



CITY OF WATERLOO, IOWA

COMMUNITY PLANNING AND DEVELOPMENT

715 Mulberry Street • Waterloo, Iowa 50703-5783 • (319) 291-4366 Fax (319) 291-4262
NOEL ANDERSON, *Community Planning & Development Director*

Memorandum

Mayor
QUENTIN
HART

COUNCIL
MEMBERS
.....

JOHN
CHILES
Ward 1

DAVE
BOESEN
Ward 2

NIA
WILDER
Ward 3

DR. BELINDA
CREIGHTON-
SMITH
Ward 4

RAY
FEUSS
Ward 5

ROB
NICHOLS
At-Large

STEVE
SIMON
At-Large

DATE: May 2

TO: **Technical Review Committee Members:**

Mayor Hart	Noel Anderson *	Mindy Benson
Jamie Knutson *	Ed Stoffer	Shaffer Ridgeway
Wayne Castle	Joe Liebold	David Kline
Kelley Felchle	Zach Kelly	David Sturch
Planning Staff *	Bill Beck	Brock Weliver
David Boehmer	Paul Huting	Julie Dawson
Brian Schoon	Randy Bennett	Rudy Jones
Krista Billhorn	Mohammad Elahi	Bridget Wood
Greg Ahlhelm *	Martin Petersen	BHC Engineering
C.F. Comm. Dev.		

* Denotes Paper Copy

FROM: John Dornoff - Planner II

RE: **Technical Review Committee Meeting – Online via Zoom**

The next meeting of the Technical Review Committee is scheduled for **Tuesday, May 7, 2024 at 1:30 p.m.** and will be held via Zoom. The link for the meeting will be sent out the morning of meeting.

Enclosed herein you will find the agenda for the next Planning Commission meeting to be held on **May 14, 2024.**

Your comments are both valued and necessary for efficient and smart growth within the City of Waterloo. Thank you in advance for your cooperation. If you have any questions, please contact the Planning, Programming, and Zoning Office at 291-4366.

As noted previously, the Tech packet is available in a digital format (PDF), and we are trying to eliminate as many paper copies as possible. If you know of an individual that should be, but is not receiving the digital packet, please provide me with an e-mail address so they will be able to receive future packets. You can e-mail your address to: john.dornoff@waterloo-ia.org. If you regularly attend the Technical Review Committee meeting and would like to still receive a paper copy to bring to the meetings please let our office know (if you have not already).





Agenda

Planning, Programming & Zoning Commission

Regular Meeting – May 14, 2024 – 4:00 P.M.

Harold E. Getty Council Chambers, City Hall, and via Zoom

General Rules for Public Participation

1. The presentation order for all new or old business agenda items shall be as follows: a) Staff report, b) Applicant’s presentation, c) Opinions of interested citizens, d) Applicant’s rebuttal, e) Commission discussion.
2. Interested citizens may address any item on the agenda by stepping to the podium. After recognition by the chair, the individuals state their name, address and group affiliation (if applicable) and speak clearly into the microphone.
3. Interested citizens may speak one (1) time per item. Please limit your comments to approximately five (5) minutes. Although generally discouraged, at the discretion of the Chair, interested citizens may be allowed to speak more than once per item.
4. The “Oral Presentations” section of the agenda is an opportunity to address items not on the agenda. An individual may speak to one (1) non-agenda issue per meeting for a maximum of approximately ten (10) minutes. Official action cannot be taken by the Commission at that time; however the topic may be placed on a future agenda or referred to the appropriate department.
5. Keep comments germane and refrain from personal, impertinent or slanderous remarks and repetitious information.
6. All comments and requests for information shall be directed towards the chair, and not towards individuals in the audience. All comments shall be in keeping with proper and courteous conduct.
7. If handouts are to be provided, you are encouraged to deliver them to the Planning and Zoning Department at least 24 hours prior to the meeting to be distributed to Commission members. If not possible to be pre-delivered, you are encouraged to bring ten (10) sets of all handouts for Commission and staff. A minimum of **one (1)** copy of **any** handout (including original pictures) must be retained by staff for the official record of the request.

The chair shall take whatever action is necessary to ensure that these rules are observed and the meeting proceeds in an orderly fashion.

I. Approval of the May 14, 2024 Agenda

II. Approval of the Minutes of the Regular Meeting on April 9, 2024

III. Financial Report: March 2024

IV. Oral Presentations

V. New Business

A. Hearings – Rezones/Site Plan Amendments

1. Request by Randy Johnson to rezone approximately 2.19 acres from “R-2” One and Two Family Residence District to “C-1” Neighborhood Commercial District located at 1936 Avon Avenue.
2. Request by Falls Auto LLC to rezone approximately 1.81 acres from “C-2” Commercial Zoning District to “C-2,C-Z” Conditional Zoning District to allow for an auto repair facility with incidental auto sales located at 2424 Falls Avenue.

B. Special Permits

1. Request by ZAYN Properties LLC for a Special Permit to allow for approximately 155,000 cubic feet of rubble fill to allow for the construction of a commercial building in the “M-1” Light Industrial District located south of 2345 Osage Avenue.
2. Request by Levi Architecture on behalf of Hawkeye Community College for a Special Permit to allow for the construction of a 7,456 square-foot expansion of the existing building at the Regional Transportation Training Center in the “A-1” Agricultural District located at 6433 Hammond Avenue.

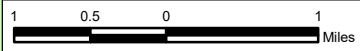
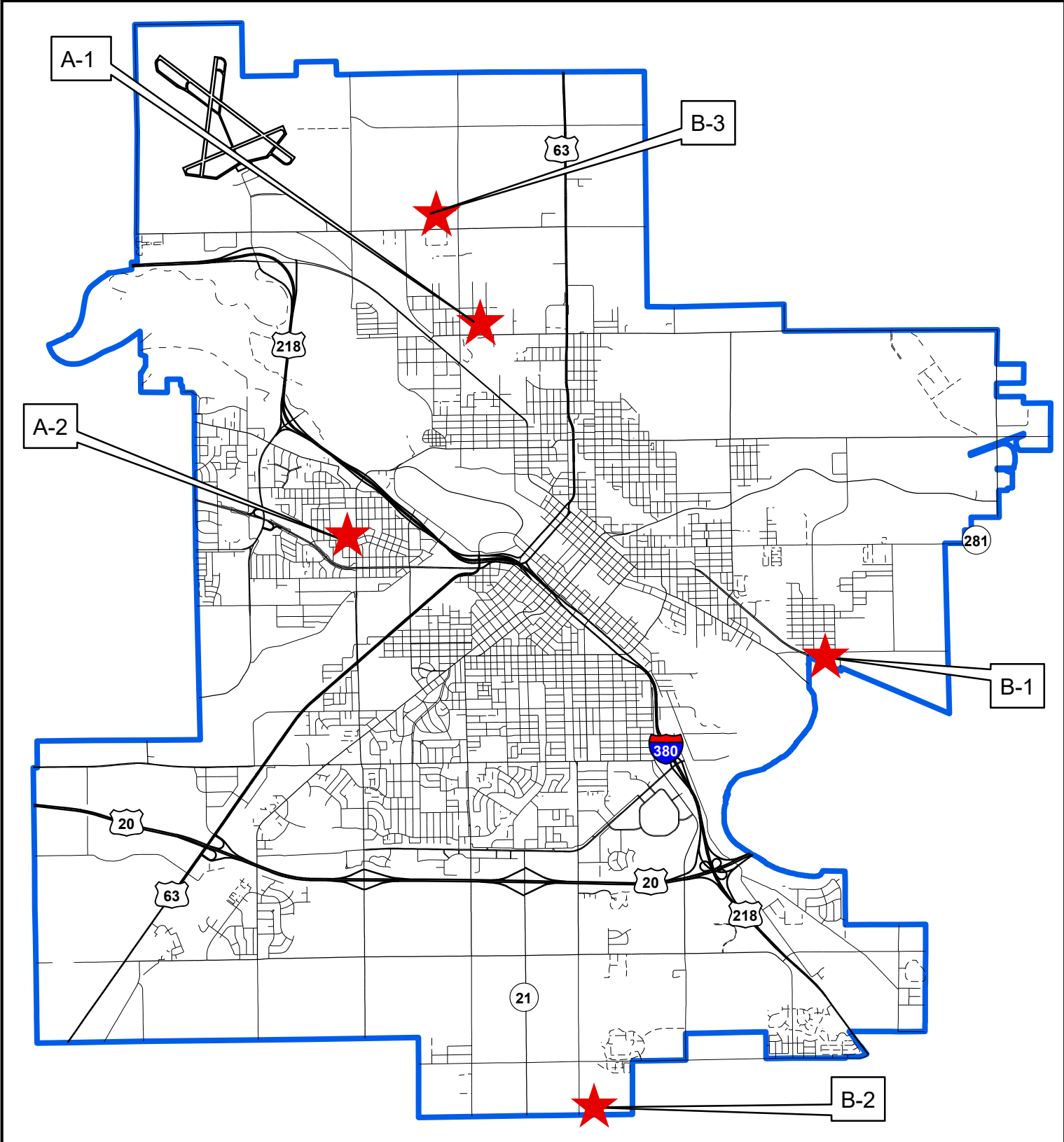
*** Next regular meeting of the Planning, Programming & Zoning Commission will be held on June 11, 2024*

3. Request by the Cedar Bend Human Society for a Special Permit to allow for a 33,700 square-foot expansion of the existing Animal Shelter in the “M-1” Light Industrial District located at 1166 West Airline Highway.

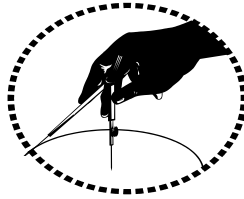
VI. Discussion

VII. Adjournment

**Planning, Programming and Zoning Commission
May 14, 2024**



Agenda Map



TECH NOTES
CITY OF WATERLOO TECHNICAL REVIEW COMMITTEE
April 2, 2024

The meeting of the City of Waterloo Technical Review Committee was called to order at 1:30 p.m. via Zoom.

The following attended the meeting electronically: Aric Schroeder, Lexi Schneider and John Dornoff – Planning; Greg Alhelm – Building Department; Jamie Knutson and Wayne Castle – Engineering; Brock Weliver – Waterloo Fire Department; and David Kline - MidAmerican.

A. Hearings – Rezones/Site Plan Amendments

- 1. Request by the City of Waterloo to rezone approximately 2.17 acres from “M-2” Heavy Industrial District to “C-P” Planned Commercial District in order to allow for redevelopment of the Rath Administration Building into 70 affordable senior housing units located at 1515 Sycamore Street.**

Schnieder read the staff report recommending approval of the request with the following condition: that the following site plan meets all applicable city codes, regulations, etc. including but not limited to parking, landscaping, drainage, etc.

Building plans show 80 units, agenda needs to be amended to indicate 80 instead of 70 units.

Knutson asked about a site plan to which Schneider responded that Andera is trying to get the plans and Knutson noted they will need to see the site plan and drainage improvements.

Weliver stated they will most likely need sprinklers and meet other fire codes.

- 2. Request by King Automotive to rezone approximately 1.76 acres from “C-2” Commercial District to “M-1” Light Industrial District to allow for expansion of an existing salvage yard located south of 275 Rampart Lane.**

Schneider read the staff report recommending approval of the request.

Schneider says they are looking at 1.44 acres.

Knutson stated that if they move forward with any expansion, they will need a site plan and drainage plan.

Weliver stated they will need to maintain access throughout the yard.

- 3. Request by Cedar Valley Lawn Care for a Site Plan Amendment for a new commercial building in the “C-2” Commercial District and “C-2, C-Z” Conditional Zoning District located south of 4121 Alexandra Drive.**

Dornoff read the staff report recommending approval of the request with the following conditions: 1) The final site plan must meet all applicable city codes and regulations, including but not limited to parking, landscaping, screening, drainage, setbacks, etc. 2) The east property line is landscaped to provide a buffer with the residential properties to the east, with understory trees spaced a maximum of 30 feet apart.

Weliver stated that being over 5000 square feet, any automotive use will require sprinklers, possibly the whole building. Schroeder questioned if the units were condoed with proper firewall separation if they would then not have to be sprinkled, to which Weliver noted possibly, depending on the us.

B. Special Permits

1. **Request by Brooke Tomkins for a Special Permit to allow for 3 chickens in the “R-2” One and Two Family Residence District located at 1914 Baltimore Street.**

Schneider read the staff report recommending denial of the request.

Schroeder asked if they would have enough room for a 175-square-foot structure with the size of the garage. Schroeder then noted that the garage is 768 square feet which leaves them only 82 square feet of accessory structure square footage.

2. **Request by Blake Bomkamp for a Special Permit for the expansion of a storage facility adding three new buildings in the “C-2” Commercial District located at 4036 Logan Avenue.**

Dornoff read the staff report recommending approval of the request with the following conditions: 1) The final site plan must meet all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, drainage, etc. and 2) That a solid fence of at least 6 feet in height be installed along the east property line.

Alhelm asked if it was commercial, to which Dornoff responded yes; therefore, they would need stamped drawings and may require firewalls.

Weliver stated that they will need to provide fire access, to which Schroeder noted that they are showing a way to drive around. Weliver stated that it might meet the requirements but needs a more detailed site plan.

Schroeder asked if they would need detention, to which Knutson replied yes, and they would need to bring the existing one back to its original condition.

C. Plat

1. **Request by Riverbank Investments LLC for the Minor Plat of Grattan Addition, a 3-lot commercial subdivision in the “C-2” Commercial District located at 935 Sheerer Avenue.**

Dornoff read the staff report recommending approval of the request.

Knutson asked if we knew what they were planning, to which Schroeder stated we do not have final plans but went over what is known.

Stormwater and drainage will be a difficult issue since the existing building has caused water issues along Flower Street.

Schroeder asked where the existing detention basin was, to which Castle stated it was in the southwest corner. Schroeder responded he could not see a detention basin.

D. Zoning Ordinance Amendments

1. **Amendment to the City of Waterloo Zoning Ordinance (floodplain regulations).**

Dornoff went over the request.

There were no comments on the request.



John Dornoff,
Planner II

MINUTES
CITY OF WATERLOO, IOWA
PLANNING, PROGRAMMING, AND ZONING COMMISSION
REGULAR MEETING - 4:00 P.M. APRIL 9, 2024

The regular meeting of the Waterloo Planning, Programming, and Zoning Commission was called to order by Chairperson Trost at 4:00 p.m. via Zoom and in person in the Harold E. Getty Council Chambers at Waterloo City Hall.

Members present were: Steve Trost, Cody Leistikow, Eric Donat, Brandon Schoborg, Phillip Shirk, and Kristen Schaefer.

Members present electronically were: Janelle Ewing

Members absent were: Patrisha Serfling (one position is vacant).

Others present were: Aric Schroeder, Lexi Schneider, and John Dornoff – Planning Department; Jamie Knutson – City Engineer; and 5 citizens.

Others present electronically: Dave Boesen – City Council Liaison.

I. Approval of the Agenda

It was moved by Schoborg and seconded by Leistikow to approve the agenda. Motion carried unanimously.

II. Approval of the Minutes from the regular meeting on December 12, 2023.

It was moved by Donat and seconded by Schoborg to approve the minutes of the March 12, 2024 meeting. Motion carried unanimously.

III. Financial Report February 2024.

Schroeder reviewed the financial report.

It was moved by Schoborg and seconded by Donat to receive and place the financial report on file. Motion carried unanimously.

IV. Oral Presentations

There were no oral presentations.

V. New Business

A. Hearings – Rezones

1. Request by the City of Waterloo to rezone approximately 2.17 acres from “M-2” Heavy Industrial District to “C-P” Planned Commercial District in order to allow for redevelopment of the Rath Administration Building into 87 affordable senior housing units located at 1515 Sycamore Street.

It was moved by Donat and seconded by Schoborg to receive and place on file the statement of verification at 4:02 p.m. Motion carried unanimously, and Trost declared the hearing open.

Schnieder read the staff report recommending approval of the request with the following condition: that the final site plan meets all applicable city codes, regulations, etc. including but not limited to parking, landscaping, drainage, etc.

Donat asked who would be running the facility, to which Schroeder stated he was not sure, but it would be a private entity.

Schoborg noted there are currently 36 parking spaces and wondered how they were going to meet the 54 requirements, to which Schroeder responded that they do show a new parking lot that will have 84 spaces.

It was moved by Schoborg, seconded by Schaefer, to close the public hearing. Motion carried unanimously. The hearing was closed at 4:10 p.m.

It was moved by Schoborg, seconded by Leistikow, to recommend approval of the request by the City of Waterloo to rezone approximately 2.17 acres from “M-2” Heavy Industrial District to “C-P” Planned Commercial District in order to allow for redevelopment of the Rath Administration Building into 87 affordable senior housing units located at 1515 Sycamore Street with the following condition: that the final site plan meets all applicable city codes, regulations, etc. including but not limited to parking, landscaping, drainage, etc. Motion carried unanimously.

2. Request by King Automotive to rezone approximately 1.76 acres from “C-2” Commercial District to “M-1” Light Industrial District to allow for expansion of an existing salvage yard located south of 275 Rampart Lane.

It was moved by Schoborg and seconded by Shirk to receive and place on file the statement of verification at 4:13 p.m. Motion carried unanimously, and Trost declared the hearing open.

Schneider read the staff report recommending approval of the request.

Leistikow asked if there would need to be conditioned for screening put into place, to which Schroeder responded that the applicant would need to come back and request a Special Permit for the site, and that is when screening requirements will come into place.

It was moved by Schoborg, seconded by Donat, to close the public hearing. Motion carried unanimously. The hearing was closed at 4:19 p.m.

It was moved by Leistikow, seconded by Shirk, to recommend approval of the request by King Automotive to rezone approximately 1.76 acres from “C-2” Commercial District to “M-1” Light Industrial District to allow for expansion of an existing salvage yard located south of 275 Rampart Lane. Motion carried unanimously.

3. Request by Cedar Valley Lawn Care for a Site Plan Amendment for a new commercial building in the “C-2” Commercial District and “C-2, C-Z” Conditional Zoning District located south of 4121 Alexandra Drive.

It was moved by Donat and seconded by Shirk to receive and place on file the statement of verification at 4:20 p.m. Motion carried unanimously, and Trost declared the hearing open.

Dornoff read the staff report recommending approval of the request with the following conditions: 1) The final site plan must meet all applicable city codes and regulations, including but not limited to parking, landscaping, screening, drainage, setbacks, etc. 2) The east property line is landscaped to provide a buffer with the residential properties to the east, with understory trees spaced a maximum of 30 feet apart.

Planning and Zoning Commission

April 9, 2024

Trost asked if there were any regulations on parking lot lighting when it comes to a commercial building located next to residential properties, to which Schroeder responded that the Zoning Ordinance does not go into a lot of detail but does have a provision in the parking regulations that prohibit lighting from shining on adjacent properties.

Schoborg asked what the building's use would be, to which Schroeder responded that the applicant also owns the property to the south and east, and a portion of the building will be for the applicant's business, with the rest available for lease.

Leistikow noted that it appears from the topography that the new building will be lower than the residential properties to the east to which Schroeder confirmed.

Nick Brewer, 2920 Cedar Falls, Cedar Falls representing the applicant noted he was available to answer any questions on the project.

Leistikow asked if the business was operating at this location already and if the business will be operating into the evening hours, to which Brewer responded that the site is currently a vacant lot and the use is primarily going to be office space.

It was moved by Schoborg, seconded by Donat, to close the public hearing. Motion carried unanimously. The hearing was closed at 4:29 p.m.

It was moved by Schaefer, seconded by Leistikow, to recommend approval of the request by Cedar Valley Lawn Care for a Site Plan Amendment for a new commercial building in the "C-2" Commercial District and "C-2, C-Z" Conditional Zoning District located south of 4121 Alexandra Drive with the following conditions: 1) The final site plan must meet all applicable city codes and regulations, including but not limited to parking, landscaping, screening, drainage, setbacks, etc. 2) The east property line is landscaped to provide a buffer with the residential properties to the east, with understory trees spaced a maximum of 30 feet apart. Motion carried unanimously.

B. Special Permit

1. Request by Brooke Tomkins for a Special Permit to allow for 3 chickens in the "R-2" One and Two Family Residence District located at 1914 Baltimore Street.

Schneider read the staff report recommending denial of the request.

Donat asked if the rules for Urban Animal Hobby Farms had changed since he was on the commission, to which Schroeder responded that they had not; although there had been some discussion and requests from the community to consider changes, no changes have been made yet.

Donat stated it appears that there is not enough room to have the chickens on the site.

Trost noted that there has been discussion on amending the Ordinance, and a couple of hobby farms have come before the Commission, but allowing them at this location would set a precedent.

Leistikow noted he lives on Baltimore Street and stated that there is no property on the west side with enough room for chickens; however, there are some larger lots on the east side of the street that are very large and would have room for chickens.

Planning and Zoning Commission

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Boesen asked if it was a rental property, to which Schroeder responded that the father owned it, but a daughter and future son-in-law were requesting to have the chickens.

Shirk and Trost noted that the applicant's letter has the signatures of three surrounding property owners who are not opposed to the chickens on the site.

It was moved by Leistikow and seconded by Donat to recommend denial of a request by Brooke Tomkins for a Special Permit to allow for 3 chickens in the “R-2” One and Two Family Residence District located at 1914 Baltimore Street. Motion carried unanimously.

2. Request by Blake Bomkamp for a Special Permit for the expansion of a storage facility adding three new buildings in the “C-2” Commercial District located at 4036 Logan Avenue.

Dornoff read the staff report recommending approval of the request with the following conditions: 1) The final site plan must meet all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, drainage, etc., and 2) That a solid fence of at least 6 feet in height be installed along the east property line. Dornoff also noted that staff did receive a letter that stated they are not opposed to the Special Permit request, then went on to discuss things not germane to the request on hand and Trost stated that he thought the letter was well-thought-out and reasoned but should have been directed at others within the city.

Donat asked if the applicant had met the items outlined in the staff report, to which Schroeder responded that the applicant had been made aware of them and noted that the applicant has a purchase agreement for the property but does not own it yet, but once the Special Permit is approved then he will close on the purchase of the property and work to deal with all the conditions.

Blake Bomkamp, 1823 Rainbow Drive, asked if a final site plan would have to come back through this board, the applicant does not see the need for a solid fence when the boarding properties are zoned “C-2” and “A-1”, and Bomkamp also asked if slats in a chain link fence meeting the requirements.

Schroeder stated that the final site plan is for internal review unless significant changes are made, that both of the adjacent properties are residential, and normally fencing is required when adjacent to a residential property despite what the zoning is, and Schroeder noted when it came to the type of fence, the Commission could review that and make a recommendation however, staff favors a solid wood or vinyl fence and not chain link with the slats. Schroeder noted that a chain link fence with slats can provide as much visual screening as a solid fence does but does so in a way that is not residentially compatible but there appears to be uniqueness because the properties are not zoned residential.

Schoborg noted that the previous Special Permit was approved in October 2023, and the fence was never put up, but whose responsibility is it to ensure that the conditions are met to which Schroeder responded that it would be the Planning Department's responsibility to check to make sure the fence was put up however not that much time has passed since the approval and the applicant did not start any of the other work that required the fence to be installed.

Trost noted the one property to the south is zone “C-2” and Bomkamp states that the other property to the east is zoned “A-1”

Trost asked what the condition was for the fencing with the approval back in October, 2023 to which Schroeder responded that it was required for a solid fence along the area that was too be expanded but not along existing areas.

Bomkamp noted that a chain-link fence runs along the east side adjacent to the property zoned “C-2” and the existing storage building.

Bomkamp also asked if crushed asphalt would be allowed since it is a large area that needs the hard surfacing but low traffic, and the crushed asphalt is very hard once set up but also drains well to which Schroeder responded that it would be a variance to the request which the Planning, Programming and Zoning Commission hears the Special Permit request and makes a recommendation, but they can also discuss variances but the Commission does not provide a recommendation on variances which is the prerogative of the Board of Adjustment.

Leistikow stated that he does not feel that the Commission can make a recommendation on something the Board of Adjustment has already decided on.

Trost asked for clarification on whether the Zoning Ordinance currently requires solid paving, to which Schroeder responded yes.

Bomkamp asked for clarification on the need to improve the existing detention pond and whether they could start work on the expansion while working on the pond or if they had to finish it before any expansion could take place. Knutson answered that either way was fine with the Engineering Department, but the existing detention pond did need to be cleaned out and brought up to standards.

Leistikow stated that since there is already a chain-link fence in some areas, he does not see a problem with it so long as it provides some screening.

Schoborg, however, noted that when the last request for this property was approved, it did not say it had to be a solid fence but asked when the existing fence was put up. Schroeder responded that he was not sure when that fence was put up, but it was not required to be a solid fence, and it had been many years.

Schroeder noted that at this time, staff has not been willing to update the Code to allow for recycled asphalt as an approved hard surface, but there have been a few variances approved for it.

Boesen stated that he sits in on the Board of Adjustment meetings, and when the Board approved the previous Special Permit and the variance for the northern portion to be gravel for 3 years, it was explained to the Board that it was just going to be used for parking for campers and motor homes and new construction was never brought into that discussion.

It was moved by Schoborg and seconded by Donat to recommend approval of a request by Blake Bomkamp for a Special Permit for the expansion of a storage facility, adding three new buildings in the “C-2” Commercial District located at 4036 Logan Avenue with the following conditions: 1) The final site plan must meet all applicable city codes, regulations, etc., including, but not limited to, parking, landscaping, drainage, etc. 2) that a fence of at least 6 feet in height and be minimum of chain link with slats be installed along the east property line 3) that the existing detention basin be restored to the Engineers satisfaction and 4) a new detention basin needs to be installed for the expansion and 5) all vehicular use areas must meet the hard surfacing requirements by October 31, 2006 when the variance issued by the Board of Adjustment expires. Motion carried unanimously.

C. Plats

1. Request by Riverbank Investments LLC for the Minor Plat of Grattan Addition, a 3-lot commercial subdivision in the “C-2” Commercial District located at 935 Sheerer Avenue.

Dornoff read the staff report recommending approval of the request.

Schoborg stated his confusion about the lines on the plat to which Schroeder explained.

Dan Arends, VJ Engineering, stated he was available to answer questions and noted that there is so much parking right now that the applicant does not need.

It was moved by Schoborg and seconded by Shirk to recommend approval of a request by Riverbank Investments LLC for the Minor Plat of Grattan Addition, a 3-lot commercial subdivision in the "C-2" Commercial District located at 935 Sheerer Avenue with the condition that the plat be updated as required by Engineering before being sent to the City Council. Motion carried unanimously.

D. Zoning Ordinance Amendments

1. Amendment to the City of Waterloo Zoning Ordinance (floodplain regulations).

Schroeder went over the request.

Schoborg asked if there were many changes to the maps, to which Schroeder responded that there is some increased Floodplain in the Southland area, but there are also areas where the new maps are not covering.

It was moved by Donat and seconded by Schoborg to recommend approval of an Amendment to the City of Waterloo Zoning Ordinance (floodplain regulations). Motion carried unanimously.

VI. Discussion

The next meeting of the Planning, Programming, and Zoning Commission will be held on May 14, 2024.

VII. Adjournment

It was moved by Schoborg and seconded by Leistikow to adjourn the meeting at 5:20 pm. Motion carried unanimously.

Respectfully submitted,



John Dornoff,
Planner II

REQUEST: Request by Randy Johnson to rezone approximately 2.19 acres from “R-2” One and Two Family Residence District to “C-1” Neighborhood Commercial District located at 1936 Avon Avenue.

APPLICANT: Randy Johnson, 1936 Avon Avenue, Waterloo, IA 50703

GENERAL DESCRIPTION: The applicant is requesting to rezone the property in question from “R-2” One and Two Family Residence District to “C1” Neighborhood Commercial District to allow for a computer retail operation.

IMPACT ON NEIGHBORHOOD & SURROUNDING LAND USE: The request would appear to have a negative impact on the neighborhood as the area is made up of larger lot residential areas and a park. There are no other commercial-zoned properties in the neighborhood except the house to the southwest at 1925 Avon which is zoned “R-2, C-Z” Conditional Zoning District. It was zoned as such on April 21, 1997, to allow for a gun shop, although their primary business involved traveling to shows, but the zoning was required by the ATF even though their primary business was not in the home. The property was then sold in 2003 and is no longer being used for that business.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The request could have a negative impact on traffic conditions in the area as Avon Avenue is a low traffic sealcoat residential street and not designed for the increased traffic a commercial business would create. Avon Avenue is a local street which connects to Donald Street which is a Minor Arterial.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: The nearest trail is the Donald Street trail located 500 feet to the south.

DEVELOPMENT HISTORY: The surrounding residential development occurred between 1930 and 1950.

BUFFERS/ SCREENING REQUIRED: Buffering would be required for this request if it were approved.



ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:

The area in question is currently zoned “R-2” One and Two Family Residence District and has been zoned as such since adoption of Zoning Ordinance No. 2479 in 1969. Surrounding land uses and their zoning are as follows:

North – Residential zoned “R-2” One and Two Family Residence District.

South – Residential and Donald Street, zoned “R-2” One and Two Family Residence District and “R-2, C-Z” Conditional Zoning District.

East – Residential zoned “R-2” One and Two Family Residence District, and “C-2” Commercial District.

West – Residential and Ray Tiller Park zoned “R-2” One and Two Family Residence District.



Picture 1: Looking at home from the driveway.



Picture 2: Looking at driveway and accessory structure.



Picture 3: Looking at second accessory structure.



Picture 4: Possible inoperable vehicle.



Picture 5: Vehicle with junk in it.



Picture 6: Looking south toward Donald Street.



Picture 7: Looking at 1925 Avon Avenue.



