhold its action or decision on such plans and specifications. Improvements or alternations to any Lot shall not be commenced prior to compliance with the following two-part review process.

1. CONCEPT DESIGN REVIEW. The objective is to ensure careful site planning with regard to location and size of building, parking, open space, and access. The concept design must be approved by Developer in writing prior to final design. Concept design shall include the following:

- a. Site plan information such as utility locations and connections, drainage, service areas, outdoor storage, trash receptacles, and mechanical equipment. Other activity or equipment that would alter the natural site must be shown.
- b. Building elevations and floor plans.
- c. Building materials, parking, and open space.
- d. Landscaping, signage, and lighting.
- e. Construction staging.

Developer shall provide written comments within fifteen (15) days from Developer's receipt of the site design submittal. If written comments are not provided within that timeframe, it shall be deemed that Developer has approved such site design.

2. FINAL DESIGN REVIEW. Submission to include, but not limited to, the following:

- a. A topographical and boundary map showing contour grades (with 1' intervals), the species, location, and size (measured 12" above the ground of all existing trees greater than 6" caliper) and the location of all improvements, such as signs, structures, walks, patios, driveways, fences, and walls. Existing and finished grades shall be shown at parcel corners and for proposed improvements. Lot drainage provisions shall be included, as well as cut and fill details, if any applicable change in contours is contemplated.
- b. Exterior elevations, including areas to be screened.
- c. Exterior materials, colors, textures, and shapes.
- d. Landscaping plan, including proposed clearing, walkways, fences, walls, elevation changes, irrigation systems, vegetation, and ground cover.
- e. Parking area and driveway plan. Driveway locations to be approved by the City.
- f. Screening, including size, location, and method.
- g. Utility routing and connection points.
- h. Exterior illumination, including location.
- i. Fire Protection system as required by all NFPA Codes.
Signs, including copy, size, shape, color, typeface, location, illumination, and materials. Also, elevation and plan view drawings indicating sign and relationship to all other visual elements within 50' of the sign.
- k. Trash container storage locations and related screening.
- l. Proposed use of parcel of land and estimated building occupant load.
- m. Clearing plan and tree protection plan, plus measures for environmental protection during construction, including the application for the issuance

of any required stormwater discharge permits.

Developer shall provide written comments within fifteen (15) days from Developer's receipt of the site design submittal. If written comments are not provided within that timeframe, it shall be deemed that Developer has approved such site design.

3. **CONSTRUCTION DOCUMENTS.** A copy of all construction documents shall be filed with Developer in hard copy and digital/pdf in each submission for review. This review is for the purpose of ensuring conformity to Developer approved final design in Section III(E)(2) only. All buildings must be designed by a registered architect and all landscape plans by a registered landscape architect. The architect(s) and registered engineer(s), shall be responsible for the safety of structural, mechanical, electrical, and other systems in the improvements. The seal of Iowa registrations of the appropriate architect, engineer, and/or landscape architect must appear on the final drawings. The architect must also submit a statement of his/her signature to the effect that the contract documents have been prepared in accordance with all other applicable codes, ordinances, and regulations related to this particular project.

Developer shall provide written comments within fifteen (15) days from Developer's receipt of the site design submittal. If written comments are not provided within that timeframe, it shall be deemed that Developer has approved such site design.

F. MAINTENANCE. Each Owner and occupant (including a tenant) of a Lot shall jointly and severally have the duty and responsibility, at their sole cost and expense, keeping that Lot so owned or occupied, including buildings, improvements, private drive, easements areas, and grounds in connection therewith or appurtenant thereto (specifically including parkway area between the Lot line and any adjacent street curb), in a well-maintained, clean, wholesome, and attractive condition at all times and shall comply in all respects with all applicable governmental health, fire and safety statutes, ordinances, regulations or requirements. Maintenance requirements shall include, but are not limited to, the following:

1. **TRASH.** All rubbish, trash, garbage, litter, refuse, and other waste shall be stored in clean and sanitary solid waste receptacles and shall be promptly removed from Lot prior to its accumulation.

2. **EXTERIOR LIGHTING.** All exterior lighting and mechanical facilities shall be kept in good working order.

3. **PARKING AREAS.** All parking areas shall be striped and all parking areas, driveways, and roads kept in good repair.

4. **EXTERIOR DAMAGE.** All exterior damage to any improvements shall be promptly repaired and the exterior of all improvements shall be repainted as needed.

5. **LAWN AREAS.** All lawn areas shall be timely mowed and edged a minimum of once a week during the growing season as needed to keep an even, well groomed appearance; shall be watered and fertilized at such times and in such quantities as required to keep the grass alive and attractive; and shall be kept free of weeds.

6. **TREES, SHRUBS, PLANTS.** All trees, shrubs, plants, and ground covers shall be timely and properly trimmed (including the removal of deadwood therefrom) according to their plant culture and the landscape design shall be watered and fertilized at such times and in such quantities as require(l to keep them alive and attractive. Any dead tree, shrub, plant, ground cover shall be removed and replaced seasonably. All bed areas shall be free of weeds and cultivated periodically as needed.

G. NORTH CROSSING OWNER'S ASSOCIATION. Each person or entity who is record owner of a fee or undivided fee interest in any Lot in North Crossing First Addition, North Crossing Second Addition, North Crossing Third Addition, and North Crossing Fourth Addition shall be a member of the Owners Association to be known North Crossing Owners' Association. This shall not be construed to include persons or entities whom hold an interest merely as security for the performance of an obligation. There shall be one vote per lot and each Lot owner shall be a member of the Association. Membership shall be appurtenant to and may be not separated from ownership of any lot; ownership of such lot shall be the sole qualification of membership. Developer reserves the right to add additional real estate to be a part of Association.

Any and all drainage easements will be required to follow the "Stormwater Management Plan" and no building structures, fence structures, landscaping structures, private gardens or any other possible obstruction can be built in and over said drainage easements. All Lot owners and/or contractors working on said lots will be responsible to maintain said easements to be free and clear of any physical obstruction(s) thus allowing the conveyance of overland storm water runoff as intended per "Stormwater Management Plan" on record with the City of Waterloo Engineer's Office.

The purpose of North Crossing Owners' Association shall be to own and maintain the common area and green spaces of the development, including but not limited to Tracts "A" and "C" and surrounding access (whether located in said subdivision or serving said subdivision but located outside thereof) and such other activities set forth in the Articles of Incorporation and Bylaws of the Association. Such ownership and maintenance shall include, but not limited to, maintenance of the retention pond(s) water retention/detention area(s) including water quality issues set forth by the City of Waterloo. Initially, the Developer, North Crossing, LLC, shall perform the actual construction duties to establish the pond and surrounding access area.

The annual dues for the Association shall initially be set at \$100.00 per lot per year beginning in _____. The Developer, North Crossing, LLC, and the City shall be exempt from any dues expense. The Association shall have the ability and authority to adjust annual dues as it deems appropriate to carry out the maintenance duties as described above.

H. INCENTIVE PAYMENTS. Developer shall be solely entitled to any government incentives, rebates, or other funds (collectively “Incentives”) negotiated and received for Development, and Owners shall not have any claim to the same or right to reduction in payment, including any payment of real estate taxes, based upon the same. Owners shall cooperate with Developer, including but not limited to assigning any rights to Incentives to Developer.

I. ENFORCEMENT. If any party shall violate or attempt to violate any of the Covenants, Conditions or Restrictions contained herein, it shall be lawful for Developer or any Owner to prosecute a proceeding in law or in equity against the person or persons violating or attempting to violate such Covenants, Conditions or Restrictions, and to either prevent him or them from so doing or recover damages for such violations.

J. WAIVER. Neither the Developer nor its successors or assigns shall be liable to any Owner or occupant of any Lot by reason of any mistake in judgment, negligence, nonfeasance, action, or inaction or for the enforcement or failure to enforce any provision of this instrument. Every Owner or occupant of any Lot by acquiring its interest therein agrees that it will not bring any action or suit against Developer to recover any such damages or seek equitable relief because of the same.

K. VARIANCES. Developer may grant Owner a variance from these Covenants, Conditions, and Restrictions as long as the general purpose of the Covenants, Conditions, and Restrictions are maintained, provided that Developer may not grant a variance from the use restriction set forth in Section III(C)(1) and (2). Any variance granted from the provisions of these Covenants, Conditions, and Restrictions shall only be applicable to the specific Lot and conditions for which the variance was granted and shall in no respect constitute a change in or effect the terms or conditions set out in the standards as same apply to other Lots or conditions.

L. MODIFICATION. Each of the undersigned and all persons and corporations hereafter acquiring any right, title, or interest in Development shall be taken and held to have agreed and covenanted with the undersigned, and with the respective successors and assigns of said real estate, to conform to and observe all of the foregoing covenants, restrictions, and stipulations as to the use, improvement, and occupancy of said real estate, for a period of 21 years from the date of the filing of said plat, however, that the easements contained herein, shall not be subject to change at any time, but shall be permanent.

M. MISCELLANEOUS.

1. **SEVERABILITY.** If any term or provision of this instrument or the application thereof to any circumstance shall, in any jurisdiction and to any extent, be invalid or unenforceable, such term or provision shall be ineffective as to such jurisdiction to the extent of such invalidity or unenforceability without invalidating or rendering unenforceable such term or provision in any other jurisdiction, the remaining terms and provisions of this instrument or the application of such terms and provisions to circumstances other than those as to which it is held invalid or enforceable.

City of Waterloo, Iowa

By: Quentin J. Hart
Its: Mayor

ATTEST:

By: _____
Kelley Felchle, City Clerk

STATE OF IOWA)
COUNTY OF BLACK HAWK)ss.

This record was acknowledged before me on the _____ day of _____,
2022, by Quentin J. Hart as Mayor, and Kelley Felchle as City Clerk, of the City of
Waterloo, Iowa.

