



# **AGENDA**

REGULAR SESSION

MONDAY, JUNE 7, 2021 7:00 PM

PRESIDING: THE HONORABLE MAYOR ROBERT A. DESANA

CHAIRPERSON OF THE EVENING: THE HONORABLE CHRIS CALVIN

## **CALL TO ORDER**

## **PLEDGE OF ALLEGIANCE**

**ROLL CALL** Alderman, Calvin, Crayne, Hanna, Shuryan, Stec

## **PRESENTATIONS**

## **PRESENTATION OF PETITIONS**

## **PUBLIC HEARINGS**

- Epic Property Management: 1475 Eureka Rd.: Commercial Rehabilitation Exemption Certificate (CREC) Public Hearing

## **UNFINISHED BUSINESS**

1. Parking Lot #1 and Whiskey's Beer Garden

## **CALL TO THE PUBLIC**

**At this time, any persons having matters of immediate importance which they were unable to place in writing prior to the agenda deadline may approach the podium to address Mayor and Council.**

**CONSENT AGENDA All items listed under the Consent Agenda are considered routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items, unless a Council member so requests, in which event the items will be removed from the Consent Agenda and added to the regular agenda in New Business.**

2. Delinquent Water and Sewer Charges billed by the Department of Municipal Services
3. WMS Year to Date Financial Results for Period Ending 3/31/2021
4. Appointment to Design-Review Board
5. 2021 Wyandotte Street Art Fair Parking Lot Request
6. Special Event Request: Community Choice Credit Union
7. Special Events Request: 359 Yoga Events

## **NEW BUSINESS**

8. Design Review Appeal: Carma Peters, President & CEO - Michigan Legacy Credit Union
9. Citizen Communication/Appeal: W. Steinke, SRA
10. Citizen Communication: Property Use Request - J. Kovach
11. Epic Property Management: 1475 Eureka Rd.: Commercial Rehabilitation Exemption Certificate (CREC) Application
12. Sale of Former 400 Highland, Wyandotte
13. Sale of Part of the Former 4285 17th Street
14. Amendment to ordinances concerning prohibited conduct on school property, school attendance, school truancy, e-cigarettes (#1511-1514)

## **BILLS & ACCOUNTS**

## **REPORTS & MINUTES**

Cultural & Historical Commission 3/11/2021

Retirement Commission 5/21/2021

WMS Commission 5/19/2021

Zoning Board minutes 4/7/2021

Zoning Board Minutes 5/5/2021

WMS Commission 6/2/2021

Recreation Minutes May 12th, 2021

## **REMARKS OF THE MAYOR, COUNCIL, & ELECTED OFFICIALS**

**NEXT MEETING OF THE CITY COUNCIL:** JUNE 21, 2021

## **ADJOURNMENT**

## **PUBLIC HEARINGS**

**Now is the time and place to hear objections,  
if any, regarding the following item(s):**

Epic Property Management: 1475 Eureka Rd.:  
Commercial Rehabilitation Exemption Certificate (CREC)

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 1**

**ITEM: Parking Lot #1 and Whiskey's Beer Garden**

**PRESENTER:** Joe Gruber, DDA Director

**INDIVIDUALS IN ATTENDANCE:**

**BACKGROUND:** Whiskey's on the Water executed their most recent Grant of License with the City of Wyandotte on March 23, 2021 which granted permission to utilize Parking Lot #1 for both the regular operation of the Whiskey's Beer Garden as well as the expanded operations for a series of special events.

Wine Dotte Bistro has been closed since early 2020 in conjunction with the COVID-19 pandemic. The restaurant has not since reopened in any capacity. During the Council Meeting on Monday, May 24th, the owners, Karen and Carl Goretta first shared news of their reopening scheduled for June 15th. They requested support from the City and requested that Parking Lot #1 be reopened for general public parking. The DDA Director was instructed to coordinate with Whiskey's on the Water to devise a solution.

Parking Lot #1 will be used to host Bark on Biddle (June 4<sup>th</sup> – 6<sup>th</sup>) and the Swiggin' Pig BBQ Festival (June 10<sup>th</sup> – 13<sup>th</sup>). Both of these events have separate approvals from the City of Wyandotte and State of Michigan and will take up a slightly different, larger footprint than the regular Whiskey's Beer Garden.

Whiskey's Beer Garden will then rearrange to accommodate additional parking needs for Wine Dotte Bistro and their re-opening starting June 15<sup>th</sup>. After that time, the Beer Garden will continue operating, finishing out its final contracts and activities, before it winds down and is finally dismantled by July 1<sup>st</sup>, 2021.

There are a series of special events throughout the remainder of the calendar year that will affect parking and travel through Parking Lot #1

- July 6-12: Wyandotte Street Art Fair
- Sept. 17-18: Beer Fest
- Sept 24-26: Fire & Flannel Fest
- Oct. 29-30 - Detroit River Cocktail Showdown and the 80's vs. 90's Halloween Party
- Dec. 17-18- Santa Pub Crawl and Winter Beer & Holiday Cocktail Festival

**STRATEGIC PLAN/GOALS:** N/A



**ACTION REQUESTED:** Receive and Place on file the Staff report regarding Parking Lot #1

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** Receive and place on file

**LIST OF ATTACHMENTS:**

1. Whiskeys Beer Garden Grant of License FINAL 3.23.2021

**RESOLUTION**

Item Number: #1  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that the staff report regarding Parking Lot #1 is received and placed on file.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## REVOCABLE GRANT OF LICENSE

CITY OF WYANDOTTE, a Michigan Municipal corporation, and its successors, hereinafter called the GRANTOR, and WOW Concepts, LLC, whose address is 2903 Biddle Avenue (also described as 00112 N 30 FT OF LOT 1 CORRECTED PLAT OF BLOCKS 19,20,30 AND 31, BLOCK 31 T3S R11E, L1 P297 WCR) and their successors, hereinafter called the LICENSEE, enter into this Agreement on the 17 day of March 2021 subject to the following conditions:

1. The LICENSEE is the tenant of the property described above, located on the east side of Biddle Avenue, south side of Oak Street and abutting the public city-owned Parking Lot #1.
2. The GRANTOR grants to the LICENSEE, and it's assigns, the right to access and occupy a portion of the public city-owned Parking Lot #1., for the purposes of outdoor seating and dining area, utilities, traffic safety measures consisting of fencing and barriers in accordance with the approved Regular and Special uses, dates and times as shown on the attached **Exhibits A, B and C**. The LICENSEE shall pay all costs associated with said establishment, maintenance, operation and removal of said outdoor seating and dining area, utilities, traffic safety measures, including the restoration of any public property if damaged during said use, INCLUDING the cost of City of Wyandotte Public Services, Municipal Services and all fees associated with time and labor for installation. Said cost of drop off/pick up/installation etc. for bike rack, signs and trash cans will be subject to actual time spent by the Department of Public Services performing these activities and billed by the GRANTOR to the LICENSEE accordingly. The LICENSEE shall also be responsible for installation, maintenance and removal of all traffic safety measures to ensure the protection and use of the public. Licensee must comply with all health and safety orders, regulations, liquor control requirements, and all City Ordinances.
3. Further, the LICENSEE agrees to provide snow removal in the public right of way of Parking Lot #1 as granted, including the removal of snow from between the sidewalks and fencing.
4. Further, the GRANTOR reserves the right from the date hereof, an easement on, over, under, across, and within said property for the purpose of construction, operating, maintaining, and repairing existing and future public utilities, sewers, water mains, gas mains and drains. The GRANTOR also reserves the same rights for Wyandotte Municipal Services, Michigan Consolidated Gas Company, and Michigan Bell Telephone Company, their successor and assigns.
5. In consideration of the GRANTOR providing this Grant of License, the LICENSEE agrees to execute a Hold Harmless agreement indemnifying the GRANTOR from all liability arising out of this Grant of License and shall provide liability insurance in the amount approved by the Grantor which names the Grantor as an additional insured party for the use permitted herein.
6. If the GRANTOR directs LICENSEE to revoke, move or revise any modifications or appurtenances added to the public right of way, including traffic safety measures, in any way after issuance of this License to insure the premises will be reasonably safe and convenient for public use and travel, LICENSEE agrees to do this at its own cost immediately. Further, the GRANTOR may revoke this license at any time in its sole discretion.

This LICENSEE is responsible to pay the recording fee for this Grant of License.

GRANT OF LICENSE - Page 2 of 2

Witnesses:

GRANTOR: City of Wyandotte

[Signature]  
[Signature]  
Robert A. DeSana, Mayor Pro Tempore  
[Signature]  
Lawrence S. Stec, City Clerk

Subscribed and sworn to me this 17<sup>th</sup> day of March, 2021, by Robert A. DeSana and Lawrence S. Stec who are the Mayor Pro Tempore and City Clerk of the City of Wyandotte who duly executed said LICENSE with full authority.

[Signature]  
NOTARY PUBLIC, WAYNE COUNTY,  
MICHIGAN  
My Commission Expires: 9/29/25  
Witnesses:

JANICE S. HOCHBERG  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF WAYNE  
MY COMMISSION EXPIRES Sep 29, 2025  
ACTING IN COUNTY OF

[Signature]  
LICENSEE: [Signature]

Subscribed and sworn to me this 23<sup>rd</sup> day of March, 2021,  
by  
Josh Cade who duly executed said LICENSE with full  
authority.

[Signature]  
NOTARY PUBLIC, WAYNE COUNTY,  
MICHIGAN  
My Commission Expires: 12/4/2022

BETH A. LEKITY  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF MONROE  
MY COMMISSION EXPIRES Dec 4, 2022  
ACTING IN COUNTY OF Wayne

When recorded, return to:  
City of Wyandotte  
Department of Engineering and Building  
3200 Biddle Avenue, Suite 200  
Wyandotte, Michigan 48192





## Exhibit A: Regular Beer Garden

As outlined in the above Grant of License, the Licensee is permitted to utilize the boundaries outlined in this Map of City of Wyandotte Parking Lot #1 on a regular basis in accordance with the regular operations of the Whiskey's Beer Garden. The Licensee must dismantle seating and gated area during non-operation to allow for public parking to resume.

**Capacity 100**



Bike Rack Fencing



Water Barricades



Entrance/Exit











Electricity



## EXHIBIT B: Special Event Beer Garden

As outlined in the above Grant of License, the Licensee is permitted to utilize the boundaries outlined in this Map of City of Wyandotte Parking Lot #1 on a special event basis in accordance with the approved City of Wyandotte special event operations on these specific dates in 2021.

May 1: Cinco Block Party		Food Trucks
May 14-15: St Patrick's Party		Stage
June 4-6: Bark on Biddle		Bar
June 10-13: Swiggin' Pig		Bike Rack Fencing
Sept 24-26: Fire & Flannel Fest		Porta Johns
Oct. 29 - Detroit River Cocktail Showdown		Enter/Exit
Oct. 30 - 80's vs. 90's Halloween Party		Electricity
Dec. 17 - Santa Pub Crawl		Security
Dec. 18 - Winter Beer & Holiday Cocktail Festival		



**EXHIBIT C**  
**Whiskeys Beer Garden**  
**City Parking Lot Request**  
**April 29 – Dec 31, 2021**



**Contact Info:** Josh Cade – 734 – 626 - 7713

**Regular Use of Space:**

Parking Lot #1 will be used to host Whiskeys Beer Garden which features live music, food truck and bar. The area will be decorated with umbrella's, Edison lights and whiskey barrels. (same as 2020 – See Exhibit A: Regular Beer Garden)

**Special Use of Space:**

Parking Lot #1 will be used to host several special events which feature similar activities on an expanded footprint (See Exhibit B: Special Event Beer Garden). WOW will be responsible for removing and replacing the bike rack fencing and water barriers for the transitions between the Regular Beer Garden and the Special Event Beer Gardens. DPS will deliver, remove and store off-site the additional barriers required extending the boundaries for the Special Events at the advanced request of WOW.

- May 1: Cinco Block Party
- May 14-15: St Patrick's Party
- June 4-6: Bark on Biddle
- June 10-13: Swiggin' Pig
- Sept 24-26: Fire & Flannel Fest
- Oct. 29 - Detroit River Cocktail Showdown
- Oct. 30 - 80's vs. 90's Halloween Party
- Dec. 17 - Santa Pub Crawl
- Dec. 18 - Winter Beer & Holiday Cocktail Festival

**City Requests:**

- On Thurs., April 29<sup>th</sup> deliver Bike Rack Fencing to be placed around the section of the lot behind Whiskeys on the Water. (Leave opening to allow pedestrians access the sidewalk into the alley.
- On Wed, April 28, place "No Parking on Thursday"
- Access to water hook up
- Electrical is needed (see map) – Power will be needed Thursday – Sunday each week.
- One pedestal on the island closest to Oak Street and Whiskeys on the Water.
- Trash Cans – an ample supply of lined trash cans to be placed in the event area. EXTRA BAGS

**WOW Payments:**

WOW shall pay all costs associated with said establishment, maintenance, operation and removal of said outdoor seating and dining area, utilities, traffic safety measures, including the restoration of any public property if damaged during said use, INCLUDING the cost of City of Wyandotte Public Services, Municipal Services and all fees associated with time and labor for installation. Said cost of drop off/pick up/installation etc. for bike rack, signs and trash cans will be subject to actual time spent by the Department of Public Services performing these activities and billed by the GRANTOR to the LICENSEE accordingly. The LICENSEE shall also be responsible for installation, maintenance and removal of all traffic safety measures to ensure the protection and use of the public when the above spaces are not in use and the Regular uses and Special uses are not active. Licensee must comply with all health and safety orders, regulations, liquor control requirements, and all City Ordinances.

### HOLD HARMLESS

In consideration of the City of Wyandotte granting authority to the City Administrator to allow use of specific public property to the undersigned which may include the sidewalk, parking lot, parking space, alley or street, utilities and facilities, for general business use, sales and displays, and special events through the Grant of License dated MARCH 17, 2021 the undersigned hereby assumes all risk and liability relating to the utilization of said public property as stated above and agrees to hold harmless and indemnify the City of Wyandotte, Downtown Development Authority, City Officials, City Directors, City Officers, agents and employees, from all liability and responsibility whatever for injury (including death) to persons and for any damage to any public property or property of others arising out of or resulting directly or indirectly from the utilization of said public property in the City of Wyandotte. Public property includes City of Wyandotte property. The undersigned further does hereby remise, release and forever discharge the City of Wyandotte, Downtown Development Authority, City Officials, City Directors, its officers, agents and employees from any and all claims, demands, actions, causes of action, damages and liabilities resulting or arising out of, either directly or indirectly from the utilization of said public property. Permission to use said public property must be received from the City of Wyandotte in advance of any use and nothing in this agreement constitutes such approval.

This is intended to be a continuous Hold Harmless through December 31<sup>st</sup>, 2021

Agreed to this 17<sup>th</sup> day of MARCH, 2021.

Name: Tasha Rob Title: Owner/Operator

Organization or company Wan Concepts

By: \_\_\_\_\_

Address: 2903 Bidde

City: Wyandotte Phone: 734-626-7713

Signature: [Signature]



**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 2**

**ITEM: Delinquent Water and Sewer Charges billed by the Department of Municipal Services**

**PRESENTER:** Heather Zagor- Customer Assistance Supervisor

**INDIVIDUALS IN ATTENDANCE:** Paul LaManes - GM

**BACKGROUND:** Attached is a list of accounts with delinquent water and sewer that have not been paid for the period 4/16/2019-11/1/2020 for inactive accounts without a rental affidavit. The total amount is \$ 6,857.86. In accordance with Section 38.1-16 and 38.1-18 of the City Code of Ordinances, said charges may be placed as a special assessment lien against the property. Such lien shall become effective immediately upon the distribution of water or sewer service to the premises or property supplied as aforesaid but shall not be enforceable for more than five years thereafter.

**STRATEGIC PLAN/GOALS:** Providing fiscally responsible services.

**ACTION REQUESTED:** Concur with the Municipal Services Commission approval for charges to be placed as a special assessment lien against properties on the 2021 Summer Tax Roll, as recommended by WMS management.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** Subsequent to City Council concurrence finalize the spread of said charges on the 2021 Summer Tax Roll

**LIST OF ATTACHMENTS:**

1. Attachment - Delinquent Water and Sewer to Taxes\_3

**RESOLUTION**

Item Number: #2  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

RESOLVED, by City Council that Council concurs with the Wyandotte Municipal Services Commission and the WMS management recommendation regarding the list of Water and Sewer charges billed by the Department of Municipal Services that are delinquent, and directs the General Manager through the City Treasurer to spread said charges on the 2021 Summer Tax Roll.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

<b><u>YEAS</u></b>	<b><u>COUNCIL</u></b>	<b><u>NAYS</u></b>
_____	<b>Alderman</b>	_____
_____	<b>Calvin</b>	_____
_____	<b>Crayne</b>	_____
_____	<b>Hanna</b>	_____
_____	<b>Shuryan</b>	_____
_____	<b>Stec</b>	_____

Parcel Number	Service Address	Billing Item	Total Delq
57 001 01 0152 000	220 2ND	SW-SEWR	\$66.17
57 001 01 0152 000	220 2ND	WA-SERV	\$41.64
57 001 01 0152 000	220 2ND	WA-WATR	\$28.87
57 001 01 0152 000		Total:	\$136.68
57 003 08 0310 000	1880 19TH	SW-SEWR	\$119.93
57 003 08 0310 000	1880 19TH	WA-SERV	\$54.86
57 003 08 0310 000	1880 19TH	WA-WATR	\$51.19
57 003 08 0310 000		Total:	\$225.98
57 017 16 0225 301	1410 SYCAMORE	SW-SEWR	\$152.41
57 017 16 0225 301	1410 SYCAMORE	WA-SERV	\$82.62
57 017 16 0225 301	1410 SYCAMORE	WA-WATR	\$58.37
57 017 16 0225 301		Total:	\$293.40
57 018 01 0577 000	3927 18TH	SW-SEWR	\$77.90
57 018 01 0577 000	3927 18TH	WA-SERV	\$67.25
57 018 01 0577 000	3927 18TH	WA-WATR	\$24.71
57 018 01 0577 000		Total:	\$169.86
57 005 01 0009 002	880 ST JOHNS	SW-SEWR	\$16.94
57 005 01 0009 002	880 ST JOHNS	WA-SERV	\$27.10
57 005 01 0009 002	880 ST JOHNS	WA-WATR	\$7.54
57 005 01 0009 002		Total:	\$51.58
57 003 08 0282 000	1685 20TH	SW-SEWR	\$21.16
57 003 08 0282 000	1685 20TH	WA-SERV	\$30.36
57 003 08 0282 000	1685 20TH	WA-WATR	\$10.04
57 003 08 0282 000		Total:	\$61.56
57 020 34 0027 001	3921 6TH	SW-SEWR	\$65.47
57 020 34 0027 001	3921 6TH	WA-SERV	\$54.86
57 020 34 0027 001	3921 6TH	WA-WATR	\$28.79
57 020 34 0027 001		Total:	\$149.12
57 016 05 0189 002	2480 23RD	SW-SEWR	\$67.02
57 016 05 0189 002	2480 23RD	WA-SERV	\$69.67
57 016 05 0189 002	2480 23RD	WA-WATR	\$28.81
57 016 05 0189 002		Total:	\$165.50
57 012 10 0035 000	436 SPRUCE	SW-SEWR	\$30.90
57 012 10 0035 000	436 SPRUCE	WA-SERV	\$41.64
57 012 10 0035 000	436 SPRUCE	WA-WATR	\$13.49
57 012 10 0035 000		Total:	\$86.03
57 004 25 0111 002	1109 5TH	SW-SEWR	\$95.03
57 004 25 0111 002	1109 5TH	WA-SERV	\$106.44
57 004 25 0111 002	1109 5TH	WA-WATR	\$48.02
57 004 25 0111 002		Total:	\$249.49
57 010 08 0004 001	2228 BIDDLE	SW-SEWR	\$27.10
57 010 08 0004 001	2228 BIDDLE	WA-SERV	\$40.98
57 010 08 0004 001	2228 BIDDLE	WA-WATR	\$12.18
57 010 08 0004 001		Total:	\$80.26
57 001 05 0126 004	764 RIVERBANK	SW-SEWR	\$82.94
57 001 05 0126 004	764 RIVERBANK	WA-SERV	\$54.20
57 001 05 0126 004	764 RIVERBANK	WA-WATR	\$37.56
57 001 05 0126 004		Total:	\$174.70
57 005 01 0032 000	826 CORA	SW-SEWR	\$416.19
57 005 01 0032 000	826 CORA	WA-SERV	\$29.35
57 005 01 0032 000	826 CORA	WA-WATR	\$191.13
57 005 01 0032 000		Total:	\$636.67
57 012 20 0030 000	511 MULBERRY	SW-SEWR	\$16.93
57 012 20 0030 000	511 MULBERRY	WA-SERV	\$54.86
57 012 20 0030 000	511 MULBERRY	WA-WATR	\$7.62
57 012 20 0030 000		Total:	\$79.41
57 004 23 0040 000	605 ST JOHNS	SW-SEWR	\$0.00
57 004 23 0040 000	605 ST JOHNS	WA-SERV	\$0.00
57 004 23 0040 000	605 ST JOHNS	WA-WATR	\$25.10
57 004 23 0040 000		Total:	\$25.10
57 006 08 0110 000	1858 8TH	SW-SEWR	\$91.71
57 006 08 0110 000	1858 8TH	WA-SERV	\$72.00
57 006 08 0110 000	1858 8TH	WA-WATR	\$40.29
57 006 08 0110 000		Total:	\$204.00

57	019	30	0084	000	4227	15TH	SW-SEWR	\$39.67
57	019	30	0084	000	4227	15TH	WA-SERV	\$31.40
57	019	30	0084	000	4227	15TH	WA-WATR	\$18.92
57	019	30	0084	000			Total:	\$89.99
57	012	20	0010	000	477	MULBERRY	SW-SEWR	\$21.17
57	012	20	0010	000	477	MULBERRY	WA-SERV	\$30.36
57	012	20	0010	000	477	MULBERRY	WA-WATR	\$13.03
57	012	20	0010	000			Total:	\$64.56
57	006	08	0222	000	1834	LINDBERGH	SW-SEWR	\$40.64
57	006	08	0222	000	1834	LINDBERGH	WA-SERV	\$26.44
57	006	08	0222	000	1834	LINDBERGH	WA-WATR	\$16.80
57	006	08	0222	000			Total:	\$83.88
57	020	07	0008	001	3534	4TH	SW-SEWR	\$10.30
57	020	07	0008	001	3534	4TH	WA-SERV	\$27.10
57	020	07	0008	001	3534	4TH	WA-WATR	\$4.50
57	020	07	0008	001			Total:	\$41.90
57	018	01	0386	000	3657	17TH	SW-SEWR	\$114.04
57	018	01	0386	000	3657	17TH	WA-SERV	\$45.91
57	018	01	0386	000	3657	17TH	WA-WATR	\$25.27
57	018	01	0386	000			Total:	\$185.22
57	014	09	0001	002	1029	ELM	SW-SEWR	\$33.87
57	014	09	0001	002	1029	ELM	WA-SERV	\$27.10
57	014	09	0001	002	1029	ELM	WA-WATR	\$14.28
57	014	09	0001	002			Total:	\$75.25
57	001	04	0060	000	205	NORTH DR	SW-SEWR	\$31.74
57	001	04	0060	000	205	NORTH DR	WA-SERV	\$58.12
57	001	04	0060	000	205	NORTH DR	WA-WATR	\$14.24
57	001	04	0060	000			Total:	\$104.10
57					137	DAVIS	SW-SEWR	\$13.54
57					137	DAVIS	WA-SERV	\$54.86
57					137	DAVIS	WA-WATR	\$6.17
57							Total:	\$74.57
57	005	07	0129	000	1264	ELECTRIC	SW-SEWR	\$59.54
57	005	07	0129	000	1264	ELECTRIC	WA-SERV	\$54.86
57	005	07	0129	000	1264	ELECTRIC	WA-WATR	\$25.23
57	005	07	0129	000			Total:	\$139.63
57	005	07	0287	002	1086	8TH	SW-SEWR	\$56.45
57	005	07	0287	002	1086	8TH	WA-SERV	\$58.12
57	005	07	0287	002	1086	8TH	WA-WATR	\$25.35
57	005	07	0287	002			Total:	\$139.92
57	018	02	0856	002	3805	20TH	SW-SEWR	\$0.00
57	018	02	0856	002	3805	20TH	WA-SERV	\$14.81
57	018	02	0856	002	3805	20TH	WA-WATR	\$0.00
57	018	02	0856	002			Total:	\$14.81
57	013	02	0034	000	2246	9TH	SW-SEWR	\$17.63
57	013	02	0034	000	2246	9TH	WA-SERV	\$30.36
57	013	02	0034	000	2246	9TH	WA-WATR	\$8.34
57	013	02	0034	000			Total:	\$56.33
57	006	08	0152	000	1847	8TH	SW-SEWR	\$70.55
57	006	08	0152	000	1847	8TH	WA-SERV	\$59.79
57	006	08	0152	000	1847	8TH	WA-WATR	\$33.05
57	006	08	0152	000			Total:	\$163.39
57	014	09	0001	002	1029	ELM	SW-SEWR	\$67.01
57	014	09	0001	002	1029	ELM	WA-SERV	\$40.98
57	014	09	0001	002	1029	ELM	WA-WATR	\$27.72
57	014	09	0001	002			Total:	\$135.71
57	014	06	0010	000	2961	9TH	SW-SEWR	\$0.00
57	014	06	0010	000	2961	9TH	WA-SERV	\$14.81
57	014	06	0010	000	2961	9TH	WA-WATR	\$0.00
57	014	06	0010	000			Total:	\$14.81
57	010	31	0004	000	2121	BIDDLE 301	SW-SEWR	\$7.05
57	010	31	0004	000	2121	BIDDLE 301	WA-SERV	\$89.22
57	010	31	0004	000	2121	BIDDLE 301	WA-W1.5	\$0.00
57	010	31	0004	000	2121	BIDDLE 301	WA-WATR	\$3.05
57	010	31	0004	000			Total:	\$99.32

57	018	02	0808	002	3678	19TH	SW-SEWR	\$10.58
57	018	02	0808	002	3678	19TH	WA-SERV	\$0.00
57	018	02	0808	002	3678	19TH	WA-WATR	\$5.10
57	018	02	0808	002			Total:	\$15.68
57					137	DAVIS	SW-SEWR	\$3.61
57					137	DAVIS	WA-SERV	\$15.70
57					137	DAVIS	WA-WATR	\$1.72
57							Total:	\$21.03
57	015	22	0001	004	2827	4TH	SW-SEWR	\$56.44
57	015	22	0001	004	2827	4TH	WA-SERV	\$61.46
57	015	22	0001	004	2827	4TH	WA-WATR	\$27.06
57	015	22	0001	004			Total:	\$144.96
57	003	01	0059	002	1521	GODDARD	SW-SEWR	\$56.43
57	003	01	0059	002	1521	GODDARD	WA-SERV	\$0.00
57	003	01	0059	002	1521	GODDARD	WA-WATR	\$27.05
57	003	01	0059	002			Total:	\$83.48
57	020	07	0008	001	3534	4TH	SW-SEWR	\$84.64
57	020	07	0008	001	3534	4TH	WA-SERV	\$75.34
57	020	07	0008	001	3534	4TH	WA-WATR	\$38.33
57	020	07	0008	001			Total:	\$198.31
57	006	08	0219	000	1846	LINDBERGH	SW-SEWR	\$58.99
57	006	08	0219	000	1846	LINDBERGH	WA-SERV	\$99.33
57	006	08	0219	000	1846	LINDBERGH	WA-WATR	\$81.01
57	006	08	0219	000			Total:	\$239.33
57	014	12	0033	000	995	MAPLE	SW-SEWR	\$66.37
57	014	12	0033	000	995	MAPLE	WA-SERV	\$47.89
57	014	12	0033	000	995	MAPLE	WA-WATR	\$31.56
57	014	12	0033	000			Total:	\$145.82
57	001	01	0152	000	220	2ND	SW-SEWR	\$71.81
57	001	01	0152	000	220	2ND	WA-SERV	\$61.46
57	001	01	0152	000	220	2ND	WA-WATR	\$33.78
57	001	01	0152	000			Total:	\$167.05
57	014	18	0004	000	1135	SUPERIOR	SW-SEWR	\$21.16
57	014	18	0004	000	1135	SUPERIOR	WA-SERV	\$22.12
57	014	18	0004	000	1135	SUPERIOR	WA-WATR	\$13.12
57	014	18	0004	000			Total:	\$56.40
57	006	08	0235	000	1734	LINDBERGH	SW-SEWR	\$32.45
57	006	08	0235	000	1734	LINDBERGH	WA-SERV	\$59.06
57	006	08	0235	000	1734	LINDBERGH	WA-WATR	\$23.82
57	006	08	0235	000			Total:	\$115.33
57	018	01	0547	002	3637	18TH	SW-SEWR	\$140.64
57	018	01	0547	002	3637	18TH	WA-SERV	\$64.23
57	018	01	0547	002	3637	18TH	WA-WATR	\$68.51
57	018	01	0547	002			Total:	\$273.38
57	006	08	0110	000	1858	8TH	SW-SEWR	\$28.85
57	006	08	0110	000	1858	8TH	WA-SERV	\$17.80
57	006	08	0110	000	1858	8TH	WA-WATR	\$14.48
57	006	08	0110	000			Total:	\$61.13
57	018	02	0808	002	3678	19TH	SW-SEWR	\$36.54
57	018	02	0808	002	3678	19TH	WA-SERV	\$0.00
57	018	02	0808	002	3678	19TH	WA-WATR	\$17.54
57	018	02	0808	002			Total:	\$54.08
57	014	06	0001	000	845	OAK	SW-SEWR	\$324.46
57	014	06	0001	000	845	OAK	WA-SERV	\$65.80
57	014	06	0001	000	845	OAK	WA-WATR	\$158.93
57	014	06	0001	000			Total:	\$549.19
57	001	04	0457	000	263	HIGHLAND	SW-SEWR	\$25.24
57	001	04	0457	000	263	HIGHLAND	WA-SERV	\$65.91
57	001	04	0457	000	263	HIGHLAND	WA-WATR	\$12.64
57	001	04	0457	000			Total:	\$103.79
57	013	18	0032	000	2245	8TH	SW-SEWR	\$18.45
57	013	18	0032	000	2245	8TH	WA-SERV	\$99.42
57	013	18	0032	000	2245	8TH	WA-WATR	\$8.96
57	013	18	0032	000			Total:	\$126.83
57	020	12	0001	000	669	ORANGE	SW-SEWR	\$40.56

57 020 12 0001 000	669 ORANGE	WA-SERV	\$82.29
57 020 12 0001 000	669 ORANGE	WA-WATR	\$19.78
57 020 12 0001 000		Total:	\$142.63
57 010 24 0008 001	2534 2ND	SW-SEWR	\$25.73
57 010 24 0008 001	2534 2ND	WA-SERV	\$48.68
57 010 24 0008 001	2534 2ND	WA-WATR	\$12.30
57 010 24 0008 001		Total:	\$86.71

Billing Item	Delq Billing	Delq Sales Tax	Delq Penalty	Delq Interest	Total Delq
CA-FFCA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
D1	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
DA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL - RENEW ENERGY-R	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL- M2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-ELER	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-SERV	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EO-ENER	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
ID	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- ADD BANDWIDTH	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- MODEM LEASE FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- TURBO 150	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- TURBO 200-2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- VOIP DISCO	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-FFCA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-TXMI	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-TXWC	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-USF	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-VOIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-VP2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-WIRE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
PS-PWR	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
SW	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
SW-SEWR	\$3,033.95	\$0.00	\$0.00	\$0.00	\$3,033.95
TOTER COST RECOVERY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
TR-TOTER RENTAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
V7	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
WA-SERV	\$2,296.68	\$0.00	\$81.88	\$0.00	\$2,378.56
WA-WATR	\$1,391.33	\$0.00	\$54.02	\$0.00	\$1,445.35
C6	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA- HD TECH FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA- PROGRAM TV FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA- SPORT PROG FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-BAS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-CH	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HD CONV DVR ADDL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HDPV	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HDT2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV01	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV02	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV03	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-RTCA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD01	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD02	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD03	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD04	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA- INST 2 SERVICES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-BII	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DIG2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HBO	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV04	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV05	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV06	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV07	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV08	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-PPV09	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-ZPK1	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-ZPK2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-ZPK5	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
FC	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-TURBO 100	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
P2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
U1	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

CA-CMX	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DIS01	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DIS02	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- TURBO 100	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-UNRETURNED EQUIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- BASIC 6	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DIG	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-PLUS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-ZPK6	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
SE-SEWR	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-SHMC	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
WA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
C5	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DVR TIVO	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-TIVO2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-Z001	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CAO	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-MOCA 150	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-DTA MONTHLY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-CABLE/NET ADJ	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-ADDO	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P004	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P2A	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-SH13	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HD CONV	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HDTV	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD05	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-VOD06	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-ENER	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-MOCA 100	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-HDP2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-Z002	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-STAR	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-ZPK4	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P24	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P27	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CM	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NSF FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
WA-W1.5	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-H214	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-MOCA 200-2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA- TRANSFER FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- TURBO 200	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT- TURBO 300	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P25	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
E1-ENR1	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-ELSC	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-REP-SG	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
EL-SERV-SG	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
I2	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
NT-VPB	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
PS-PWR-SG	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
SW-SURV	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P23	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CA-P26	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<hr/>					
	\$6,721.96	\$0.00	\$135.90	\$0.00	\$6,857.86

Delinquent Amount Calculated: \$6,857.86

GL Numbers	Debit	Credit
592-000-110-201	\$6,857.86	\$0.00
592-000-110-023	\$0.00	\$3,033.95



592-000-110-001

\$0.00

\$3,823.91

---

\$6,857.86

\$6,857.86

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 3**

**ITEM: WMS Year to Date Financial Results for Period Ending 3/31/2021**

**PRESENTER:** Paul LaManes – General Manager

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** YTD comparative financial results for Municipal Services for the period ending March 31, 2021.