Picture 8: Looking north along Avon Avenue

DRAINAGE:	The proposed rezone would not appear to have an effect on drainage in the area.
PUBLIC /OPEN SPACES/ SCHOOLS:	Lincoln Elementary School is located 0.86 miles to the southwest, George Washington Carver Academy is located 0.94 miles to the southeast, and East High School is located 2.36 miles to the southeast.
UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC:	<p>There is a water main located in Avon Avenue.</p> <p>There are overhead power lines located along the east side of Avon Avenue.</p>
RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:	The Future Land Use Map designates this property as <i>Low Density Residential</i> . The site is located in the Primary Growth Area as identified in the City's Comprehensive Plan, approved on August 21, 2023.
FLOODPLAIN:	The site is not located in a Floodplain Flood Hazard Area as indicated by the Federal Administration's Flood Insurance Rate Map, Community Number 190025 and Panel Number 0188F, dated July 18, 2011.
STAFF ANALYSIS ZONING ORDINANCE:	<p>The applicant is requesting to rezone his property from "R-2" One and Two Family Residence District to "C-1" Neighborhood Commercial District in order to allow for retail sales at the property.</p> <p>Staff have several concerns about this request:</p> <p>The property is located along Avon Avenue which is a sealcoat residential street with low traffic numbers. The street is not designed to handle the additional traffic that a commercial business may create. In addition, the property is not equipped to handle vehicles from potential customers as the driveway is often taken up by personal vehicles some of which appear to be inoperable making it impossible for anyone to park on the property and instead have to park on city-owned right-of-way that is not designed to handle the constant flow of vehicles.</p> <p>The local neighborhood is made up primarily of residential properties on large lots along with Pat Tillar Park which is located across the street from the property requesting the rezone. Allowing a business in this area could negatively affect the neighborhood.</p> <p>Homes in the area only have septic systems which may not be designed to handle the demands that a business may create.</p> <p>The property as been cited multiple times by Code Enforcement for having accumulated junk and inoperable vehicles on the property and it appears that after 7 years the property still has compliance issues, and this rezone is an attempt to circumvent those issues. When staff looked over the sight there appeared to be an inoperable pickup truck in the yard which had previously been in the driveway and at least 2 other inoperable vehicles located in the driveway.</p>

Staff also have concerns about what type of business would actually be operating out of this property. When talking to staff, the applicant mentioned lawn mower sales. However, when the application was turned in, it stated that the business would involve the rebuilding and reselling of computers and possibly a catering operation. But as noted, the property has been cited multiple times for junk on the property, and when staff went to the property, there appeared to be junk present

If the rezone was approved, the applicant would have to meet the Building Code for commercial use, which would include ADA paved parking, ADA access to the building, ADA accessible bathroom, and a rate wall separation between the portion of the building used for commercial uses and the portion used for residential.

The City of Waterloo Home Occupation Regulations allow businesses to operate out of residences. However, the regulations are designed to ensure that a business does not harm the residential nature of the neighborhood, which is why retail businesses that will increase traffic to a neighborhood are not permitted as part of this Ordinance. In addition, outside storage is not permitted as part of the Home Occupation regulations.

**TECH REVIEW
NOTES:**

**STAFF ANALYSIS
SUBDIVISION
ORDINANCE:**

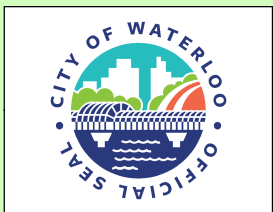
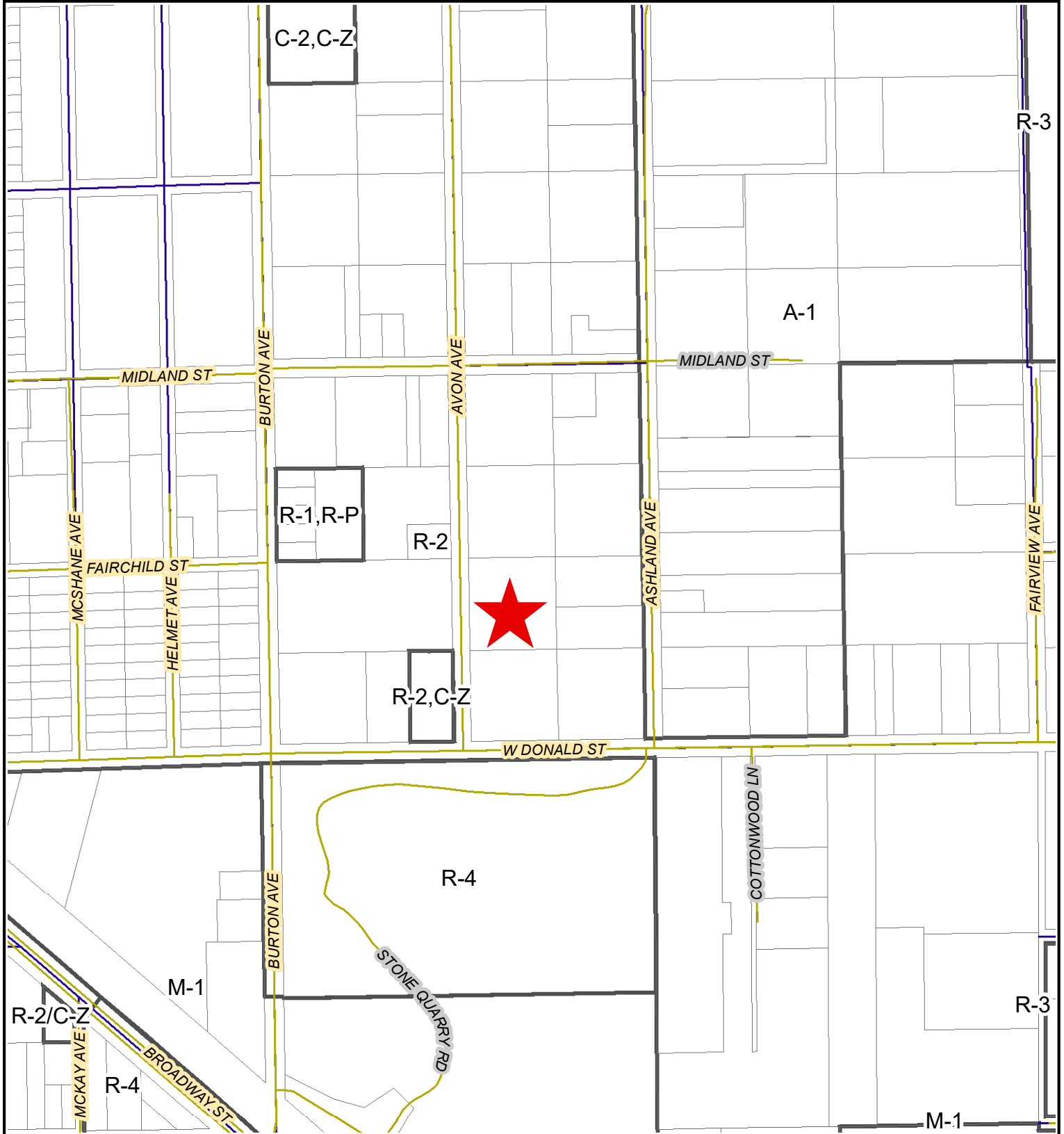
There is no platting in relation to this request.

**STAFF
RECOMMENDATION**

Therefore, staff recommends that the request by Randy Johnson to rezone approximately 2.19 acres from "R-2" One and Two Family Residence District to "C-1" Neighborhood Commercial District located at 1936 Avon Avenue, be denied for the following reasons:

1. The request would appear to have a negative impact on the surrounding area.
2. The request would appear to have a negative impact upon pedestrian and traffic conditions within the surrounding area.
3. The rezone would not be in conformance with the Comprehensive Plan and Future Land Use Map.

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**1936 Avon Avenue
Rezone from "R-2" to "C-1"
Randy Johnson**

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**1936 Avon Avenue
Rezone from "R-2" to "C-1"
Randy Johnson**

APPLICATION DUE: APRIL 23RD
P2 MEETING: MAY 14TH
\$330 FEE

APPLICATION FOR REZONING
CITY OF WATERLOO PLANNING, PROGRAMMING,
AND ZONING COMMISSION
WATERLOO, IOWA
319.291.4366

1. APPLICATION INFORMATION:

- a. Applicant's name – Business Name if Applicable (please print): Randy's Catering
Randy Johnson - Computer Repair & Sales
 Address: 1936 Avon Ave Phone: 319-433-5626 Fax: _____
 City: Waterloo State: Ia Zip: _____
 Email: _____
- b. Status of applicant: (a) Owner (b) Other _____ (CHECK ONE): If other explain: _____
- c. Property owner's name if different than above (please print): _____
 Address: _____ Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____
 Email: _____

2. PROPERTY INFORMATION:

- a. General location of property to be rezoned: 1936 Avon Ave wloo Ia 50703
- b. Legal description of property to be rezoned: Residential
- c. Dimensions of Proposed Zoning Boundary (Excluding Right of Way): 2.19 ACRES
- d. Area of Proposed Zoning Boundary (Excluding Right of Way): _____
- e. Current zoning: Residential Requested zoning: Business
- f. Reason(s) for rezoning and proposed use(s) of property: Rebuild & Repair & Sell Computers
- g. Conditions (if any) agreed to: _____
- h. Other pertinent information (use reverse side if necessary): _____

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it **must** go through a platting process (separate from rezone request).

The filing fee of \$300 + \$10 per acre (\$750 max) (payable to the City of Waterloo) is required (round amount down to nearest \$10 increment). **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. If the request is denied no new petition covering the same or portion of the same property shall be filed with or considered by the Planning, Programming, and Zoning Commission until four (4) months have elapsed from the date of denial by the Waterloo City Council. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo City Council in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.


4-22-24

4-22-24
 Signature of Applicant Date Signature of Owner Date

REQUEST: Request by Falls Auto LLC to rezone approximately 1.81 acres from “C-2” Commercial Zoning District to “C-2,C-Z” Conditional Zoning District to allow for an auto repair facility with incidental auto sales located at 2424 Falls Avenue.

APPLICANT: Fall Auto LLC, 2424 Falls Avenue, Waterloo, IA, 50701.

GENERAL DESCRIPTION: The applicant is requesting to rezone the property in question to allow for an auto repair facility with auto sales.

IMPACT ON NEIGHBORHOOD & SURROUNDING LAND USE: The request would not appear to have a negative impact on the surrounding neighborhood, which consists of other commercial businesses.

VEHICULAR & PEDESTRIAN TRAFFIC CONDITIONS: The request to rezone the site in question would not appear to have a negative impact upon pedestrian and traffic conditions in the area. The site is accessed from Falls Avenue, which is classified as a collector street.

RELATIONSHIP TO RECREATIONAL TRAIL PLAN AND COMPLETE STREETS POLICY: There are sidewalks along Falls Avenue. There are no trails within the nearby vicinity.

PUBLIC /OPEN SPACES/ SCHOOLS: Fred Becker Elementary School is located approximately 0.59 miles to the southwest of the site in question. Central Middle School is located approximately 1.16 miles to the southwest.

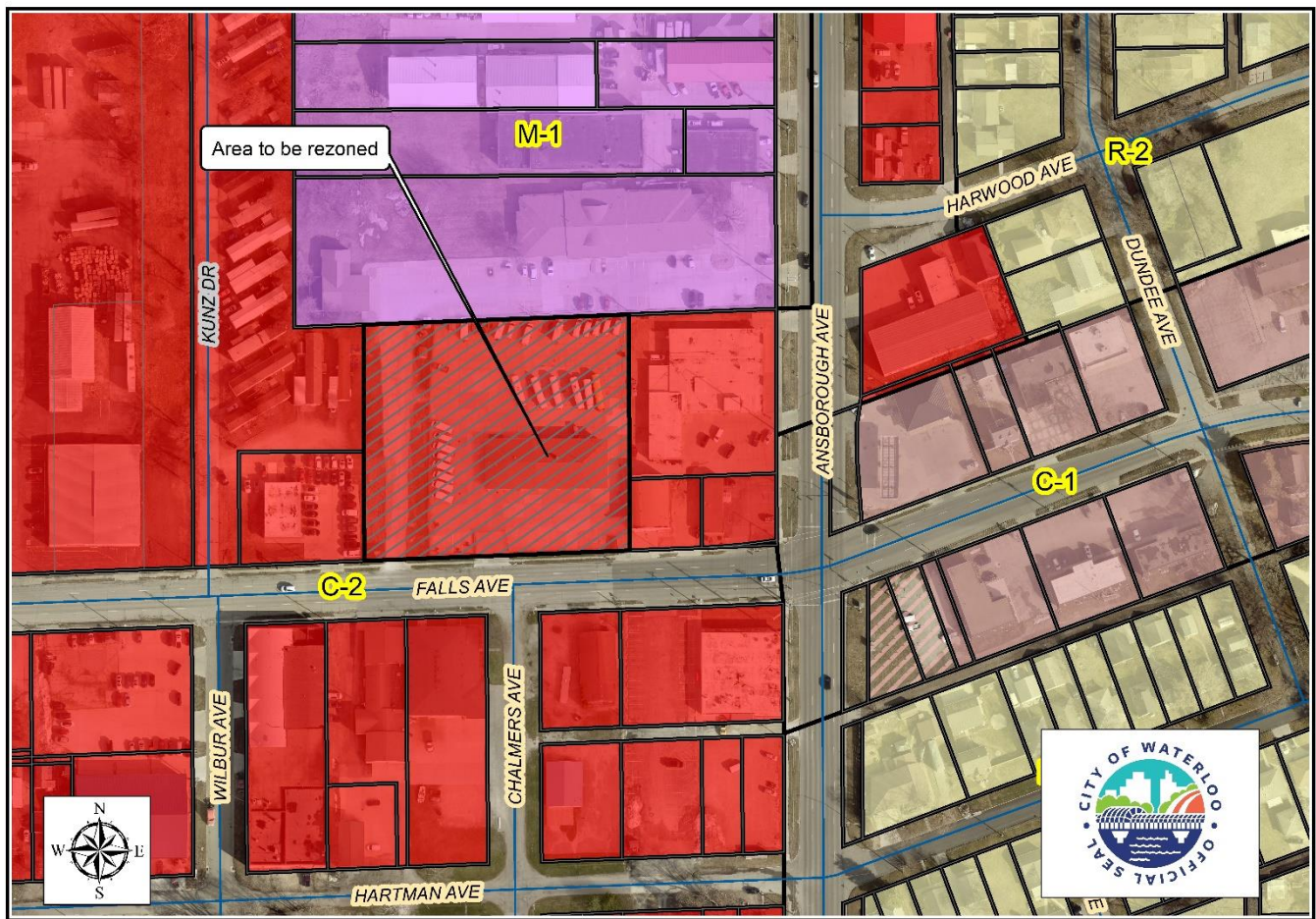
DEVELOPMENT HISTORY: The surrounding commercial development was constructed between 1944 and 1988.

BUFFERS/ SCREENING REQUIRED: Solid fencing is required for screening along the rear yard area on the west, north and east sides of the property.

DRAINAGE: A drainage plan will not be required for this request.

FLOODPLAIN: The property is not located within a special flood hazard area as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 and Panel Number 0308F, dated July 18, 2011.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER, ETC: There is a 12” sanitary sewer line located under Falls Avenue. A 4” drain tile is located within Falls Avenue.



ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:

The area of the proposed site is currently zoned “C-2” Commercial District and has been zoned as such since the adoption of the Zoning Ordinance in 1969. Surrounding land uses and their zoning are as follows:

- North** – Exceptional Person’s Inc, zoned “M-1” Light Industrial District.
- South** – EPM Iowa LLC and Tack Room Inc., zoned “C-2” Commercial District
- West** – Mobile Home Park and Armin’s Auto Sales, zoned “C-2” Commercial District.
- East** – Shear Bliss Pet Salon, Under Your Hat Beauty Salon, and Scot’s Supply Company, zoned “C-2” Commercial District.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

The Future Land Use Map designates this property as Mixed Commercial: Medium to High Density Residential; Professional Offices, Compatible Commercial. The proposed land use is in conformance with the Future Land Use Map for this area. The site is located in the Primary Growth Area as identified in the City’s Comprehensive Plan adopted August 21, 2023.



Picture 1: Existing Building



Picture 2: Looking from Falls Avenue to back of lot.



Picture 3: Gravel driveway on west side of property.



Picture 4: Rear of property.



Picture 5: Rear of the existing building.

**STAFF ANALYSIS
ZONING
ORDINANCE:**

The applicant is requesting to rezone an 1.81 acre parcel to “C-2,C-Z” Conditional Zoning District to allow for the use of an auto repair facility with auto sales.

The site is properly hard surfaced and an 8,956 square foot building with 6 garage doors and an office space is located on the property.

Vehicle sales and service garages require one parking space for every 500 square feet of floor area. The site has approximately 7,152 square feet of floor area requiring 15 parking spaces. The site exceeds this requirement by providing 54 parking spaces.

Exceptional Persons Inc. will have an easement to use the existing gravel drive located along the west property line for their site at 760 Ansborough Avenue.

**STAFF ANALYSIS
SUBDIVISION
ORDINANCE:**

There is no platting in relation to this request.

STAFF
RECOMMENDATION

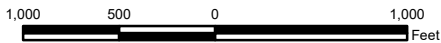
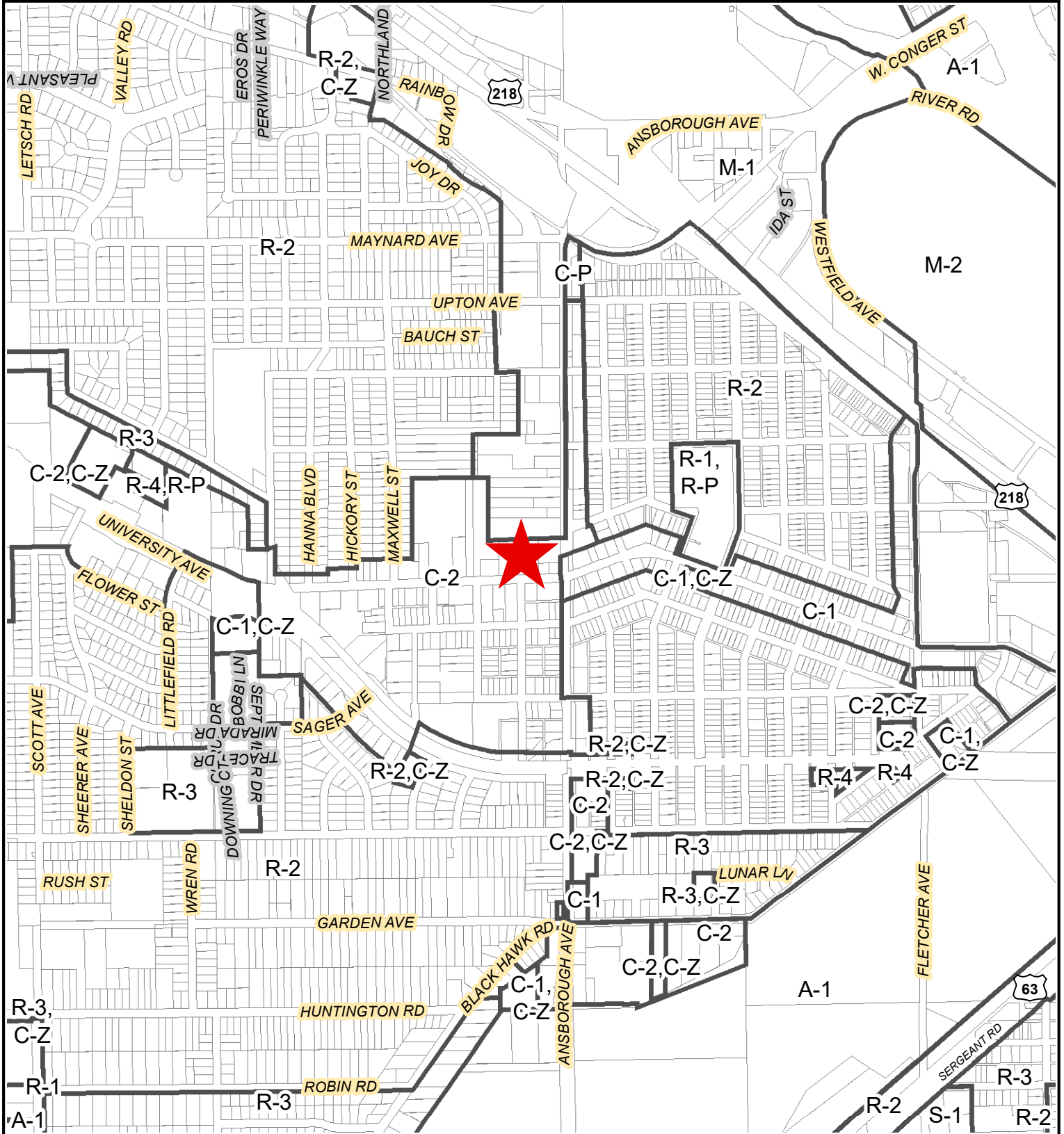
Therefore, staff recommends that the request by Falls Auto LLC to rezone approximately 1.81 acres from "C-2" Commercial Zoning District to "C-2,C-Z" Conditional Zoning District to allow for an auto repair facility with incidental auto sales located at 2424 Falls Avenue, be approved for the following reasons:

1. The request would not appear to have a negative impact on the surrounding area.
2. The request would not appear to have a negative impact upon pedestrian and traffic conditions within the surrounding area.
3. The request would appear to be compatible with the Future Land Use Map.

Subject to the following conditions

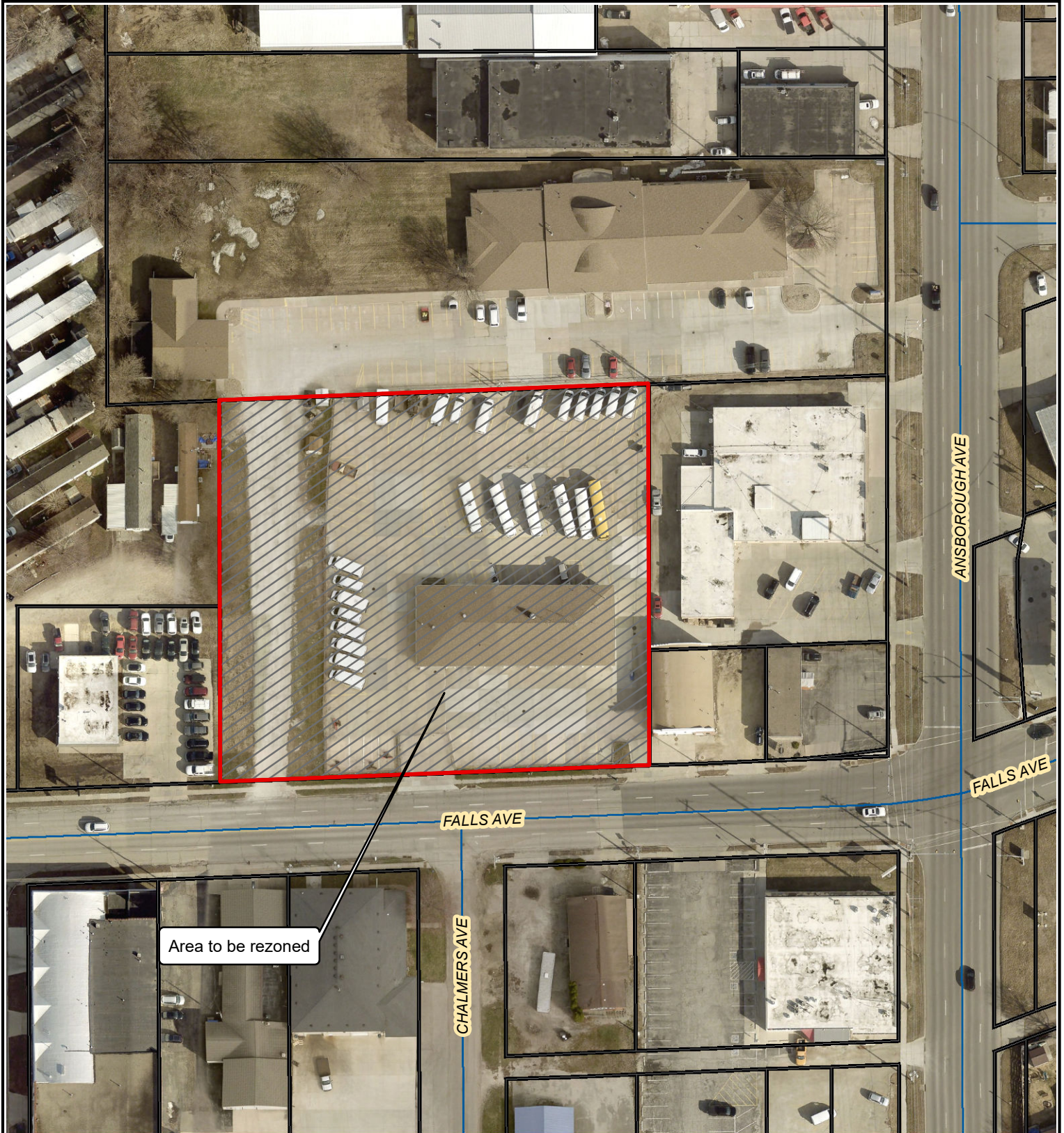
1. That the applicant keeps inoperable vehicles out of the required front yard area.
2. That solid fencing is installed along the rear yard area on the west, north and east sides.

City of Waterloo Planning, Programming and Zoning Commission May 14, 2024



2424 Falls Avenue
Rezone from "C-2" to "C-2,C-Z"
Falls Auto LLC

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**2424 Falls Avenue
Rezone from "C-2" to "C-2,C-Z"
Falls Auto LLC**

APPLICATION FOR REZONING
CITY OF WATERLOO PLANNING, PROGRAMMING,
AND ZONING COMMISSION
WATERLOO, IOWA
319.291.4366

1. APPLICATION INFORMATION:

- a. Applicant's name – Business Name if Applicable (please print): FALL AUTO LLC
 Address: 2424 FALLS AVE Phone: 319-232-2426 Fax: _____
 City: WATERLOO State: IA Zip: 50701
 Email: fallsauto2424@gmail.com
- b. Status of applicant: (a) Owner (b) Other _____ (CHECK ONE); If other explain: _____
- c. Property owner's name if different than above (please print): Jon Davis
 Address: 1602 290TH ST Phone: 319 939 2734 Fax: _____
 City: BLANDON IA State: IA Zip: 52210
 Email: jon.davis@slymberkid.com

2. PROPERTY INFORMATION:

- a. General location of property to be rezoned: 2424 FALLS AVE
- b. Legal description of property to be rezoned: UNPLATTED WATERLOO WEST, W 153.5 FE E 358.5 FT OF S 1/6 ADS N OF RD IN SE SE SEC 21 T 789 R 13 + PART OF THE SE SE SEC 21 COM ON N LINE W L 20 + CRD 40 FT W OF E LINE OF SE TH WET ALONG RD 318.5 FT W PT OF BE TH W 144 FT TH N 204 FT TH 526 FT
- c. Dimensions of Proposed Zoning Boundary (Excluding Right of Way): _____
- d. Area of Proposed Zoning Boundary (Excluding Right of Way): 1.81 ACRES 78669 SF
- e. Current zoning: C-2 Requested zoning: C-2, C-2
- f. Reason(s) for rezoning and proposed use(s) of property: OPERATE AUTO GARAGE + SELL USED CARS
- g. Conditions (if any) agreed to: KEEP AN INOPERABLE VEHICLES OFF FRONT FACING LOT SOLID FENCING AS NEEDED IF VEHICLES ARE KEPT TO REPAIR
- h. Other pertinent information (use reverse side if necessary): _____

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it **must** go through a platting process (separate from rezone request).

The filing fee of **\$300 + \$10 per acre (\$750 max)** (payable to the City of Waterloo) is required (round amount down to nearest \$10 increment). **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. If the request is denied no new petition covering the same or portion of the same property shall be filed with or considered by the Planning, Programming, and Zoning Commission until four (4) months have elapsed from the date of denial by the Waterloo City Council. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo City Council in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.

[Signature]
 Signature of Applicant _____ Date _____

[Signature]
 Signature of Owner _____ Date _____

REQUEST: Request by ZAYN Properties LLC for a Special Permit to allow for approximately 155,000 cubic feet of rubble fill to allow for the construction of a commercial building in the “M-1” Light Industrial District located south of 2345 Osage Avenue.

APPLICANT: ZAYN Properties LLC, 415 Winding Ridge Road, Cedar Falls, Iowa 50613

GENERAL DESCRIPTION: The applicant is asking for a Special Permit to allow for 155,000 cubic feet of rubble fill to allow for construction of a automotive repair shop.

IMPACT ON NEIGHBORHOOD The request would not appear to have a negative impact on the area. While there are residences along the north side of Osage Road they are at a higher elevation than the proposed rubble fill and commercial building site on the south side.

VEHICULAR & PEDESTRIAN TRAFFIC: The proposed special permit request would not appear to have a negative impact upon existing pedestrian and traffic conditions in the area. The site in question is served by Evans Road and Osage Road, which are local streets that connect to Dubuque Road, which is a Principal Arterial.

TRAIL PLAN: There are no trails or sidewalks in the immediate vicinity.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: The site is currently zoned “M-1” Light Industrial District and has been zoned as such since the adoption of the Zoning Ordinance No. 2479 in 1969. Surrounding land uses and their zoning are as follows:

North – Residential properties and vacant land zoned “R-2” One and Two Family Residence District.

South – Canadian National Railroad, Dubuque Road and the City of Evansdale zoned “M-1” Light Industrial District.

East – Single family residence zoned “A-1” Agricultural District.