Notary Public

NORTH CROSSING THIRD ADDITION, WATERLOO, IOWA

SURVEYOR'S CERTIFICATE

I, Isaiah M. Reicks, a licensed and professional surveyor in the State of Iowa, hereby certify that I have made a survey of the real estate with the following description:

North Crossing Third Addition in the East Half of the Southwest Quarter of Section 12, Township 89 North, Range 13 West of the 5th P.M., City of Waterloo, Black Hawk County, Iowa, and more particularly described as follows:

Beginning at the Northeast Corner of the Southeast Quarter of the Southwest Quarter of said Section;

Thence South 89°38'35" West, 529.03 feet along the South Line of said Quarter-Quarter Section to the Northerly Extension of the West Line of Hollingsworth Second Addition;

Thence South 00°53'47" East, 596.90 feet along said Extension and the West Line of said Addition to the Easterly Extension of the North Line of said Addition;

Thence South 89°17'02" West, 769.00 feet along said Easterly Extension and North Line thereof to the East Right-of-Way Line of East 4th Street;

Thence North 00°53'47" West, 601.72 feet along said East Right-of-Way Line;

Thence North 00°56'11" West, 659.05 feet along said East Right-of-Way Line to the Northwest Corner of Parcel G, as recorded in Document #2008-10309, on file in the Black Hawk County Recorder's Office, Waterloo Iowa;

Thence North 89°38'37" East, 1032.27 feet along the North Line of said Parcel G to a Corner thereof;

Thence South 65°43'46" East, 294.10 feet along the North Line of said Parcel G to the Northeast Corner thereof;

Thence South 00°54'13" East, 536.47 feet along the East Line of the Northeast Quarter of the Southwest Quarter of said Section to the Point of Beginning.

Containing 29.85 Acre(s), subject to any easements recorded or unrecorded..

The foregoing described real estate is to be hereafter known and designated as *North Crossing Third Addition, City of Waterloo, Black Hawk County, Iowa.*

I further certify that the accompanying plat is a true representation thereof in accordance with my field notes of said survey, has been prepared in accordance with the laws of the State of Iowa relating thereto, and the figures in said plat representing distances are in feet and decimals of feet, and that said survey and plat contain and show any and all surplus and any and all deficiencies from former surveys of record.

Dated at Waverly, Iowa, this _____ day of _____, 2022.

Isaiah M. Reicks
Iowa License #22468



715 Mulberry St, Waterloo, IA 50703

Phone: (319) 291-4312

CITYOFWATERLOOIA.COM



February 24, 2023

Aric Schroeder, City Planner
Planning, Programming & Zoning Commission
Waterloo City Hall
Waterloo, IA 50703

**RE: FINAL PLAT
NORTH CROSSING THIRD ADDITION**

Dear Aric:

This final plat has been reviewed, and it has been determined that it meets the requirements of the applicable portions of Section 3, 4 and 5 of Ordinance 2997, Subdivision Ordinance.

It is recommended that this final plat be approved.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dennis J. Gentz". The signature is fluid and includes a long horizontal flourish extending to the right.

Dennis J. Gentz, P.E.
Assistant City Engineer

REQUEST: Request by CJ's Construction, Inc. on behalf of Hope M. Anderson for the Final Plat of Paradise Estates First Addition a 64-lot residential subdivision in the "R-1" One and Two Family Residence District, located north of 5643 Kimball Avenue.

APPLICANT(S): CJ's Construction, Inc. 2915 Dubuque Street NE, Iowa City, IA, 52240.

SURVEYOR: Steven M. Scott, Scott Survey, Inc., 3426 Standlea Road, Toddville, Iowa 62341

GENERAL DESCRIPTION: This request would create 64 lots for the development of one or two family dwellings with lot sizes ranging from 14,057 SF to 21,787 SF, located north of 5643 Kimball Avenue (Orange Elementary School).

IMPACT ON NEIGHBORHOOD: The request for the final plat would not appear to have a negative impact upon the surrounding area. It would appear that the proposed residential development would blend in well with the surrounding neighborhood which consists of single family homes, agricultural land, and Orange Elementary School. The average lot size within a 250 feet buffer of the project area for existing residential lots is (0.62 acres). The average lot size for the 64 lots for the final plat is (0.39 acres). Most lots will range in size from (0.25 acres) to (0.5 acres).

VEHICULAR & PEDESTRIAN TRAFFIC: The proposed area to be platted for Paradise Estates First Addition would have minimal impact to surrounding pedestrian and traffic conditions in the area. The proposed development would be served by Kimball Avenue which consists of 6.5" (PCC) Portland Cement Concrete on a 6" granular base with a 4.5" (ACC) Asphalt Cement Concrete overlay for a total of 11" of pavement. Kimball Avenue has an average annual daily traffic count of 1,730 vehicles. Sidewalks will be required along all street frontages.

The development shall also be served by local roads which include Paradise Avenue, Moonlight Drive, and Wall Street. A temporary emergency access to Kimball Avenue will be provided at the west end of the Moonlight Drive cul-de-sac in between lots 64 and 41. This will ensure that Paradise Estates First Addition will have two points of entry and exit for emergency vehicles from the subdivision until it is built out with future phases, which will provide additional permanent access.

TRAIL PLAN AND COMPETE STREETS POLICY: The Shaulis Road trail is approximately 2,500 feet to the north of the proposed plat area and will not be connected to the proposed plat area at this time. Sidewalks will be required for all street frontages. The Iowa Northland Regional Council of Governments' Bicycle and Pedestrian Master Plan shows a

bike trail on Kimball Avenue for the future.

ZONING HISTORY
FOR SITE AND
IMMEDIATE VICINITY:

The proposed plat area is currently zoned “R-1” Residential One and Two Family District. It was rezoned from “A-1” Agricultural District with the passage of Ordinance 5448 on April 9, 2018. The Surrounding land uses and their zoning designations are as follows:

North, South, and East – Agricultural land and Orange Elementary School, zoned “R-1” One and Two Family Residential District.

West – Single family homes and Agricultural Land, zoned “R-1” One and Two Family Residence District and “A-1” Agricultural District.

BUFFERS
REQUIRED/ NEEDED:

The request would not require any buffering by ordinance standards.

DRAINAGE:

The Engineering Department has noted that additional drainage easements may need to be added to the final plat before it is forwarded on to the City Council, and they are awaiting an updated drainage report.

DEVELOPMENT
HISTORY:

The surrounding area consists predominantly of agricultural land and single family homes. The Orange Neighborhood was established more than 100 years ago. The majority of the homes there were constructed in the 1960’s and 1970’s with some homes being built more recently. Orange Elementary was constructed in 2012, moving from the original Orange Elementary School site at the southwest corner of Kimball Avenue and Orange Road which was built in 1915.

FLOODPLAIN:

The 64 lots identified in the final plat area are not located within the 100-year floodplain as indicated by the Federal Insurance Administration’s Flood Insurance Rate Map, Community Number 19013C0311F, dated July 18, 2011.

PUBLIC/OPEN
SPACES/SCHOOLS

Orange Elementary is directly adjacent to the proposed plat area, which includes a playground area for recreational use. There are no additional schools in the immediate area.

UTILITIES: WATER,
SANITARY SEWER,
STORM SEWER.

There is an existing 8” sanitary sewer main, 12” water main, and a 15” storm sewer located underneath Kimball Avenue. There is a 30’ sanitary sewer easement noted on the Final Plat to the south of lots 41-52 and to the north of lots 29-40. This sanitary sewer easement extends to northeast and connects with Lot D. Utilities will be extended to serve the proposed development.

RELATIONSHIP TO
COMPREHENSIVE
LAND USE PLAN:

The Future Land Use Map designates the plat area as Agricultural Residential Potential. The proposed plat is therefore in accordance with this designation.

STAFF ANALYSIS –
ZONING ORDINANCE:

The average lot size for the 64 lots that are proposed to be plated is (0.39 acres). Most lots will range in size from (0.25 acres) to (0.5 acres). The plat area is also adjacent to Orange Elementary School which will give parents the option of their kids walking or biking to school. The area is also adequately served transportation wise by Kimball Avenue.

The proposed development will also meet the setback and lot size requirements for the “R-1” One and Two Family Residence District.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

Staff believes that the new residential development will be compatible with and have a positive impact upon the surrounding neighborhood. The lot dimensions exceed the requirements of the zoning ordinance, and corner lots are designed to observe minimum front yard setbacks.

Section 11-5-3 of the subdivision ordinance notes local street design should be laid out to minimize through traffic designs, and shall be extended to the boundary lines abutting properties, unless desirable for the coordination and layout of the most advantageous development. Other design criteria of the block layout include roadway widths, intersections, access points, and block lengths.

The preliminary plat was recommended for approval by the Planning and Zoning Commission on April 3, 2018 and approved by the City Council on May 14, 2018, and has had several council actions to extend how long the preliminary plat approval is valid for, including most recently on May 16, 2022. The final plat has been determined by staff to be “in substantial conformance” with the preliminary plat as required by the Subdivision Ordinance. The final plat does have some minor differences than what was shown on the preliminary plat. The roads are shown in the same locations, but lot lines, lot dimensions, and lot areas are slightly different, and the final plat has approximately 10 more lots than the equivalent area on the preliminary plat has.

The proposed final plat will be the first phase of a multi-phase development of the larger 129.16 acres that was part of the approved preliminary plat. The proposed First Addition includes a proposed new street, Paradise Boulevard, that intersects with existing Kimball Avenue. Additional new streets

proposed in the First Addition include Wall Street, Moonlight Drive, and Prosperity Drive. Moonlight Drive will end in a cul-de-sac just east of Kimball Avenue, but will have a temporary access “for emergency vehicles” only that will connect Moonlight Drive to Kimball Avenue as required by the Fire Code because the proposed 64 lots exceeds the maximum of 30 units that can be served by a single fire access. This temporary emergency access will go away when a second phase to the development is completed, which will include at least one additional access to the development. When the second permanent access is provided will depend on the market for the sale of lots of Phase 1, but is estimated at approximately two years.

Engineering is waiting for some additional drainage information and there could be a few minor tweaks needed to the final plat based on that. Also, the applicant has submitted a draft deed of dedication, but at the time of this staff report, staff has not reviewed or commented on the deed of dedication. However, the proposed final plat appears to be substantially in compliance with the requirements of the Subdivision Ordinance.