**STRATEGIC PLAN/GOALS:** Fiscally responsible operations.

**ACTION REQUESTED:** Receive and place on file the YTD financial results for the City of Wyandotte – Department of Municipal Services for the period ending March 31, 2021.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** N/A

**LIST OF ATTACHMENTS:**

1. Attachment March 2021 Narrative and Financials

**RESOLUTION**

Item Number: #3  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED by City Council to receive and place on file the six-month financial results for the Department of Municipal Services for the period ending March 31, 2021.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## City of Wyandotte – Department of Municipal Services

### Six (6) Month Financial Results for the period ending March 31, 2021

#### Electric

- Electric operations resulted in net income of ~ \$ 53,000 as compared to net income in the prior year of ~ \$ 506,000. After considering non-cash expenses, cash flow results to cover capital, debt service and debt service covenants meet requirements on a prorated basis year-to-date (YTD) for Fiscal 2021.
- **Year over Year (YOY) variances:**
  - Revenue:
    - Revenue activity YTD has decreased over the prior year and reflects the impact of two items. First, the Covid impact on commercial and industrial Electric usage did not begin in full until late March 2020 and therefore had little impact on the first six-months of revenue last fiscal year. Commercial and industrial electric usage has continued to lag in the first six-months of FY21 due to the effect of Covid measures still in place for most of that period. Second, the billing rate for steam service to Henry Ford Hospital - Wyandotte was adjusted to reflect the revised cost of service in late May 2020 when the more efficient Aux (Package) Boilers were placed in service, therefore the old rates were in effect for the first six-months of the prior fiscal year. This rate adjustment has been in place for all six-months of FY21.
  - Expenditures (10% and \$ 10,000 +/- variance):
    - Meter Reader position was eliminated in Feb. 2020 due to AMI meter implementation. Any necessary manual reads for Electric are now performed by Electric Customer Service on an as needed basis.
    - Energy Program expenditures have decreased due to the impact of Covid on the ability of outside contractors to deliver services for most of the first six-months, primarily affecting the residential and commercial rebate programs.
    - Open positions were filled in November 2020 in Customer Assistance that were filled for most of the prior year. These positions have since re-opened due to attrition. A pending adjustment is also necessary for the allocation of a portion of the After-Hours Clerk to the Electric department as was budgeted.
    - Vehicle expenses increased over the prior year largely due to the timing of DOT inspections pushed to the fall as department trucks being dispatched from home due to Covid. In addition, an auger and boom were replaced on one vehicle that may be a candidate to be capitalized during the year-end review process.
    - Depreciation is based on budgeted capital projects in advance of those projects being completed. The YOY increase reflects an increase in forecasted depreciation on fiscal year approved capital projects and is adjusted to actual at year-end based on actual capital projects completed.
- **Budget to actual:**
  - Revenue
    - Budget allocations have been made evenly over 12 months. This may result in budgeted figures YTD that are weighted disproportionately relative to actual operations that are seasonal in nature. For the electric department, revenue is seasonally higher in the summer months.
  - Expenditures
    - Budget allocations have been made evenly over 12 months. This may result in budgeted expenditure figures YTD that are weighted disproportionately relative to actual operations

that are seasonal in nature. For the electric department, seasonal expenditures for energy costs are higher in the summer months

- Actual Transmission & Distribution expenditures remain less than budget YTD due to budgeted linemen and other T&D positions that remain open.
- Actual energy program expenditures have been impacted negatively by Covid relative to budget for FY21.

## **Water**

- Water operations resulted in net income YTD through March 31, 2021 of ~ \$ 184,000 compared to net income of ~ \$ 151,000 for the same period last year. In addition, after considering non-cash expenses, cash flow results to cover capital are again positive for Water in Fiscal 2021. The Water Department currently has no bonded debt service.
- **Year over Year (YOY) variances:**
  - Revenue:
    - Water revenue decreased through the first half of the fiscal year by ~ \$ 58,000 from the prior year due primarily to the impact of Covid on Commercial and Industrial water usage.
  - Expenditures (10% and \$10,000 +/- variance):
    - Filter Plant expenses have increased over the prior year due principally to the recertification process that occurs every three (3) years for the Filter Plant. An adjustment is also necessary for Vactor Operator step up pay that was incorrectly charged to the Filter Plant that should be charged to T&D.
    - General Department expenses decreased from the prior year due to not incurring any unanticipated maintenance and repairs currently. Also, the timing of the intake diver review will take place in the second half of the current fiscal year.
    - Meter Reader position was eliminated in Feb. 2020 and was an allocated position between Water and Electric. Any necessary reads for Water are now performed by Electric Customer Service and cross-charged to the water department. This cross-charge will diminish as supply chain availability allows additional Transponders to be acquired and the AMI conversion for water meters is completed.
    - Superintendent Office expenses have decreased during the current fiscal year due to the retirement of the former Superintendent on 12/31/19 and the resulting impact of wage and benefit adjustments for the new Interim Superintendent, including healthcare coverage and pension contributions.
    - Contractual expenses have increased due to the need to utilize an outside contractor as the designated F1 licensed operator-in-charge for the Filter Plant and the pending passage of the F1 exam by the Interim Superintendent. The exam has only been offered once since November 2019 due to Covid and it was anticipated that this matter would be resolved by the end of the first quarter of fiscal 2021 for budget purposes.
    - Retiree expenses decreased from the prior year due to improved renewal rates for retiree healthcare premiums and the transition to Medicare Advantage for certain existing retirees.
    - Depreciation is based on budgeted capital projects in advance of those projects being completed. The YOY decrease reflects forecasted depreciation on fiscal year approved capital projects and is adjusted to actual at year end based on actual projects completed.
- **Budget to actual:**
  - Revenues and expenditures

- Budget allocations have been made evenly over 12 months. This results in budgeted operations YTD that are weighted disproportionately relative to actual operations that are seasonal in nature. Budgeted usage revenue YTD for water is higher relative to actual revenue with the bulk of water used in the warmer second half of the fiscal year.
- T&D budgeted employees who install AMI water transponders are cross-charged to Customer Service, thus creating actual expenses greater than budget YTD for Customer Service. Also, fewer main breaks were incurred during the winter of 2020/21 leading to less actual overtime and post main break property restoration than was budgeted for T&D.

## **Cable**

- Cable operations resulted in net income through March 31, 2021 of ~ \$ 692,000 compared to net income last year for the same period of ~ \$ 614,000. These results continue to reflect the increasing # of internet customers. After considering non-cash expenses, cash flow results to cover capital, debt service and debt service covenants meet requirements on a prorated basis year-to-date (YTD) for Fiscal 2021.

- **Year over year (YOY) variances:**

- Revenue:

- As experienced industry-wide, revenue for all cable television services (Video) has decreased from the prior year
    - Revenue from internet service continues to increase as is reflected by the increase in Internet customers noted in the following table of subscriber counts for selected service categories:

<b><u>Category</u></b>	<b><u>March 2021</u></b>	<b><u>March 2020</u></b>	<b><u>March 2019</u></b>
Cable TV	4,416	4,701	5,134
Internet	6,758	6,396	5,948
VoIP	820	859	853

- Expenditures (10% and \$10,000 +/- variance):

- Headend expenditures increased due to filling the after-hours Customer Assistance position that remained open for most of the prior year. An adjustment is also necessary for the allocation of a portion of the After-Hours Clerk to the Electric and Water department as was budgeted.
    - Customer Service expenses increased due to the refurbishment of existing Cable converters in lieu of incurring the capital expense of purchasing new converters. This strategy parallels the pending transition to IP TV, which will not require a converter. A budget amendment for this activity will be required.
    - Open positions filled in November 2020 in Customer Assistance were filled during the first six-months of the prior year. These positions have since re-opened due to attrition.
    - Depreciation is based on budgeted capital projects in advance of those projects being completed. The YOY decrease reflects forecasted depreciation on fiscal year approved capital projects and is adjusted to actual at year end based on actual projects completed.

- **Budget to actual:**

- Budget allocations have been made evenly over 12 months and are representative of a true allocation as Cable operations are not seasonal in nature.
  - The timing of administration budgeted annual fees and enhanced bandwidth for internet circuit completion has created the budget to actual variance YTD.
  - Overall cable results are trending favorably relative to the annual budget for FY2021.

05/25/2021

## REVENUE AND EXPENDITURE REPORT - CABLE

PERIOD ENDING 03/31/2021

% Fiscal Year Completed: 49.86

GL NUMBER	DESCRIPTION	YTD BALANCE		Pos(Neg)		ALLOCATED
		03/31/2020	03/31/2021	YTD BALANCE DIFF	03/31/2021	BUDGET
				03/31/2020		- YTD
<b><u>Revenue</u></b>						
Net - Dept 000 - Non-Departmental		\$ 5,679,719	\$ 5,597,463	\$ (82,256)	\$	5,536,245
<b><u>Expenses</u></b>						
Net - Dept 006 - Cable TV Headend		(181,687)	(209,704)	(28,017)		(196,734)
Net - Dept 007 - Cable TV Studio		(98,432)	(91,491)	6,941		(106,172)
Net - Dept 009 - Store Room		(44,686)	(43,075)	1,611		(49,031)
Net - Dept 011 - Transmission & Distribution Gen'l		(275,262)	(276,152)	(890)		(332,587)
Net - Dept 015 - Customer Service		0	(18,368)	(18,368)		(2,500)
Net - Dept 016 - Cable TV Royalties		(2,161,540)	(2,140,356)	21,184		(2,095,766)
Net - Dept 018 - Pass-thru Fees		(626,060)	(666,962)	(40,902)		(708,016)
Net - Dept 021 - Commission		0	0	0		(13)
Net - Dept 022 - General Manager		(34,694)	(36,297)	(1,603)		(35,802)
Net - Dept 023 - Superintendent's Office		(100,861)	(105,464)	(4,603)		(112,220)
Net - Dept 025 - Informational Systems Department		(55,541)	(58,303)	(2,762)		(57,443)
Net - Dept 026 - Customer Assistance Department		(131,222)	(112,403)	18,818		(163,220)
Net - Dept 027 - Customer Retention & Acquisition		0	0	0		(33,278)
Net - Dept 031 - Administration		(483,944)	(446,835)	37,110		(548,154)
Net - Dept 033 - Liability Insurance		(86,441)	(88,092)	(1,651)		(87,592)
Net - Dept 034 - Contractual		(22,224)	(16,733)	5,491		(28,900)
Net - Dept 035 - Building & Grounds Rep & Maint		(1,695)	(692)	1,003		(3,445)
Net - Dept 040 - Retirees		(168,735)	(167,534)	1,201		(172,850)
Net - Dept 071 - Vehicles		(7,568)	(13,836)	(6,267)		(13,000)
Net - Dept 091 - Depreciation		(585,284)	(412,731)	172,553		(412,731)
NET OF REVENUES & EXPENDITURES		\$ 613,843	\$ 692,436	\$ 78,593	\$	376,795

05/25/2021

## REVENUE AND EXPENDITURE REPORT - ELECTRIC DEPARTMENT

PERIOD ENDING 03/31/2021

% Fiscal Year Completed: 49.86

GL NUMBER	DESCRIPTION	YTD BALANCE		Pos(Neg)	ALLOCATED BUDGET
		03/31/2020	03/31/2021	YTD BALANCE DIFF 03/31/2021 03/31/2020	
					- YTD
<b><u>Revenue</u></b>					
Net - Dept 000 - Revenue		\$ 17,225,745	\$ 16,744,763	\$ (480,982)	\$ 18,072,433
<b><u>Expenses</u></b>					
Net - Dept 001 - Fuels, Chemicals, and Commodities		(792,467)	(744,328)	48,138	(786,088)
Net - Dept 003 - Power Generation		(10,496,438)	(10,512,643)	(16,204)	(11,932,277)
Net - Dept 004 - Boilers		(107,595)	(98,360)	9,235	(103,000)
Net - Dept 008 - Meter Readers		(30,317)	0	30,317	0
Net - Dept 009 - Store Room		(42,617)	(39,794)	2,823	(43,771)
Net - Dept 011 - Transmission & Distribution Gen'l		(1,118,235)	(1,074,447)	43,788	(1,588,349)
Net - Dept 015 - Customer Service		(154,120)	(169,425)	(15,305)	(170,582)
Net - Dept 017 - Energy Program Costs		(107,995)	(69,465)	38,529	(196,435)
Net - Dept 021 - Commission		0	0	0	(250)
Net - Dept 022 - General Manager		(48,680)	(50,504)	(1,824)	(49,500)
Net - Dept 025 - Informational Systems Department		(66,366)	(64,985)	1,381	(60,022)
Net - Dept 026 - Customer Assistance Department		(66,972)	(55,284)	11,688	(81,668)
Net - Dept 031 - Administration		(1,039,931)	(1,062,058)	(22,127)	(1,044,212)
Net - Dept 033 - Liability Insurance		(234,089)	(240,298)	(6,209)	(239,798)
Net - Dept 034 - Contractual		(32,709)	(30,261)	2,448	(31,075)
Net - Dept 035 - Building & Grounds Rep & Maint		(889)	(889)	0	(889)
Net - Dept 040 - Retirees		(1,022,234)	(1,011,757)	10,477	(1,023,793)
Net - Dept 071 - Vehicles		(39,818)	(65,536)	(25,718)	(42,463)
Net - Dept 091 - Depreciation		(1,318,226)	(1,402,016)	(83,789)	(1,402,016)
NET OF REVENUES & EXPENDITURES		\$ 506,046	\$ 52,712	\$ (453,334)	\$ (723,751)



05/25/2021

## REVENUE AND EXPENDITURE REPORT - WATER DEPARTMENT

PERIOD ENDING 03/31/2021

% Fiscal Year Completed: 49.86

GL NUMBER	DESCRIPTION	YTD BALANCE	YTD BALANCE	Pos(Neg)	ALLOCATED
				YTD BALANCE DIFF	BUDGET
		03/31/2020	03/31/2021	03/31/2021 03/31/2020	- YTD
<hr/>					
<b><u>Revenue</u></b>					
Net - Dept 000 - Revenue		\$ 2,220,065	\$ 2,162,392	\$ (57,673)	\$ 2,259,069
<b><u>Expenses</u></b>					
Net - Dept 001 - Fuels, Chemicals, and Commodities		(58,045)	(55,387)	2,659	(92,250)
Net - Dept 002 - Filter Plant		(338,095)	(382,630)	(44,535)	(361,741)
Net - Dept 003 - General Department		(157,889)	(130,999)	26,890	(161,703)
Net - Dept 005 - Water Department Maintenance		(9,440)	(8,404)	1,037	(9,500)
Net - Dept 008 - Meter Readers		(30,315)	(17,762)	12,553	(18,775)
Net - Dept 011 - Transmission & Distribution Gen'l		(342,256)	(320,969)	21,287	(394,996)
Net - Dept 015 - Customer Service		(136,828)	(140,529)	(3,701)	(134,272)
Net - Dept 021 - Commission		0	0	0	(13)
Net - Dept 022 - General Manager		(9,264)	(9,645)	(381)	(9,373)
Net - Dept 023 - Superintendent's Office		(151,410)	(105,972)	45,437	(111,481)
Net - Dept 025 - Informational Systems Department		(19,494)	(17,989)	1,506	(17,868)
Net - Dept 026 - Customer Assistance Department		(22,446)	(18,618)	3,827	(27,225)
Net - Dept 031 - Administration		(166,842)	(155,957)	10,886	(145,122)
Net - Dept 033 - Liability Insurance		(29,325)	(29,911)	(585)	(29,781)
Net - Dept 034 - Contractual		(9,130)	(81,190)	(72,060)	(43,798)
Net - Dept 035 - Building & Grounds Rep & Maint		(148)	(148)	0	(148)
Net - Dept 040 - Retirees		(218,811)	(195,559)	23,252	(190,550)
Net - Dept 071 - Vehicles		(15,745)	(12,436)	3,309	(14,500)
Net - Dept 091 - Depreciation		(353,150)	(294,258)	58,892	(294,258)
<hr/>					
NET OF REVENUES & EXPENDITURES		\$ 151,430	\$ 184,030	\$ 32,599	\$ 201,719

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 4**

**ITEM: Appointment to Design-Review Board**

**PRESENTER:** Joe Gruber, DDA Director

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** The City's Zoning Ordinance regarding the Design-Review Board shall be comprised entirely of Wyandotte residents. Furthermore, the Ordinance reads that one member of the Downtown Development Authority (DDA) Board of Commissioners shall be appointed to the Design-Review Board after a formal vote and approval by the DDA Board. Therefore, the DDA has passed a resolution approving Wyandotte-resident and DDA Board Member, Bryan Kozinski as a new appointee to the Design-Review Board.

**STRATEGIC PLAN/GOALS:** To comply with and enforce all the requirements of our laws and regulations.

**ACTION REQUESTED:** DDA Director is requesting Mayor to approve the appointment of Bryan Kozinski to the Design-Review Board.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:**

**LIST OF ATTACHMENTS:** None

**RESOLUTION**

Item Number: #4  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED, that the Mayor hereby concludes with the recommendation of the Downtown Development Authority to appoint Bryan Kozinski to the Design-Review Board.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 5**

**ITEM: 2021 Wyandotte Street Art Fair Parking Lot Request**

**PRESENTER:** Heather A. Thiede-Champlin

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** St. Vincent Pallotti Parish Parent's Club is requesting to use the city owned parking lot located at First and Chestnut for patron parking during the 2021 Wyandotte Street Art Fair so long as the group signs a hold harmless agreement provided by the Legal Department.

Below are items requested:

- Permission to use the parking lot at First and Chestnut Street along with St. Patrick's lot for fundraising during the WSAF
- No Parking signs to be placed on east side of First Street between Chestnut and Superior Blvd.
- No Parking on Chestnut between Biddle and First Street for Wednesday and Thursday of the fair

This request has been reviewed and approved by the Police Department.

**STRATEGIC PLAN/GOALS:** The City of Wyandotte hosts several quality of life events throughout the year. These events serve to purpose the goals of the City of Wyandotte by bringing our community together with citizen participation and supporting the local businesses and non-profit organizations.

**ACTION REQUESTED:** It is requested the City Council concur with the recommendation of the Special Event Coordinator and support the use of the parking lot at First and Chestnut Street with no parking along the East Side of First Street and Chestnut during the Wyandotte Street Art Fair and this also be forwarded to the Department of Public Service.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** The resolutions and all necessary documents will be forwarded to the Department of Public Service as well as the Wyandotte Police Department.

**LIST OF ATTACHMENTS:**

1. scan\_jsadlowski\_2021-05-17-12-42-20

**RESOLUTION**

Item Number: #5  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council concurs with the recommendation of the Special Event Coordinator and grants permission to the St. Vincent Pallotti Parent's Club for use of the City owned parking lot located at First and Chestnut along with St. Patrick's lot during the Wyandotte Street Art Fair, July 7th-10th, 2021.

Below are items requested:

- Permission to use the parking lot at First and Chestnut Street along with St. Patrick's lot for fundraising during the WSAF
- No Parking signs to be placed on east side of First Street between Chestnut and Superior Blvd.
- No Parking on Chestnut between Biddle and First Street for Wednesday and Thursday of the fair

BE IT FURTHER RESOLVED that a Hold Harmless Agreement shall be executed as prepared by the Department of Legal Affairs.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# ST. VINCENT PALLOTTI

Parish

334 Elm | Wyandotte MI 48192  
734.285.9840



May 11, 2021

Honorable Mayor Robert DeSana and Wyandotte City Council  
Wyandotte City Hall  
3200 Biddle Ave.  
Wyandotte, MI 48192

RE: Use of city parking lot

Dear Mayor DeSana:

The St. Vincent Pallotti Parish Parent's Club is requesting permission to use the city parking lot located at First and Chestnut Streets for our fundraising event during the Wyandotte Street Fair July 7-10, 2021. We wish to use the city lot, along with St. Patrick's parking lot to park cars of the visitors to the Wyandotte Street Fair.

We would like to request "No Parking" signs to be placed on the east side of First Street between Chestnut and Superior Street. This will allow for two-way traffic to pass. We also observed a traffic back-up on Chestnut between Biddle and 1<sup>st</sup> Street. It would help with traffic flow if there were "no parking" signs on Chestnut between Biddle and 1<sup>st</sup> street on the days when Chestnut is not being used by art vendors.

Monies generated from this fundraising event will benefit St. Vincent Pallotti Parish.

Thank you for your consideration. Please let me know if this has been approved, so we can make appropriate arrangements.

St. Vincent Pallotti Parish will abide by all parking requirements put forth by the City of Wyandotte.

Sincerely,

Elizabeth Chisek  
Vincent Pallotti Parish Parents Club  
2430 18<sup>th</sup> St, Wyandotte, MI 48192  
[elizabethkwhalen@hotmail.com](mailto:elizabethkwhalen@hotmail.com)  
734-934-5471

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 6**

**ITEM: Special Event Request: Community Choice Credit Union**

**PRESENTER:** Heather A. Thiede-Champlin

**INDIVIDUALS IN ATTENDANCE:** n/a

**BACKGROUND:** Community Choice Credit Union here in Wyandotte would like to host a Backpack event on Friday, August 13th, 2021 in the Yack Arena Parking Lot. They are asking to have this event from 3 to 6 pm that day.

The Department of Public Service, Superintendent of Recreation, Police and Fire Departments have all reviewed and approved of this request.

**STRATEGIC PLAN/GOALS:** The City of Wyandotte hosts several quality of life events throughout the year. These events serve to purpose the goals of the City of Wyandotte by bringing our community together with citizen participation and supporting the local businesses and non-profit organizations.

**ACTION REQUESTED:** It is requested the City Council concur with the support of the Special Event Coordinator, Police Chief, Recreation Superintendent, Fire Chief and Department of Public Service Superintendent and support the use of city streets, sidewalks and property for Community Choice Credit Union and their event held August 13th 2021.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** The resolutions and all necessary documents will be forwarded to the Chief of Police, Department of Public Service, Recreation, Fire Department and Special Events Coordinator.

**LIST OF ATTACHMENTS:**

1. Letter to City Council 2021

**RESOLUTION**

Item Number: #6  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council Concurs with the recommendation of the Special Event Coordinator to approve the use of city sidewalks, streets and property, specifically the Yack Arena parking lot, for the Community Choice Credit Union Backpack event to be held on August 13th, 2021 from 3-6pm

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





May 27, 2021

Dear City Council Members,

Community Choice Credit Union would like to host a Backpack on Friday, August 13, 2021. The time for this event would be 3pm am till 6pm. We are asking to use the parking lot of the Yack Arena to hold this event. The event will be a drive thru event where backpacks will be placed in the trunk of vehicle. We are also looking to partner with a local restaurant to provide warm packed lunch style meals.

Please feel free to reach out to me with any questions or concerns. We are looking forward to helping the community prepare for the 2021/2022 school year.

Sincerely,

*Nicole Baker*

Nicole Baker  
Member Center Manager – Wyandotte  
Community Choice Credit Union  
877-243-2528 ext. 3101

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 7**

**ITEM: Special Events Request: 359 Yoga Events**

**PRESENTER:** Heather A. Thiede- Champlin

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** 359 Yoga here in Wyandotte is looking to have Yoga on the grassy area near the back doors of City Hall on Wednesdays starting June 30th through September 1st from 6-7 pm.

The Department of Public Services. Superintendent of Recreation and Police and Fire Departments have reviewed and approved of this request.

**STRATEGIC PLAN/GOALS:** The City of Wyandotte hosts several quality of life events throughout the year. These events serve to purpose the goals of the City of Wyandotte by bringing our community together with citizen participation and supporting the local businesses and non-profit organizations.

**ACTION REQUESTED:** It is requested the City Council concur with the support of the Special Event Coordinator, Police Chief, Recreation Superintendent, Fire Chief and Department of Public Service Superintendent and support the use of city streets, sidewalks and property for their event held Wednesdays starting June 30th through September 1st 2021 from 6-7 pm on the grassy area at City Hall at Sycamore and Biddle Avenue.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** N/A

**IMPLEMENTATION PLAN:** The resolutions and all necessary documents will be forwarded to the Chief of Police, Department of Public Service, Recreation, Fire Department and Special Events Coordinator.

**LIST OF ATTACHMENTS:** None

**RESOLUTION**

Item Number: #7  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council concurs with the recommendation of the Special Event Coordinator to approve the use of city sidewalks, streets and property for the 359 Yoga events held Wednesdays starting June 30th through September 1st, 2021 from 6-7 pm on the grassy area at City Hall at Sycamore and Biddle Avenue.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



June 1, 2021

Michigan Legacy  
Credit Union

Wyandotte City Council  
3200 Biddle Ave,  
Wyandotte, MI 48192

Wyandotte Branch

1 (734) 285-0600

269 Oak Street  
Wyandotte, MI  
48192

Re: Design Committee Action Appeal

To Whom It May Concern,

Michigan Legacy Credit Union would like to appeal the action taken by the Design Review Committee on Tuesday, June 1, 2021.

In the City's Master Plan Goal#2 is to Embrace the uniqueness of each commercial corridor, Michigan Legacy presented our plans with explicit detail that we wanted to create a 50's diner look with modern touches. The plan was approved with the night rendering present showing both the Amber and Blue light features. Goal #3 to Promote Continued Reinvestment and a mixture of uses. Michigan Legacy spent \$2.7 million to bring "high-quality design" and "promote opportunities for work" by bringing an additional 15 new employees to Wyandotte with a future for 5 more. The credit union also purchased the lot behind the condos in the alley and improved the land, allowing the city and residents to utilize the parking lot when the credit union is not open. Michigan Legacy has always been good partners with the City over the past sixty seven years.

In all the submissions to the building department and design review committee, our night rendering was always present with the amber and blue lights. The recent decision by the Design Committee has no reasoning other than Member Kowalewski doesn't like them and continues to strong arm the rest of the committee. Further, prior to discussion starting it was mentioned that three letters in support of the lights had been received. These letters were never read into the meeting only the names of who had sent the letters was mentioned. These residents' opinions were never factored into the decision. A motion was made by Member Meyhew to accept the lights from 7 a.m. to 11 p.m. nightly, with Member Thomas seconding. That motion was never completely voted on and was just tossed aside so Member Kowalewski could then change the motion to what he wanted after long pauses, Member Kowalewski's second motion did not receive support and Member Mayhew then made a motion to accept the amber lights and after a long pause Member Thomas finally decided to support Member Kowalewski's second motion to deny the amber lights which had not received support previously. This is very haphazard way to conduct meetings, especially since everything is just audio and video is not allowed / provided (both full recordings are available for the City Council's review).

In the previous Design Review committee meeting Member Kowalewski even accused the credit union of pulling a bait and switch stunt. Member Kowalewski's extreme prejudice with no sound reason should force him to be excused from the vote on any issue with Michigan Legacy Credit Union, which is why I am appealing to the City Council.

Our permits were approved and the credit union received its Occupancy Certificate, only to receive a letter from the City to then say we can't have the lights on. Many residents, members of the credit union and community partners have commented on the lights and feel they bring an aesthetic look and security with the added lights in the evening for many residents walking in the community.

---

Respectfully Submitted,

A handwritten signature in black ink that reads "Carma S. Peters". The script is fluid and cursive, with the first letters of each word being capitalized and prominent.

**Carma S. Peters**, NCCO

President/CEO

[cpeters@michiganlegacycu.org](mailto:cpeters@michiganlegacycu.org)



## AN OPEN LETTER TO THE DESIGN REVIEW COMMITTEE

I have read the minutes of your March 2, 2021 meeting and find myself somewhat dismayed by some of the comments voiced by some of the members.

1. Regardless of whether or not the neon signage was specifically approved or not, it was added to the cost of the project at great expense, it's already there, a done deal, it's imbedded in the overall design of the exterior of the building and adds positively to that design in my opinion. To prohibit the Credit Union from using it impresses me as mean-spirited and unduly restrictive.
2. The Credit Union has offered to put the yellow tubes on a timer and restrict the hours when they would be turned on. That sounds reasonable. Work with them. Work something out.
3. As for other buildings following suit and erecting similar signage, each case is unique and should be decided on its individual merits. What is and is not "harmonious" is a subjective and very personal judgement. I happen to like the Credit Union's neon very much. I think it adds to the impact of that design and enhances our community. I commend Michigan Legacy for their investment in Downtown Wyandotte. It's unfortunate that the neon was somehow overlooked when design approval was given, but what's done is done. It's time to move on and resolve this issue.
4. This City needs to be more supportive of businesses and individuals who believe in it and make significant investments in it, especially now when we continue to suffer from the disastrous impact of Covid-19. There are many buildings in the CBD that do not comport with the aesthetic of a so-called "historic district". To cite a few examples, the old City Hall, the new City Hall, the Eye Clinic building, the Oppenheimer building, the Chelsea store front, the entire re-design of the Credit Union building. The term "historic district" sounds nice and harmless enough, but it should not be used as a means of thwarting creative design.
5. It took me five years to ultimately get approval for the digital sign on the First Street wall of the Chelsea building. I'm pleased that we finally received the City's consent, but the approval process was long and arduous and frankly rankled me. Similarly, Michigan Legacy was so enthusiastic about being in Wyandotte and wanting to support the community. Now, frankly, this whole process has thrown a wet blanket on those feelings of good will. That's unfortunate and, I believe, unnecessary. We need to cultivate and give nurture to those kinds of businesses; not discourage them. Have we somehow forgotten that Michigan Legacy purchased the derelict property behind the condos at Oak and Second, erected a handsome masonry wall, landscaped the property and immensely improved the neighborhood? Should we be harassing them and annoying them over their neon signage? Makes little sense to me.
6. I saw Joe Gruber interviewed on Channel 4 News on St. Patrick's Day. It went really well and made the City look really good. At the end of the interview news anchor Devin Scillian said, "Wyandotte. What a cool community." Well, this neon issue with the credit union doesn't impress me as very cool.
7. Some may think that this matter is none of my business. Well, it is very much my business after residing in Wyandotte, running a business in Wyandotte and owning three commercial buildings in Wyandotte going all the way back to 1943.

Thank you for your kind attention.

Gilbert Rose

THE CHELSEA GROUP LLC  
NEWTON INVESTMENT COMPANY LLC  
LOVE WYANDOTTE

To Whom it May Concern:

What happened to the cool lights on the credit union? I have been watching the renovations & was excited to see a fresh new look for one of Wyandotte's financial institutions.

I have lived in the city almost all my life & have been proud to call this my hometown. One that has moved forward & always encouraged change.

When I walk to downtown or ride my bike in the evening the credit union is the first thing that welcomes you downtown for dining, entertainment & fun. To me it is the bow before you open the actual present that the city provided.

PLEASE put the lights back on!

Sincerely,

Jeannette McComb

CITY OF WYANDOTTE  
DESIGN REVIEW COMMITTEE  
Agenda for the Tuesday, June 01, 2021 at 11:30 a.m.

**Via Audio-Only Zoom** To attend the meeting by phone:  
Call: 888-475-4499

Use webinar ID: **992 636 8831 (wyandotte1)**

**CALL TO ORDER:**

**MEMBERS:**                      Kowalewski              Mayhew  
   Thomas                      Walker  
   Rose

**ALSO PRESENT** \_\_\_\_\_

**APPROVAL OF THE MINUTES OF THE PREVIOUS MEETING**

Motion by Member \_\_\_\_\_, supported by Member  
\_\_\_\_\_ to approve the minutes of May 05, 2021, of the Design  
Review Committee.

**COMMUNICATIONS:**  
None

**OLD BUSINESS:**  
None

**NEW BUSINESS:**

1. Review the exterior changes to 269 Oak St, Wyandotte
2. Review the exterior changes to 142 Maple St, Wyandotte
3. Review the exterior changes to 3050 Biddle Ave, Wyandotte

**OTHER BUSINESS:**

Signs approved by City Engineer:  
• 2000 Biddle Ave, Wyandotte.

**MOTION TO ADJOURN:**

Next meeting is scheduled for July 6, 2021



**City of Wyandotte**  
**DESIGN REVIEW COMMITTEE**  
***Minutes of the Wednesday, May 5, 2021, Meeting***  
**MINUTES AS RECORDED**

The meeting was called to order by Member Mayhew at 11:40 a.m.

MEMBERS PRESENT: Mayhew, Rose, Kowalewski

MEMBERS EXCUSED: Walker, Thomas

ALSO PRESENT: Becky Spradlin, Recording Secretary, Joseph Gruber DDA Director

**APPROVAL OF THE MINUTES OF THE PREVIOUS MEETING:**

MOTION BY MEMBER Kowalewski, supported by Member Mayhew, to approve the minutes of the regular meeting of April 6, 2021. MOTION PASSED

**COMMUNICATIONS:**

NONE

**OLD BUSINESS:**

NONE

**NEW BUSINESS:**

1. Review the exterior awning at 132 Sycamore, Wyandotte Michigan Grand Dad's Bar

MOTION BY MEMBER Mayhew supported by Member Kowalewski that the request of Fourth Space LLC, Hisam Elawad, Applicant and Affinity 3 Investments, Owner, for an awning over the entire outdoor café area at 132 Sycamore, Wyandotte, is hereby DENIED.

YEAS: NONE

NAYS: MAYHEW, KOWALEWSKI, ROSE

ABSENT: WALKER, THOMAS

MOTION PASSED.

2. Review of the change to exterior changes at 3019 Biddle Avenue, Wyandotte.

MOTION BY MEMBER Kowalewski, supported by Member Mayhew that the request of Josh Cade, Applicant and P&J Biddle, Owner, for approval of the Black Forest Color for the exterior at 3019 Biddle Avenue, Wyandotte, is APPROVED as submitted.

YEAS: MAYHEW, KOWALEWSKI, ROSE  
NAYS: NONE  
ABSENT: WALKER, THOMAS  
MOTION PASSED.

**3. Review of the exterior changes at 3144 Biddle Avenue, Wyandotte.**

MOTION BY MEMBER Kowalewski, supported by Member Rose that the request of Josh Cade, Applicant and 3 Frank LLC, Owner, for approval of the Black Color for the exterior at 3144 Biddle Avenue, Wyandotte, is hereby APPROVED as submitted.

YEAS: MAYHEW, KOWALEWSKI, ROSE  
NAYS: NONE  
ABSENT: WALKER, THOMAS  
MOTION PASSED.

**MOTION TO ADJOURN:**

MOTION BY MEMBER MAYHEW, supported by Member KOWALEWSKI to adjourn the meeting at 12:05 p.m.

---

**1. REVIEW THE EXTERIOR AWNING AT 132, WYANDOTTE**

Member Kowalewski asked member Mayhew if the location is all public property and does the request have to go to the City Council.

Member Mayhew stated yes the awning is located in the public right of way and would have to go to the City Council, for their approval.

Member Mayhew mentioned he is not in favor of the awning, it does not match the existing awnings for the plaza.

Member Kowalewski stated that he agreed with Member Mayhew.

Member Kowalewski mentioned that the awnings at the plaza should be changed, not just one awning.

Member Rose agreed with Member Mayhew and Member Kowalewski.

Mr. Gruber stated that the awnings should be the same color and material. Mr. Gruber indicated that he had a conversation previously with the building owner, who said he was not interested in changing all the awning to black, due to it being an issue of maintenance, and upkeep.

## **2. REVIEW OF THE EXTERIOR CHANGE TO 3019 BIDDLE STREET, WYANDOTTE**

Member Mayhew stated that the color submitted is not unattractive, however it may stand out. Member Mayhew continues to state that he has no objections to this color change.

Member Kowalewski asked Member Mayhew if they were painting the brick.

Member Mayhew states yes, the brick will be painted.