West – Canadian National Railroad, Dubuque Road, Commercial buildings zoned “M-1” Light Industrial District and the City of Evansdale zoned “M-1” Light Industrial District.

BUFFERS REQUIRED/ NEEDED: There would appear to be enough screening along the south side of Osage Road from the residences to the north.

DRAINAGE: The final fill plan will need to be approved by the Engineering Department and the applicants will need to submit a drainage plan when the property is developed.

DEVELOPMENT HISTORY: The area is composed of residential properties built between 1979 and 2023, a agricultural building built in 2014, and commercial/industrial buildings built between 1966 and 2008.



Picture 1: Looking at fill site from Evans Road.



Picture 2: Looking toward Osage Road.



Picture 3: Looking north along Evans Road toward Osage Road.



Picture 4: Looking south toward Canadian National Railroad, Dubuque Road and the City of Evansdale.



Picture 5: Looking south along Evans Road toward the Canadian National Railroad, and Dubuque Road.

- FLOODPLAIN:** The property in question is not located within a floodplain as indicated on Federal Insurance Administration's Flood Insurance Rate Map, Community Number 19013C0306F, dated July 18, 2011.
- PUBLIC/OPEN SPACES/SCHOOLS:** There are no schools in the immediate vicinity.
- UTILITIES: WATER, SANITARY SEWER, STORM SEWER.** There is a 8" sanitary sewer Line along Osage Road. There is overhead power lines located on the north side of Osage Road and the west side of Evans Road.
- RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:** The Future Land Use Map designates this area as *Mixed Commercial: Medium to High Density Residences, Professional Offices, Neighborhood Businesses*. This request is not in conformance with the Future Land Use Map and Comprehensive Plan for this area however, the Future Land Use Map is used as a guide and it is noted that the property has been zoned "M-1" since the adoption of the Zoning Ordinance in 1969.

STAFF ANALYSIS – ZONING ORDINANCE: The applicants are requesting a special permit to allow for approximately 155,000 cubic feet of rubble fill in order to level out the property in question.

The applicants are planning to install the rubble fill in order to construct a new automotive repair facility.

While the property does border the south side of Osage Road the property is located at a lower elevation than the residences along the north side of Osage Road and should not have a negative effect to the residences.

STAFF ANALYSIS – SUBDIVISION ORDINANCE: There are no plans to subdivide the property.

STAFF RECOMMENDATION: Therefore, staff recommends that the request by ZAYN Properties LLC for a Special Permit to allow for approximately 155,000 cubic feet of rubble fill to allow for the construction of a commercial building in the “M-1” Light Industrial District located south of 2345 Osage Avenue be approved for the following reasons:

1. It would appear the special permit would not have a negative impact on the surrounding area.
2. The request will not have a negative impact on traffic conditions in the area.

Subject to the following conditions:

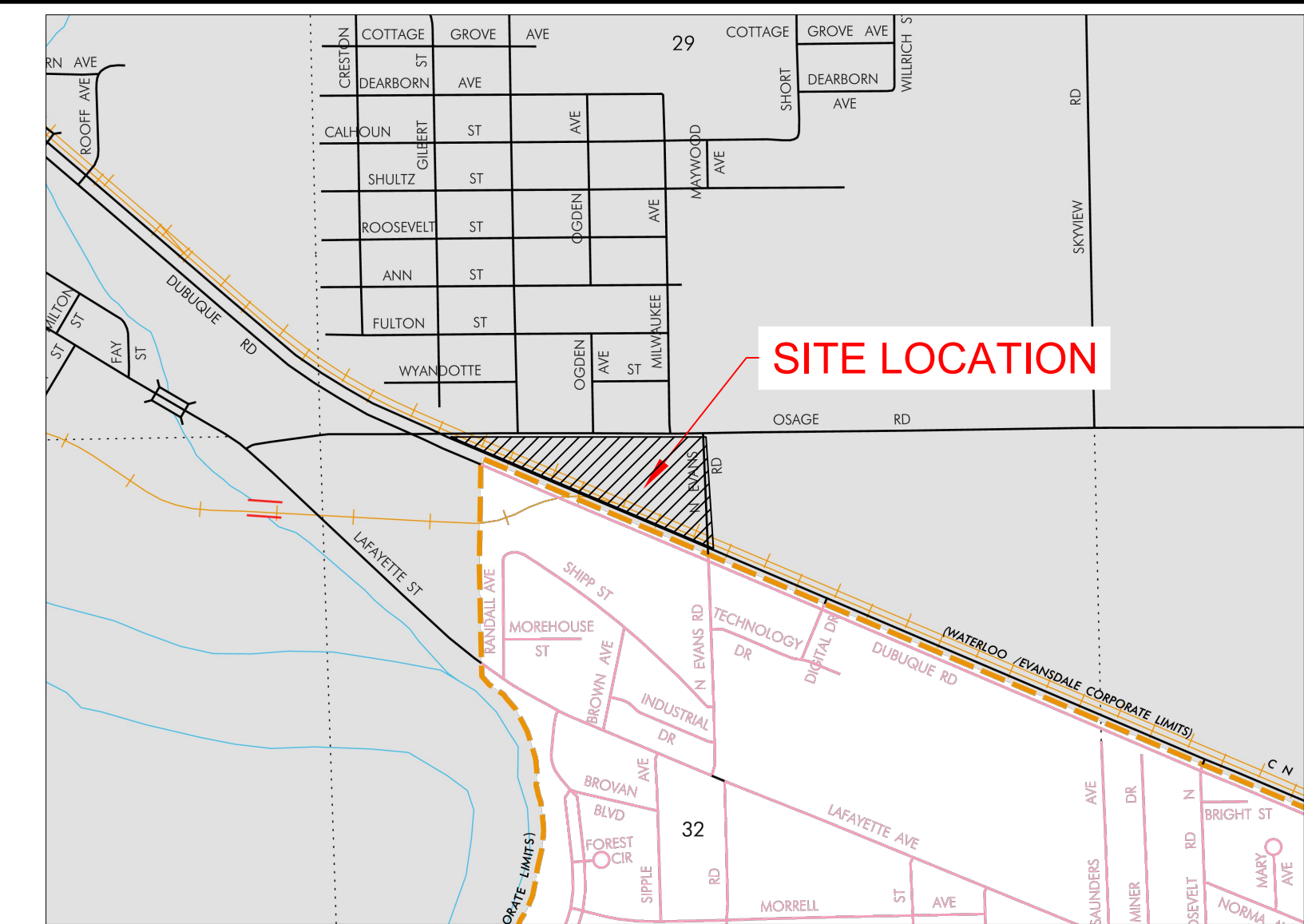
1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, drainage, etc.

City of Waterloo Planning, Programming and Zoning Commission May 14, 2024



**South of 2345 Osage Avenue
Special Permit
ZAYN Properties LLC**

**CITY OF WATERLOO, IOWA
BLACK HAWK COUNTY
PLANS FOR THE PROPOSED
PROPOSED BUILDING AND SITE PLAN
CONSTRUCTION AT THE NORTHWEST
QUADRANT OF N. EVANS RD. AND OSAGE AVE.
PREPARED BY VJ ENGINEERING
APRIL, 2024**



LAND USE:
TOTAL SITE AREA = 8.50 ACRES
EXISTING IMPERVIOUS AREA = 0.08 ACRES
TOTAL IMPERVIOUS AREA = 0.73 ACRES
SITE IS 08.6% IMPERVIOUS

FINISHED FLOOR ELEVATION:
FFE = 871.00

OWNER/APPLICANT:
ZAYN PROPERTIES LLC
1303 N. FEDERAL AVENUE
MASON CITY, IOWA 50401

SITE PLAN PREPARED BY:
VJ ENGINEERING
1501 TECHNOLOGY PARKWAY SUITE 100,
CEDAR FALLS, IOWA 50613

PROJECT SITE ADDRESS:
NW QUADRANT AT INTERSECTION OF N.
EVANS RD. AND OSAGE AVE.
WATERLOO, IOWA 50701

CURRENT ZONING:
M1 - LIGHT INDUSTRIAL DISTRICT

LEGEND		
Existing	Proposed	
---	---	BOUNDARY LINE
---	---	EASEMENT LINE
---	---	PROPERTY LINE
---	---	SECTION/R.O.W. LINE
---	---	SETBACK LINE
---	---	CONTOUR LINE
---	---	ELECTRIC LINE
---	---	FENCE LINE
---	---	FIBER LINE
---	---	GAS LINE
---	---	OVERHEAD UTILITY LINE
---	---	SANITARY SEWER LINE
---	---	SILT FENCE LINE
---	---	STORM SEWER LINE
---	---	TELEPHONE LINE
---	---	TELEVISION LINE
---	---	WATER LINE
○	○	PROPERTY CORNER
⊕	⊕	BENCH MARK
●	●	CONIFEROUS TREE
○	○	DECIDUOUS TREE
⊙	⊙	GAS MANHOLE
⊙	⊙	GAS VALVE
⊙	⊙	SANITARY MANHOLE
---	---	SIGN
⊙	⊙	STORM INTAKE
⊙	⊙	STORM MANHOLE
⊙	⊙	TELEPHONE PEDESTAL
⊙	⊙	UTILITY POLE
⊙	⊙	WATER HYDRANT
⊙	⊙	WATER SHUT OFF
⊙	⊙	WATER VALVE

INDEX OF SHEETS		
SHEET. NO.	SHEET NAME	REVISION DATE
1	COVER SHEET	
2	QUANTITIES AND ESTIMATE REFERENCE	
3	EXISTING CONDITIONS AND DEMO	
4	CIVIL SITE PLAN	
5	SITE DETAILS	
6	STORM WATER POLLUTION PREVENTION PLAN	

NOTES:
1.) SCALE NOTED ON TITLE BLOCK RELATES TO FULL-SIZED PLOTS (22x34).
2.) CONTRACTOR SHALL CONTACT ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO CONTINUING TO WORK IF DISCREPANCIES ARE FOUND IN PLAN SET.

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

THE CONSTRUCTION OF THE SANITARY SEWER, STORM SEWER, AND WATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS WITHIN THE CITY OF WATERLOO, IOWA, AND THE STATEWIDE URBAN DESIGNS AND SPECIFICATIONS (SUDAS).

LICENSED PROFESSIONAL ENGINEER

22647

Daniel M. Arends

IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

DANIEL M. ARENDS, P.E. _____ DATE

License number 22647

My license renewal date is December 31, 2024

Pages or sheets covered by this seal: _____

All sheets in Index



228121

VJ Engineering
1501 Technology Parkway
Cedar Falls, Iowa - 319-266-5829

N. EVANS ROAD ABBAS SITE PLAN
NW QUADRANT OF N. EVANS RD. AND OSAGE AVE.
WATERLOO, BLACK HAWK COUNTY, IOWA

1 OF 6

Scale
1" = 50'

Drawn
SJC

Reviewed
DMA

Date
2024.04.01

Revisions

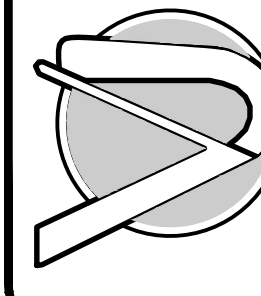
228121

ITEM	BID ITEM	UNIT	QUANTITY
DIVISION 2 - EARTHWORK			
1	TOPSOIL, ON-SITE	CY	2,374
2	EXCAVATION, CLASS 10	CY	1,224
3	SUBGRADE PREPARATION	SY	3,118
4	SUBBASE, MODIFIED, 6" (DEPTH)	SY	1,018
DIVISION 4 - SEWERS AND DRAINS			
5	SANITARY SEWER SERVICE STUB, SDR 23.5 PVC, 2"	LF	161
6	SANITARY SEWER CLEANOUT, 2"	EA	2
7	STORM SEWER TRENCHED, HDPE, 8"	LF	48
8	PIPE APRON, HDPE, 8"	EA	1
DIVISION 5 - WATER MAINS AND APPURTENANCES			
9	FITTING, 45 DEG. MJ BEND, 1/4"	EA	1
10	FITTING, 90 DEG. MJ BEND, 1/4"	EA	1
11	WATER SERVICE PIPE, COPPER, 1/4"	LF	124
DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWERS			
12	6" PVC STAND PIPE	LS	1
DIVISION 7 - STREETS AND RELATED WORK			
13	PAVEMENT, PCC, 6" (THICKNESS), C-4 (MIX TYPE)	SY	1,018
14	REMOVAL OF DRIVEWAY, GRAVEL	SY	360
15	DRIVEWAY, GRANULAR, 9" (THICKNESS)	SY	2,100
16	PAVEMENT REMOVAL, PCC	SY	20
DIVISION 9 - SITE WORK AND LANDSCAPING			
17	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING	AC	1.51
18	PLANTS	LS	1
19	COMPOST BLANKET, 2" (THICKNESS)	SF	405
20	COMPOST BLANKET, 3" (THICKNESS)	SF	10,590
21	SILT FENCE	LF	1,225
22	STABILIZED CONSTRUCTION ENTRANCE	SY	489
23	INLET PROTECTION DEVICE, WATTLE	EA	1
DIVISION 11 - MISCELLANEOUS			
24	MOBILIZATION	LS	1
25	CONCRETE WASHOUT	LS	1

ITEM	BID ITEM	ESTIMATE REFERENCE
DIVISION 2 - EARTHWORK		
1	TOPSOIL, ON-SITE	REFER TO SUDAS SECTION 2010, 1.08, D, 1 FOR MEASUREMENT AND PAYMENT. TOPSOIL QUANTITY ASSUMES AN 8" DEPTH OF TOPSOIL PRESENT THROUGHOUT THIS SITE.
2	EXCAVATION, CLASS 10	REFER TO SUDAS SECTION 2010, 1.08, E FOR MEASUREMENT AND PAYMENT. APPROXIMATELY 2,868.9 CY FILL, 1,645.2 CY CUT, WITH A NET OF 1,223.7 CY FILL. THIS ITEM DOES NOT ACCOUNT FOR TOPSOIL, SUBBASE, BUILDING EXCAVATION, OR PAVEMENT QUANTITIES.
3	SUBGRADE PREPARATION	REFER TO SUDAS SECTION 2010, 1.08, G FOR MEASUREMENT AND PAYMENT. ALL PAVED AREAS SHALL RECEIVE SUBGRADE PREPARATION PRIOR TO PLACING ANY SUBBASE, UNLESS APPROVED BY THE ENGINEER OF RECORD.
4	SUBBASE, MODIFIED, 6" (DEPTH)	REFER TO SUDAS SECTION 2010, 1.08, J FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS. REFER TO SHEET 5 OF 6 FOR ADDITIONAL PAVEMENT SECTION DETAIL.
DIVISION 4 - SEWERS AND DRAINS		
5	SANITARY SEWER SERVICE STUB, SDR 23.5 PVC, 2"	REFER TO SUDAS SECTION 4010, 1.08, E FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND ELEVATIONS.
6	SANITARY SEWER CLEANOUT, 2"	REFER TO SUDAS SECTION 4010, 1.08, I FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND ELEVATIONS.
7	STORM SEWER, TRENCHED, HDPE, 8"	REFER TO SUDAS SECTION 4020, 1.08, A, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATION AND ELEVATION INFORMATION.
8	PIPE APRON, HDPE, 8"	REFER TO SUDAS SECTION 4030, 1.08, B FOR MEASUREMENT AND PAYMENT. REFER TO SUDAS SHEET 4 OF 6 FOR LOCATION AND ELEVATION. RURNISHING, PLACING, AND COMPACTING 5 TONS OF CLASS D REVETMENT SHALL BE CONSIDERED INCIDENTAL TO THIS ITEM
DIVISION 5 - WATER MAINS AND APPURTENANCES		
9	FITTING, 45 DEG. MJ BEND, 1/4"	REFER TO SUDAS SECTION 5010, 1.08, C, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS.
10	FITTING, 90 DEG. MJ BEND, 1/4"	REFER TO SUDAS SECTION 5010, 1.08, E, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND GRADE INFORMATION.
11	WATER SERVICE PIPE, COPPER, 1/4"	REFER TO SUDAS SECTION 5010, 1.08, E, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND GRADE INFORMATION.
DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWERS		
12	6" PVC STAND PIPE	THIS ITEM SHALL BE MEASURED AND PAID FOR BY LUMP SUM. PAYMENT FOR THIS ITEM SHALL INCLUDE, BUT NOT BE LIMITED TO EXCAVATION, FURNISHING AND INSTALLING STRUCTURE AND ORIFICE PLATE; FURNISHING, PLACING, AND COMPACTING BEDDING AND BACKFILL MATERIAL; BASE; PIPE CONNECTIONS AND ANYOTHER ITEMS ASSOCIATED WITH STAND PIPE. APPROXIMATELY 4 TONS OF EROSION STONE SHALL BE CONSIDERED INCIDENTAL TO THIS ITEM. REFER TO SHEET 5 OF 6 FOR ADDITIONAL DETAIL.
DIVISION 7 - STREETS AND RELATED WORK		
13	PAVEMENT, PCC, 6" (THICKNESS), C-4 (MIX TYPE)	REFER TO SUDAS SECTION 7010, 1.08, A FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND GRADE INFORMATION. REFER TO SHEET 5 OF 6 FOR PAVEMENT SECTION DETAIL.
14	REMOVAL OF DRIVEWAY, GRAVEL	REFER TO SUDAS SECTION 7030, 1.08, A FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 3 OF 6 FOR LOCATION.
15	DRIVEWAY, GRANULAR, 9" (THICKNESS)	REFER TO SUDAS SECTION 7030, 1.08, H, 2 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS AND GRADE INFORMATION. REFER TO SHEET 5 OF 6 FOR PAVEMENT SECTION DETAIL.
16	PAVEMENT, REMOVAL, PCC	REFER TO SUDAS SECTION 7040, 1.08, H FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 3 OF 6 FOR LOCATION.
DIVISION 9 - SITE WORK AND LANDSCAPING		
17	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING	REFER TO SUDAS SECTION 9010, 1.08, A FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS.
18	PLANTS	REFER TO SUDAS SECTION 9030, 1.08, C FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 4 OF 6 FOR LOCATIONS.
19	COMPOST BLANKET, 2" (THICKNESS)	REFER TO SUDAS SECTION 9040, 1.08, B FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 6 OF 6 FOR LOCATIONS.
20	COMPOST BLANKET, 3" (THICKNESS)	REFER TO SUDAS SECTION 9040, 1.08, B FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 6 OF 6 FOR LOCATIONS.
21	SILT FENCE	REFER TO SUDAS SECTION 9040, 1.08, N, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 6 OF 6 FOR LOCATIONS.
22	STABILIZED CONSTRUCTION ENTRANCE	REFER TO SUDAS SECTION 9040, 1.08, O, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 6 OF 6 FOR LOCATION. REFER TO SHEET 5 OF 6 FOR ADDITIONAL DETAIL.
23	INLET PROTECTION DEVICE, WATTLE	REFER TO SUDAS SECTION 9040, 1.08, T, 1 FOR MEASUREMENT AND PAYMENT. REFER TO SHEET 6 OF 6 FOR LOCATION.
DIVISION 11 - MISCELLANEOUS		
24	MOBILIZATION	REFER TO SUDAS SECTION 11,020, 1.08, A FOR MEASUREMENT AND PAYMENT.
25	CONCRETE WASHOUT	REFER TO SUDAS SECTION 11,050, 1.08, A FOR MEASUREMENT AND PAYMENT.

228121

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1501 Technology Parkway
Cedar Falls, Iowa - 319-266-5829

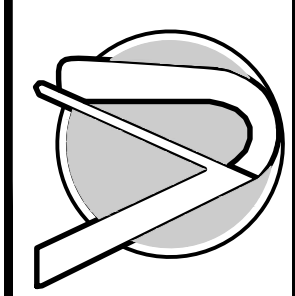


N. EVANS ROAD ABBAS SITE PLAN
NW QUADRANT OF N. EVANS RD. AND OSAGE AVE.
WATERLOO, BLACK HAWK COUNTY, IOWA

2	OF	6
Scale		
Drawn		
SJC		
Reviewed		
DMA		
Date		
2024.04.01		
Revisions		

228121

QUANTITIES AND ESTIMATE REFERENCE



GENERAL DEMOLITION NOTES:

- 1.) ALL ITEMS NOTED FOR REMOVAL SHALL BE INCLUDED IN THE CONTRACT FOR GENERAL CONSTRUCTION.
- 2.) LIMITS OF REMOVAL SHOWN ON DEMOLITION PLAN ARE APPROXIMATE. ACTUAL QUANTITIES MAY DIFFER DUE TO FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION, REMOVAL AND RESTORATION WORK.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL NOTED MATERIALS FROM SITE AND DISPOSING OF THEM IN AN APPROVED METHOD.
- 4.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL. BONDING AND PERMIT FEES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 5.) ITEMS NOTED FOR REMOVAL SHALL INCLUDE ANY UNDERGROUND COMPONENT INCLUDING, BUT NOT LIMITED TO: FOUNDATION, SLABS, TREE ROOTS, PIPES, WIRES, AND ANY OTHER MATERIAL.
- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PLUGGING EXISTING UTILITIES. IN THE CASE THAT THE CONTRACTOR IS NOT ABLE TO CUT AND PLUG THE EXISTING UTILITY THEY SHALL BE REQUIRED TO COORDINATE WITH THE EXISTING UTILITY COMPANY. (ALL SERVICES MAY NOT BE SHOWN ON THIS DRAWING).
- 7.) BACKFILL EXCAVATIONS RESULTING FROM DEMOLITION SHALL MEET REQUIREMENTS PROVIDED BY GEO-TECHNICAL ENGINEER.
- 8.) THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO PROVIDE A CLEAN EDGE (MATCH TO EXISTING SAW-CUTS WHEN POSSIBLE).
- 9.) UPON COMPLETION OF SITE DEMOLITION THE PROPERTY SHALL BE CLEAN AND CLEAR SITE WITH DEVOID OF ALL NOTED ITEMS FOR REMOVAL.

FEMA INFORMATION:

ZONE X - AREAS TO BE DETERMINED OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN - PER FEMA PANEL 19013C0306F EFFECTIVE JULY 18, 2011

PROPERTY INFORMATION:

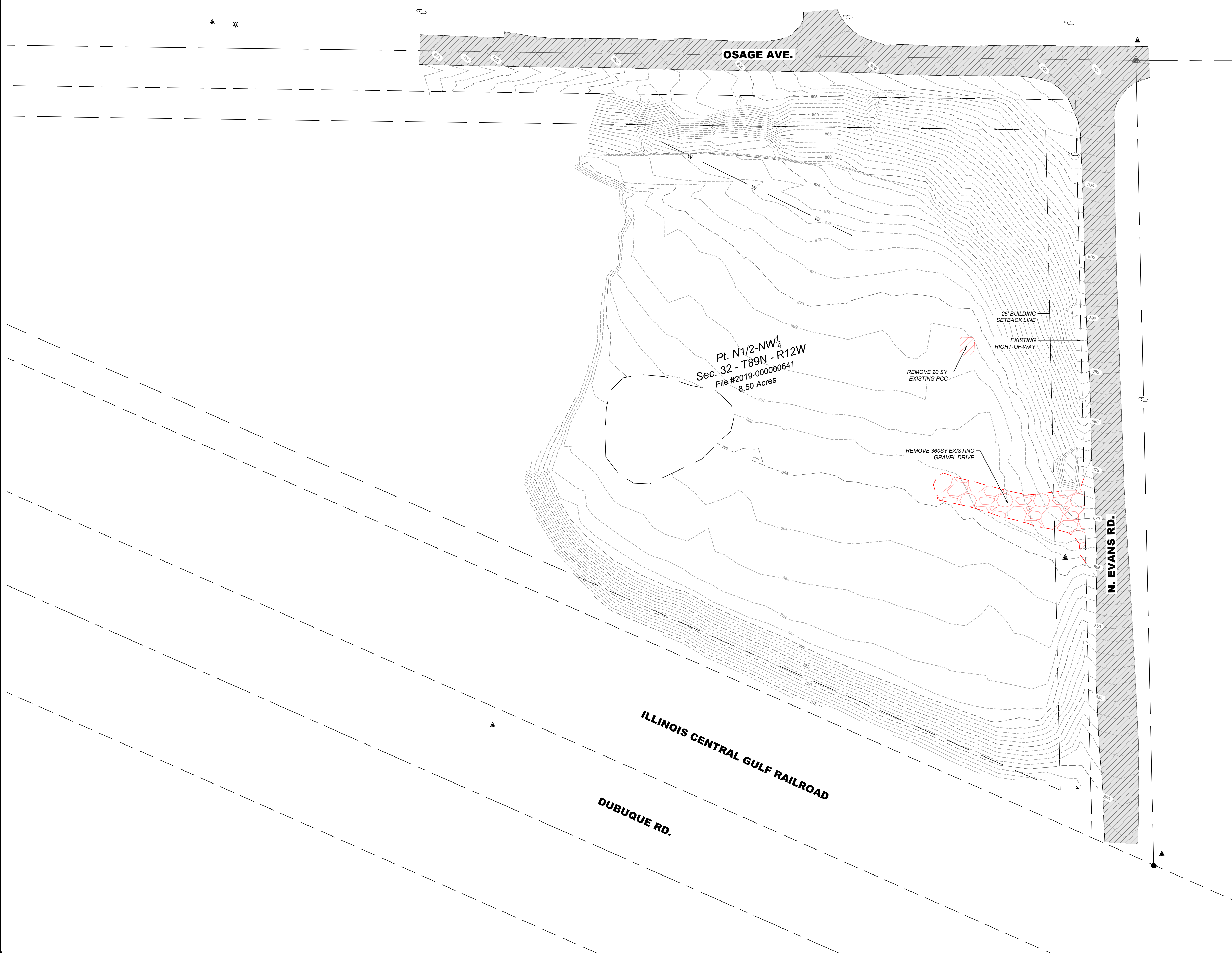
THAT PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION NO. 32, TOWNSHIP NO. 89 NORTH, RANGE NO. 12 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WATERLOO, IOWA, LYING NORTHEASTERLY OF THE NORTHEASTERLY RIGHT OF WAY LINE OF THE ILLINOIS CENTRAL GULF RAILROAD COMPANY AS NOW ESTABLISHED 50 FEET NORMALLY DISTANT FROM AND PARALLEL WITH THE CENTERLINE OF THE MAIN TRACK. ALSO DESCRIBED AS UNPLATTED WATERLOO EAST, THAT PART OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 89, RANGE 12 LYING SOUTH OF OSAGE ROAD, WEST OF EVANS ROAD, AND NORTH OF HIGHWAY 20.

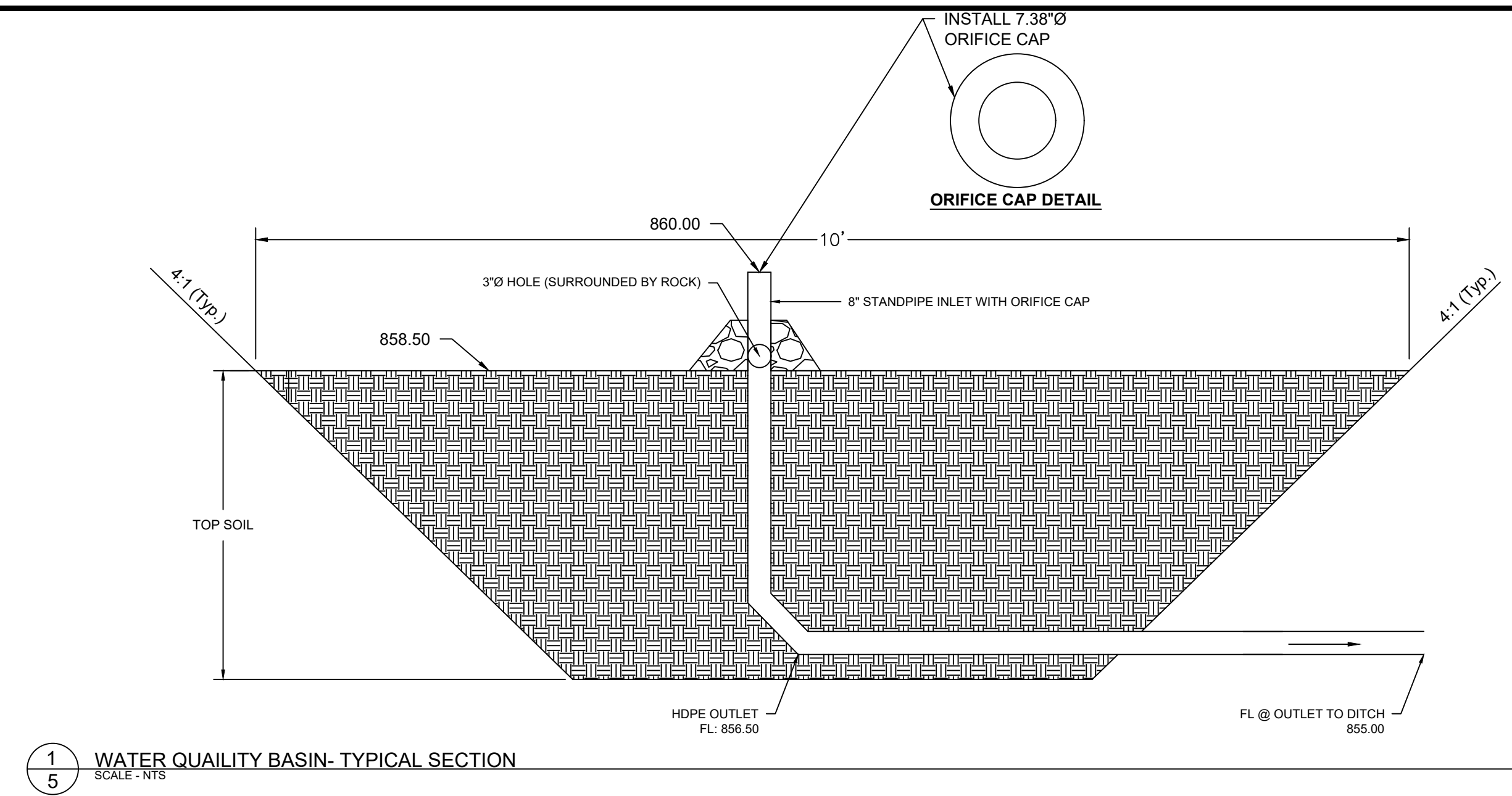
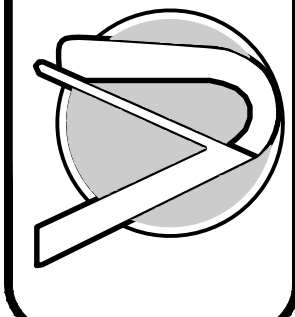
SUBJECT TO COVENANTS, RESTRICTIONS, ORDINANCES, EASEMENTS, AND LIMITED ACCESS PROVISIONS OF RECORD.