The Technical Review Committee noted that changes will need to be made to the drainage plan contours for the development.

STAFF

RECOMMENDATION:

Therefore, staff recommends that the request for the Final Plat in the Paradise Estates First Addition be approved for the following reasons:

1. The request would not appear to have a negative impact on the surrounding area as it will be creating more residential lots for one and two family development around and Elementary School.
2. The request does not appear to have a negative impact on pedestrian and traffic conditions within the surrounding area.
3. The request is in conformance with the Comprehensive Plan and Future Land Use Map.
4. The proposed development would work to create new residential lots around Orange Elementary School encouraging homeownership, potential saving to Waterloo Public Schools with less students bused, and new students and houses in Waterloo.

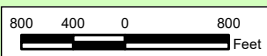
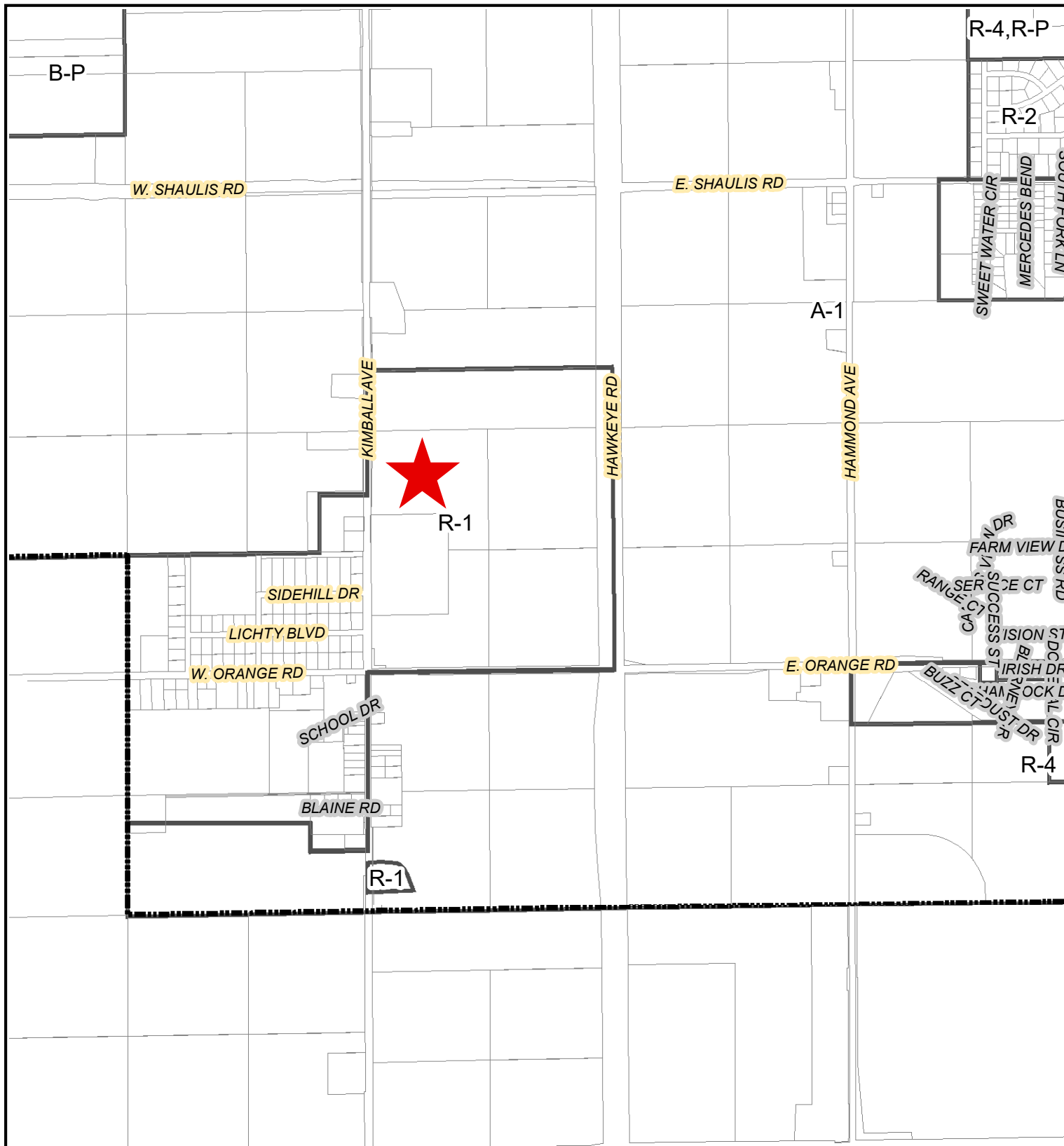
And subject to the following conditions:

1. That the plat is updated and additional documents are

submitted as required by staff before the request is reviewed by the City Council. The minor potential changes and information needed will not impact the design and layout as shown, just potential changing the size of some drainage easements.

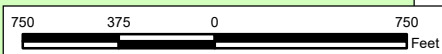
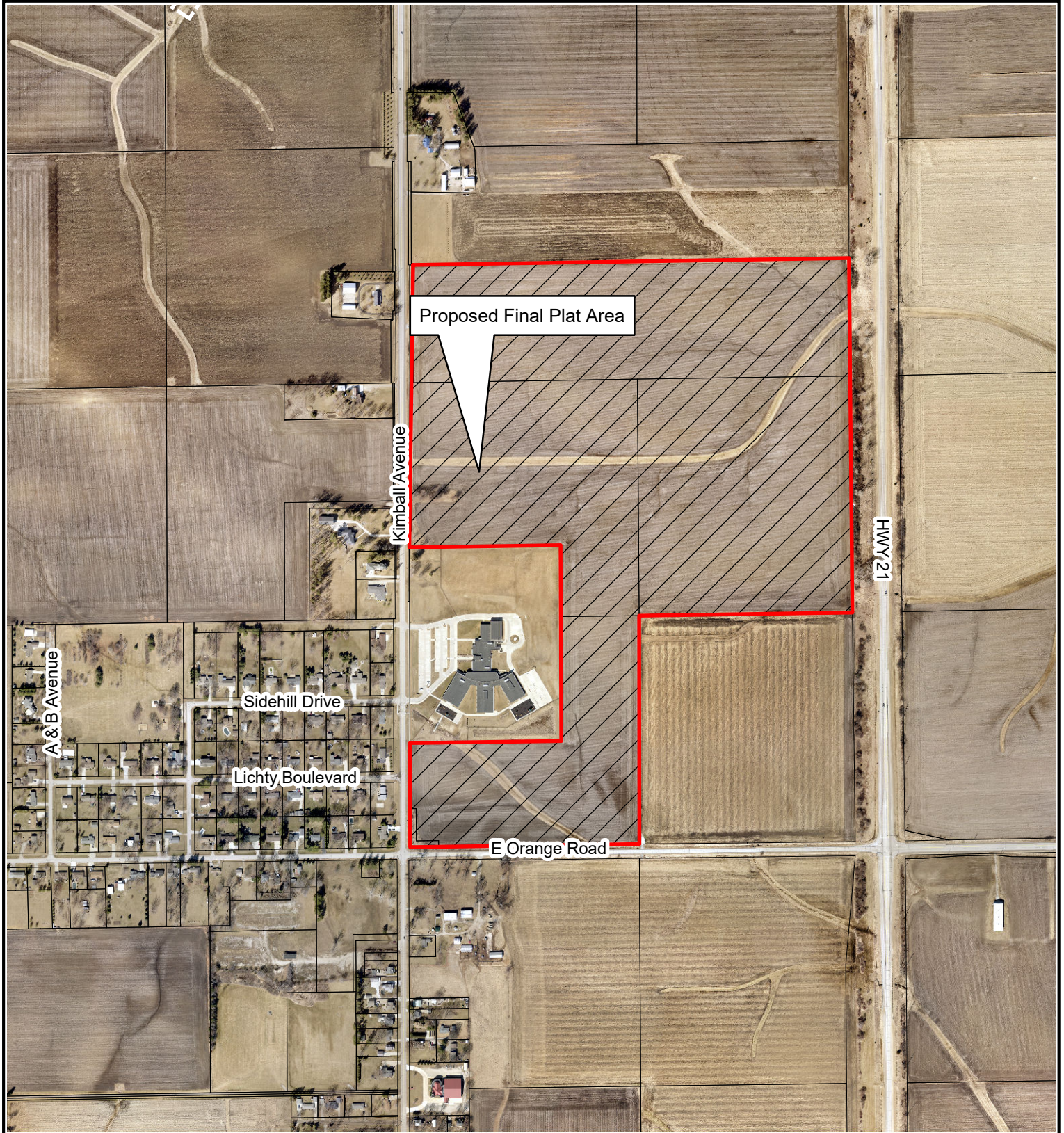
City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023