## **3. REVIEW OF THE EXTERIOR CHANGE AT 3144 BIDDLE STREET, WYANDOTTE**

Member Mayhew stated that the brick on the outside of the building is getting weathered and needs to be cleaned up. Member Mayhew continued to state he has no objections to the paint color.

Member Rose agreed with Member Mayhew.



Give unusual conditions applicable to premises pertinent to the granting of this appeal:

Design Review Committee  
Application to appeal (continued)

2

Applicant: Rocco Hight - Thompson-Phelan Group Inc. Phone: (586) 725-8402  
Address: 9834 Dixie Highway, P.O. Box 105  
Anchorville, MI 48004

---

Owner: Carma Peters - Michigan Legacy Credit Union Phone: (248) 334-0568  
Address: 269 Oak Street  
Wyandotte, MI 48192

Please indicate below any person in addition to applicant to whom notices of the date of the hearing and decision in the case should be sent.

Name: William Hass - Thompson-Phelan Group Inc. Phone: (586) 725-8402  
Address: 9834 Dixie Highway, P.O. Box 105 Email: bill@thompsonphelan.com  
Anchorville, MI 48004

EXHIBIT A  
LEGAL DESCRIPTION

File No.: 865424

Land situated in the City of Wyandotte, County of Wayne, State of Michigan, is described as follows:

PARCEL 1:

Lot(s) 1, Block 85 of PLAT OF PART OF WYANDOTTE, ECORSE TOWNSHIP (NOW THE CITY OF WYANDOTTE), WAYNE COUNTY, MICHIGAN, AND BEING A PART OF FRACTIONAL SECTIONS 28, 32, 33 AND PART OF SECTION 29, TOWN 3 SOUTH, RANGE 11 EAST according to the plat thereof recorded in Liber 57 of Deeds, Pages 5, 6 and 7 of Wayne County Records.

PARCEL 2:

Lot(s) 2, Block 85 of PLAT OF PART OF WYANDOTTE, ECORSE TOWNSHIP (NOW THE CITY OF WYANDOTTE), WAYNE COUNTY, MICHIGAN, AND BEING A PART OF FRACTIONAL SECTIONS 28, 32, 33 AND PART OF SECTION 29, TOWN 3 SOUTH, RANGE 11 EAST according to the plat thereof recorded in Liber 57 of Deeds, Pages 5, 6 and 7 of Wayne County Records.

PARCEL 3:

East 15 feet of Lot(s) 3 and West 21 feet of Lot 4, Block 85 of PLAT OF PART OF WYANDOTTE, ECORSE TOWNSHIP (NOW THE CITY OF WYANDOTTE), WAYNE COUNTY, MICHIGAN, AND BEING A PART OF FRACTIONAL SECTIONS 28, 32, 33 AND PART OF SECTION 29, TOWN 3 SOUTH, RANGE 11 EAST according to the plat thereof recorded in Liber 57 of Deeds, Pages 5, 6 and 7 of Wayne County Records.

PARCEL 4:

West 35 feet of Lot(s) 3, Block 85 of PLAT OF PART OF WYANDOTTE, ECORSE TOWNSHIP (NOW THE CITY OF WYANDOTTE), WAYNE COUNTY, MICHIGAN, AND BEING A PART OF FRACTIONAL SECTIONS 28, 32, 33 AND PART OF SECTION 29, TOWN 3 SOUTH, RANGE 11 EAST according to the plat thereof recorded in Liber 57 of Deeds, Pages 5, 6 and 7 of Wayne County Records.



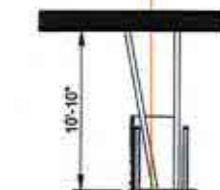




**LIGHTING:**  
BLUE AND AMBER ACCENT STRIP LIGHTS WILL BE  
CONTROLLED BY A TIMER. LIGHTS WILL TURN ON  
AT 7AM AND SHUT OFF AT 11PM, 7 DAYS A WEEK



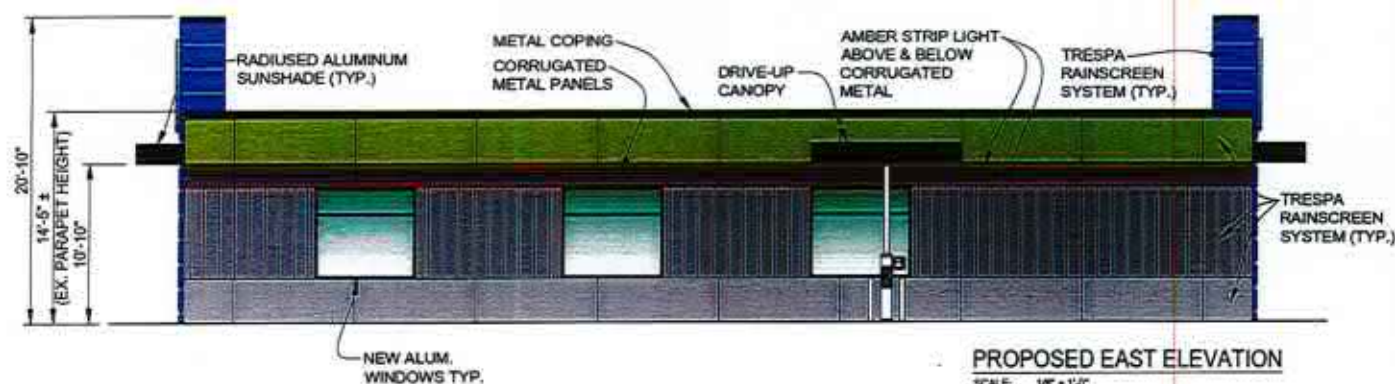
ATM CANOPY EAST ELEVATION  
SCALE: 1/8" = 1'-0"



ATM CANOPY NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

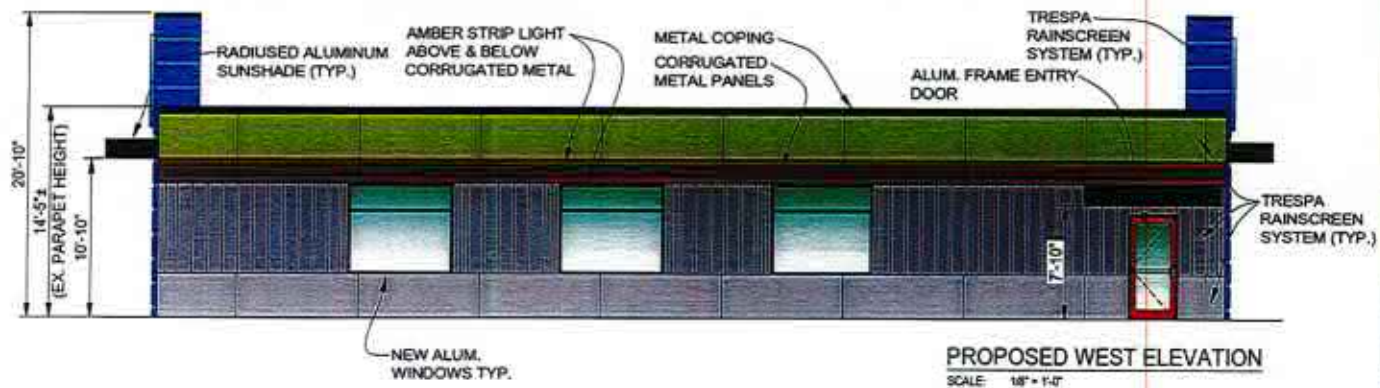


PROPOSED NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"









THIS RENDERING IS FOR REFERENCE ONLY TO SHOW WHAT A  
TYPICAL MICHIGAN LEGACY CREDIT UNION BRANCH WILL LOOK  
LIKE AND WHAT THE WYANDOTTE BRANCH WAS TO MIMIC

**T P G**

9834 Dixie Highway • P.O. Box 105  
Anchorville, MI 48004-0105  
586 725 8402 • 586 725 9939 fax  
[www.thompsonphelan.com](http://www.thompsonphelan.com)

*Where designing and building come together*

Date:  
06.19.2019

**P-4**





THIS RENDERING IS FOR REFERENCE ONLY TO SHOW WHAT A  
TYPICAL MICHIGAN LEGACY CREDIT UNION BRANCH WILL LOOK  
LIKE AND WHAT THE WYANDOTTE BRANCH WAS TO MIMIC

**TPG**

9834 Dixie Highway • P.O. Box 105  
Anchorville, MI 48004-0105  
586.725.8402 • 586.725.9939 fax  
[www.thompsonphelan.com](http://www.thompsonphelan.com)

*Where designing and building come together*

Date:  
06.19.2019

**P-5**



TRESPA® METEON® | EXTERIOR  
METALLICS

**M40.4.3**

Mustard Yellow  
Satin



Also available with PEFC® or FSC® certification upon request in restricted quantities and jurisdictions.

Trespa® samples and Trespa® panels are produced within specific tolerances. Samples are not representative for size, thickness and edge finishings of production panels. For more information see [trespa.com](http://trespa.com) and [trespa.info](http://trespa.info).

[TRESPA.COM](http://TRESPA.COM)  
[TRESPA.INFO](http://TRESPA.INFO)

TRESPA®

TRESPA® METEON® | EXTERIOR

LUMEN

**LM5101**

Paris Silver  
Diffuse



Also available with PEFC® or FSC® certification upon request in restricted quantities and jurisdictions.

Trespa® samples and Trespa® panels are produced within specific tolerances. Samples are not representative for size, thickness and edge finishings of production panels. For more information see [trespa.com](http://trespa.com) and [trespa.info](http://trespa.info).

[TRESPA.COM](http://TRESPA.COM)  
[TRESPA.INFO](http://TRESPA.INFO)

TRESPA®

TRESPA® METEON® | EXTERIOR  
UNI COLOURS

**A22.1.6**

Royal Blue  
Satin

Trespa® samples and Trespa® panels are produced within specific tolerances. Samples are not representative for size, thickness and edge finishings of production panels. For more information see [trespa.com](http://trespa.com) and [trespa.info](http://trespa.info).

Also available with PEFC® or FSC® certification upon request in restricted quantities and jurisdictions.

[TRESPA.COM](http://TRESPA.COM)  
[TRESPA.INFO](http://TRESPA.INFO)

TRESPA®

TRESPA® METEON® | EXTERIOR  
METALLICS

**M21.3.4**

Azurite Blue  
Satin

Trespa® samples and Trespa® panels are produced within specific tolerances. Samples are not representative for size, thickness and edge finishings of production panels. For more information see [trespa.com](http://trespa.com) and [trespa.info](http://trespa.info).

Also available with PEFC® or FSC® certification upon request in restricted quantities and jurisdictions.

[TRESPA.COM](http://TRESPA.COM)  
[TRESPA.INFO](http://TRESPA.INFO)

TRESPA®

## Kelly Roberts

---

**From:** Ellen Samyn  
**Sent:** Monday, May 17, 2021 2:59 PM  
**To:** Kelly Roberts  
**Subject:** Michigan Legacy Design Review

Hi Kelly,

I am writing in support of Michigan Legacy Credit Union's building improvements and lighting.

I feel that the project is exciting and adds visual interest to that end of downtown. This is a complementary design to the project at the old post office. This remodel allowed MLCU to bring 15 additional staff to this location.

I know historically the city has been a bit conservative regarding design. Oak Street seems like a good place to take some lighting and design risks.

Just my two cents. I hope the committee will approve this project.

Sincerely

Ellen Samyn  
224 Walnut  
Wyandotte

**RESOLUTION**

Item Number: #8  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council concurs with / rescinds the resolution approved by the Design Review Committee during the June 1, 2021 meeting that denied the use of the amber lights and sets a specific timeframe for use of the blue lights on the building exterior at 269 Oak Street (Michigan Legacy Credit Union).

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



William G. Steinke, SRA  
General Certified Appraiser, Broker and Consultant

8817 Thorntree Drive  
Grosse Ile, MI 48138  
(734) 676-6688  
[Steinke2@juno.com](mailto:Steinke2@juno.com)

May 26, 2021

Wyandotte City Council c/o City Clerk  
3200 Biddle Ave, Wyandotte, MI 48192

Re: Code enforcement  
1571 Oak Street

RECEIVED

MAY 26 2021

CITY CLERK  
CITY OF WYANDOTTE

Ladies and Gentlemen,

I am writing at the direction of Gregory Mayhew, as it appears I did not follow procedures of an obscure city ordinance when grinding 2 sidewalk sections to eliminate a borderline displacement at 1571 Oak Street. (See photos.) Please know, Mr Mayhew informed me of this ordinance after the fact.

Rather than share responsibility for his lack of constructive notice, Mr Mayhew would now impose upon our time to adjudicate this triviality, rather than exercise reason and discretion in a spirit of cooperation and convivial civic service.

Instead, the inspector cited additional violations which reveal an abuse of power rather than appropriate code enforcement. It's not that mandated repairs were not completed, the inspector didn't like how the repairs were done (sidewalk and garage trim), expanded the scope of the building code or the violation (basement walls), or did not see the fix (chimney tuck point).

Mr Mayhew would have me waste additional time and money in enforcing a difficult sidewalk replacement policy, rather than recognize my workmanlike repair. This intransigence reveals a hostile arrogance that I have confronted over the many years when victimized by other code enforcement mandates which, all too often, inappropriately exceed the city's purview of public health, safety and beautification. Let it be known, my properties are among the most beautiful in Wyandotte, as demonstrated by 1571 Oak.

It appears that Mr Mayhew does not understand where the city's authority ends, and my rights begin, or he doesn't care. I have apparently triggered animosity by my attempts to assert my rights rather than acquiesce to these injustices. As there is no means of mediation, I must now involve the city council.

Rather than belabor instances of similar pettiness over the years, which if asked to appear before the city council I will evidence, I now ask this esteemed council to invoke the following policies to improve the city's flawed code enforcement program:

- Cease and desist adversarial behavior when enforcing building codes, and promote a policy of cooperation and respect between municipal employees and taxpayers. (ie. Respond to emails.) Reason and flexibility must be encouraged to assure city goals are met while accommodating the interests of taxpayers. Exercise discretion. This is why people are gifted with the ability to reason. Personal vendettas cannot be condoned. (I now fear future retribution for this letter.)
- Cite applicable building codes on violation notices, and inform the taxpayer of ordinances which may be applicable in the repair of cited violations. Vague, voluminous or errant citations, which have been all too common, are inappropriate.
- Ensure engineering department personnel do not abuse their authority by onerous and overreaching code enforcement policies. Public heath, safety and beautification should be addressed without imposing on personal property rights or the contractual arrangements of residents and taxpayers. If the proposed 'beautification' is not in the public sphere, or related to public heath and safety, it is not in the inspector's purview. This is OUR constitutional right.
- Provide for an ombudsman or independent mediator to arbitrate when overreach, mistakes, bias or inflexibility in code enforcement is alleged.
- Prevail upon the Engineering Department to issue the Certificate of Compliance for 1571 Oak Street.

With regards and respect,

A handwritten signature in blue ink, appearing to read 'William G Steinke', with a stylized flourish at the end.

William G Steinke



PHOTOGRAPHS

Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

Case No.:

State: MI

Zip: 48192



FRONT VIEW



REAR VIEW

PHOTOGRAPHS

Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

Case No.:

State: MI

Zip: 48192



REAR VIEW / CHIMNEY



CHIMNEY  
NOTE: NO OPEN MORTAR JOINTS.



PHOTOGRAPHS

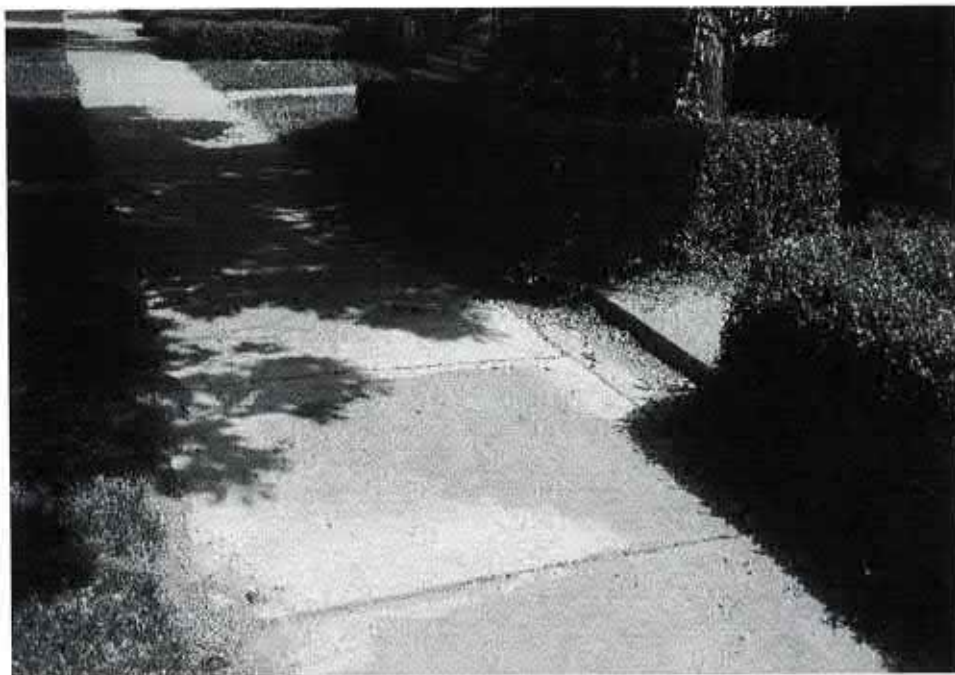
Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

Case No.:

State: MI

Zip: 48192



SIDEWALK REPAIR



SIDEWALK REPAIR

PHOTOGRAPHS

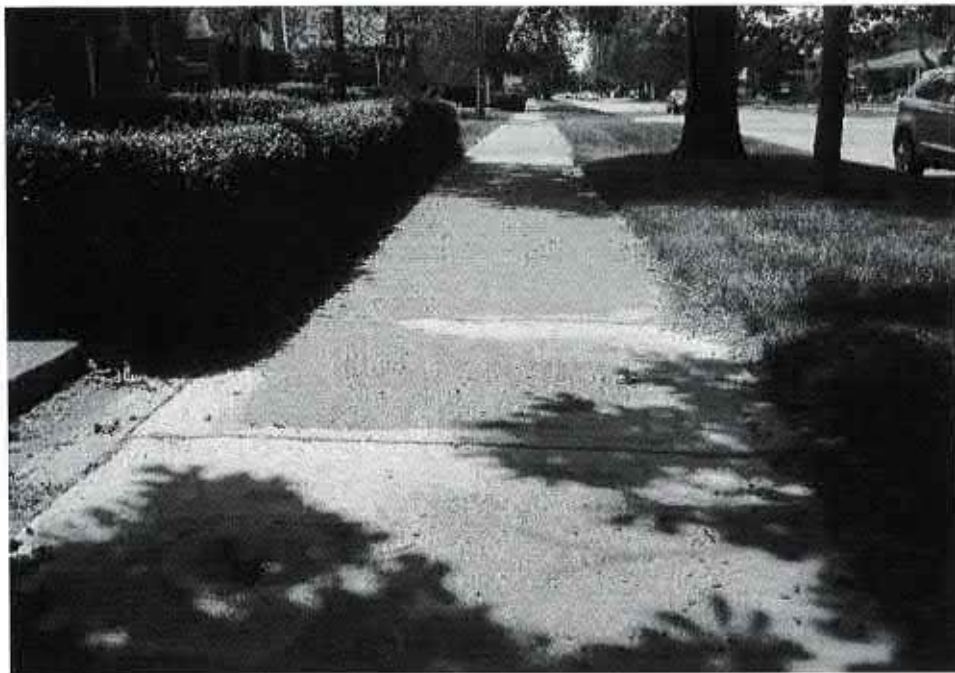
Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

Case No.:

State: MI

Zip: 48192



SIDEWALK REPAIR



SIDEWALK REPAIR

PHOTOGRAPHS

Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

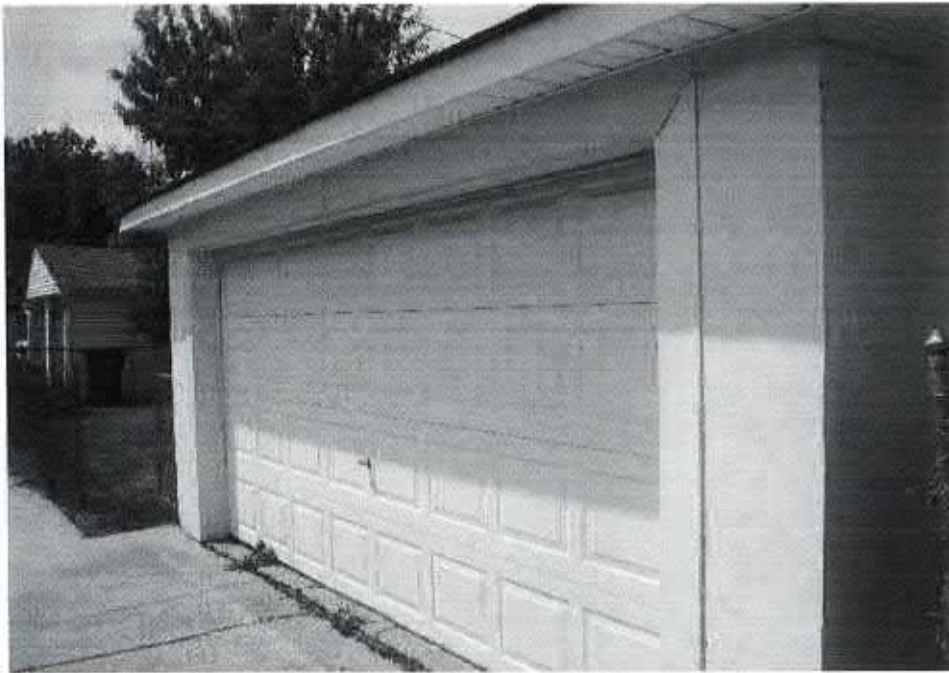
Case No.:

State: MI

Zip: 48192



GARAGE TRIM  
(CAULKED SINCE THE INSPECTION)



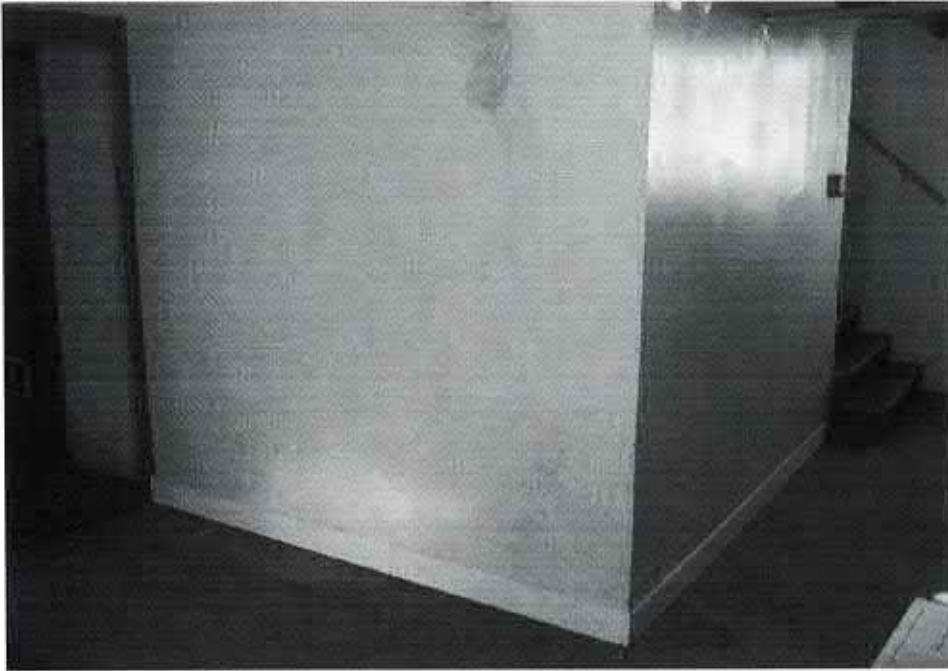
GARAGE TRIM  
(CAULKED SINCE THE INSPECTION)



INTERIOR PHOTOGRAPHS - BASEMENT

Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk  
Case No.:  
State: MI Zip: 48192



INTERIOR PARTITION



INTERIOR PARTITION

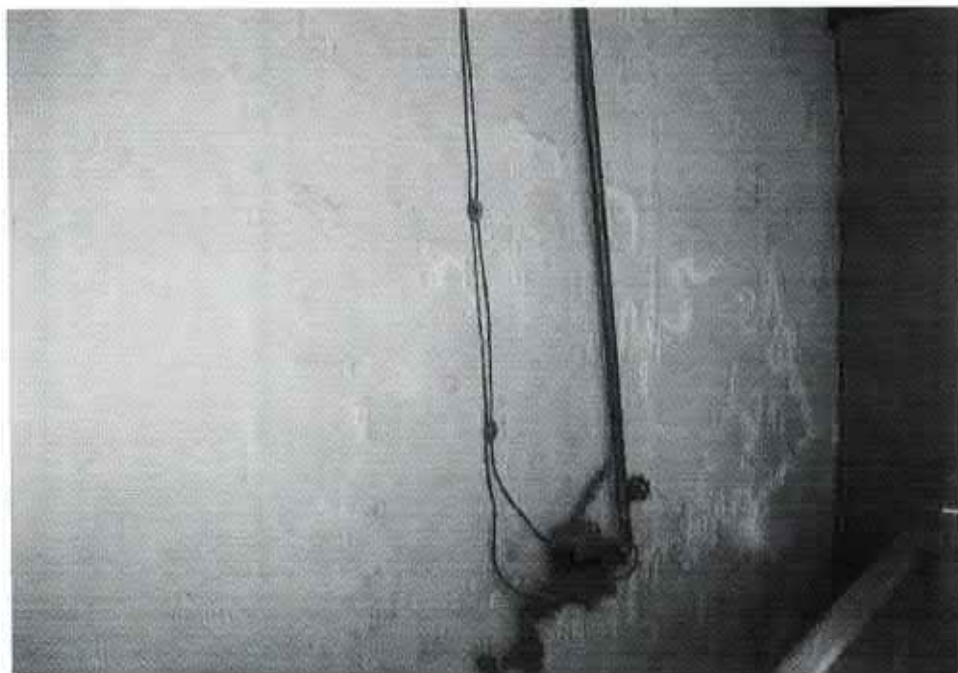
INTERIOR PHOTOGRAPHS - BASEMENT

Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk  
Case No.:  
State: MI Zip: 48192



INTERIOR PARTITION



NORTH WALL

# INTERIOR PHOTOGRAPHS - BASEMENT

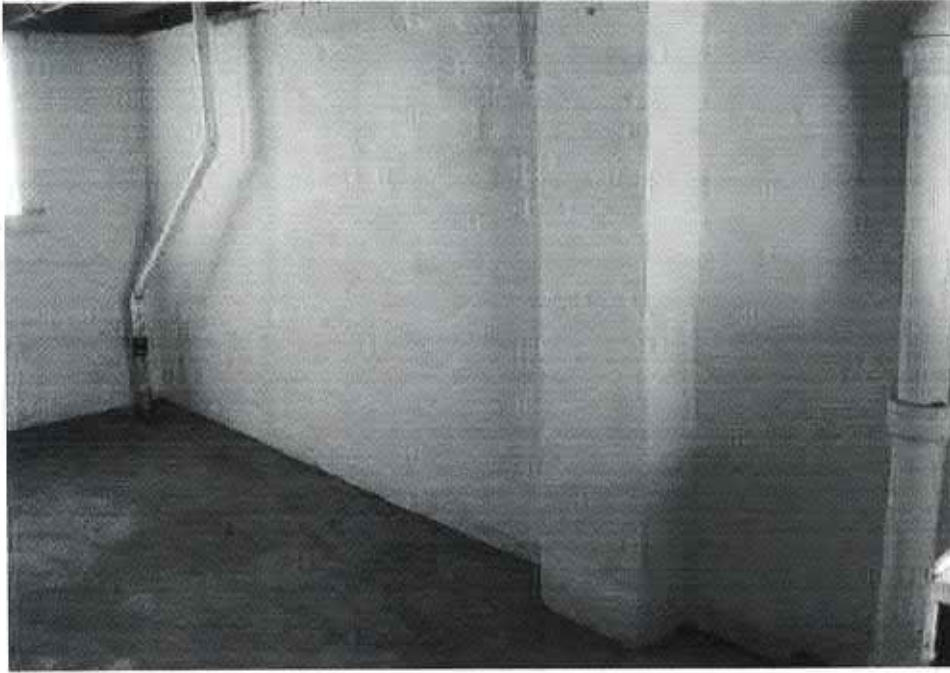
Borrower: Owner: Wm Steinke  
Property Address: 1571 Oak Street  
City: Wyandotte  
Lender:

File No.: Oak1571Sidewalk

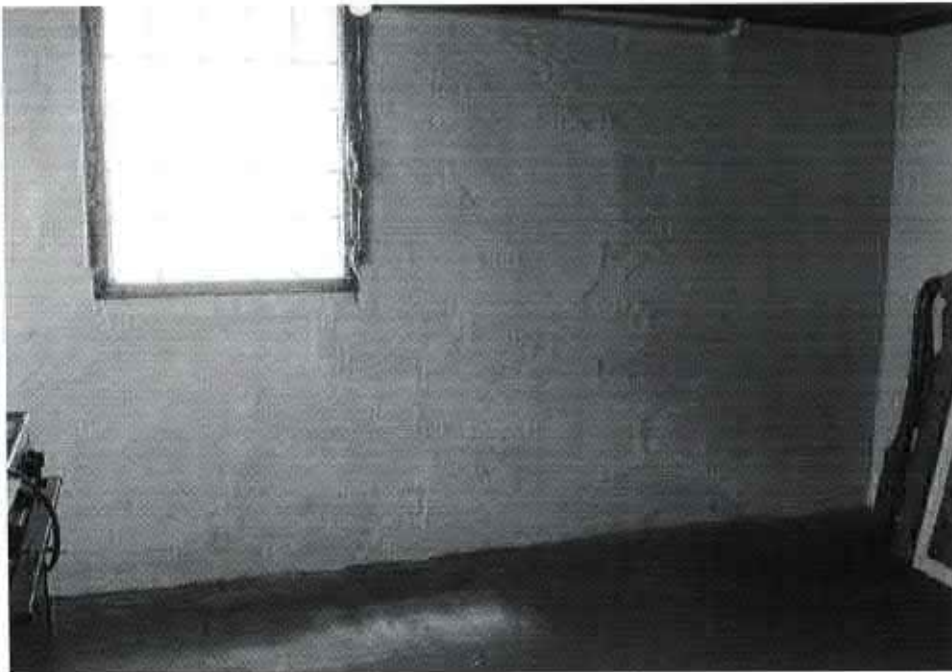
Case No.:

State: MI

Zip: 48192



SOUTH AND EAST WALLS



WEST WALL



# INTERIOR PHOTOGRAPHS - BASEMENT

Borrower: Owner: Wm Steinke	File No.: Oak1571Sidewalk
Property Address: 1571 Oak Street	Case No.:
City: Wyandotte	State: MI Zip: 48192
Lender:	



EAST AND NORTH WALLS

**RESOLUTION**

Item Number: #9  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council refers the communication from Mr. William Steinke regarding a Certificate of Compliance for 1571 Oak Street to the City Engineer for report back on June 21, 2021.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_


John Kovach

1353 Ford Ave, Wyandotte, Mi.

To Wyandotte City I John Kovack would like permission to have a family gathering June 12, 2021 on lots 67 and 68 Ford Ave. Wyandotte.

FROM 6 AM TO 12 AM ON 6/12/21

Thank you



FORD AVE





**RESOLUTION**

Item Number: #10

Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that Council grants permission to John Kovach to use city property at lots 67 & 68 on Ford Ave (adjacent to his home) for a family gathering on June 12, 2021 from 6am-12am.

BE IT FURTHER RESOLVED that John Kovach shall sign a hold harmless agreement at the Clerk's Office, as prepared by the Department of Legal Affairs, prior to the event date.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 11**

**ITEM: Epic Property Management: 1475 Eureka Rd.: Commercial Rehabilitation Exemption Certificate (CREC) Application**

**PRESENTER:** Joe Gruber, DDA Director

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** Epic Property Management has purchased one vacant parcel at 1475 Eureka Rd. and is constructing a new headquarters and facility for their property management company. The rehabilitation project includes the construction of a brick and block, single-story office suite totaling 6,400 square feet, with parking accommodations of 21 spaces.

The developers have concluded that substantial investment is necessary to rehabilitate the property into a viable, long-term development. Total hard cost investment is estimated to be \$850,000 while the total capital investment is estimated at \$1.1 million. The rehabilitation project would not be possible without the receipt of a Commercial Rehabilitation Tax Abatement.

**STRATEGIC PLAN/GOALS:** This action is consistent with the Goals and Objectives identified in the City of Wyandotte's Strategic Plan 2010-2015 that identifies a commitment to fostering the revitalization and preservation of older areas of the City as well as developing, redeveloping new areas.

**ACTION REQUESTED:** The DDA Director is requesting the Mayor and City Council to approve the attached resolution to award the attached Commercial Rehabilitation Exemption Certificate (CREC) Application from Epic Property Management; and to direct the City Clerk and City Assessor to facilitate the abatement in accordance with PA 210 of 2005.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** A Commercial Rehabilitation Exemption Certificate provides a 10-year tax abatements on post-construction new developments and redevelopments of qualified commercial facilities in established Commercial Rehabilitation Districts.

**IMPLEMENTATION PLAN:** DDA Director, City Assessor and City Clerk to administer the application submitted for the Commercial Rehabilitation Exemption Certificate (CREC).