AS RECORDED IN FILE 2019-00000641 OF THE BLACK HAWK COUNTY RECORDER.

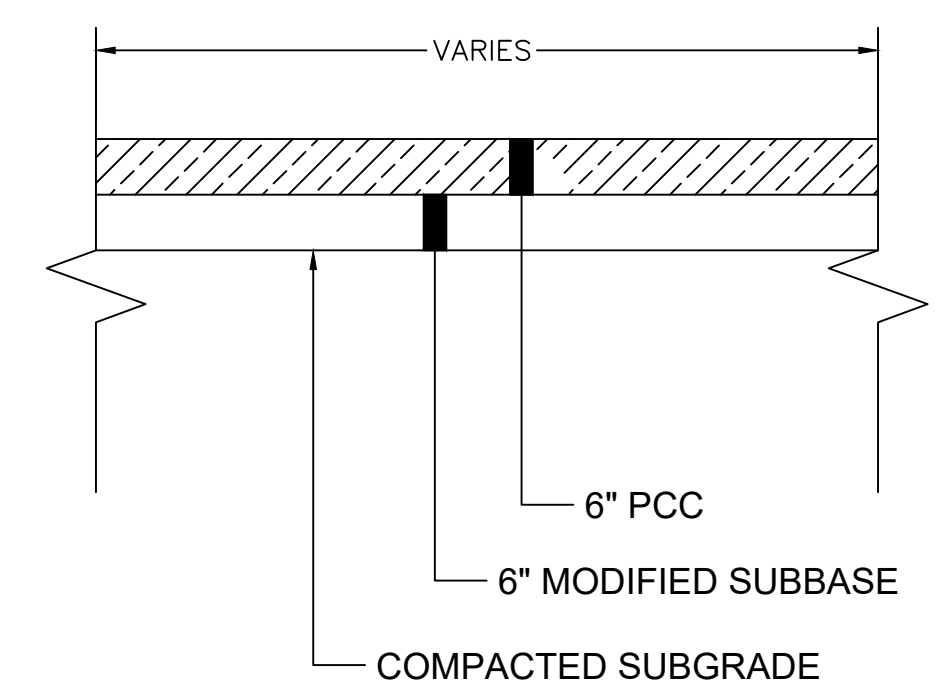
Existing	Proposed	
---	---	BOUNDARY LINE
---	---	EASEMENT LINE
---	---	PROPERTY LINE
---	---	SECTION/R.O.W. LINE
---	---	SETBACK LINE
---	---	CONTOUR LINE
---	---	ELECTRIC LINE
---	---	FENCE LINE
---	---	FIBER LINE
---	---	GAS LINE
---	---	OVERHEAD UTILITY LINE
---	---	SANITARY SEWER LINE
---	---	SILT FENCE LINE
---	---	STORM SEWER LINE
---	---	TELEPHONE LINE
---	---	TELEVISION LINE
---	---	WATER LINE
o	o	PROPERTY CORNER
+	+	BENCH MARK
*	*	CONIFEROUS TREE
o	o	DECIDUOUS TREE
o	o	GAS MANHOLE
o	o	GAS VALVE
o	o	SANITARY MANHOLE
o	o	SIGN
o	o	STORM INTAKE
o	o	STORM MANHOLE
o	o	TELEPHONE PEDESTAL
o	o	UTILITY POLE
o	o	WATER HYDRANT
o	o	WATER SHUT OFF
o	o	WATER VALVE

REMOVALS LEGEND	
[Hatched Box]	REMOVE PCC PAVEMENT
[Red Hatched Box]	REMOVE GRAVEL
[Diagonal Hatched Box]	EXISTING PCC PAVEMENT

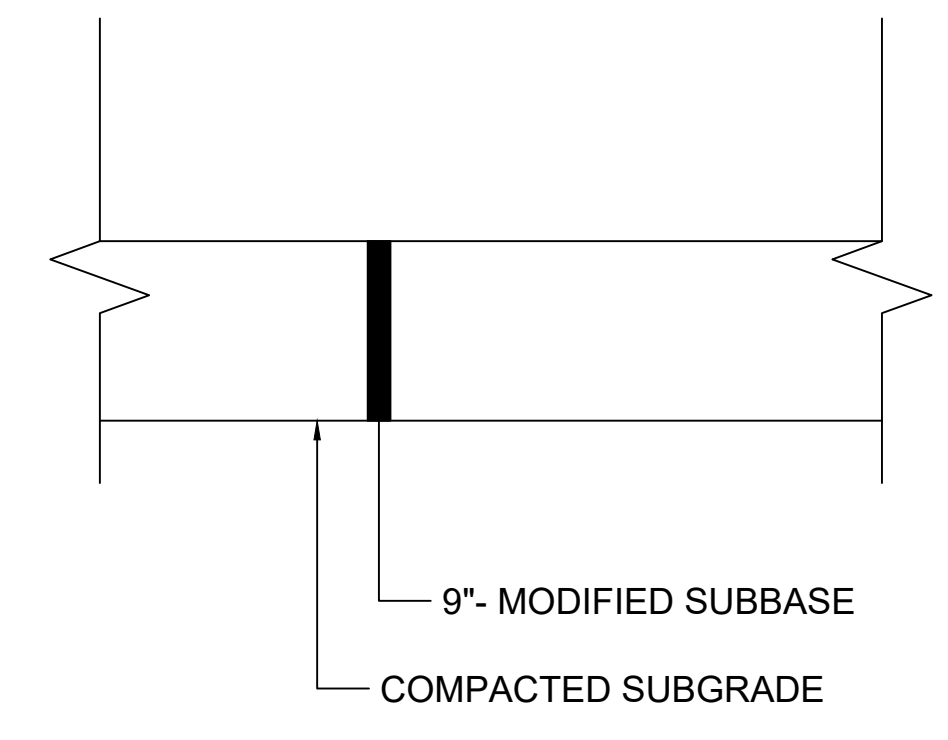




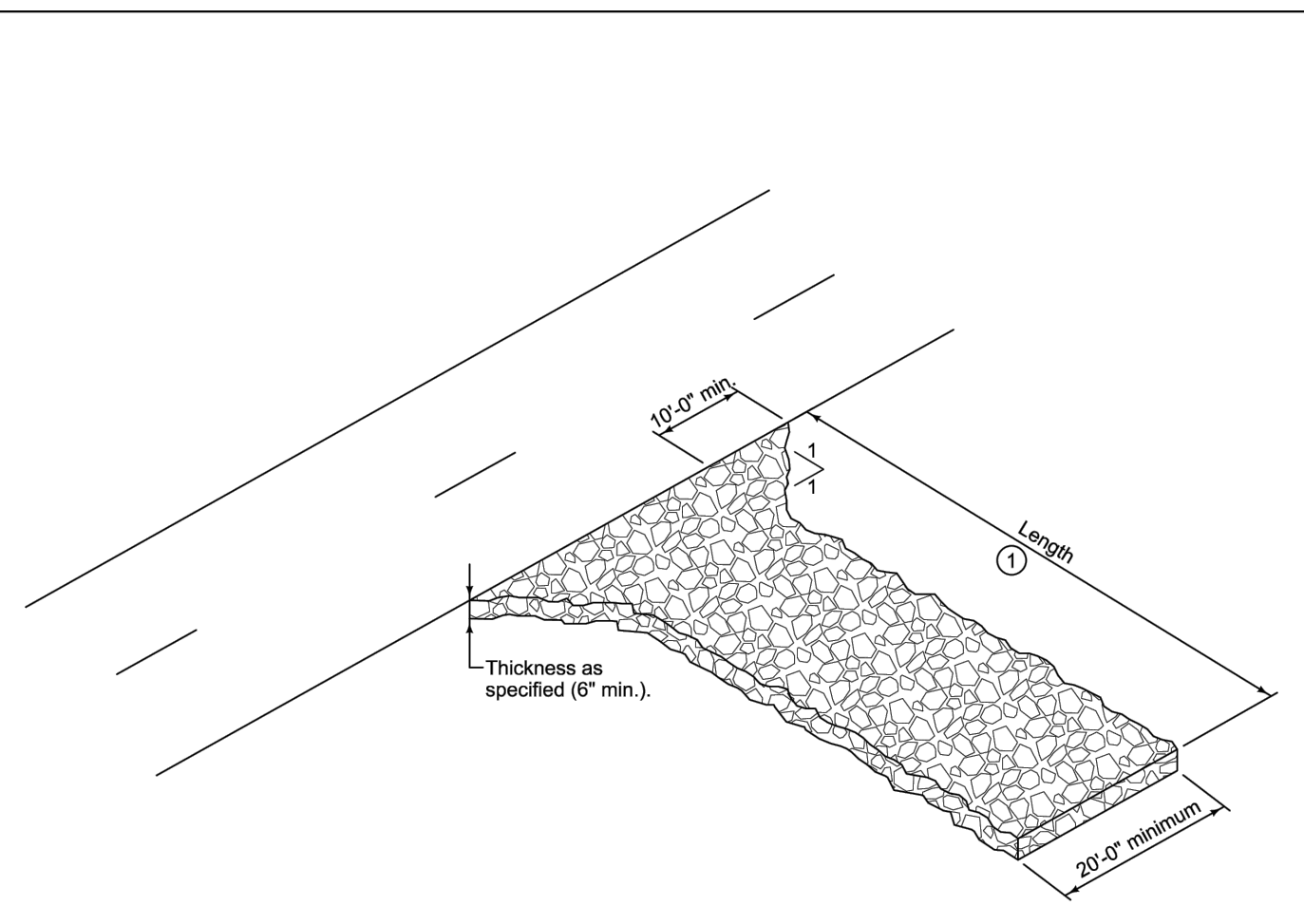
1
5 WATER QUALITY BASIN- TYPICAL SECTION
SCALE - NTS



2
5 6" PCC PAVEMENT SECTION
SCALE - NTS

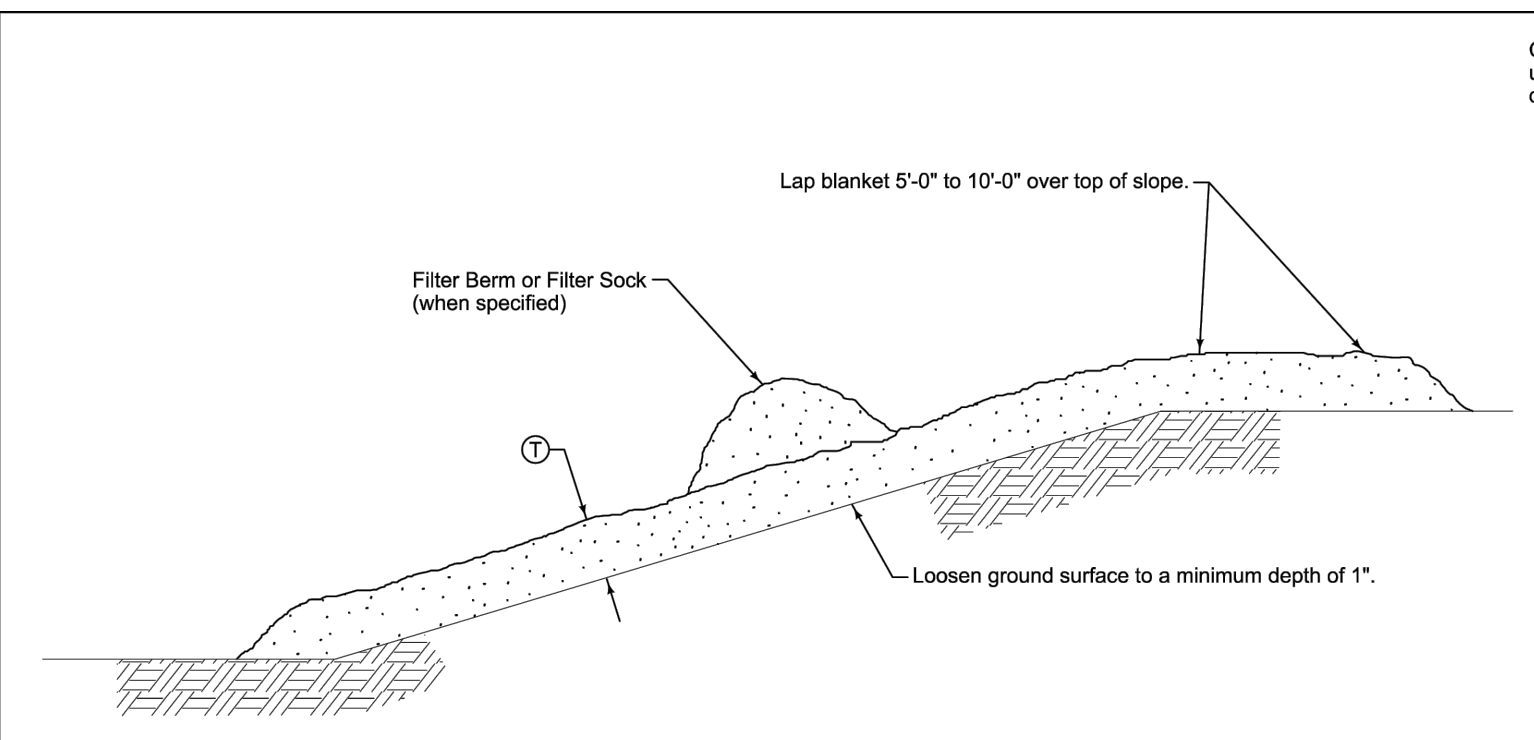


3
5 GRANULAR LOT SECTION
SCALE - NTS



1 Entrance length: 50 foot minimum (30 foot for single family residential), or as specified in the contract documents. Length of entrance may be increased if sediment track-out occurs.

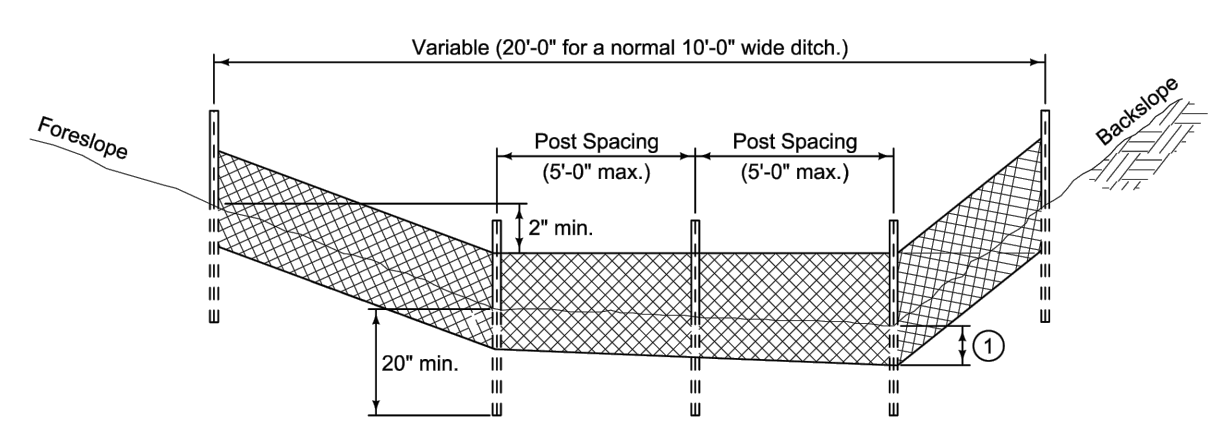
SUDAS 9040.120	
SUDAS Standard Specifications	
STABILIZED CONSTRUCTION ENTRANCE	



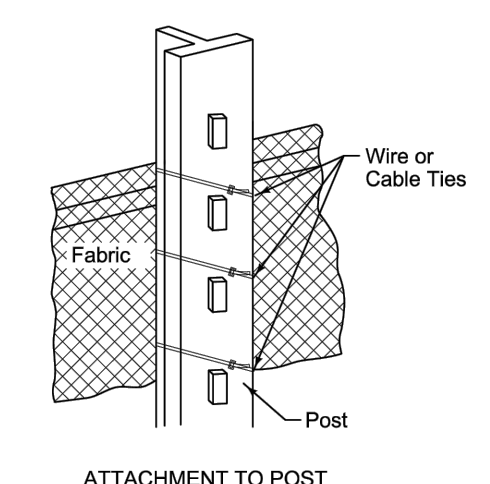
Compost blanket may be vegetated or unvegetated as specified in the contract documents.

SLOPE	BLANKET THICKNESS
3:1	3"
≤ 4:1	2"

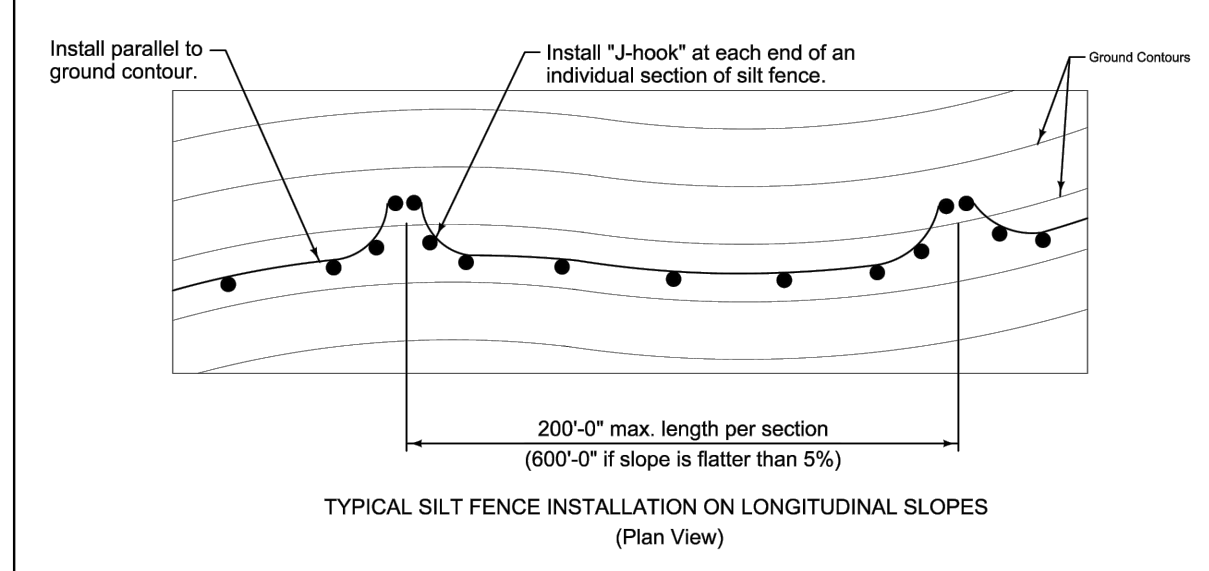
SUDAS 9040.101	
SUDAS Standard Specifications	
COMPOST BLANKET	



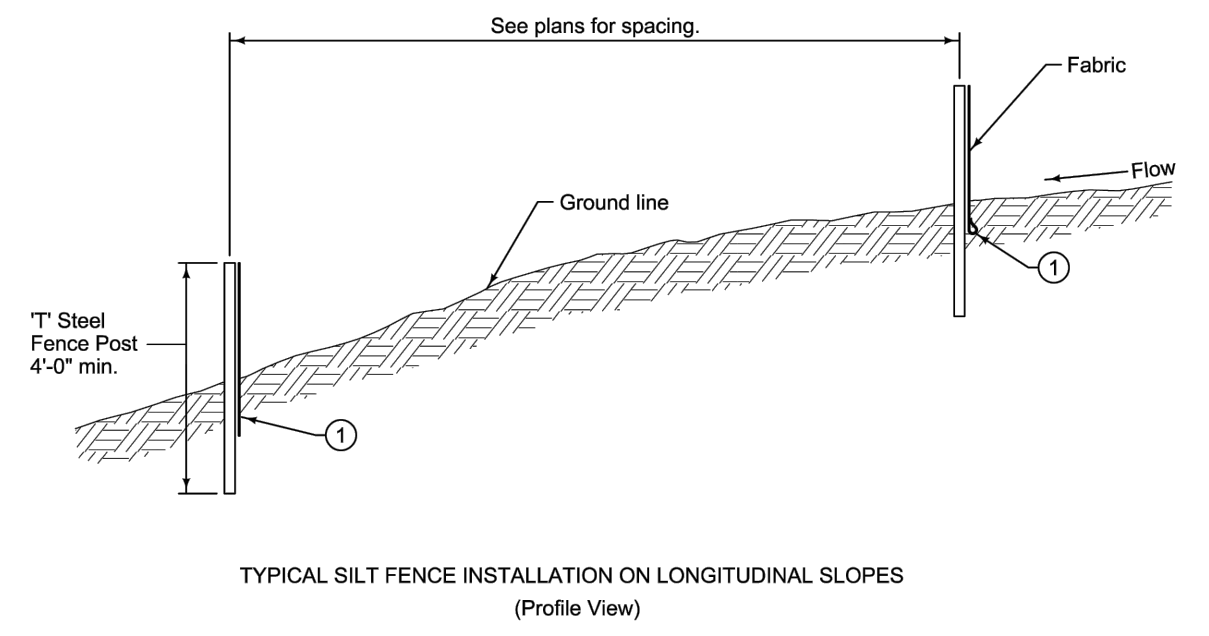
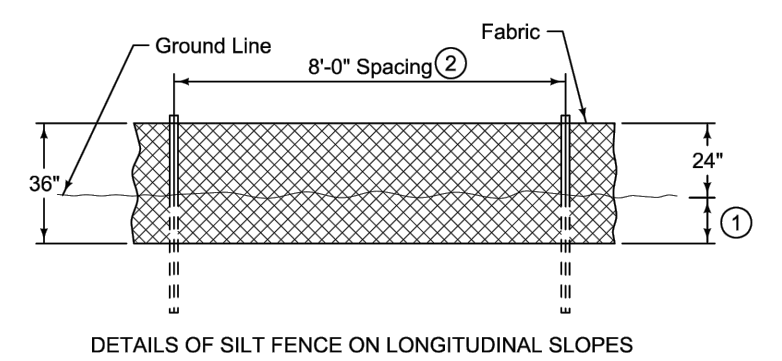
1 Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).



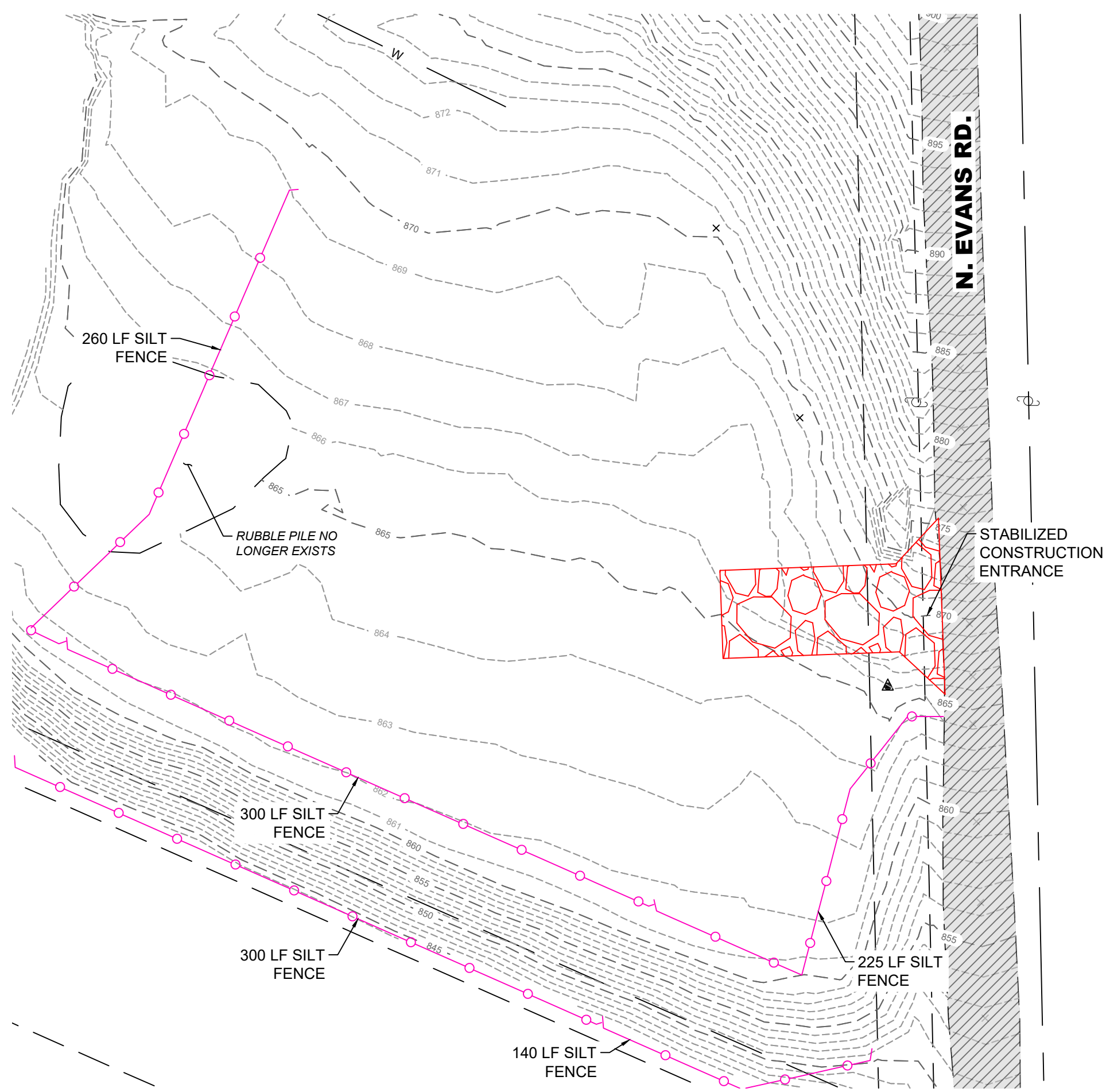
SUDAS 9040.119	
SUDAS Standard Specifications	
SILT FENCE	



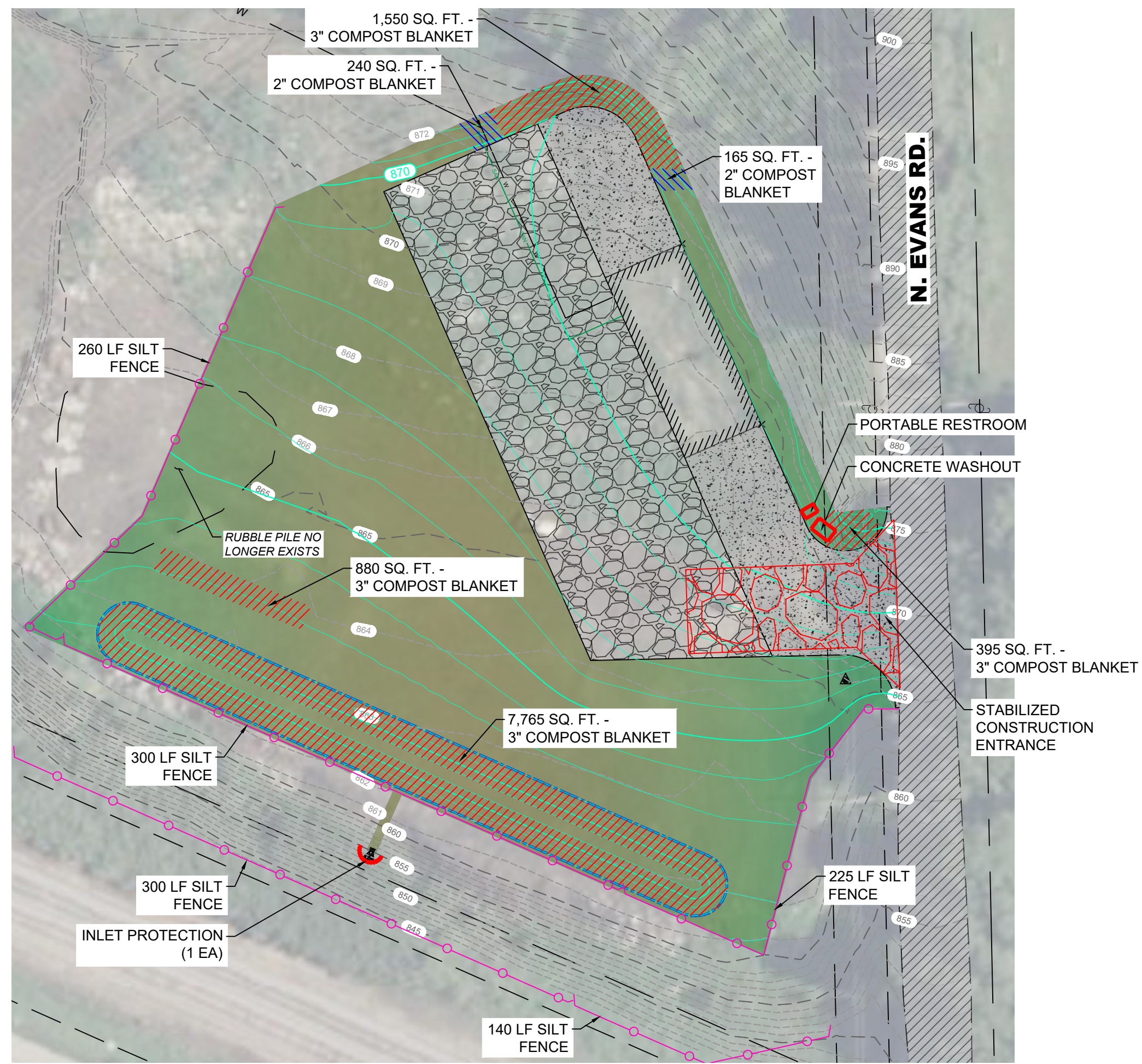
1 Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).
2 Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.