Final Plat
Paradise Estates
CJ's Construction

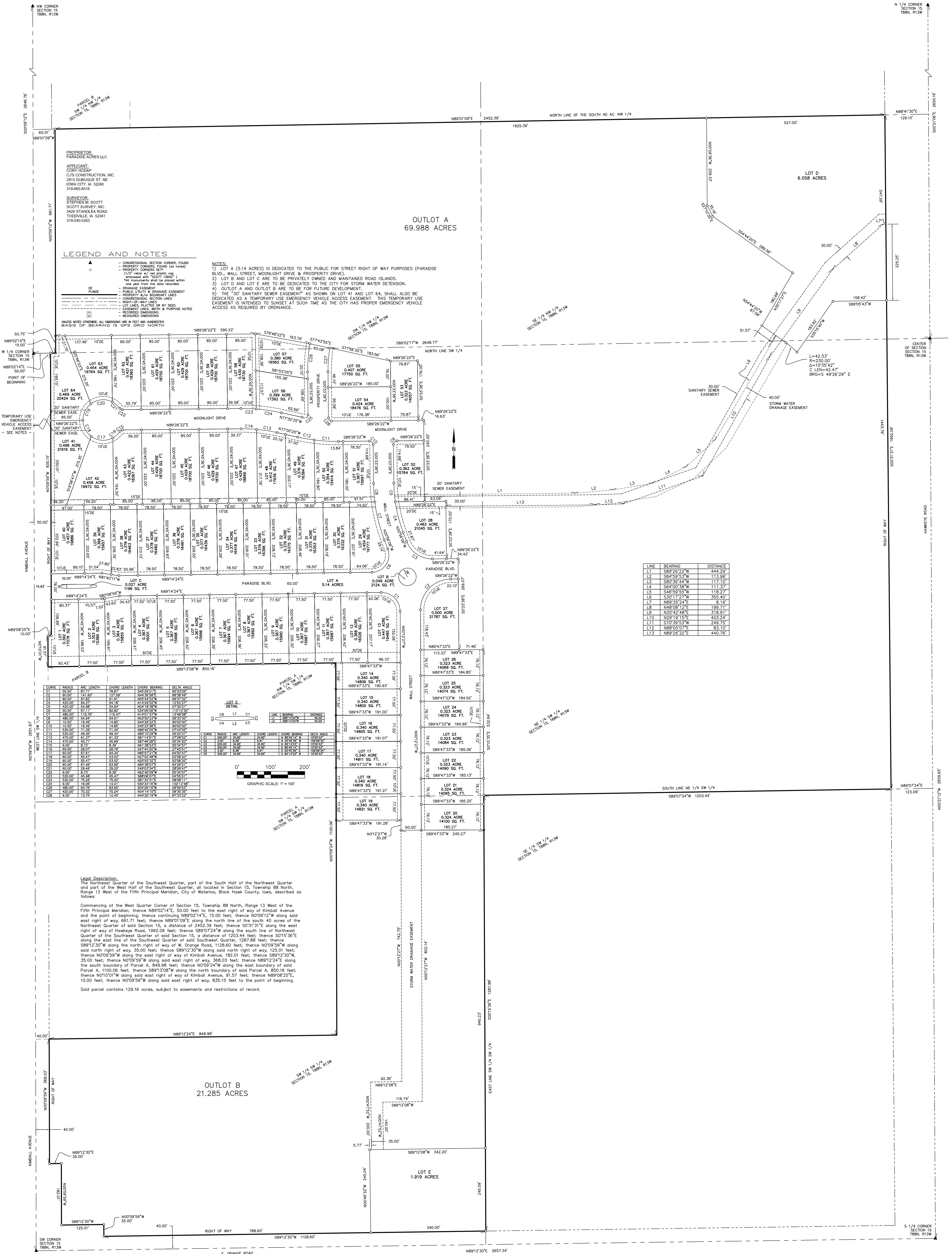
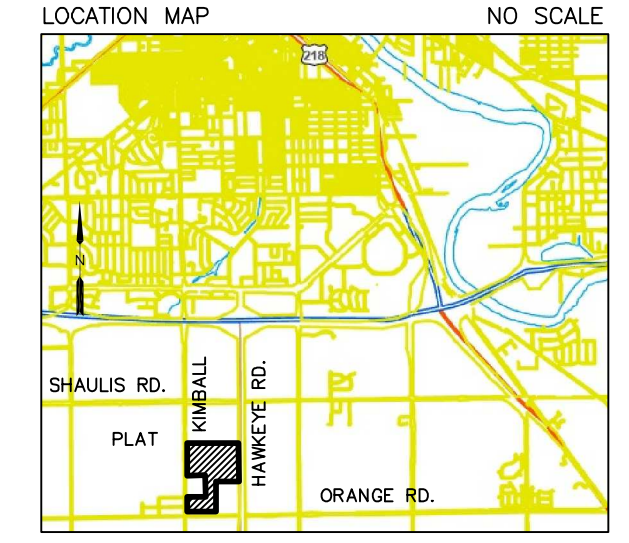
**City of Waterloo Planning, Programming and Zoning Commission
March 14, 2023**



**Final Plat
Paradise Estates
CJ's Construction**

Index Legend
 Location: Section 15, Township 88 North, Range 13 West
 W 1/2 SW 1/4 & SW 1/4 NW 1/4
 Requestor: Paradise Acres LLC
 Proprietor: Paradise Acres LLC
 Surveyor: Stephen M. Scott, P.L.S.
 Company: Scott Survey, Inc.
 Return To: P.O. Box 315
 Center Point, Iowa 52531
 email@scotsurvey.com | (319) 540-5263

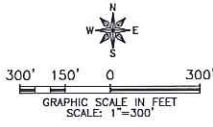
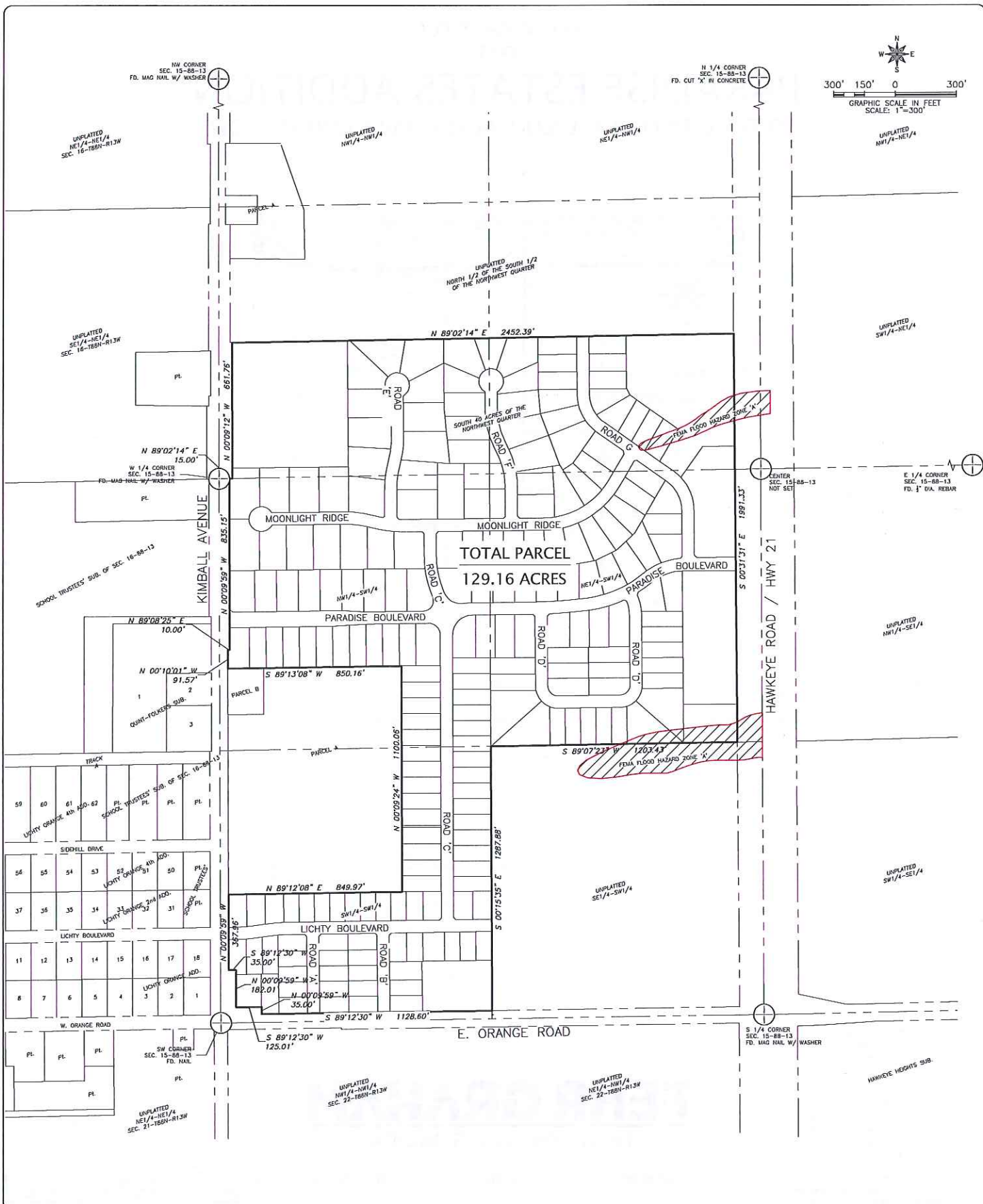
FINAL PLAT
 PARADISE ESTATES FIRST ADDITION
 IN THE CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA



| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S89°28'22\" | 444.29 |
| L2 | S84°59'53\" | 113.96 |
| L3 | S80°56'44\" | 117.10 |
| L4 | S64°00'58\" | 113.37 |
| L5 | S46°59'55\" | 118.27 |
| L6 | S30°19'27\" | 355.40 |
| L7 | N89°35'24\" | 8.16 |
| L8 | N48°08'12\" | 199.71 |
| L9 | N33°42'48\" | 318.91 |
| L10 | N29°19'15\" | 403.24 |
| L11 | S70°08'53\" | 249.50 |
| L12 | N89°50'07\" | 83.10 |
| L13 | N89°20'22\" | 440.78 |

SCOTT SURVEY
 Stephen M. Scott, P.L.S.
 Civil Engineer & Land Surveyor
 319-540-5263
 email@scotsurvey.com
 P.O. Box 315, Center Point, IA 52531-0315