**LIST OF ATTACHMENTS:**

1. PA 210 Certificate - 1475 Eureka Rd., Wyandotte
2. PA 210 Certificate Request - 1475 Eureka, Wyandotte

## **RESOLUTION**

Item Number: #11

Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

WHEREAS, the City of Wyandotte legally established the Commercial Rehabilitation District Number 1 on May 24, 2021, after a public hearing held on May 24, 2021; and

WHEREAS, the taxable value of the property proposed to be exempt plus the aggregate taxable value of property previously exempt and currently in force under Public Act 210 of 2005 does not exceed 5% of the total taxable value of the City of Wyandotte; and

WHEREAS, a public hearing was held on the application as provided by section 4(2) of Public Act 210 of 2005 on June 7th, 2021; and

WHEREAS, the applicant, Epic Property Management is not delinquent in any taxes related to the facility; and

WHEREAS, the application is for commercial property as defined in section 2(a) of Public Act 210 of 2005; and

WHEREAS, the applicant, Epic Property Management has provided answers to all required questions under the application instructions to the City of Wyandotte; and

WHEREAS, the City of Wyandotte requires that rehabilitation of the facility shall be completed by December 31st, 2021; and

WHEREAS, the commencement of the rehabilitation of the facility did not occur more than six months prior to the filing of the application for exemption; and

WHEREAS, the application relates to a rehabilitation program that when completed constitutes a qualified facility within the meaning of Public Act 210 of 2005 and that is situated within a Commercial Rehabilitation District established under Public Act 210 of 2005; and

WHEREAS, completion of the qualified facility is calculated to, and will at the time of issuance of the certificate, have the reasonable likelihood to increase commercial activity and create employment in the community in which the facility is situated; and

WHEREAS, the rehabilitation includes improvements aggregating 10% or more of the true cash value of the property at commencement of the rehabilitation as provided by section 2(j) of Public Act 210 of 2005.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Wyandotte, that Epic Property Management be and hereby is granted a Commercial Rehabilitation Exemption for the real property, excluding

land, located in Commercial Rehabilitation District Number 1 at 1475 Eureka Rd. for a period of 10 years, beginning December 31, 2021, and ending December 30, 2031, pursuant to the provisions of PA 210 of 2005, as amended.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

<u>YEAS</u>	<u>COUNCIL</u>	<u>NAYS</u>
_____	<b>Alderman</b>	_____
_____	<b>Calvin</b>	_____
_____	<b>Crayne</b>	_____
_____	<b>Hanna</b>	_____
_____	<b>Shuryan</b>	_____
_____	<b>Stec</b>	_____



**OFFICIALS**

Theodore H. Galeski  
CITY ASSESSOR

Lawrence S. Stec  
CITY CLERK

Todd M. Browning  
CITY TREASURER



**MAYOR**  
Robert A. DeSana

**COUNCIL**  
Robert Alderman  
Chris Calvin  
Kaylyn Crayne  
Todd Hanna  
Rosemary Shuryan  
Kelly M. Stec

**ASSESSING DEPARTMENT**

May 18, 2021

The Honorable Mayor  
and Members of the City Council  
3200 Biddle Ave  
Wyandotte MI 48192

RE: CFEC application for 1475 Eureka

Dear Honorable Mayor and City Council.

I have received a copy of the application for a Commercial Facility Tax Exemption Certificate for the property commonly known as 1475 Eureka. Please note the granting of this certificate along with the exemption certificates already exempted will not exceed five percent (5%) of the total State Equalized Value of the 2021 Assessment Roll.

2021 SEV of Special Acts Roll = 17,120,100 / 2021 SEV Ad Valorem Roll = 811,148,100 = 2.11%

Should you have any questions please contact the undersigned.

Sincerely,

Eric Dunlap  
Certifying Assessor  
MMAO

cc: Joseph K Gruber  
Todd A Drysdale  
Joshua Sterling

STATE USE ONLY		
Application Number	Date Received	LUCI Code

## Application for Commercial Rehabilitation Exemption Certificate

Issued under authority of Public Act 210 of 2005, as amended.

Read the instructions page before completing the form. **This application should be filed after the commercial rehabilitation district is established.** The applicant must complete Parts 1, 2 and 3 and file one original application form (with required attachments) and one additional copy with the clerk of the local governmental unit (LGU). Attach the legal description of property on a separate sheet. This project will not receive tax benefits until approved by the State Tax Commission (STC). Applications received after October 31 may not be acted upon in the current year. This application is subject to audit by the STC.

PART 1: OWNER / APPLICANT INFORMATION (applicant must complete all fields)			
Applicant (Company) Name (applicant must be the <b>owner</b> of the facility) <b>Epic Property Management</b>		NAICS or SIC Code <b>5311</b>	
Facility's Street Address <b>1475 Eureka Road</b>	City <b>Wyandotte</b>	State <b>MI</b>	ZIP Code <b>48192</b>
Name of City, Township or Village (taxing authority) <b>City of Wyandotte</b>	County <b>Wayne</b>	School District Where Facility is Located <b>Wyandotte City School</b>	
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			
Date of Rehabilitation Commencement (mm/dd/yyyy) <b>05/28/2021</b>	Planned Date of Rehabilitation Completion (mm/dd/yyyy) <b>12/31/2021</b>		
Estimated Cost of Rehabilitation <b>\$1,100,000</b>	Number of Years Exemption Requested (1-10) <b>10</b>		
Expected Project Outcomes (check all that apply)			
<input checked="" type="checkbox"/> Increase Commercial Activity <input checked="" type="checkbox"/> Retain Employment <input checked="" type="checkbox"/> Revitalize Urban Areas <input checked="" type="checkbox"/> Create Employment <input checked="" type="checkbox"/> Prevent Loss of Employment <input type="checkbox"/> Increase Number of Residents in Facility's Community			
No. of jobs to be created due to facility's rehabilitation <b>3</b>	No. of jobs to be retained due to facility's rehabilitation <b>30</b>	No. of construction jobs to be created during rehabilitation <b>30</b>	
PART 2: APPLICATION DOCUMENTS			
Prepare and attach the following items:			
<input checked="" type="checkbox"/> General description of the facility (year built, original use, most recent use, number of stories, square footage)		<input checked="" type="checkbox"/> Statement of the economic advantages expected from the exemption	
<input checked="" type="checkbox"/> Description of the qualified facility's proposed use		<input checked="" type="checkbox"/> Legal description	
<input checked="" type="checkbox"/> Description of the general nature and extent of the rehabilitation to be undertaken		<input type="checkbox"/> Description of the "underserved area" (Qualified Retail Food Establishments only)	
<input checked="" type="checkbox"/> Descriptive list of the fixed building equipment that will be a part of the qualified facility		<input type="checkbox"/> Commercial Rehabilitation Exemption Certificate for Qualified Retail Food Establishments (Form 4753) (Qualified Retail Food Establishments only)	
<input checked="" type="checkbox"/> Time schedule for undertaking and completing the facility's rehabilitation			
PART 3: APPLICANT CERTIFICATION			
Name of Authorized Company Officer (no authorized agents) <b>Joshua Sterling</b>		Telephone Number <b>(734) 225-6934</b>	
Fax Number		E-mail Address <b>josh@epicpm.com</b>	
Street Address <b>12863 Eureka Road</b>	City <b>Southgate</b>	State <b>MI</b>	ZIP Code <b>48195</b>
<p><i>I certify that, to the best of my knowledge, the information contained herein and in the attachments is truly descriptive of the property for which this application is being submitted. Further, I am familiar with the provisions of Public Act 210 of 2005, as amended, and to the best of my knowledge the company has complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the local governmental unit and the issuance of a Commercial Rehabilitation Exemption Certificate by the State Tax Commission.</i></p> <p><i>I further certify that this rehabilitation program, when completed, will constitute a rehabilitated facility, as defined by Public Act 210 of 2005, as amended, and that the rehabilitation of this facility would not have been undertaken without my receipt of the exemption certificate.</i></p>			
Signature of Authorized Company Officer (no authorized agents) 		Title <b>President</b>	Date <b>May 5, 2021</b>

**PART 4: ASSESSOR RECOMMENDATIONS** (assessor of LGU must complete Part 4)

Provide the Taxable Value and State Equalized Value of Commercial Property, as provided in Public Act 210 of 2005, as amended, for the tax year immediately preceding the effective date of the certificate (December 31 of the year approved by the STC).

	Taxable Value	State Equalized Value (SEV)
Land	\$15,100.00	\$15,100.00
Building(s)	\$0.00	\$0.00

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Commercial Rehabilitation Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Commercial Rehabilitation Exemption that would also put the same property on the Commercial Rehabilitation specific tax roll.



By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Commercial Rehabilitation Exemption specific tax roll and not on any other specific tax roll.

Name of Local Government Body

City of Wyandotte

Name of Assessor (first and last name)

Eric Dunlap

Telephone Number

(734) 331-3980

Fax Number

n/a

E-mail Address

edunlap@wcaassessing.com

I certify that, to the best of my knowledge, the information contained in Part 4 of this application is complete and accurate.

Assessor's Signature



Date

5-18-21

**PART 5: LOCAL GOVERNMENT ACTION** (clerk of LGU must complete Part 5)

Action Taken By LGU (attach a certified copy of the resolution):



Exemption approved for \_\_\_\_\_ years, ending December 30, \_\_\_\_\_ (not to exceed 10 years)



Exemption Denied

Date District Established (attach resolution for district)

Local Unit Classification Identification (LUCI) Code

School Code

**PART 6: LOCAL GOVERNMENT CLERK CERTIFICATION** (clerk of LGU must complete Part 6)

Clerk's Name (first and last)

Telephone Number

Fax Number

E-mail Address

Mailing Address

City

State

ZIP Code

LGU Contact Person for Additional Information

LGU Contact Person Telephone Number

Fax Number

I certify that, to the best of my knowledge, the information contained in this application and attachments is complete and accurate and hereby request the State Tax Commission issue a Commercial Rehabilitation Exemption Certificate, as provided by Public Act 210 of 2005, as amended.

Clerk's Signature

Date

The clerk must retain the original application at the local unit and mail one copy of the completed application with attachments to:

State Tax Commission  
P.O. Box 30471  
Lansing, MI 48909

# Instructions for Completing Form 4507

## Application for Commercial Rehabilitation Exemption Certificate

The Commercial Rehabilitation Exemption Certificate was created by Public Act 210 of 2005, as amended. The application is initially filed, reviewed, and approved by the LGU and then reviewed and approved by the State Tax Commission. According to Section 3 of Public Act 210 of 2005, as amended, the LGU must establish a Commercial Rehabilitation District. **Rehabilitation may commence after establishment of the Commercial Rehabilitation District.**

### Owner / Applicant Instructions

1. Complete Parts 1, 2 and 3 of application
2. Prepare and attach all documents required under Part 2 of the application:
  - a. General description of the facility (year built, original use, most recent use, number of stories, square footage)
  - b. Description of the qualified facility's proposed use
  - c. Description of the general nature and extent of the rehabilitation to be undertaken
  - d. Descriptive list of the fixed building equipment that will be a part of the qualified facility
  - e. Time schedule for undertaking and completing the facility's rehabilitation
  - f. Statement of the economic advantages expected from the exemption
  - g. Legal description of the facility
  - h. Description of the "underserved area" (Qualified Retail Food Establishments only)
3. Qualified Retail Food Establishments:
  - a. Complete Part 1 of the *Commercial Rehabilitation Exemption Certification for Qualified Retail Food Establishments* (Form 4753). Submit to LGU clerk along with application.
  - b. Describe the "underserved area" and provide supporting documentation to show how the project area meets one or more of the following requirements:
    - i. An area that contains a low to moderate income census tract(s) which, based on per capita income, are tracts below the 66.67 percentile (\$23,643 in 1999 dollars) and a below average supermarket density
    - ii. An area that has a supermarket customer base with more than 50% living in a low income census tract(s) which based on the per capita income, are tracts below the 66.67 percentile (\$23,643 in 1999 dollars)
    - iii. An area that has demonstrated significant access limitations due to travel distance and has no Qualified Retail Food Establishments within two miles of the geo-center for an urban area or has no Qualified Retail Food Establishments within nine miles of the geo-center for a rural area.

For assistance in determining the project area's eligibility, visit [www.michigan.gov/propertytaxexemptions](http://www.michigan.gov/propertytaxexemptions) and click on Commercial Rehabilitation Act.
4. Submit the application and all attachments to the clerk of the LGU where the property is located.

### LGU Assessor Instructions

Complete and sign Part 4 of the application.

### LGU Clerk Instructions

1. After LGU action, complete Part 5 of the application.
2. After reviewing the application for complete and accurate information, complete Part 6 and sign the application to certify the application meets the requirements as outlined by Public Act 210 of 2005, as amended.
3. Assemble the following for a complete application:
  - a. Completed *Application for Commercial Rehabilitation Exemption Certificate* (Form 4507)
  - b. All required attachments listed under Part 2
  - c. A copy of the resolution by the LGU establishing the district
  - d. A certified copy of the resolution by the LGU approving the application
  - e. Complete Form 4753 (Qualified Retail Food Establishments only)
4. Submit the completed application to: State Tax Commission, P.O. Box 30471, Lansing, MI 48909

### Application Deadline

The State Tax Commission must receive complete applications on or before October 31 to ensure processing and certificate issuance for the following tax year. Applications received after October 31 may not be processed in time for certificate issuance for the following tax year.

For guaranteed receipt by the State Tax Commission, send applications and attachments via certified mail.

If you have questions or need additional information or sample documents, visit [www.michigan.gov/propertytaxexemptions](http://www.michigan.gov/propertytaxexemptions) or call 517-335-7491



May 5, 2021

Wyandotte City Council  
Wyandotte City Hall  
3200 Biddle Avenue  
Wyandotte, Michigan 48192

**RE: Request for the Establishment of a Commercial Rehabilitation Certificate Located at 1475 Eureka Road, Wyandotte, Wayne County, Michigan for Epic Property Management**

Honorable City Council:

Please accept this letter as a request for a Commercial Rehabilitation Certificate (CRC) for the property located at 1475 Eureka Road in the City of Wyandotte, Wayne County, Michigan (the "Property"), further described in Attachment A.

### **Company and Project Synopsis**

Epic Property Management, LLC (the "Developer") is based in Southgate, Michigan and provides property management services throughout the greater Southeast Michigan area. Established in 2012, Epic Property Management (Epic) was founded by Joshua Sterling, who has successfully managed over 200 real estate development and rehabilitation projects over the past 10 years. Mr. Sterling has extensive experience in successfully completing projects that involve new construction and property restoration. Within the City of Wyandotte, Mr. Sterling has successfully completed several projects, notably the ground-up development of 8 single family residences in 2016 and 2017, the revitalization of the city's largest apartment building (2700 6th St.) in 2016, and the rehabilitation and beautification of over 50 single family houses between 2010 and 2021.

The proposed CRC contains one (1) vacant parcel with a parcel ID of 54-018-01-0001-300. The property is comprised of approximately 0.464 acres and is located at 1475 Eureka Road. The property is bounded by Eureka Road to the north, 14<sup>th</sup> Street to the east, an alleyway to the south, and 15<sup>th</sup> street to the west. The CRC is located half a mile east of Fort Street, along Eureka Corridor.

The Project involves the redevelopment of the parcel addressed at 1475 Eureka Road that includes the construction of a brick and block, single-story office suite totaling 6,400 square feet, with parking accommodations of 21 spaces. The building will provide office space for Epic Property Management.

### **Acquisition Timeline**

The parcel located at 1475 Eureka Road was acquired by the Developer on April 13, 2021.

### **Necessity for Tax Relief**

Substantial investment is necessary to rehabilitate the property into a viable, long-term development. The rehabilitation project would not be possible without the receipt of a Commercial Rehabilitation Tax Abatement.



***Request for Establishment of a Commercial Rehabilitation Certificate at  
1475 Eureka Road  
for Epic Property Management***

The COVID-19 Pandemic has significantly increased the price of numerous goods and services, including building materials and labor/skilled trades. It is estimated these costs have increased upwards of 25% of original prices, a discrepancy that has significantly impacted the number and quality of new construction projects. In order to secure financing and quality construction materials and labor for the development, the operating costs of the proposed project must be kept as low as possible (including property taxes).

### **Job Creation and Investment**

On a short-term basis approximately thirty (30) temporary construction jobs will be created. On a long-term basis, the proposed redevelopment associated with the project will relocate approximately 30 existing full-time equivalent (FTE) jobs associated with the Developer and tenant, Epic Property Management. Additionally, the project is estimated to create an anticipated 3 to 5 additional FTE positions over the next five years. Total hard cost investment is estimated to be \$850,000. Total capital investment is estimated at \$1.1 million.

### **PA 210 Request**

This application documents the request for the establishment of a Commercial Rehabilitation Certificate for the property located at 1475 Eureka Road.

The proposed project is considered a "Qualified Facility" as defined by Public Act 210, as amended because it consists of a building previously used for commercial purposes which, within the immediately preceding 15 years, was commercial property as defined in subdivision (a) of Section 2.

### **Economic Advantages of the Rehabilitation**

The approval of the Certificate will not result in any fewer taxes to the City in the short-term or long-term. Upon successful redevelopment, the project will improve aesthetic and physical conditions along Eureka, 14<sup>th</sup>, and 15<sup>th</sup> Streets by landscaping the property, improving sidewalks, and installing new curb and gutters. The proposed office space will allow for continued company growth over the next several years. By securing the property, the Developer is committed to Wyandotte for the long term, contributing to local revenue by generating increased income and property taxes. The investment will also improve daytime density, which will support nearby businesses along the Eureka Corridor. The proposed redevelopment will encourage continued redevelopment and improvements in the surrounding area.

On a long-term basis, following expiration of the 10-year abatement the building will deliver a significant increase in tax revenue.

All taxes associated with the property are current as of the submission of this request.

### **Closing**

Epic has a proven track record of providing top quality development and property management services throughout Southeast Michigan. This development will provide roots to Epic's local presence and improve the area where they conduct a significant amount of business. Epic is looking forward to pursuing this development and continuing investing in Wyandotte.

***Request for Establishment of a Commercial Rehabilitation Certificate at  
1475 Eureka Road  
for Epic Property Management***

Respectfully submitted,



Joshua Sterling  
Epic Property Management  
(734) 225-6934  
josh@epicpm.com

Submitted with Assistance from:  
Ryan Higuchi  
PM Environmental, Inc.  
(248) 414-1432  
higuchi@pmenv.com

**Attachments:**

Attachment A: Detailed Project Description  
Attachment B: Parcel Map

# Attachment A



## **General Description**

The proposed Commercial Rehabilitation Certificate (CRC) is bounded by Eureka Road to the north, 14<sup>th</sup> Street to the east, an alleyway to the south, and 15<sup>th</sup> Street to the west. The property is comprised of approximately 0.464 acres and is located at 1475 Eureka Road with a parcel ID of 54-018-01-0001-300. The vacant property is currently unoccupied by any business operations.

Standard and historical sources were able to document that the eastern portion of the subject parcel consisted of vacant land from at least 1937 until 1959 when a commercial building was constructed. Occupants of the property included a car wash from at least 1959 until 1965; and an automotive radiator repair shop from the early 1970s until the building was demolished in 2006.

Standard and historical sources were able to document that the central portion of the subject parcel consisted of vacant land from at least early 1937 until late 1937 when the former commercial building was constructed. Occupants of the property were reportedly residential from at least 1937 until 1960; a laboratory chemical storage facility in at least 1965; and an automotive body shop with painting activities from at least the early 1970s until 2010's.

Standard and historical sources were able to document that the western portion of the subject parcel consisted of vacant land from at least early 1937 until 1956 when the former commercial building was constructed. Occupants of the former building included various bars, restaurants, and lounges until it was demolished in 1993. The western portion of the property served as overflow parking and a driveway for the automotive body shop until operations ceased in 2018.

The Property is located half a mile east of Fort Street, along Eureka Road, a major corridor leading to Downtown Wyandotte. Commercial operations immediately surround the Property and residential single-family homes are located beyond the commercial strip on either side of the Corridor. A Smart-Ride bus stop is located directly in front the Property, providing convenient access to many of the City's amenities. The future redevelopment aligns with Wyandotte's Master Plan which encourages this portion of Eureka to remain zoned for general business.



## **Description of Proposed Use**

The project involves the conversion of a vacant city block into a single-story, commercial building made of brick and block, that will include landscaping improvements that will enhance the Eureka Road corridor. The building will span approximately 6,400 square feet that will serve as Epic Property Management's main office once the project is complete. Approximately 21 parking spaces will be created along the eastern portion of the property to accommodate customers and clients.



## **Nature and Extent of the Rehabilitation**

A single-story commercial building will be constructed on the vacant property. In order to improve the physical character and aesthetic of the property, landscaping features will be installed throughout the site, as well as incorporate sidewalks improvements and curb and gutters while be installed.

Epic Property Management intends to apply for a property tax abatement under the provisions of Public Act 210 Commercial Rehabilitation Act for a period of 10 years. Hard-cost investment is estimated between \$850,000, with total project investment estimated at \$1.1 million, which will be financed using private equity and loans.

## **Descriptive List of the Fixed Building Equipment**

New fixed building equipment and materials for the project include;

- Masonry;
- Carpentry; including framing, cabinetry, vanities, trim work
- Thermal and Moisture Protection; roofing system, caulking and sealing, waterproofing
- Doors and Windows; curtain wall and exterior doors, interior doors/frames/hardware
- Mechanical; plumbing and HVAC
- Electrical; electrical work, security system, and communications
- Fire alarm/suppression system
- Finishes; drywall and steel studs/insulation, hard tile, hardwood/LVT flooring, painting
- Specialties; Fire extinguishers, toilet accessories, and appliances.

## **Time Schedule**

Construction activities are anticipated to commence immediately following approval of the certificate. It is anticipated that the project will be completed by the end of 2021.

## **Statement of Economic Advantages**

The proposed development will create additional commercial office space within the City while securing Epic Property Management's commitment to local redevelopment.



The granting of the tax abatement will not result in any fewer taxes to the City in the short-term or long-term. All City taxes are current as of the date of this submittal. Upon successful redevelopment, the project will generate increased property.

On a short-term basis approximately thirty (30) temporary construction jobs will be created during. On a long-term basis, approximately 30 existing full-time equivalent (FTE) jobs associated with the developer and tenant will be relocated to the City of Wyandotte. Additionally, the project also is estimated to create 3 to 5 additional FTE positions over the next five years.

The development will directly address Epic Property Management's office space needs while accommodating additional company growth. The development will increase daytime density and encourage walkability efforts as numerous retail and food destinations are located nearby. Activation of this property will spur further growth and act as a catalyst for future redevelopment of the along Eureka Corridor and the surrounding neighborhoods.

Following expiration of the 10-year abatement period, the building will deliver a significant increase in tax revenue.

### **Legal Description**

Parcel Number: 54-018-01-0001-300

Address: 1475 Eureka Road

Acres: 0.464

Legal Description: Lots 85 to 90 both incl Eureka Manor Subdivision as recorded in Liber 41, Page 24 of Plats, Wayne County Records and Lots 1 to 5 both incl Taylor Park Subdivision as recorded in Liber 43, Page 30 of Plats Wayne County Records

## Attachment B

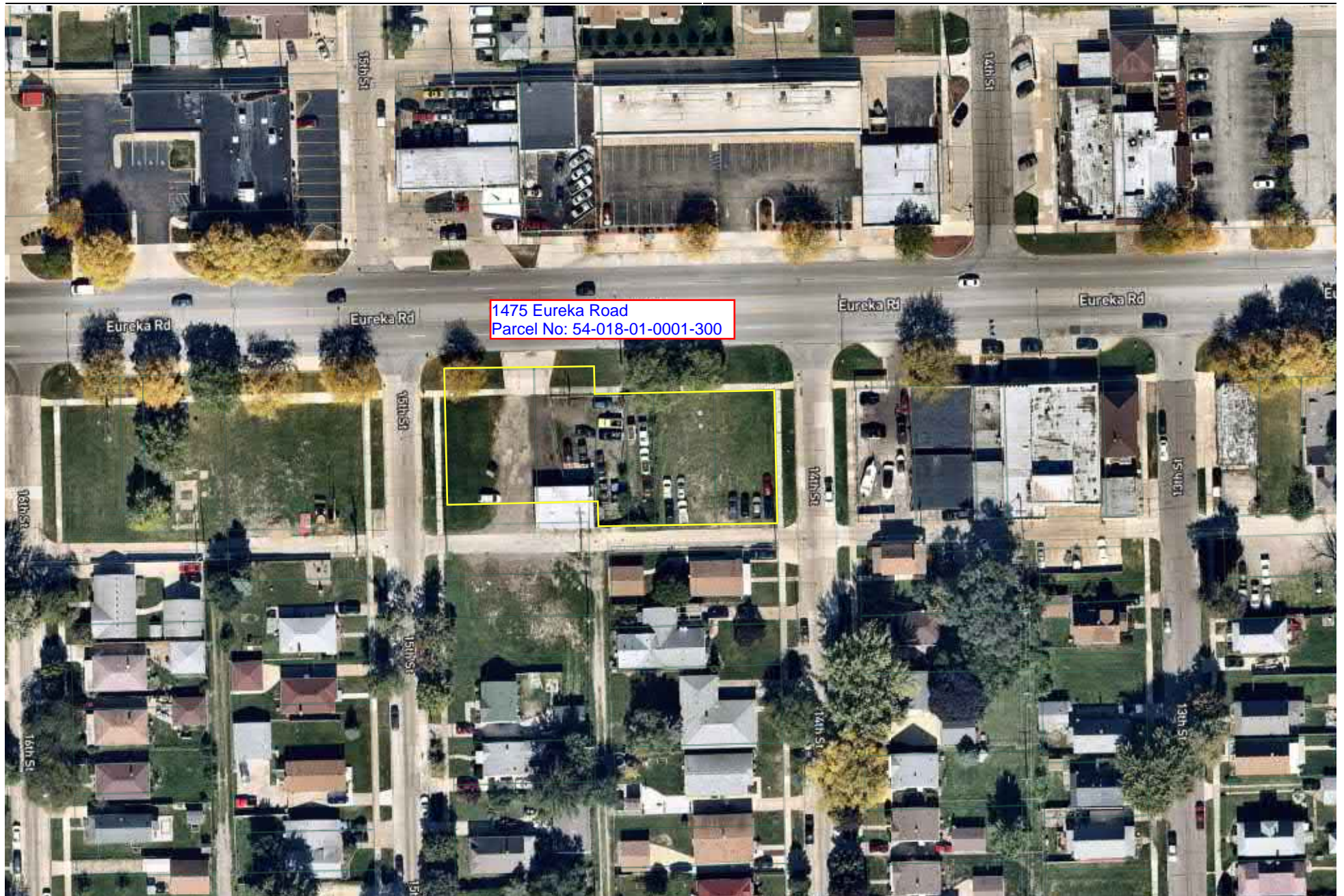


**Wyandotte**

<https://landgrid.com/us/mi/wayne/wyandotte>

**Landgrid**

By Loveland Technologies · May 05, 2021



1475 Eureka Road  
Parcel No: 54-018-01-0001-300

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 12**

**ITEM: Sale of Former 400 Highland, Wyandotte**

**PRESENTER:** Gregory J. Mayhew, City Engineer

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** This property was offered for sale in accordance with the Build a Future in Wyandotte Specifications for Acquisition of Vacant Parcels for the Construction of a New Single Family Home (Specifications) which can be found at [www.wyandotte.net/FrontDesk/RequestForProposals.asp](http://www.wyandotte.net/FrontDesk/RequestForProposals.asp). The property was placed on the MLS, a “For Sale” sign was placed on the property, and it was listed on the City’s website.

The recommendation is to sell said lot for \$10,000 to Johnny and Betty Ross, 7433 S. Huron River Dr., S. Rockwood, MI, for the construction of new single family home consisting of approximately 1,700 square feet, 3 bedrooms, 2.5 baths, attached garage, full basement, wrap around front porch along the 4th Street side and the exterior to be brick on the front elevation, brick four (4) feet above grade around the other three (3) elevations with vinyl siding for the rest of exterior .

Note: The City did enter into a Purchase Agreement with Peter and Kerry Fraley to construct a single family at this location, however they were unable to meet the terms of the Purchase Agreement and therefore signed a Release of Agreement.

**STRATEGIC PLAN/GOALS:** This recommendation is consistent with the 2010-2015 Goals and Objectives of the City of Wyandotte Strategic Plan in continuing effects to enhancing the community’s quality of life by: fostering the revitalization and preservation of older areas of the City as well as developing, redeveloping new areas; ensuring that all new developments will be planned and designed consistent with the city’s historic and visual standards; have a minimum impact on natural areas; and, have a positive impact on surrounding areas and neighborhoods; fostering the maintenance and development of stable and vibrant neighborhoods.

**ACTION REQUESTED:** Approve Purchase Agreement to sell said property to Mr. and Mrs. Ross in the amount of \$10,000.00.

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** Revenue of \$10,000.00 in the TIFA Consolidated Fund (492-000-650-040).

**IMPLEMENTATION PLAN:** The Neighborhood Services Coordinator will coordinate the closing with the Department of Legal Affairs upon approval of the Purchase Agreement.

**LIST OF ATTACHMENTS:**

1. Purchase Agreement 400 Highland

**RESOLUTION**

Item Number: #12

Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

RESOLVED BY THE MAYOR AND COUNCIL that the communication from the City Engineer regarding the City owned property located at former 400 Highland is hereby received and placed on file; AND

BE IT FURTHER RESOLVED that the Council concurs with the recommendation to sell the property known as former 400 Highland to Mr. and Mrs. Ross in the amount of \$10,000.00; AND

BE IT FURTHER RESOVLED that if the Purchaser(s), Mr. and Mrs. Ross does not undertake development within six (6) months from time of closing and complete construction within one (1) year will result in Seller's right to repurchase property including any improvements for One (\$1.00) Dollar. A condition will be placed on the Deed that will include this contingency;

NOW THEREFORE, BE IT RESOLVED that the Mayor and City Clerk are hereby authorized to execute the Offer to Purchase Real Estate for the property known as former 400 Highland, between Mr. and Mrs. Ross and the City of Wyandotte for \$10,000 as presented to Council AND

BE IT FURTHER RESOLVED that the Mayor and City Clerk are authorized to execute the Release of Purchase Agreement between the City and Mr. and Mrs. Fraley.

I move the adoption of the foregoing resolution.

MOTION by Councilperson

SUPPORTED by Councilperson

**YEAS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**COUNCIL**

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# OFFER TO PURCHASE REAL ESTATE

I, **THE UNDERSIGNED** hereby offers and agrees to purchase the following land situated in the City of Wyandotte Wayne County, Michigan, described as follows: Lots 428 through 431 inclusive, Emmon's Orchard Subdivision as recorded in Liber 38, Page 30 of Plats, Wayne County Records being known as the Former 400 Highland now known as 410 Highland Street, and to pay therefore the sum of Ten Thousand Dollars & 00/100 (\$10,000.00) Dollars, subject to the existing building and use restrictions, easements, and zoning ordinances, if any, upon the following conditions;

## THE SALE TO BE CONSUMMATED BY PROMISSORY NOTE/MORTGAGE SALE

<b>PROMISSORY/ MORTGAGE SALE</b>	1. The Purchase Price of <u>\$10,000.00</u> together with the closing costs (which consists of the title insurance premium, recording fees, prorated taxes, closing fee of \$200) shall be paid by Purchaser(s) executing a Promissory Note payable to the order of the Seller(s) and secured by a mortgage. The Promissory Note will require immediate payment to the Seller upon occurrence of any of the following events within ten (10) years of the date of closing: The property is sold, refinanced, foreclosed, leased, transferred, conveyed in any manner or otherwise disposed of by Purchaser(s) or is no longer occupied by Purchaser as its primary residence. In the event none of the events described in Paragraph (1) above occur within ten (10) years of the date of closing, the Promissory Note will be deemed satisfied and the mortgage will be discharged at the request of and upon payment of the recording fee for the discharge by Purchaser(s). In the event of default of the terms of the Promissory Note by the Purchaser(s), the Seller(s) may foreclose by advertisement on the mortgaged premises as one of its remedies and purchaser(s) shall be responsible to pay Seller(s) costs including reasonable attorney fees resulting from the enforcement of the Promissory Note and/or Mortgage.
<b>Evidence of Title</b>	2. As evidence of title, Seller agrees to furnish Purchaser as soon as possible, a Policy of Title Insurance in an amount not less than the purchase price, bearing date later than the acceptance hereof and guaranteeing the title in the condition required for performance of this agreement, will be accepted. Purchaser is responsible to pay for the Title Insurance premium.
<b>Time of Closing</b>	3. If this offer is accepted by the Seller and if title can be conveyed in the condition required hereunder, the parties agree to complete the sale upon notification that Seller is ready to close.
<b>Purchaser's Default</b>	4. If Purchaser(s) defaults, Seller may retain the Deposit and Purchaser(s) is responsible for all costs incurred by Seller.
<b>Seller's Default</b>	5. In the event of default by the Seller hereunder, the purchaser may, at his option, elect to enforce the terms hereof or demand, and be entitled to, an immediate refund of his entire deposit in full termination of this agreement.
<b>Title Objections</b>	6. If objection to the title is made, based upon a written opinion of Purchaser's attorney that the title is not in the condition required for performance hereunder, the Seller shall have 30 days from the date, is notified in writing of the particular defects claimed, either (1) to remedy the title, or (2) to obtain title insurance as required above, or (3) to refund the deposit in full termination of this agreement if unable to remedy the title the Purchaser agrees to complete the sale within 10 days of written notification thereof. If the Seller is unable to remedy the title or obtain title insurance within the time specified, the deposit shall be refunded forthwith in full termination of this agreement.
<b>Possession</b>	7. The Seller shall deliver and the Purchaser shall accept possession of said property, subject to rights of the following tenants: <u>NONE</u> If the Seller occupies the property, it shall be vacated on or before <u>closing</u> From the closing to the date of vacating property as agreed, SELLER SHALL PAY the sum of \$ <u>n/a</u> per day. <del>THE BROKER SHALL RETAIN from the amount due Seller at closing the sum of \$ _____ as security for said occupancy charge, paying to the Purchaser the amount due him and returning to the Seller the unused portion as determined by date property is vacated and keys surrendered to Broker.</del>
<b>Taxes and Prorated Items</b>	8. All taxes and assessments which have become a lien upon the land at the date of this agreement shall be paid by the Seller. Current taxes, if any, shall be prorated and adjusted as of the date of closing in accordance with <u>due date</u> (Insert one: "Fiscal Year" "Due Date." If left blank, Fiscal Year applies) basis of the municipality or taxing unit in which the property is located. Interest, rents and water bills shall be prorated and adjusted as of the date of closing. <b>Due dates are August 1 and December 1.</b> 9. It is understood that this offer is irrevocable for fifteen (15) days from the date hereof, and if not accepted by the Seller within that time, the deposit shall be returned forthwith to the Purchaser. If the offer is accepted by the Seller, the Purchaser agrees to complete the purchase of said property within the time indicated in Paragraph 3:
<b>Broker's Authorization</b>	10. The Broker is hereby authorized to make this offer and the deposit of <u>N/A</u> Dollars may be held by him under Act No. 112, P.A. of 1960 Sect. 13, (j) and applied on the purchase price if the sale is consummated.

THIS IS A LEGAL BINDING CONTRACT, IF NOT UNDERSTOOD SEEK COMPETENT HELP

<b>Compliance Deposit</b>	11. A compliance deposit of <u>one thousand (\$1,000.00) dollars</u> must be paid by Purchaser to Seller upon acceptance of this agreement. The purpose of the compliance deposit is to secure Purchaser's obligations under this agreement. In the event of default of any of the terms of this purchase agreement or closing documents, including but not limited to failure to timely obtaining the building permit (Paragraph 14) or failure to undertake and/or completing construction in a timely manner (Paragraph 16), the compliance deposit will be forfeited to the Seller. If Purchaser completes all requirements of this agreement and closing documents within the required timeframe, the compliance deposit will be returned to Purchaser upon issuance of the Certificate of Occupancy. If the compliance deposit is forfeited, it will not be applied towards the purchase price.
---------------------------	---

**12. APPLICABLE TO F. H. A. SALES ONLY:**

It is expressly agreed that, notwithstanding any other provisions of this contract, the Purchaser shall not be obligated to complete the purchase of the property described herein or to incur any penalty by forfeiture of earnest money deposits or otherwise unless the Seller has delivered in the purchaser a written statement issued by the Federal Housing Commissioner setting forth the appraised value of the property for mortgage insurance purpose of not less than \$\_\_\_\_\_ which statement the Seller hereby agrees to deliver to the Purchaser promptly after such appraised value statement is made available to the Seller. The Purchaser shall, however, have the privilege and the option of proceeding with the consummation of this contract without regard to the amount of the appraised valuation made by the Federal Housing Commissioner.