SUDAS 9040.119	
SUDAS Standard Specifications	
SILT FENCE	



PRELIMINARY EROSION CONTROL



INTERIM EROSION CONTROL

GENERAL SWPPP NOTES:

- 1.) EROSION AND SEDIMENT CONTROL PRACTICES SHALL CONFORM TO THE STANDARDS SET FORTH BY LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 2.) THE SOIL EROSION CONTROLS SHALL BE INSPECTED EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY 0.25 INCH (OR GREATER) RAIN EVENT. A WRITTEN LOG OF THESE INSPECTIONS AND IMPROVEMENTS TO SITE CONTROLS SHALL BE KEPT ON-SITE. THESE LOGS SHALL INCLUDE THE DATE OF INSPECTION, NAME OF INSPECTOR, OBSERVED WEATHER CONDITIONS, CORRECTIVE ACTIONS TAKE TO CORRECT EXISTING PROBLEMS AND THE DATE THAT THE ACTIONS TOOK PLACE.
- 3.) TEMPORARY SOIL STABILIZATION SHALL OCCUR IMMEDIATELY AFTER ROUGH GRADING IF THE AREA IS TO REMAIN IDLE LONGER THAN 14 DAYS. ANY DISTURBED AREA THAT WILL NOT BE WORKED ON WITHIN THE NEXT 14 DAYS MUST BE SEEDED AND MULCHED.
- 4.) SITE CLEANUP WILL BE DONE IN A MANNER THAT ENSURES THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- 5.) CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO REDUCE THE AMOUNT OF DISTURBED AREA AT ANY POINT IN TIME. OPERATIONS SHALL BE SCHEDULED AND PERFORMED ENSURING THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS. OPERATIONS SHALL BE SCHEDULED AND PERFORMED TO ENSURE TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS. CONTRACTOR SHALL REDUCE EFFECTS OF STORM WATER BY USING BEST MANAGEMENT PRACTICES LAID OUT IN SUDAS SECTION 9040.
- 6.) TRENCHES FOR UNDERGROUND UTILITY LINES AND PIPES SHALL BE TEMPORARILY STABILIZED IMMEDIATELY IF THEY ARE TO REMAIN INACTIVE FOR 14 DAYS. TRENCH DE-WATERING DEVICES SHALL DISCHARGE IN A MANNER THAT FILTERS SOIL-LADEN WATER BEFORE DISCHARGING IT TO A RECEIVING DRAINAGE DITCH OR POND. IF SEEDING, MULCHING OR OTHER EROSION AND SEDIMENT CONTROL MEASURES WERE PREVIOUSLY INSTALLED; THESE PROTECTIVE MEASURES SHALL BE REINSTALLED. PIPELINES WITH JOINTS THAT ALLOW A MANUFACTURED LENGTH OF PIPE TO BE PLACED IN THE TRENCH WITH THE PIPE JOINT ASSEMBLED/MADE IN THE TRENCH REQUIRE AN OPEN PIPELINE TRENCH THAT IS ONLY SLIGHTLY LONGER THAN THE LENGTH OF THE PIPE BEING INSTALLED. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY THAT CAN BE PLACED IN THE TRENCH AND BACKFILLED IN ONE WORKING DAY. NO MORE THAN 50 LINEAR FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORK DAY.
- 7.) WHEN USING CONSTRUCTION EQUIPMENT PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT THEY ARE NOT PROMOTING SOIL EROSION.
- 8.) PREVENTATIVE MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT SOIL STOCKPILES TO MINIMIZE ANY SOIL LOSS.
- 9.) SILT FENCE SHALL BE A MINIMUM 2 FEET FROM THE PROPERTY LINE IN AREAS WHERE WORK IS NEAR ADJACENT PROPERTIES.
- 10.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY AFTER FINAL GRADING. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED, AT WHICH POINT TEMPORARY MEASURES SHALL BE REMOVED. PERMANENT VEGETATION IS A GROUND COVER THAT IS DENSE ENOUGH TO COVER 80% OF THE SOIL SURFACE AND MATURE ENOUGH TO SURVIVE WINTER WEATHER CONDITIONS.
- 11.) ALL STORM-WATER MANAGEMENT AND WATER QUALITY BASINS SHALL BE CLEARED OF CONSTRUCTION SEDIMENT UPON PROJECT COMPLETION.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A PERMANENT ON-SITE BENCHMARK PRIOR TO CLEARING, GRUBBING, AND/OR DEMOLITION ACTIVITIES.
- 13.) NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO THE STORM-WATER RUNOFF.
- 14.) SOLID, SANITARY, AND TOXIC WASH SHALL BE DISPOSED OF IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BURNING, BURYING, POURING ONTO GROUND, OR INTO STORM SEWER ARE ALL PROHIBITED ACTIONS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND OTHER SUCH TOXIC OR HAZARDOUS WASTE.
- 15.) WASH OUT OF READY-MIX CONCRETE TRUCKS SHOULD OCCUR IN THE DESIGNATED AREA WHERE THE WASHING CAN COLLECT AND BE DISPOSED OF PROPERLY WHEN IT HARDENS.
- 16.) NO FUEL STORAGE SHALL BE PERMITTED ON-SITE.
- 17.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING NOTICE OF INTENT (NOI) AND NOTICE OF DISCONTINUATION (NOD) AS REQUIRED BY THE IOWA DNR.

EROSION CONTROL NOTES:

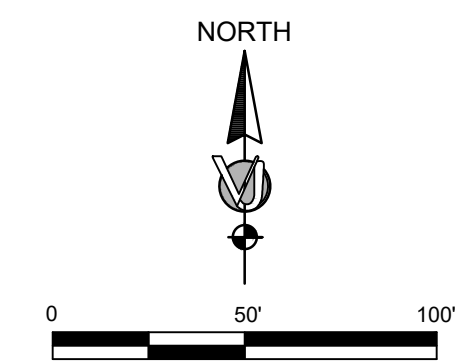
- 1.) THE SWPPP PLAN IS CONSIDERED TO BE A LIVE DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION ON THE PROJECT SITE, INSTALLING, AND UPDATING LOCATION ON THIS PLAN OF THE THE FOLLOWING ITEMS:
 - SPILL KIT
 - STABILIZED CONSTRUCTION ENTRANCE
 - CONSTRUCTION MATERIALS AND EQUIPMENT STORAGE AREA
 - SOIL AND TOPSOIL STOCKPILE AREA
 - PORTABLE TOILETS- SHALL BE STAKED DOWN
 - WASTE DISPOSAL AREA
 - CONCRETE WASHOUT AREA
- 2.) EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED, MAINTAINED, AND REMOVED IN ACCORDANCE WITH SUDAS SECTION 9040 AND THE FOLLOWING FIGURES:
 - COMPOST BLANKET: FIGURE 9040.101
 - FILTER BERM AND FILTER SOCK: FIGURE 9040.102
 - WATTLE FIGURE 9040.105
 - SILT FENCE: FIGURE 9040.119 AND IDOT EC-201
 - STABILIZED CONSTRUCTION ENTRANCE: FIGURE 9040.120
 - INTAKE PROTECTION: IDOT STANDARD ROAD PLAN EC-204
- 3.) PRE-CONSTRUCTION STAGE SWPPP MANAGEMENT CONTROLS SHALL REMAIN THROUGH PROJECT COMPLETION.
- 4.) IN THE EVENT OF AN INFILTRATION BASIN ON SITE, THE BASIN SHALL NOT BE USED FOR SEDIMENTATION PURPOSES DURING CONSTRUCTION.
- 5.) REFER TO GRADING PLAN FOR PERMANENT DRAINAGE FEATURES ON SITE.
- 6.) ALL SLOPES 4:1 AND STEEPER ARE REQUIRED TO USE SEED MATTING OR OTHER APPROVED METHODS (REFER TO SUDAS SECTION 9040 FOR THE APPROPRIATE APPLICATION).
- 7.) EMPLOYEE PARKING AND CONSTRUCTION STAGING AREAS SHALL BE STABILIZED DURING CONSTRUCTION (ROCK OR OTHER OWNER APPROVED METHOD).
- 8.) SITE STABILIZATION: DISTURBED AREAS THAT HAVE CEASED TEMPORARILY OR PERMANENTLY (WHERE WORK WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS) SHALL BE STABILIZED IMMEDIATELY. ONCE WORK IS COMPLETED THE AREA SHALL RECEIVE FINAL STABILIZATION.
- 9.) CONCRETE WASHOUT AND OTHER NON-STORM RELATED WASTE WATER SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- 10.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS MATERIALS FROM THE SITE AND DISPOSING OF THEM IN AN APPROVED MANNER AT THEIR EXPENSE.

CONSTRUCTION SEQUENCE:

- 1.) INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 2.) INSTALL SILT FENCE AND EXISTING INTAKE PROTECTION.
- 3.) INITIAL SITE CLEARING, GRUBBING, AND DEMOLITION.
- 4.) STRIP AND STOCKPILE TOPSOIL.
- 5.) ROUGH GRADE SITE.
- 6.) INSTALL UNDERGROUND UTILITIES.
- 7.) PLACE INTAKE PROTECTION ON ALL NEW STRUCTURES.
- 8.) INSTALL FRANCHISE UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.)
- 9.) FINAL GRADE SITE.
- 10.) INSTALL PAVEMENT, CURB, AND OTHER HARDSCAPES.
- 11.) STABILIZE DITCHES, SWALES, COMMON AREAS, AND SLOPES.
- 12.) ESTABLISH PERMANENT VEGETATION IN ALL DISTURBED AREAS.
- 13.) REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- 14.) CLEAN OUT STORM SEWER SYSTEM AND STORM-WATER MANAGEMENT AREAS UPON COMPLETION OF CONSTRUCTION.

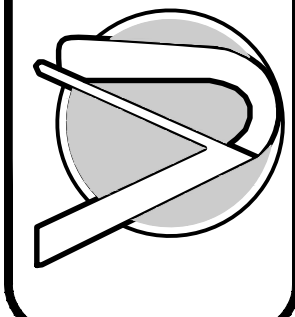
Existing	Proposed	
---	---	BOUNDARY LINE
---	---	EASEMENT LINE
---	---	PROPERTY LINE
---	---	SECTION/R.O.W. LINE
---	---	SETBACK LINE
---	---	CONTOUR LINE
---	---	ELECTRIC LINE
---	---	FENCE LINE
---	---	FIBER LINE
---	---	GAS LINE
---	---	OVERHEAD UTILITY LINE
---	---	SANITARY SEWER LINE
---	---	SILT FENCE LINE
---	---	STORM SEWER LINE
---	---	TELEPHONE LINE
---	---	TELEVISION LINE
---	---	WATER LINE
○	○	PROPERTY CORNER
⊕	⊕	BENCH MARK
⊕	⊕	CONIFEROUS TREE
⊕	⊕	DECIDUOUS TREE
⊕	⊕	GAS MANHOLE
⊕	⊕	GAS VALVE
⊕	⊕	SANITARY MANHOLE
⊕	⊕	SIGN
⊕	⊕	STORM INTAKE
⊕	⊕	STORM MANHOLE
⊕	⊕	TELEPHONE PEDESTAL
⊕	⊕	UTILITY POLE
⊕	⊕	WATER HYDRANT
⊕	⊕	WATER SHUT OFF
⊕	⊕	WATER VALVE

LEGEND	
	PCC PAVEMENT
	GRAVEL PARKING LOT
	SEED AND MULCH (OR CITY APPROVED EQUAL)
	INLET PROTECTION
	STRAW WATTLE
	COMPOST BLANKET



228121

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N. EVANS ROAD ABBAS SITE PLAN
NW QUADRANT OF N. EVANS RD. AND OSAGE AVE.
WATERLOO, BLACK HAWK COUNTY, IOWA

6	OF	6
Scale 1"=50'		
Drawn SJC		
Reviewed DMA		
Date 2024.04.01		
Revisions		

228121

APPLICATION FOR SPECIAL PERMIT
CITY OF WATERLOO PLANNING, PROGRAMMING,
AND ZONING COMMISSION
WATERLOO, IOWA
319.291.4366

New or Overall Amendment _____
Individual Building _____
Involving a variance(s) _____
Minor Change _____ (check one) (Minor Change must be approved by staff)

1. APPLICATION INFORMATION:

- a. Applicant's name (please print): ZAYN Properties LLC - Gulshan Abbas
Address: 415 Winding Ridge Road Phone: 319-231-1448 Fax: _____
City: Cedar Falls State: IA Zip: 50613
Email: gulshan126wb@gmail.com
- b. Status of applicant: (a) Owner (b) Other _____ (CHECK ONE): If other explain: _____
- c. Property owner's name if different than above (please print): _____
Address: _____ Phone: _____ Fax: _____
City: _____ State: _____ Zip: _____
Email: _____

2. PROPERTY INFORMATION:

- a. General location of special permit: SE Corner of intersection of Osage Road and N Evans Road - Parcel # 891232126001
- b. Legal description of property or portion requesting special permit: Approximately east half of property described below:
UNPLATTED WATERLOO EAST THAT PART OF NW 1/4 SEC 32 T 89 R 12 LYING S OF OSAGE RD W OF EVANS RD & N OF HWY 20
- c. Dimensions of proposed special permit: Full extents of fill area is approximately 400'X400'
- d. Area of proposed special permit: Fill Area extents is approximately 155,000 SF proposed grading extents for building site is 99,580 SF
- e. Current zoning: M-1
- f. Variance(s) requested: Request to build a 40' X 94' building and associated driveway/parking/stormwater detention facility on the previously filled area.
- g. Reason(s) for special permit and proposed uses(s) of property: Permit to build in a fill area that it is believed contains rubble.
Proposed use of the property is a metal building for auto repair.
- h. Conditions (if any) agreed to (does not affect any existing conditions unless specified): _____
No additional unsuitable fill will be brought to the site and any future fill or grading activities shall be properly permitted.
- i. Other pertinent information (use reverse side if necessary): Owner believes majority of rubble was previously removed from site. No rubble
was found below proposed building location while locating existing sanitary and water services.

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it must go through a platting process (separate from special permit request).

The filing fee of **\$200** (for new or overall amendment), \$225 (if involving a variance), \$125 (for individual building), or \$0 (for minor change) (payable to the City of Waterloo) is required. **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo Board of Adjustment in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.

Signature of Applicant

Date

Signature of Owner

Date

REQUEST:	Request by Levi Architecture on behalf of Hawkeye Community College for a Special Permit to allow for the construction of a 7,456 square-foot expansion of the existing building at the Regional Transportation Training Center in the "A-1" Agricultural District located at 6433 Hammond Avenue.
APPLICANT(S):	Levi Architecture, 3228 Cedar Heights Drive, Cedar Falls, Iowa 50613
GENERAL DESCRIPTION:	The applicant is requesting a Special Permit to allow for the construction of two additions totaling a 7,456 square foot expansion to an existing building at 6433 Hammond Avenue, to allow for a 17,809 square foot building.
IMPACT ON NEIGHBORHOOD	The request to allow the expansion of the existing building would not appear to have a negative impact upon the surrounding area.
VEHICULAR & PEDESTRIAN TRAFFIC:	The proposed Special Permit would not appear to have a negative impact upon vehicular or pedestrian traffic conditions in the area. The site is served by Hammond Avenue which is classified as a collector street.
TRAIL PLAN:	There are no sidewalks or trails within the nearby vicinity.
ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:	<p>The area in question has been zoned "A-1" Agricultural District since the adoption of the Zoning Ordinance in 1969. Surrounding land uses and their zoning designations are as follows:</p> <p>North – Vacant Land, zoned "A-1" Agricultural District and Hawkeye Community College residences, zoned "R-4, R-P".</p> <p>East and West – Vacant Land, zoned "A-1" Agricultural District.</p> <p>South – Black Hawk County Sanitary Landfill located in rural Black Hawk County</p>
BUFFERS REQUIRED/ NEEDED:	No screening is required as part of this request.
DRAINAGE:	The applicant will need to submit a site plan with a drainage report to the Engineering Department.
DEVELOPMENT HISTORY:	The surrounding area is composed of vacant land and the Black Hawk County Sanitary Landfill. Hawkeye Community College is located to the north of the site and the first building was built in 1969.
FLOODPLAIN:	The property in question is not located within a special flood area as indicated by the Federal Insurance Administration's Flood Insurance Rate Map, Community Number 190025 0166F, dated July 18, 2011.

PUBLIC/OPEN SPACES/SCHOOLS:

Hawkeye Community College is located approximately 0.69 miles to the north of the site in question. Orange Elementary School is located approximately 1.20 miles to the northwest. There are no parks nearby.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER.

The property is served by all utilities. There is an 8" sanitary sewer line located 1,100 feet to the north. There is a 12" waterline that runs along the west side of Hammond Avenue to the City limits.

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

The Future Land Use Map designates this area as Low Density Residential. The Comprehensive Plan is to be used as a guide for land use. A school is allowed by Special Permit use in any zoning district.

STAFF ANALYSIS – ZONING ORDINANCE:

The applicant is requesting a Special Permit to allow for two expansions to the existing building at the Hawkeye Community College Regional Transportation Training Facility. The addition to the north of the existing building will be 30' x 101.33' (3,039.9 square feet). The addition to the south will be 41.9' x 101.33' (4,245 square feet). The new additions will be used for additional classrooms, an office, lounge space, and a new shop.

The City of Waterloo Zoning Ordinance requires that all public institutions obtain a Special Permit issued by the Board of Adjustment after a recommendation of the Planning, Programming and Zoning Commission. The special permit ensures that the request meets necessary conditions and safeguards for its operation. The site plan submitted would meet those necessary conditions. The proposed additions would appear to better serve the needs of the students and the community.

The applicant will need to reevaluate the parking requirements for the site. Currently the site plan shows 31 parking spaces that are 8' wide. The parking stalls will need to be 9' by 18'. One parking space is required for every person regularly employed on the premises and one parking space for each two students at maximum occupancy.

STAFF ANALYSIS – SUBDIVISION ORDINANCE:

The applicant is not planning to subdivide the property in question.



Picture 1: Existing Hawkeye RTTC building.



Picture 2: South side of property along City Limits Line.



Picture 3: South side of existing RTTC building.



Picture 4: Looking east from the building toward the training grounds.



Picture 5: North side of the building.

STAFF

RECOMMENDATION:

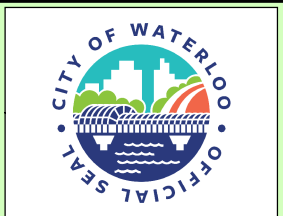
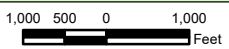
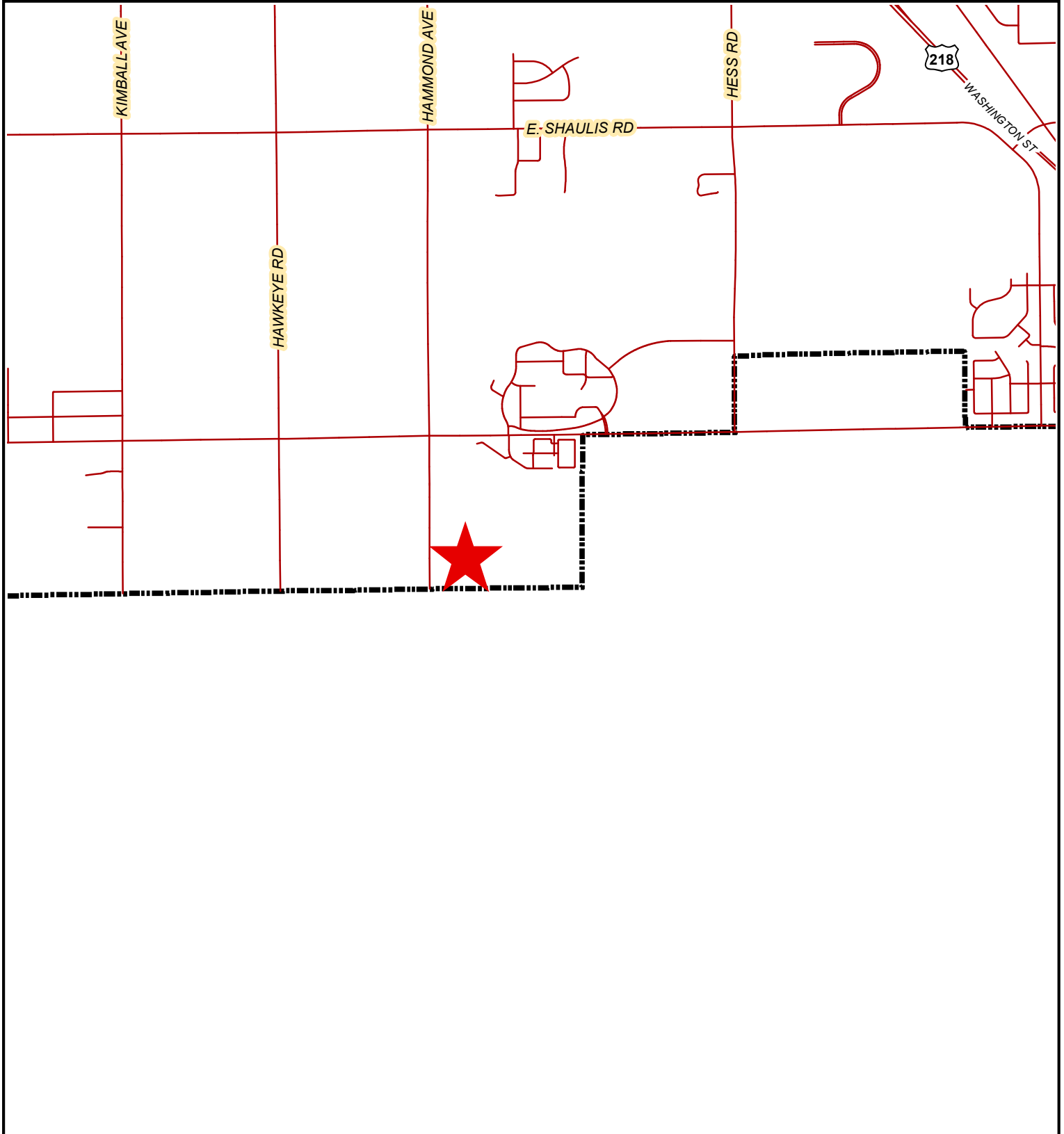
Therefore, staff recommends that the request by Levi Architecture on behalf of Hawkeye Community College for a Special Permit to allow for the construction of a 7,456 square-foot expansion of the existing building at the Regional Transportation Training Center in the “A-1” Agricultural District located at 6433 Hammond Avenue, be approved for the following reasons:

1. The request would not appear to have a negative impact on traffic conditions in the area.
2. The request would not appear to have a negative impact upon the surrounding area.
3. The request represents a positive expansion by Hawkeye Community College and the addition of further training for job opportunities, employment, and economic development in the Cedar Valley.

And with the following conditions(s):

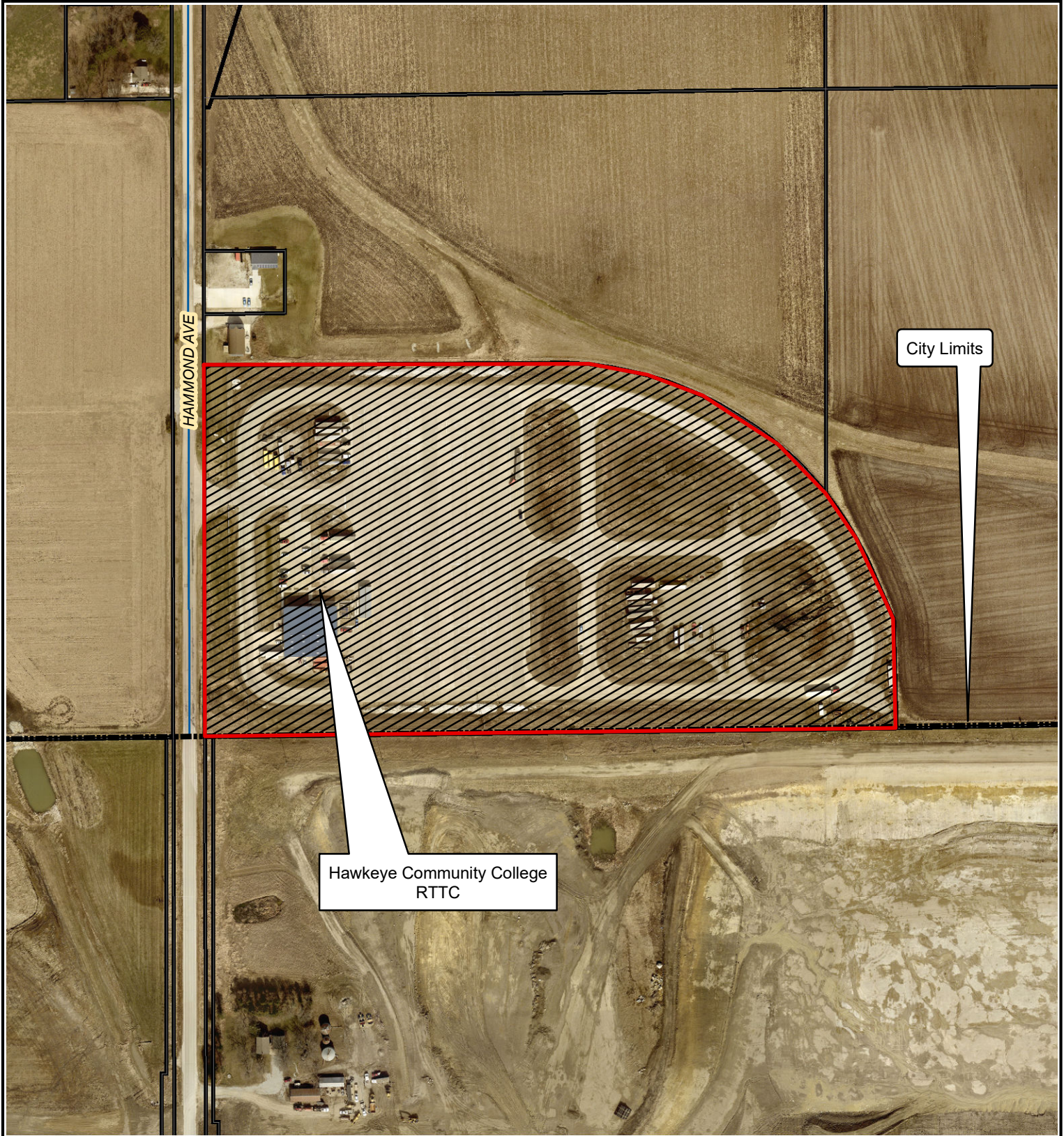
1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, screening, drainage, setbacks, etc.