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.
 STEPHEN M. SCOTT
 IOWA LIC. NO. 13842
 December 31, 2024
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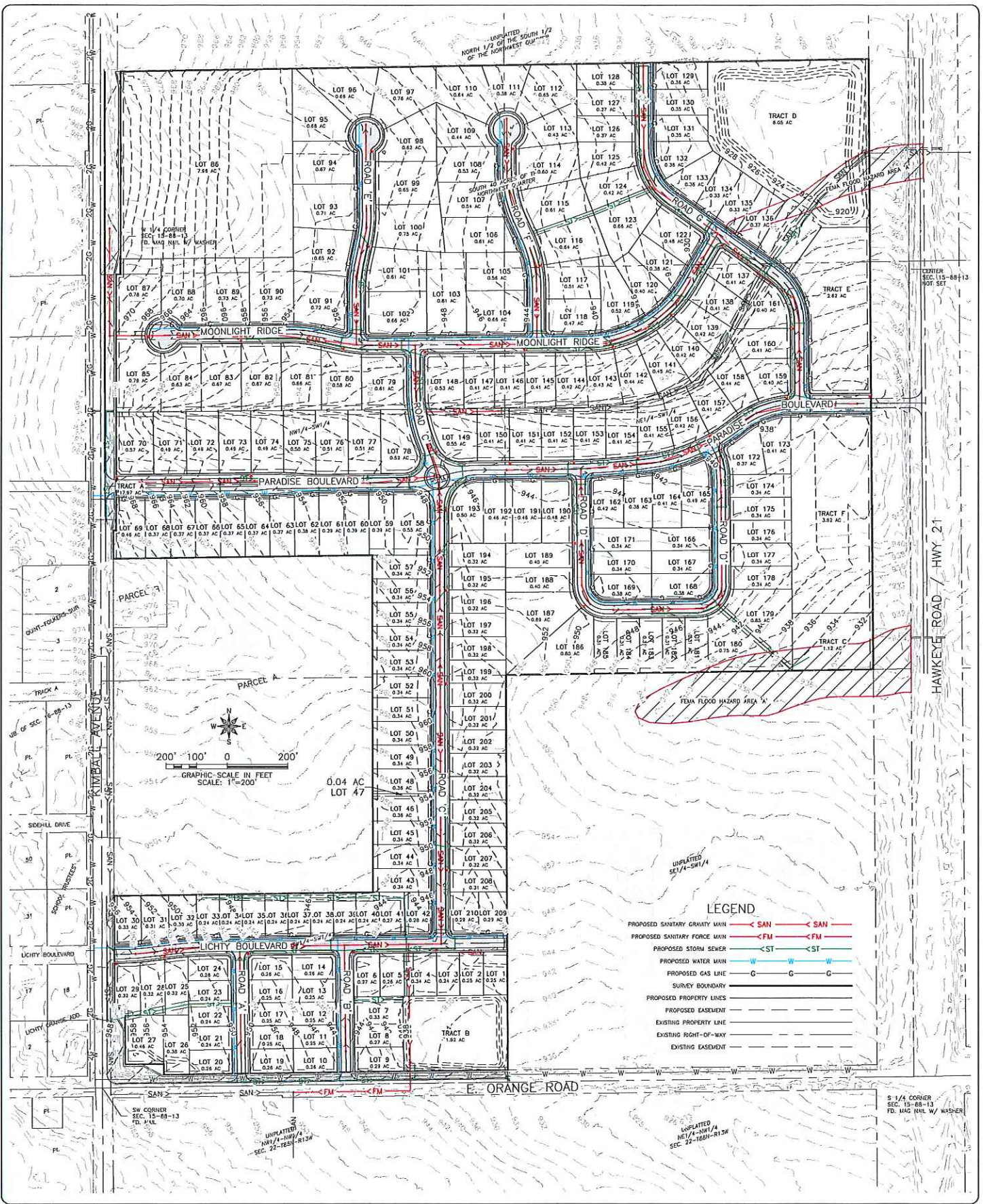
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| 1 | SECOND SUBMITTAL | 1/18/18 |
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PROJECT:
PRELIMINARY PLAT
FOR
PARADISE ESTATES ADDITION
TO THE CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA

DRAWING:
SITE MAP
SET TYPE: SUBMIT

JOB NUMBER:
17-511
SHEET NUMBER:
PPO.2

PLOT DATE: 3/14/18 C:\CS0\17-511\17-511 Preliminary Plat.dwg, PPO.2



- LEGEND**
- PROPOSED SANITARY GRAVITY MAIN < SAN < SAN
 - PROPOSED SANITARY FORCE MAIN < FM < FM
 - PROPOSED STORM SEWER < ST < ST
 - PROPOSED WATER MAIN < W < W
 - PROPOSED GAS LINE < G < G
 - SURVEY BOUNDARY
 - PROPOSED PROPERTY LINES
 - PROPOSED EASEMENT
 - EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT

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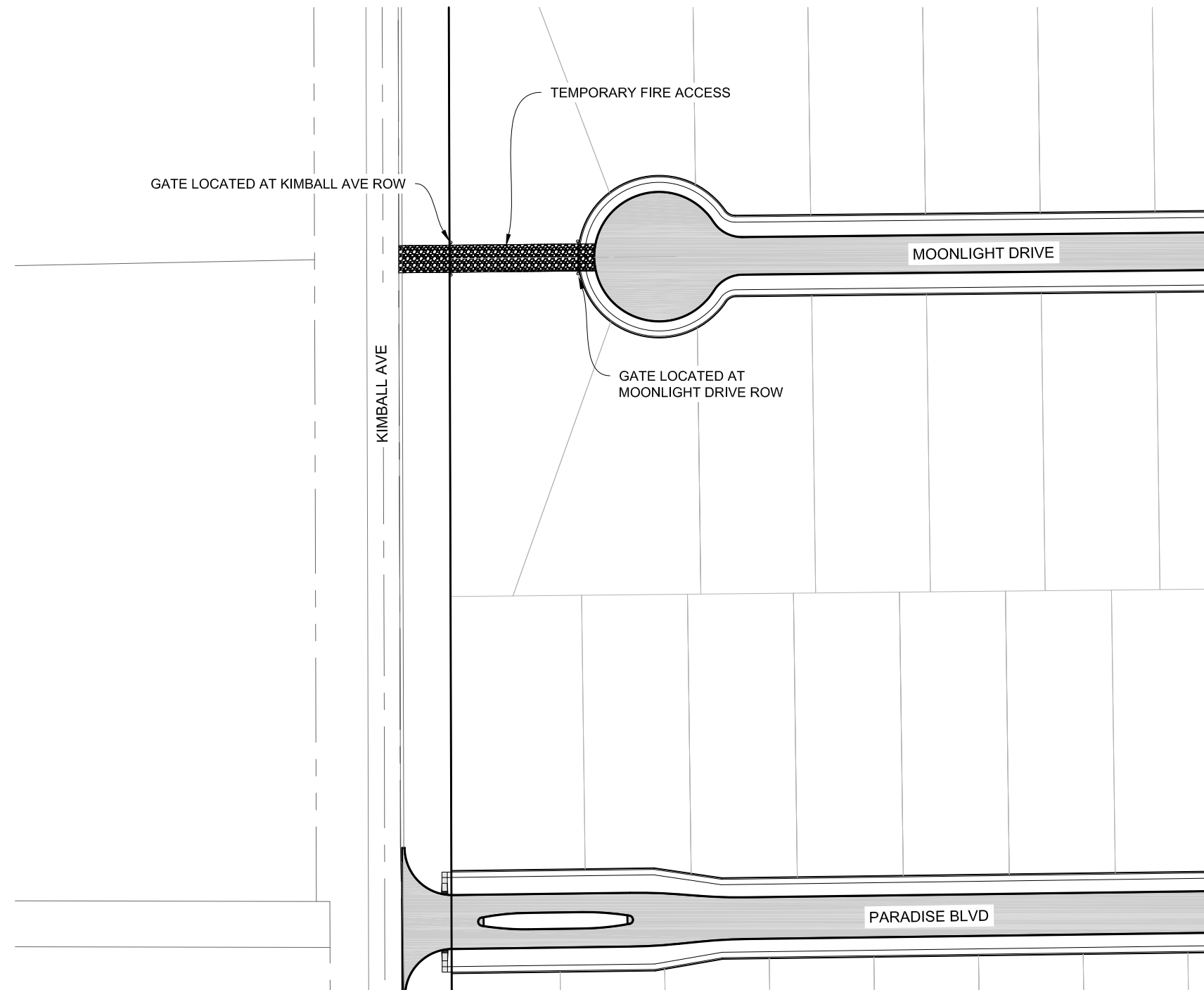
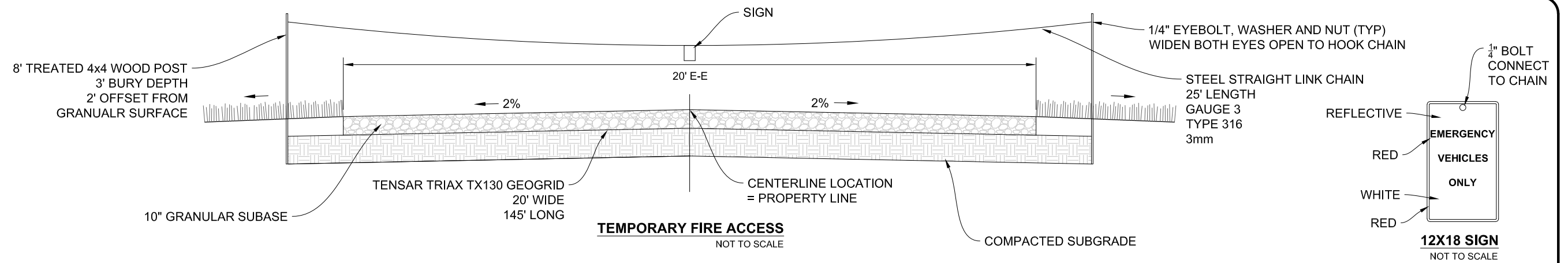
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| 1 | SECOND SUBMITTAL | 1/18/18 |

PROJECT:
**PRELIMINARY PLAT
FOR
PARADISE ESTATES ADDITION**
TO THE CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA

DRAWING:
**OVERALL PLAT
VIEW**
SET TYPE: SUBMIT

JOB NUMBER:
17-511
SHEET NUMBER:
PP.1

PLOT DATE: 3/14/18 ©(C:\0\1\17-511\17-511 Preliminary Plat.dwg, PPL1



DRAWN BY: JOE DIGMAN APPROVED BY: LISA BURCH
DATE: 2/16/2023 FILE:
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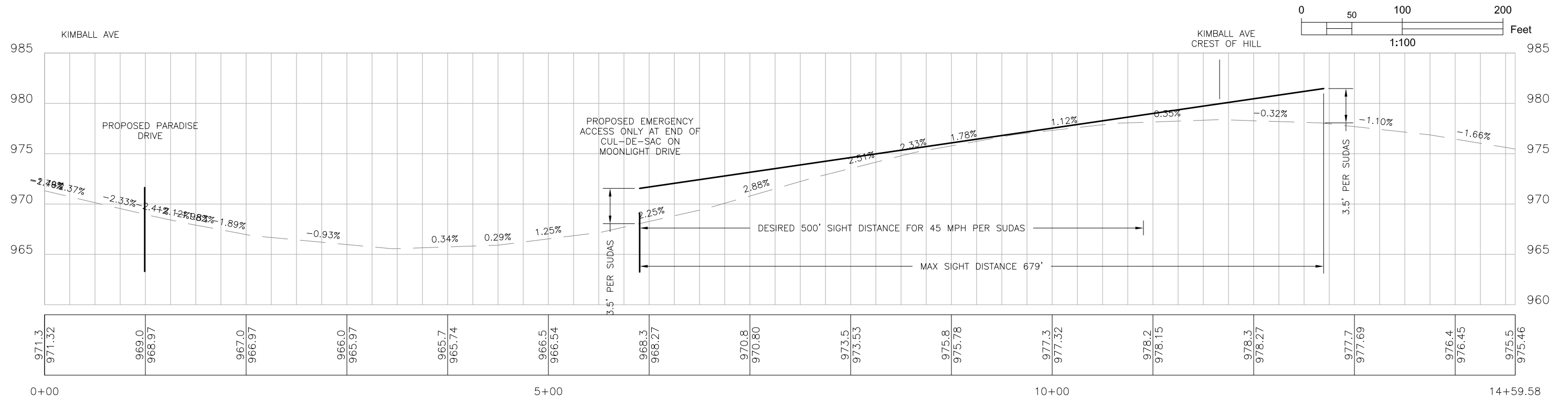
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|-----|----------------------|----------|------|
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PARADISE ESTATES PHASE 1
WATERLOO, IOWA

TEMPORARY FIRE ACCESS

124 B.04



DESIRED SIGHT DISTANCE PER SUDAS FOR 45 MPH IS 500-FT
 MAXIMUM PROPOSED SIGHT DISTANCE IN 679-FT
 PROPOSED EMERGENCY ACCESS LOCATION AT THE END OF THE
 CUL-DE-SAC ON MOONLIGHT MEETS THE SUDAS DESIRED SIGHT DISTANCE

4922.009 PARADISE ESTATES
 WATERLOO
 YTT DESIGN SOLUTIONS, LISA BURCH, PE
 LBURCH@YTTDESIGN.COM, (319) 210-0422
 02/20/2023

Prepared by: _____

DEED OF DEDICATION
OF
PARADISE ESTATES FIRST ADDITION
WATERLOO, BLACK HAWK COUNTY, IOWA

KNOW ALL MEN BY THESE PRESENTS:

That CJ's Construction, Inc., an Iowa corporation, with its principal office in Iowa City, Iowa, being desirous of setting out and platting into lots and streets the land described in the attached Certificate of Survey by Stephen M. Scott, a licensed land surveyor, dated the ___ day of _____

2023, do by these presents designate and set apart the aforesaid premises as a subdivision of the City of Waterloo, Iowa, the same to be known as:

PARADISE ESTATES FIRST ADDITION
WATERLOO, BLACK HAWK COUNTY, IOWA,

all of which is with the free consent and the desire of the undersigned and the undersigned do hereby designate and set apart for public use the streets and avenues as shown upon the attached plat.

EASEMENTS

The undersigned do hereby grant and convey to the City of Waterloo, its successors and assigns, and to any private corporation, firm or person furnishing utilities for the transmission and/or distribution of water, sanitary sewer, storm sewer, drain tile, surface drainage, gas, electricity, communication service or cable television, perpetual easements for the erection, laying, building, and maintenance of said services over, across, on and/or under the property as shown on the attached plat.

RESTRICTIONS

Be it also known that the undersigned do hereby covenant and agree for themselves and their successors and assigns that each and all of the residential lots in said subdivision be and the same are hereby made subject to the following restrictions upon their use and occupancy as fully and effectively to all intents and purposes as if the same were contained and set forth in each deed of conveyance or mortgage that the undersigned or their successors in interest may hereinafter make for any of said lots and that such restrictions shall run with the land and with each individual lot thereof for the length of time and in all particulars hereinafter stated, to-wit:

1. Any dwelling that shall be erected on any lot shall have a minimum setback from the front of the lot line of 30 feet as indicated on the plat.

2. Although lots in said Addition may be split or divided in any fashion to provide for more lot area when added to an adjoining lot, no dwelling shall be built or maintained on any partial lot unless said partial lot is combined with an adjoining lot or partial lot so that the resulting lot has no less frontage than the smallest lot as indicated on the plat.

3. No buildings or structure not attached to the original structure shall be constructed upon any lot or combination of lots in this subdivision, with the exception of a gazebo which has been approved in accordance with Paragraph 21 hereof Sheds may be permitted but only if size, design, and materials are approved in writing by the developer. After completion of all houses in the plat, approval for a shed not previously approved by the developer shall be approved by the Association.

4. No trailer, basement, tent, shack, garage or barn erected in said Addition shall at any time be used as a residence, temporarily or permanently, nor shall any residence of a temporary character be permitted on any lot in said Addition.

5. CJ's Construction, Inc. or any other lot owner shall construct only one family dwellings on the lots in this First Addition subdivision.

6. No single family dwelling shall be constructed, permitted or occupied on any lot herein having square footage floor space, designed, intended and constructed for living quarters, which space shall not include cellars, attics, garages, breezeways, porches, stoops, and other such non-living areas, of less than the following requirements:

- A. 1,300 square feet for single story houses.
- B. Any split level house, one and one-half story house, or house of two stories must have total minimum square footage of at least 1,300 square feet.

7. Each single family residence shall have a minimum of a two-car attached garage with a minimum of 400 square feet.

8. The owner of each lot, vacant or improved, shall keep his lot or lots free of weeds and debris. Further, the owner and/or occupant of each lot shall jointly and severally be responsible to keep in good order or to maintain the area between the curblin and the property line abutting his property including keeping said area free of holes, pitfalls, stumps of trees, fences, brick, stone, cement or other monument-type mail boxes, stakes, post or rods to which a metal, plastic or similar receptacle designed to hold newspapers are affixed, retaining walls, landscaping brick, block, stone, timber or other similar material, or any other similar obstructions.

9. No obnoxious or offensive trade or activity shall be carried on upon any lot nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.

10. All approaches and driveways in said Addition shall be paved with concrete.

11. No dwelling on any lot in said Addition shall be occupied until it meets City of Waterloo requirements for occupancy.

12. No old or used buildings shall be moved upon any of the lots in said Addition for any purpose.

13. All electrical distribution lines and service entrances, all telephone lines and services therefor, all cable TV/fiber optic cable and service therefor, and all other utilities of whatever kind or nature shall be installed underground on all lots in said Addition.

14. No dog compound, enclosure, shelter, storage outbuilding, playhouse, or wood pile for firewood shall be constructed, used or maintained within ten feet of any lot line nor shall they exceed eight feet in height on any of said lots. All outbuilding exteriors shall be approved by the developer in writing prior to start of construction. After completion of all houses in the plat, approval of outbuilding exteriors not previously approved by the developer shall be approved by the Association.

15. A perpetual easement is reserved along the lot lines of said lots as shown by the recorded plat for storm water drainage and utility installation and maintenance. There shall be no buildings, large plantings or other obstructions upon or under the property covered by these easements, so that access is available for any equipment and/or persons necessary for the construction, reconstruction or maintenance of said utilities and/or drainage ways. Fences would be allowed if homeowner accepts responsibility for removal and reconstruction, fence cannot obstruct storm water drainage flows.

16. No radio station or short-wave operators of any kind shall operate from any lot which shall cause interference with audio or visual reception upon any other lot. Antennas are permitted if attached to the structure and do not extend more than eight feet above the peak of the home. All other antennas, satellite TV dishes in excess of 24 inches in diameter, poles for radios, and windmills are prohibited.

17. No motor home or recreational vehicle, trailer of any kind, whether camping, boat, house, utility or otherwise, shall be parked or kept for more than a 48 hour period on any street, driveway or on the lot in said Addition. Any such vehicle must be stored inside the garage.

18. No bus, semi-tractor, trailer or truck of any kind, except what is commonly described as a "pickup truck", shall be kept or parked on any lot or street in said Addition; provided, however, that this prohibition shall not apply to such vehicles driven in said Addition in pursuit of and in conducting their usual business.

19. No shrubs or trees shall be planted so as to infringe upon adjoining property lines based on maximum expected growth and shall be maintained so as not to infringe.

20. Each person or entity who is a record owner of a fee or undivided fee interest in any lot shall be a member of the Association to be known as Paradise Estates Neighborhood Association. This shall not be construed to include persons or entities who hold an interest merely as security for the performance of an obligation. There shall be a maximum of one vote per lot or residence, in the event the residence takes up more than one lot, and each lot owner shall be a member of the Neighborhood Association. Membership shall be appurtenant to and may not be separated from ownership of any lot; ownership of such lot shall be the sole qualification of membership.

The purpose of the Paradise Estates Neighborhood Association shall be to maintain the common areas, green spaces and Lot B & Lot C, Paradise Estates First Addition, including but not limited to the signage to be developed, and such other activities as set forth in the Articles of Incorporation and Bylaws of the Association. Such ownership and maintenance shall include, but not be limited to, mowing, watering, including upkeep of any underground sprinkler system, and maintenance of common areas. Initially, the developer, CJ's Construction, Inc. shall perform the actual construction duties to establish the common areas, green spaces, entrance and surrounding access area as to their lots. The homeowner's responsibility for these areas shall begin when the developer, CJ's Construction, Inc. notifies the Neighborhood Association that they are turning over the responsibility of those areas to the Neighborhood Association.

The annual dues for the Association shall initially be set at \$50 per year per lot or residence, if a residence encompasses more than one lot, beginning January, 2024. The Association shall have the ability and authority to adjust annual dues as it deems appropriate to carry out the maintenance duties described above. The developer, CJ's Construction, Inc. shall have no responsibility for annual association dues. Developer further grants to the City of Waterloo, Iowa, the ability to assess all lots in the Paradise Estates Neighborhood Association for the cost of maintaining the storm water detention basins in the event said Association fails to provide said maintenance acceptable to the City of Waterloo, Iowa.