It is further understood between Purchaser and Seller that the additional personal property listed herein has a value of \$\_\_\_\_\_.

13. The covenants herein shall bind and inure to the benefit of the executors, administrators, successors and assigns of the respective parties.

By the execution of this instrument the Purchaser acknowledges THAT HE HAS EXAMINED THE ABOVE described premises and is satisfied with the physical condition of structures thereon and acknowledges the receipt of a copy of this offer.

The closing of this sale shall take place at the office of the City Engineer, 3200 Biddle Avenue, Wyandotte, MI

However, if a new mortgage is being applied for, Purchasers will execute said mortgage at the bank or mortgage company from which the mortgage is being obtained. Additional conditions, if any: \_\_\_\_\_

Purchaser(s) have bargained for the purchase of the property from the Seller(s) pursuant to the terms of the promissory note (rather than paying a cash price for the property at the closing). Purchaser(s) agrees that in consideration of the Seller(s) allowing the purchase by a Promissory Note, Seller(s) is subject to certain risks and that the following conditions are reasonable and that Seller(s) have provided adequate legal consideration to support the conditions and requirements of this Agreement. Time is of the essence.

14. The closing for this Agreement is contingent upon the Purchaser, within 120 days of Seller's signed acceptance, obtaining a building permit, issued by the Engineering and Building Department for the construction of an owner occupied single family home, consisting of the following features:

- Approximately 1,700 square feet with 3 bedrooms, 2.5 bath single story home as indicated on Attachment A
- Full basement to be in accordance with Section R310-Emergency Escape and Rescue Openings in accordance with the 2015 Michigan Residential Code. Emergency Escape and Rescue Opening must have an approved cover. The basement is also required to have a Backflow Valve and Sump Pump with yard drain in rear of property.
- Exterior to be brick and cultured stone on the front elevation; brick four (4) feet above grade around the other three (3) elevations with vinyl siding on the remaining sides of the exterior.
- Wrap around front porch along the 4<sup>th</sup> Street side.
- Attached garage not to extend more than 3 feet of the living space.
- Home must meet all current zoning requirements.

15. This Agreement is further contingent upon the Purchaser undertaking development within 180 days from date of closing and completing construction (which is defined as obtaining a final Certificate of Occupancy for an owned occupied single family home) within 365 days from the date of closing. "Undertaking development" is defined as: the completion of a basement foundation, walls and backfilling verified by inspection by the Engineering and Building Department pursuant to a building permit issued by the Seller(s) for construction of the home with all of the requirements described in Paragraph 14.

In consideration of the Seller(s) conveying this property to Purchaser(s) pursuant to the terms of Promissory Note, Purchaser(s) agree that if Purchaser(s) fail to undertake development or complete construction within the required time limits of this Agreement, Seller(s) have the option to purchase the property from Purchaser with all improvements for one (\$1.00) dollar (Purchaser(s) will still remain responsible to pay all obligations owing to Purchaser's lender). This will be a condition of the deed. In the event Seller(s) commences legal proceeding to enforce this requirement, Purchaser(s) shall be responsible to pay all of Seller's costs including its reasonable attorney fees.

16. All utilities are required to be underground. Purchaser will provide three (3) ducts; electrical, cable and telephone to a central location. If reusing existing sewer tap, line must be inspected or cameraed and documents submitted to the Engineering Department for approved use. If use is not approved, you must re-tap the main.

17. The Purchaser is responsible for the cost of the Title Insurance Policy Premium, Closing Fee of \$200.00 and Mapping Fee. These charges will be included in the note.

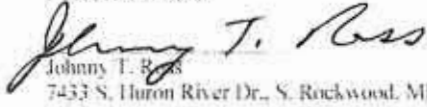
18. Dirt shall be removed from the site at the Purchaser's expense.

19. Purchaser will be responsible to protect adjoining public and private property from damage during construction. Protection shall be made to control water runoff and erosion during construction activities. The person making or causing an excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining buildings should be protected. Said notification shall be delivered not less than 10 days prior to the scheduled starting date of the excavation.

Purchaser(s) will be required to provide turf establishment before Final Certificate of Occupancy will be issued. (NOTE: Sod, seed and mulch blankets or hydro-seed will be acceptable means of turf establishment.)

20. The property is being sold in "As Is" condition, without express or implied warranty. Purchaser understands that buildings were removed from the site and the City of Wyandotte accepts no responsibility for underground conditions or environmental conditions of the property.
- The Purchaser shall be responsible for the complete removal and disposal of any trees or shrubs.
  - The Purchaser shall remove and replace any and all public sidewalk which the City determines does not comply with City guidelines.
  - Purchaser shall replace all unused drop curbs or damaged curbs with new full height curbs.
21. This Agreement is subject to the approval of the Wyandotte City Council.
22. The undersigned Purchaser(s) hereby acknowledges the receipt of the Seller's signed acceptance of the foregoing Offer to Purchase.
23. The requirements of this Agreement shall survive the closing.

PURCHASER(S):

  
Johnny T. Ross  
7433 S. Huron River Dr., S. Rockwood, MI 48179

  
Betty L. Ross

Dated: 5-27-21

SELLER(S): CITY OF WYANDOTTE

Robert A. DeSana, Mayor  
3200 Biddle Avenue, Wyandotte, MI

Lawrence S. Stec, City Clerk

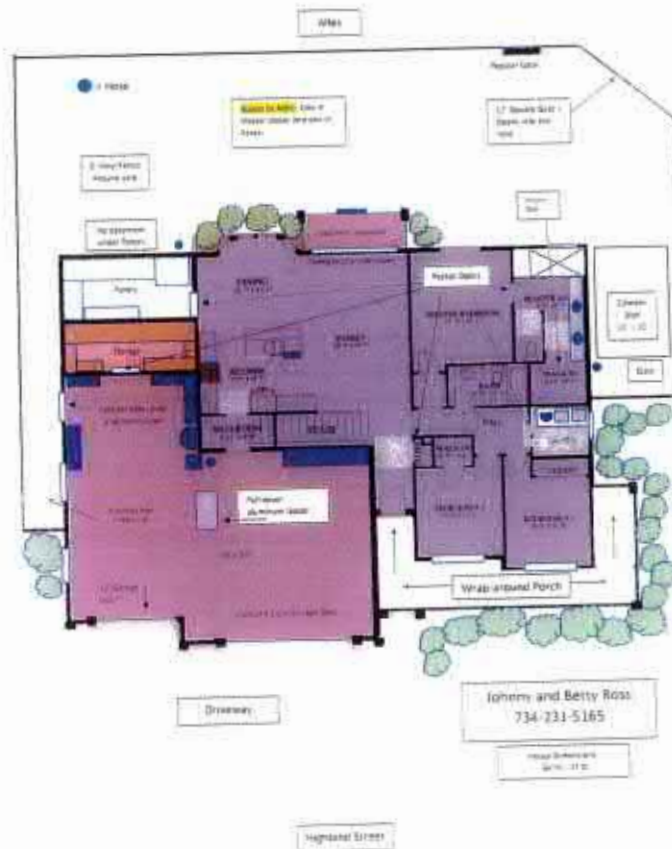
Dated: \_\_\_\_\_

Legal Department Review \_\_\_\_\_

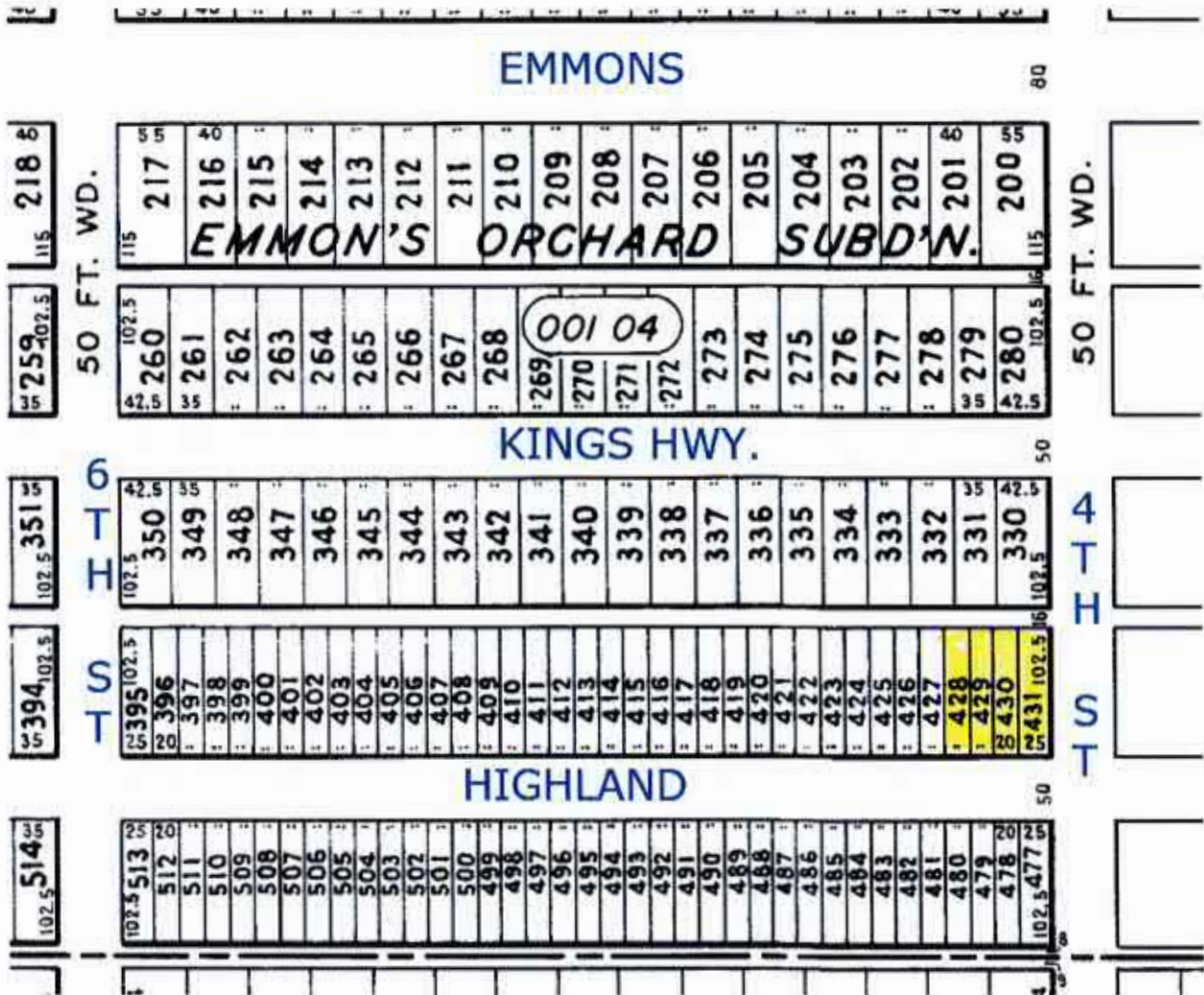


**Miscellaneous Info:**

The exterior will have the design style shown above.  
 There will be an 8' basement under main living areas of home.  
 Slab under pantry.  
 3+ car garage  
 No light pole in front  
 Hardwood flooring (except: bedrooms and baths)  
 Tile flooring in bathrooms  
 Carpet in bedrooms and bedroom closets.  
 Drywall Garage  
 Drywall portion of basement (if not too expensive)









### RELEASE OF PURCHASE AGREEMENT

This Release of Purchase Agreement made this 2 day of Feb, 2021, by the CITY OF WYANDOTTE "SELLER" and PETER AND KERRY FRALEY "PURCHASERS"

WHEREAS, Peter and Kerry Fraley executed a Purchase Agreement to purchase the property known as of the former 400 Highland, Wyandotte, Michigan, executed on November 4, 2019, and

WHEREAS, Peter and Kerry Fraley desire to not purchase the property and wish to terminate said Purchase Agreement;

NOW THEREFORE, the Sellers and Purchasers mutually release each other from the above referenced Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Release of Purchase Agreement on 2<sup>nd</sup> Day of February 2021

CITY OF WYANDOTTE, SELLER(S)

\_\_\_\_\_  
Robert A. DeSana, Mayor Pro Tempore

\_\_\_\_\_  
Lawrence S. Stee, City Clerk

PURCHASER(S):

  
\_\_\_\_\_  
Peter Fraley

  
\_\_\_\_\_  
Kerry Fraley

**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 13**

**ITEM: Sale of Part of the Former 4285 17th Street**

**PRESENTER:** Gregory J. Mayhew, City Engineer

**INDIVIDUALS IN ATTENDANCE:** N/A

**BACKGROUND:** The City owns the former 4285 17th Street. Attached for your approval is a Purchase Agreement to sell the north fifteen (15) feet of the property to the adjacent property owner(s) at 4275 17th Street, Clear View Rental, LLC, Jeffrey Oshnock, for the amount of \$750.00. The combination of the two (2) lots will result in one (1) lot measuring 45' x 103.7'.

**STRATEGIC PLAN/GOALS:** This is consistent with the 2010-2015 Goals and Objectives of the City of Wyandotte Strategic Plan in the commitment to maintaining and developing excellent neighborhoods by; matching tools and efforts to the conditions in city neighborhoods and continuing neighborhood renewal projects, where needed, in order to revitalize structures and infrastructures in residential and commercial areas.

**ACTION REQUESTED:** Approve the Purchase Agreement to sell fifteen (15) feet of the former 4285 17th Street to the adjacent property owner(s) at 4275 17th Street in the amount of \$750.00 (\$50 per front foot).

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** Revenue of \$750.00 in the UDAG Fund (284-000-650-040).

**IMPLEMENTATION PLAN:** The Neighborhood Services Coordinator will coordinate the closing with the Department of Legal Affairs upon approval of the Purchase Agreement.

**LIST OF ATTACHMENTS:**

1. Purchase Agreement Former 4285 17th

**RESOLUTION**

Item Number: #13

Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

Council concurs with the recommendation of the City Engineer regarding the sale of fifteen (15) feet of the former 4285 17th Street Wyandotte; AND

BE IT RESOLVED that Council accepts the offer from Jeffrey Oshnock to acquire the fifteen (15) feet of the former 4275 17th Street for the amount of \$750.00; AND

BE IT FURTHER RESOLVED that the Department of Legal Affairs is hereby directed to prepare the necessary documents and the Mayor and Clerk are hereby authorized to sign said documents.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**LOOK, MAKOWSKI and LOOK**  
ATTORNEYS AND COUNSELORS AT LAW  
PROFESSIONAL CORPORATION  
2241 OAK STREET  
WYANDOTTE, MICHIGAN 48192-5390  
(734) 285-6500  
FAX (734) 285-4160

William R. Look  
Steven R. Makowski

Richard W. Look  
(1912-1993)

**PURCHASE AGREEMENT**

1. THE UNDERSIGNED hereby offers and agrees to purchase the following land situated in the City of

Wyandotte County, Michigan, described as follows:  
All of Lot 6 except the south 15 feet Riverland Subdivision as recorded in L36: P14 WCR being known as Part of the Former  
4285 17<sup>th</sup> Street, and to pay therefore the sum of Seven Hundred Fifty Dollars & 00/100 (\$750.00), subject to the existing  
building and use restrictions, easements, and zoning ordinances, if any, upon the following conditions:

**THE SALE TO BE CONSUMMATED BY  
PROMISSORY NOTE/MORTGAGE SALE**

<b>PROMISSORY/ MORTGAGE SALE</b>	1. The Purchase Price of <u>\$750.00 plus closing costs to be determined at closing</u> shall be paid to the Seller when the above described property is sold, refinanced, transferred in any manner, conveyed or otherwise disposed of by the Purchaser as evidence by a Promissory Note. A mortgage will be executed and recorded at the time of closing to secure repayment. The mortgage will include the above described property and the adjacent property currently owned by Purchaser. Purchaser is responsible to pay for the recording costs of the mortgage and discharge of mortgage and said amounts will be added to the purchase price at the time of closing. In the event the Purchaser fails to pay the purchase price when due, the Seller may foreclose by advertisement on the mortgaged premises and Purchaser agrees to pay Seller's reasonable attorney fees and all costs associated with said foreclosure. Should this property or the property at <u>4275 17<sup>th</sup> Street, Wyandotte, MI</u> be foreclosed on by any Financial or County Entity this property shall be returned to the Seller.
<b>Evidence of Title</b>	2. As evidence of title, Seller agrees to furnish Purchaser as soon as possible, a Policy of Title Insurance in an amount not less than the purchase price, bearing date later than the acceptance hereof and guaranteeing the title in the condition required for performance of this agreement, will be accepted. Purchaser is responsible to pay for the Title Insurance premium.
<b>Time of Closing</b>	3. If this offer is accepted by the Seller and if title can be conveyed in the condition required hereunder, the parties agree to complete the sale upon notification that Seller is ready to close.  4. In the event of default by the Seller hereunder, the purchaser may, at his option, elect to enforce the terms hereof or demand, and be entitled to, an immediate refund of his entire deposit in full termination of this agreement.
<b>Purchaser's Default</b>	5. If objection to the title is made, based upon a written opinion of Purchaser's attorney that the title is not in the condition required for performance hereunder, the Seller shall have 30 days from the date, is notified in writing of the particular defects claimed, either (1) to remedy the title, or (2) to obtain title insurance as required above, or (3) to refund the deposit in full termination of this agreement if unable to remedy the title the Purchaser agrees to complete the sale within 10 days of written notification thereof. If the Seller is unable to remedy the title or obtain title insurance within the time specified, the deposit shall be refunded forthwith in full termination of this agreement.
<b>Seller's Default</b>	
<b>Title Objections</b>	6. The Seller shall deliver and the Purchaser shall accept possession of said property, subject to rights of the following tenants: _____  If the Seller occupies the property, it shall be vacated on or before _____ From the closing to the date of vacating property as agreed, SELLER SHALL PAY the sum of \$ _____ per day. THE BROKER SHALL RETAIN from the amount due Seller at closing the sum of \$ _____ as security for said occupancy charge, paying to the Purchaser the amount due him and returning to the Seller the unused portion as determined by date property is vacated and keys surrendered to Broker.
<b>Taxes and Prorated Items</b>	7. All taxes and assessments which have become a lien upon the land at the date of this agreement shall be paid by the Seller. Current taxes, if any, shall be prorated and adjusted as of the date of closing in accordance with due date _____ (Insert one: "Fiscal Year" "Due Date." If left blank, Fiscal Year applies) basis of the municipality or taxing unit in which the property is located. Interest, rents and water bills shall be prorated and adjusted as of the date of closing. <b>Due dates are August 1 and December 1.</b>
<b>Broker's Authorization</b>	8. It is understood that this offer is irrevocable for fifteen (15) days from the date hereof, and if not accepted by the Seller within that time, the deposit shall be returned forthwith to the Purchaser. If the offer is accepted by the Seller, the Purchaser agrees to complete the purchase of said property within the time indicated in Paragraph 3.

9. The Broker is hereby authorized to make this offer and the deposit of N/A Dollars may be held by him under Act No. 112, P.A. of 1960 Sect. 13, (j) and applied on the purchase price if the sale is consummated.

11. The covenants herein shall bind and inure to the benefit of the executors, administrators, successors and assigns of the respective parties.

By the execution of this instrument the Purchaser acknowledges THAT HE HAS EXAMINED THE ABOVE described premises and is satisfied with the physical condition of structures thereon and acknowledges the receipt of a copy of this offer.

The closing of this sale shall take place at the office of 3200 Biddle Avenue, Wyandotte

However, if a new mortgage is being applied for, Purchasers will execute said mortgage at the bank or mortgage company from which the mortgage is being obtained. Additional conditions, if any: Contingent upon the following: City Council approval, Purchaser agrees, at closing, to combine this property with property currently owned by Purchaser known as 4275 17<sup>th</sup> Street. Purchaser will be responsible for closing fees including, but not limited, to title premium and recording fees. Closing fees will be included into the Promissory Note/Mortgage amount. Further, a deed restriction will be placed on the deed which will indicate that if the property at 4275 17<sup>th</sup> Street is foreclosed on by any entity the property being purchased under this Agreement will revert back to the City of Wyandotte. All property taxes on property at 4275 17<sup>th</sup> Street must be current at time of closing.

☐ CHECK BOX IF CLOSING FEE OF \$200.00 IS TO BE PAID BY PURCHASER IS REQUIRED.

• IN PRESENCE OF:

Jeffrey C. Snock  
Clear View Rentals, LLC

Purchaser

I, S.

Address P.O. Box 312, Grosse Ile, MI 48138

Dated 5-26-21

Phone: \_\_\_\_\_

#### BROKER'S ACKNOWLEDGMENT OF DEPOSIT

Received from the above named Purchaser the deposit money above mentioned, which will be applied as indicated in Paragraphs 8 and 9 above, or will be returned forthwith after tender if the foregoing offer and deposit is declined.

Address \_\_\_\_\_

Broker

Phone \_\_\_\_\_

By: \_\_\_\_\_

This is a co-operative sale on a \_\_\_\_\_ basis with \_\_\_\_\_

#### ACCEPTANCE OF OFFER

TO THE ABOVE NAMED PURCHASER AND BROKER:

The foregoing offer is accepted in accordance with the terms stated, and upon consummation Seller hereby agrees to pay the Broker for services rendered a commission of ( \_\_\_\_\_ Dollars) ( \_\_\_\_\_ per cent of the sale price), which shall be due and payable at the time set in said offer for the consummation of the sale, or if unconsummated, at the time of Seller's election to refund the deposit, or of Seller's or Purchaser's failure, inability or refusal to perform the conditions of this offer; provided, however, that if the deposit is forfeited under the terms of said offer, the Seller agrees that one-half of such deposit (but not in excess of the amount of the full commission) shall be paid to or retained by the Broker in full payment for services rendered.

By the execution of this instrument, the Seller acknowledges the receipt of a copy of this agreement.

CITY OF WYANDOTTE:

IN PRESENCE OF:

Robert A. DeSana, Mayor Seller

I, S.

Lawrence S. Stec, City Clerk Seller

I, S.

Address 3200 Biddle Ave., Wyandotte

Dated: \_\_\_\_\_

Phone 734-324-4555

#### PURCHASER'S RECEIPT OF ACCEPTED OFFER

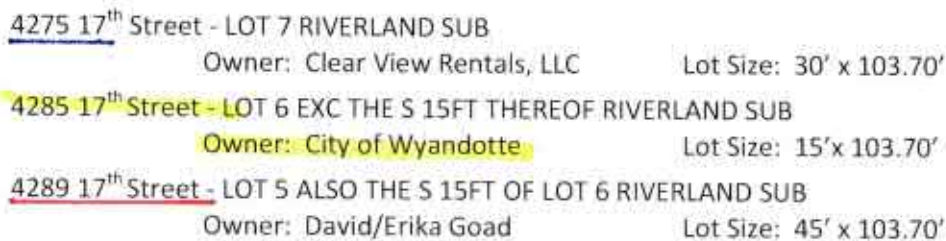
The undersigned Purchaser hereby acknowledges the receipt of the Seller's signed acceptance of the foregoing Offer to Purchase.

Dated \_\_\_\_\_

Purchaser

THIS IS A LEGAL BINDING CONTRACT, IF NOT UNDERSTOOD SEEK COMPETENT HELP





**CITY OF WYANDOTTE**  
**REQUEST FOR COUNCIL ACTION**

**MEETING DATE: 6/7/2021**

**AGENDA ITEM # 14**

**ITEM:** Amendment to ordinances concerning prohibited conduct on school property, school attendance, school truancy, e-cigarettes (#1511-1514)

**PRESENTER:** William R. Look, City Attorney and Scott Galeski, Truant Officer

**INDIVIDUALS IN ATTENDANCE:** William R. Look

**BACKGROUND:** Request made by school's truant officer to amend a portion of the above existing ordinances to permit payment of fines to the court in lieu of requesting a court hearing and increased some of the fines. The age application in Sec. 25-10.2 was raised from 17 to 19.

**STRATEGIC PLAN/GOALS:**

**ACTION REQUESTED:** Hold first readings of Ordinance Amendments #1511, #1512, #1513, & #1514

**BUDGET IMPLICATIONS & ACCOUNT NUMBER:** None

**IMPLEMENTATION PLAN:**

**LIST OF ATTACHMENTS:**

1. First Reading #1511-Amendment Ordinance - Sec. 25-76.3 (2021)
2. First Reading #1512-Amendment Ordinance - Sec. 25-21.1 - Restrictions for E-Cigarette
3. First Reading #1513-Amendment Ordinance - Sec. 25-10.2 - School Truancy
4. First Reading #1514-Amendment Ordinance - Sec. 25-10.1 - School Attendance and Educational Neglect

**RESOLUTION**

Item Number: #14

Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

BE IT RESOLVED that a first reading of Ordinances #1511-1514 to amend portions of school-related ordinances be held on June 7, 2021.

I move the adoption of the foregoing resolution.

MOTION by Councilperson \_\_\_\_\_

SUPPORTED by Councilperson \_\_\_\_\_

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AN ORDINANCE ENTITLED  
AN ORDINANCE TO AMEND THE  
CODE OF ORDINANCES OF  
THE CITY OF WYANDOTTE BY AMENDING  
SEC. 25-76.3 “PROHIBITED CONDUCT ON SCHOOL PROPERTY”**

The City of Wyandotte ordains:

**Section 1. Amendment of Sec. 25-76.3 “Prohibited Conduct on School Property” to read as follows:**

Sec. 25-76.3. Prohibited conduct on school property or during school function(s).

- (a) It shall be unlawful for any person to act in a violent, quarrelsome, loud, disorderly or destructive manner while on any school property within the City of Wyandotte.
- (b) It shall be unlawful for any person to commit any act that disturbs, or annoys others, including but not limited to any vulgar language, profanity, verbal harassment, or threatening behavior, or any act tending to cause a breach of the peace while on any school property within the City of Wyandotte.
- (c) It shall be unlawful for any person by any act, non-performance, or encouragement of behavior that contributes to the delinquency of a person under the age of twenty (20) on any school property within the City of Wyandotte.
- (d) It shall be unlawful for any student to violate any school rule, policy, or procedure on school property within the City of Wyandotte or during any school function(s).
- (e) The superintendent of schools, the designated school/truant officer or law enforcement official may issue a citation to any person who violates subsection (a), (b), (c) or (d) on school grounds or during school function(s).
- (f) Any person who violates this ordinance under the age of eighteen (18) shall be responsible for a municipal civil infraction subject to a fine not to exceed four hundred dollars (\$400.00) together with court costs and/or community service. In addition, he/she must be accompanied to any district court hearing(s) on said charge by their legal parent or guardian or may pay four hundred dollars (\$400.00) in fines and costs (prior to the court hearing) at the district court without a hearing.
- (g) Any person over the age of seventeen (17) who violates this ordinance shall be responsible for a municipal civil infraction subject to a fine not to exceed five hundred dollars (\$500.00) together with court costs and/or community service or may pay five hundred dollars (\$500.00) in fines and costs (prior to the court hearing) to the district court without a court appearance.

**Section 2. Severability.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

**Section 3. Effective Date.**

This Ordinance shall take effect fifteen (15) days from the date of its passage by the Wyandotte City Council and the Ordinance or its summary shall be published in a newspaper generally circulated in the City of Wyandotte within ten (10) days after adoption. A copy of this Ordinance may be inspected or obtained at the City of Wyandotte Clerk's Office, 3200 Biddle Avenue, Wyandotte, Michigan.

On the question, "SHALL THIS ORDINANCE NOW PASS?", the following vote was recorded:

YEAS	COUNCILPERSONS	NAYS
_____	Alderman	_____
_____	Calvin	_____
_____	Crayne	_____
_____	Hanna	_____
_____	Shuryan	_____
_____	Stec	_____

Absent: \_\_\_\_\_

I hereby approve the adoption of the foregoing ordinance this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**CERTIFICATE**

We, the undersigned, **ROBERT A. DESANA and LAWRENCE STEC**, respectively the Mayor and City Clerk of the City of Wyandotte, do hereby certify that the foregoing Ordinance was duly passed by the Council of the City of Wyandotte, at a regular session thereof on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Dated: \_\_\_\_\_, 2021

\_\_\_\_\_  
**ROBERT A. DESANA**, Mayor

\_\_\_\_\_  
**LAWRENCE STEC**, City Clerk



**AN ORDINANCE ENTITLED  
AN ORDINANCE TO AMEND SEC. 25-21.1  
“RESTRICTIONS FOR E-CIGARETTE (OR SIMILAR ITEMS)  
USE OR POSSESSION IN SCHOOLS AND BY MINORS”  
BY AMENDING SUBPARAGRAPH (d)**

THE CITY OF WYANDOTTE ORDAINS:

**Section 1. Amendment of Subparagraph (d) of Sec. 25-21.1 to read as follows:**

Sec. 25-21.1

(d) Any person charged with violating this section under the age of eighteen (18) shall be accompanied to any district court hearing(s) on said charges by their legal parent or legal guardian or may pay one hundred dollars (\$100.00) First Offense, two hundred dollars (\$200.00) Second Offense or three hundred dollars (\$300.00) Third Offense in fines and costs (prior to the court hearing) at the district court without a hearing.

**Section 2. Severability.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

**Section 3. Effective Date.**

This Ordinance shall take effect fifteen (15) days from the date of its passage by the Wyandotte City Council and the Ordinance or its summary shall be published in a newspaper generally circulated in the City of Wyandotte within ten (10) days after adoption. A copy of this Ordinance may be inspected or obtained at the City of Wyandotte Clerk's Office, 3200 Biddle Avenue, Wyandotte, Michigan.

On the question, “SHALL THIS ORDINANCE NOW PASS?”, the following vote was recorded:

YEAS	COUNCILMEN	NAYS
_____	Alderman	_____
_____	Calvin	_____
_____	Crayne	_____
_____	Hanna	_____
_____	Shuryan	_____
_____	Stec	_____

Absent: \_\_\_\_\_

I hereby approve the adoption of the foregoing ordinance this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**CERTIFICATE**

We, the undersigned, **ROBERT A. DESANA and LAWRENCE STEC**, respectively the Mayor and City Clerk of the City of Wyandotte, do hereby certify that the foregoing Ordinance was duly passed by the Council of the City of Wyandotte, at a regular session thereof on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Dated: \_\_\_\_\_, 2021

\_\_\_\_\_  
**ROBERT A. DESANA**, Mayor

\_\_\_\_\_  
**LAWRENCE STEC**, City Clerk

**AN ORDINANCE ENTITLED  
AN ORDINANCE TO AMEND SEC. 25-10.2  
“SCHOOL TRUANCY PROHIBITED”  
BY AMENDING SUBPARAGRAPHS (a) AND (b)**

THE CITY OF WYANDOTTE ORDAINS:

**Section 1. Amendment of Subparagraph (a) of Sec. 25-10.2 to read as follows:**

Sec. 25-10.2

(a) Except otherwise provided in subsection (c) below, it shall be unlawful for any person under the age of nineteen (19) years of age to be absent from school or to have excessive tardies during regularly scheduled school hours in the city of Wyandotte.

**Section 2. Amendment of Subparagraph (b) of Sec. 25-10.2 to read as follows:**

Sec. 25-10.2

(b) A person who violates subsection (a) shall be liable for a municipal civil infraction, punishable by a fine of not more than three hundred dollars (\$300.00). Any person who violates subsection (a) under the age of eighteen (18) years of age shall be accompanied by a legal parent or legal guardian to any court hearing or pay three hundred dollars (\$300.00) in full to the district court without a hearing.

**Section 3. Severability.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

**Section 4. Effective Date.**

This Ordinance shall take effect fifteen (15) days from the date of its passage by the Wyandotte City Council and the Ordinance or its summary shall be published in a newspaper generally circulated in the City of Wyandotte within ten (10) days after adoption. A copy of this Ordinance may be inspected or obtained at the City of Wyandotte Clerk's Office, 3200 Biddle Avenue, Wyandotte, Michigan.

On the question, "SHALL THIS ORDINANCE NOW PASS?", the following vote was recorded:

YEAS	COUNCILMEN	NAYS
_____	Alderman	_____
_____	Calvin	_____
_____	Crayne	_____
_____	Hanna	_____
_____	Shuryan	_____
_____	Stec	_____

Absent: \_\_\_\_\_

I hereby approve the adoption of the foregoing ordinance this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**CERTIFICATE**

We, the undersigned, **ROBERT A. DESANA** and **LAWRENCE STEC**, respectively the Mayor and City Clerk of the City of Wyandotte, do hereby certify that the foregoing Ordinance was duly passed by the Council of the City of Wyandotte, at a regular session thereof on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Dated: \_\_\_\_\_, 2021

\_\_\_\_\_  
**ROBERT A. DESANA**, Mayor

\_\_\_\_\_  
**LAWRENCE STEC**, City Clerk

**AN ORDINANCE ENTITLED  
AN ORDINANCE TO AMEND SEC. 25-10.1  
“MANDATORY SCHOOL ATTENDANCE AND  
EDUCATIONAL NEGLECT” BY AMENDING  
SUBPARAGRAPHS (f) AND (g)**

THE CITY OF WYANDOTTE ORDAINS:

**Section 1. Amendment of Subparagraph (f) of Sec. 25-10.1 to read as follows:**

Sec. 25-10.1

(f) All school personnel, principals, assistant principals, administrators, and teachers shall give assistance and furnish information to aid the superintendent of schools in the city of Wyandotte or his/her designee in the performance of their official duties under this section.

**Section 2. Amendment of Subparagraph (g) of Sec. 25-10.1 to read as follows:**

Sec. 25-10.1

(g) A parent or guardian who fails to comply with any provision of this section is responsible for a municipal civil infraction punishable by a fine not to exceed three hundred dollars (\$300.00) together with court costs or may pay three hundred dollars (\$300.00) in fines and costs to the district court without a court hearing.

Any parent or guardian who is found to have failed to comply with any provisions of this section on more than one (1) occasion is guilty of a misdemeanor punishable by a fine not to exceed five hundred dollars (\$500.00) and/or imprisonment not to exceed ninety (90) days, together with court costs.

**Section 3. Severability.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

**Section 4. Effective Date.**

This Ordinance shall take effect fifteen (15) days from the date of its passage by the Wyandotte City Council and the Ordinance or its summary shall be published in a newspaper generally circulated in the City of Wyandotte within ten (10) days after adoption. A copy of this Ordinance may be inspected or obtained at the City of Wyandotte Clerk's Office, 3200 Biddle Avenue, Wyandotte, Michigan.