City of Waterloo Planning, Programming and Zoning Commission May 14, 2024



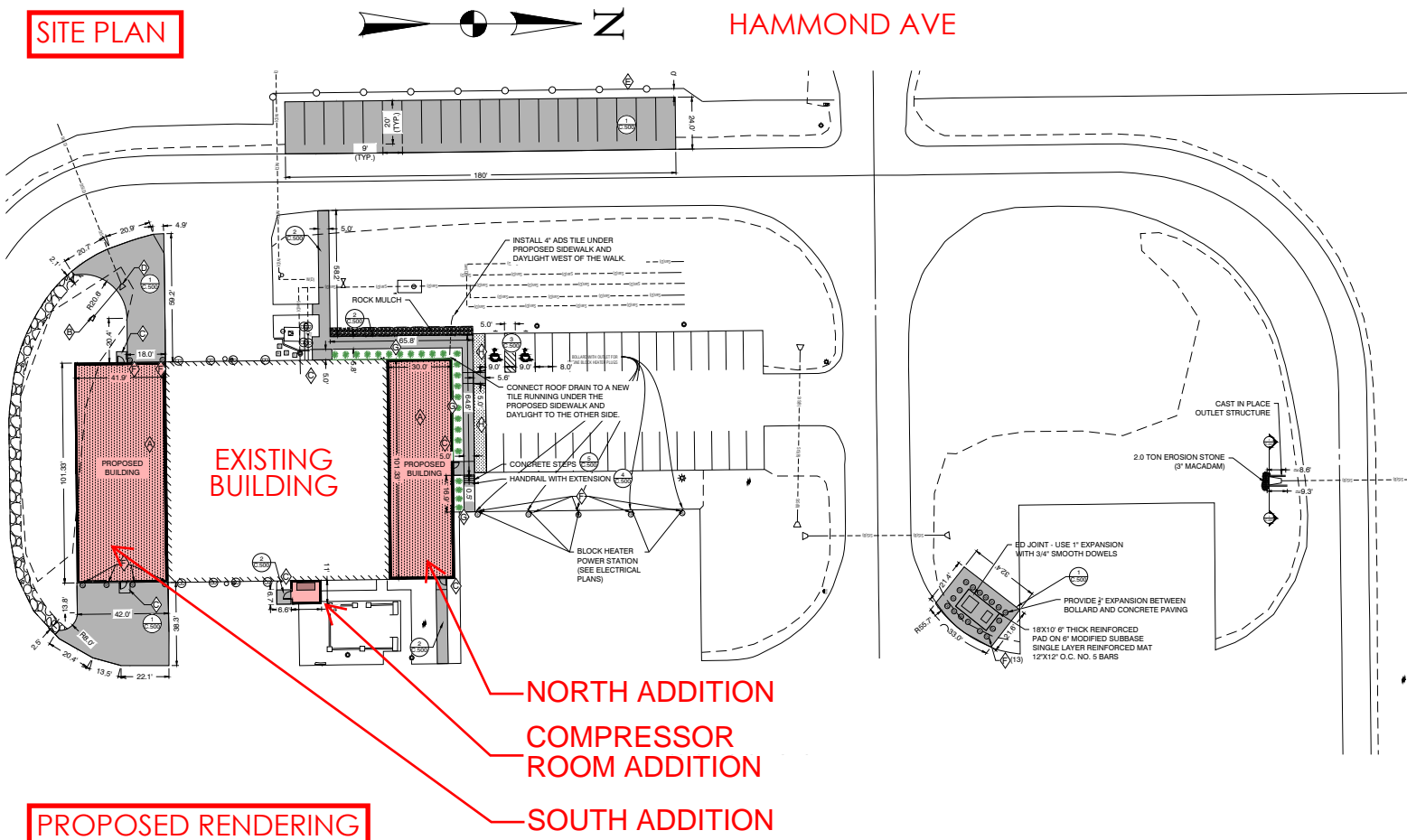
**6433 Hammond
Special Permit
Levi Architecture on behalf of
Hawkeye Community College**

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**6433 Hammond Avenue
Special Permit
Levi Architecture on behalf of
Hawkeye Community College**

SITE PLAN



NORTH ADDITION
COMPRESSOR ROOM ADDITION
SOUTH ADDITION

PROPOSED RENDERING



EXISTING ELEVATION



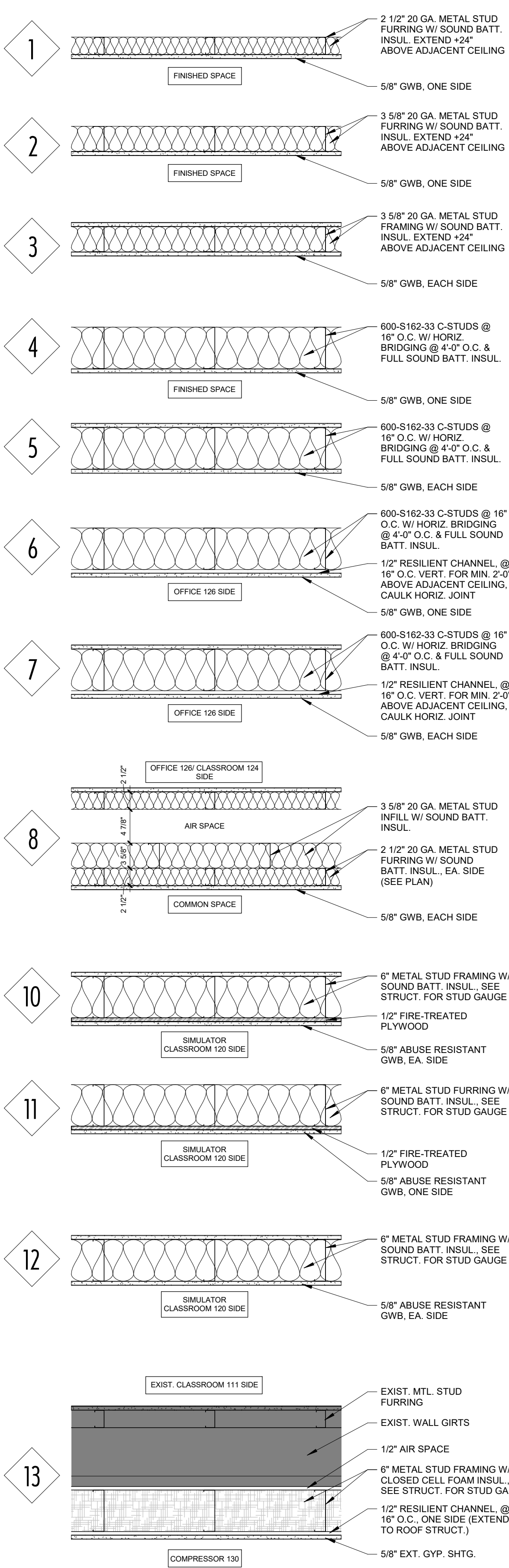
Hawkeye Community College Regional Transportation Training Center - Expansion Waterloo, Iowa



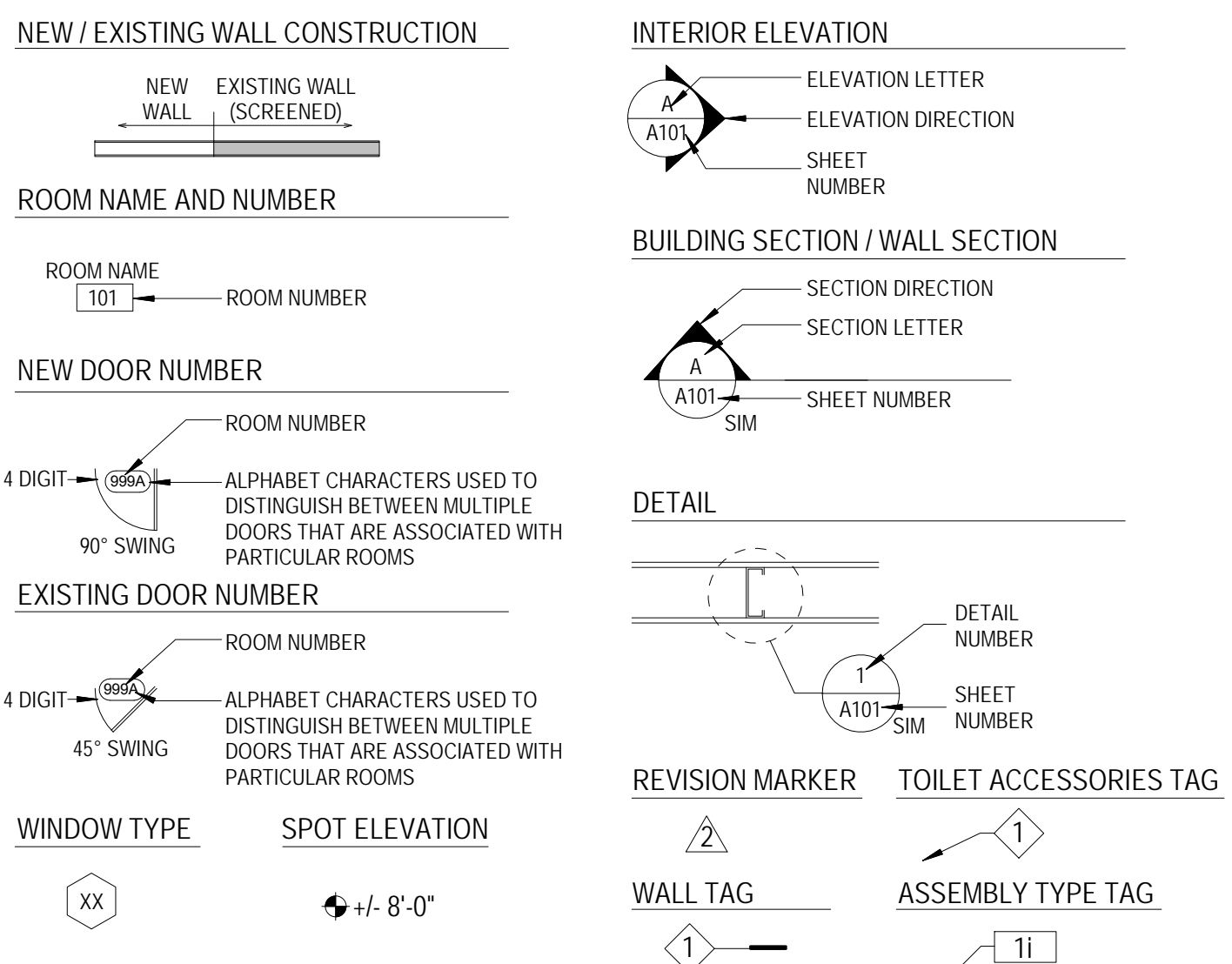
P.O. Box 1240 Cedar Falls, IA 50613
319.277.5636 319.277.5639 fax
www.leviarchitecture.com

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Drawings & specifications, ideas, designs, & arrangements represented are & shall remain the property of the architect & no part shall be copied or disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared without the written consent of the architect. Visual contact with these drawings & specifications shall constitute conclusive evidence of acceptance of these restrictions.

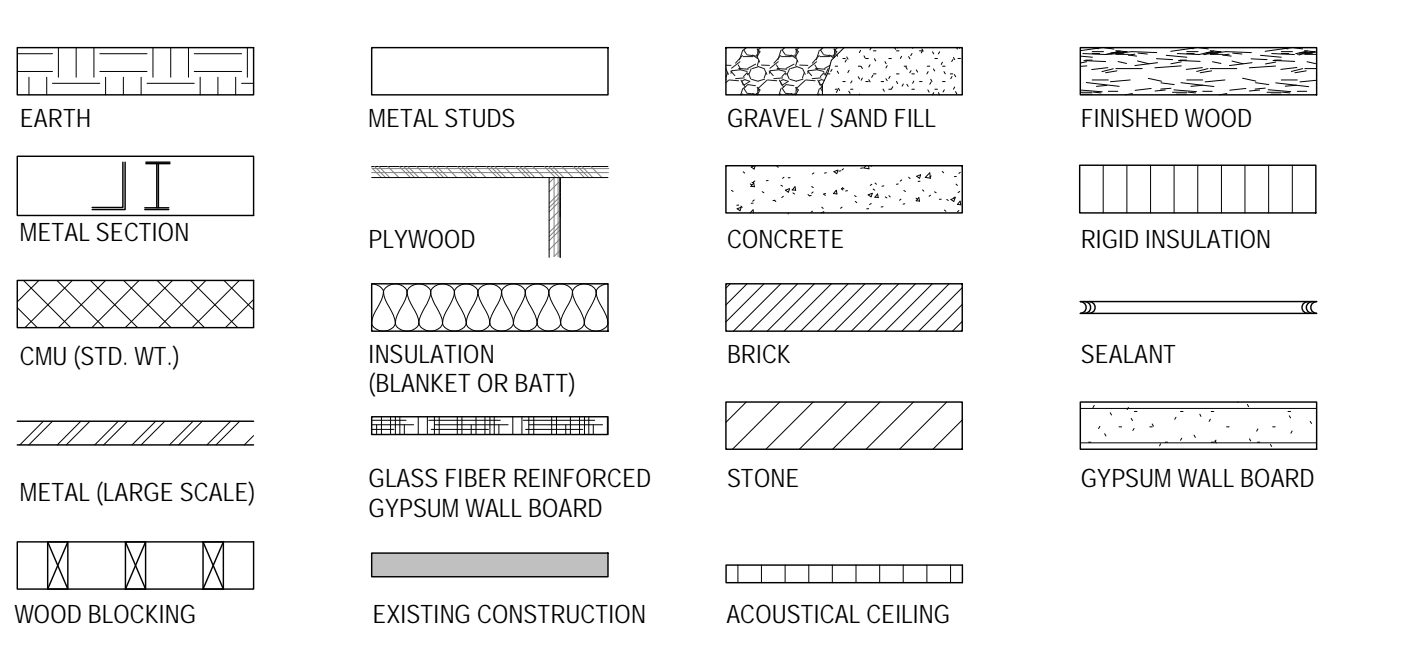
INTERIOR WALL TYPES



GRAPHIC SYMBOLS



MATERIAL INDICATIONS

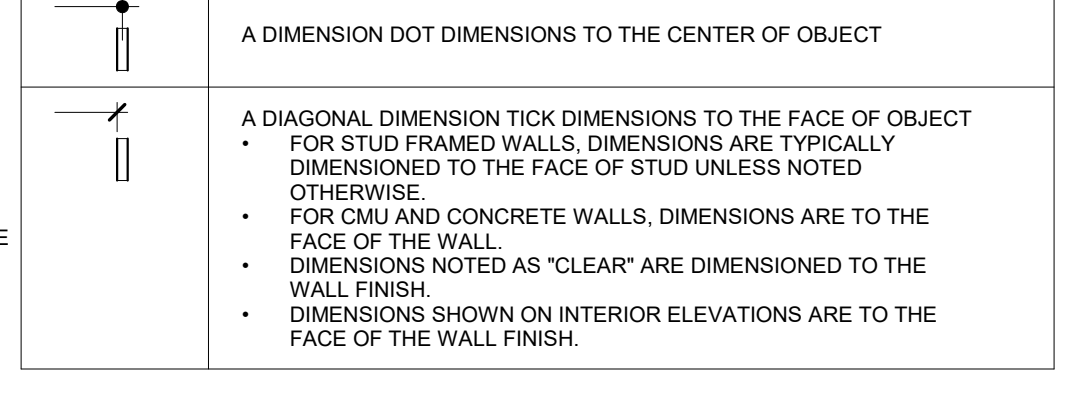


CODE STUDY

(SEE SHEET G1.1 FOR FULL CODE STUDY)

LOCATION:	WATERLOO, IA 50701
BUILDING SF:	EXISTING: 10,353 SF TOTAL: 17,809 SF ADDITION: 7,456 SF
APPLICABLE CODES:	BUILDING: 2021 INTERNATIONAL BUILDING CODE PLUMBING: 2021 UNIFORM PLUMBING CODE ELECTRICAL: 2020 NATIONAL ELECTRIC CODE MECHANICAL: 2021 INTERNATIONAL MECHANICAL CODE FIRE: 2021 INTERNATIONAL FIRE CODE ENERGY: 2012 INTERNATIONAL ENERGY CONSERVATION CODE ACCESSIBILITY: ICC A117.1-2009
OCCUPANCY GROUP:	B- BUSINESS
CONSTRUCTION TYPE:	NON-COMBUSTIBLE IIB
FIRE RESISTIVE REQUIREMENTS:	EXTERIOR BEARING WALL.....(0 HOUR) ROOF CONSTRUCTION.....(0 HOUR) CEILING.....(0 HOUR)
FIRE SPRINKLERS:	EXISTING SYSTEM TO BE EXTENDED AS REQ'D
MAX TRAVEL DISTANCE:	BUSINESS ≤ 300'
MAX COMMON TRAVEL DIST.:	BUSINESS ≤ 100'

DIMENSIONS LEGEND



GENERAL NOTES

- THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXIT/EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE W/ ALL APPLICABLE CODES & ORDINANCES. CITY OF WATERLOO HAS APPROVED THE TEMPORARY CLOSURE OF THE EXIST. NORTH EXIT DURING CONSTRUCTION.
- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS. CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT OF RECORD. FLOOR PLAN BY ARCHITECT OF RECORD SUPERSEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.
- SPRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY A LICENSED DESIGN PROFESSIONAL PRIOR TO START OF WORK. THE DESIGN OF SYSTEM(S) MUST COMPLY TO LOCAL, STATE, AND NATIONAL CODES.
- MATERIALS AND USES IN THE BUILDING WILL BE COMPATIBLE WITH ASSIGNED OCCUPANCIES AND CONSTRUCTION TYPE. INTERIOR FINISHES TO MEET IBC CHAPTER 8 REQUIREMENTS. TEMPERED/SAFETY GLAZING TO BE PROVIDED AS INDICATED ON PLANS AND TO MEET 2021 IBC 2406.
- "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- EMERGENCY LIGHTING WILL BE PROVIDED PER 2021 IBC 1008. FIRE EXTINGUISHERS WILL BE PROVIDED BY G.C. AND MEET 2021 IBC 906.
- ALL WOOD USED FOR BLOCKING TO BE FIRE-TREATED LUMBER.
- EXTERIOR BUILDING SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES. EXTERIOR SIGNS ARE NOT WITHIN THE SCOPE OF BUILDING DEPARTMENT APPROVAL.
- SEE FLOOR PLANS FOR WALL TYPE LOCATIONS. WALL TAGS ARE FOR CLARIFICATION WHEN IT IS GRAPHICALLY DIFFICULT TO DETERMINE ON THE PLAN. NOT ALL WALLS ARE TAGGED. CONSULT WITH ARCHITECT FOR CLARIFICATION.
- SEAL ALL PENETRATIONS THROUGH & INTO WALLS. AT SOUND RATED ASSEMBLIES, PROVIDE ACOUSTICAL SEALANT.
- PROVIDE VERTICAL & HORIZONTAL G.W.B. EXPANSION JOINTS, AS REQUIRED, TO PREVENT CRACKS. NOT ALL EXPANSION JOINT LOCATIONS ARE SHOWN IN DRAWING.
- PROVIDE CONCEALED BLOCKING OR BACKING FOR SURFACE MOUNTED EQUIPMENT INDICATED IN THE DOCUMENTS.
- PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CASEWORK, SHELVING AND OTHER ACCESSORIES.
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR AT CENTER OF DOOR LEAF.
- RELOCATE EXIST. KNOX BOX. SEE A2.1 FOR PROPOSED LOCATION. COORDINATE W/ LOCAL FIRE MARSHAL.

ABBREVIATIONS

ABBR.	DESCRIPTION
A.C.M.	ALUMINUM COMPOSITE METAL
A.C.T.	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
B.O.	BY OTHERS
BLDG.	BUILDING
C.G.	CORNER GUARD
C.J.	CONTROL JOINT
C.L.	CENTER LINE
C.M.U.	CONCRETE MASONRY UNIT
C.P.O.I.	CONTRACTOR PROVIDED, OWNER INSTALLED
CAB.	CABINET
CLS.	CEILING
CONC.	CONCRETE
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
DEMO.	DEMOLISH
DIA.	DIAMETER
DN.	DOWN
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.V.	FIELD VERIFY
FDN.	FOUNDATION
G.B.	GYPSUM BOARD
G.C.	GENERAL CONTRACTOR
H.M.	HOLLOW METAL
INSUL.	INSULATION

ABBREVIATIONS

ABBR.	DESCRIPTION
K.S.	KNEE SPACE
M.E.P.	MECHANICAL / ELECTRICAL / PLUMBING
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
O.C.	ON CENTER
O.P.C.I.	OWNER PROVIDED, CONTRACTOR INSTALLED
O.P.O.I.	OWNER PROVIDED, OWNER INSTALLED
P.LAM.	PLASTIC LAMINATE
P.E.M.B.	PRE-ENGINEERED METAL BUILDING
PLY.	PLYWOOD
PREFIN.	PREFINISHED
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
RAD.	RADIUS
REQ.	REQUIRED
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC'D.	SPECIFIED
SPEC.	SPECIFICATIONS
STRUCT.	STRUCTURAL
T&G.	TONGUE AND GROOVE
THRU.	THROUGH
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORIES
V.C.T.	VINYL COMPOSITE TILE
VERT.	VERTICAL
W.W.F.	WETTED WIRE FABRIC
W/	WITH
W/O	WITHOUT
WD.	WOOD

Sheet Index

- General**
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 - G1.1 CODE STUDY & LIFE SAFETY PLAN
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 - C.101 SYMBOLS, LEGEND AND GENERAL INFORMATION
 - C.110 EXISTING CONDITIONS & DEMOLITION PLAN
 - C.200 LAYOUT AND UTILITIES PLAN
 - C.300 GRADING PLAN
 - C.500 TYPICAL DETAILS
 - C.501 TYPICAL DETAILS
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- S2.0 FOOTING AND FOUNDATION + CEILING PLANS
 - S5.0 STRUCTURAL DETAILS
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 - A2.2 MAIN FLOOR PLAN (SOUTH) & CASEWORK ELEVATION
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 - E001 SITE PLAN - ELECTRICAL
 - E101 MAIN FLOOR LIGHTING PLAN - DEMOLITION
 - E102 MAIN FLOOR POWER & SYSTEMS PLAN - DEMOLITION
 - E201 MAIN FLOOR LIGHTING PLAN - NEW WORK
 - E202 MAIN FLOOR POWER & SYSTEMS PLAN - NEW WORK
 - E801 ONE-LINES AND SCHEDULES
 - E802 SCHEDULES - PANELS
 - E803 SCHEDULES - CONNECTIONS
 - E900 DETAILS

Owner

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422 2ND AVE. SE
CEDAR RAPIDS, IA 52401-1330
319.364.0666 319.364.1456 (FAX)
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319.266.0258
CONTACT: ADAM DATERS, P.E. (adaters@cgiconsultants.com)

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563.542.9005
CONTACT: DIETER MUHLACK (muhlackd@delta3eng.biz)

Electrical Engineer

JDR Engineering, Inc.
5525 NOBEL DRIVE, SUITE 110
MADISON, WI 53711
608.819.0206
CONTACT: BRIAN L. FULLER, P.E. (fuller@jdreng.com)



Architect's Stamp

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly Registered Architect under the laws of the State of Iowa.

Daniel E. Levi
Printed or Typed Name

Discipline: _____ Architect: _____
Iowa Registration No.: _____ 5266
Pages or Sheets covered by this seal: G1.0, G1.1, A2.0, A2.1, A2.2, A2.3, A2.4, A2.5, A2.6, A2.7, A3.0, A5.0, A5.1, A5.2, A5.3, A7.0, A7.1, A8.0
Date of issuance: _____ April 19, 2024

Hawkeye CC RTTC - Expansion
6433 Hammond Ave
Waterloo, IA 50701
Cover & Sheet Index

G1.0
Date:
April 19, 2024
SHEET SET:
CONSTRUCTION SET

Regional Transportation Training Center Expansion
Hawkeye Community College
 6433 Hammond Avenue
 Waterloo, IA 50701
 2021 International Building Code
 2.27.24 Bid Set

Start 2021 IBC

Chapter 3 - Use and Occupancy Classifications

B Higher Education	10,353 sq.ft.	Existing
B Higher Education	7,456 sq.ft.	Addition
Total	17,809 sq.ft.	Total Building

Chapter 4 - Special Req's Based on Occupancy

Section 406- Motor-Vehicle Related Occupancies
 Section 406.2.1 Automatic Garage Door Openers - Automatic garage door openers shall be listed and labeled per UL 325.
 Section 406.2.4 Floor Surfaces - Floor surfaces shall be concrete or similar approved non-combustible and non-absorbent materials. Floors to be sloped to facilitate movement of liquids to a drain or toward the main vehicle entry doorway.
 Section 406.2.9.1 Elevation of ignition sources - Equipment and appliances having an ignition source shall be elevated such that the source of ignition is not less than 18 inches above the floor surface on which it rests.
 Section 406.8 Repair Garages - Repair garages shall be constructed in accordance with the IFC and sections 406.2 and 406.8
 Section 406.8.1 Ventilation - Repair garages shall be mechanically ventilated per IMC. See Mech Plans for ventilation system.
 Section 406.8.2 Gas Detection System - No system is required for no non-odorized gas vehicles are being serviced.
 Section 406.8.3 Automatic Sprinkler - Sprinkler system is provided.

Chapter 5 - General Building Heights and Areas

Type II-B (sprinkled) Table 504.3
 B = 75' for a building equipped throughout with an automatic sprinkler system.
 Type II-B (sprinkled) Table 504.4
 B = 4 stories for a building equipped throughout with an automatic sprinkler system.
 Type II-B (sprinkled) Table 506.2
 B-S1 = 92,000 allowable square feet
Building is within allowable area without area increases.

Chapter 6 - Types of Construction

Building Element	Fire-Rating
Structural Frame	0
Bearing Walls	
Ext.	0
Int.	0
Nonbearing Ext. Walls	See Table 705.5
Nonbearing Int. Walls	0
Floor Construction	0
Roof Construction	0

Chapter 7 - Fire And Smoke Protection Systems

Fire Separation Distance	Fire-Rating
X ≥ 30'	0

Chapter 8 - Interior Finishes

Interior Element	Fire-Rating
Interior exit stairways, interior exit ramps and exit passageways	B
Corridors and enclosure for exit access stairways and exit access ramps	C
Rooms and enclosed spaces	C

Chapter 9 - Fire Protection Systems

Section 903 Automatic Sprinkler Systems
 An automatic sprinkler system is provided and will be modified and extended as required.
Section 906 Portable Fire Extinguishers (See G1.1 for locations & type)
 Table 906.3(1) Fire Extinguishers for Class A fire hazards
 Min Rated Sgl Ext. 2-A
 Max Flr Area per Unit 1,500 S.F.
 Max Flr Area for Ext 11,250 S.F.
 Max Travel Distance 75 feet

Fire alarm & occupant notification systems to be modified and extended as required.

Chapter 10 - Means of Egress

Section 1004 Occupant Load - Table 1004.5

Occupancy	Floor area per sq.ft. per occupant	Area square footage	Occupant Load
Business	150 gross	17,809 sq.ft.	119 persons

Total Main Floor Occupant Load **119 persons**

Section 1005 Egress Width - Paragraph 1005.3.2
 119 persons x 0.2 = 23.8" required egress width

Classroom/Office Areas
 165" provided from (1) 3' Pair Exterior Doors (3) 3' Exterior Doors

Shop Areas
 132" provided from (4) 3' Exterior Doors

Section 1006.2.1 Common Path of Egress Travel
 Longest common path of egress travel is 76'-5". (See G1.1 for location)
 Not exceeding the maximum of 100' for Group B sprinkled

Section 1017 Exit Access Travel Distance - Table 1017.2

Max. allowable travel distance	Longest travel distance
B 300'	85'-6" * sprinkled (See G1.1 for location)

Chapter 29 - Plumbing Systems

Table 2902.1 Minimum Number of Required Plumbing Fixtures

Required Fixtures

Occupants	Female		Male	
	Toilets	Lavatories	Toilets	Lavatories
B 119 occupants	59	59	60	60

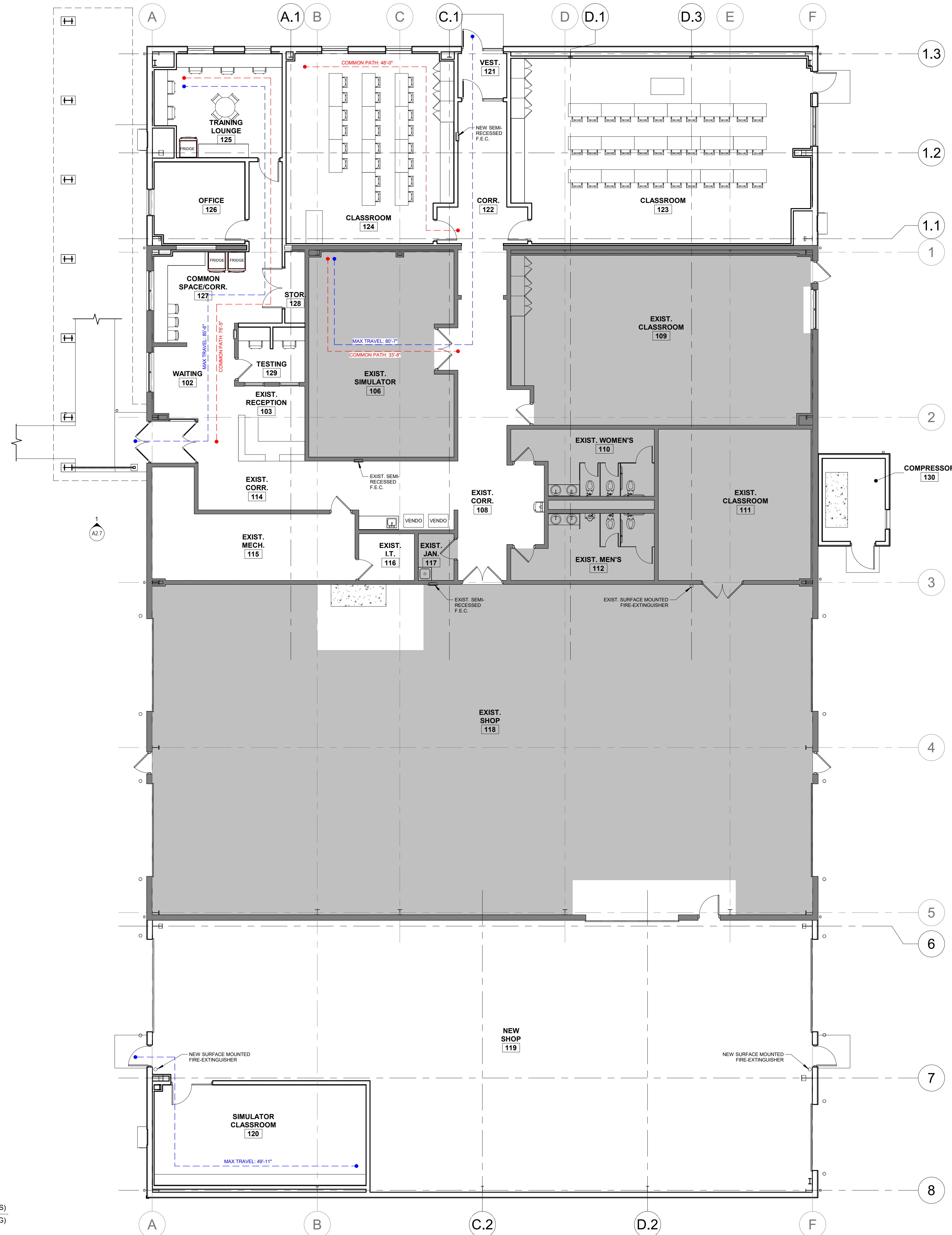
Existing Fixtures Provided

Req'd Count	Female		Male	
	Toilets	Lavatories	Toilets	Lavatories
2.18	3	2	2.2	1.5

Drinking Fountains
 Existing drinking fountain with bottle filler is provided.