21. No building or structure shall be erected or placed on any lot in this subdivision until the building plans, and plot plan, showing all buildings, fences, patios, and pools, and showing the location thereof, and side yard distances, rear yard distances, front yard distances, driveways, and walkways, and type of construction have been approved in writing as to conformity and harmony of external design and quality workmanship and materials with existing structures in the subdivision by CJ's Construction, Inc. After completion of all houses in the plat, approval of any additional plans not previously approved by the developer shall be approved by the Association.

22. All of the provisions hereof shall be enforceable by appropriate legal proceedings by any present or future owner of the legal or equitable title to any lot in said subdivision. Invalidation of any one or more of the within restrictions by judgment or decree of court shall not be regarded as affecting the validity of any of the other provisions hereof, nor shall any judicial determination with respect to any of the restrictive provisions hereof be regarded as affecting the validity or sufficiency of this instrument as a deed of dedication of said plat, all of which such other provisions shall remain in full force and effect.

23. The undersigned and all persons and corporations hereafter requiring any right, title or interest in any of the lots in said subdivision shall be taken and held to have agreed and covenanted with the owners of all other lots in this subdivision and with the respective successors and assigns of all of the rest of such other lots to conform to and observe all of the foregoing covenants, restrictions and stipulations as to the construction of building thereon for a period of twenty-one (21) years from the date of filing of said plat and this deed of dedication for record. Within the period of twenty-one (21) years

and in accordance with Iowa Code Chapter 614.24 and 614.25 (2021 Code of Iowa) or their successor provisions, these covenants, restrictions and stipulations shall be automatically extended for an additional period of twenty-one (21) years upon compliance with Chapter 614.24 and Chapter 614.25 of the 2021 Code of Iowa. In the event an extension of the covenants, restrictions and stipulations is not filed within the period of twenty-one (21) years or successive 21-year period, then the covenants, restrictions and stipulations contained herein shall terminate at the end of the existing period of twenty-one (21) years.

24. If the parties hereto or any of them or their heirs or assigns shall violate or attempt to violate any of the covenants or restrictions herein, it shall be lawful for any other person or persons owning property in said Addition to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenants or restrictions and for the purpose of preventing such acts or to recover damages for such violation, or both, and for costs and reasonable attorney's fees as determined by the Court and not the statute.

25. No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot, except that three dogs and/or cats maximum, or other household pets are allowed and then only if they are not kept, bred or maintained for any commercial purposes. Such animals shall be kept under control so as not to constitute a public nuisance and must be kept in compliance with applicable zoning laws and regulations of the City of Waterloo, Black Hawk County, Iowa.

26. Upon the sale of a lot, owner shall take responsibility for any erosion control issues, certifications and/or requirements of the Iowa Department of Natural Resources.

27. All buildings erected on any lot in said Addition shall be constructed in accordance with the Building, Plumbing and Electrical Codes of the City of Waterloo, Iowa.

28. The developer, CJ's Construction, Inc. agrees:

- A. That it shall with respect to the streets shown on the attached plat, _____ be brought to City grade and will be twenty-eight (28) feet, back of curb to back of curb; all said streets with approved hard surface pavement in accordance with City of Waterloo, Standard Specifications.
- B. That sanitary sewer, together with the necessary manholes and sewer service lines to all lots in the plat, will be provided.
- C. That underground utilities, as required by the Subdivision Ordinance of the City of Waterloo, Iowa, shall be installed.
- D. That the city water will be provided to all lots as required by the City of Waterloo, Iowa Water Works.
- E. That municipal fire hydrants will be provided as required by the Waterloo Public Safety Department.
- F. That handicap ramps will be provided as required by law and as required by the City of Waterloo, Iowa details and specifications.

- G. A Portland cement concrete sidewalk and a hard surfaced driveway approach shall be installed during or immediately after the construction of a residential dwelling on a lot in the subdivision, but before issuance of an Occupancy Permit from the City of Waterloo, Iowa, or only sidewalk construction within five (5) years of the transfer of said lot from the developer to a purchaser, whichever is earlier. Said sidewalk shall be constructed across the full length of all street frontages of the lot, and extend to match the end of existing sidewalk(s) on adjoining lots where sidewalk exists. Said sidewalk shall also be required to be constructed across all street frontages of two (2) or more adjoining lots, or portions thereof, when any owner has acquired said two (2) or more adjoining lots, or portions thereof, upon construction upon one (1) or more lots, or portions thereof, all as required by the City of Waterloo, Iowa. Construction of handicap access ramps at the intersections shall be the responsibility of the developer or adjacent property owner. In the event that the City is required to construct the sidewalk as permitted by subparagraph (I), a lien or liens may only be imposed against the lot or lots which require city construction and no others in the subdivision.
- H. That the work improvements called for herein shall be in accordance with the specifications of the City of Waterloo, Iowa, and performed under the supervision of a professional engineer licensed in the State of Iowa. In the event that the developer, CJ's Construction, Inc., its grantees and assigns fail to complete the work and improvements called for herein within one (1) year from the date of the acceptance of said final plat by each developer by the City of Waterloo, Iowa, the City may then make the improvements and assess the costs of the same to the lots owned and platted by the developer. The undersigned, for themselves, their successors, grantees and assigns, waive all statutory requirements of notice of time and place of hearing and agree that the City may install said improvements and assess the total costs thereof against the respective lots.
- I. That the City may perform said work, levy the cost thereof as assessments, and the undersigned agree that said assessments so levied shall be a lien on the respective lots with the same force and effect as though all legal provisions pertaining to the levy of such special assessments have been observed, and further authorize the City Clerk to certify such assessments to the County Auditor as assessments to be paid in installments as provided by law.

29. The developer, CJ's Construction, Inc., states:

- A. That this plat and development shall comply with the R-1 Residential Zoning District Classification Regulations.

30. Notwithstanding anything contained in the Deed of Dedication to the contrary, any assessment made under the Deed of Dedication shall not be a lien against any property described herein unless and until the City of Waterloo records with the Black Hawk County Recorder a "Notice of

Assessment Lien" which notice shall describe the property against which the lien attaches in the amount of said lien.

31. All subsequent owners of lots in the subdivision shall be obligated to meet any requirements imposed by the Commissioners of the Black Hawk County Conservation District or any other governmental agency, by the authority of Chapter 161A, Code of Iowa, pertaining to soil erosion control plans for certain land distributing activities. This covenant shall be perpetual and not be governed by the provisions of Paragraph 23 of this Deed of Dedication.

32. Developers hereby dedicate to the City of Waterloo, Iowa, access to the storm water detention basin for the purpose of inspection and enforcement of any city code or ordinance provisions governing the maintenance of the storm water detention basin, designated as Lot D & Lot E, Paradise Estates First Addition.

SIGNED and DATED this _____ day of _____, 2023.

CJ'S CONSTRUCTION, INC.

By

_____, President

STATE OF IOWA

) ss.

COUNTY OF _____

This instrument was acknowledged before me on, 2023, by _____ as President of CJ's Construction, Inc.

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SURVEYOR'S CERTIFICATE

PARADISE ESTATES FIRST ADDITION IN THE CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA, is a subdivision of the Northeast Quarter of the Southwest Quarter, part of the South Half of the Northwest Quarter and part of the West Half of the Southwest Quarter, all located in Section 15, Township 88 North, Range 13 West of the Fifth Principal Meridian, City of Waterloo, Black Hawk County, Iowa, described as follows:

Commencing at the West Quarter Corner of Section 15, Township 88 North, Range 13 West of the Fifth Principal Meridian; thence N89°02'14"E, 50.00 feet to the east right of way of Kimball Avenue and the point of beginning; thence continuing N89°02'14"E, 15.00 feet; thence N0°09'12"W along said east right of way, 661.71 feet; thence N89°01'09"E along the north line of the south 40 acres of the Northwest Quarter of said Section 15, a distance of 2452.39 feet; thence S0°31'31"E along the west right of way of Hawkeye Road, 1992.09 feet; thence S89°07'24"W along the south line of Northeast Quarter of the Southwest Quarter of said Section 15, a distance of 1203.44 feet; thence S0°15'36"E along the east line of the Southwest Quarter of said Southwest Quarter, 1287.88 feet; thence S89°12'30"W along the north right of way of W. Orange Road, 1128.60 feet; thence N0°09'59"W along said north right of way, 35.00 feet; thence S89°12'30"W along said north right of way, 125.01 feet; thence N0°09'59"W along the east right of way of Kimball Avenue, 182.01 feet; thence S89°12'30"W, 35.00 feet; thence N0°09'59"W along said east right of way, 368.03 feet; thence N89°12'24"E along the south boundary of Parcel A, 849.98 feet; thence N0°09'24"W along the east boundary of said Parcel A, 1100.06 feet; thence S89°13'08"W along the north boundary of said Parcel A, 850.16 feet; thence N0°10'01"W along said east right of way of Kimball Avenue, 91.57 feet; thence N89°08'25"E, 10.00 feet; thence N0°09'59"W along said east right of way, 835.15 feet to the point of beginning.

Said parcel contains 129.16 acres, subject to easements and restrictions of record.

For a more definite location and description, reference is made to a Final Plat attached hereto and made a part hereof.

Said PARADISE ESTATES FIRST ADDITION IN THE CITY OF WATERLOO, BLACK HAWK COUNTY, IOWA is divided into seventy one (71) lots, numbered consecutively from one (1) to sixty four (64), all inclusive, Lot A, Lot B, Lot C, Lot D, Lot E, Outlot A, and Outlot B. The number or letter of the Lot is designated on the Final Plat by a figure near the center of the lot. The dimensions of the lot, the width of the street and the distances from the lines and corners of the United States public land survey system and/or recorded subdivisions are shown in feet and decimals thereof on said Final Plat.

Lot areas are provided pursuant to the provisions of Section 354.6, Paragraph 3, Code of Iowa, and appear on said Final Plat.