On the question, "SHALL THIS ORDINANCE NOW PASS?", the following vote was recorded:

YEAS	COUNCILMEN	NAYS
_____	Alderman	_____
_____	Calvin	_____
_____	Crayne	_____
_____	Hanna	_____
_____	Shuryan	_____
_____	Stec	_____

Absent: \_\_\_\_\_

I hereby approve the adoption of the foregoing ordinance this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**CERTIFICATE**

We, the undersigned, **ROBERT A. DESANA** and **LAWRENCE STEC**, respectively the Mayor and City Clerk of the City of Wyandotte, do hereby certify that the foregoing Ordinance was duly passed by the Council of the City of Wyandotte, at a regular session thereof on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Dated: \_\_\_\_\_, 2021

\_\_\_\_\_  
**ROBERT A. DESANA**, Mayor

\_\_\_\_\_  
**LAWRENCE STEC**, City Clerk

# BILLS & ACCOUNTS

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
JOURNALIZED PAID  
BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 138070							
101-000-231-086	Pension Liability-DB (Employee)	CITY OF WYANDOTTE RETIREMENT	POLICE DEF BENEFIT	P/R ENDING 5/23/21	05/26/21	456.03	138070
			Total For Check 138070			456.03	
Check 138071							
101-000-231-084	Pension Liability-DB II (Employee)	CITY OF WYANDOTTE RETIREMENT	CITY OF WYANDOTTE RETIREMENT DB II EMPLOYEE	P/R ENDING 5/23/21	05/26/21	3,173.89	138071
			Total For Check 138071			3,173.89	
Check 138072							
101-000-231-083	Pension Liability-DB II (Employer)	CITY OF WYANDOTTE RETIREMENT	CITY OF WYANDOTTE RETIREMENT DB II EMPLOYER	P/R ENDING 5/23/21	05/26/21	6,346.31	138072
			Total For Check 138072			6,346.31	
Check 138073							
101-000-231-030	P/R Deductions-Union Dues	FOP LODGE 111	FOP LODGE 111	P/R ENDING 5/23/21	05/26/21	76.00	138073
			Total For Check 138073			76.00	
Check 138074							
101-000-231-030	P/R Deductions-Union Dues	IAFF LOCAL #356	IAFF LOCAL #356	P/R ENDING 5/23/21	05/26/21	1,150.86	138074
			Total For Check 138074			1,150.86	
Check 138075							
101-000-231-087	Pension Liability-DC (Employer)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107305	P/R ENDING 5/23/21	05/26/21	9,719.16	138075
101-000-231-088	Pension Liability-DC (Employee)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107305	P/R ENDING 5/23/21	05/26/21	4,859.56	138075
499-000-231-087	Pension Liability-DC (Employer)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107305	P/R ENDING 5/23/21	05/26/21	211.24	138075
499-000-231-088	Pension Liability-DC (Employee)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107305	P/R ENDING 5/23/21	05/26/21	105.62	138075
			Total For Check 138075			14,895.58	
Check 138076							
101-000-231-087	Pension Liability-DC (Employer)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107256	P/R ENDING 5/23/21	05/26/21	8,395.17	138076
101-000-231-088	Pension Liability-DC (Employee)	ICMA RETIREMENT CORPORATION	ICMA RETIREMENT CORPORATION # 107256	P/R ENDING 5/23/21	05/26/21	4,197.53	138076
			Total For Check 138076			12,592.70	
Check 138077							
101-000-231-030	P/R Deductions-Union Dues	MICHIGAN AFSCME COUNCIL 25	DPS UNION DUES	P/R ENDING 5/23/21	05/26/21	263.64	138077
			Total For Check 138077			263.64	
Check 138078							
101-000-231-030	P/R Deductions-Union Dues	POLICE OFFICERS ASSOCIATION OF MI	POLICE OFFICERS ASSOCIATION OF MI	P/R ENDING 5/23/21	05/26/21	1,108.48	138078
			Total For Check 138078			1,108.48	
Check 138079							
101-000-231-070	P/R Deductions-Deferred Comp	RELIANCE TRUST COMPANY	AXA TRUST ID# 0155496177	P/R ENDING 5/23/21	05/26/21	6,575.00	138079
101-000-231-070	P/R Deductions-Deferred Comp	RELIANCE TRUST COMPANY	AXA TRUST ID# 0155496177	P/R ENDING 5/23/21	05/26/21	65.00	138079
			Total For Check 138079			6,640.00	
Check 138080							
101-000-231-030	P/R Deductions-Union Dues	THIN BLUE LINE OF MICHIGAN	THIN BLUE LINE OF MICHIGAN	P/R ENDING 5/23/21	05/26/21	10.00	138080
			Total For Check 138080			10.00	
Check 138081							
101-000-231-087	Pension Liability-DC (Employer)	VANTAGE POINT TRANSFER AGENTS	VANTAGE GC & DPS RHS # 801908	P/R ENDING 5/23/21	05/26/21	2,150.00	138081
101-000-231-088	Pension Liability-DC (Employee)	VANTAGE POINT TRANSFER AGENTS	VANTAGE GC & DPS RHS # 801908	P/R ENDING 5/23/21	05/26/21	2,150.00	138081

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
499-000-231-087	Pension Liability-DC (Employer)	VANTAGE POINT TRANSFER AGENTS	VANTAGE GC & DPS RHS # 801908	P/R ENDING 5/23/21	05/26/21	50.00	138081
499-000-231-088	Pension Liability-DC (Employee)	VANTAGE POINT TRANSFER AGENTS	VANTAGE GC & DPS RHS # 801908	P/R ENDING 5/23/21	05/26/21	50.00	138081
			Total For Check 138081			4,400.00	
Check 138082							
101-000-231-087	Pension Liability-DC (Employer)	VANTAGE POINT TRANSFER AGENTS	VANTAGE POLICE AND FIRE RHS # 803119	P/R ENDING 5/23/21	05/26/21	1,687.43	138082
101-000-231-088	Pension Liability-DC (Employee)	VANTAGE POINT TRANSFER AGENTS	VANTAGE POLICE AND FIRE RHS # 803119	P/R ENDING 5/23/21	05/26/21	1,687.43	138082
			Total For Check 138082			3,374.86	
Check 138083							
101-200-825-330	Legal Fees	WILLIAM R LOOK, PROFESSIONAL CORP	WILLIAM R LOOK	P/R ENDING 5/23/21	05/26/21	3,077.00	138083
			Total For Check 138083			3,077.00	
Check 138084							
101-215-825-360	Legal Notice	21ST CENTURY MEDIA-MICHIGAN	ACCT #640694 BILLING PERIOD 04/01/21 - 04/30/21	640694 043021	06/02/21	228.90	138084
101-840-825-360	Legal Notice	21ST CENTURY MEDIA-MICHIGAN	ACCT #640694 BILLING PERIOD 04/01/21 - 04/30/21	640694 043021	06/02/21	162.05	138084
			Total For Check 138084			390.95	
Check 138085							
101-000-257-064	BCB19-0181 1151 22ND	AAUS LLC	BD Bond Refund	BCB19-0181	06/02/21	3,000.00	138085
			Total For Check 138085			3,000.00	
Check 138086							
101-136-750-220	Operating Expenses	ABSOPURE WATER COMPANY	C&C COOLER	58665054	06/02/21	12.00	138086
			Total For Check 138086			12.00	
Check 138087							
499-200-925-804	Marketing	ALLEGRA MARKETING	SOCIAL DISTRICT POSTERS AND MAP CARDS	51560	06/02/21	126.00	138087
			Total For Check 138087			126.00	
Check 138088							
101-000-283-060	BPB21-0041 - PPLMB21-0100 1026 11TH	ALWAYS AVAILABLE DRAIN& ROOTER	BD Bond Refund	BPB21-0041	06/02/21	500.00	138088
101-000-283-060	BPB21-0043 - PPLMB21-0105 3721 4TH	ALWAYS AVAILABLE DRAIN& ROOTER	BD Bond Refund	BPB21-0043	06/02/21	500.00	138088
			Total For Check 138088			1,000.00	
Check 138089							
101-209-750-210	Office Supplies	AMAZON	office supplies	1nyl-hyy4-wfg7	06/02/21	42.88	138089
101-448-750-210	Office Supplies	AMAZON	MISC OFFICE SUPPLIES	1JXQ-FR1Y-4NV4	06/02/21	113.83	138089
101-448-750-220	Sanitation-Operating Expenses	AMAZON	MEMORY CARDS FOR GRASS AND ACCUMULATION PICS	1MH6-QHG6-4GGH	06/02/21	49.95	138089
101-448-825-483	Contracted Grass Cutting - Private	AMAZON	MEMORY CARDS FOR GRASS AND ACCUMULATION PICS	1MH6-QHG6-4GGH	06/02/21	49.95	138089
285-225-925-814	Fishing Derby/Kid's Expo	AMAZON	FD SUPPLIES	1RUL-DV9C-T9LR	06/02/21	17.22	138089
285-225-925-814	Fishing Derby/Kid's Expo	AMAZON	FD SUPPLIES	1R64-XXDK-Q43H	06/02/21	117.90	138089
285-225-925-814	Fishing Derby/Kid's Expo	AMAZON	FISHING DERBY ITEMS	111-0540168-7123444	06/02/21	47.96	138089
			Total For Check 138089			439.69	
Check 138090							
101-000-231-080	P/R Deductions-Section 125 Plan	AMERICAN FIDELITY ASSURANCE CO	125 PLAN CANCER & LIFE INSURANCE JUNE 2021	D320203 06/21	06/02/21	1,445.39	138090
732-000-231-080	Payroll W/H-Cancer Insurance	AMERICAN FIDELITY ASSURANCE CO	125 PLAN CANCER & LIFE INSURANCE JUNE 2021	D320203 06/21	06/02/21	1,474.58	138090
			Total For Check 138090			2,919.97	
Check 138091							
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	OIL FILTER STOCK	334-480705	06/02/21	11.60	138091

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	OIL FILTERS STOCK	334-480617	06/02/21	11.60	138091
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	OIL FOR AC MACHINE STOCK	334-480752	06/02/21	6.95	138091
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	R134A AC FOR CARS AND TRUCKS STOCK	334-480786	06/02/21	119.99	138091
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	CREDIT	334-479136	06/02/21	(170.49)	138091
101-448-750-260	Garage-Operating Expenses	AUTO VALUE SOUTHGATE	STOCK GASKET MAKER DPS	334-480951	06/02/21	20.59	138091
101-448-825-430	Garage-Police Vehicle Maintenance	AUTO VALUE SOUTHGATE	BRAKES FOR VP 7-7 VIN 1GNLC2EC7FR577056	334-481023	06/02/21	622.42	138091
101-448-825-430	Garage-Police Vehicle Maintenance	AUTO VALUE SOUTHGATE	BRAKE PARTS CALIPER FOR VP7-7 VIN 1GNL2EC7FR577056	334-481034	06/02/21	119.19	138091
101-448-825-430	Garage-Police Vehicle Maintenance	AUTO VALUE SOUTHGATE	OXYGEN SENSOR FOR VPS VP 7-23	334-480888	06/02/21	37.19	138091
101-448-825-432	Garage-Equipment Maintenance	AUTO VALUE SOUTHGATE	WINDOW REGR FOR VPS 86 VIN 1FDLF47G6VEB90804 AND STOCK	334-480622	06/02/21	7.09	138091
			Total For Check 138091			786.13	
Check 138092							
101-750-825-490	Field Maintenance & Supplies	AUTO VALUE SOUTHGATE	BATTERIES, MISC. SUPPLIES	334-480434	06/02/21	112.76	138092
			Total For Check 138092			112.76	
Check 138093							
101-448-825-431	Garage-Other Vehicle Maintenance	BANDIT INDUSTRIES INC	BRAKE PARTS FOR VPS 78 VIN UO9432KE	784668	06/02/21	587.64	138093
101-448-825-431	Garage-Other Vehicle Maintenance	BANDIT INDUSTRIES INC	PARTS FOR VPS 78 VIN U094632KE U BOLTS	784312	06/02/21	143.10	138093
			Total For Check 138093			730.74	
Check 138094							
101-000-257-064	BCB20-0194 1467 13TH	BARTOSZEK JOHN & NANCY	BD Bond Refund	BCB20-0194	06/02/21	1,600.00	138094
			Total For Check 138094			1,600.00	
Check 138095							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	67410 603 JUNE 2021	210506288196 06/21	06/02/21	6,554.69	138095
			Total For Check 138095			6,554.69	
Check 138096							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	67410 600 JUNE 2021	210506288193 06/21	06/02/21	61,469.28	138096
732-000-393-035	Reserve-Health & Life	BLUE CROSS BLUE SHIELD OF MI	67410 600 JUNE 2021	210506288193 06/21	06/02/21	478.87	138096
			Total For Check 138096			61,948.15	
Check 138097							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	007006086 0033 JUNE 2021	07006086 0033 06/21	06/02/21	15,358.88	138097
			Total For Check 138097			15,358.88	
Check 138098							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	67410 605 JUNE 2021	210506288198 06/21	06/02/21	5,380.44	138098
732-000-393-035	Reserve-Health & Life	BLUE CROSS BLUE SHIELD OF MI	67410 605 JUNE 2021	210506288198 06/21	06/02/21	1,345.11	138098
			Total For Check 138098			6,725.55	
Check 138099							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	67410 601 JUNE 2021	210506288194 06/21	06/02/21	21,448.24	138099
732-000-393-035	Reserve-Health & Life	BLUE CROSS BLUE SHIELD OF MI	67410 601 JUNE 2021	210506288194 06/21	06/02/21	2,044.28	138099
			Total For Check 138099			23,492.52	
Check 138100							
732-000-231-020	Payroll W/H-Hospital Insurance	BLUE CROSS BLUE SHIELD OF MI	007006086 0034 JUNE 2021	07006086 0034 06/21	06/02/21	52,324.32	138100
732-000-393-035	Reserve-Health & Life	BLUE CROSS BLUE SHIELD OF MI	007006086 0034 JUNE 2021	07006086 0034 06/21	06/02/21	650.80	138100
			Total For Check 138100			52,975.12	

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 138101							
101-000-257-064	BCB19-0244 - PCI19-0045 3162 BIDDLE	BOSS BABES ENTERPRISES	BD Bond Refund	BCB19-0244	06/02/21	500.00	138101
			Total For Check 138101			500.00	
Check 138102							
101-000-257-064	BCB15-0125 1141 MAPLE	BRANDY BARTLETT	BD Bond Refund	BCB15-0125	06/02/21	635.00	138102
			Total For Check 138102			635.00	
Check 138103							
101-000-257-064	BCB20-0121 - PCI20-0013 1700 BIDDLE	C/O ENGLE INSIGHT-MS 3532	BD Bond Refund	BCB20-0121	06/02/21	800.00	138103
			Total For Check 138103			800.00	
Check 138104							
265-301-925-730	Other Expenses - State	CAHILL VETERINARY HOSPITAL	K9 ICE TREATMENT AND MEDICINES	129895	06/02/21	456.00	138104
			Total For Check 138104			456.00	
Check 138105							
101-000-257-064	BCB20-0185 - PCI20-0023 4450 13TH	CDVT IMPORTS, LLC	BD Bond Refund	BCB20-0185	06/02/21	500.00	138105
			Total For Check 138105			500.00	
Check 138106							
101-301-825-371	HTE Maintenance	CITY OF TRENTON	SINC BILLING - SYSTEM SFTWARE MAINT.	2100045274	06/02/21	7,659.32	138106
101-302-825-430	Equipment Maintenance	CITY OF TRENTON	SINC BILLING - SYSTEM SFTWARE MAINT.	2100045274	06/02/21	7,659.31	138106
			Total For Check 138106			15,318.63	
Check 138107							
101-336-825-430	Auto Maintenance	CITY OF WYANDOTTE	LABOR FOR #783	0000004923	06/02/21	76.17	138107
101-336-825-430	Auto Maintenance	CITY OF WYANDOTTE	LABOR OIL CHANGE A71	0000004924	06/02/21	76.17	138107
530-444-925-770	Taxes-Bank Bldg	CITY OF WYANDOTTE	2021 INSTALLMENT SPECIAL ASSESSMENT	SPECIAL ASSESSMENT	06/02/21	2,306.86	138107
			Total For Check 138107			2,459.20	
Check 138108							
101-000-257-064	BCB17-0032 677 LINDBERGH	CODY ALLEN ROBERTS	BD Bond Refund	BCB17-0032	06/02/21	700.00	138108
			Total For Check 138108			700.00	
Check 138109							
101-000-257-064	BCB21-0039 2340 ELECTRIC	CODY MCGOUGH	BD Bond Refund	BCB21-0039	06/02/21	400.00	138109
			Total For Check 138109			400.00	
Check 138110							
101-000-257-064	BCB19-0193 435 CEDAR	DALILA HINOJOSA	BD Bond Refund	BCB19-0193	06/02/21	3,000.00	138110
			Total For Check 138110			3,000.00	
Check 138111							
525-750-825-300	Contractual Service-Maintenance	DAVEY GOLF COURSE MAINTENANCE	COURSE MAINTENANCE MAY 2021	915589944	06/02/21	26,137.50	138111
			Total For Check 138111			26,137.50	
Check 138112							
101-448-750-260	Garage-Operating Expenses	DEALER AUTO PARTS SALES INC	STOCK TRANS FLUID	441391	06/02/21	66.00	138112
101-448-750-260	Garage-Operating Expenses	DEALER AUTO PARTS SALES INC	CREDIT	426199	06/02/21	(48.00)	138112
101-448-750-260	Garage-Operating Expenses	DEALER AUTO PARTS SALES INC	CREDIT	436448	06/02/21	(16.00)	138112
590-200-926-210	Supplies	DEALER AUTO PARTS SALES INC	SEWER SUPPLIES	439766	06/02/21	113.94	138112



06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
			Total For Check 138112			115.94	
Check 138113							
101-000-257-064	Reserve-Compliance Escrow	DEBORAH L MORDEN	ESCROW REFUND 4293 16TH 12-406	4293 16TH	06/02/21	500.00	138113
			Total For Check 138113			500.00	
Check 138114							
101-000-257-071	Reserve-Museum	DEBRA CRUZ	LOG CABIN RENTAL DEPOSIT RETURN - MAY 15, 2021 RENTAL	052121	06/02/21	50.00	138114
			Total For Check 138114			50.00	
Check 138115							
525-750-750-235	Beverage Expense (Beer)	DISCOUNT DRINKS	BEER FOR GOLF COURSE	18910	06/02/21	1,001.60	138115
			Total For Check 138115			1,001.60	
Check 138116							
101-000-471-013	BASE FEE RESIDENTIAL 934 SYCAMORE	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033570	06/02/21	50.00	138116
101-000-471-013	Service - 100 AMP	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033570	06/02/21	32.00	138116
101-000-471-013	BASE FEE RESIDENTIAL 403 MAPLE	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033719	06/02/21	15.00	138116
101-000-471-013	Motors and Low Voltage Motors	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033719	06/02/21	40.00	138116
101-000-471-017	BASE FEE 403 MAPLE	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033718	06/02/21	15.00	138116
101-000-471-017	AC Units - 1.5HP - 5HP	FAMILY HEATING & COOLING -MECH	BD Payment Refund	00033718	06/02/21	43.00	138116
			Total For Check 138116			195.00	
Check 138117							
101-336-750-220	Operating Expenses	FIRE CHIEF DANIEL WRIGHT	DONUTS & COFFEE WATER RESCUE	5/21/2021	06/02/21	55.88	138117
101-336-825-490	Bldg & Equip Maintenance	FIRE CHIEF DANIEL WRIGHT	RECREATION FUEL FOR SMALL ENGINES	5/17/2021	06/02/21	25.00	138117
			Total For Check 138117			80.88	
Check 138118							
101-000-257-064	BCB16-0013 1751 MCKINLEY	GAGGIN, KEVIN	BD Bond Refund	BCB16-0013	06/02/21	1,800.00	138118
			Total For Check 138118			1,800.00	
Check 138119							
101-000-630-031	UPON SALE FEE 1672 18TH	GAVIN, JEFFREY S	BD Payment Refund	00033800	06/02/21	196.00	138119
			Total For Check 138119			196.00	
Check 138120							
101-000-231-080	P/R Deductions-Section 125 Plan	GRANGE LIFE INSURANCE COMPANY	LIFE INSURANCE JUNE 2021	17673388 06/21	06/02/21	798.87	138120
			Total For Check 138120			798.87	
Check 138121							
101-000-257-064	BCB20-0198 - PUS20-0205 3812 18TH	HEATHER WRIGHT	BD Bond Refund	BCB20-0198	06/02/21	500.00	138121
			Total For Check 138121			500.00	
Check 138122							
101-448-750-242	Parks-Equipment	HOODS DO IT CENTER	Level for showmobile trailer	67878	06/02/21	12.49	138122
499-200-850-539	Beautification Commission	HOODS DO IT CENTER	YARD WASTE BAGS, HAND SANITIZER	67659	06/02/21	50.15	138122
			Total For Check 138122			62.64	
Check 138123							
101-301-850-540	Other Equipment	HTH Engineering, Inc.	Transcription Package	166659	06/02/21	599.00	138123
			Total For Check 138123			599.00	

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 138124							
101-000-257-064	BCB20-0037 2427 18TH	JOHNNY E. LITTLE	BD Bond Refund	BCB20-0037	06/02/21	<u>1,800.00</u>	138124
			Total For Check 138124			1,800.00	
Check 138125							
101-000-257-064	BCB20-0208 566 POPLAR	JORDAN MICKHAIL	BD Bond Refund	BCB20-0208	06/02/21	<u>1,000.00</u>	138125
			Total For Check 138125			1,000.00	
Check 138126							
101-000-257-055	Reserve-Recreation Refund Deposits	KAITLYN BRANUM	GAZEBO REFUND DEPOSIT 9-18-2021	09182021	06/02/21	<u>50.00</u>	138126
			Total For Check 138126			50.00	
Check 138127							
101-000-257-064	BCB20-0012 - PC19-0053 1201 FORT	KEVIN OR CHRISTINA SARKODY	BD Bond Refund	BCB20-0012	06/02/21	<u>2,000.00</u>	138127
			Total For Check 138127			2,000.00	
Check 138128							
101-000-630-031	UPON SALE FEE 1882 LINDBERGH	KING, HEATHER	BD Payment Refund	00033045	06/02/21	<u>196.00</u>	138128
			Total For Check 138128			196.00	
Check 138129							
101-448-750-230	Const-Operating Supplies	LOWE'S COMPANIES INC	CREDIT CARD STATEMENT 3-29-21 TO 4-25-21	99002006684	06/02/21	50.34	138129
101-448-750-243	Parks-Flags & Decorations	LOWE'S COMPANIES INC	CREDIT CARD STATEMENT 3-29-21 TO 4-25-21	99002006684	06/02/21	1,354.84	138129
101-448-750-270	Building Maintenance	LOWE'S COMPANIES INC	CREDIT CARD STATEMENT 3-29-21 TO 4-25-21	99002006684	06/02/21	21.53	138129
492-200-850-528	Tree Maintenance	LOWE'S COMPANIES INC	CREDIT CARD STATEMENT 3-29-21 TO 4-25-21	99002006684	06/02/21	49.91	138129
499-200-850-539	Beautification Commission	LOWE'S COMPANIES INC	ACCT NUMBER 9900 926436 9	042121	06/02/21	<u>45.21</u>	138129
			Total For Check 138129			1,521.83	
Check 138130							
101-000-257-064	BCB19-0154 280 HUDSON	MARIAMA SACCOH	BD Bond Refund	BCB19-0154	06/02/21	<u>2,000.00</u>	138130
			Total For Check 138130			2,000.00	
Check 138131							
101-000-257-064	BCB20-0080 3626 17TH	MICHAEL DEVEREAUX	BD Bond Refund	BCB20-0080	06/02/21	<u>2,000.00</u>	138131
			Total For Check 138131			2,000.00	
Check 138132							
101-750-825-910	ELECTRIC - 1100 BIDDLE	MUNICIPAL SERVICE	1100 BIDDLE MAY 2021	001153-022009 MAY 21	06/02/21	278.22	138132
101-750-825-910	ELECTRIC -601 8TH	MUNICIPAL SERVICE	601 8TH MAY 2021	030967-021887 MAY 21	06/02/21	44.29	138132
101-750-825-920	WATER - 1100 BIDDLE	MUNICIPAL SERVICE	1100 BIDDLE MAY 2021	001153-022009 MAY 21	06/02/21	38.28	138132
101-750-825-920	WATER - 601 8TH	MUNICIPAL SERVICE	601 8TH MAY 2021	030967-021887 MAY 21	06/02/21	<u>68.37</u>	138132
			Total For Check 138132			429.16	
Check 138133							
101-000-257-064	BCB19-0134 - PC19-0029 2011 OAK	OAK FIREHOUSE LLC	BD Bond Refund	BCB19-0134	06/02/21	<u>1,000.00</u>	138133
			Total For Check 138133			1,000.00	
Check 138134							
677-136-825-340	Employee Physical Exams	OCCUPATIONAL HEALTH CENTERS	05/12/2021 - 05/17/2021	713739011	06/02/21	86.50	138134
677-301-825-340	Employee Physical Exams	OCCUPATIONAL HEALTH CENTERS	05/12/2021 - 05/17/2021	713739011	06/02/21	157.50	138134
677-448-825-340	Employee Physical Exams	OCCUPATIONAL HEALTH CENTERS	05/12/2021 - 05/17/2021	713739011	06/02/21	208.00	138134

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Total For Check 138134						452.00	
Check 138135							
677-301-825-340	Employee Physical Exams	OCCUPATIONAL HEALTH CENTERS	05/05/2021 - 05/08/2021 (WALLACE, DEICHELBOHRER)	713729705	06/02/21	86.50	138135
677-750-825-340	Employee Physical Exams	OCCUPATIONAL HEALTH CENTERS	05/05/2021 - 05/08/2021 (WALLACE, DEICHELBOHRER)	713729705	06/02/21	149.50	138135
Total For Check 138135						236.00	
Check 138136							
677-336-825-320	Worker's Comp-Medical Fees	OCCUPATIONAL HEALTH CENTERS	DEREK AZZOPARDI DOI: 04/26/21	AZZOPARDI 042721	06/02/21	314.18	138136
Total For Check 138136						314.18	
Check 138137							
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	HEARTWORMS TEST - BEAR	62860	06/02/21	31.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	FELINE RABIES - ALICE	63747	06/02/21	48.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	FELINE RABIES - BLACKIE	66257	06/02/21	48.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	HEARTWORMS TEST - BLANCHE	66158	06/02/21	31.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	HEARTWORMS TEST - JOSEPH	66250	06/02/21	31.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	FELINE - ELTON JOHN	67285	06/02/21	35.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	HEARTWORM TEST - ROBERT	71790	06/02/21	31.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	FELINE RABIES - CONRAD	72991	06/02/21	48.00	138137
101-000-257-078	Reserve-Animal Care	PET CARE CLINIC	HEARTWORMS TEST - MINNIE	68690	06/02/21	31.00	138137
Total For Check 138137						334.00	
Check 138138							
101-000-257-064	BCB21-0057 448 GODDARD	PMRE HOLDINGS	BD Bond Refund	BCB21-0057	06/02/21	200.00	138138
Total For Check 138138						200.00	
Check 138139							
101-448-825-480	Parks-Memorial Park Grass Cutting	R F C LLC	EE#1 LAWN CUTTING SERVICES 2020 CONTRACT EXT	6649	06/02/21	896.00	138139
Total For Check 138139						896.00	
Check 138140							
290-000-650-012	Curbside Yard Waste	RITA GASKIN	REFUND YARD WASTE, PAID TWICE	4-12-21	06/02/21	55.00	138140
Total For Check 138140						55.00	
Check 138141							
101-750-825-490	Field Maintenance & Supplies	SELL'S EQUIPMENT	AIR FILTER, SPARK PLUGS	417496	06/02/21	116.90	138141
Total For Check 138141						116.90	
Check 138142							
101-000-257-064	BCB18-0217 3441 18TH	SENIOR HOMES VESTORS 49, LLC	BD Bond Refund	BCB18-0217	06/02/21	1,000.00	138142
Total For Check 138142						1,000.00	
Check 138143							
101-448-825-432	Garage-Equipment Maintenance	SOUTHGATE FORD	DOOR LATCH VPS 86 VIN 1FDLF47G6VEB90804	945942	06/02/21	124.64	138143
101-448-825-432	Garage-Equipment Maintenance	SOUTHGATE FORD	DOOR LATCH VPS 86 VIN 1FDLF47G6VE90804	946108	06/02/21	124.64	138143
Total For Check 138143						249.28	
Check 138144							
101-301-750-210	Office Supplies	STAPLES ADVANTAGE	MISC. OFFICE SUPPLIES	3476649955	06/02/21	202.01	138144
101-301-750-210	Office Supplies	STAPLES ADVANTAGE	LAPTOP BRIEFCASE	3476749912	06/02/21	99.39	138144
101-301-750-210	Office Supplies	STAPLES ADVANTAGE	Manila Ship Tags Wired	3475779890	06/02/21	55.99	138144

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-301-750-210	Office Supplies	STAPLES ADVANTAGE	Red Lead Pencils, #10 Envelopes Total For Check 138144	3476450215	06/02/21	<u>55.47</u> 412.86	138144
Check 138145							
101-136-850-510	Office Equipment	STATE OF MICHIGAN	JIS USER REIMBURSEMENT Total For Check 138145	062021	06/02/21	<u>6,849.14</u> 6,849.14	138145
Check 138146							
101-000-257-071	Reserve-Museum	TONIA SCHWAB	LOG CABIN RENTAL DEPOSIT REIMBURSEMENT - MAY 24, 2021 RENTAL Total For Check 138146	0527212	06/02/21	<u>50.00</u> 50.00	138146
Check 138147							
732-000-231-080	Payroll W/H-Cancer Insurance	TRANSAMERICA EMPLOYEE BENEFITS	CANCER INSURANCE MAY 2021 Total For Check 138147	2504203775 05/21	06/02/21	<u>61.05</u> 61.05	138147
Check 138148							
677-200-950-610	Liability Claims-City	TRAVELERS	JOSEPH C DELIZ - 7629K8128 Total For Check 138148	596432	06/02/21	<u>1,749.00</u> 1,749.00	138148
Check 138149							
101-000-257-064	BCB19-0278 4084 18TH	TREVOR GRAHAM	BD Bond Refund Total For Check 138149	BCB19-0278	06/02/21	<u>1,000.00</u> 1,000.00	138149
Check 138150							
101-301-750-224	LEIN Services	VERIZON	ACCT. 442005820-00001 LEIN SERVICES APR 11 - MAY 10, 2021	9879477207	06/02/21	1,257.24	138150
101-440-750-221	Cellular Phones & Pagers	VERIZON	Acct. # 342173610-00001 Apr 5 - May 4, 2021 Cell Phones	9879054807	06/02/21	69.27	138150
265-301-925-730	Other Expenses - State	VERIZON	Acct. # 342173610-00001 Apr 5 - May 4, 2021 Cell Phones	9879054807	06/02/21	462.55	138150
285-225-925-860	Art Fair	VERIZON	SE PHONE Total For Check 138150	9879109035	06/02/21	<u>50.60</u> 1,839.66	138150
Check 138151							
101-336-750-221	Cellular Phones & Pagers	VERIZON WIRELESS	INVOICE #9879107173 APRIL 5-MAY 4, 2021	942095991-00001	06/02/21	144.04	138151
101-440-750-221	Cellular Phones & Pagers	VERIZON WIRELESS	APRIL 05 TO MAY 04	9879056742	06/02/21	246.72	138151
101-448-750-222	Cellular Phones & Pagers	VERIZON WIRELESS	APRIL 05 TO MAY 04	9879056742	06/02/21	85.64	138151
590-200-926-310	Operation,Maintenance & Replacement	VERIZON WIRELESS	APRIL 05 TO MAY 04 Total For Check 138151	9879056742	06/02/21	<u>123.52</u> 599.92	138151
Check 138152							
101-000-257-064	BCB21-0059 882 ANTOINE	VERONICA RHINEHART	BD Bond Refund Total For Check 138152	BCB21-0059	06/02/21	<u>400.00</u> 400.00	138152
Check 138153							
101-000-257-071	Reserve-Museum	VIRGINIA BALL	LOG CABIN RENTAL DEPOSIT REIMBURSEMENT - MAY 22, 2021 RENTAL Total For Check 138153	0527211	06/02/21	<u>50.00</u> 50.00	138153
Check 138154							
101-000-283-060	BPB21-0004 - PPLMB21-0010 3010 21ST	WALLEN PLBG LLC	BD Bond Refund Total For Check 138154	BPB21-0004	06/02/21	<u>500.00</u> 500.00	138154
Check 138155							
590-200-926-210	Supplies	WAYNE COUNTY DEPT OF ENVIRONMENT	FY 2020 DRAIN ASSESSMENT SEXTON KILFOIL 54572 Total For Check 138155	306605	06/02/21	<u>37.64</u> 37.64	138155