Service Sink
 Existing service sink is provided in Janitor Room 117.
 End 2021 IBC

MAIN FLOOR CODE PLAN (NO WORK IN SHADED AREAS)
 SCALE: 1/8" = 1'-0" (SEE ELECTRICAL FOR EXIT/EGRESS LIGHTING)



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 319.277.5636 319.277.5639 fax
 www.leviarchitecture.com

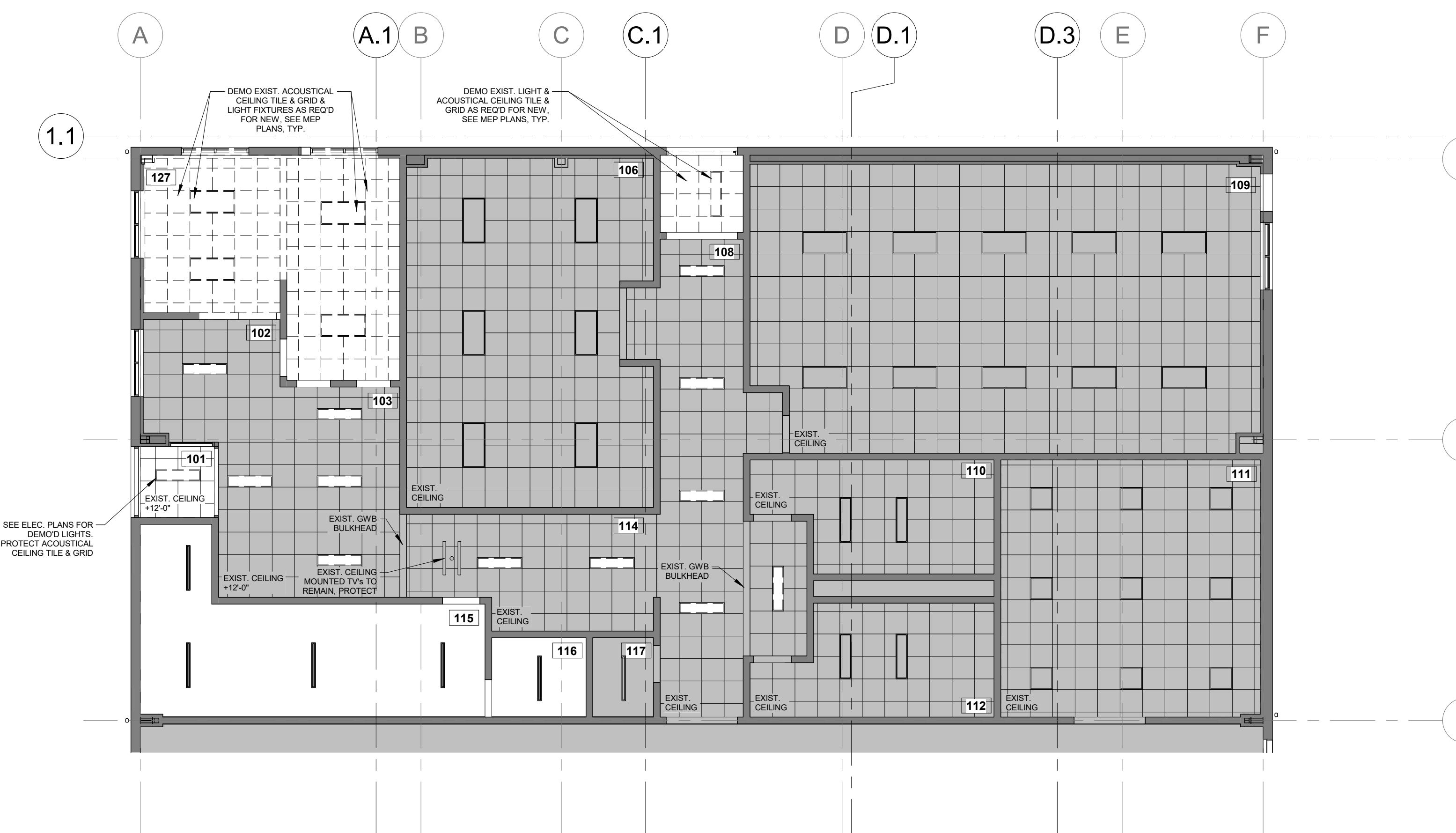
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Hawkeye CC RTTC - Expansion
 6433 Hammond Ave
 Waterloo, IA 50701
 Code Study & Life Safety Plan

G1.1

Date:
 April 19, 2024

SHEET SET:
 CONSTRUCTION SET



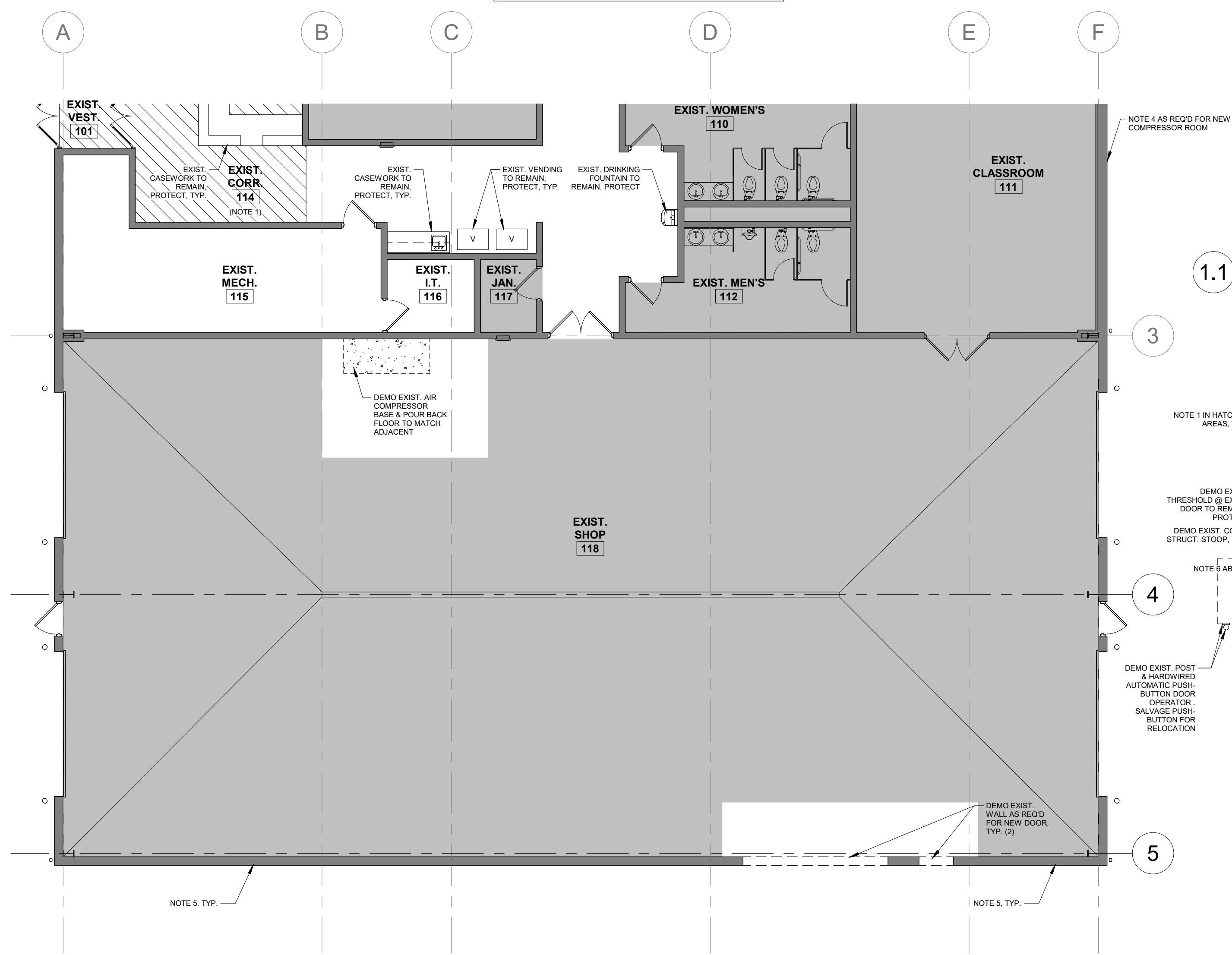
DEMO REFLECTED CEILING PLAN (NORTH)

SCALE: 1/8" = 1'-0" (NO WORK IN SHADED AREAS)

- DEMO NOTES**
1. DEMO EXIST. CARPET TILES & VINYL BASE.
 2. ALL DEMO'D ITEMS TO BE PROVIDED TO OWNER FOR REVIEW PRIOR TO BEING DISCARDED. FOR EXAMPLE, AUTO DOOR OPERATORS & ALUM. DOORS.
 3. PATCH WORK: REMOVED WALLS, CASEWORK, CEILING, FLOORING, FIXTURES, DEVICES, ETC. ARE TO BE PATCHED BACK TO MATCH ADJACENT FINISHES. SEE FINISH PLAN.
 4. G.C. TO REMOVE EXIST. EXTERIOR PEMB WALL PANELS. G.C. IS RESPONSIBLE FOR SECURING EXIST. INSUL. AND/OR INSTALLING NEW INSUL. IN EXIST. GIRT SPACE.
 5. G.C. TO PROTECT EXIST. PEMB WALL PANELS & REMOVE ONLY WHAT IS NEEDED FOR NEW PEMB FRAMES/GIRTS/PURLINS.
 6. G.C. TO REMOVE EXIST. EXTERIOR PEMB WALL PANELS AS REQ'D FOR NEW CANOPY. SEE BIAS.1. G.C. IS RESPONSIBLE FOR SECURING EXIST. INSUL. AND/OR INSTALLING NEW INSUL. IN EXIST. GIRT SPACE.

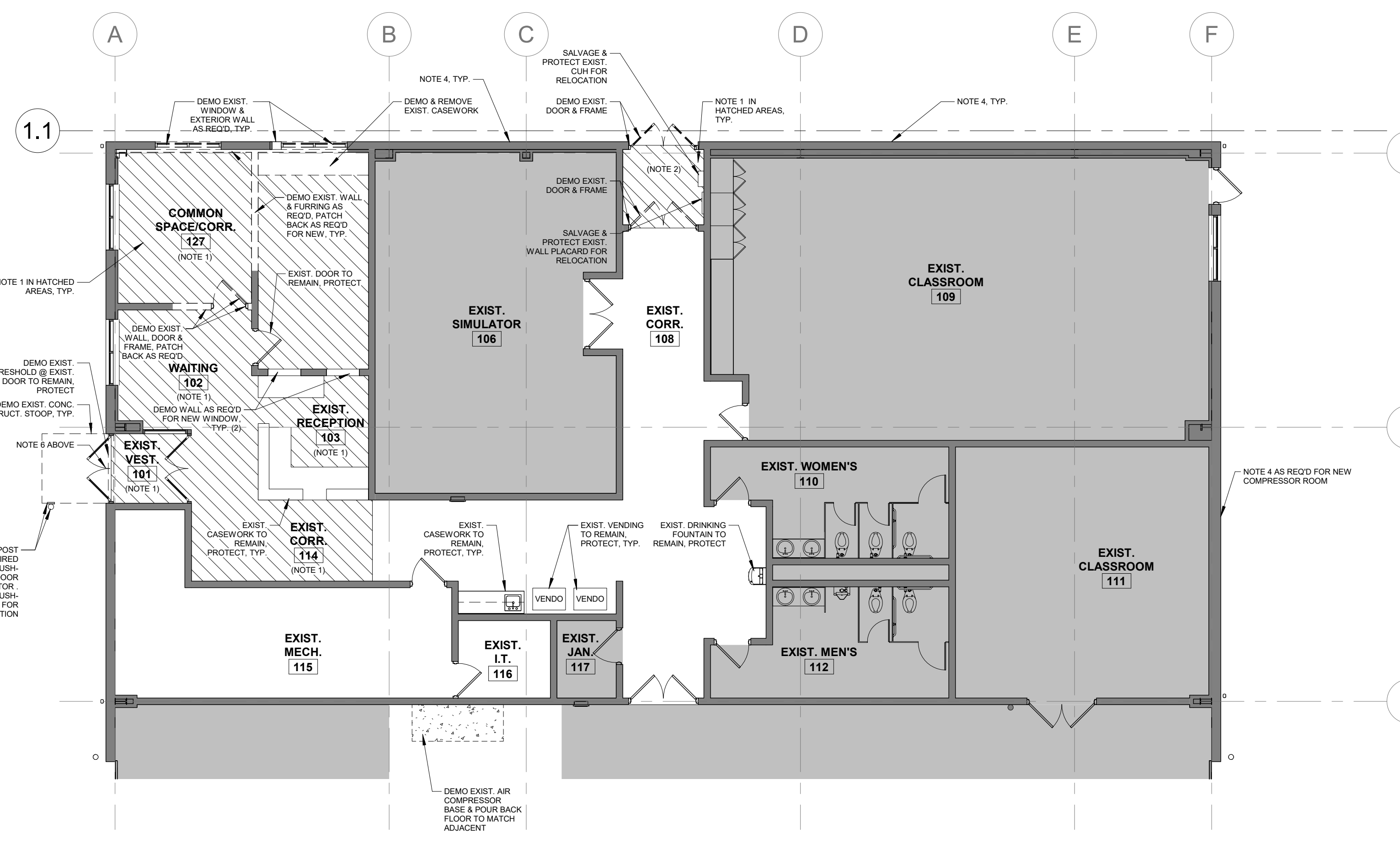
DEMO LEGEND

	EXISTING WALL, PROTECT
	EXISTING DOOR, PROTECT
	DEMO WALL/DOOR



DEMO FLOOR PLAN (SOUTH)

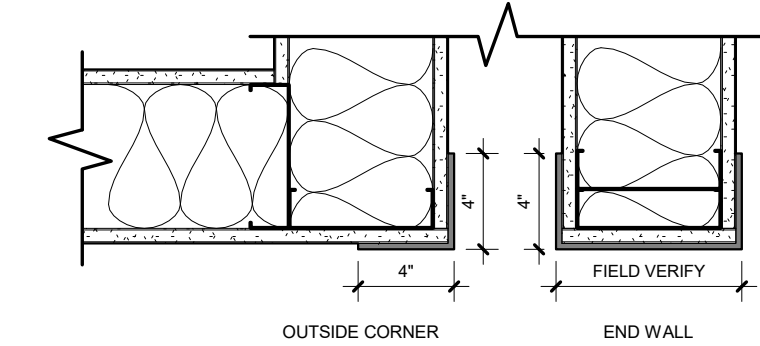
SCALE: 1/8" = 1'-0" (NO WORK IN SHADED AREAS)



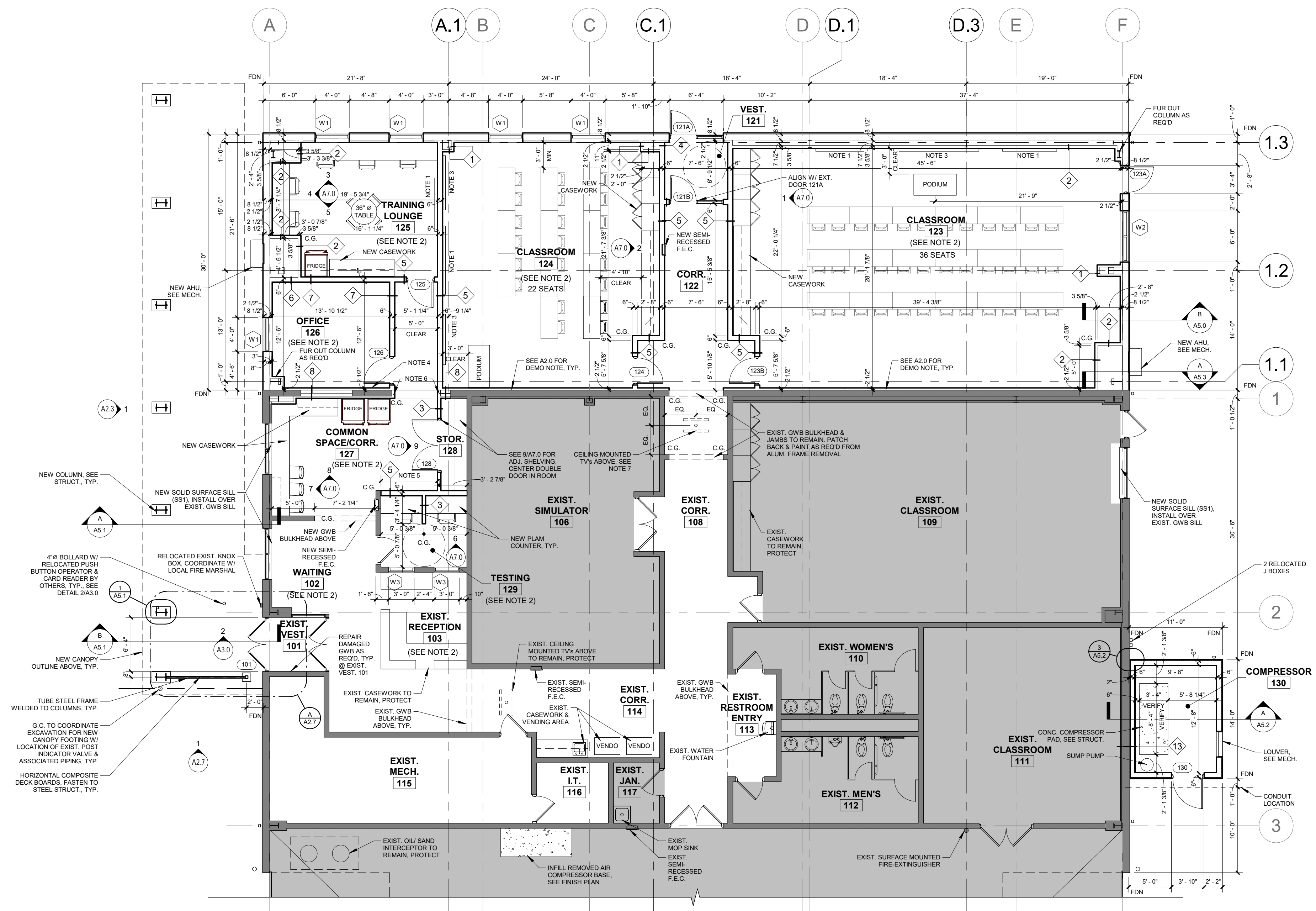
DEMO FLOOR PLAN (NORTH)

SCALE: 1/8" = 1'-0" (NO WORK IN SHADED AREAS)

- GENERAL NOTES**
- G.C. TO PROVIDE 2x FIRE-TREATED SOLID BLOCKING @ WALL MOUNTED TV LOCATIONS. OWNER TO PROVIDE & INSTALL TV MOUNTS & TV'S.
 - FURNITURE PROVIDED & INSTALLED BY OWNER.
 - WHITE BOARDS BY OWNER. INSTALLED BY G.C. CONSULT W/ ARCH. ON LOCATIONS.
 - PROVIDE BLOCKING FOR COAT RACK @ +48" A.F.F. & +66" A.F.F., MIN. 2'-0" WIDE @ OFFICE 126. OWNER TO PROVIDE & INSTALL COAT RACK.
 - PROVIDE BLOCKING FOR COAT RACK @ +48" A.F.F. & +66" A.F.F., MIN. 4'-0" WIDE @ COMMON SPACE 127. OWNER TO PROVIDE & INSTALL COAT RACK.
 - G.C. TO PROVIDE NEW PEMB JAMB STUDS AS REQ'D FOR NEW OPNG. MODIFY & MAINTAIN EXIST. GIRTS & INSUL. AS REQ'D.
 - G.C. TO PROVIDE 2x FIRE-TREATED SOLID BLOCKING @ CEILING MOUNTED TV LOCATIONS. G.C. TO INSTALL OWNER-PROVIDED TV MOUNTS. OWNER TO PROVIDE & INSTALL TV'S.
 - FURR OUT COLUMNS AS REQ'D



1 CORNER GUARD (C.G.) DETAILS
SCALE: 1 1/2" = 1'-0" (SEE A2.1 & A2.2 FOR LOCATIONS)



MAIN FLOOR PLAN (NORTH)
SCALE: 1/8" = 1'-0"

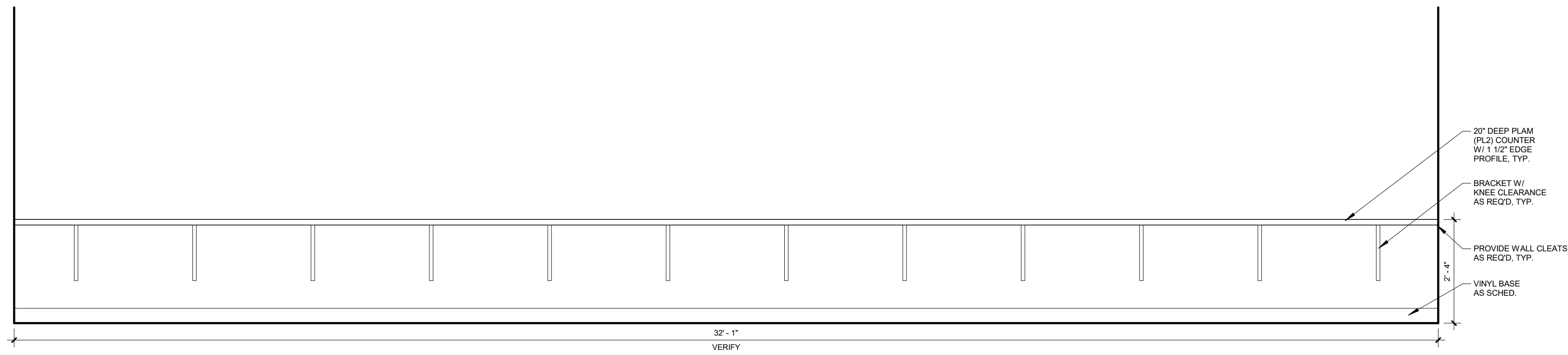
(NO WORK IN SHADED AREAS)

Hawkeye CC RTTC - Expansion
6433 Hammond Ave
Waterloo, IA 50701
Main Floor Plan (North)

A2.1

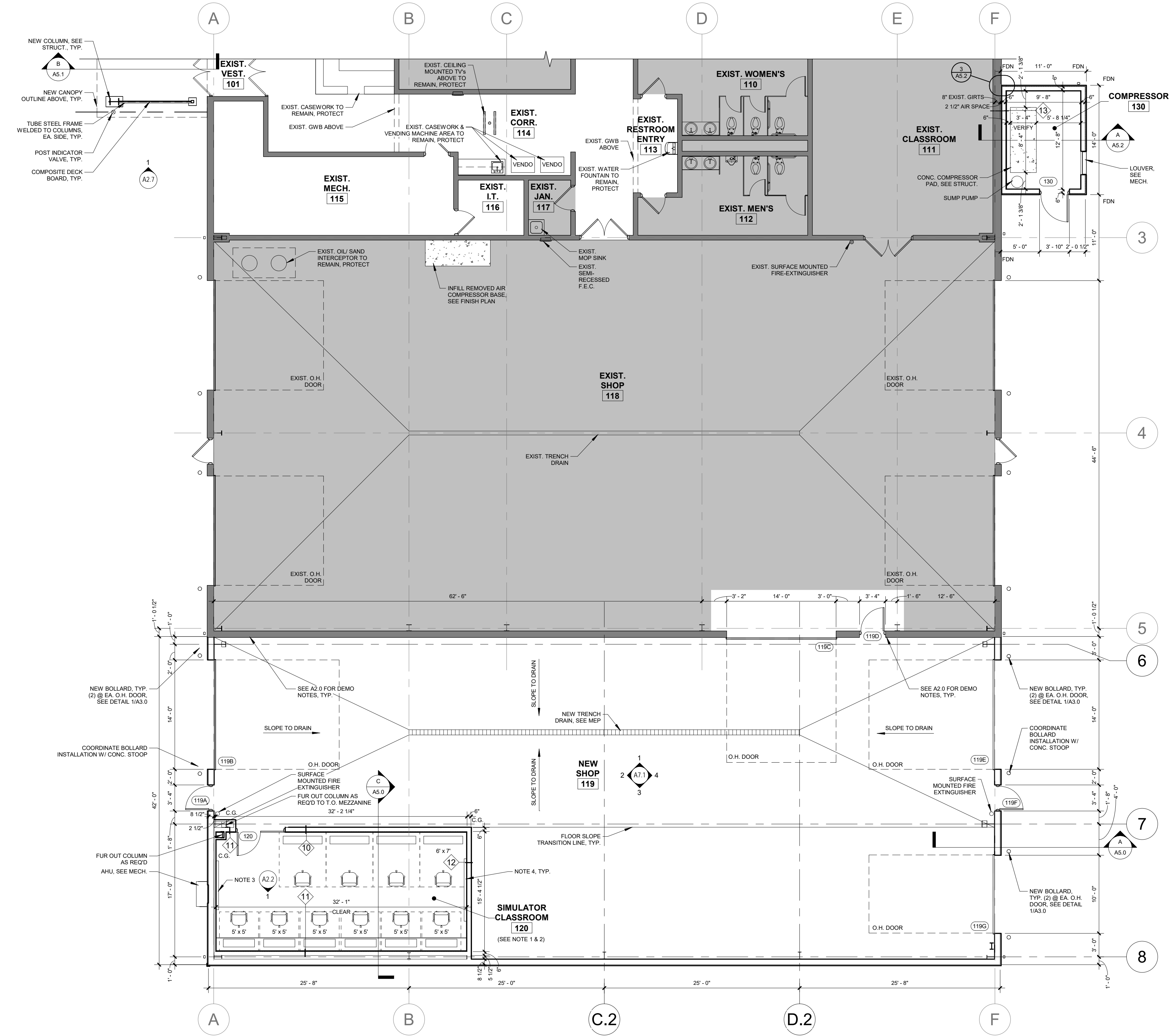
Date:
April 19, 2024

SHEET SET:
CONSTRUCTION SET



1 SIMULATOR CLASSROOM 120 ELEVATION
SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- G.C. TO PROVIDE FULL-HEIGHT FIRE-TREATED PLYWOOD BACKING ON NORTH & SOUTH WALLS @ INTERIOR OF ROOM 120. SEE WALL TYPES FOR MORE INFORMATION.
 - FURNITURE PROVIDED & INSTALLED BY OWNER.
 - G.C. TO PROVIDE 2x FIRE-TREATED SOLID BLOCKING @ WALL MOUNTED TV LOCATIONS. OWNER TO PROVIDE & INSTALL TV MOUNTS & TV'S.
 - WHITE BOARDS BY OWNER. INSTALLED BY G.C.
 - G.C. TO PROVIDE 2x FIRE-TREATED SOLID BLOCKING @ CEILING MOUNTED TV LOCATIONS. G.C. TO INSTALL OWNER-PROVIDED TV MOUNTS. OWNER TO PROVIDE & INSTALL TV'S.