Survey monumentation has been confirmed or will be established pursuant to Section 355.6, Code of Iowa, and details of said monumentation are depicted in the Legend of said Final Plat. All monumentation shall be placed within one year from the date the subdivision is recorded.

I, Stephen M. Scott, do hereby certify that this land surveying document was prepared and the related survey work was performed by me and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Executed at Cedar Rapids, Iowa, this _____ day of _____, 2023.

Stephen M. Scott, P.L.S. No. 13842
My License Renewal date is December 31, 2024

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| REQUEST: | Request by the City of Waterloo to rename a (1) mile portion of West San Marnan Drive to Van Miller Way that runs from east to west, Located west of Ansborough Avenue and east of West 4 th Street. |
| APPLICANT(S): | City of Waterloo, 715 Mulberry Street, Waterloo, IA 50703 |
| GENERAL DESCRIPTION: | The City of Waterloo is requesting to rename a one (1) mile portion of West San Marnan Drive to Van Miller Way in honor of the late Van G. Miller. |
| IMPACT ON NEIGHBORHOOD: | The request would not appear to have a negative impact upon the surrounding neighborhood, as there is very little development in the area. The only existing development with an address that will need to be changed is the VGM Group, who is requesting the change. |
| VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: | The renaming of a (1) mile portion of West San Marnan Drive to Van Miller Way will benefit the area by paying homage to both Van G. Miller and VGM Group. |
| RELATIONSHIP TO RECREATIONAL TRAIL PLAN: | A vast swath of the one mile roadway being renamed from West San Marnan Drive to Van Miller Way does not contain sidewalks. The Shaulis Road Trail is located approximately one mile to the south of W San Marnan Drive. Sidewalks will be constructed as the area develops. |
| SURROUNDING LAND USE: | The surrounding land use consists of primarily active farmland, with VGM Group on the south side of the road, Sunnyside Golf Course on the north side, and vacant residential lots to the west. |
| ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: | The land along the one mile portion of West San Marnan Drive being renamed to Van Miller Way is zoned “R-4, R-P” Planned Residence District, “A-1” Agricultural District, “R-3” Multiple Residence District, “C-2,C-Z” Conditionally Zoned Commercial District and “R-1” One and Two Family Residence. |
| BUFFERS REQUIRED/ NEEDED: | This request would not require any additional buffers and screening. |
| DRAINAGE: | The request for street renaming would not appear to have a negative impact upon drainage in the area. |
| DEVELOPMENT HISTORY: | The majority of the surrounding area along the one-mile portion of West San Marnan Drive that is being renamed to Van Miller Way is vacant or a golf course with some development occurring west of Ansborough Avenue at VGM Group from the late 1990’s to the 2010’s. |



Picture 1: Looking east along existing West San Marnan Drive from West 4th Street.



Picture 2: Intersection of West San Marnan Drive and Ansborough Avenue.



Picture 3: Looking west along West San Marnan Drive from Galactic Drive.

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| FLOODPLAIN: | The majority of the existing one mile of West San Marnan Drive that is being renamed to Van Miller Way is not in a special flood hazard area. Only a small portion of road being renamed is in the 100-year floodplain. |
| PUBLIC /OPEN SPACES/ SCHOOLS: | There are no schools in the immediate area. The nearest open space is Sunnyside Country Club. |
| UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC. | There is an 8” sewer main south of West San Marnan Drive from Ansborough Avenue to Galactic Drive. There is also 4” drain tile along the entire one mile portion of West San Marnan Drive that is being renamed to Van Miller Way. |
| RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN: | The Future Land Use Map (February 3, 2003) designates the area north of West San Marnan Drive: as Parks, Open Spaces, Schools, Hospitals, Government Facilities, Public Areas, and Airport; and Mixed Residential: Low, Medium, High Density Residential; Professional Offices. The land to the south of West San Marnan Drive is designated as Mixed Commercial; Medium to High Density Residential; Professional Offices; and Neighborhood Commercial. The proposed street renaming would be consistent with that designation. |
| STAFF ANALYSIS – | The Engineering Department has reviewed the renaming of |

ZONING
ORDINANCE:

the (1) mile portion of West San Marnan Drive to Van Miller Way that runs from east to west, Located west of Ansborough Avenue and east of West 4th Street, and found there to be no conflicts with the proposed renaming of the road to Van Miller Way and recommends that the name be approved.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

No subdividing of land is required for this request.

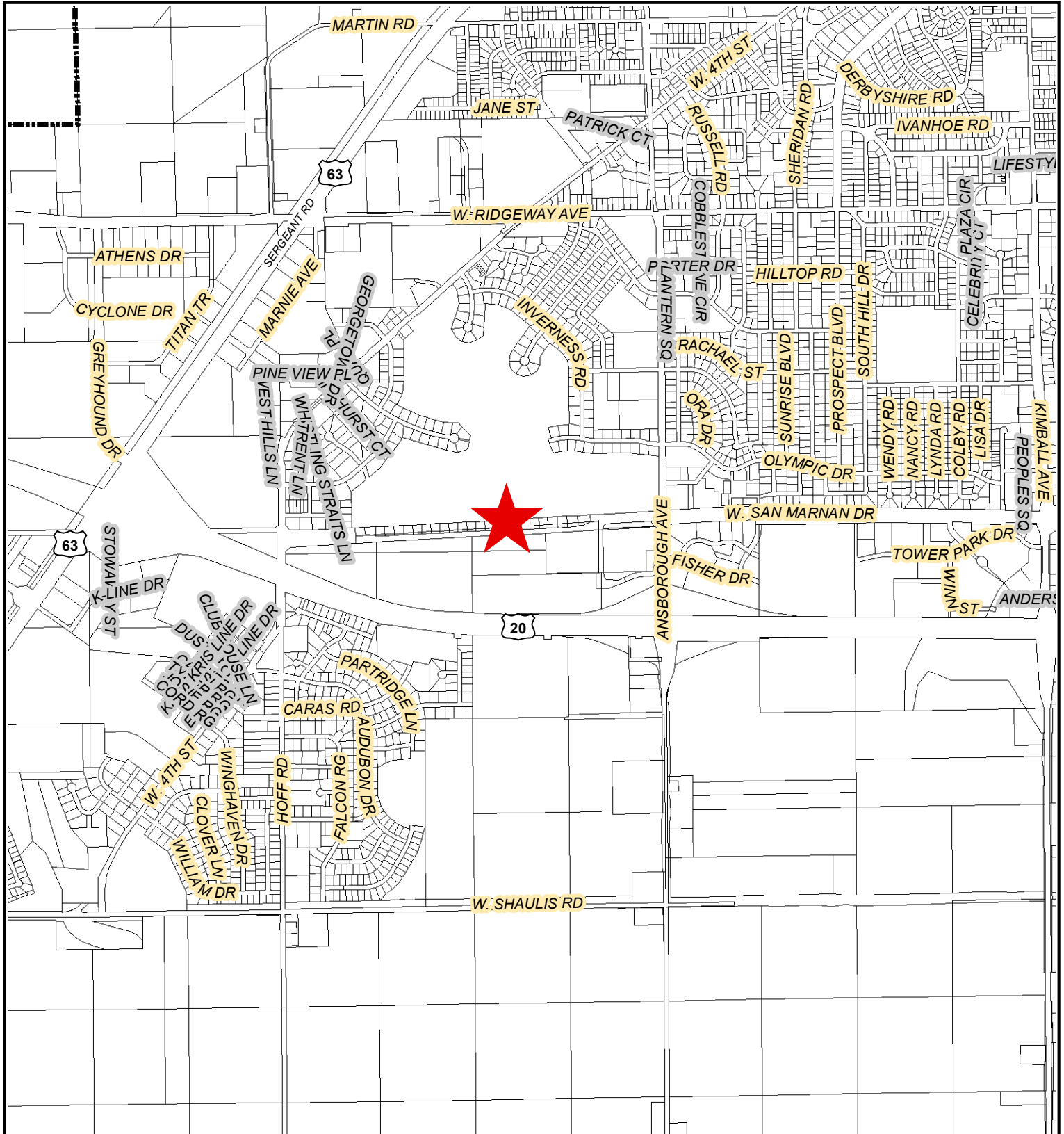
STAFF
RECOMMENDATION:

Therefore, it is staff's recommendation that the street renaming be approved for the following reason(s):

1. The Engineering Department has reviewed the request and concurs that the renaming of a (1) mile portion of West San Marnan Drive to Van Miller Way that runs from east to west, Located west of Ansborough Avenue and east of West 4th Street, as it does not conflict with any other street names and recommends approval.

City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023



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Miles

**Rename San Marnan Drive
"Van Miller Way"
Between West 4th Street and
141**

City of Waterloo Planning, Programming and Zoning Commission

March 14, 2023



**Rename San Marnan Drive
"Van Miller Way"
From West 4th Street
to Ansbrough Avenue**



715 Mulberry St, Waterloo, IA 50703
Phone: (319) 291-4312
CITYOFWATERLOOIA.COM



February 16, 2023

Aric Schroeder
City Planner
City of Waterloo
715 Mulberry St.
Waterloo, IA 50703

RE: RENAMING A PORTION OF PUBLIC W. SAN MARNAN DRIVE, FROM W. 4TH STREET TO ANSBOROUGH AVENUE, AS VAN MILLER WAY

Dear Aric:

The Engineering Department has received a request to rename the 1000 – 1900 blocks of W. San Marnan Drive, from W. 4th Street to Ansborough Avenue, as Van Miller Way. The current block numbers will stay the same. Just the street name will change from W. San Marnan Drive to Van Miller Way.

VGM consents to the street renaming, which will require them to do a change of address for their three buildings from 1101, 1107, 1111 W. San Marnan Drive to 1101, 1107, 1111 Van Miller Way. These will be the only address changes in this portion of W. San Marnan Drive.

Therefore, the Engineering Department recommends that a portion of public W. San Marnan Drive, from W. 4th Street to Ansborough Avenue, be renamed as Van Miller Way.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jamie Knutson".

Jamie Knutson, PE
City Engineer

Cc: Steve Walker, Draftsman
Greg Ahlhelm, Building Official