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 9171							
101-000-228-010	Due to FICA/Medicare	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	9,043.02	9171
101-000-228-010	Due to FICA/Medicare	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	18,354.05	9171
499-000-228-010	Due to FICA/Medicare	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	284.17	9171
499-000-228-010	Due to FICA/Medicare	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	66.46	9171
525-000-228-010	Due to Social Security	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	118.72	9171
525-000-228-010	Due to Social Security	INTERNAL REVENUE SERVICE	INTERNAL REVENUE SERVICE	P/R ENDING 5/23/21	05/26/21	507.60	9171
Total For Check 9171						28,374.02	
Check 9172							
101-000-231-070	P/R Deductions-Deferred Comp	MASSMUTUAL FINANCIAL GROUP	MASS MUTUAL FINANCIAL GROUP	P/R ENDING 5/23/21	05/26/21	2,826.06	9172
101-000-231-070	P/R Deductions-Deferred Comp	MASSMUTUAL FINANCIAL GROUP	MASS MUTUAL FINANCIAL GROUP	P/R ENDING 5/23/21	05/26/21	1,045.00	9172
499-000-231-070	P/R Deductions-Deferred Comp	MASSMUTUAL FINANCIAL GROUP	MASS MUTUAL FINANCIAL GROUP	P/R ENDING 5/23/21	05/26/21	3.44	9172
Total For Check 9172						3,874.50	
Check 9173							
101-000-231-040	P/R Deductions-Credit Union	MICHIGAN EDUCATION SAVINGS PROGRAM	MICHIGAN EDUCATION SAVINGS PROGRAM	P/R ENDING 5/23/21	05/26/21	250.00	9173
Total For Check 9173						250.00	
Check 9174							
101-000-228-021	Due to State-W/H Tax (GC)	STATE OF MICHIGAN TREASURY DEPT	STATE OF MICHIGAN TREASURY	P/R ENDING 5/23/21	05/26/21	11,797.33	9174
499-000-228-021	Due to State-W/H Tax (GC)	STATE OF MICHIGAN TREASURY DEPT	STATE OF MICHIGAN TREASURY	P/R ENDING 5/23/21	05/26/21	60.72	9174
525-000-228-021	State Tax W/H-General City	STATE OF MICHIGAN TREASURY DEPT	STATE OF MICHIGAN TREASURY	P/R ENDING 5/23/21	05/26/21	153.35	9174
Total For Check 9174						12,011.40	
Check 9175							
101-000-228-024	Due to Federal-W/H Tax	U.S. TAX ACCOUNT	US TAX ACCOUNT	P/R ENDING 5/23/21	05/26/21	30,986.34	9175
499-000-228-024	Due to Federal-W/H Tax	U.S. TAX ACCOUNT	US TAX ACCOUNT	P/R ENDING 5/23/21	05/26/21	90.48	9175
525-000-228-024	Due to Federal-W/H Tax	U.S. TAX ACCOUNT	US TAX ACCOUNT	P/R ENDING 5/23/21	05/26/21	96.43	9175
Total For Check 9175						31,173.25	
Check 9176							
101-750-925-780	Rentals (Seniors/PortaJohns)	ACEE DEUCEE PORTA CAN	BISHOP PARK PORTA CAN	122293	06/03/21	57.14	9176
101-750-925-780	Rentals (Seniors/PortaJohns)	ACEE DEUCEE PORTA CAN	PORTA CAN RENTAL	122163	06/03/21	660.00	9176
Total For Check 9176						717.14	
Check 9177							
101-800-750-270	Bldg. Maint. and Sup	ADAPTIVE ENVIRONMENTS	INSPECTION AND SERVICE	23937	06/03/21	300.00	9177
Total For Check 9177						300.00	
Check 9178							
492-200-825-460	Resurfacing	AL'S ASPHALT PAVING CO INC	EE#3 2021 HMA RESURFACING PROJECT FILE #4800	RESURFACING	06/03/21	42,797.25	9178
492-200-825-460	Resurfacing	AL'S ASPHALT PAVING CO INC	EE#3 2021 HMA RESURFACING PROJECT FILE #4800	RESURFACING	06/03/21	80,894.41	9178
492-200-850-524	Recreation-City Parks	AL'S ASPHALT PAVING CO INC	EE#3 2021 HMA RESURFACING PROJECT FILE #4800	RESURFACING	06/03/21	16,331.80	9178
530-444-825-420	Maintenance-Bank Bldg	AL'S ASPHALT PAVING CO INC	EE#3 2021 HMA RESURFACING PROJECT FILE #4800	RESURFACING	06/03/21	32,646.00	9178
Total For Check 9178						172,669.46	
Check 9179							
101-136-725-190	Uniforms	ALLIE BROTHERS UNIFORM	UNIFORM EMBLEMS SET	83063	06/03/21	24.00	9179
Total For Check 9179						24.00	



06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 9180							
677-336-825-340	Employee Physical Exams	ALPHA PSYCHOLOGICAL SERVICES	PSYCHOLOGICAL EVALUATION - KATE DEMETER (FIREFIGHTER CANDIDATE)	DEMETER 05/21	06/03/21	725.00	9180
			Total For Check 9180			725.00	
Check 9181							
101-810-825-390	Consultants	BECKETT & RAEDER INC	MARCH 2021 PROFESSIONAL SERVICE FEES AND EXPENSES	2021258	06/03/21	700.00	9181
			Total For Check 9181			700.00	
Check 9182							
677-440-825-320	Worker's Comp-Medical Fees	BROADSPIRE SERVICES INC	LOSSES VALUED 05/01/2021 - 05/31/2021	210169523	06/03/21	93.72	9182
677-448-825-320	Worker's Comp-Medical Fees	BROADSPIRE SERVICES INC	LOSSES VALUED 05/01/2021 - 05/31/2021	210169523	06/03/21	1,289.53	9182
677-448-825-360	Worker's Comp-Claims	BROADSPIRE SERVICES INC	LOSSES VALUED 05/01/2021 - 05/31/2021	210169523	06/03/21	649.18	9182
			Total For Check 9182			2,032.43	
Check 9183							
101-448-825-432	Garage-Equipment Maintenance	BUDGET TIRE COMPANY	TIRES FOR VPS 27 VIN 1FMCU0F72FUB33121	1-193633	06/03/21	320.00	9183
			Total For Check 9183			320.00	
Check 9184							
101-448-750-245	Parks-Downtown Maintenance	CAREFREE LAWN CENTER	Dark Brown Mulch for Downtown	946509	06/03/21	725.00	9184
			Total For Check 9184			725.00	
Check 9185							
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05252021	06/03/21	425.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05242021	06/03/21	350.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05262021	06/03/21	400.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05172021	06/03/21	300.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05182021	06/03/21	600.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05142021	06/03/21	150.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05192021	06/03/21	400.00	9185
260-136-825-229	MIDC Attorneys	CHRISTOPHER J. BOGARD	COURT APPOINTED ATTORNEY	05202021	06/03/21	400.00	9185
			Total For Check 9185			3,025.00	
Check 9186							
101-303-825-920	Water	CITY OF SOUTHGATE	WATER - 14300 REAUME PKWY, SOUTHGATE - 03/01/21-05/03/21	402-00940-00	06/03/21	41.49	9186
			Total For Check 9186			41.49	
Check 9187							
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05242021	06/03/21	350.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05252021	06/03/21	250.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05262021	06/03/21	250.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05112021	06/03/21	250.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05142021	06/03/21	450.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05182021	06/03/21	500.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05172021	06/03/21	350.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05212021	06/03/21	200.00	9187
260-136-825-229	MIDC Attorneys	CORY P WESTMORELAND	COURT APPOINTED ATTORNEY	05202021	06/03/21	200.00	9187
			Total For Check 9187			2,800.00	
Check 9188							
260-136-825-229	MIDC Attorneys	DAVID MICHAEL BOGARD	COURT APPOINTED ATTORNEY	05172021	06/03/21	350.00	9188
			Total For Check 9188			350.00	

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
Check 9189							
101-440-825-490	C of C Inspectors	DOUGLAS SCOTT THOMAS	INSPECTIONS	051021-052321	06/03/21	364.50	9189
			Total For Check 9189			364.50	
Check 9190							
101-301-825-431	Vehicle Cleaning	DOWNRIVER AUTO DETAILING	VEH. 7-9 DETAIL	33088	06/03/21	125.00	9190
101-301-825-431	Vehicle Cleaning	DOWNRIVER AUTO DETAILING	VEH. 7-31 DETAIL	33170	06/03/21	125.00	9190
101-301-825-431	Vehicle Cleaning	DOWNRIVER AUTO DETAILING	VEH. 7-32 DETAIL	33167	06/03/21	125.00	9190
			Total For Check 9190			375.00	
Check 9191							
590-200-926-210	Supplies	DUKE'S ROOT CONTROL INC	GREASE CLEANER FOR CLEANING SEWERS	18939	06/03/21	3,360.00	9191
			Total For Check 9191			3,360.00	
Check 9192							
499-200-925-802	Farmers Market	EASTERN MARKET CORP	COMMUNITY FARM STAND PROGRAM	05212021	06/03/21	8,000.00	9192
			Total For Check 9192			8,000.00	
Check 9193							
492-200-825-460	Resurfacing	EJ USA, INC.	CITY CATCH BASIN COVERS AND RING	110210030532	06/03/21	7,276.05	9193
			Total For Check 9193			7,276.05	
Check 9194							
101-448-750-260	Garage-Operating Expenses	ELECTRICAL TERMINAL SERVICE	ELECTRICAL STOCK DPS	473283-00	06/03/21	183.60	9194
			Total For Check 9194			183.60	
Check 9195							
101-303-825-220	Operating Expenses	FEED RITE PET SHOP & SUPPLY	DCAC - PURINA ONE CAT	638654	06/03/21	199.95	9195
265-301-925-730	Other Expenses - State	FEED RITE PET SHOP & SUPPLY	K9 JAX - WELLNESS CORE, TREATS	638649	06/03/21	66.98	9195
			Total For Check 9195			266.93	
Check 9196							
525-750-750-250	Course Maintenance	FRANK TARNOWSKI PLUMBING LLC	ELECTRICAL PUMP FOR POND	52121	06/03/21	385.00	9196
			Total For Check 9196			385.00	
Check 9197							
492-200-850-528	Tree Maintenance	G'S TREES	ENG #3 TREE CUTTING/STUMP REMOVAL FILE #4791	239 230	06/03/21	4,540.00	9197
			Total For Check 9197			4,540.00	
Check 9198							
101-440-825-490	C of C Inspectors	GENE H STEPHENS	INSPECTIONS	051021-052321	06/03/21	574.50	9198
			Total For Check 9198			574.50	
Check 9199							
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05072021	06/03/21	150.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05102021	06/03/21	100.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05112021	06/03/21	325.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05122021	06/03/21	325.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05132021	06/03/21	100.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05172021	06/03/21	50.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05182021	06/03/21	300.00	9199

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
JOURNALIZED PAID  
BANK CODE: CLAIM

Ct. Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05192021	06/03/21	250.00	9199
260-136-825-229	MIDC Attorneys	GOLDPAUGH & ASSOCIATES PC	COURT APPOINTED ATTORNEY	05202021	06/03/21	150.00	9199
			Total For Check 9199			1,750.00	
Check 9200							
101-448-750-261	Garage-Gasoline & Oil	H DOMINE ENTERPRISES INC	DIESEL HANDLE GOLF COURSE	119272	06/03/21	87.97	9200
101-448-750-261	Garage-Gasoline & Oil	H DOMINE ENTERPRISES INC	STOCK DIESEL HANDLE DPS	1199271	06/03/21	79.08	9200
			Total For Check 9200			167.05	
Check 9201							
101-301-925-720	Education	HITS INC	STATHAKIS, N. - ADVANCED VEHICLE CONTRABAND CONCEALMENT TRAINING	7307	06/03/21	250.00	9201
			Total For Check 9201			250.00	
Check 9202							
101-301-825-430	Equipment Maintenance	ID NETWORKS	LiveScan interface with Tyler RMS	277621	06/03/21	495.00	9202
			Total For Check 9202			495.00	
Check 9203							
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	FIRST AID SUPPLIES	7373255	06/03/21	246.50	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	FIRST AID SUPPLIES	7267764	06/03/21	41.95	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	FIRST AID SUPPLIES	7278314	06/03/21	517.02	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	FIRST AID SUPPLIES	7293228	06/03/21	365.81	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	FIRST AID SUPPLIES	7366392	06/03/21	709.30	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	CREDIT MEMO	7269830	06/03/21	(872.10)	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	CREDIT MEMO	7269831	06/03/21	(79.89)	9203
101-336-750-222	Medical/Rescue Supplies	J & B MEDICAL SUPPLY	CREDIT MEMO	7269832	06/03/21	(301.36)	9203
			Total For Check 9203			627.23	
Check 9204							
101-440-725-115	Salaries-Seasonal (PT)	JEAN CLAUDE MARCOUX	PLAN REVIEW	051021-052321	06/03/21	336.00	9204
			Total For Check 9204			336.00	
Check 9205							
101-440-825-490	C of C Inspectors	JEFFERY CARLEY	INSPECTIONS	051021-05231	06/03/21	1,390.50	9205
			Total For Check 9205			1,390.50	
Check 9206							
101-448-750-220	Sanitation-Operating Expenses	JERRY'S ACE HARDWARE	TRASH CAN REPLACEMENT	72710	06/03/21	22.79	9206
101-448-750-270	Building Maintenance	JERRY'S ACE HARDWARE	SPRINKLER REPAIR PARTS	72749	06/03/21	32.27	9206
101-448-750-270	Building Maintenance	JERRY'S ACE HARDWARE	SPRINKLER REPAIR PARTS	72741	06/03/21	9.49	9206
101-750-825-490	Field Maintenance & Supplies	JERRY'S ACE HARDWARE	MISC SUPPLIES	72681	06/03/21	30.73	9206
101-750-825-490	Field Maintenance & Supplies	JERRY'S ACE HARDWARE	GLOVES, HARDWARE	72690	06/03/21	51.27	9206
101-750-825-490	Field Maintenance & Supplies	JERRY'S ACE HARDWARE	WIRE, PLUMBING SUPPLIES	72706	06/03/21	5.31	9206
492-200-850-524	Recreation-City Parks	JERRY'S ACE HARDWARE	MISC SUPPLIES	72759	06/03/21	66.59	9206
492-200-850-524	Recreation-City Parks	JERRY'S ACE HARDWARE	DRILLBIT, MISC SUPPLIES	72658	06/03/21	67.40	9206
			Total For Check 9206			285.85	
Check 9207							
101-000-257-071	Reserve-Museum	JOHN E. SAMYN	REIMBURSEMENT FOR PURCHASE OF PLANTS FOR MUSEUM CAMPUS	051221	06/03/21	172.60	9207
			Total For Check 9207			172.60	
Check 9208							

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-301-750-220	Operating Expenses	KENCO FIRE EQUIPMENT INC	Annual Inspection of all fire extinguishers for Police and Court Total For Check 9208	210504-1	06/03/21	<u>356.00</u> 356.00	9208
Check 9209							
101-448-750-270	Building Maintenance	LANDSCAPE SUPPLY INC	Plants for front of DPS building Total For Check 9209	117940	06/03/21	<u>37.50</u> 37.50	9209
Check 9210							
492-200-850-519	Land Purchases	LOOPNET	05-01-2021 TO 05-31-2021 Total For Check 9210	114067975-1	06/03/21	<u>664.00</u> 664.00	9210
Check 9211							
101-136-750-227	Program Instructors	MICHAEL J CAHALAN	CHEMICAL AWARENESS PROGRAM	032021	06/03/21	600.00	9211
101-136-750-227	Program Instructors	MICHAEL J CAHALAN	CHEMICAL AWARENESS PROGRAM Total For Check 9211	052021	06/03/21	<u>600.00</u> 1,200.00	9211
Check 9212							
101-301-750-222	Ammunition	MICHIGAN AMMO COMPANY	.45 CAL. 230 GR. T.M.J. RN, BUFFALO CARTRIDGE Total For Check 9212	1728	06/03/21	<u>1,500.00</u> 1,500.00	9212
Check 9213							
101-448-750-270	Building Maintenance	MILES POWER WASH INC	Remove Silly Sting Gaffiti off of McKinley School Total For Check 9213	122	06/03/21	<u>150.00</u> 150.00	9213
Check 9214							
492-000-650-040	Misc Fees-Sale of Property	MINNESOTA TITLE AGENCY	CLOSING FORMER 900-912 VINEWOOD NOW KNOWN AS 908 VINEWOOD Total For Check 9214	359082	06/03/21	<u>433.00</u> 433.00	9214
Check 9215							
530-444-825-220	Operating Expenses-Bank Bldg	MISTER UNIFORM & MAT RENTAL	MAT RENTAL Total For Check 9215	2323241	06/03/21	<u>97.84</u> 97.84	9215
Check 9216							
530-444-825-220	Operating Expenses-Bank Bldg	OTIS ELEVATOR COMPANY	MAINTENANCE SERVICE 5-1-21 TO 4-30-22 PARTIAL PAYMENT Total For Check 9216	100400338460	06/03/21	<u>1,618.68</u> 1,618.68	9216
Check 9217							
101-253-825-350	Printing	PARAGRAFIX	#10 WINDOW ENVELOPES	19507	06/03/21	265.00	9217
101-448-750-210	Office Supplies	PARAGRAFIX	TIMESHEETS, RECEIPT BOOKS, ACCUM AND GRASS TICKETS	19493	06/03/21	1,367.00	9217
101-448-750-220	Sanitation-Operating Expenses	PARAGRAFIX	TIMESHEETS, RECEIPT BOOKS, ACCUM AND GRASS TICKETS	19493	06/03/21	156.95	9217
101-448-825-483	Contracted Grass Cutting - Private	PARAGRAFIX	TIMESHEETS, RECEIPT BOOKS, ACCUM AND GRASS TICKETS Total For Check 9217	19493	06/03/21	<u>156.95</u> 1,945.90	9217
Check 9218							
101-136-825-331	Prosecutorial Services	PENTIUK COUVREUR & KOBLIJAK PC	PROSECUTORIAL SERVICES FOR JUNE 2021 Total For Check 9218	JUNE 2021	06/03/21	<u>2,500.00</u> 2,500.00	9218
Check 9219							
525-750-825-550	Cart Rental	PIFER GOLF CARS INC	JUNE 2021 LEASE Total For Check 9219	23407	06/03/21	<u>4,116.66</u> 4,116.66	9219
Check 9220							

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-750-825-490	Field Maintenance & Supplies	PIONEER MANUFACTURING COMPANY	MARKING PAINT Total For Check 9220	789132	06/03/21	<u>618.50</u> 618.50	9220
Check 9221							
101-000-257-061	Reserve-Dispatcher Training	POWERPHONE	WRIGHT - MODULE 1, MITCHELL, WIDBY - MODULE II Total For Check 9221	72202	06/03/21	<u>2,289.00</u> 2,289.00	9221
Check 9222							
101-756-825-420	Bldg & Equip Maintenance	QUICK REFRIGERATION HTG. & COOLING	ICE MACHINE REPAIR FOR YACK	0019695	06/03/21	345.78	9222
101-756-825-430	Contractual Services	QUICK REFRIGERATION HTG. & COOLING	WORK ON ICE MACHINE AT YACK CONCESSION Total For Check 9222	0019694	06/03/21	<u>413.25</u> 759.03	9222
Check 9223							
492-200-850-524	Recreation-City Parks	QUINT PLUMBING & HEATING INC	PLUMBING SERVICES AT GOLF COURSE Total For Check 9223	69069	06/03/21	<u>374.11</u> 374.11	9223
Check 9224							
101-336-825-430	Auto Maintenance	R&R FIRE TRUCK REPAIR, INC	SQUEALING BRAKES E72 Total For Check 9224	60063	06/03/21	<u>187.00</u> 187.00	9224
Check 9225							
101-448-825-431	Garage-Other Vehicle Maintenance	REEFER PETERBILT	DRIVELINF FOR VPS 172 VIN 1XPADBOX8YN519781	R232516	06/03/21	879.10	9225
101-448-825-431	Garage-Other Vehicle Maintenance	REEFER PETERBILT	STOCK HOOD BUMPERS	R232000	06/03/21	149.40	9225
101-448-825-431	Garage-Other Vehicle Maintenance	REEFER PETERBILT	PARTS FOR VPS 172 VIN 1XPADBOX8YN519781 Total For Check 9225	R23247	06/03/21	<u>409.86</u> 1,438.36	9225
Check 9226							
101-440-825-490	C of C Inspectors	RONALD E KEEHN	INSPECTIONS Total For Check 9226	051021-052321	06/03/21	<u>548.50</u> 548.50	9226
Check 9227							
101-448-750-241	Parks-Pesticides & Fertilizer	SHORELINE TREE PRESERVATION LLC	1455 Elm injection for suppression of Dutch Elm Disease	PHC308	06/03/21	528.00	9227
101-448-750-241	Parks-Pesticides & Fertilizer	SHORELINE TREE PRESERVATION LLC	Museum Apple Tree spray for codling moth	PHC305	06/03/21	100.00	9227
101-448-750-241	Parks-Pesticides & Fertilizer	SHORELINE TREE PRESERVATION LLC	Museum Apple tree spray for apple scab and rust disease Total For Check 9227	PHC304	06/03/21	<u>100.00</u> 728.00	9227
Check 9228							
101-448-750-260	Garage-Operating Expenses	SHRADER TIRE & OIL	TIRE REPAIR AND SCRAP DPS	576159-00	06/03/21	61.95	9228
101-448-750-260	Garage-Operating Expenses	SHRADER TIRE & OIL	FILTERS STOVK DPS Total For Check 9228	576452-00	06/03/21	<u>80.40</u> 142.35	9228
Check 9229							
101-448-825-431	Garage-Other Vehicle Maintenance	SHULTS EQUIPMENT INC	HYD PUMP FOR FOR VPS 41 VIN 2FAZAATAK12AK15383 Total For Check 9229	0106509-IN	06/03/21	<u>699.75</u> 699.75	9229
Check 9230							
290-448-825-490	Recycling Coll/Tip	SILVER LINING RECYCLING, LLC	TIRE RECYCLING DPS Total For Check 9230	36939464	06/03/21	<u>388.00</u> 388.00	9230
Check 9231							
101-448-825-483	Contracted Grass Cutting - Private	SKARZYNSKI'S LANDSCAPING LLC	High Grass Cuts	225	06/03/21	250.00	9231
101-448-825-483	Contracted Grass Cutting - Private	SKARZYNSKI'S LANDSCAPING LLC	High Grass Cuts	224	06/03/21	600.00	9231

06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-448-825-483	Contracted Grass Cutting - Private	SKARZYNSKI'S LANDSCAPING LLC	High Grass Cuts Total For Check 9231	153	06/03/21	<u>430.00</u> 1,280.00	9231
Check 9232							
101-200-825-390	Consultants	SMOOTH DEVELOPMENT LLC	WBRA ADMINISTRATION - FY 2022 Total For Check 9232	186	06/03/21	<u>2,107.25</u> 2,107.25	9232
Check 9233							
101-448-750-242	Parks-Equipment	SOUTHGATE BIKE & MOWER	replacement primer bulbs for weed whip and roto tiller Total For Check 9233	8884	06/03/21	<u>14.67</u> 14.67	9233
Check 9234							
101-336-750-222	Medical/Rescue Supplies	STERICYCLE INC	HAZARDOUS WASTE Total For Check 9234	4010141606	06/03/21	<u>171.00</u> 171.00	9234
Check 9235							
101-000-257-078	Reserve-Animal Care	THE PAWS CLINIC	STERILIZE - RUBY, ROSCOE, MARCUS	1915272	06/03/21	215.00	9235
101-000-257-078	Reserve-Animal Care	THE PAWS CLINIC	STERILIZE - BEDELIA, BERNADETTE, BRIDGET	1913084	06/03/21	180.00	9235
101-000-257-078	Reserve-Animal Care	THE PAWS CLINIC	\$22 CREDIT SUBTRACTED FROM THIS INVOICE. STERILIZE - LUNA, RANGER AND STEPHANIE Total For Check 9235	1914071	06/03/21	<u>158.00</u> 553.00	9235
Check 9236							
101-100-750-222	Memberships & Dues	THE SENIOR ALLIANCE	FY 2021 MATCH FOR AREA AGENCY ON AGING Total For Check 9236	TSA-2021-88	06/03/21	<u>2,240.00</u> 2,240.00	9236
Check 9237							
499-200-850-533	Millennium Plaza	THE VERDIN COMPANY	DOWNTOWN CLOCK MAINTENANCE 7/1/2021 - 6/30/2022	0103092	06/03/21	600.00	9237
499-200-926-790	Miscellaneous	THE VERDIN COMPANY	DOWNTOWN CLOCK MAINTENANCE 7/1/2021 - 6/30/2022 Total For Check 9237	0103092	06/03/21	<u>30.00</u> 630.00	9237
Check 9238							
499-200-925-802	Farmers Market	THE VINTAGE MARKET	WFM 2021, WEEK 3 AND 4 (MAY 20 AND 27) Total For Check 9238	1002	06/03/21	<u>576.92</u> 576.92	9238
Check 9239							
101-440-825-490	C of C Inspectors	THOMAS P KERR	INSPECTIONS	051021-052321	06/03/21	231.50	9239
101-440-825-491	Electrical Inspectors	THOMAS P KERR	INSPECTIONS Total For Check 9239	051021-052321	06/03/21	<u>30.00</u> 261.50	9239
Check 9240							
101-440-825-490	C of C Inspectors	TIMOTHY THOMPSON	INSPECTIONS	051021-052321	06/03/21	90.00	9240
101-440-825-492	Plumbing Inspectors	TIMOTHY THOMPSON	INSPECTIONS	051021-052321	06/03/21	535.00	9240
101-440-825-493	Mechanical Inspectors	TIMOTHY THOMPSON	INSPECTIONS Total For Check 9240	051021-052321	06/03/21	<u>555.00</u> 1,180.00	9240
Check 9241							
101-800-750-270	Bldg. Maint. and Sup	TOM FARYNIARZ	REIMBURSEMENT FOR WHEELBARROW TIRE TUBES Total For Check 9241	0527213	06/03/21	<u>24.78</u> 24.78	9241
Check 9242							
101-750-750-221	Senior Citizen Programs	ULINE	MISC. SUPPLIES	133880308	06/03/21	122.21	9242
101-750-750-235	Cleaning Supplies	ULINE	SANITIZER, SOAP, GLOVES	133257681	06/03/21	263.05	9242



06/02/2021

INVOICE GL DISTRIBUTION REPORT FOR CITY OF WYANDOTTE  
 EXP CHECK RUN DATES 05/20/2021 - 06/02/2021  
 JOURNALIZED PAID  
 BANK CODE: CLAIM

GL Number	Inv. Line Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check #
101-750-825-490	Field Maintenance & Supplies	ULINE	TRAFFICE CONES	133881827	06/03/21	90.11	9242
101-756-750-235	Cleaning Supplies	ULINE	MISC SUPPLIES	133867088	06/03/21	239.08	9242
			Total For Check 9242			714.45	
Check 9243							
101-440-825-490	C of C Inspectors	WALTER CZARNIK	INSPECTIONS	051021-052321	06/03/21	909.50	9243
101-440-825-491	Electrical Inspectors	WALTER CZARNIK	INSPECTIONS	051021-052321	06/03/21	1,335.00	9243
			Total For Check 9243			2,244.50	
Check 9244							
101-209-825-345	DCA-Contractual Services	WCA ASSESSING LLC	CONSTRUCTUAL ASSESSING SERVICES	WCA05182021	06/03/21	17,421.91	9244
			Total For Check 9244			17,421.91	
Check 9245							
101-448-750-260	Garage-Operating Expenses	WOLVERINE TRUCK SALES INC	STOCK DIODE DPS	1225175	06/03/21	9.73	9245
			Total For Check 9245			9.73	
Check 9246							
530-444-825-420	Maintenance-Bank Bldg	WYANDOTTE ELECTRIC SUPPLY	REPLACEMENT 2X4 LED LIGHT FOR CITY HALL 2ND FLOOR	594268-0	06/03/21	72.00	9246
			Total For Check 9246			72.00	

## Fund Totals:

This is to certify that the above vouchers amounting to \$905,705.91 have been examined, that the materials and services have been received, that the price and computations are correct, that the invoices, receiving slips, and supporting data are attached and in order and that the proper accounts have been charged. The Treasurer is hereby authorized to pay the above vouchers.

Mayor \_\_\_\_\_

City Clerk \_\_\_\_\_

Fund 101 General Fund	244,726.14
Fund 260 Michigan Indigent Defense	7,925.00
Fund 265 Drug Forfeiture Fund	985.53
Fund 285 Special Events Fund	233.68
Fund 290 Solid Waste Disposal Fund	443.00
Fund 492 TIFA Consolidated Fund	153,494.52
Fund 499 DDA tax increment Finance Fund	10,350.41
Fund 525 Municipal Golf Course Fund	32,516.86
Fund 530 Building Rental Fund	36,741.38
Fund 590 Sewage Fund	3,635.10
Fund 677 Self Insurance Fund	5,508.61
Fund 732 Retiree Health Care Fund	168,590.54
Total For All Funds:	665,150.77
Payroll 05/26/21	240,555.14
<b>TOTAL</b>	<b>905,705.91</b>

**RESOLUTION**

Item Number: #  
Date: June 7, 2021

RESOLUTION by Councilperson \_\_\_\_\_

RESOLVED that the total bills and accounts of \$905,705.91 as presented by the Mayor and City Clerk are hereby APPROVED for payment.

I move the adoption of the foregoing resolution.

MOTION by Councilperson

SUPPORTED by Councilperson

**YEAS**

**COUNCIL**

**NAYS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alderman**  
**Calvin**  
**Crayne**  
**Hanna**  
**Shuryan**  
**Stec**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## REPORTS & MINUTES

### CULTURAL AND HISTORICAL MINUTES

March 11, 2021

#### 6:30 pm Zoom Virtual Meeting Room

Regular Meeting of the Cultural and Historical Commission of the City of Wyandotte, Michigan, held via virtual telecommunication methods due to Covid-19, in accordance with Executive Order 2020-75, using the Zoom audio/video platform.

**Present:**

Nancy Bozzo

Ken Munson

Eula Grooms

Ken Navarre

Wallace Hayden

Anne Ronco

Jesse Rose, Museum Director

**Excused:**

Don Gutz

Jakki Malnar

Sue Pilon

**Call to Order:** The meeting was called to order at 6:32pm.

**MOTION:** by Ken Munson, supported by Wallace Hayden, to approve the February minutes. **Motion carried 6-0.**

**President's Report:** No report.

**Guests:** None present.

**Director's Report:**

**MOTION:** by Ken Navarre, supported by Wallace Hayden, to approve the financial report. **Motion carried, 6-0.**

The spring City Garage Sale will take place May 14, 15, and 16.

**Wyandotte Historical Society:** The first in-person meeting since the onset of Covid-19 took place this month.

**Old Business:** Fundraising ideas will appear as an ongoing item.

**New Business:** Ken Munson discussed BASF Park historical markers that need to be updated.

**Late Items:** Eula Grooms discussed salvaging of City-owned houses.

**Adjournment: MOTION:** by Eula Grooms, supported by Wallace Hayden to adjourn. **Motion carried, 6-0.**

Respectfully submitted,

Anne Ronco

**RETIREMENT COMMISSION MEETING  
THURSDAY, MAY 21, 2021**

Meeting called to order at 9:03 a.m. by Commissioner LaManes.

ROLL CALL

PRESENT: Commissioners Browning, Brohl, Harkleroad, LaManes, Lyon, Roberts, Szczechowski

ABSENT: None

ALSO PRESENT: Frank Deeter & Tanner Robinson—Oppenheimer & Co.  
Mike Kosciuk & Jim Anderson – Gabriel, Roeder, Smith & Company  
Beth Lekity, Deputy City Clerk

MOTION by Commissioner Harkleroad, supported by Commissioner Lyon

RESOLVED that the minutes of the Retirement Commission meeting held under the date of the April 16, 2021 be approved as recorded without objection.

ROLL ATTACHED

PRESENTATIONS

**ITEM #1 – APRIL 2021 PERFORMANCE OF THE DB-1 & DB-2 – OPPENHEIMER & CO.**

- High frequency economic activity trending positively as society climbs out of pandemic
- Are we going to see sustained inflation?
- Fed is going to keep money easy & available
- Portfolio performing well, 1Q return was good
- No recommended changes to funds or managers
- Good shape from allocation perspective

MOTION by Commissioner Harkleroad, supported by Commissioner Browning

RESOLVED by the Wyandotte Employees Retirement Commission that the April 2021 reports from Oppenheimer & Co., Inc. regarding monthly market segment fluctuations for DB-1 & DB-2 be received and placed on file.

ROLL ATTACHED

**ITEM #2 – SEPTEMBER 2020 ACTUARY REPORT – GRS & COMPANY**

- DB-2 has small unfunded accrued liability
- Crucial that the plan continues to receive contributions to close \$12M gap (accrued liability to valuation assets/MVA)
- Slight loss phased in for DB-1 in 2020
- Small gain for DC-2 in 2020
- No changes to actuarial assumptions
- Recommendation to consider adopting updated mortality tables

MOTION by Commissioner Harkleroad, supported by Commissioner Browning

RESOLVED by the Wyandotte Employees Retirement Commission that the September 30, 2020 Actuarial Valuation Report from Gabriel, Roeder, Smith & Company be received and placed on file.

MOTION unanimously carried.

**ITEM #3 – EDRO – AVIS v. AVIS**

MOTION by Commissioner Harkleroad, supported by Commissioner Browning

WHEREAS, the Board of Commissioners is in receipt of a true copy of a domestic relations order entered by the Wayne County Circuit Court on October 30, 2012 in Avis v. Avis, Case No.11-114252-DO; and

WHEREAS, pursuant to established procedures, said domestic relations order has been reviewed by the Board's legal counsel and actuary for compliance with all applicable requirements; and

WHEREAS, the Board's actuary has certified that said domestic relations order does not require the Retirement System to provide an increased benefit determined on the basis of actuarial value and the Board's legal counsel has recommended that same be determined to be an Eligible Domestic Relations Order under 1991 PA 46;

BE IT RESOLVED that the Board of Commissioners hereby determines that the domestic relations order entered by the Wayne County Circuit Court on October 30, 2012 in Avis v. Avis, Case No. 11-114252-DO, affecting the Retirement System benefits of the participant, Jeffrey Avis, and the alternate payee, Suzanne Avis, is an Eligible Domestic Relations Order under 1991 PA 46; and

BE IT RESOLVED that a copy of this resolution and said Eligible Domestic Relations Order be included in the pension file of the participant for administration of all Retirement System benefits considered therewith; and

BE IT FURTHER RESOLVED that the appropriate EDRO Ruling be forwarded to the participant and alternate payee.

MOTION unanimously carried.

**ITEM #4 – DEATH AUDIT/QUOTE REVIEW**

MOTION by Commissioner Harkleroad, supported by Commissioner Browning

RESOLVED by the Wyandotte Employees Retirement Commission to concur with the recommendation of Chairman LaManes to contract with the Berwyn Group for a one-time service at a cost of \$625 for the verification of retirees (death audit).

BE IT FURTHER RESOLVED that the Commission will discuss continuation of the program following receipt of the initial audit.

MOTION unanimously carried.

Motion by Commissioner Harkleroad, SUPPORTED by Commissioner Browning

RESOLVED, that the meeting be adjourned at 10:02 a.m.

MOTION unanimously carried.



---

Lawrence S. Stec, Secretary  
Wyandotte Employees' Retirement Commission

May 19, 2021

## Wyandotte Municipal Services Commission Regular Meeting Minutes

A regular session of the Municipal Services Commission of the City of Wyandotte, Michigan was held at the office of Commission and via Virtual Telecommunication methods due to COVID-19 in accordance with current MDHHS Public Health Orders SB 11246, & PA228 of 2020 using the Zoom audio platform on Wednesday, May 19, 2021 at 5:00 PM.

Roll Call: Present: Commissioners Carolyn Harris  
Leslie Lupo  
Robert J. Thiede  
Paul Gouth -Excused  
Bryan Hughes

General Manager & Secretary Paul LaManes

Also, Present- Amy Cannatella-CATV  
Joel Adkins-CATV  
Amber Haggerty  
Dave Fuller  
Heather Zagor

### **Approval of Minutes:**

MOTION by Commissioner Hughes and SECONDED by Commissioner Thiede to approve the May 5, 2021 regular meeting minutes of the Municipal Services Commission.