MAIN FLOOR PLAN (SOUTH)
SCALE: 1/8" = 1'-0"

(NO WORK IN SHADED AREAS)



P.O. Box 1240 Cedar Falls, IA 50613
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Hawkeye CC RTTC - Expansion
6433 Hammond Ave
Waterloo, IA 50701
Main Floor Plan (South) & Casework Elevation

A2.2

Date:
April 19, 2024

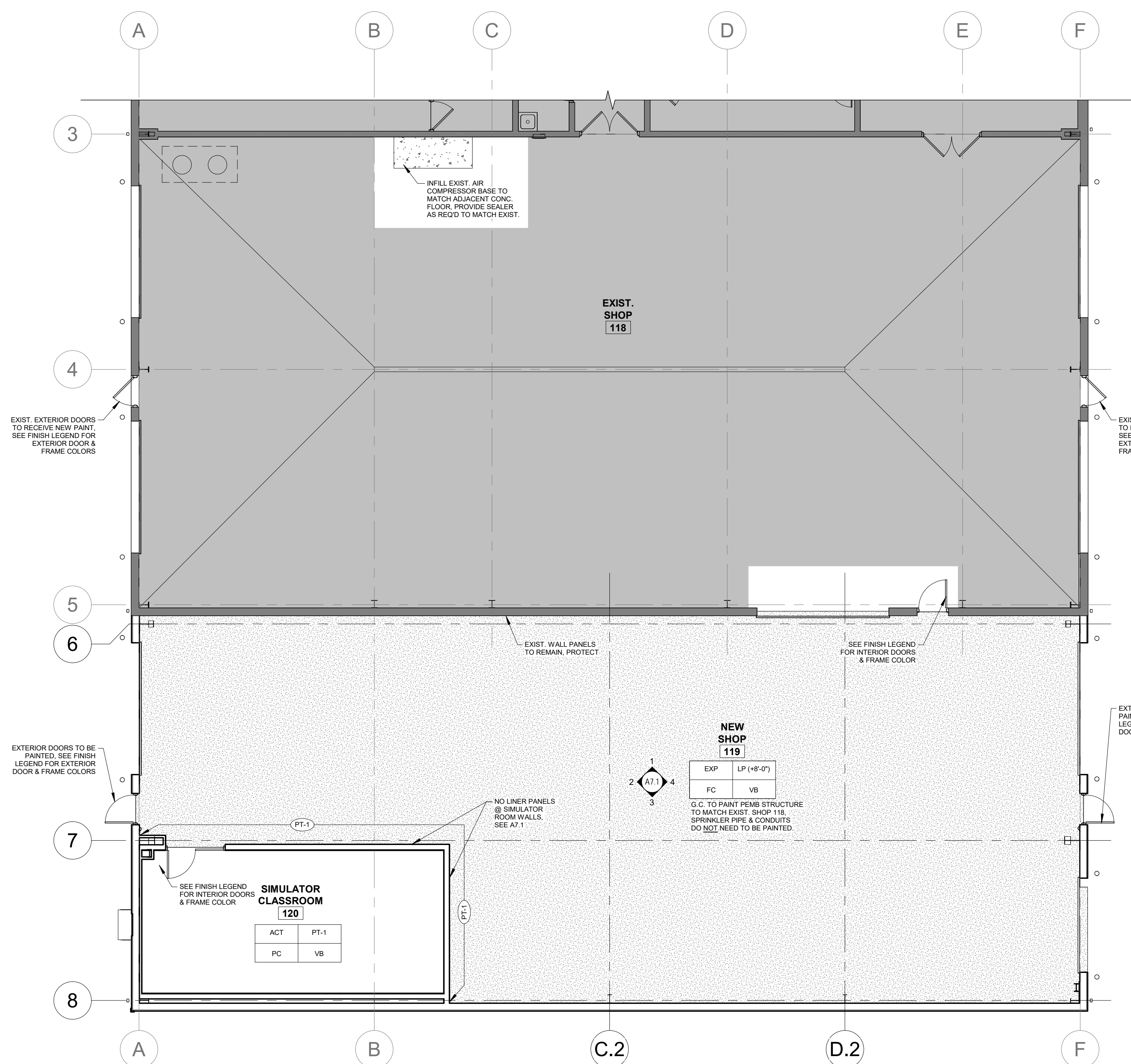
SHEET SET:
CONSTRUCTION SET

FINISHES LEGEND			
Tag	Finish	Description/Color	Installation/Location
Carpet			
CPT-1	J-J Flooring, Incognito Walk-off Modular, Cryptic	Walk-off Carpet Tiles	See finish plan for locations
Concrete			
FC	Concrete	Concrete Floor Coating	See finish plans for locations
PC	Polished Concrete	Polished Concrete	See finish plans for locations
Paints			
PT-1	Shervin Williams, Intellectual Gray, SW 7045	Light Grey	Wall Field Color, see finish plan for locations
PT-2	Shervin Williams, Smoky Blue SW 7694	Grey Blue	Accent Color, see finish plan for locations
PT-3	Shervin Williams, Iron Ore, SW 7069	Deep Charcoal	Door & Frames, see finish legend for locations
PT-4	Shervin Williams, Extra White, SW 7005	White	See finish plans for locations
Plastic Laminate			
PL1	Pionite, IL Palio Papel, AV981	Beige	Vertical surface, see casework elevations for locations
PL2	Nevamar, Blue Lunaria, LU3001	Beige with light and dark specks of Greys and Blues	Horizontal surface, see casework elevations for locations
Solid Surface			
SS1	Corian Solid Surface, Concrete	Beige with specks of Grey	Window Sills
Metal			
LP	Liner Panel by PEMB	White	See finish plan for locations
Miscellaneous Finishes			
VB	Johnsonite Vinyl Base, 20-Charcoal	Johnsonite 1/8" thick, 4"H Vinyl Base, with toe	See finish plan for locations
CG	Corner Guard	Stainless Steel	See A2.1 for locations & information
Cabinet Pulls	Brushed Chrome	4" wire pull	Walls and base cabinets
Interior Doors & Frames	PT-3 (see paint colors above)	H.M. Door & Frame	PT-3 on both sides of door & frame
Exterior Doors & Frames	PT-2 & PT-3 (see paint colors above)	H.M. Door & Frame	PT-2 on Exterior side of door & frame PT-3 on Interior side of door & frame

FINISHES LEGEND	
CEILING TYPES	
GWB	GYPSUM WALL BOARD
ACT	ACOUSTICAL CEILING TILE
EGS	EXTERIOR GYP. SH.TG. (TAPED, MUDDED, SKIMMED AS REQ'D)
EXP	EXPOSED CEILING
WALL & CEILING FINISHES	
PT	PAINT
LP	LINER PANEL BY PEMB SUPPLIER
EGS	EXTERIOR GYP. SH.TG. (TAPED, MUDDED, SKIMMED AS REQ'D)
FLOORING TYPES	
CPT	CARPET
FC	CONCRETE FLOOR COATING
PC	POLISHED CONCRETE, MATCH EXISTING
EX-CONC	EXPOSED CONCRETE, SEALED

FLOORING NOTE:
G.C. TO REMOVE EXIST. GLUE AS REQ'D FOR NEW SEALED CONC. FLOORS IN AREAS PREVIOUSLY CARPETED.

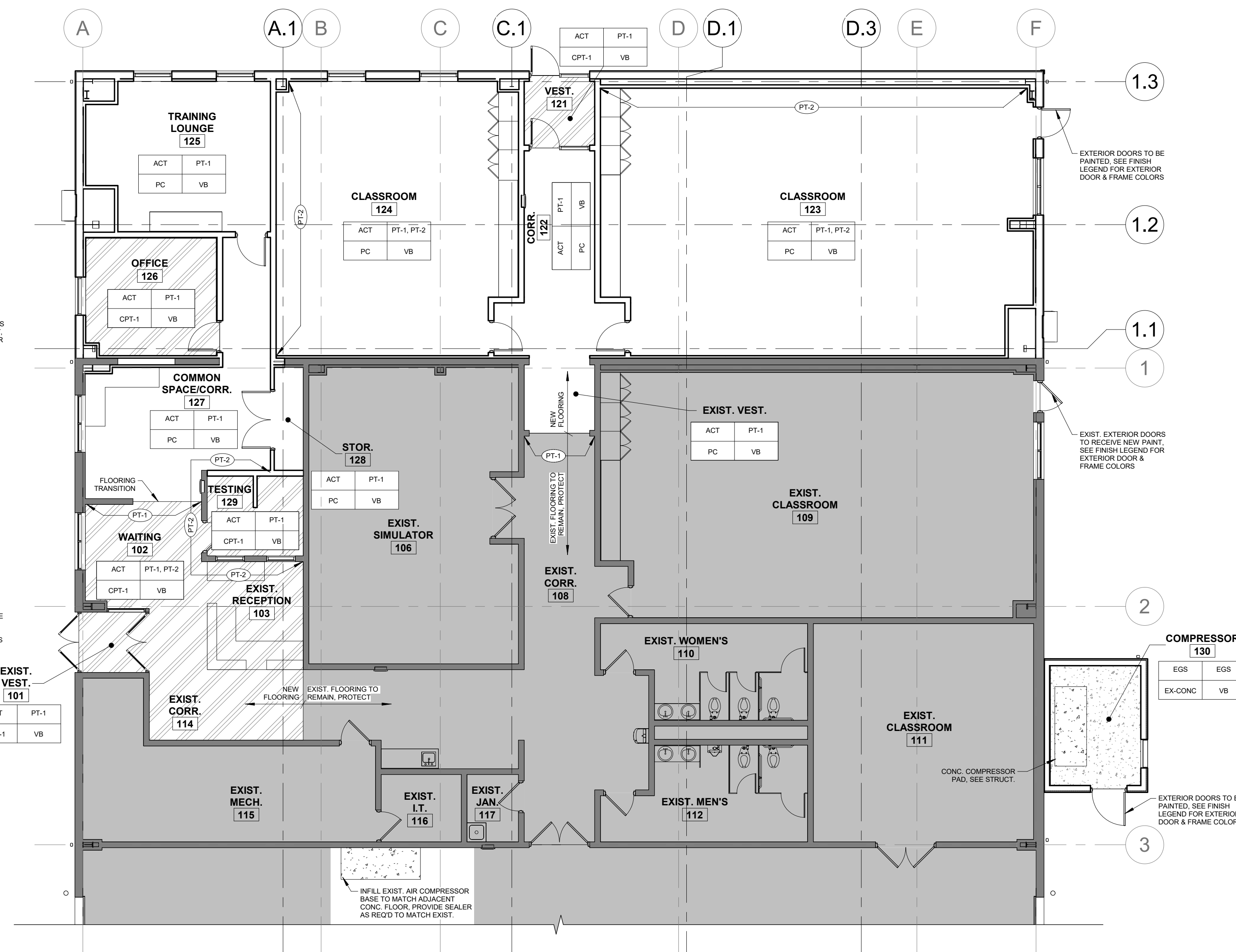
CANDY NOTE:
SEE A2.1 FOR CANOPY FINISHES



FINISH PLAN (SOUTH)

SCALE: 1/8" = 1'-0"

(NO WORK IN SHADED AREAS)

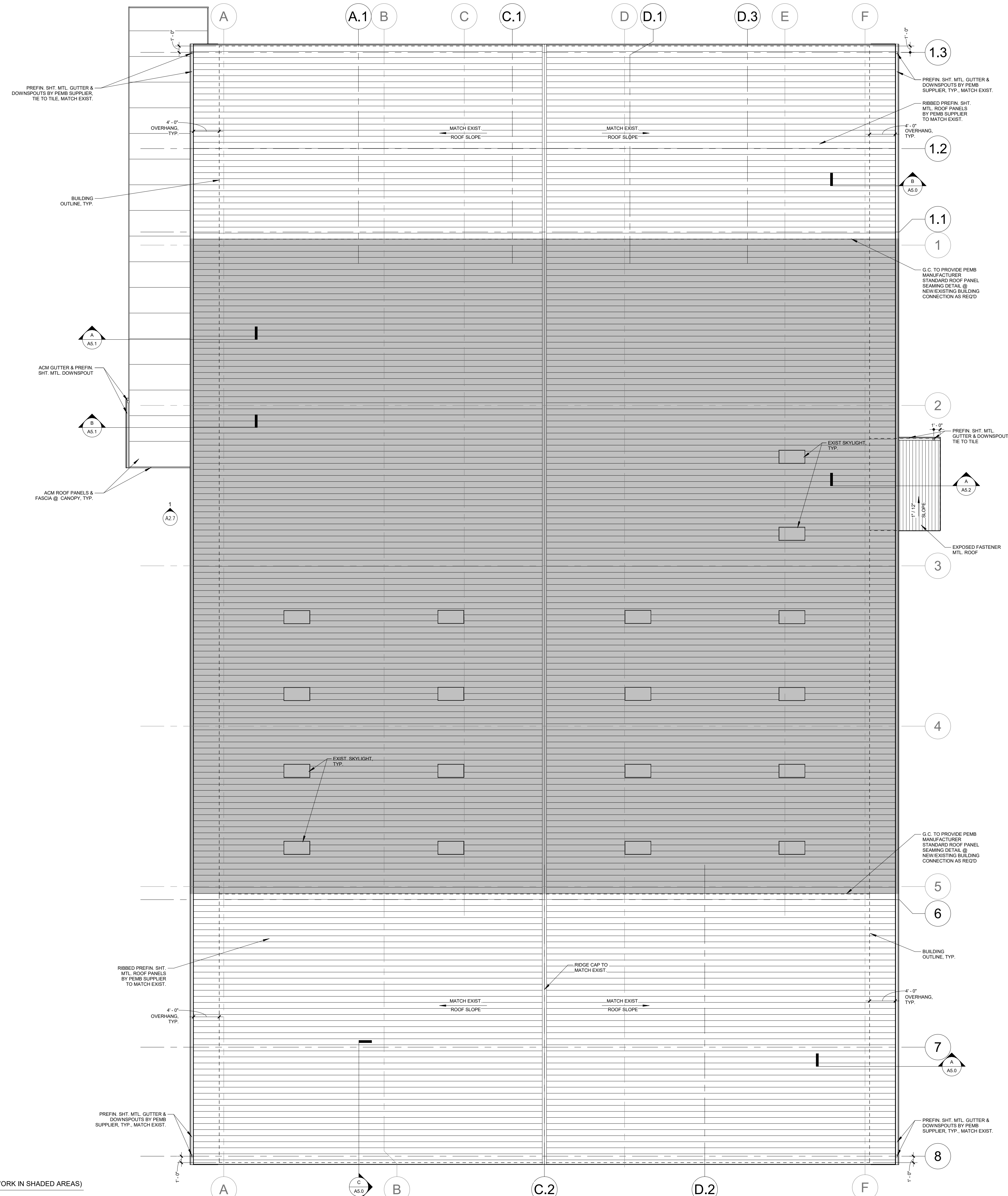


FINISH PLAN (NORTH)

SCALE: 1/8" = 1'-0"

(NO WORK IN SHADED AREAS)

ROOF PLAN
SCALE: 1/8" = 1'-0"
(NO WORK IN SHADED AREAS)



PREFIN. SHT. MTL. GUTTER & DOWNSPOUTS BY PEMB SUPPLIER. TYP. MATCH EXIST.

4'-0" OVERHANG, TYP.

BUILDING OUTLINE, TYP.

A5.1

ACM GUTTER & PREFIN. SHT. MTL. DOWNSPOUT

B5.1

ACM ROOF PANELS & FASCIA @ CANOPY, TYP.

A2.7

RIBBED PREFIN. SHT. MTL. ROOF PANELS BY PEMB SUPPLIER TO MATCH EXIST.

4'-0" OVERHANG, TYP.

PREFIN. SHT. MTL. GUTTER & DOWNSPOUTS BY PEMB SUPPLIER. TYP. MATCH EXIST.

1.3

PREFIN. SHT. MTL. GUTTER & DOWNSPOUTS BY PEMB SUPPLIER. TYP. MATCH EXIST.

1.2

RIBBED PREFIN. SHT. MTL. ROOF PANELS BY PEMB SUPPLIER TO MATCH EXIST.

4'-0" OVERHANG, TYP.

1.1

1

G.C. TO PROVIDE PEMB MANUFACTURER STANDARD ROOF PANEL SEAMING DETAIL @ NEW/EXISTING BUILDING CONNECTION AS REQ'D

2

4'-0" OVERHANG, TYP.

PREFIN. SHT. MTL. GUTTER & DOWNSPOUT, TIE TO TILE

A5.3

3

EXPOSED FASTENER MTL. ROOF

4

G.C. TO PROVIDE PEMB MANUFACTURER STANDARD ROOF PANEL SEAMING DETAIL @ NEW/EXISTING BUILDING CONNECTION AS REQ'D

5

6

BUILDING OUTLINE, TYP.

4'-0" OVERHANG, TYP.

7

A5.6

8

PREFIN. SHT. MTL. GUTTER & DOWNSPOUTS BY PEMB SUPPLIER. TYP. MATCH EXIST.

A

C A5.0

B

C.2

D.2

F

APPLICATION FOR SPECIAL PERMIT
CITY OF WATERLOO PLANNING, PROGRAMMING,
AND ZONING COMMISSION
WATERLOO, IOWA
319.291.4366

New or Overall Amendment _____
Individual Building X
Involving a variance(s) _____
Minor Change _____ (check one) (Minor Change must be approved by staff)

1. APPLICATION INFORMATION:

- a. Applicant's name (please print): Dan Levi, Levi Architecture
Address: 3228 Cedar Heights Drive Phone: 319.277.5636 Fax: _____
City: Cedar Falls State: Iowa Zip: 50613
Email: DanLevi@Leviarch.com
- b. Status of applicant: (a) Owner _____ (b) Other X (CHECK ONE): If other explain: Architect
- c. Property owner's name if different than above (please print): Hawkeye Community College - Terry Flynn
Address: 1501 East Orange Road Phone: _____ Fax: _____
City: Waterloo State: Iowa Zip: 50701
Email: terence.flynn@hawkeyecollege.edu.com

2. PROPERTY INFORMATION:

- a. General location of special permit: 6433 Hammond Avenue Waterloo, Iowa 50701
- b. Legal description of property or portion requesting special permit:
PARCEL O A PARCEL OF LAND IN THE S 1/2 OF NW 1/4 SEC 23 T 88 R 13 DESC AS COM AT W 1/4
COR OF SEC 23 TH N 89 DEG 17 MIN 32 SEC E ON S LINE OF NW 1/4 33 FT TO E ROW OF HAMMOND
AV BEING THE PT OF BEG TH N 771.05 FT TH N 89 DEG 32 MIN 44 SEC E 716.88 FT TH S
- c. Dimensions of proposed special permit: North Add = 30'x101.33' South Add = 41.9'x101.33' Compressor Room = 11'x14'
- d. Area of proposed special permit: 7,456 SF
- e. Current zoning: A-1 Agricultural District
- f. Variance(s) requested: _____
- g. Reason(s) for special permit and proposed uses(s) of property: Expansion of existing
Hawkeye Community College Regional Transportation Center
- h. Conditions (if any) agreed to (does not affect any existing conditions unless specified): _____
- i. Other pertinent information (use reverse side if necessary): _____

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it must go through a platting process (separate from special permit request).

The filing fee of **\$200** (for new or overall amendment), **\$225** (if involving a variance), **\$125** (for individual building), or **\$0** (for minor change) (payable to the City of Waterloo) is required. **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo Board of Adjustment in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.



Signature of Applicant 04.23.2024
Date



Signature of Owner 4/23/2024
Date

REQUEST:	Request by the Cedar Bend Humane Society for a special permit to add onto their existing building at 1166 West Airline Highway.
APPLICANT:	Cedar Bend Human Society, 1166 West Airline Highway, Waterloo, IA 50703.
GENERAL DESCRIPTION:	The applicant requests to construct a 33,700 square addition to their existing 5,887 square foot building.
IMPACT ON NEIGHBORHOOD	The Humane Society began operations at this location in 1971 according to the city directory for that year. The request would not appear to have a negative impact on the area as it is largely made up of industrial uses with some residences to the north.
VEHICULAR & PEDESTRIAN TRAFFIC:	The proposed special permit request would not appear to have a negative impact upon existing pedestrian and traffic conditions in the area. The site is served by West Airline Highway which is a Minor Arterial.
TRAIL PLAN:	There are no trails or sidewalks in the immediate vicinity.
ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:	<p>The site is zoned “M-1” Light Industrial District and has been zoned as such since the adoption of the Zoning Ordinance No. 2479 in 1969. Surrounding land uses and their zoning are as follows:</p> <p>North – Low density residential uses, zoned “A-1” Agricultural District.</p> <p>South – West Airline Highway and light industrial uses, zoned “M-1” Light Industrial District.</p> <p>East – Human Society’s pet cemetery and low density residential, zoned “M-1” Light Industrial District and “C-2” Commercial District</p> <p>West – Low density residential and heavier industrial uses, zoned “M-1” Light Industrial District and “M-2” Heavy Industrial District</p>
BUFFERS REQUIRED/ NEEDED:	<p>No buffers are required for this addition. Buffers become a requirement when the following apply:</p> <ul style="list-style-type: none">• All “C” Districts, which abut any “R-1” or “R-2” Residential Districts.• All “M” Districts, which abut any “C-1” or any “R” District.
DRAINAGE:	The applicant has turned in a storm water management plan, and the detention basin will need to be completed prior to receiving a Certificate of Occupancy. A storm sewer is shown extending northwest close to the end of the north/south

driveway and this detention pond is designed to allow water to percolate into the ground rather than the basin emptying into a storm sewer, as no storm sewer is in the immediate area. The proposed addition does not appear that it will negatively impact drainage in this area

DEVELOPMENT HISTORY:

The Humane Society has operated from this location for 53 years with no known issues, The area is composed of residential properties built as long ago as 1951, and light industrial uses constructed in 1999.

FLOODPLAIN:

The property is not located within a floodplain as indicated on Federal Insurance Administration's Flood Insurance Rate Map, Community Number 19013C0186F, dated July 18, 2011.

PUBLIC/OPEN SPACES/SCHOOLS:

There are no schools or parks in the immediate vicinity.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER.

An 8" sanitary sewer is in the right-of-way on the north side of West Airline Highway and a 12" watermain is on the south part of the right-of-way.

Overhead power lines located on the south side of West Airline Highway

RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:

The Future Land Use Map designates this area as *Industrial*. This request is in conformance with the Future Land Use Map and Comprehensive Plan for this area, as a kennel is a principal permitted use in the "M-1" Light Industrial District, upon approval of a special permit by the Board of Adjustment after review and recommendation by the Planning, Programming and Zoning Commission

STAFF ANALYSIS – ZONING ORDINANCE:

The Cedar Bend Humane Society is proposing to construct an addition of approximately 33,700 square feet onto their existing 5,887 square foot building that is located at 1166 West Airline Highway. To construct this addition, approval of a special permit is required under Chapter 27 Special Provisions, Exceptions and Modifications, H, 21. One of the main reasons a special permit for a kennel is required is because there can be outdoor exercise areas and proximity to nearby residentially zoned land, if applicable, is examined. There are nearby residences, but they are zoned "M-1" and "A-1", and the setback provisions for the principal building and outdoor exercise or runway area to be 250' and 500' do not apply since they are not residentially zoned.

The new addition is comprised of multiple uses which include:

- Adoption
- Animal Control
- Circulation

- Clinics
- Employee Spaces
- Intake
- Public Spaces
- Services
- Utilities
- Volunteers

A kennel requires one parking space for each 250 square feet of floor area, excluding animal exercise areas. Other areas that can be excluded are mechanical, warehousing, storage, or other similar uses, along with areas not for patron use. The engineering site plan notes that the building area is 35,406 square feet and 16,553 square feet is being excluded from the parking area, however, the numbers do not match what the architect has provided. The site plan says that 76 parking stalls are needed after certain areas are deducted, but with the existing building and areas that are being counted to include in the parking calculations come to the need for potentially 93 parking stalls. 93 parking stalls were determined by adding 33,700 square feet to 5,887 square feet (existing building), subtracting 16,553 square feet, coming up with 23,034 square feet, dividing by 250. Staff are working with both the engineering and architectural firms to determine the exact square footage and will have an answer at the Technical Review Committee Meeting if a variance to the parking requirements are needed.

The “M-1” Light Industrial District has height limits of four stories or 48’, and at the highest point, the addition will be 20’8”. The building will have numerous aesthetic features added, which include large windows, metal panel cladding, brick, glazed brick accents and concrete masonry work.

There are six buildings that will be demolished to make way for the new expansion. The Human Society is preparing to start their fund-raising efforts, and they want to get the plans approved before that begins.

STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:

There are no plans to subdivide the property.

STAFF
RECOMMENDATION:

Therefore, staff recommends that the request by Cedar Bend Humane Society for a Special Permit to allow an addition of approximately 33,700 square feet addition to the existing building 5,887 square foot building, in the “M-1” Light Industrial

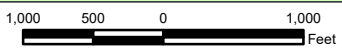
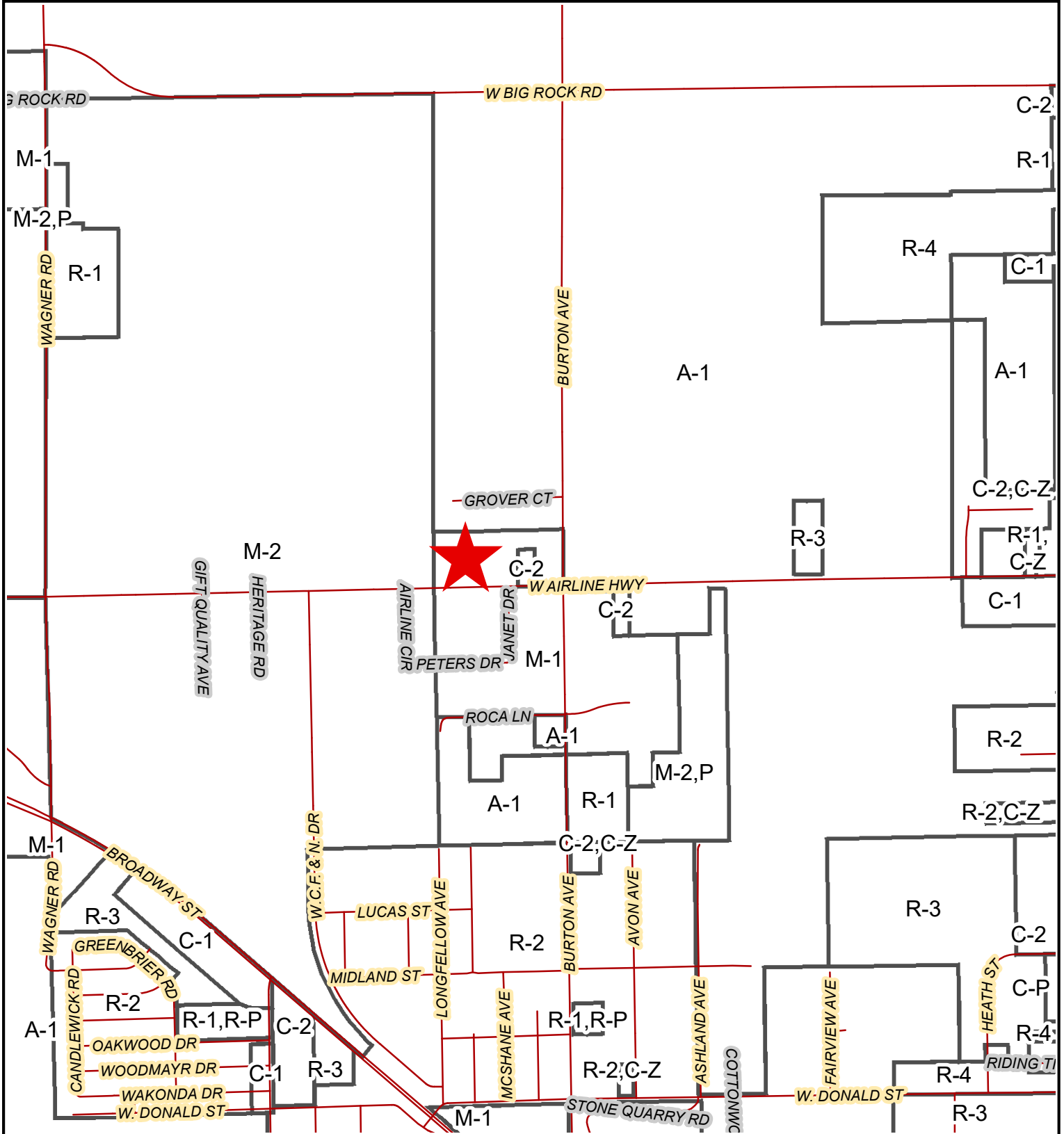
District, located south of 1166 West Airline Highway be approved for the following reasons:

1. It would appear the special permit would not have a negative impact on the surrounding area as this use has been there since 1971. The size of the building is increasing, but the majority of the operations are under roof.
2. The request will not have a negative impact on traffic conditions in the area.
3. The request is in conformance with the Future Land Use Map and Comprehensive Plan for this area, which designate it as Industrial.
4. The request would appear to be compatible with the surrounding area, which is primarily comprised of light industrial uses.

Subject to the following conditions:

1. That the final site plan meets all applicable city codes, regulations, etc. including, but not limited to, parking, landscaping, drainage, etc.

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**1166 West Airline Highway
Special Permit
Cedar Valley Humane Society**

**City of Waterloo Planning, Programming and Zoning Commission
May 14, 2024**



**1166 West Airline Highway
Special Permit
Cedar Bend Humane Society**



APPLICATION FOR SPECIAL PERMIT
 CITY OF WATERLOO PLANNING, PROGRAMMING,
 AND ZONING COMMISSION
 WATERLOO, IOWA
 319.291.4366

New or Overall Amendment
 Individual Building
 Involving a variance(s)
 Minor Change (select one) (Minor Change must be approved by staff)

1. APPLICATION INFORMATION:

- a. Applicant's name (please print): Cedar Bend Humane Society Inc, Kristy Gardner, Exec. Dir.
 Address: 1166 W Airline Hwy Phone: 319-232-6887 Fax: _____
 City: Waterloo State: Iowa Zip: 50703
 Email: executivedirector@cedarbendhumane.org
- b. Status of applicant: (a) Owner (b) Other (SELECT ONE): If other explain: _____
- c. Property owner's name if different than above (please print): _____
 Address: _____ Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____
 Email: _____

2. PROPERTY INFORMATION:

- a. General location of special permit: 1166 W Airline Hwy
- b. Legal description of property or portion requesting special permit: RENNERS HEIGHTS LOTS 8 THRU 13 EXC S 15 FT OF SAID LOTS & LOTS 8 & 9 EXC S 10 FT OF SAID LOTS
- c. Dimensions of proposed special permit: Development area is approximately 380' x 330'.
- d. Area of proposed special permit: Approximately 125,000 sf total development area.
- e. Current zoning: M-1
- f. Variance(s) requested: None requested
- g. Reason(s) for special permit and proposed uses(s) of property: Special Use of Animal Hospital, Veterinary Clinic and Animal Shelter
- h. Conditions (if any) agreed to (does not affect any existing conditions unless specified): None
- i. Other pertinent information (use reverse side if necessary): None

Please Note: If applicant is not the owner of the property, the signature of the owner must be secured. If it is the intent to subdivide (split) any land, vacant or improved in conjunction with this request it must go through a platting process (separate from special permit request).

The filing fee of \$200 (for new or overall amendment), \$225 (if involving a variance), \$125 (for individual building), or \$0 (for minor change) (payable to the City of Waterloo) is required. **This fee is non-refundable.** Under no condition shall said sum or any part thereof be refunded for failure of said amendment to be enacted into law. Any major change in any of the information given will require that the request go back through the process, with a new filing fee. The undersigned certify under oath and under the penalties of perjury that all information on this request and submitted along with it is true and correct. All information submitted will be used by the Waterloo Planning, Programming, and Zoning Commission and the Waterloo Board of Adjustment in making their decision. The undersigned authorize City Zoning Officials to enter the property in question in regards to the request.

4/30/2024	4/30/2024
Signature of Applicant	Signature of Owner
Date	Date