Commissioner Harris asked that the roll be attached, no objections were made.  
Minutes approved

### **Hearing of Public Concerns:**

None

### **Resolution #5-2021-2**

MOTION by Commissioner Hughes and SECONDED by Commissioner Thiede to authorize the General Manager to request Commission approval for delinquent water and sewer charges for the period 4/16/2019 – 11/1/2020 be placed as a special assessment lien against properties on the 2021 Summer Tax Roll, as recommended by WMS Management.

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, and Hughes  
NAYS: None  
Motion Passes

### **Reports and Communications**

- Monthly Cable Subscriber report-April 2021



May 19, 2021

Wyandotte Municipal Services Commission  
Regular Meeting Minutes

MOTION by Commissioner Hughes and SECONDED by Commissioner Thiede to receive and place on file the Monthly Cable Subscriber Counts.

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, and Gouth

NAYS: None

Motion Passes

**Approval of Vouchers**

MOTION by Commissioner Hughes and SECONDED by Commissioner Thiede that the vouchers be paid as submitted.

3.23.21 #5426 \$745,898.08

5.5.2021 #5427 \$617,016.91

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, and Hughes

NAYS: None

Motion Passes

**Other/Late Items**

GM LaManes would like to revisit Commissioner Lupo's questions from last meeting regarding the status of the Wind Turbines. NOVA was onsite on 5/5/21 working on the turbines. Both turbines are now running as expected.

Motion by Commissioner Hughes and SECONDED by Commissioner Thiede to now adjourn at 5:03PM. Roll attached. Meeting adjourned.

**Next Meeting – Wednesday, June 2, 2021 at 5 PM**

X 

---

Paul LaManes  
General Manager/Secretary

**MINUTES AS RECORDED**

**MINUTES OF THE MEETING OF April 7, 2021  
ZONING BOARD OF APPEALS AND ADJUSTMENT**

A meeting of the Zoning Board of Appeals and Adjustment of the City of Wyandotte was **called to order** by Chairperson Duran at **6:30 p.m.**, this was a virtual audio-only meeting.

**MEMBERS PRESENT:** Duran  
Flachsmann  
Gillon  
Nevin  
Olsen  
Szymczuk  
Trupiano  
Wienclaw

**MEMBERS ABSENT:** DiSanto

**ALSO PRESENT:** Peggy Green, Secretary

---

A motion was made by Member Nevin, supported by Member Szymczuk to approve the minutes of the March 3, 2021, meeting.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none

Abstain: none

Absent: DiSanto

Motion passed

---

**APPEAL #3343 - GRANTED**

Mid American Investments/Adam Palmer, 9250 Whitall, Grosse Ile, Michigan (owner & appellant)

**for a variance to obtain a Certificate of Occupancy for 2<sup>nd</sup> floor dwellings (3 apartments) at 150 Maple , Lot 13, Block 71, in a CBD zoning district, where the proposed conflicts with Section 2403.R.1.a of the Wyandotte Zoning Ordinance.**

**SECTION 2403.R.1.a**

One parking space for each dwelling unit is required. In the CBD, off street parking for residential use is required, where none is provided.

**Proposed off street parking located in the CBD district will not be detrimental to the adjacent land and buildings, or impair the intent of the ordinance as written.**

Motion was made by Member Szymczuk, supported by Member Trupiano to grant this appeal.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none  
Abstain: none  
Absent: DiSanto  
Motion passed

**APPEAL #3344 - GRANTED**

Corey Pillette, 1255 Chestnut, Wyandotte (owner & appellant)

**for a variance to obtain a building permit for a 2<sup>nd</sup> story addition at 1255 Chestnut**, Lot 2, Hurst and Post's Sub., Block 338, in a RA zoning district, where the proposed conflicts with Section 2100 of the Wyandotte Zoning Ordinance.

**SECTION 2100**

The required front yard setback in an RA Zoning District is 20'. The existing home has a front yard setback of 21'. The proposed 2<sup>nd</sup> floor addition encroaches into the front yard setback 5' 4", thereby creating a 14' 8" front yard setback.

**Proposed front yard setback requirements will not hinder or discourage the appropriate development or use of adjacent land and buildings, or impair the intent of the ordinance as written.**

Motion was made by Member Flachsmann, supported by Member Olsen to grant this appeal.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw  
No: none  
Abstain: none  
Absent: DiSanto  
Motion passed

**APPEAL #3345 - GRANTED**

Epic Property Management, LLC, 12863 Eureka, Southgate, Michigan (appellant) and Joshua Sterling, 26029 East River, Grosse Ile, Michigan (owner)

**for a variance to obtain a building permit for a new commercial building at former 1431-1455 Eureka**, Lots 85 thru 90, Eureka Manor Sub. and Lots 1 thru 5, Taylor Park Sub., in a B-2 zoning district, where the proposed conflicts with Section 2404.L of the Wyandotte Zoning Ordinance.

**SECTION 2404.L**

Off-street parking areas shall be provided with a continuous and completely obscuring wall or fence not less than five (5) feet, but not more than six (6) feet in height measured from the surface of the parking area. This wall or fence shall be provided on all sides where the abutting or adjacent property is used or designated as residential and shall be of solid type material such as brick, block or poured concrete or other approved material as determined by the Zoning Board of Appeals upon appeal and shall meet the requirements of the P-1 District, Section 1902, minimum distances and setbacks (see below). The obscuring wall or fence shall be properly maintained. The side lot line required wall shall end a minimum distance of ten (10) feet from the front line.

The applicant is proposing no continuous and completely obscuring wall or fence on the southeast side of the proposed development.

**Proposed rear fencing/enclosure in a B-2 district does not hinder or discourage additional residential or commercial development adjacent to current land or buildings, does not hinder pedestrian or vehicular traffic, and does not impair the purpose of the ordinance as written.**

Motion was made by Member Wienclaw, supported by Member Trupiano to grant this appeal.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none

Abstain: none

Absent: DiSanto

Motion passed

**APPEAL #3346 - GRANTED**

Paul Mueller, 3045 VanAlstyne, Wyandotte, (owner & appellant)

**for a variance to obtain a building permit for a deck at 3045 VanAlstyne, Lot 91 and N ½ of Lot 92, Eureka Iron and Steel Works Re-Sub., in a RM-3 zoning district, where the proposed conflicts with Sections 2100 and 2500.F.1 of the Wyandotte Zoning Ordinance.**

**Section 2100:**

In RM-3, Multiple Family Residential zoning district, the minimum sideyard setback is three (3) feet.

**Section 2500.F.1:**

Outside stairways, fire escapes, vestibules, balconies, decks and similar projections from the wall of a building and detached decks extending more than two (2) feet above the established grade shall not extend into any required yard.

The proposed deck on the south side is at the side yard property line. The height of the proposed deck is 7'10" high.

**Proposed rear deck placement will not hinder or discourage the appropriate development or use of adjacent land and buildings, or impair the intent of the ordinance as written**

Motion was made by Member Olsen, supported by Member Szymczuk to grant this appeal.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none

Abstain: none

Absent: DiSanto

Motion passed

**\*APPEAL #3347 - GRANTED**

Ron Thomas, c/o the Vault on 1<sup>st</sup>, 3582 – 17<sup>th</sup> Street, Wyandotte (appellant) and Christ Doulos, 8558 Concord, Grosse Ile (owner)



**for a variance to obtain a sign permit for an awning and 3 sided sign at 100 Maple**, (legal description on file), in a CBD zoning district, where the proposed conflicts with Section 2408.F.1 of the Wyandotte Zoning Ordinance.

**Section 2408.F.1.(e)(1)**

Letters or lettering shall not project above, below or beyond the vertical drip of the awning or canopy.

The proposed awning has no vertical drip/valance; therefore, the proposed lettering appears on the canopy.

**and**

**Section 2408.F.1 (b)**

Projecting signs must project at right angles to the building and have not more than two (2) faces. In addition, the top of the sign may not extend higher than whichever of the following is the lowest: (1) Twenty five (25) above grade; (2) the sills of the front level of windows above first story; (3) the lowest part of the roof.

The proposed sign does not project at a right angle and has three (3) faces, and the top of the proposed sign projects higher than the sills of the first level of windows above the first story.

**\*Proposed awning and vertical signage will not be detrimental to adjacent land or buildings, will not interfere with pedestrian or vehicular right-of-way, and will not impair the intent of the ordinance as written.**

*\*as amended by City Engineer and Chairperson*

Motion was made by Member Szymczuk, supported by Member Trupiano to grant this appeal.

Yes: Duran, Flachsmann, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none

Abstain: none

Absent: DiSanto

Motion passed

**OTHER BUSINESS:**

Motion was made by Member Szymczuk supported by Member Wienclaw to that The Zoning Board of Appeals and Adjustment concurs with Council ordinance amendment declaring a public emergency for public meetings which can conduct business remotely by using electronic means to communicate and attend virtually. This emergency shall take place immediately and shall extend until June 1, 2021. (Council Resolution 2021-84).

Yes: Duran, Gillon, Nevin, Olsen, Szymczuk, Trupiano, Wienclaw

No: none

Abstain: Flachsmann

Absent: DiSanto

Motion passed

There being no further business to discuss, the meeting adjourned at 7:30 p.m. **The next scheduled meeting of the Board will be held on May 5, 2021.**

  
Peggy Green, Secretary

**Appeal #3343**

Chairperson Duran read the appeal and asked that it be explained.

Adam Palmer, owner & appellant, participated.

Mr. Palmer explained that he went before the Planning Commission and received approval for the apartments, and he is now asking for a variance for parking from the Zoning Board. Mr. Palmer continued that there were 4 apartments 15 years ago, now he wants to make it 3 apartments.

Chairperson Duran commented that Mr. Palmer was approved by the Planning Commission and now needs a variance for the parking

Member Szymczuk asked if there were in parking spaces in front. Mr. Palmer replied that there are no designated spots for parking.

Gregory J. Mayhew, City Engineer, participated.

Mr. Mayhew stated that 5 off street parking spaces are required, 1-1/2 per 1 bedroom apartment, and this rounds up to 5 spaces being required.

Member Flachsmann thanked Mr. Mayhew for clarification on the parking.

No communications were received regarding this appeal.

**Appeal #3344**

Chairperson Duran read the appeal and asked that it be explained.

Corey Pillette (owner & appellant) participated.

Gregory J. Mayhew, City Engineer, participated.

Member Flachsmann discussed with Mr. Mayhew the average front yard setback of the block, the existing 14'8" setback of the covered porch. The addition will not extend further than the porch, and there is no additional encroachment into the required front yard. The field sheets indicates a 21' front yard setback, there seems to be some errors. Member Flachsmann added that the current condition of the property was probably done before the latest ordinances were enacted.

Mr. Pillette explained that he wants to square the upstairs out with a bathroom and make the rooms for usable. Mr. Pillette added that he inherited the house, and he wants to carry out the plans that his grandparents had for the house.

The Board asked how many rooms are upstairs. Mr. Pillette replied 4, but there will be 3.

Member Olsen asked if the house will be squared with the porch. Mr. Pillette replied yes. Member Olsen asked if the existing setback will stay the same as it is now. Mr. Pillette replied that was correct.

No communications were received regarding this appeal.



### **Appeal #3345**

Chairperson Duran read the appeal and asked that it be explained.

Josh Sterling, owner, present.

Mr. Sterling explained that they are asking for a variance from providing an obscuring wall at two sections, the southwest side, in the garage area, and the southeast area which abuts a residential dwelling. They are requesting to omit wall to permit entrance from the alley.

Member Trupiano asked the reason for chain-link. Mr. Sterling replied it would be six feet tall and continuous with the structure and would also block vision to the garage area, a five foot wall will not be as protective. Member Trupiano asked what the garage will be used for. Mr. Sterling replied that they are a property maintenance company and there will be maintenance vehicles in the garage area.

Member Trupiano and Mr. Sterling discussed access to the property.

Member Olsen asked the purpose of the chain-link along the alley. Mr. Sterling replied it will be a continuous chain-link with slats, better obscuring the garage.

Member Flachsmann asked if it will be a continuous chain-link with a gate. Mr. Sterling replied it will be 6' in height, a wall would be 5' in height, and someone could jump over that.

Member Flachsmann commented that a chain-link fence can come into disrepair and you readily repair it, but when a block wall becomes in disrepair, it does not look nice, and a chain-link fence can be maintained. Member Flachsmann added that Mr. Sterling will be doing the required landscaping, and feels that the residents will feel secure. Member Flachsmann commented that he feels a chain-link fence make more sense than a block wall, easier to see when entering and exiting.

Member Flachsmann asked if there would be repairs made in the garage. Mr. Sterling replied no, it would be for equipment. Member Flachsmann commented that the building will look nice and be a good addition to the City. Mr. Sterling stated that he is looking forward to building.

Member Gillon asked if the fence would be obscuring with wood and is concerned about neighbor having headlights shining into their property, and commented that he would only be in favor if the fence is completely obscuring.

Member Olsen asked if there would be wood in the chain-link fence. Mr. Sterling replied vinyl slats that look like wood.

Member Flachsmann asked the hours of operation. Mr. Sterling replied 8:30 – 7:00, Monday through Friday, 10:00 to 7:00 on weekends.

Member Trupiano stated that even though no communications were received from the neighbors, the Board owes it to the homeowners to keep it obscured. Mr. Sterling commented that he would not like to look at a block wall if he was one of the neighbors. Member Flachsmann commented that vehicle lights will go over a 5' wall, not a 6' fence. Member Olsen commented that he lives across from Grizzly's parking lot, there is no fence on that property, but he does have a fence, but it doesn't block all the light. Mr. Sterling commented that only 2

employees will be in the building until 7. Member Wienclaw commented that he doesn't feel the neighbors will have a problem considering what was there before, it looked like a junk yard.

No communications were received regarding this appeal.

**Appeal #3346**

Chairperson Duran read the appeal and asked that it be explained.

Paul Mueller, owner, participated.

Mr. Mueller explained that he wants to replace the existing deck. He purchased the home in 1993, and the previous owner did replace the deck and had appealed to the Zoning Board. Mr. Mueller added that his kitchen wall is also on the property line, and explained how the deck will be built. Mr. Mueller stated that a contractor will be building the deck, and they will be changing the stairs. Mr. Mueller stated that he did have a letter from his neighbor, that they had no objections.

Member Flachsmann commented that the existing deck is in bad shape and commented on the existing stairway. Mr. Mueller stated that the stairs will be on the north side and the deck will go straight across the back, the existing steps will not be there. Mr. Mueller added that he is upgrading the deck to make it maintenance free.

One communication was received in favor of this appeal.

**Appeal #3347**

Chairperson Duran read the appeal and asked that it be explained.

Ron Thomas (owner), Chris Doulos (appellant), Gregory J. Mayhew, City Engineer, participated.

Mr. Thomas explained that the Vault awning will look like other awnings on the building. Mr. Thomas added that on the awning for River's Edge, you can see a logo and letter as he is proposing. Mr. Thomas added that he is also looking to install a 3 sided sign like the one Whiskeys on the Water has. Mr. Thomas added that the Design Review Committee has approved the awning and sign, contingent upon approval from the Zoning Board.

Mr. Doulos commented that Mary Grove Awning did the awning for Milken's, and there was no appeal for that, and precedence has been established.

Mr. Mayhew commented that the vertical sign was not initially addressed in this appeal but was intended to be reviewed for a variance along with the awning. The Design Review Board did approve the awning and three sided vertical sign contingent upon approval from the Zoning Board.

Member Szymczuk asked the location of the awning. Mr. Doulos replied First Street. Mr. Thomas added that it will match the existing awnings.

Member Trupiano commented that they have done a beautiful job on the building, and the vertical sign will not have a negative effect.

Member Gillon commented that his awning will have words on it, instead of a logo design, and there is a good ordinance on awnings, and maybe the Planning Commission can look into this, so all of it is addressed at once.

No communications were received regarding this appeal.

Wyandotte Zoning Board of Appeals,

March 03, 2021

This letter is regarding the proposed deck replacement project by Paul/Deborah Mueller 3045 Van Alstyne, Wyandotte- Property Owner/Neighbor.

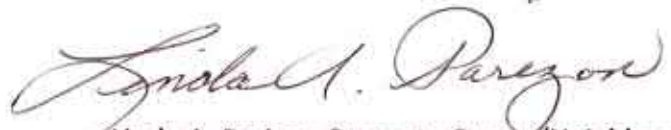
We have no objections with the replacement deck having the same footprint on the property line (zero (0) sideyard setback), utilizing approximately the same height.

Please feel free to contact us if anything further is needed regarding this matter.

Sincerely,



Gregory L. Gilbert-Property Owner/Neighbor  
3051 Van Alstyne  
Wyandotte, MI



Linda A. Parizon-Property Owner/Neighbor  
3051 Van Alstyne  
Wyandotte, MI

**MINUTES AS RECORDED**

**MINUTES OF THE MEETING OF May 5, 2021  
ZONING BOARD OF APPEALS AND ADJUSTMENT**

A meeting of the Zoning Board of Appeals and Adjustment of the City of Wyandotte was **called to order** by Chairperson Duran **at 6:30 p.m.**, this was a virtual audio-only meeting.

**MEMBERS PRESENT:** DiSanto  
Duran  
Flachsmann  
Gillon  
Nevin  
Szymczuk  
Trupiano

**MEMBERS ABSENT:** Olsen, Wienclaw

**ALSO PRESENT:** Peggy Green, Secretary

---

A motion was made by Member Gillon, supported by Member Flachsmann to approve the minutes of the April 7, 2021, meeting.

Yes: DiSanto, Duran, Flachsmann, Gillon, Nevin, Szymczuk, Trupiano

No: none

Abstain: none

Absent: Olsen, Wienclaw

Motion passed

---

**APPEAL #3348 - GRANTED**

Dwellings Michigan LLC, 487 Forest, Plymouth, Michigan (appellant) and Skyway 42 LLC, 1110 Superior, Wyandotte (owner) has appealed to the Zoning Board of Appeals and Adjustment of the City of Wyandotte **for a variance to obtain a sign permit for a changeable message sign at 2932 Biddle**, (S 44.48' of E 100' of Lot 2, Block 57), in a CBD zoning district, where the proposed conflicts with Section 2408.F.1.I of the Wyandotte Zoning Ordinance.

**Section 2408.f.1.I:**

Signs permitted in the central business district: changeable message signs. (1) Changeable message signs are permitted on buildings that are located on the following streets: east side of 1<sup>st</sup> Street between Elm Street and alley north of Oak Street, east side of 2<sup>nd</sup> Street between Sycamore Street and alley north of Oak Street and 3<sup>rd</sup> Street between Eureka Avenue and alley north of Elm Street. (2) Changeable message signs shall only be permitted as a wall sign that is facing 1st Street, 2<sup>nd</sup> Street or 3<sup>rd</sup> Street in the locations set forth above.

The previously installed kiosk meets the definition of a changeable message sign as various properties are advertised for sale on the electronic, self service panel. Changeable message signs facing Biddle Avenue are not permitted in the central business district.



**Proposed message sign (which was amended via email to all board members) will not be objectionable to nearby dwellings, with no noise or flashing lights, nor interfere with the public right-of-way, adjacent land or buildings, and will conform to all other ordinance standards.**

Motion was made by Member Flachsmann, supported by Member Gillon to grant this appeal.

Yes: DiSanto, Duran, Flachsmann, Gillon, Nevin, Szymczuk, Trupiano

No: none

Abstain: none

Absent: Olsen, Wienclaw

Motion passed

**APPEAL #3349 - GRANTED**

Dorchester Custom Homes, 1041 Mollno, Wyandotte (appellant) and Mike Gaydos, 22605 Ann Marie Ct., Brownstown (owner)

**for a variance to obtain a building permit for a new single family dwelling at 403 Cherry, (Lot 7, Block 131), in a RA zoning district, where the proposed conflicts with Section 2100 of the Wyandotte Zoning Ordinance.**

**Section 2100**

The proposed structure exceeds the maximum lot coverage in the RA zoning district. 35% lot coverage is allowable, whereas 43.6% is proposed, thereby exceeding the permissible lot coverage by 605 square feet.

**Proposed lot coverage will not hinder or discourage the appropriate development or use of adjacent land and buildings, or impair the intent of the ordinance.**

Motion was made by Member Flachsmann, supported by Member Szymczuk to grant this appeal.

Yes: DiSanto, Duran, Flachsmann, Gillon, Nevin, Szymczuk, Trupiano

No: none

Abstain: none

Absent: Olsen, Wienclaw

Motion passed

**OTHER BUSINESS:**

There being no further business to discuss, the meeting adjourned at 7:20 p.m. **The next scheduled meeting of the Board will be held on June 2, 2021.** To date, the June 2 meeting will be held in the Council Chambers unless more updated information is received.

  
Peggy Green, Secretary

**Appeal #3348**

Chairperson Duran read the appeal and asked that it be explained.

Dennis Harris, attorney, and Boyd Rudy, Dwellings Michigan, participated.

Mr. Harris explained that that the thinks that they have come up with a resolution that will resolve the problem, and stated that he had emailed the details (email was received and forwarded to the Members Wednesday, May 5, morning by the secretary, copy also attached to minutes). Mr. Harris continued that his client has agreed to the screen being static with only one image, until such time as the customer makes a request for the desired information by typing in a particular code. The screen will also have the ability, when requested, to provide information for civic events (Wyandotte Community Information Station). It will remain a sign unless a number is punched in, then an event, calendar or property will come on the screen, then it will go back static. The only time it will change is when someone is using it. The screen is 32", it is only large enough to see if you are standing in front of it. The sign will not rotate any message unless a code is typed in.

Chairperson Duran asked if the sign will be backlit, besides the screen, will it go 24/7. Mr. Harris replied that it was lit from the bottom of the screen, during the day it appears not lit, and once activated, it will light up more, and will shut down when not used.

Member Flachsmann stated that since this is a gray area and the Engineering Department decided that it is a sign, would this now be a mute point with the changes that were submitted.

Mr. Harris asked how this is different from a bank or credit union that has an ATM. Chairperson Duran also asked how this is different, the Community Choice Credit Union has one.

Greg Mayhew, City Engineer, participated.

Mr. Mayhew stated that it still is a changeable sign, and the ordinance strictly prohibits a changeable sign on Biddle, and this could open up to other signs being requested. Mr. Mayhew continued that he feels that maybe the ordinance should be rewritten if the Board feels that kiosks and changeable signs are to be allowed. Mr. Mayhew stated that the ATM is not a sign.

Member Gillon commented that he does not see a difference from an ATM. The sign is not intended to be viewed from the street, he does not see as a changeable message sign. The proposed sign is for information for people walking by. Member Gillon added that the screen size is the same size as the screen on his desk at work.

Member Flachsmann stated that the agreed with both, and it should come to the Board to make sure that it is done correctly and added that relating to a bank can get cloudy, and Engineering feels like it is a sign, so it was sent to the Zoning Board to decide.

Member Trupiano asked if there was a way to control the light that was put out. Mr. Harris replied yes.

Member Nevin discussed previous appeals with Chairperson Duran about the brightness of signs being an issue, and they should be able to be adjusted, and that has been a problem.

Mr. Harris stated that it is designed to be subtle. It is designed for foot traffic, it is not intended to attract from the street.

Member Nevin asked Mr. Harris is there is an adjustment for light on it. Mr. Harris replied yes.



Mr. Rudy stated that it would be as bright as a television screen. The logo is silver and gray, and will not rotate, when originally installed, it did rotate, but the situation has been rectified.

Jesus Plasencia, Assistant City Engineer, participated.

Mr. Plasencia stated that originally the sign had properties scrolling. Mr. Plasencia continued that he had suggested space to relocate the sign to the foyer on the north side and asked about the Wyandotte information station. Mr. Harris replied that, for instance, if you pressed #201, community calendar, #202 local points of interest, #203 upcoming events, and added that if there is going to be a static panel, it should pertain to the community.

Chairperson Duran asked if you see a property that you like, you would just punch in that number. Mr. Harris replied yes.

Mr. Harris discussed how the sign would look with the Dwelling logo and information on properties.

Mr. Rudy commented that Mr. Plasencia had recommended to relocate the sign to the vestibule, but he talked to the landlord, and the vestibule is locked, and the tenant can't have access until Friday or Saturday.

Chairperson Duran asked how the sign was installed. Mr. Rudy replied that the screen is inside the glass with an interactive through glass panel, you can touch decals to type in information.

Mr. Mayhew recommended that the Board should not consider it a community board, but look at its main purpose to sell real estate, and not make the community board part of their decision.

Mr. Boyd stated that the community center can come down, but they wanted to promote the City. Mr. Mayhew stated that that feature is commendable and good, but he felt it should not be part of the decision.

Member Flachsmann commented that it should be the sign itself voted on.

No communications were received regarding this appeal.

#### **Appeal #3349**

Chairperson Duran read the appeal and asked that it be explained.

Mike Brock, Hennessey Engineers, participated.

Mr. Brock explained that Mr. Gaydos is purchasing the lot from the city, the house is going to be slightly larger.

Member Trupiano asked if the sale was contingent upon the permit being issued. Mr. Brock replied that it is contingent upon obtaining the permit.

Member Gillon expressed concern that this is a brand new house on a city lot, there have been several appeals over the last few years because the owner wanted to cover the porch. Now for this one, they want a variance before starting, and he does not see a hardship. Member Gillon continued that the Zoning Board of Appeals is for existing properties.

Member Flachsmann commented that this is a buildable lot on a corner, and the city wants nice homes in nice neighborhoods, and he feels that if having 600 more square feet is having what you want, then you are doing it the right way. Member Flachsmann added that a 5000 square foot lot is still a small lot. This buyer is interested in Wyandotte and is putting about a quarter of a million dollars into the property.

Member Gillon commented that maybe lot coverage should be adjusted. Member Flachsmann commented that every so many years the ordinances are reviewed and the Zoning Board has been asked for comments.

Duane Mackey, 416 Plum, participated.

Mr. Mackey stated that he has been in construction his entire life, and an inspector in Inkster and Dearborn. He had plans for a garage and porch, and the city needs to upgrade the ordinances. He couldn't build a bigger garage or porch, and he will have to appeal to the Board for his improvements. Mr. Mackey added that no one is going to spend money on a lot that they can't build what they want on and this person is spending a lot of money in Wyandotte and the Board should give some leniency.

Member Flachsmann commented that Zoning Board is for people asking for variances. Member Flachsmann suggested that Mr. Mackey address the Mayor and Council if he wants to see changes, there is a process to follow.

No communications were received regarding this appeal.

# Wyandotte

## Community Information Station



*The window displays inventory available for sale.*

*Users can get information about a property by entering a property number.*

*They can also enter codes for a community events calendar and special local events.*



## Wyandotte Community Information Station

- |                              |                        |
|------------------------------|------------------------|
| 201 Community Calendar       | 201 Things to Do       |
| 202 Local Points of Interest | 202 Schools            |
| 203 Upcoming Events          | 203 Parks & Recreation |



### For Information

*Enter number from  
property display*

**NEW!**

*The screen no longer changes. It remains static until the user requests information.*

Peggy Green

7 of 7

**From:** Dennis Harris  
**Sent:** Tuesday, May 04, 2021 10:53 PM  
**To:** Peggy Green; Boyd Rudy; Chris Naab  
**Subject:** Re: 2932 Biddle  
**Attachments:** Dwellings Changes to Achieve Compliance.pdf

Peggy, Since the zoom will be audio only, can I please request that you forward this email to all of the ZBA members. My client is prepared to agree to the screen being static with only one image, until such time as the customer makes a request for the desired information by typing in a particular code. A sample of the single image on the screen until activated by a customer is attached. The screen will have the ability when requested to provide information for civic events and the like. Thank you for your assistance in this matter.

On Mon, May 3, 2021 at 12:32 PM Peggy Green <[pgreen@wyandottemi.gov](mailto:pgreen@wyandottemi.gov)> wrote:

Please see attached.

Thank you.

Peggy Green

Dept. of Engineering and Building

City of Wyandotte

3200 Biddle Avenue, Suite 200

Wyandotte, MI 48192

734-324-4551 Ext. 2053

--  
Dennis Harris

Law Office of Dennis J. Harris  
12894 Farmington Road



June 2, 2021

## Wyandotte Municipal Services Commission Regular Meeting Minutes

A regular session of the Municipal Services Commission of the City of Wyandotte, Michigan was held at the office of Commission and via Virtual Telecommunication methods due to COVID-19 in accordance with current MDHHS Public Health Orders SB 11246, & PA228 of 2020 using the Zoom audio platform on Wednesday, June 2, 2021 at 5:00 PM.

Roll Call: Present: Commissioners Carolyn Harris  
Leslie Lupo  
Robert J. Thiede  
Paul Gouth  
Bryan Hughes

General Manager & Secretary Paul LaManes

Also, Present- Amy Cannatella-CATV  
Joel Adkins-CATV  
Amber Haggerty  
Dave Fuller  
Robert Haggerty  
Steve Timcoe

### **Approval of Minutes:**

MOTION by Commissioner Hughes and SECONDED by Commissioner Gouth to approve the May 19, 2021 regular meeting minutes of the Municipal Services Commission.

Commissioner Harris asked that the roll be attached, no objections were made.  
Minutes approved

### **Hearing of Public Concerns:**

None

### **Resolution #6-2021-1**

MOTION by Commissioner Hughes and SECONDED by Commissioner Gouth to authorize the General Manager to sign the MPPA's Power Purchase Commitment Authorization Letter dated May 5, 2021 to enter into annual energy transactions that will improve the energy plan hedge position in calendar years 2023 through 2025. The maximum commitment of this request for energy purchase will not exceed \$3,405,476.61 and is recommended by WMS Management.

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, Gouth and Hughes

NAYS: None

Motion Passes

June 2, 2021

Wyandotte Municipal Services Commission  
Regular Meeting Minutes

**Resolution #6-2021-2**

MOTION by Commissioner Hughes and SECONDED by Commissioner Gouth to receive and place on file the YTD financial results for the City of Wyandotte-Department of Municipal Services for the period ending March 31, 2021, as recommended by WMS Management.

Commissioner Harris asked that the roll be attached, no objections were made.  
3/31/2021 WMS Financial Results received and placed on file.

**Resolution #6-2021-3**

MOTION by Commissioner Hughes and SECONDED by Commissioner Gouth to authorize the General Manager to execute the AMC Networks Programming Renewal Agreement for the period 5/2/2021-4/30/2025 as negotiated by the NCTC and as recommended by WMS Management.

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, Gouth and Hughes  
NAYS: None  
Motion Passes

**Reports and Communications**

None

**Approval of Vouchers**

MOTION by Commissioner Hughes and SECONDED by Commissioner Gouth that the vouchers be paid as submitted.

5.18.21 #5428 \$541,710.63

Commissioner Harris asked that the roll be called.

YEAS: Commissioner Harris, Lupo, Thiede, Gouth and Hughes  
NAYS: None  
Motion Passes

**Other/Late Items**

GM LaManes would like to congratulate this year's Roosevelt High School 2021 graduates. Roosevelt High School's 2021 commencements are being held and televised live tonight on Wyandotte Cable.

Motion by Commissioner Hughes and SECONDED by Commissioner Gouth to now adjourn at 5:07PM. Roll attached. Meeting adjourned.

**Next Meeting – Wednesday, June 16, 2021 at 5 PM**



June 2, 2021

Wyandotte Municipal Services Commission  
Regular Meeting Minutes

X 

---

Paul LaManes  
General Manager/Secretary

## WYANDOTTE RECREATION COMMISSION

A meeting of the Wyandotte Recreation Commission was called to order on Wednesday, May 12<sup>th</sup>, 2021 at 5:30 pm in the Harold Popp Warming Room at the Benjamin F. Yack Center.

### **Members Present:**

President Ron Adams  
Secretary Margaret Loya  
Commissioner Ed Ronco

Sup't of Recreation Justin N. Lanagan  
Recreation Secretary Aimee Garbin

### **Excused:**

### **Also Present:**

Commissioner Tom DeSana  
Vice President Wallace Merritt

A motion was made by Secretary Loya and supported by Commissioner Ronco to approve the minutes of the previous meeting

### **PERSONS IN THE AUDIENCE:**

None

### **CORRESPONDENCE:**

Thank you card from Resident Carol Nugent regarding the Covid-19 vaccination clinic.

### **INTERDEPARTMENTAL:**

### **COUNCIL RESOLUTIONS:**

1. Council Resolution dated April 12<sup>th</sup>, 2021 approving the renewal of License agreement with Blue Water Explorations, Ltd., DBA Diamond Jack's River Tours for the period of May 1, 2021 to October 1, 2021.
2. Council Resolution dated April 12<sup>th</sup>, 2021 approving the agreement between Wayne County and the City of Wyandotte for a grant in the amount of \$60,000.
3. Council Resolution dated April 12<sup>th</sup>, 2021 approving a one year extension to operate the Bishop Park Concession Stand for the 2021 season to Mohammed Motahhar in the amount of \$1,000.

### **REPORTS AND MINUTES:**

Arena Report April 2021: \$6,699.69.....Ice Rental.....\$204.38.....Skating Lessons

Tele-care: April 2021

Golf Report: April 2021.....\$57,190.28

Account Breakdown Pay Ending: 4/11/2021 & 4/25/2021

Van Report: March 2021

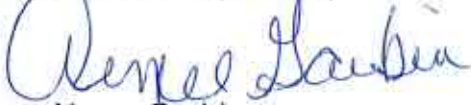
### **SPECIAL ORDER:**

- Superintendent Lanagan stated Roosevelt High School would be using the Yack Arena on Friday, May 21<sup>st</sup>, 2021 for Senior Recognition Day. The Yack Arena will also serve as the emergency back up site in case of inclement weather for the graduation scheduled for June 2<sup>nd</sup>, 2021.
- The Street Fair is scheduled to move forward with the elimination of the entertainment area, kids bounce house play area and possibly the beer tent area. The Special Events Coordinator is looking at different options pertaining to the food area and placement.

- Wyandotte Braves opening day is scheduled for May 22<sup>nd</sup>, 2021. President Mike Mahalak got Covid – 19 testing set up for athletes that are not tested through Wyandotte Public Schools through an urgent care clinic across from the hospital.

There being no further business to discuss, a motion was made by Commissioner Ronco and supported by Commissioner Loya to adjourn the meeting at 5:50 pm.

Minutes Prepared by



Aimee Garbin  
Recreation Secretary

Authorized by



Justin Lanagan  
Superintendent of Recreation

### **2021 Wyandotte Recreation Commission Meetings @ Yack Arena**

#### **2<sup>nd</sup> Wednesday @ 5:30 pm**

June 9<sup>th</sup>, 2021  
July 14<sup>th</sup>, 2021  
August 11<sup>th</sup>, 2021  
December 8, 2021

#### **2<sup>nd</sup> Tuesday @ 7:30 pm**

September 14<sup>th</sup>, 2021  
October 12<sup>th</sup>, 2021  
November 9<sup>th</sup>, 2021